

EXHIBIT F

MAY 5, 2011
PLANNING COMMISSION
STAFF REPORT – LOT 4



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: May 5, 2011

TO: Planning Commission

APPLICANT: Ashoor Pirouti
12390 Chandler Boulevard, #H
Valley Village, CA 91607

CASE NOS.: 03-CUP-023 and 05-OTP-012

LOCATION: 28458 Renee Drive - Lot 4
(A.P.N. 2061-021-023)

REQUEST: Request for approval of a Conditional Use Permit to construct a 1,874 square-foot residence with an attached, 616 square-foot, two-car garage; and a request for approval of an Oak Tree Permit to encroach into the protected zone of six (6) oak trees on an adjacent lot and remove one (1) on-site scrub oak tree for the proposed construction.

ENVIRONMENTAL DETERMINATION: Exempt from CEQA, per Section 15303, Class 3, Subsection (a) which pertains to the construction of one single-family residence.

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 03-CUP-023, and Oak Tree Permit Case No. 05-OTP-012, subject to conditions, based on the findings of the attached Draft Resolution.

ZONE DESIGNATION: RS-(2)-20,000-IH (Residential Single-Family – Indian Hills Design Overlay District)

GENERAL PLAN DESIGNATION: RS – Residential Single-Family

PROJECT BACKGROUND AND DESCRIPTION

The applicant requested, in 2005, an approval of a Conditional Use Permit to construct a 2,445 square-foot, two-story, single-family residence on a vacant lot located at 28258 Renee Drive in the RS (Residential Single-Family) and IH (Indian Hills Design Overlay) zones. The Planning Commission held a public hearing on September 1, 2005 and continued the case for a redesign. The applicant subsequently chose to withdraw the application and return to the Planning Commission at a future hearing with revised plans. The application was reviewed with a similar application to develop the adjacent lot (Lot 5) owned by the same owner with a new a new single-family residence under a separate Conditional Use Permit.

The applicant has submitted a new Conditional Use Permit and is requesting approval of a 1,874 square-foot single-family residence with a 616 square foot tuck-under garage. The Agoura Hills Municipal Code Section 9673.2.E. requires applicants to apply for a Conditional Use Permit for developments on lots with a topographic slope in excess of 10%. In this instance, the average slope of the property is 31.48% which exceeds the threshold for a Site Plan/Architectural Review. Furthermore, the lot appears to have been graded prior to the City's incorporation. An Oak Tree Permit is also requested for the removal of one on-site oak tree and the encroachment in the protected zone of 6 other off-site oak trees.

The lot size is 6,584 square feet and was part of a larger subdivision that was approved decades prior to the City's incorporation. The property is significantly smaller than the 20,000 square-foot minimum sized lots called for in the underlying zoning district. However, the proposed single-family residence is a permitted use in the RS zone and the project will meet the required development standards. Listed below are the proposed development data pertaining to the project:

Development Standards	Existing	Original Proposal	Revised Proposal	Allowed/ Required
1. Lot Size	6,462 sq. ft.	Same	Same	20,000 sq. ft.
2. Lot Width	52 ft.	Same	Same	90 ft.
3. Lot Depth	116 ft.	Same	Same	100 ft.
4. Building Size				
A. House:	N/A	2,445 sq. ft.	1,874 sq. ft.	N/A
B. Garage:	N/A	<u>602 sq. ft.</u>	<u>616 sq. ft.</u>	N/A
Total:		3,047 sq. ft.	2,490 sq. ft.	
5. Building Height	N/A	35 ft.	35 ft.	35 ft.
6. Lot Coverage	N/A	18.5%	16.4%	35%

Development Standards	Existing	Original Proposal	Revised Proposal	Allowed/ Required
7. Building Setbacks				
A. Front:	N/A	25 ft.	25 ft.	25 ft.
B. Rear:	N/A	44 ft.	46 ft.	25 ft.
C. Side (East):	N/A	12 ft.	11 ft.	10 ft. min.
D. Side: (West):	N/A	10 ft.	12 ft.	10 ft. min.

STAFF ANALYSIS

Site Plan

The house is proposed to be located in the center of the parcel in order to meet the development standards of the RS zone and maximize the views. The eastern side yard setback is proposed to be 11 feet and the western side yard setback is proposed to be 12 feet. The front yard setback would be 25 feet. The proposed building setback from the rear property line would be 46 feet. The proposed location of the house meets all required setbacks of the zone. Surrounding properties include a proposed two-story residence to the east (which is also proposed by the applicant) to be at the same finished floor elevation line as this proposal, and a residence to the rear (south) of the lot above the parcel and an existing two-story residence to the west. Renee Drive abuts the property to the north.

The sloped rear yard will also require approximately 122 linear feet of retaining walls under 6 feet in height in order to comply with the Building Code requirements for placement of the residence near the toe of the rear slope. Two retaining walls are proposed to retain the slope with one extending around a cluster of scrub oaks. The walls would be terraced 10 feet apart, for drainage and landscape screening. A stair case is also proposed along the property line for access to the terrace away from the oak trees.

The proposed location of the house meets all required setbacks of the zone as well as height. Access to the lot will be provided via Renee Drive with a single driveway proposed on the east side of the parcel. The garage is to be placed under the residence, which will minimize the lot coverage and is permitted as a third story since it does not include habitable area.

In evaluating the compatibility of the design and the size of the structure with other Indian Hills properties, staff found that the proposed residence is similar in design with other two story structures. Lot and home sizes within the neighborhood are shown on an attached map for reference (Exhibit B). The size of the neighboring homes, excluding garage space, varies from 1,216 to 2,461 square feet and most have two-stories. The most recently built custom residences in the Indian Hills area include a 2,547 square-foot, home on a 13,129 square-foot parcel located on Lewis Place; and 2 more prior with 2,174 square feet of living space on a 5,619 square foot lot and 2,518 on a 7,000 square foot lot

on Lewis Place and Laura La Plante Drive respectively. A more recent approval includes a 3,593 square foot house on Lewis Place on three lots totaling 23,108 square feet. Construction has already started.

The residence to the west was built in the late 1980's and is 2,461 square feet and is similar in massing and layout with the proposed house. The residence to the north was built in the mid 1940's and has remained less than 1,000 square feet in total size. The proposed residence to the east, under concurrent review, would be 2,431 square feet on a triangular shaped lot. Thus, the applicant's 1,874 square-foot home appears compatible with other homes recently approved in the neighborhood, while also meeting the development standards of the zone.

Hillside Development Standards

Furthermore, the project is subject to special regulations applicable to hillside development found in Section 9652.15. A and B, which establish development criteria within sensitive areas that provide an atmosphere and character that the residents of Agoura Hills have expressed a desire to protect. Special regulations were established to protect hillside areas from incompatible development and preserve the natural terrain, quality environment, and aesthetic character while encouraging creative, innovative and safe residential development.

One such regulation of the Hillside Ordinance, Section 9652.13.B., includes a requirement for on-site open space preservation. The minimum amount of area to remain in undisturbed open space is related to the average slope of the property. The parcel has an average slope of 31.48%. Thus, the Hillside Ordinance requires that at least 92.5% of the lot remain in undisturbed open space. The maximum amount of lot coverage, including the residence, garage, driveway and yard areas should not exceed 7.5% of the lot or 445.42 square feet which is not practical.

However, in cases where it is not practical to meet the open space requirements of the Hillside Development Standards, the Planning Commission reviews maximum allowable development on a case-by-case basis and has discretion regarding the amount of lot coverage based on elements such as the existing lot size and proposed building size, oak tree encroachment, and paving materials without the need for a Variance request. Staff finds that the 485.65 square foot (7.5%) maximum lot coverage allowed under the hillside standards is not practical and that the proposed lot coverage of 1,059 square feet or 16.4% also complies with the maximum 35% lot coverage allowed in the RS zone.

Also, the lot was graded before the City's incorporation and left underdeveloped for many years. The original condition of the lot no longer exists. Such circumstance has not been addressed by the Hillside Development standards but used in the qualitative evaluation of the proposed development. As indicated by the proposed Grading Plan, the house would be situated on an already existing pad with some recontouring proposed. A cut is proposed for a subterranean garage and to provide the minimum required setback between the structure and the toe of the slope. Although the project exceeds the maximum amount of hillside lot coverage, the applicant designed the project to meet the

Hillside height requirement as well as all the development standards for the underlying zone.

Architectural Design

The Architectural Review Panel (ARP) has commented on several revisions of the proposed architectural plans. The applicant has modified his design by introducing trims around some of the windows, corbels under the balcony and under the projection of the second floor, an attached patio cover and additional windows and roof elements. The applicant now is proposing a stone veneer application for the elevations of the house, on the chimney and at the corners of the garage. The same stone veneer will be applied to the retaining walls in the front. The Panel, however, recommended additional articulation on the east elevation which the applicant has not provided but the house square footage was reduced by 571 square feet since the original proposal.

Furthermore, in an effort to preserve the rustic character of the neighborhood, the applicant has chosen to use earth-tone colors throughout, as well as a roof pitch that can support clay tiles. The walls are proposed to be finished with smooth "Inca Beige" colored stucco. Accent colors will include "Wild Mustang" (dark brown) for the framing around the windows, the garage door and the entry door. The gable roofs will be clad with a three-tone Mediterranean clay tile. The applicant chose dark aluminum framed windows. A balcony is proposed on the north elevation above the garage door as well as two smaller ones on the second floor. Both balconies will utilize wrought iron railing painted dark brown in a semi-gloss finish. The applicant also proposes to use colors for the concrete driveway and tiles for the walkways surface.

Oak Tree and Landscape Review

An Oak Tree Report was submitted for an Oak Tree Permit application and was reviewed by the City Oak Tree Consultant. The Report indicates that 14 Oak Trees were subject to an evaluation based on the scope of the project and the distance to the boundaries of the development. The City Oak Tree Consultant reviewed the Oak Tree Report and concurs with the applicant's Oak Tree Consultant's findings regarding the unavoidable removal of one (1) Scrub Oak on this parcel and the impacts on six (6) off-site other Oak trees. The remaining four oak trees that were analyzed in the Oak Tree Report will not be impacted. The removal and impacts are a result of the construction of a retaining wall and the grading work of another.

The mitigation specified in the Zoning Ordinance requires a replacement ratio of 4:1 for every removal and/or significant impact to an Oak tree. The applicant proposes to plant two Live Oak trees and 6 Scrub Oak trees in the rear of the property to replace the trees. The City Consultant is recommending approval of the Oak Tree Permit with mitigation measures. The City Oak Tree Consultant is recommending planting the Oak Trees on the property where feasible or off-site in a location acceptable to the Director of Planning and Community Development and/or collecting an in-lieu fee to purchase and plant the

required number of trees. The Planning Commission has discretion on this recommended mitigation measure.

A landscape plan was submitted for the City Landscape Consultant's review since the project involves graded hillside slopes. The landscaping will consist of lawn areas on both sides of the structure, decorative ground covers for the side yard, shrubs for the slopes and replacement oak trees. The City Landscape Consultant has given tentative approval of the preliminary plan, subject to the attached draft conditions. A final landscape and irrigation plan will be reviewed by the City Landscape Consultant and the Los Angeles County Fire Department.

Engineering

The grading of the site will require 439 cubic yards of cut soil and 100 cubic yards of fill soil with a total export quantity of 339 cubic yards. The finished floor of the first floor of the residence is proposed at the 108.5-foot elevation, which is an average of 17 feet above Renee Drive. The garage is proposed at the 95-foot elevation. Most of the proposed grading cuts are intended to accommodate the garage and the rear yard.

The driveway had to be designed so as to not exceed 15% slope, which dictated the pad elevation of the garage. The design proposes a flat area in the rear of the residence at the base of the hillside. Such approach requires two retaining walls. The first one would be placed at the same elevation of the house finished floor (108-foot elevation), and the second one six (6) feet higher. The walls are placed approximately 10 feet apart for drainage and planting. An additional 20-foot landscape buffer is provided beyond the second wall to the rear property line to stabilize the slopes. Drainage was reviewed and conditioned accordingly. The applicant is required to connect to sewer.

The applicant will be required to improve and maintain Renee Drive along the length of the parcel frontage. The City approved the vacation of Renee Drive in 2003. Since Renee Drive is a private street, the maintenance of the street is the responsibility of the property owners.

The City Geotechnical Consultant has reviewed the geotechnical reports prepared by Grover Hollingsworth and Associates, Inc. for this project. The City Geotechnical and Geological Consultant recommends approval of the reports at this planning review stage, subject to the compliance with conditions prior to the issuance of a Grading Permit.

Environmental Review

Staff finds that the single-family residence would not result in significant environmental impacts and is Categorically Exempt from the California Environmental Quality Act, in accordance with Section 15303, Class 3, Subsection (a) which exempts single-family residences construction from additional environmental review including a negative declaration or environmental impact report.

RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 03-CUP-023, and Oak Tree Permit Case No. 05-OTP-012, subject to Conditions, based on the findings of the attached Draft Resolution.

ATTACHMENTS

- Draft Resolution for Conditional Use Permit and Oak Tree Permit
- Conditions of Approval for Conditional Use Permit and Oak Tree Permit
- Exhibit A: Vicinity Map
- Exhibit B: Square Footage Analysis Map
- Exhibit C: City Oak Tree Consultant Memorandum
- Exhibit D: City Geotechnical/Geological Consultant Memorandum
- Exhibit E: Environmental Determination
- Exhibit F: Neighbors Letter
- Exhibit G: Architectural and Grading Plans
- Exhibit H: Rendering and Color and Material Board
- Exhibit I: Photographs of Surroundings

CASE PLANNER: Valerie Darbouze, Associate Planner

CONDITIONAL USE PERMIT - CASE NO. 03-CUP-022
CONDITIONAL USE PERMIT - CASE NO. 03-CUP-023
OAK TREE PERMIT - CASE NO. 05-OTP-011
OAK TREE PERMIT - CASE NO. 05-OTP-012

City of Agoura Hills
Project
Vicinity/Zoning
Map



Project Sites



PIROUTI RESIDENCES



Memo

To: Valerie Darbouze, City of Agoura Hills
From: Ann Burroughs for Kay Greeley, Landscape and Oak Tree Consultant
Date: April 6, 2011
Re: 03-CUP-022/05-OTP11 (Lot 5) and 03-CUP-023/05-OTP-012 (Lot 4) – Pirouti, Ashoor

We recommend the following comments be considered in connection with the review of the subject entitlement request:

There are a total of eleven (11) major clumps of Scrub Oak (*Quercus berberidifolia*) and one (1) Coast Live Oak tree (*Quercus agrifolia*) within the subject site which consists of two (2) adjoining lots. There is one (1) additional Coast Live Oak tree and one (1) additional Scrub Oak located on the adjacent property to the south.

The applicant proposes to construct one (1) single-family residence on each lot. We have separated direct impacts to the oak trees by lot as requested. However, impacts cannot be segregated entirely since the retaining walls would require redesign if either property were to be developed separately. During the design process the applicant revised the rear retaining walls, terrace and stairs to reduce the impacts to a number of the oak trees. However there would still be significant impacts to oak trees from the proposed construction.

Construction on Lot 4 would encroach within the protected zones of Oak Trees 1 through 6, all Scrub Oaks, and Oak Tree 12, a Coast Live Oak. Construction on Lot 5 would encroach within the protected zones of Oak Trees 2 through 6, 11, and 13, all Scrub Oaks, and Oak Tree 12.

The Oak Tree Ordinance limits overall oak tree removal to a maximum of ten percent (10%) of the protected zone of the oak resources overall. Based on our analysis the proposed development would result in direct impacts to twenty percent (20%) of the oak tree resource on and off the site. The proposed overall impact therefore would exceed the impact permitted by the Zoning Code.

Our analysis of proposed encroachments to the oak trees is detailed below. This analysis is based on the applicant's statement that grading impacts can be limited to a distance of two feet (2') behind the proposed retaining walls.

Oak Tree 1, a Scrub Oak, lies within the proposed graded pad for the structure on Lot 4. If the project is to proceed as proposed this oak would require removal to enable construction.

Construction of the retaining walls for both lots would encroach within the protected zones but not the driplines of Oak Trees 4, 5, 6, and 12, and for Lot 5 only, Oak Tree 11. Construction would also encroach within the protected zone and dripline of Oak Tree 3. The percentages of these encroachments vary from a low of two percent (2%) to a high of eighteen percent (18%) of the trees' protected zones. Encroachments within the dripline of Oak Tree 3 would amount to less than one percent (1%) of the protected zone and would encroach no closer than ten feet (10') from the trunk. It is our opinion these trees could survive the proposed direct impacts and would remain viable as long as the work is performed carefully.

Construction of the retaining wall for both lots would encroach within the protected zone and dripline of Oak Tree 2, impacting twenty-one percent (21%) of the protected zone. Encroachment within the

dripline would amount to one percent (1%) of the protected zone and grading would occur no closer than nine feet (9') from the trunk. The Municipal Code limits allowable impacts to individual trees to a maximum of twenty percent (20%) of the protected root zone, provided a determination can be made that the tree will remain viable. It is our opinion this tree could survive the proposed impacts and remain viable if the work is performed carefully. Therefore, we do not feel mitigation is required for this tree.

Construction of a retaining wall for Lot 5 would encroach within thirteen percent (13%) of the protected zone of Oak Tree 13, the off-site Scrub Oak. Although this amount of encroachment is not always significant enough to harm a tree, grading for a corner of the proposed retaining wall and concrete v-ditch would occur within thirty-inches (30") of the tree's trunk. For this reason we believe this impact may be significant enough to cause the tree to experience premature decline and death. We therefore recommend mitigation be required for Oak Tree 13.

Oak Trees 7, 8, 9, 10, and A, a Coast Live Oak, would be preserved in place with no direct impacts.

The proposed Landscape Plan provides a total of thirteen (13) new Coast Live Oak and Scrub Oak trees having a total diameter of thirteen and one-half inches (13-1/2"). Four (4) new Coast Live Oak trees would be planted, two (2) on each lot. Nine (9) new Scrub Oak trees, would be planted, six (6) on Lot 4 and three (3) on Lot 5. An additional four and one-half inches (4-1/2") of new oak tree diameter would be required to provide a total of eighteen inches (18") of trunk diameter of Coast Live Oak and Scrub Oak trees to mitigate for the removal of Oak Tree 1 and significant impacts to Oak Tree 13.

The planting of all proposed mitigation oak trees is subject to final site layout, site conditions such as rocky and/or excessively steep slope conditions, and review by the County of Los Angeles Fire Department Fuel Modification Unit. If any of these prevents planting of the total number of required mitigation oak trees on the subject site, equivalent alternative mitigation would be required through planting of mitigation trees off-site in a location acceptable to the Director and/or the establishment of an in-lieu fee. The amount of the in-lieu fee would be based upon tree appraisal standards contained in the 9th Edition of the Guide for Plant Appraisal. This fee would be paid by the applicant into the City of Agoura Hills Oak Tree Mitigation Fund.

If the project is to proceed as proposed our recommended conditions of approval are as follows:

Oak Trees:

1. The applicant is permitted to remove Oak Tree 1 to construct the approved site development plan for Lot 4. The diameter of the tree to be removed is nine and one-half inches (9-1/2").
2. The applicant is permitted to encroach within the protected zones of the following eight (8) oak trees in order to complete the approved site development program: Oak Trees 2, 3, 4, 5, 6, 11, 12, and 13.
3. No activities shall be permitted within the protected zones of the remaining five (5) oak trees, Trees 7, 8, 9, 10, and A. They shall be preserved in place with no direct impacts.
4. To mitigate the removal of Oak Tree 1, a Coast Live Oak, the applicant shall plant at least nine and one-half inches (9-1/2") of diameter of new oak trees within the landscape. The applicant shall plant at least four (4) native oak trees within the site to include a minimum of (1) thirty-six inch (36") box size and two (2) twenty-four inch (24") box size Coast Live Oak trees.
5. To mitigate the significant impact to the protected zone of Oak Tree 13, a Scrub Oak, the applicant shall plant at least eight and one-half inches (8-1/2") of diameter of new oak trees within the landscape. Since Scrub Oaks are seldom available in sizes larger than fifteen gallon (15-gal) containers, it is acceptable that the required mitigation Scrub Oaks be planted from small containers.
6. The exact species, planting sizes and planting locations of the mitigation oak trees shall be subject to review and approval by the City Oak Tree Consultant.
7. All excavation within the protected zones of Oak Trees 2, 3, 4, 5, 6, 11, 12, and 13 shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant.

8. Should the Director and the City Oak Tree Consultant determine that the required number of mitigation oak trees cannot be planted on the subject site in a practical fashion, equivalent alternative mitigation shall be established through the establishment of an in-lieu fee which the applicant shall pay into the City of Agoura Hills Oak Tree Mitigation Fund for the deficit. The amount of the in-lieu fee shall be based upon tree appraisal standards contained in the 9th Edition of the Guide for Plant Appraisal.
9. The mitigation oak trees shall be maintained in perpetuity. Should any of the mitigation oak trees decline or die, they shall be replaced in accordance with the provisions of the Oak Tree Preservation and Protection Guidelines.
10. The Grading Plan shall contain a note that states that no grading will occur more than two feet (2') from the back of any proposed wall. This must be reflected on the protective fencing plan.
11. Should the applicant or any subsequent property owner wish to add a property line fence along the southerly property line, he shall go through the City of Agoura Hills Oak Tree Permit process.
12. Prior to the start of any work or mobilization at the site, each oak tree to be preserved shall be fenced with temporary chain link fencing at the edge of the protected zone or at the approved work limits, in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations.
13. The applicant shall provide a forty-eight (48) hour notice to the City and the applicant's oak tree consultant prior to the start of any approved work within the protected zone of any oak tree.
14. No grading, scarifying or other soil disturbance shall be permitted within the portion of the protected zone of any oak tree not directly impacted by the project construction.
15. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
16. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified tree trimmer under the direct observation of the applicant's oak tree consultant. Pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning.
17. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
18. No irrigation or planting shall be installed within the drip line of any oak tree unless specifically approved by the City Oak Tree Consultant and the Director.
19. Prior to occupancy, each existing and new oak tree shall be mulched throughout the dripline with three inches (3") of approved organic mulch as needed to supplement natural leaf litter.
20. Within ten (10) days of the completion of work, the applicant's oak tree consultant shall submit written certification to the City. The certification shall describe all work performed and whether such work was performed in accordance with the above permit conditions.

Landscaping:

21. The final landscape plan shall generally conform to the approved preliminary landscape plan, as prepared by Elemental Landscapes, dated May 19, 2010.
22. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval

23. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements:
 - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
24. The Planting Plan shall indicate the botanical name and size of each plant.
25. Plant symbols shall depict the size of the plants at maturity.
26. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
27. The landscape plans shall prominently display the following notes:
 - a. All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
 - b. All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
 - c. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
28. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
29. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.

30. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - a. Design and static pressures
 - b. Point of connection
 - c. Backflow protection
 - d. Valves, piping, controllers, heads, quick couplers
 - e. Gallon requirements for each valve
31. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
32. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
33. Poor landscape practices such as topping, hedging and "lollipopping" shall not be permitted and may require that plant materials be replaced with like size materials at the discretion of the City Landscape consultant.
34. Plants located in the planters below the retaining walls within the protected zones of the oak trees shall be irrigated with drip irrigation or bubblers only.
35. Proposed plant material shall not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.
36. The final plant palette shall reflect a naturalistic and native theme.
37. All plant material shall be considered compatible with Sunset Zone 18.
38. Any *Ailanthus altissima* (Tree of Heaven) shall be permanently eradicated. The landscape plans shall contain a note to this effect and specify the method of eradication.
39. The Landscape Plan shall be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department.

Please advise should there be any comments or questions.

Date: March 6, 2007
GDI #: 06.00103.0115**CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET**

To: Valerie Darbouze

Project Location: Lot 4, 28458 Renee Drive2, Agoura Hills, California.

Planning Case #: 03-CUP-023/05-OTP-012/Pirouti

Building & Safety #: None

Geotechnical Report: GeoConcepts, Inc. (2007), "Update Report No. 2, Tract 8793, Lot 4, 28458 Renee Drive, Agoura Hills, California," Project 2606, dated January 11, 2007.

GeoConcepts, Inc. (2006), "Addendum Report No. 2, Tract 8793, Lot 4, 28458 Renee Drive, Agoura Hills, California," Project 2606, dated July 6, 2006.

GeoConcepts, Inc. (2004), "Supplemental Report No. 1, 5758 Renee Drive, Agoura Hills, California," Project 2606, dated October 6, 2004.

GeoConcepts, Inc. (2004), "Supplemental Report No. 1, 5758 Renee Drive, Agoura Hills, California," Project 2606, dated March 8, 2004.

GeoConcepts, Inc. (2003), "Preliminary Geologic and Soils Engineering Investigation, Proposed Single Family Residences, Tract 8793, Lots 4 & 5, Renee Drive, Agoura Hills, California," Project 2606, dated August 21, 2003.

Plans: John Dolinsky Associates, "Grading Plans and Grade Sections, Lot 4 and Lot 5, Renee Drive, Agoura Hills, California", 10-scale, dated 11-18-03.

Previous Reviews: January 29, 2004; April 2, 2004, October 20, 2004, and August 4, 2006.

Findings

Geotechnical Report

- Acceptable as presented
 Response Required

Remarks

GeoConcepts, Inc. (GCI; consultant) provided an "Update Report" to address changes to the proposed development plans at Lot 4, 28458 Renee Drive, City of Agoura Hills, California. The proposed development includes construction of a single-family residence and retaining walls. The City of Agoura Hills - Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City.

Based upon the City's review, the referenced reports are acceptable as presented. Plan-Check comments should be addressed in Building & Safety Plan Check. A separate geotechnical submittal is not required for plan-check comments.

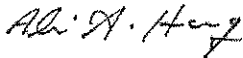
Plan-Check Comments

1. The name, address, and phone number of the Project Geotechnical Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad areas as recommended by the Consultant.
3. The following note should appear on the grading and foundation plans: *"If adverse geologic conditions (surcharged bedding) are encountered during grading or excavation for retaining walls, the Consultant shall evaluate the conditions and provide additional recommendations for grading and/or the design of the retaining walls."*
4. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly."*
5. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
6. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
7. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
8. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
9. Final grading, drainage, shoring, and foundation plans shall be reviewed, signed, and wet stamped by the project geotechnical consultant.
10. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and locations and elevations of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map. The as-built grading report shall include final foundation recommendations along with supporting calculations."*

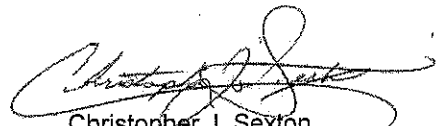
If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

GeoDynamics, INC.



Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)



Christopher J. Sexton
Engineering Geology Reviewer
CEG 1441 (exp. 11/30/06)

Notice of Exemption

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, California 91301

County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 905690

Project Title: Pirouti Single Family Residences

Project Location-Specific: 28454 and 28458 Renee Drive
Agoura Hills, California
APN: 2061-021-036 and 2061-021-005

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: The 0.3 acre project site is vacant. Two homes, each with tucked-under garages, are proposed: (1) 1,874 square-foot home with a 616 square-foot garage; (2) 2,431 square-foot home with a 568 square-foot garage. The request is for a conditional Use Permit and Oak Tree Permit.

The site improvements include retaining walls to support the hillside in the rear of the project and retaining walls for the tucked-under garage. Access to the sites will be with two side-by-side driveways connecting to Renee Drive. Utilities will be brought to the site and the street repaved the width of both parcels. There are oak trees on the slopes of the parcels. It is expected that one oak tree will be removed and the grading will encroach in the protected zone of 8 other oak trees; five additional oak trees will remain intact. The property is adjacent to other developed residential properties.

Each proposed structure complies with the front, rear yard and side setback, height, and other relevant standards prescribed by the Residential Single-Family Density zoning classification. The aesthetic value of the project will be consistent with the area.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, California 91301

Exempt Status: (Check One)

- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.);
- No Possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3));
- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a);
- Emergency Project (14 Cal Code of Regs Sec. 15269(b),(c), (d) and (e));
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303

Reasons why project is exempt: This exemption is based on the finding that the actions which will result in the construction of a new structure which is within the exemptions contained in Section 15300 of the list of permitted exemptions in CEQA Guidelines, Class 3. This exemption consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include, but are not limited to:

- (a) One single-family residence, or a second dwelling unit in a residential zone (...)."

This project is, in fact, served by all necessary public services and facilities and is not located in an environmentally sensitive area. Review of the evidence in the record as a whole, including an architectural plans, grading and street improvement plans and review of City and State CEQA thresholds applicable to the project, shows that the request demonstrates that the project meets these criteria. Therefore, this project will not have a significant impact on the environment and consequently, the project is exempt from further CEQA review.

Lead Agency Contact Person: Valerie Darbouze, Associate Planner

Area Code/Telephone/Extension: (818) 597-7328


Signature:  Date: 4/20/11 Title: Associate Planner

EXHIBIT G

MAY 5, 2011

PLANNING COMMISSION
STAFF REPORT – LOT 5



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: May 5, 2011

TO: Planning Commission

APPLICANT: Ashoor Pirouti
12390 Chandler Boulevard, #H
Valley Village, CA 91607

CASE NOS.: 03-CUP-022 and 05-OTP-011

LOCATION: 28454 Renee Drive - Lot 5
(A.P.N. 2061-021-005)

REQUEST: Request for approval of a Conditional Use Permit to construct a 2,431 square-foot residence with an attached, 568 square-foot, two-car garage; and a request for approval of an Oak Tree Permit to encroach in the protected zone of seven (7) on-site oak trees and one (1) off-site oak tree for the proposed construction.

ENVIRONMENTAL DETERMINATION: Exempt from CEQA, per Section 15303, Class 3, Subsection (a) which pertains to the construction of one single-family residence.

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 03-CUP-022 and Oak Tree Permit Case No. 05-OTP-011, subject to conditions, based on the findings of the attached Draft Resolution.

ZONE DESIGNATION: RS-(2)-20,000-IH (Residential Single-Family – Indian Hills Design Overlay District)

GENERAL PLAN DESIGNATION: RS – Residential Single-Family

PROJECT BACKGROUND AND DESCRIPTION

The applicant, Mr. Pirouti, requested, in 2005, the approval of a Conditional Use Permit to construct a 3,106 square-foot, two-story, single-family residence on a vacant lot located at 28254 Renee Drive in the RS (Residential Single-Family) and IH (Indian Hills Design Overlay) zones. The Planning Commission held a public hearing on September 1, 2005 and continued the case for a redesign. The applicant subsequently chose to withdraw the application and return to the Planning Commission at a future hearing with revised plans. The application was reviewed with a similar application to develop the adjacent lot (Lot 4) owned by the same owner with a new a new single-family residence under a separate Conditional Use Permit.

The applicant has since submitted a new Conditional Use Permit and is requesting the approval of a 2,431 square-foot single-family residence with a 568 square foot tuck-under garage. The Conditional Use Permit is required for proposed development on lots exceeding a 10% average topographic slope. In this instance, the average slope of the property is 34.60% and appears to have been graded prior to the City's incorporation. An Oak Tree Permit is also requested for the encroachment in the protected zone of one (1) on-site and seven (7) off-site oak trees.

The lot size is 5,939 square feet and was part of a larger subdivision that was approved decades prior to the City's incorporation. The property is significantly smaller than the 20,000 square-foot minimum sized lots called for in the underlying zoning district. However, the proposed single-family residence is a permitted use in the RS zone and the project will meet the required development standards. Listed below are the proposed development data pertaining to the project:

Development Standards	Existing	Original Proposal	Revised Proposal	Allowed/ Required
1. Lot Size	5,939 sq. ft.	Same	Same	20,000 sq. ft.
2. Lot Width	74 ft.	Same	Same	90 ft.
3. Lot Depth	83 ft.	Same	Same	100 ft.
4. Building Size				
A. House:	N/A	3,106 sq. ft.	2,431 sq. ft.	N/A
B. Garage:	N/A	<u>565 sq. ft.</u>	<u>568 sq. ft.</u>	N/A
Total:		3,671 sq. ft.	2,999 sq. ft.	N/A
5. Building Height	None	35 ft.	35 ft.	35 ft.
6. Lot Coverage	None	24.5%	21.8%	35%

Development Standards	Existing Allowed/	Original Proposal	Revised Proposal	Required
7. Building Setbacks				
A. Front:	N/A	25 ft.	25 ft.	25 ft.
B. Rear:	N/A	34 ft.	37 ft.	25 ft.
C. Side (East):	N/A	12 ft.	12 ft.	10 or 12 ft.
D. Side (West):	N/A	10 ft.	10 ft.	10 or 12 ft.

STAFF ANALYSIS

Site Plan

The house is proposed to be located in the center of this triangular shaped parcel in order to meet the development standards of the RS zone. The eastern side yard setback is proposed to be 10 feet and the western side yard setback is proposed to be 12 feet. The front yard setback would be 25 feet. The proposed building setback from the rear property line would be 37 feet. The proposed location of the house meets all required setbacks of the zone. Surrounding properties include a proposed two-story residence to the west which is also proposed by this applicant to be at the same finished floor elevation line as this proposal, and an existing residence to the rear (south) of the lot. Renee Drive serves the property and abuts the property to the north and east.

Vehicular access to the lot would be provided with a single driveway placed close to the western property line. The location of the driveway requires a 6-foot high retaining wall on each side. A landscape planter is proposed to soften the mass of the eastern wall. On-site pedestrian access is to be provided with stairs east of the driveway. The site would also include two retaining walls to retain a slope and provide for a graded rear yard. Other than the house, no other structural amenities are proposed at this time.

In evaluating the compatibility of the design and the size of the structure with other Indian Hills properties, staff found that the proposed residence is similar in design with other two story structures in the area out of 36 neighboring homes. Lot and home sizes within the neighborhood are shown on an attached map for reference (Exhibit B). The size of the neighboring homes (excluding the garage space) varies from 1,216 to 2,461 square feet and most have two-stories. The most recently built custom residences in the Indian Hills area include a 2,547 square-foot home on a 13,129 square-foot parcel located on Lewis Place; and 2 more prior with 2,174 square feet of living space on a 5,619 square foot lot and 2,518 on a 7,000 square foot lot on Lewis Place and Laura La Plante Drive respectively. A move recent approval includes a 3,593 square foot house on Lewis Place on three lots totaling 23,108 square feet. Construction has already started.

The residence adjacent to Lot 4, to the west, was built in the late 1980's and is 2,461 square feet and the residence to the north was built in the mid 1940's and has remained less than 1,000 square feet in total size. The proposed residence to the west (Lot 4), under concurrent review, would be 1,874 square feet in area and is on a narrower and

deeper lot. Thus, while the applicant's 2,431 square-foot home would be one of the larger homes in the neighborhood, it meets the development standards of the zone.

Hillside Development Standards

Furthermore, the project is subject to special regulations applicable to hillside development found in Section 9652.15. A and B, which establish development criteria within sensitive areas that provide an atmosphere and character that the residents of Agoura Hills have expressed a desire to protect. Special regulations were established to protect hillside areas from incompatible development and preserve the natural terrain, quality environment, and aesthetic character while encouraging creative, innovative and safe residential development.

One such regulation of the Hillside Ordinance, Section 9652.13.B., includes a requirement for on-site open space preservation. The minimum amount of area to remain in undisturbed open space is related to the average slope of the property. The parcel has an average slope of 34.6%. Thus, the Hillside Ordinance requires that at least 92.5% of the lot remain in undisturbed open space. The maximum amount of lot coverage, including the residence, garage, driveway and yard areas should not exceed 7.5% of the lot or 445.42 square feet which is not practical. The proposed footprint of the residence, excluding driveway and yard areas, is 1,295 square feet, or 21.8% which complies with the maximum allowed lot coverage for the RS zone.

However, in cases where it is not practical to meet the open space requirements of the Hillside Development Standards, the Planning Commission reviews maximum allowable development on a case-by-case basis and has discretion regarding the amount of lot coverage based on elements such as the existing lot size and proposed building size, oak tree encroachment, and paving materials without the need for a Variance request. Staff finds that the 445.42 square foot (7.5%) maximum lot coverage allowed under the hillside standards is not practical and that the proposed lot coverage of 1,295 square feet or 21.8% also complies with the maximum 35% lot coverage allowed in the RS zone.

Also, the lot was graded before the City's incorporation and left underdeveloped for many years. The original condition of the lot no longer exists. Such circumstance has not been addressed by the Hillside Development standards but used in the qualitative evaluation of the proposed development. As indicated by the proposed Grading Plan, the house would be situated on an already existing pad and some recounting proposed. A cut is proposed for a subterranean garage and to provide the minimum required setback between the structure and the toe of the slope. Although the project exceeds the maximum amount of hillside lot coverage, the applicant designed the project to meet the Hillside height requirement as well as all the development standards for the underlying zone.

Architectural Design

The house design is to include a fine spray texture in a "Tillamook" (light yellow) color for the walls and dark brown color for the trims and wrought iron railing. The windows and the garage door will also be in a dark brown color. The hip roofs will be clad with a mix of three-tone clay tiles. Two balconies are proposed on the south elevation as well.

The applicant also proposes to use colors for the concrete driveway and stone veneer for the stair case.

The Architectural Review Panel reviewed iterations of the house design on four occasions. The applicant received the Panel's recommendation of approval upon completing requested design revisions that included adding natural elements of stone veneer all around the house, on the chimney and on the retaining walls along the driveway and staircase. Sections of the exterior walls on the west façade were also furred out in order to add architectural definition. The square footage of the house was reduced by 675 square feet since the original proposal in 2005.

Oak Tree and Landscape Review

An Oak Tree Report was submitted and was reviewed by the City Oak Tree Consultant. The project will require the encroachment in the protected zone of seven (7) Oak trees located on site and one additional Oak tree off-site for the development of the site specifically the grading of the rear property. A mitigation measure in the form of planting is required for the expected significant encroachment of one oak tree.

A landscape plan was submitted for the City Landscape Consultant's review since the project involves graded hillside slopes. The proposed landscaping consists of lawn areas on both sides of the structure, decorative ground covers for the front yard, shrubs for the rear slopes and a mix of Jacaranda, Tulip Tree and Sycamore trees. The City Landscape Consultant has given tentative approval of the preliminary plan, subject to the attached draft conditions. A final landscape and irrigation plan will be reviewed by the City Landscape Consultant and the Los Angeles County Fire Department.

Engineering

The grading of the site will require 661 cubic yards of cut soil and 540 cubic yards of fill soil with a total export quantity of 121 cubic yards. The finished floor of the first floor of the residence is proposed at the 108.60-foot elevation, which would be an average of 12 feet above Renee Drive. The garage is proposed at the 96.35-foot elevation. Most of the proposed grading cuts are intended to accommodate the garage and the rear yard.

The driveway had to be designed so as to not exceed 15% slope, which dictated the pad elevation of the garage. Two retaining walls at the rear of the lot are needed for the proposed rear yard. One 6-foot high wall is proposed along the rear and side of the property to end at the front property line to retain the slope. The wall would be connected to the walls proposed on the adjacent property. A small wall is proposed, in front of it, to tie two segments of the main wall which will serve as a planter. Drainage was reviewed by the Engineering Department and conditioned accordingly. The applicant is required to extend and connect to the sewer. There is an existing short wall along the pavement that will remain; the wall is outside the property boundaries.

The applicant will be required to improve and maintain Renee Drive along the length of the parcel frontage. The City approved the vacation of Renee Drive in 2003. Since Renee Drive is a private street, the maintenance of the street is the responsibility of the property owners.

The City Geotechnical Consultant has reviewed the geotechnical reports prepared by Grover Hollingsworth and Associates, Inc. for this project. The City Geotechnical and Geological Consultant recommends approval of the reports at this planning review stage, subject to the compliance with conditions prior to the issuance of a Grading Permit.

Environmental Review

Staff finds that the single-family residence would not result in significant environmental impacts and is Categorically Exempt from the California Environmental Quality Act, in accordance with Section 15303, Class 3, Subsection (a) which exempts single-family residences construction from additional environmental review including a negative declaration or environmental impact report.

RECOMMENDATIONS

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 03-CUP-022 and Oak Tree Permit Case No. 05-OTP-011, subject to conditions, based on the findings of the attached Draft Resolution.

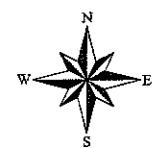
ATTACHMENTS

- Draft Resolution for Conditional Use Permit and Oak Tree Permit
- Conditions of Approval for Conditional Use Permit and Oak Tree Permit
- Exhibit A: Vicinity Map
- Exhibit B: Square Footage Analysis Map
- Exhibit C: City Oak Tree Consultant Memorandum
- Exhibit D: City Geotechnical/Geological Consultant Memorandum
- Exhibit E: Environmental Determination
- Exhibit F: Neighbors Letter
- Exhibit G: Architectural and Grading Plans
- Exhibit H: Rendering and Color and Material Board
- Exhibit I: Photographs of Surroundings

CASE PLANNER: Valerie Darbouze, Associate Planner

CONDITIONAL USE PERMIT - CASE NO. 03-CUP-022
CONDITIONAL USE PERMIT - CASE NO. 03-CUP-023
OAK TREE PERMIT - CASE NO. 05-OTP-011
OAK TREE PERMIT - CASE NO. 05-OTP-012

City of Agoura Hills
Project
Vicinity/Zoning
Map



PIROUTI RESIDENCES



CONDITIONAL USE PERMIT CASE NO. 03-CUP-022
 CONDITIONAL USE PERMIT CASE NO. 03-CUP-023
 OAK TREE PERMIT CASE NO. 05-OTP-011
 OAK TREE PERMIT CASE NO. 05-OTP-012

LEGEND

2,000 sqft. = House Square Footage
 10,000 sqft. = Lot Square Footage
 <2222 = House Address

Square Footage Analysis Map



Memo

To: Valerie Darbouze, City of Agoura Hills
From: Ann Burroughs for Kay Greeley, Landscape and Oak Tree Consultant
Date: April 6, 2011
Re: 03-CUP-022/05-OTP11 (Lot 5) and 03-CUP-023/05-OTP-012 (Lot 4) – Pirouti, Ashoor

We recommend the following comments be considered in connection with the review of the subject entitlement request:

There are a total of eleven (11) major clumps of Scrub Oak (*Quercus berberidifolia*) and one (1) Coast Live Oak tree (*Quercus agrifolia*) within the subject site which consists of two (2) adjoining lots. There is one (1) additional Coast Live Oak tree and one (1) additional Scrub Oak located on the adjacent property to the south.

The applicant proposes to construct one (1) single-family residence on each lot. We have separated direct impacts to the oak trees by lot as requested. However, impacts cannot be segregated entirely since the retaining walls would require redesign if either property were to be developed separately. During the design process the applicant revised the rear retaining walls, terrace and stairs to reduce the impacts to a number of the oak trees. However there would still be significant impacts to oak trees from the proposed construction.

Construction on Lot 4 would encroach within the protected zones of Oak Trees 1 through 6, all Scrub Oaks, and Oak Tree 12, a Coast Live Oak. Construction on Lot 5 would encroach within the protected zones of Oak Trees 2 through 6, 11, and 13, all Scrub Oaks, and Oak Tree 12.

The Oak Tree Ordinance limits overall oak tree removal to a maximum of ten percent (10%) of the protected zone of the oak resources overall. Based on our analysis the proposed development would result in direct impacts to twenty percent (20%) of the oak tree resource on and off the site. The proposed overall impact therefore would exceed the impact permitted by the Zoning Code.

Our analysis of proposed encroachments to the oak trees is detailed below. This analysis is based on the applicant's statement that grading impacts can be limited to a distance of two feet (2') behind the proposed retaining walls.

Oak Tree 1, a Scrub Oak, lies within the proposed graded pad for the structure on Lot 4. If the project is to proceed as proposed this oak would require removal to enable construction.

Construction of the retaining walls for both lots would encroach within the protected zones but not the driplines of Oak Trees 4, 5, 6, and 12, and for Lot 5 only, Oak Tree 11. Construction would also encroach within the protected zone and dripline of Oak Tree 3. The percentages of these encroachments vary from a low of two percent (2%) to a high of eighteen percent (18%) of the trees' protected zones. Encroachments within the dripline of Oak Tree 3 would amount to less than one percent (1%) of the protected zone and would encroach no closer than ten feet (10') from the trunk. It is our opinion these trees could survive the proposed direct impacts and would remain viable as long as the work is performed carefully.

Construction of the retaining wall for both lots would encroach within the protected zone and dripline of Oak Tree 2, impacting twenty-one percent (21%) of the protected zone. Encroachment within the

dripline would amount to one percent (1%) of the protected zone and grading would occur no closer than nine feet (9') from the trunk. The Municipal Code limits allowable impacts to individual trees to a maximum of twenty percent (20%) of the protected root zone, provided a determination can be made that the tree will remain viable. It is our opinion this tree could survive the proposed impacts and remain viable if the work is performed carefully. Therefore, we do not feel mitigation is required for this tree.

Construction of a retaining wall for Lot 5 would encroach within thirteen percent (13%) of the protected zone of Oak Tree 13, the off-site Scrub Oak. Although this amount of encroachment is not always significant enough to harm a tree, grading for a corner of the proposed retaining wall and concrete v-ditch would occur within thirty-inches (30") of the tree's trunk. For this reason we believe this impact may be significant enough to cause the tree to experience premature decline and death. We therefore recommend mitigation be required for Oak Tree 13.

Oak Trees 7, 8, 9, 10, and A, a Coast Live Oak, would be preserved in place with no direct impacts.

The proposed Landscape Plan provides a total of thirteen (13) new Coast Live Oak and Scrub Oak trees having a total diameter of thirteen and one-half inches (13-1/2"). Four (4) new Coast Live Oak trees would be planted, two (2) on each lot. Nine (9) new Scrub Oak trees, would be planted, six (6) on Lot 4 and three (3) on Lot 5. An additional four and one-half inches (4-1/2") of new oak tree diameter would be required to provide a total of eighteen inches (18") of trunk diameter of Coast Live Oak and Scrub Oak trees to mitigate for the removal of Oak Tree 1 and significant impacts to Oak Tree 13.

The planting of all proposed mitigation oak trees is subject to final site layout, site conditions such as rocky and/or excessively steep slope conditions, and review by the County of Los Angeles Fire Department Fuel Modification Unit. If any of these prevents planting of the total number of required mitigation oak trees on the subject site, equivalent alternative mitigation would be required through planting of mitigation trees off-site in a location acceptable to the Director and/or the establishment of an in-lieu fee. The amount of the in-lieu fee would be based upon tree appraisal standards contained in the 9th Edition of the Guide for Plant Appraisal. This fee would be paid by the applicant into the City of Agoura Hills Oak Tree Mitigation Fund.

If the project is to proceed as proposed our recommended conditions of approval are as follows:

Oak Trees:

1. The applicant is permitted to remove Oak Tree 1 to construct the approved site development plan for Lot 4. The diameter of the tree to be removed is nine and one-half inches (9-1/2").
2. The applicant is permitted to encroach within the protected zones of the following eight (8) oak trees in order to complete the approved site development program: Oak Trees 2, 3, 4, 5, 6, 11, 12, and 13.
3. No activities shall be permitted within the protected zones of the remaining five (5) oak trees, Trees 7, 8, 9, 10, and A. They shall be preserved in place with no direct impacts.
4. To mitigate the removal of Oak Tree 1, a Coast Live Oak, the applicant shall plant at least nine and one-half inches (9-1/2") of diameter of new oak trees within the landscape. The applicant shall plant at least four (4) native oak trees within the site to include a minimum of (1) thirty-six inch (36") box size and two (2) twenty-four inch (24") box size Coast Live Oak trees.
5. To mitigate the significant impact to the protected zone of Oak Tree 13, a Scrub Oak, the applicant shall plant at least eight and one-half inches (8-1/2") of diameter of new oak trees within the landscape. Since Scrub Oaks are seldom available in sizes larger than fifteen gallon (15-gal) containers, it is acceptable that the required mitigation Scrub Oaks be planted from small containers.
6. The exact species, planting sizes and planting locations of the mitigation oak trees shall be subject to review and approval by the City Oak Tree Consultant.
7. All excavation within the protected zones of Oak Trees 2, 3, 4, 5, 6, 11, 12, and 13 shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant.

8. Should the Director and the City Oak Tree Consultant determine that the required number of mitigation oak trees cannot be planted on the subject site in a practical fashion, equivalent alternative mitigation shall be established through the establishment of an in-lieu fee which the applicant shall pay into the City of Agoura Hills Oak Tree Mitigation Fund for the deficit. The amount of the in-lieu fee shall be based upon tree appraisal standards contained in the 9th Edition of the Guide for Plant Appraisal.
9. The mitigation oak trees shall be maintained in perpetuity. Should any of the mitigation oak trees decline or die, they shall be replaced in accordance with the provisions of the Oak Tree Preservation and Protection Guidelines.
10. The Grading Plan shall contain a note that states that no grading will occur more than two feet (2') from the back of any proposed wall. This must be reflected on the protective fencing plan.
11. Should the applicant or any subsequent property owner wish to add a property line fence along the southerly property line, he shall go through the City of Agoura Hills Oak Tree Permit process.
12. Prior to the start of any work or mobilization at the site, each oak tree to be preserved shall be fenced with temporary chain link fencing at the edge of the protected zone or at the approved work limits, in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations.
13. The applicant shall provide a forty-eight (48) hour notice to the City and the applicant's oak tree consultant prior to the start of any approved work within the protected zone of any oak tree.
14. No grading, scarifying or other soil disturbance shall be permitted within the portion of the protected zone of any oak tree not directly impacted by the project construction.
15. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
16. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified tree trimmer under the direct observation of the applicant's oak tree consultant. Pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning.
17. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
18. No irrigation or planting shall be installed within the drip line of any oak tree unless specifically approved by the City Oak Tree Consultant and the Director.
19. Prior to occupancy, each existing and new oak tree shall be mulched throughout the dripline with three inches (3") of approved organic mulch as needed to supplement natural leaf litter.
20. Within ten (10) days of the completion of work, the applicant's oak tree consultant shall submit written certification to the City. The certification shall describe all work performed and whether such work was performed in accordance with the above permit conditions.

Landscaping:

21. The final landscape plan shall generally conform to the approved preliminary landscape plan, as prepared by Elemental Landscapes, dated May 19, 2010.
22. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval

23. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements:
- a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
24. The Planting Plan shall indicate the botanical name and size of each plant.
25. Plant symbols shall depict the size of the plants at maturity.
26. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
27. The landscape plans shall prominently display the following notes:
- a. All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
 - b. All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
 - c. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
28. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
29. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.

04/06/11

MEMORANDUM: 03-CUP-022/05-OTP11 AND 03-CUP-023/05-OTP-012 - PIROUTI

30. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - a. Design and static pressures
 - b. Point of connection
 - c. Backflow protection
 - d. Valves, piping, controllers, heads, quick couplers
 - e. Gallon requirements for each valve
31. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
32. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
33. Poor landscape practices such as topping, hedging and "lollipoping" shall not be permitted and may require that plant materials be replaced with like size materials at the discretion of the City Landscape consultant.
34. Plants located in the planters below the retaining walls within the protected zones of the oak trees shall be irrigated with drip irrigation or bubblers only.
35. Proposed plant material shall not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.
36. The final plant palette shall reflect a naturalistic and native theme.
37. All plant material shall be considered compatible with Sunset Zone 18.
38. Any *Ailanthus altissima* (Tree of Heaven) shall be permanently eradicated. The landscape plans shall contain a note to this effect and specify the method of eradication.
39. The Landscape Plan shall be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department.

Please advise should there be any comments or questions.

Date: March 6, 2007
GDI #: 06.00103.0116**CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET**

To: Valerie Darbouze

Project Location: Lot 5, 28454 Renee Drive, Agoura Hills, California.

Planning Case #: 03-CUP-022/05-OTP-011/Pirouti

Building & Safety #: None

Geotechnical Report: GeoConcepts, Inc. (2007), "Update Report, Tract 8793, Lot 5, 28454 Renee Drive, Agoura Hills, California," Project 2606, dated January 10, 2007..

GeoConcepts, Inc. (2006), "Addendum Report No. 2, Tract 8793, Lot 5, 28454 Renee Drive, Agoura Hills, California," Project 2606, dated July 7, 2006.

GeoConcepts, Inc. (2004), "Supplemental Report No. 1, 5754 Renee Drive, Agoura Hills, California," Project 2606, dated November 19, 2004.

GeoConcepts, Inc. (2004), "Supplemental Report No. 1, 5754 Renee Drive, Agoura Hills, California," Project 2606, dated March 8, 2004.

GeoConcepts, Inc. (2003), "Preliminary Geologic and Soils Engineering Investigation, Proposed Single Family Residences, Tract 8793, Lots 4 & 5, Renee Drive, Agoura Hills, California," Project 2606, dated August 21, 2003.

Plans: John Dolinsky Associates, "Grading Plans and Grade Sections, Lot 4 and Lot 5, Renee Drive, Agoura Hills, California", 10-scale, dated 11-18-03.

Previous Reviews: January 29, 2004; March 30, 2004, November 29, 2004 and August 4, 2006 .

Findings

Geotechnical Report

 Acceptable as Presented Response Required**Remarks**

GeoConcepts, Inc. (GCI; consultant) provided an "Update Report" to address changes to the proposed development plans at Lot 5, 28454 Renee Drive, City of Agoura Hills, California. The proposed development includes construction of a single-family residence and retaining walls. The City of Agoura Hills - Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City.

Based upon the City's review, the referenced reports are acceptable as presented. Plan-Check comments should be addressed in Building & Safety Plan Check. A separate geotechnical submittal is not required for plan-check comments.

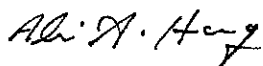
Plan-Check Comments

1. The name, address, and phone number of the Project Geotechnical Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad areas as recommended by the Consultant.
3. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly."*
4. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
5. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
6. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
7. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
8. Final grading, drainage, shoring, and foundation plans shall be reviewed, signed, and wet stamped by the project geotechnical consultant.
9. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and locations and elevations of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map. The as-built grading report shall include final foundation recommendations along with supporting calculations."*

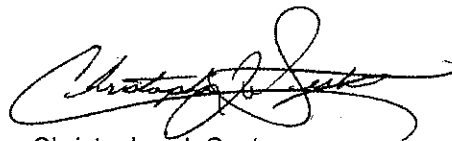
If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

GeoDynamics, INC.



Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)



Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/08)

Notice of Exemption

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, California 91301

County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 905690

Project Title: Pirouti Single Family Residences

Project Location-Specific: 28454 and 28458 Renee Drive
Agoura Hills, California
APN: 2061-021-036 and 2061-021-005

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: The 0.3 acre project site is vacant. Two homes, each with tucked-under garages, are proposed: (1) 1,874 square-foot home with a 616 square-foot garage; (2) 2,431 square-foot home with a 568 square-foot garage. The request is for a conditional Use Permit and Oak Tree Permit.

The site improvements include retaining walls to support the hillside in the rear of the project and retaining walls for the tucked-under garage. Access to the sites will be with two side-by-side driveways connecting to Renee Drive. Utilities will be brought to the site and the street repaved the width of both parcels. There are oak trees on the slopes of the parcels. It is expected that one oak tree will be removed and the grading will encroach in the protected zone of 8 other oak trees; five additional oak trees will remain intact. The property is adjacent to other developed residential properties.

Each proposed structure complies with the front, rear yard and side setback, height, and other relevant standards prescribed by the Residential Single-Family Density zoning classification. The aesthetic value of the project will be consistent with the area.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, California 91301

Exempt Status: (Check One)

- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.);
- No Possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3));
- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a);
- Emergency Project (14 Cal Code of Regs Sec. 15269(b),(c), (d) and (e));
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303

Reasons why project is exempt: This exemption is based on the finding that the actions which will result in the construction of a new structure which is within the exemptions contained in Section 15300 of the list of permitted exemptions in CEQA Guidelines, Class 3. This exemption consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include, but are not limited to:

- (a) One single-family residence, or a second dwelling unit in a residential zone (...)."

This project is, in fact, served by all necessary public services and facilities and is not located in an environmentally sensitive area. Review of the evidence in the record as a whole, including an architectural plans, grading and street improvement plans and review of City and State CEQA thresholds applicable to the project, shows that the request demonstrates that the project meets these criteria. Therefore, this project will not have a significant impact on the environment and consequently, the project is exempt from further CEQA review.

Lead Agency Contact Person: Valerie Darbouze, Associate Planner

Area Code/Telephone/Extension: (818) 597-7328

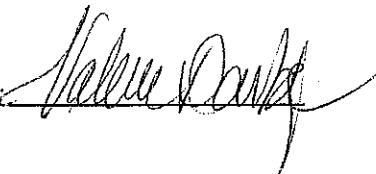
Signature:  Date: 4/26/2011 Title: Associate Planner

EXHIBIT H

RESIDENTS' LETTERS

Mike Kamino

From: Patti Merrill [pattimerrill@earthlink.net]
Sent: Tuesday, May 03, 2011 4:13 PM
To: Mike Kamino
Subject: planning commission meeting

MR.KAMINO,

I WAS ON A CONFERENCE CALL WITH VALERIE , AND MY NEIGHBORS TODAY, REGARDING THE PLANNING OF 2 HOMES ON RENNE DR. THAT IS ON THE SCHEDULE FOR THIS THURSDAY'S MEETING.

IT SEEMS THAT THIS PROJECT HAS GOTTEN A LOT FURTHER ALONG THAN ANY OF US KNEW ABOUT .

I DON'T KNOW HOW THIS KEEPS COMING BACK TO PLANNING WITH THE SAME 2 HOUSES, DOWN SCALED A LITTLE, (VERY LITTLE) BUT THE SAME 2 HOUSES,

SINCE THE LATE 80'S ! THESE 2 ,VERY TALL HOUSES DO NOT BELONG ON THIS LOT ! IT IS A VERY SMALL LOT . ON A NARROW STREET THAT DEAD ENDS WITH NO TURN AROUND .

MOST IMPORTANT ! THEY WOULD BE IN FRONT OF MY HOUSE , THAT FACES OUT OVER LOT 4&5, THE ELEVATION DROPS DOWN ABOVE LOT 4, AND -MY DECK IS BEHIND LOT 4,

WE WOULD BE LOOKING AT A GIANT STUCCO WALL INSTEAD OF WHAT IS NOW A BEAUTIFUL (MORE THAN 180 VIEW) HOW COULD PLANNING EVEN CONSIDER THIS ?

IT SAYS IN THE ZONING LAWS THAT "PRESERVING THE VIEW SHED SHALL BE ONE OF THE MAIN CRITERIA IN DETERMINING WHETHER A ONE OR 2 STORY STRUCTURE IS BEST FOR THE SITE. "

IT ALSO SAYS THAT WHEN THE ELEVATION OF THE REAR LOT LINE IS ABOVE THE AVERAGE ELEVATION OF THE FRONT LOT LINE, NO BUILDING OR STRUCTURE SHALL EXCEED A HEIGHT O 15 FEET.

WE ARE IN A HILLSIDE AND SIGNIFICANT ECOLOGICAL AREA , AND THIS IS A VERY UNIQUE LITTLE VALLEY HERE IN INDIAN HILLS, AND WE DO WANT TO PROTECT IT, FROM GROSS OVER BUILDING LIKE THIS. THIS IS TRULY " INCOMPATIBLE DEVELOPMENT "

THIS IS ONE OV THE LAST BUILDING SITES IN THIS VALLEY. PLEASE, LET US PRESERVE WHAT IS LEFT OF THE NATURAL TERRAIN , QUALITY ENVIRONMENT ,AND AESTHETIC CHARACTER.

THE LAST TIME THIS WAS BEFORE THE PLANNING , IT WAS MY UNDERSTANDING, THAT THE BUILDERS WERE TOLD TO GO BACK AND RE DESIGN SOMETHING THAT WOULD FIT INTO THE HILL , WITH A YARD, AND A MORE RURAL , NEIGHBOR FRIENDLY, KIND OF FEEL.

I WAS ASKED WHAT I WOULD LIKE TO SEE THERE, I TOLD THEM THAT I WOULD LIKE TO SEE A LONG LOW HOUSE, MAYBE BUMPED UP IN THE BACK WITH A LOW SECOND STORY LOFT, ON THE LOT 5 PART, THEN TAPER OF F ON

TO LOT 4 , LOW, WITH A YARD, SO YOU CAN SEE AROUND THE BLIND
CURVE !!

MAKE THE HOUSE FIT THE LOT, (LIKE THE HOUSE AT THE CORNER OF DRIVER
AND LEWIS IN OLD AGOURA,) THE HOUSE CURVES AROUND THE CORNER TO FIT, ITS DONE
REALY WELL.

THIS SAME PLAN, OR MANY DIFFERENT VERSIONS OF IT , HAVE BEEN
REJECTED OVER AND OVER, PLEASE , HAVE THEM DESIGN SOMETHING
THAT FITS INTO
THE HILL, AND INTO THE NEIGHBORHOOD.

THANK YOU , PATTI MERRILL

Sheila Keckhut

From: Valerie Darbouze
Sent: Wednesday, May 04, 2011 3:22 PM
To: Mike Kamino
Subject: FW: Indian Hills , lots

-----Original Message-----

From: Patti Merrill [<mailto:pattimerrill@earthlink.net>]
Sent: Wednesday, May 04, 2011 3:18 PM
To: Valerie Darbouze
Subject: Indian Hills , lots

Valerie ,

The way we heard the story , is that----- These lots were subdivided in the 1920's, A developer came in and subdivided this valley to build little summer cabins for people who would come out here for the summer, mainly motion picture crew. this never happened , so we were stuck with a valley full of tiny little lots.

Then, when we became a city , the city said these lots are too small to be built on , so..... anyone with more than one lot MUST merge them into one parcel.

that was how it was when mr. moldavon bought it, (the owner before Mr. Vandenberg) was told by the city, that he could only build one house on those three lots .

Then mr. vandenberg was also told that he could only build one house, on those three lots, he did build one house , and sold it off , with one lot !

then he put one of the lots in his wife's name, and one in his name. It goes on from there you can see , he tried dedicating the hillside to open space to get his plan through, this did not work out for him so he took the dedication back ! he tried many more times to get his two big tall houses in, he could not do it !

SO he sold the property WITH the SAME plans , to Mr. Pirouti..... who has continued on with the same exact plans. with very small changes.

These 2 houses, together, add up to about 4.0000 sq ft on this small lot , and 35 ft tall thats like putting an apartment building in front of my house !!!! IN OUR VIEW

The zoning now is one house per 20.000 ft. what is the size of those 2 lots ??? 10 maybe 12,000 ft. ????? not large enough

for one house !

Please pass this on to panel members....

Thank you, Patti Merrill
818 889 2206

Questions for Planning Committee

Re: Public Hearing Scheduled for April 21st, 2011
Case #03-CUP-023 & 05-OTP-012
And Case #03-CUP-022 & 05-QTP-011

To Whom It May Concern:

My name is Deborah Rahm. I live next door to the 2 lots that are under review for development. My home address is: 28464 Renee Drive, Agoura Hills, Lot 3, APN: 2061-021-026. The following are questions I would like addressed at this hearing:

TOPIC #1

1. Is the city taking any responsibility for this development being that the city (per their sign on Renee Drive) does NOT maintain the road past my house, i.e. "private read"?
2. And if the city is not assuming any responsibility than who is?
3. What happens if the road is damaged?
4. What are our rights as homeowners if the road is damaged during construction?
5. And if the city assumes no responsibility how does that impact the current residences with respect to their public safety?
6. Where will the nearest fire hydrant be?
7. What are the codes re: Fire Hydrants and the Fire Department, i.e.:
 - Distances between hydrants
 - Turn around radius for the Fire Trucks (as there is NONE)
 - Pumping water pressure for fire hydrants
 - Availability of H2O for the area
8. Does any of the Fire authorities need to approve these plans as well?
9. Does the fact that at the top of Renee Drive, the home owner Terry Aherns, built an enclosed gate for his home; which denies any Fire trucks access/entry to the fire roads for out street?

TOPIC #2

1. What exactly is the owner's/builder's obligation to the current homeowners?
2. **More specifically, what are my rights? As I am the only home in the building zone area with respect to noise; dirt damage; and any and all other possible damages?**
3. What are our rights from the city as well? Being that the city will be the entity approving the development.
4. Will the land owner, Mr. Ashoor Pirouti be responsible for the widening of the current road? Being that the street is so narrow now that it can not even handle the current traffic, with the existing residences going in and out?
5. **Is the city aware of the "blind spot" on this street; esp. if developed?**
6. Where are his construction trucks going to park? As there is no room on the street!
7. And what happens if they do park in the street? What are our rights as current residences, as it will block all ingress/egress for our street?

TOPIC #3

1. Is the current owner, Ashoor Pirouti, working on the pre-approved plans from the previous owner, Vandenberg's, lawsuit?
2. If so, is he honoring Vandenberg's original promise to the city from when he owned these 2 lots including mine, with respect to the size of the homes he would build per lot, the amount of space he would dedicate to the city per lot, set back lines per lot, etc..??
3. How long are those original plans good for?
4. And if the new owner modified the original plans would the decision from the lawsuit still be valid?
5. If yes, how long is it valid for?
6. HOWEVER, if he did modify the original plans, how come there was no public hearing for the modification?
7. What plans have been approved so far? Site Plans? Tentative Tract Map? Final Tract Map?
8. Has Mr. Pirouti already been approved to build based on the spec per the hearing notice?
9. Have permits been pulled and approved?
10. Has he submitted a topography map?
11. Has he submitted a proper survey?
12. Has there been any recordation yet?
13. Were there or are there any conditions to his approval?

TOPIC #4

1. Has his designs been approved by the "review board"?
2. What is the city's minimum lot size per home?
3. What are the set back codes/guidelines for our area and his development?
4. What are the city ordinances regarding this?
5. What are the city's height requirements?
6. Why are his garages so big? Aren't standard sizes 400 sq. ft.?

I realize I have addressed a lot of questions/concerns regarding this matter and perhaps beyond the scope of what may be matters to be discussed at the hearing. But because I do not recall ever having a formal hearing regarding this development, in any way shape or form, my need to have these issues addressed is imperative, especially topics 1 & 2, given I am the one and only homeowner that will be immediately impacted by this construction/development.

Please make copies of this letter for all the committee members who will be attending the hearing on April 21st, 2011 as I would like all these questions/concerns to be addressed by the committee at this hearing.

Sincerely,



Deborah Rahm

Home Owner

(c) 818.618.3593

Steve Oshiro
28354 Laura La Plante Drive
Agoura Hills, CA 91301
805-807-5094 2011 MAY -5 AM 8:52
onosteevo@yahoo.com

May 4, 2011

City of Agoura Hills
Department of Planning and Community Development
30001 Ladyface Court
Agoura Hills, CA 91301

Re: Case Nos. 03-CUP-022 and 05-OTP-011

To Whom It May Concern:

I am writing this letter to express my concerns over the above-proposed development plans.

The two homes planned would significantly impact the privacy that my household currently enjoys. These two homes would be built directly behind my home on an elevated property. The front of these two homes would be looking directly into three of my home's bedrooms as well as my living room and dining room. The homes proposed would also be looking directly over my entire back yard.

In addition to the above, these proposed homes would considerably reduce the views of my home and the surrounding homes by eliminating the current hillside view.

I would ask that you consider a compromise of appropriately sized one-story homes, as this would be reasonable considering the location and configuration of the property.

Very truly yours,

Steve Oshiro



Mike Kamino

From: Terry Ahern [tahern@glamr.com]
Sent: Tuesday, May 03, 2011 4:57 PM
To: Mike Kamino
Subject: RE: Request of Line of Sight Assessment

Thank you Mike. I want each one of my emails forwarded to the planning commissioners. I don't get paid to do this, it's for the love of our city. If it wasn't for Valerie and I talking, I wouldn't have known about this until the sign went up. We are pissed that planning dept. even allowed the plans to get this far since it's an obvious infringement of sight. Respectfully. Terry

From: Mike Kamino [mailto:mkamino@ci.agoura-hills.ca.us]
Sent: Tuesday, May 03, 2011 4:49 PM
To: Terry Ahern
Subject: RE: Request of Line of Sight Assessment

Terry,
I am responding to your 2 other emails to me. At Thursday's meeting, the Planning Commission will take public testimony and can approve, deny, or continue the item. You can ask the Planning Commission at the meeting for a line of sight study and it would be up to the Planning Commission to continue it for that reason. You should also look at the plans that Valerie sent you to see what the differences are in proposed bldg. height vs. existing houses to the south.

I can forward your email below to the Planning Commissioners prior to Thursday's meeting. If you have any other comments, you can email those to me and I will forward to members of the Commission.

Please feel free to contact me if you have any questions.

Mike Kamino
Director of Planning and Community Development
City of Agoura Hills
(818) 597-7321

From: Terry Ahern [mailto:tahern@glamr.com]
Sent: Tuesday, May 03, 2011 12:31 PM
To: Mike Kamino
Cc: 'Deborah Rahm'; pattimerrill@earthlink.net; Valerie Darbouze
Subject: Request of Line of Sight Assessment

We the neighbors and the Indian Hills homeowners Association request a Line of Sight Study before this goes in front of the commission. I am copying all the neighbors since we feel the sensitivity of the property is warranted.

Terry Ahern
Global Leadership & Management Resources Inc.
818 782 6880 Cell 818 335 0500 <http://www.glamr.com> <mailto:tahern@glam.com>

May 9, 2011

Dear Homeowner:

This past Thursday, May 5th, the Agoura Hills Planning Commission voted 2-2 (2 for, 2 against) to the building of two new homes on Renee Drive. (Case Nos. 03-CUP-123 w/ 05-OTP-012 and case 03-CUP-022 w/ 05-OTP-011). (The artist's rendition of the two homes are attached to this notice.) After 5 years of revisions; permission to commence the construction of the two medium sized homes was denied.

One of the homeowners and project opponent, Mr. Ahern, represented to the Planning Commissioners that he was there speaking as President of the Laura La Plante Homeowner's Association, on behalf of neighbors in our community. As a resident of this community since 1998, I was surprised that Mr. Ahern was there representing our interests under the guise of a non-existent HOA.

The purpose of this notice is to get verification from you (below), as a homeowner in our community, that you, in fact, are not aware of any such HOA, nor are a member of such an HOA, nor have you elected Mr. Ahern to represent you before the City with respect to this matter, or any other matter that affects our community. This information will be provided to the Planning Commissioners, and/or City Council Members at the upcoming appeal hearing of the above-cases.

I, Dominic Bartolone, as a homeowner and resident at 28428 Lewis Place,
Agoura Hills, CA 91301, for the past 4 years, do state that to the best of my knowledge, there is no Laura La Plante Homeowner's Association, nor have I directed or authorized Mr. Ahern to represent me at any public hearing before the City in connection with the above-case numbers or otherwise. Please feel free to contact me at the number/email below should you have any further questions. Thank you.


Signature

Telephone Number: 805-217-5209

E-Mail Address: Domji777@yahoo.com

May 9, 2011

Dear Homeowner:

This past Thursday, May 5th, the Agoura Hills Planning Commission voted 2-2 (2 for, 2 against) to the building of two new homes on Renee Drive. (Case Nos. 03-CUP-123 w/ 05-OTP-012 and case 03-CUP-022 w/ 05-OTP-011). (The artist's rendition of the two homes are attached to this notice.) After 5 years of revisions; permission to commence the construction of the two medium sized homes was denied.

One of the homeowners and project opponent, Mr. Ahern, represented to the Planning Commissioners that he was there speaking as President of the Laura La Plante Homeowner's Association, on behalf of neighbors in our community. As a resident of this community since 1998, I was surprised that Mr. Ahern was there representing our interests under the guise of a non-existent HOA.

The purpose of this notice is to get verification from you (below), as a homeowner in our community, that you, in fact, are not aware of any such HOA, nor are a member of such an HOA, nor have you elected Mr. Ahern to represent you before the City with respect to this matter, or any other matter that affects our community. This information will be provided to the Planning Commissioners, and/or City Council Members at the upcoming appeal hearing of the above-cases.

I, Chris Stone, as a homeowner and resident at 28401 Lewis
Place, for the past 2 years, do state that to the best of my knowledge, there is no Laura La Plante Homeowner's Association, nor have I directed or authorized Mr. Ahern to represent me at any public hearing before the City in connection with the above-case numbers or otherwise. Please feel free to contact me at the number/email below should you have any further questions. Thank you.

Chris Stone
Signature

Telephone Number: 213 926-8855

E-Mail Address: Stone@idealab.com

May 9, 2011

Dear Homeowner:

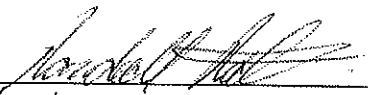
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The purpose of this notice is to get verification from you (below), as a homeowner in our community, that you, in fact, are not aware of any such HOA, nor are a member of such an HOA, nor have you elected Mr. Ahern to represent you before the City with respect to this matter, or any other matter that affects our community. This information will be provided to the Planning Commissioners, and/or City Council Members at the upcoming appeal hearing of the above-cases.

I, Randall Ralston, as a homeowner and resident at 28316

Laura La Plante Agoura Hills 91301, for the past 32 years, do state that to the best of my knowledge, there is no Laura La Plante Homeowner's Association, nor have I directed or authorized Mr. Ahern to represent me at any public hearing before the City in connection with the above-case numbers or otherwise. Please feel free to contact me at the number/email below should you have any further questions. Thank you.


Signature

Telephone Number: 818-991-1078

E-Mail Address: RRalston@AOL.com

May 9, 2011

Dear Homeowner:

This past Thursday, May 5th, the Agoura Hills Planning Commission voted 2-2 (2 for, 2 against) to the building of two new homes on Renee Drive. (Case Nos. 03-CUP-123 w/ 05-OTP-012 and case 03-CUP-022 w/ 05-OTP-011). (The artist's rendition of the two homes are attached to this notice.) After 5 years of revisions; permission to commence the construction of the two medium sized homes was denied.

One of the homeowners and project opponent, Mr. Ahern, represented to the Planning Commissioners that he was there speaking as President of the Laura La Plante Homeowner's Association, on behalf of neighbors in our community. As a resident of this community since 1998, I was surprised that Mr. Ahern was there representing our interests under the guise of a non-existent HOA.

The purpose of this notice is to get verification from you (below), as a homeowner in our community, that you, in fact, are not aware of any such HOA, nor are a member of such an HOA, nor have you elected Mr. Ahern to represent you before the City with respect to this matter, or any other matter that affects our community. This information will be provided to the Planning Commissioners, and/or City Council Members at the upcoming appeal hearing of the above-cases.

I, Thomas Swift as a homeowner and resident at 28310 Laura La Plante
Agoura Hills, CA 91301 for the past 25 1/2 years, do state that
to the best of my knowledge, there is no Laura La Plante Homeowner's Association, nor have I
directed or authorized Mr. Ahern to represent me at any public hearing before the City in
connection with the above-case numbers or otherwise. Please feel free to contact me at the
number/email below should you have any further questions. Thank you.

Signature

Telephone Number:

(818) 389-9989

E-Mail Address:

SWIFTNINJA@YAHOO.COM

May 9, 2011

Dear Homeowner:

This past Thursday, May 5th, the Agoura Hills Planning Commission voted 2-2 (2 for, 2 against) to the building of two new homes on Renee Drive. (Case Nos. 03-CUP-123 w/ 05-OTP-012 and case 03-CUP-022 w/ 05-OTP-011). (The artist's rendition of the two homes are attached to this notice.) After 5 years of revisions; permission to commence the construction of the two medium sized homes was denied.

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I, Becky Salan-Motta, as a homeowner and resident at 28320 Laura La Plante Dr., Agoura Hills, CA, for the past 13 years, do state that to the best of my knowledge, there is no Laura La Plante Homeowner's Association, nor have I directed or authorized Mr. Ahern to represent me at any public hearing before the City in connection with the above-case numbers or otherwise. Please feel free to contact me at the number/email below should you have any further questions. Thank you.


Signature

Telephone Number:

(805) 338-1203

E-Mail Address:

Becky.Salan@gmail.com

May 9, 2011

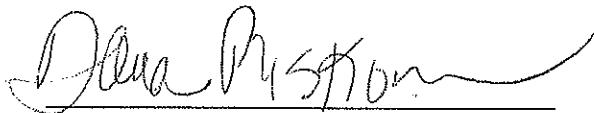
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I, Dana Puzkorn, as a homeowner and resident at 28313
Laura la Plante, for the past 20 years, do state that to the best of my knowledge, there is no Laura La Plante Homeowner's Association, nor have I directed or authorized Mr. Ahern to represent me at any public hearing before the City in connection with the above-case numbers or otherwise. Please feel free to contact me at the number/email below should you have any further questions. Thank you.



Signature

Telephone Number

818 889 9248

E-Mail Address: _____

May 9, 2011

Dear Homeowner:

This past Thursday, May 5th, the Agoura Hills Planning Commission voted 2-2 (2 for, 2 against) to the building of two new homes on Renee Drive. (Case Nos. 03-CUP-123 w/ 05-OTP-012 and case 03-CUP-022 w/ 05-OTP-011). (The artist's rendition of the two homes are attached to this notice.) After 5 years of revisions; permission to commence the construction of the two medium sized homes was denied.

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I, VLADIMIR ZLATKOV as a homeowner and resident at 28331 LAURA LA PLANTE

_____, for the past 5 years, do state that to the best of my knowledge, there is no Laura La Plante Homeowner's Association, nor have I directed or authorized Mr. Ahern to represent me at any public hearing before the City in connection with the above-case numbers or otherwise. Please feel free to contact me at the number/email below should you have any further questions. Thank you.

Signature

Telephone Number:

E-Mail Address:

818 625-2556

VRZ@PACBELL.NET

May 9, 2011

Dear Homeowner:

This past Thursday, May 5th, the Agoura Hills Planning Commission voted 2-2 (2 for, 2 against) to the building of two new homes on Renee Drive. (Case Nos. 03-CUP-123 w/ 05-OTP-012 and case 03-CUP-022 w/ 05-OTP-011). (The artist's rendition of the two homes are attached to this notice.) After 5 years of revisions; permission to commence the construction of the two medium sized homes was denied.

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I, Melodie Kersey, as a homeowner and resident at 28406 Lewis Place,
Agoura Hills, CA 91301, for the past 4 1/2 years, do state that to the best of my knowledge, there is no Laura La Plante Homeowner's Association, nor have I directed or authorized Mr. Ahern to represent me at any public hearing before the City in connection with the above-case numbers or otherwise. Please feel free to contact me at the number/email below should you have any further questions. Thank you.

M. Kersey
Signature

Telephone Number: 818-451-9412

E-Mail Address: melmakco11@hotmail.com

May 9, 2011

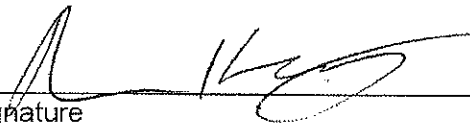
Dear Homeowner:

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I, DAVID KERSEY, as a homeowner and resident at 28406 LEWIS PL.
AGOURA HILLS, CA 91301, for the past 4 1/2 years, do state that to the best of my knowledge, there is no Laura La Plante Homeowner's Association, nor have I directed or authorized Mr. Ahern to represent me at any public hearing before the City in connection with the above-case numbers or otherwise. Please feel free to contact me at the number/email below should you have any further questions. Thank you.


Signature

Telephone Number: 818-652-6716

E-Mail Address: DAVIDM KERSEY@HOTMAIL.COM

May 9, 2011

Dear Homeowner:

This past Thursday, May 5th, the Agoura Hills Planning Commission voted 2-2 (2 for, 2 against) to the building of two new homes on Renee Drive. (Case Nos. 03-CUP-123 w/ 05-OTP-012 and case 03-CUP-022 w/ 05-OTP-011). (The artist's rendition of the two homes are attached to this notice.) After 5 years of revisions; permission to commence the construction of the two medium sized homes was denied.

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I, ERIC MAHER, as a homeowner and resident at 29437
Lewis Place, for the past 6 years, do state that to the best of my knowledge, there is no Laura La Plante Homeowner's Association, nor have I directed or authorized Mr. Ahern to represent me at any public hearing before the City in connection with the above-case numbers or otherwise. Please feel free to contact me at the number/email below should you have any further questions. Thank you.



Signature

Telephone Number:

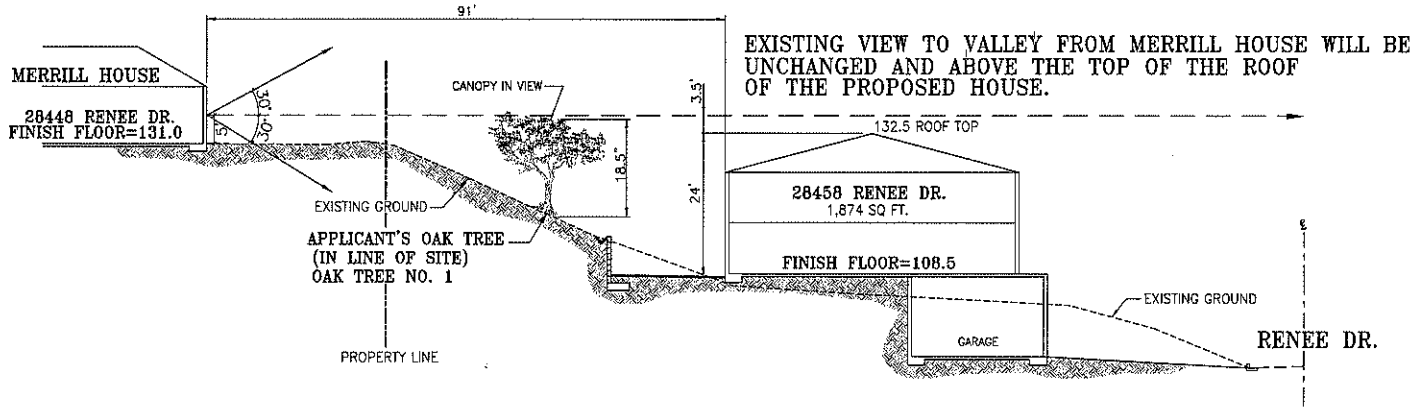
(818) 523-8930

E-Mail Address:

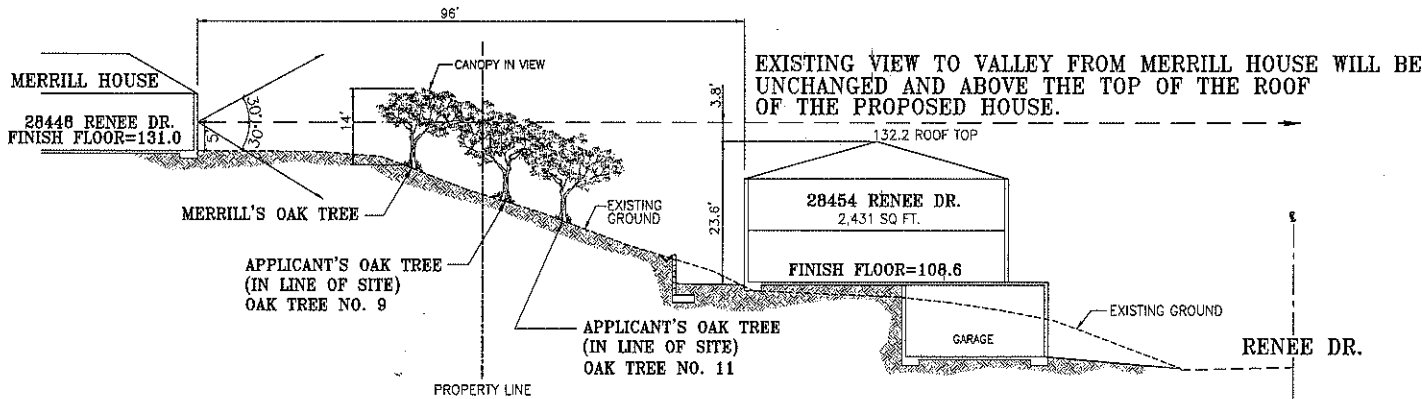
emaher@flamecorp.com

EXHIBIT I

CROSS SECTION PLANS



VIEW 1A LOOKING NORTH FROM MERRILL HOUSE OVER 28458 RENE DR.



VIEW 1B LOOKING NORTH & WEST FROM MERRILL HOUSE OVER 28454 RENE DR.

Views 1A and 1B - No View Impact - Merrill House

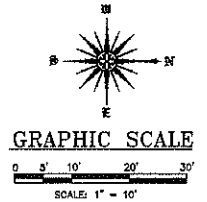
The owner of 28448 Renee Dr (Patty Merrill) is concerned she will lose "views" looking across (north) one or both of the proposed single family homes.

Towards the end of the 5/5/11 hearing the Commission requested view elevations from the Merrill House *verified to scale*.

The Commission reviewed one view elevation towards the end of the hearing which depicted findings identical to two elevations presented here.

The two new elevations - signed and stamped as accurate by a licensed engineer *and* architect and based on *finish floor elevations of all three houses* - demonstrate the following:

- The Merrill House is a minimum of 91 ft from the rear façade of either proposed house.
- The dotted line arrow shows that Merrill's view of 28458 Renee (west house) will be *through three existing, 18.5 ft. tall oak trees* which must remain. One of the existing oak trees is on Merrill's property.
- The dotted line arrow illustrates that Merrill's view of 28454 Renee (east house) will be *through one existing, 19 ft. tall oak tree* which will must remain on the applicant's lot.
- **NEITHER OF THE TWO PROPOSED HOUSES WILL CREATE AN UNMITIGATED VIEW OR PRIVACY IMPACT FOR MERRILL.**



DATE: 8/11/2011

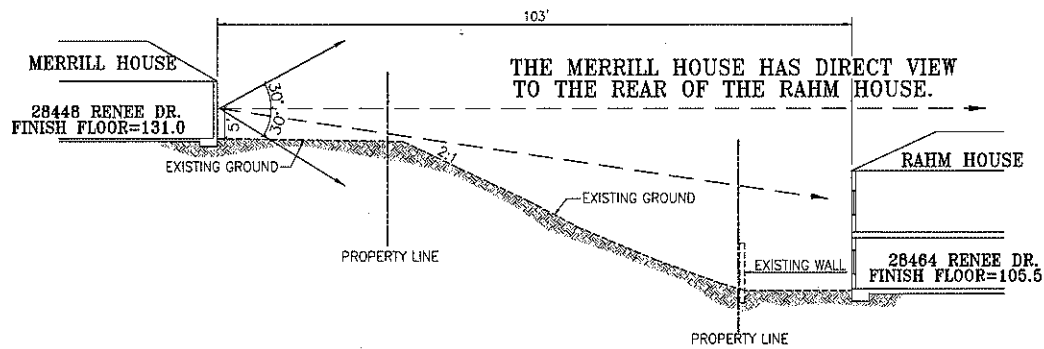
JK ASSOCIATES THE CHOICE
OPEN CONCEPT DESIGNERS
1000 ONE CENTER ST. SUITE 200, SUITEWAY, CA 94501
TEL: (925) 885-1885 FAX: (925) 885-1810

ENGINEER _____ DATE _____



**MERRILL HOUSE
VIEW ELEVATIONS**

PROJECT NO. _____ SHEET 1 OF 3

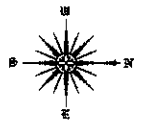


View 3 - Existing View Impact / Lack of Privacy - Merrill to Rahm House

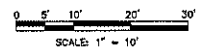
This view and site plan show the following:

- The rear of the Merrill House is 103 ft from the rear of the Rahm House
- The Merrill House has a clear view of the south façade and backyard of the Rahm House.
- The Rahm House has existing privacy impacts due to the view from the Merrill House to the Rahm House.
- **NEITHER OF THE TWO PROPOSED HOUSES WILL IMPACT VIEW FROM RAHM HOUSE.**

**VIEW 3 LOOKING NORTH AND WEST FROM MERRILL HOUSE TO RAHM HOUSE:
SIGHT LINE CROSSES LOT 4 - NO TREES IN SIGHT LINE.**



GRAPHIC SCALE



DATE: 8/11/2011

PREPARED BY:
JK ASSOCIATES THE CHOICE
CITY CONSULTING ENGINEERS
1000 LAW CENTER PK. SUITE 400, SUITE 400
TUC (915) 997-1100 FAX (915) 997-0170



**RAHM HOUSE
VIEW ELEVATION**

ENGINEER

DATE

PROJECT NO. _____

SHEET 2 OF 3

CITY OF AGOURA HILLS DWG. NO. _____

View 2 - Proof of No View Impact – Rahm House

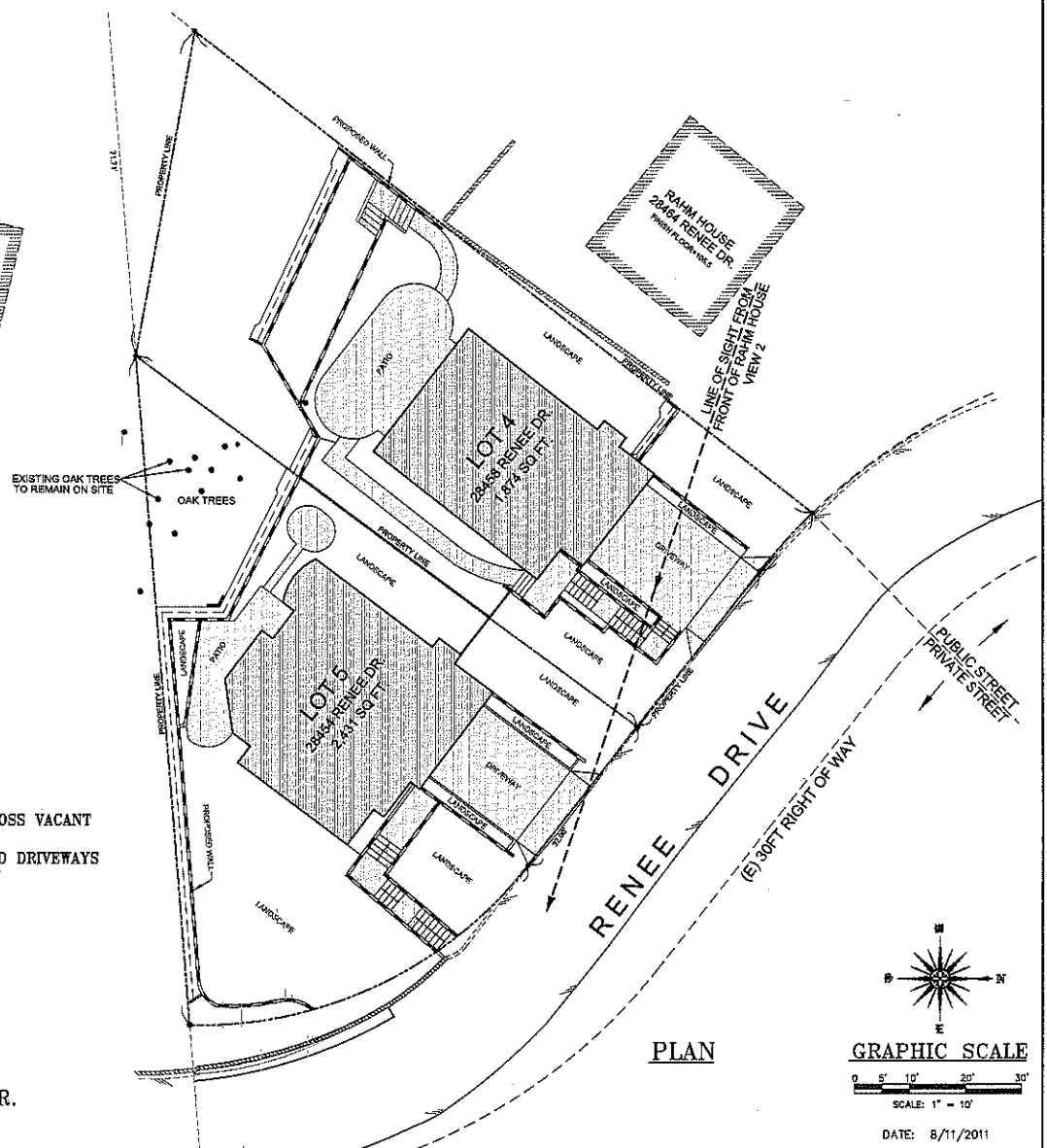
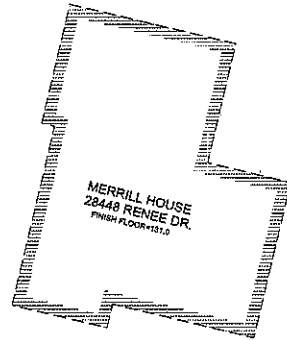
The owner of 28464 Renee Dr (Debbie Rahm) is concerned she will lose a "view" looking across one or both of the proposed single family homes.

The Commission heard testimony that there is an existing six ft tall cinder block wall along the common east property line that prevents Rahm from looking over the wall towards either proposed house.

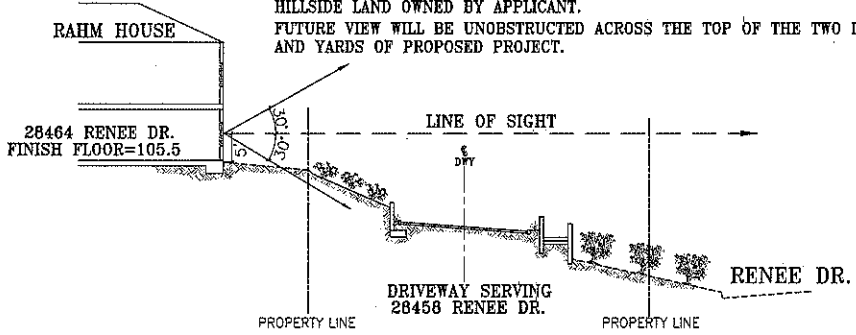
The Commission heard testimony and viewed photographs that show (i) the east elevation of the Rahm house is blindsided towards the proposed houses with only one small window along its east façade – demonstrating there is no view from the first or second floor of Rahm towards the proposed homes.

The applicant is again presenting the site plan looking east from the Rahm House to demonstrate the following.

- The east side of the Rahm House is a minimum of 20 ft from the west façade of the westerly proposed house.
- A person walking along the common property line cannot see over Rahm's existing six ft tall wall.
- A person walking in Rahm's front yard north of the existing wall looks across the landscaped front yard of the proposed homes rather than at the existing vacant offsite hillside land that Rahm doesn't own.
- **NEITHER OF THE TWO PROPOSED HOUSES WILL CREATE AN UNMITIGATED VIEW OR PRIVACY IMPACT FOR RAHM. THE RAHM HOUSE WAS PREVIOUSLY DESIGNED TO MITIGATE ANY LOSS OF PRIVACY BY ELIMINATING VIEWS TO THE EAST.**



EXISTING VIEW FROM FRONT OF RAHM HOUSE LOOKING EAST IS ACROSS VACANT HILLSIDE LAND OWNED BY APPLICANT. FUTURE VIEW WILL BE UNOBSTRUCTED ACROSS THE TOP OF THE TWO DRIVEWAYS AND YARDS OF PROPOSED PROJECT.



VIEW 2 LOOKING NORTH AND EAST TO VALLY FROM RAHM HOUSE ACROSS PROPOSED FRONT YARDS

JK ASSOCIATES THE CHOICE <small>CREATIVE ENGINEERS</small> 1000 LAW OFFICE PL. SUITE 201, AGOURA HILLS, CA 91301 TEL: (916) 897-3940 FAX: (916) 247-2870	PREPARED BY 	CITY OF AGOURA HILLS	RAHM HOUSE VIEW ELEVATIONS
	ENGINEER DATE		

DATE: 8/11/2011
CITY OF AGOURA HILLS DWS, INC.

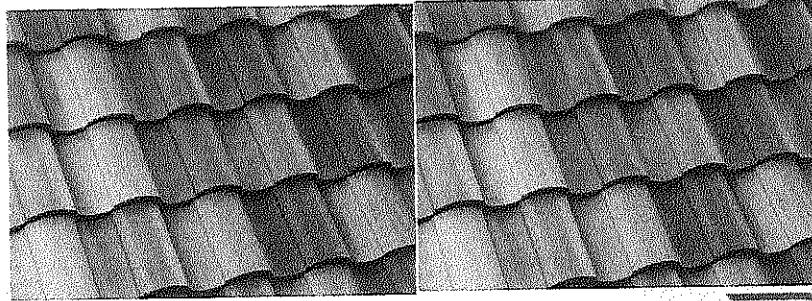
EXHIBIT J

REDUCED COPY OF PROJECT PLANS
(LOT 4)



STU3DID.COM

28458 RENEE DRIVE
AGOURA HILLS, CA



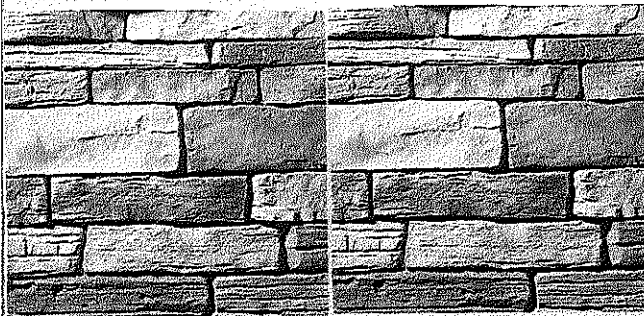
No: SHC8711
Name: Puesta Del Sol Blend

★★★No: SHC8711
Name: Puesta Del Sol Blend



1 *American Heirloom*

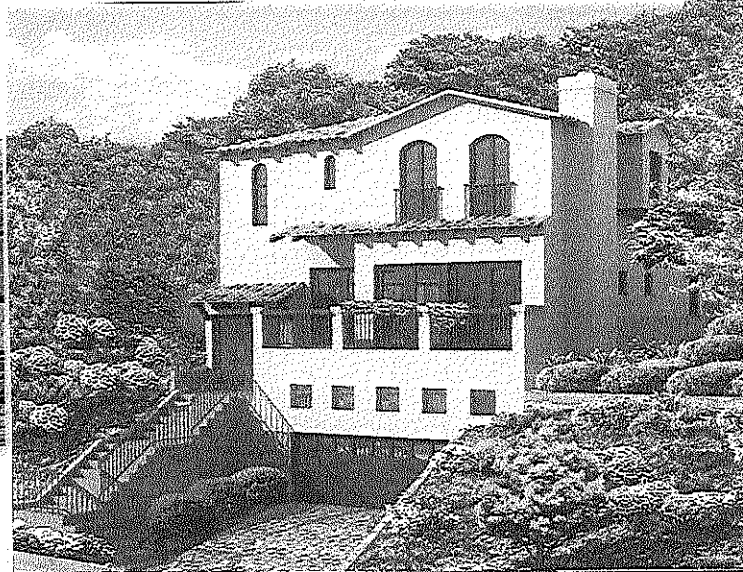
Boulder
CREEK
STONE PRODUCTS



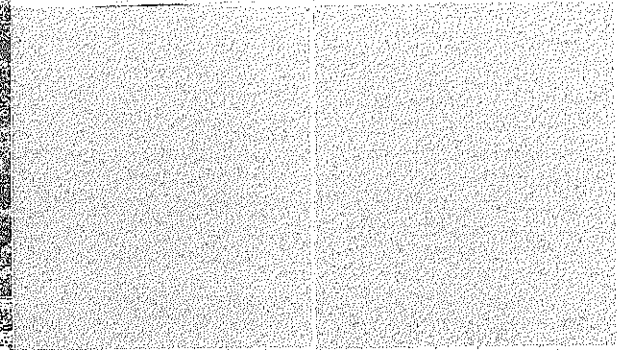
Bristol
55140-7

Bristol
55140-7

WEATHERED EDGE

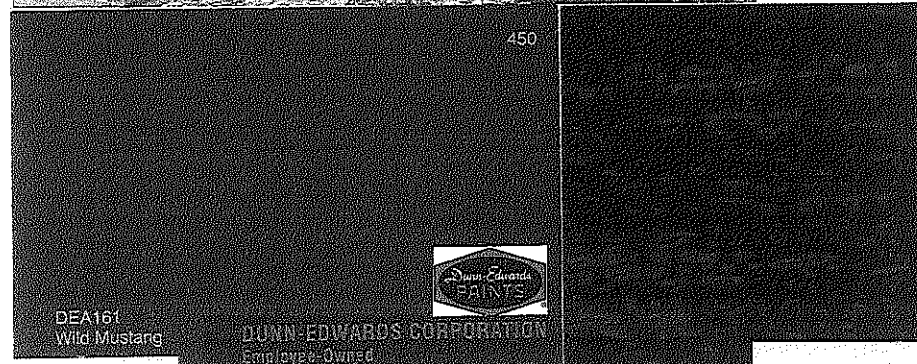


Shamrock Stucco



44 Inca Beige
B-200

44 Inca Beige
B-200



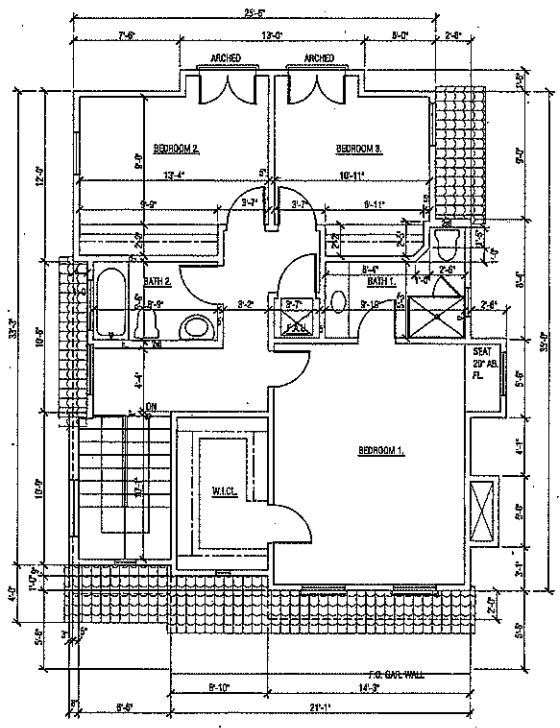
DEA161
Wild Mustang



DUNN EDWARDS CORPORATION
Employee-Owned

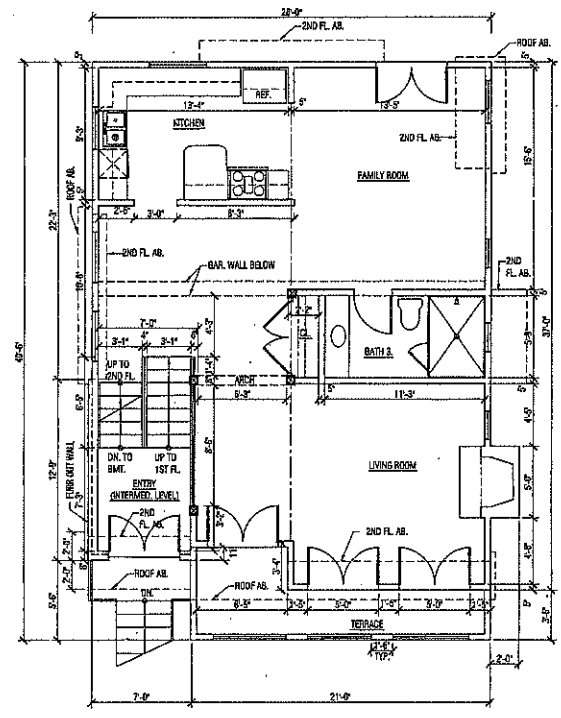
TRIM AROUND THE DOORS AND WINDOWS

GARAGE DOOR AND RAILING



SECOND FLOOR PLAN
1/4"=1'-0"

GROSS FLR. AREA: 912.9 S. F.



FIRST FLOOR PLAN
1/4"=1'-0"

GROSS FLR. AREA: 961.2 S. F.

REVISIONS	BY

JOHN DOLINSKY ASSOCIATES
6381 HOLLYWOOD BLVD., SUITE 510, HOLLYWOOD, CA 90028
(323) 465-4643 (323) 465-8858

SINGLE FAMILY DWELLING
LOT 4; 28468 RENEW DR.,
AGOURA HILLS, CA

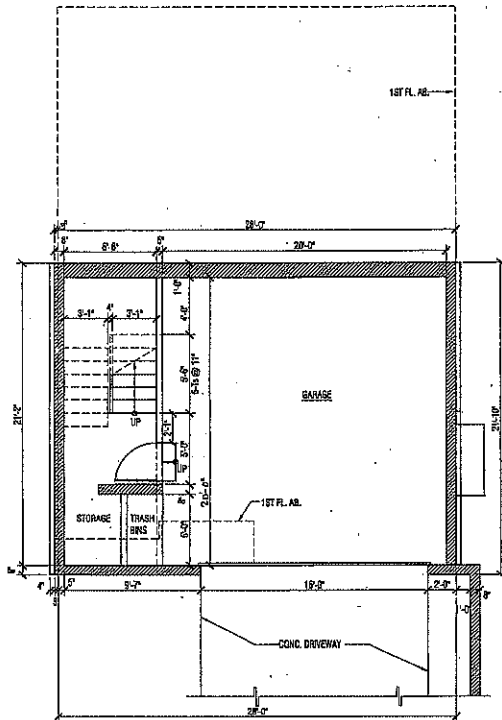
FLOOR PLANS

Date:	01-31-11
Scale:	1/4"=1'-0"
Drawn:	
Check:	
Sheet:	2
Of:	2 Sheets



PLAN OF TRANSOM WINDOWS
ABOVE GARAGE DOOR

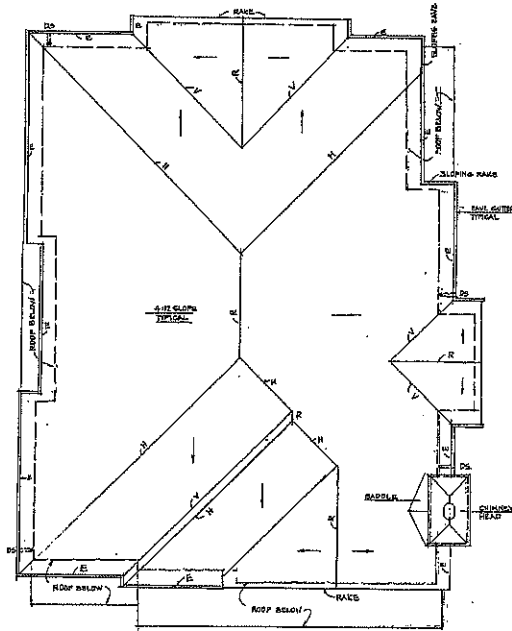
1/4"=1'-0"



BASEMENT FLOOR PLAN

1/4"=1'-0"

GROSS FLR. AREA: 618.0 S. F.



ROOF PLAN

1/4"=1'-0"

REVISIONS BY

JOHN DOLINSKY ASSOCIATES
 6331 HOLLYWOOD BLVD., SUITE 510, HOLLYWOOD, CA 90028
 (323) 435-4643

SINGLE FAMILY DWELLING
 LOT 4: 28458 RENECE DR.,
 AGOURA HILLS, CA

BASEMENT & ROOF PLAN

Date: 01-31-11
 Scale: 1/4"=1'-0"
 Drawn:
 Dwg:
 Sheet:
 3

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ANY AGREEMENT MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED
 - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE, PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL SENSITIVITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOODING ELEVATIONS AND LOCATION AND ELEVATION OF ALL RETAINING WALL, SUBDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 130, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
 - A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
 - ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS AT THE FOLLOWING STAGES OF WORK.

ABBREVIATIONS

- | | |
|-------------------------|---------------------------|
| AC - ASPHALTIC CONCRETE | INV - INVERT |
| BF - BOTTOM OF FOOTING | NG - NATURAL GROUND |
| CB - CATCH BASIN | NTS - NOT TO SCALE |
| CF - CURB FACE | PL - PROPERTY LINE |
| CL - CENTERLINE | PLN - PLASTER |
| CLY - CHAIN LINK FENCE | POB - POINT OF BEGINNING |
| CD - CLEAN OUT | SDM - STORM DRAIN MANHOLE |
| DB - DEBRIS BASIN | SMH - SEWER MANHOLE |
| D/L - DAWDLIGHT | SS - SANITARY SEWER |
| ED - EDGE OF CUTTER | TB - TOP OF BERM |
| EP - EDGE OF PAVEMENT | TC - TOP OF CURB |
| FF - FINISHED FLOOR | TF - TOP OF FOOTING |
| FG - FINISHED GRADE | TG - TOP OF GRADE |
| FH - FIRE HYDRANT | TW - TOP OF WALL |
| FL - FLOWLINE | TYP - TYPICAL |
| FS - FINISH SURFACE | WV - WATER VALVE |
| HC RMP - HANDICAP RAMP | |
| GB - GRADE BRACE | |
| GS - GRADE SHOT | |
| HP - HIGH POINT | |

LEGEND AND SYMBOLS

- PROJECT BOUNDARY: ---
- EXISTING GRADE CONTOUR: ——— 1100
- PROPOSED GRADE CONTOUR: ——— 1100
- SPOT ELEVATION: x 1100
- PROPOSED SLOPE PER PLAN:
- RETAINING WALL:
- DAYLIGHT CUT/FILL LINE:
- DIRECTION OF FLOW (SLOPE):
- CONSTRUCTION NOTE NUMBER: (8)

BENCHMARK

QUAD MALLIN
YEAR 2003
SP NUMBER Y 10425
ELEVATION 508.050 FEET
276.165 METER
DESCRIPTION: 3/4" IN DIA IN S CS 1/4" E/D BCR 8
2 1/2" COP, AGOURA RD & LEVISO RD 16M E
& 1/2" H/S/O C/P, INT.
RAISE ALL ELEV. AT SITE BY 894.78 FEET TO MATCH THE CITY BENCHMARK.

LEGAL DESCRIPTION

THAT PORTION OF LOT 4 & LOT 5 OF TRACT NO. 8793, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 149 PAGES 88-94, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARING

THE BEARING HEREON ARE BASED ON THE BEARING N 45°35'00" W OF A COURSE IN THE SOUTHWESTERLY LINE OF RENEE DRIVE AS SHOWN ON THE TRACT MAP NO. 8793 RECORDED IN BOOK 149 PAGES 88-94, RECORDS OF LOS ANGELES COUNTY.

PUBLIC UTILITIES / SERVICES

- WATER:** LAS VIRGENES MUNICIPAL WATER DISTRICT
4828 LAS VIRGENES ROAD
CALABASAS, CA 91302
(818) 880-4110
- ELECTRICAL:** SOUTHERN CALIFORNIA Edison
5825 FIDMILL DRIVE
THOUSAND OAKS, CA 91361
(805) 494-7016
- TELEPHONE:** SBC (PAC BELL)
1681 RATHER STREET, 1115
VAN NUT, CA 91406
(818) 373-6889
- GAS:** SOUTHERN CALIFORNIA GAS
3100 BAKALE AVENUE
CHATS WORTH, CA 91303
(818) 701-3324
- SEWER:** LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1600 S. FREMONT AVENUE, BLDG A9 EAST
ALHAMBRA, CA 91803
(626) 300-0338
- CABLE:** ADELPHIA
2223 TELLER ROAD
NEWBURY PARK, CA 91320
(805) 372-5613
- CABLE:** CHARTER COMMUNICATIONS
3006 CROSSCREEK ROAD
HALLIUR, CA 90265
(310) 456-9010
- CALTRANS:** CALTRANS
5620 RESEDA BOULEVARD
TARZANA, CA 91356
(805) 388-1456



STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OBTAIN "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ONSITE POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC, "MET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNERS RESPONSIBILITY TO MAINTAIN ALL ONSITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSPECTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

- THE GRADING / DRAINAGE PLAN COMPLIES WITH THE RECOMMENDATIONS AND MITIGATION MEASURES AS STATED WITHIN BIOLOGICAL ASSESSMENT SERVICES SWM TRAIL REPORT DATED 8/5/07 AND FOLLOW-UP ADDENDUM REPORTS DATED 1/18/09 AND 5/22/09.

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	GRADING NOTES, LEGEND, & VICINITY MAP
2	GRADING & DRAINAGE PLAN
3	SECTION
4	EROSION CONTROL PLAN
5	EROSION CONTROL NOTES & DETAILS

OWNER	
NAME:	ATMOR FIDMIST
ADDRESS:	12320 CHANDLER BLVD, UNIT H, VALLEY VILLAGE, CA 91607
REPRESENTATIVE:	
TELEPHONE:	(818) 324-0065

ESTIMATED EARTHWORK QUANTITIES LOT #4					
ESTIMATED CUT:	439	CY	ESTIMATED EXPORT:	339	CY
ESTIMATED FILL:	108	CY	ESTIMATED IMPORT:		CY
ESTIMATED DIVER-EXCAVATION:		CY			

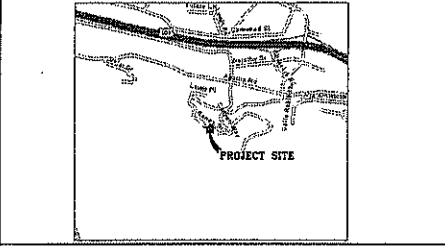
CIVIL ENGINEER	
NAME:	JK ASSOCIATES
ADDRESS:	1625 LOS ANGELES ST, BLDG 4, GLENDALE, CA 91204
REPRESENTATIVE:	JOHNSON KARAN
TELEPHONE:	(818) 307-9881

ESTIMATED EARTHWORK QUANTITIES LOT #5					
ESTIMATED CUT:	661	CY	ESTIMATED EXPORT:	345	CY
ESTIMATED FILL:	121	CY			

GEOTECHNICAL ENGINEER	
NAME:	CEO CONCEPT
ADDRESS:	613 VIL SHIRE BLVD, #105, SANTA MONICA, CA 90401
REPRESENTATIVE:	SPADES & ASSOCIATES
TELEPHONE:	(310) 395-3481

BENCHMARK:	
DESCRIPTION:	BH NO. Y 10425, ELEVATION: 508.050 FEET, SURVEY DATE: 12-06-87.

RECORD DRAWING STATEMENT			
I, _____, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. _____ THROUGH _____ MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.			
REGISTERED CIVIL ENGINEER DATE:	_____	RCE NO.:	_____
EXP. DATE:	_____		



SOILS APPROVAL			
THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____			
REGISTERED GEOLOGIST DATE:	_____	RCE NO.:	_____
REGISTERED GEOTECHNICAL ENGINEER DATE:	_____	RCE NO.:	_____
EXP. DATE:	_____		

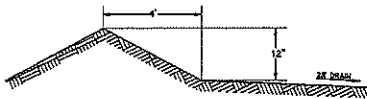
VICINITY MAP	
GRADING NOTES, LEGEND, AND VICINITY MAP	
AT	
LOT 4 AND LOT 5 RENEE DRIVE AGOURA HILLS CA 91301	
PROJECT NO.:	_____
SHEET	1 OF 5

REV	SYMBOL	GENERAL GRADING REVISION & WIDENING STREET TO 20'	RCE	DATE	ENGINEER	DATE	CITY OF AGOURA HILLS APPROVAL	REVIEWED BY	DATE	RCE NO.	EXP. DATE	CITY OF AGOURA HILLS
A			37136	08-12-07				RANIRO ADEVA				

JK ASSOCIATES INC.
 1700 VAN NUT STREET, VAN NUT, CA 91411
 (818) 373-6889
 LICENSED PROFESSIONAL CIVIL ENGINEER
 LICENSE NO. 37136
 EXPIRES 08-12-07

CITY OF AGOURA HILLS
 CITY ENGINEER
 RANIRO ADEVA
 LICENSE NO. 37136
 EXPIRES 08-12-07





TYPICAL BERM DETAIL
TOP OF ALL SLOPES

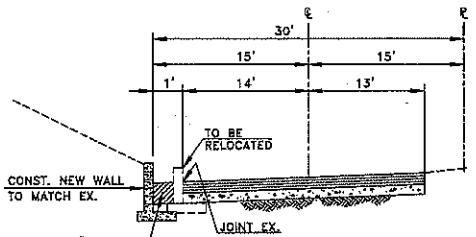
CONSTRUCTION NOTES

- ① CONST. DRIVEWAY PER APWA STD PLAN 110-1 TYPE "B"
- ② CONST. AREA DRAIN PER DETAIL #4 SHT#1
- ③ CONST. CLEAN OUT PER DETAIL #5 SHT#1
- ④ CONST. 3.5' MAX SLUMP STONE RET. WALL PER STRUCTURAL PLAN
- ⑤ CONST. WALL GUTTER PER DETAIL #3 SHT#1
- ⑥ CONST. 24"x24" CATCH BASIN PER DETAIL #1 SHT#1
- ⑦ CONST. JUNCTION BOX
- ⑧ CONST. BERM PER DETAIL #1 HEREON
- ⑨ CONST. SPLASH WALL PER DETAIL #2 SHT#1
- ⑩ CONST. FOSSIL FILTER PER DETAIL #1 SHOWN ON SHT.#5
- ⑪ REMOVE EXISTING RET. WALL & CONST. NEW 3' HIGH RET. WALL TO MATCH EXIST.
- ⑫ SAW CUT EXIST. PAVEMENT & CONST. 4" A.C. OVER 6" AGG BASE
- ⑬ LIMIT OF FOOTING
- ⑭ OAK TREE #1 TO BE REMOVED
- ⑮ CONST. 6" HIGH CONC. CURB

BENCHMARK

OWNER: MALIBU
YEAR: 2003
BM NUMBER: Y 10425
ELEVATION: 906.030 FEET
278.165 METER
DESCRIPTION: 3" DIA. IRON IN S CS 1 M E/O BOR @ SE COR. AGOURA RD & LEWIS RD 18N E & 11.2M S/O C/A INT.

NOTE
BASE ALL ELEV. AT SITE BY 884.78 FEET TO MATCH THE CITY BENCHMARK.



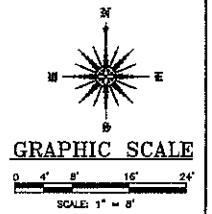
TYPICAL CROSS SECTION
RENEE DRIVE
NOT TO SCALE

NOTE

1. GRADING WILL EXTEND NO MORE THAN TWO FT. FROM ANY PROPOSED WALL LOCATION
2. SEE PRELIMINARY LANDSCAPE PLAN BY ELEMENTAL LANDSCAPES
3. ALL RETAINING WALL ON THE SITE MUST NOT EXCEED 6' IN HEIGHT

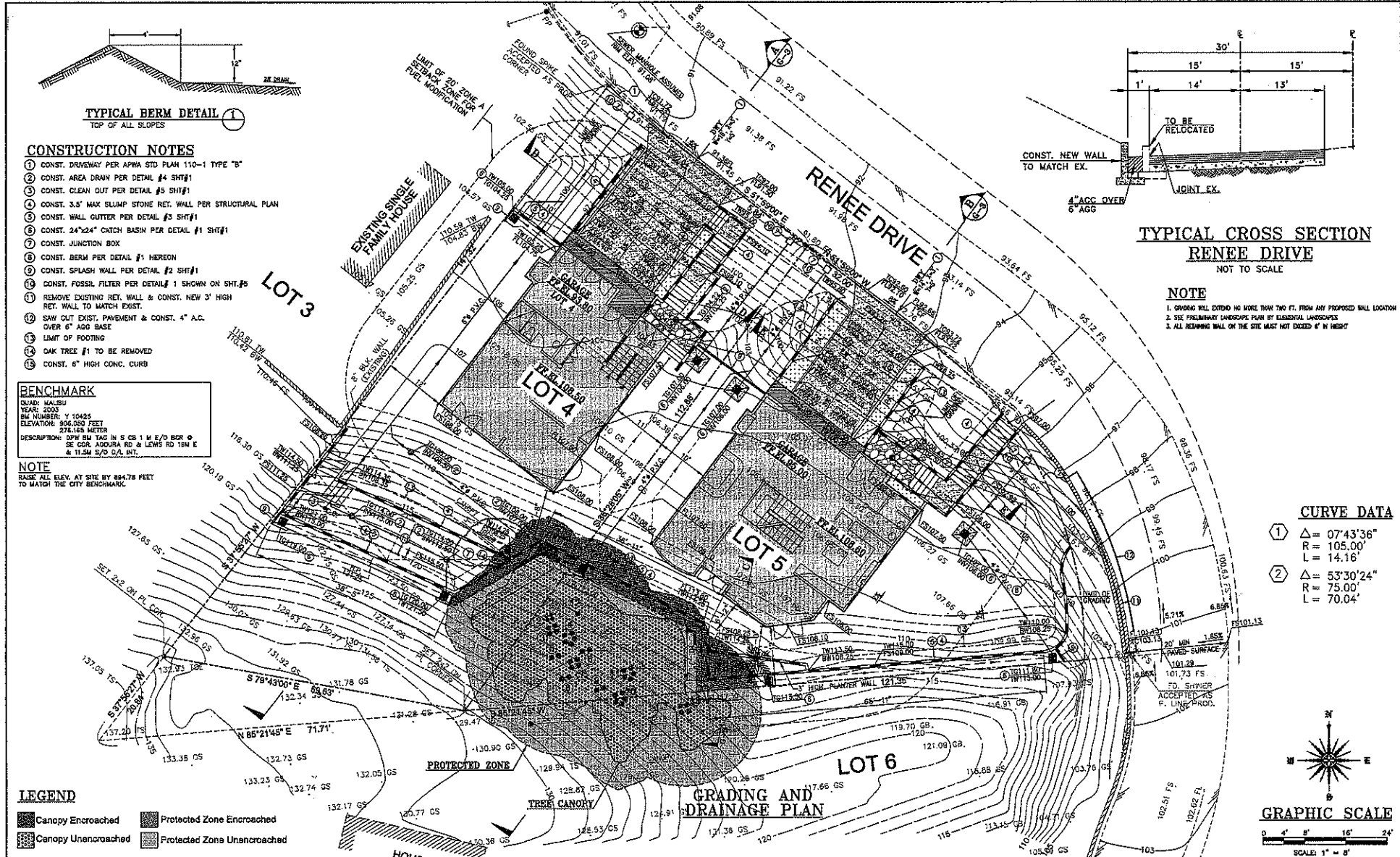
CURVE DATA

- ① $\Delta = 07'43''36"$
 $R = 105.00'$
 $L = 14.16'$
- ② $\Delta = 53'30''24"$
 $R = 75.00'$
 $L = 70.04'$

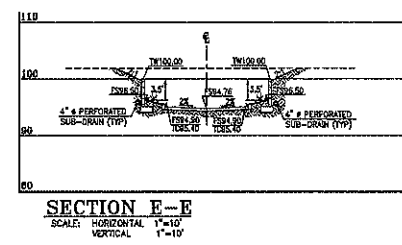
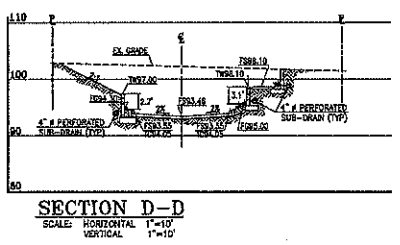
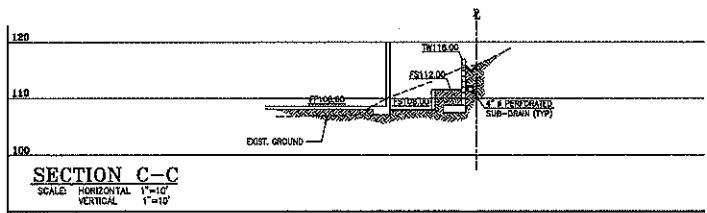
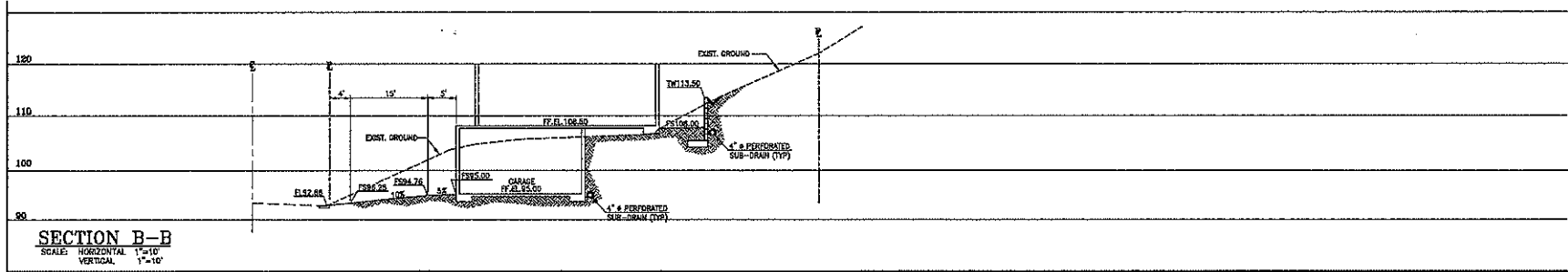
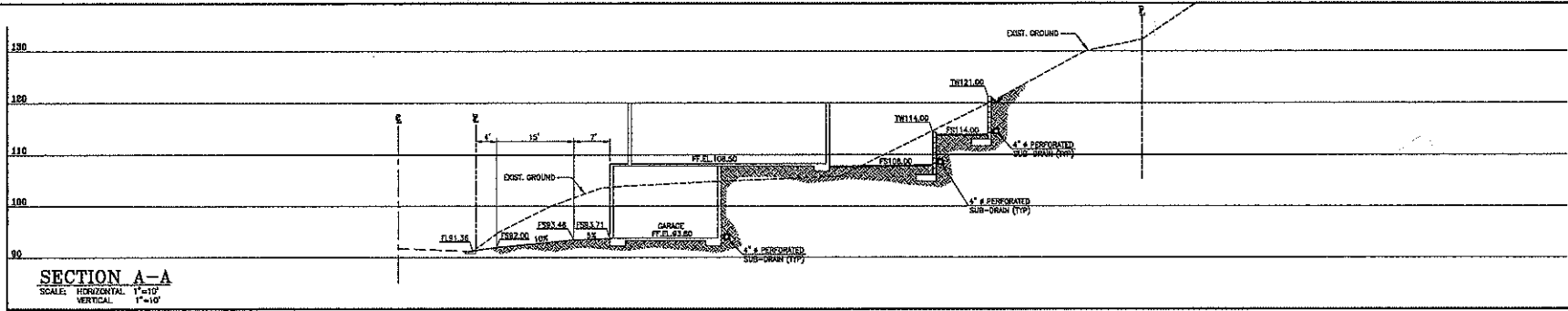


LEGEND

- Canopy Encroached
- Protected Zone Encroached
- Canopy Unencroached
- Protected Zone Unencroached



<p>JK ASSOCIATES THE CHOICE 2000 CALIFORNIA AVENUE SUITE 100 AGOURA HILLS, CA 91301 TEL: 909.271.1111 FAX: 909.271.1112</p>		<p>CITY OF AGOURA HILLS APPROVAL</p>		<p>AGOURA HILLS</p>		<p>GRADING & DRAINAGE PLAN FOR LOT 4 AND LOT 5 RENEE DRIVE AGOURA HILLS CA 91301</p>								
<p>REVISIONS</p> <table border="1"> <tr> <th>REV</th> <th>SYMBOL</th> <th>DESCRIPTION OF CHANGE</th> <th>DATE</th> </tr> <tr> <td>A</td> <td></td> <td>GENERAL GRADING REVISION & WIDENING STREET TO 20'</td> <td>08-12-07</td> </tr> </table>	REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	A		GENERAL GRADING REVISION & WIDENING STREET TO 20'	08-12-07	<p>ENGINEER DATE</p>	<p>REVIEWED BY DATE</p>	<p>DATE</p>	<p>PROJECT NO.</p>	<p>SHEET 2 OF 6</p>	<p>CITY OF AGOURA HILLS DWG. NO.</p>
REV	SYMBOL	DESCRIPTION OF CHANGE	DATE											
A		GENERAL GRADING REVISION & WIDENING STREET TO 20'	08-12-07											



		JK ASSOCIATES THE CHOICE <small>PREPARED BY</small> CIVIL ENGINEERING 2750 W. 10TH ST. SUITE 200, CARLSBAD, CA 92008 TEL: (760) 439-1881 FAX: (760) 439-1882		CITY OF AGOURA HILLS APPROVAL REVIEWED BY: _____ DATE: _____ RAMIRO ADEVA CITY ENGINEER		SECTIONS FOR LOT 4 AND LOT 5 RENEE DRIVE AGOURA HILLS CA. 91301 PROJECT NO. _____ SHEET 3 OF 5 <small>CITY OF AGOURA HILLS DWS. NO.</small>		
Δ	GENERAL GRADING REVISION & WIDENING STREET TO 20'	37198	08-22-07	ENGINEER	DATE	DATE	RCE NO.	EXP DATE



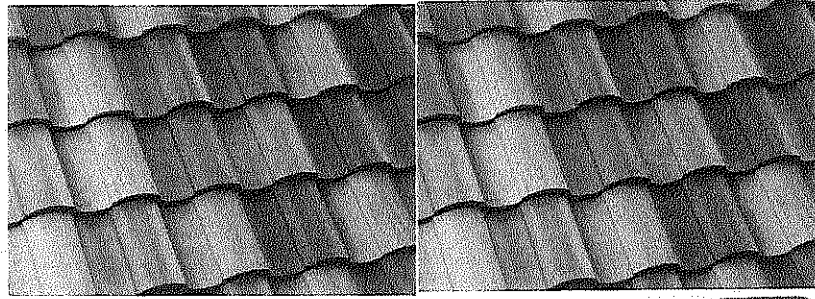
EXHIBIT K

REDUCED COPY OF PROJECT PLANS
(LOT 5)



STU3DIO.COM

28454 RENEE DRIVE
AGOURA HILLS, CA



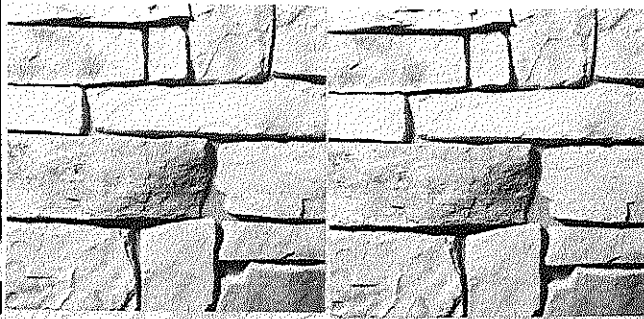
No: SHC8711
Name: Puesta Del Sol Blend

★★★No: SHC8711
Name: Puesta Del Sol Blend



American Heirloom

Boulder
CREEK
STONE PRODUCTS



Genoa
55920-5

Genoa
55920-5

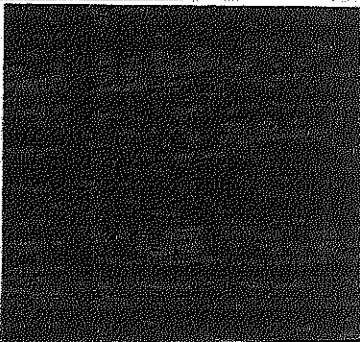
VENETIAN COBBLE



Shamrock Stucco

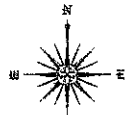
112 Tillamook
A-100

112 Tillamook
A-100

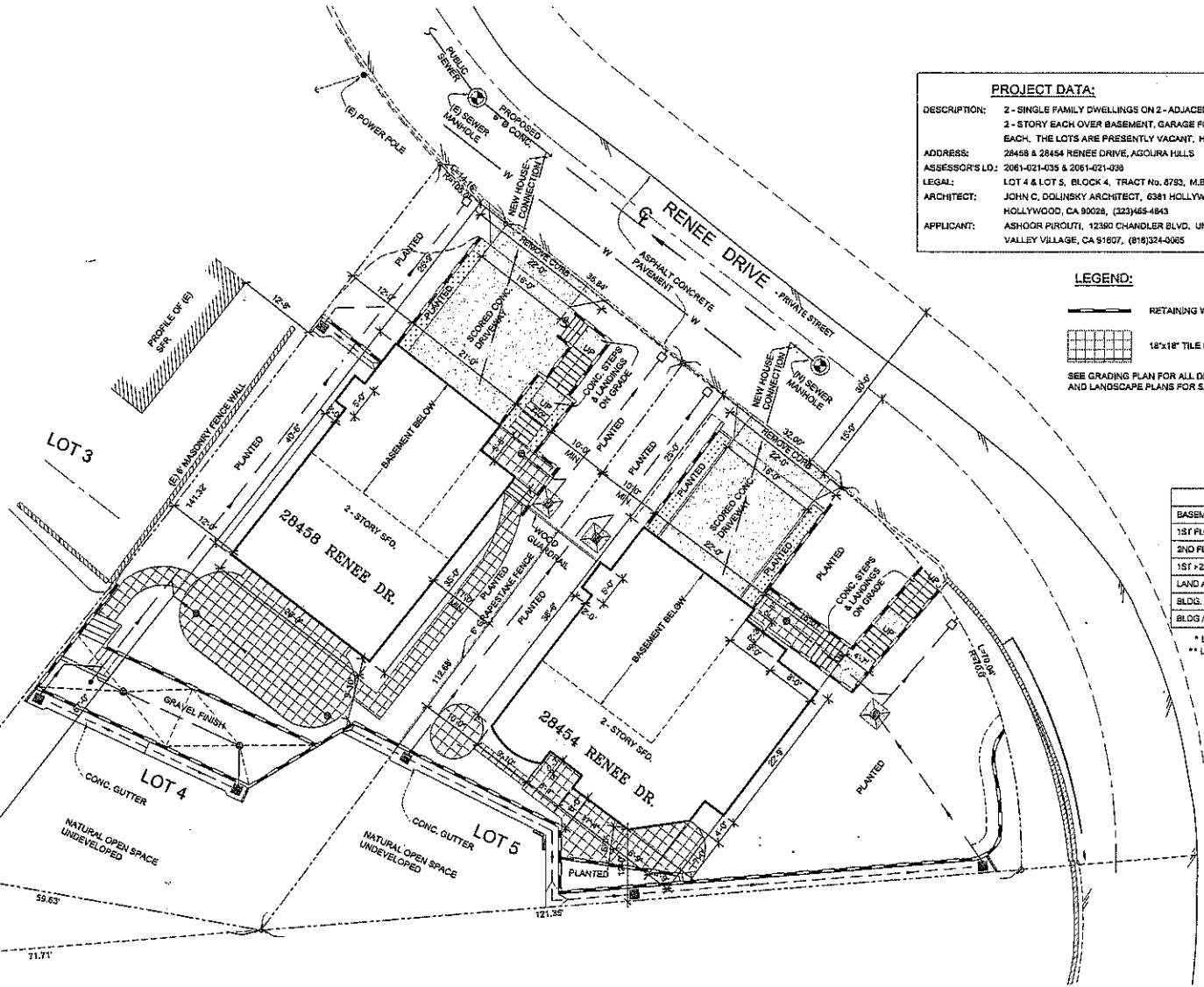
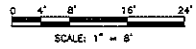


TRIM AROUND THE DOORS AND WINDOWS

GARAGE DOOR AND RAILING



GRAPHIC SCALE



PROJECT DATA:

DESCRIPTION: 2 - SINGLE FAMILY DWELLINGS ON 2 - ADJACENT LOTS
 2 - STORY EACH OVER BASEMENT, GARAGE FOR 2 - CARS
 EACH. THE LOTS ARE PRESENTLY VACANT, HILLSIDE AREA

ADDRESS: 28458 & 28454 RENEE DRIVE, AGOURA HILLS

ASSESSOR'S LD: 2061-021-035 & 2061-021-036

LEGAL: LOT 4 & LOT 5, BLOCK 4, TRACT No. 8793, M.B. 148-89-84

ARCHITECT: JOHN C. DOLINSKY ARCHITECT, 6381 HOLLYWOOD BLVD, #510,
 HOLLYWOOD, CA 90028, (323)465-4843

APPLICANT: ASHOOR PIRLOUTI, 12380 CHANDLER BLVD. UNIT 11*
 VALLEY VILLAGE, CA 91607, (818)324-0065

LEGEND:

RETAINING WALL OF 8" C.M.U.

18"x18" TILE PAVEMENT

SEE GRADING PLAN FOR ALL DRAINAGE DEVICES
 AND LANDSCAPE PLANS FOR SITE DETAILS.

	LOT 4 *	LOT 5 **
BASEMENT GROSS	616.0 S.F.	568.0 S.F.
1ST FLOOR GROSS	961.2 S.F.	1,208.0 S.F.
2ND FLOOR GROSS	912.9 S.F.	1,223.0 S.F.
1ST + 2ND FL. GROSS	1,874.1 S.F.	2,431.0 S.F.
LAND AREA	6,462 S.F.	5,940 S.F.
BLDG. FOOTPRINT	1,069.3 S.F.	1,235 S.F.
BLDG / LAND RATIO	16.4 %	21.8 %

* LOT 4: CASE No. 03-CLP-023/05-OTP-10
 ** LOT 5: CASE No. 03-CLP-022/05-OTP-11

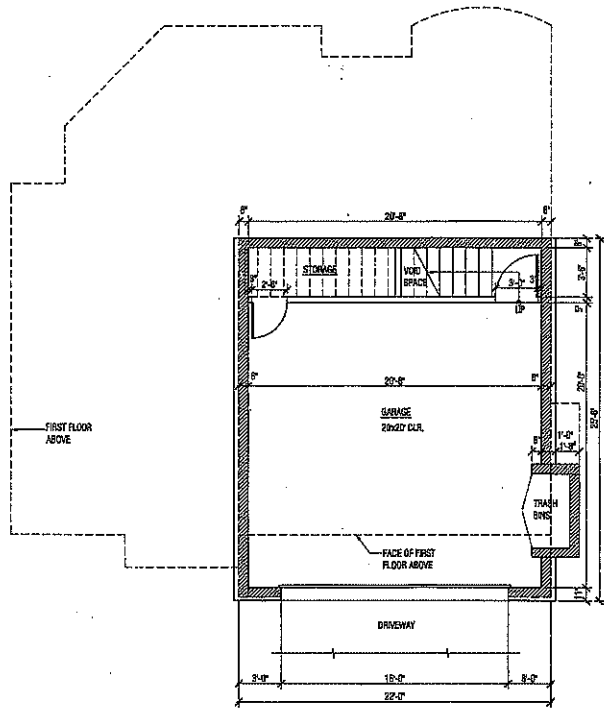
REVISIONS	BY

JOHN DOLINSKY ASSOCIATES
 5331 HOLLYWOOD BLVD., SUITE 510, HOLLYWOOD, CA 90028
 (323) 465-4843

LOT 4 AND LOT 5 RENEE DRIVE
 AGOURA HILLS, CA

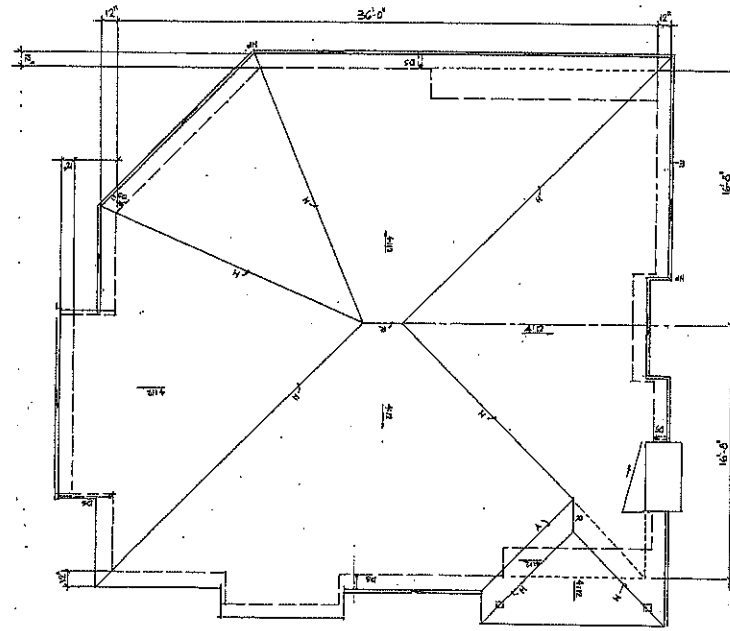
SITE PLAN

Date: 01-31-11
 Scale: 1/8"=1'-0"
 Drawn:
 Des:
 Sheet: **1**
 of 1



BASEMENT FLOOR PLAN
1/8"=1'-0"

GROSS FLR. AREA: 568.0 S. F.



ROOF PLAN
1/8"=1'-0"

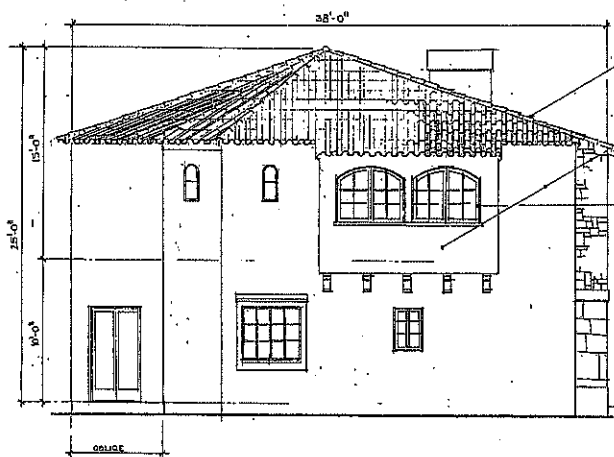
REVISIONS BY

JOHN DOLINSKY ASSOCIATES
5381 HOLLYWOOD BLVD., SUITE 510, HOLLYWOOD, CA 90028
(323) 465-4643 (323) 465-8569

SINGLE FAMILY DWELLING
LOT 5: 28454 RENEE DR.,
AGOURA HILLS, CA

BASEMENT & ROOF PLAN

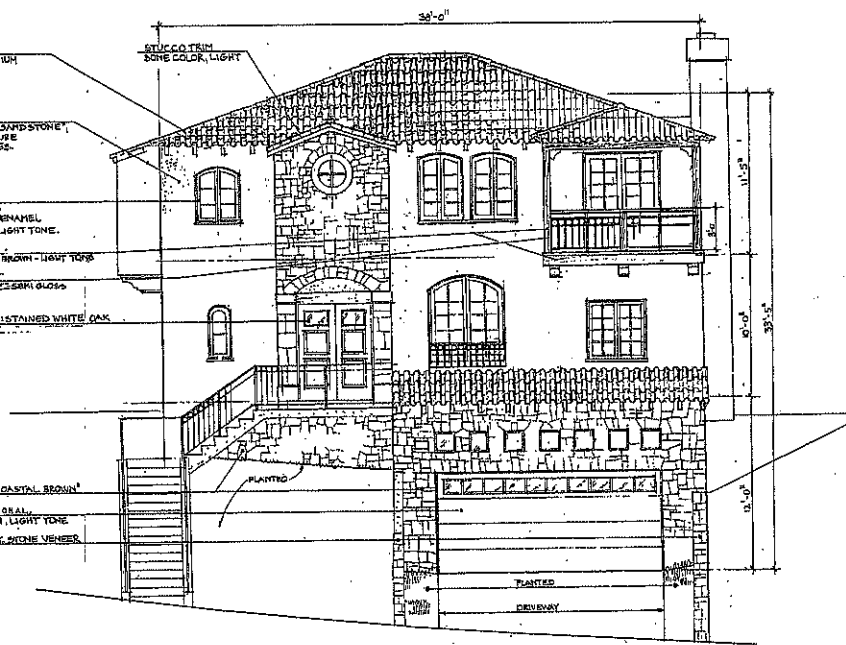
Date: 07-21-11
Scale: 1/8"=1'-0"
Drawn:
Eng:
Sheet:
3
Of 3 Sheets



LEFT SIDE ELEVATION

- MISSION TILE ROOFING - TYPE
NATURAL BURNT LIGHT TO MEDIUM
TONES MIXED.
- ALL STUCCO EXTERIOR - TYPE
COLOR: ADORSE BEIGE, FADE SANDSTONE,
LIGHT TONE, FINE SPRAY TEXTURE
ON ALL EXT. PLASTER SURFACES.
- WINDOWS & PATIO DOORS:
WOODY ALUM. CLAD (OUTSIDE)
COLOR: SANDSTONE, BAKED ENAMEL
WOOD TRIM: SIENNA BROWN, LIGHT TONE.
- WOOD ROOF & TRIM:
SEMI-TRANSPARENT STAIN SIENNA BROWN - LIGHT TONE
- EXTERIOR FINISHES:
SEAL: SIENNA BROWN, SEMI-GLOSS
- MAIN ENTRANCE DOOR: FINISH STAINED WHITE OAK
IN LIGHT NATURAL TONE

- NAT. STONE VENEER: COLOR: COASTAL BROWN
- METAL GARAGE DOOR: SECTIONAL,
OPAQUE STAIN, SIENNA BROWN, LIGHT TONE
- CONC. RETAINING WALL W/ NAT. STONE VENEER
COLOR: COASTAL BROWN



FRONT ELEVATION

GRADING NOTES

1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
2. A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
3. ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
4. ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
5. ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
6. THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
7. REPORTS REQUIRED:
 1. ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 2. FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
8. AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOLOGICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL BENTH TESTS, OUTLINE AND ELEVATION OF ALL REMOVAL SETTINGS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL, BACKSPLANS AND CULLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
9. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
10. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
11. A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
12. ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

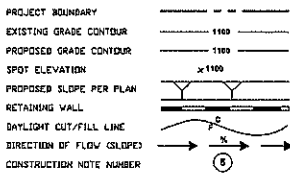
INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS AT THE FOLLOWING STAGES OF WORK:

ABBREVIATIONS

- | | |
|-------------------------|----------------------------|
| AC - ASPHALTIC CONCRETE | INV - INVERT |
| BE - BOTTOM OF FOOTING | NG - NATURAL GROUND |
| CB - CATCH BASIN | NIS - NOT TO SCALE |
| CBF - CURB FACE | PL - PROPERTY LINE |
| C - CENTERLINE | PA - PLANTER |
| CLY - CHAIN LINK FENCE | POB - POINT OF BEGINNING |
| CD - CULM CUT | SDMH - STORM DRAIN MANHOLE |
| D2 - DEBRIS BASIN | SMH - SEWER MANHOLE |
| D/L - DAYLIGHT | SS - SANITARY SEWER |
| ED - EDGE OF GUTTER | TI - TOP OF BERM |
| EP - EDGE OF PAVEMENT | TC - TOP OF CURB |
| FF - FINISHED FLOOR | TF - TOP OF FOOTING |
| FG - FINISHED GRADE | TG - TOP OF GRATE |
| FW - FIRE WYEWAY | TW - TOP OF WALL |
| FL - FLOWLINE | TYP - TYPICAL |
| FS - FINISH SURFACE | VM - WATER METER |
| HC RMP - HANDICAP RAMP | WV - WATER VALVE |
| GB - GRADE BRAKE | |
| GS - GRADE SHEET | |
| HP - HIGH POINT | |

LEGEND AND SYMBOLS



BENCHMARK

QUAD MALIBU
YEAR 2002
BY NUMBER Y 10429
ELEVATION 86.05 FEET
276.165 METER
DESCRIPTION: 1/4" IN TAG IN S. CB 1 H. C/D. 200 R. S.E. COR. AGOURA RD. S. LEVISED 80 1/4 IN. & 1 1/2" S/D C/D INT.
RAISE ALL ELEV. AT SITE BY 894.78 FEET TO MATCH THE CITY BENCHMARK.

LEGAL DESCRIPTION

THAT PORTION OF LOT 4 & LOT 5 OF TRACT NO. 8793, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 148 PAGES 89-94, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARING

THE BEARINGS HEREON ARE BASED ON THE BEARING IN 45°50'30" V OF A COURSE IN THE SOUTH-WESTERLY LINE OF RENEE DRIVE AS SHOWN IN THE TRACT MAP NO. 8793 RECORDED IN BOOK 148 PAGES 89-94, RECORDS OF LOS ANGELES COUNTY.

PUBLIC UTILITIES / SERVICES

- | | |
|--------------------|---|
| WATER: | LAS VIRGENES MUNICIPAL WATER DISTRICT
4630 LAS VIRGENES ROAD
CALARSA, CA 91306
(818) 880-4110 |
| ELECTRICAL: | SOUTHERN CALIFORNIA EDISON
3389 FOOTHILL DRIVE
THOUSAND OAKS, CA 91361
(805) 494-7016 |
| TELEPHONE: | SBC (PAC BELL)
1620 RAYNER STREET, 8115
VAN NUYS, CA 91406
(818) 373-6889 |
| GAS: | SOUTHERN CALIFORNIA GAS
2440 DAKOTA AVENUE
CHATELAIN, CA 91317
(818) 701-3324 |
| SEWER: | LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
600 S. FREDONT AVENUE, BLDG A9 EAST
ALHAMBRA, CA 91803
(626) 300-3368 |
| CABLE: | ABC/FIBRA
2223 TELLER ROAD
NEWBURY PARK, CA 91320
(805) 375-5013 |
| CABLE: | CHARTER COMMUNICATIONS
3806 CROSSCREEK ROAD
MALIBU, CA 90265
(310) 452-9116 |
| CALTRANS: | CALTRANS
5660 RESEDA BOULEVARD
TARZANA, CA 91356
(805) 388-1426 |



STORMWATER POLLUTION NOTES

1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ON-SITE POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.
2. A SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 15TH.
3. IT IS THE PROPERTY OWNERS RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER DEBRIS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

1. THE GRADING / DRAINAGE PLAN COMPLIES WITH THE RECOMMENDATIONS AND MITIGATION MEASURES AS STATED WITHIN BIOLOGICAL ASSESSMENT SERVICES OAK TREE REPORT DATED 6/25/07 AND FOLLOW-UP ADDENDUM REPORTS DATED 1/12/09 AND 5/22/09.

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	GRADING NOTES, LEGEND, & VICINITY MAP
2	GRADING & DRAINAGE PLAN
3	SECTION
4	EROSION CONTROL PLAN
5	EROSION CONTROL NOTES & DETAILS

OWNER
NAME: ASHOUR FERGUSI
ADDRESS: 12992 CHANDLER BLVD, UNIT H, VALLEY VILLAGE, CA 91607
REPRESENTATIVE:
TELEPHONE: (818) 324-8865

CIVIL ENGINEER
NAME: JK ASSOCIATES
ADDRESS: 1295 LOS ANGELES ST, BLDG 4, GLENDALE, CA 91204
REPRESENTATIVE: JOHNSON KARAH
TELEPHONE: (818) 507-9801

GEOTECHNICAL ENGINEER
NAME: GSI CONCEPT
ADDRESS: 612 WILSHIRE BLVD, RUC, SANTA MONICA, CA 90401
REPRESENTATIVE: G & ASSOCIATES
TELEPHONE: (310) 395-3481

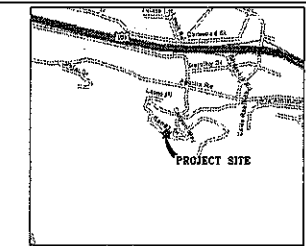
ESTIMATED EARTHWORK QUANTITIES LOT #4			
ESTIMATED CUT:	429	CY	ESTIMATED EXPORT: 339
ESTIMATED FILL:	100	CY	ESTIMATED IMPORT: _____
ESTIMATED OVER-EXCAVATION:	_____	CY	

ESTIMATED EARTHWORK QUANTITIES LOT #5			
ESTIMATED CUT:	661	CY	ESTIMATED EXPORT: 542
ESTIMATED FILL:	121	CY	

BENCHMARK:	
DESCRIPTION: BY NO. Y 10425	ELEVATION: 86.05 FEET SURVEY DATE: 12-06-02

RECORD DRAWING STATEMENT		
I, _____, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. _____ THROUGH _____ MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.		
REGISTERED CIVIL ENGINEER DATE:	RCE NO.:	EXP. DATE:

SOILS APPROVAL		
THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____		
REGISTERED GEOLOGIST DATE:	RCE NO.:	EXP. DATE:
REGISTERED GEOTECHNICAL ENGINEER DATE:	RCE NO.:	EXP. DATE:



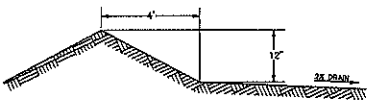
VICINITY MAP
GRADING NOTES, LEGEND, AND VICINITY MAP
AT
LOT 4 AND LOT 5 RENEE DRIVE AGOURA HILLS CA. 91301
PROJECT NO. _____ SHEET 1 OF 5
CITY OF AGOURA HILLS DIV. NO. _____

REV	SYMBOL	GENERAL GRADING REVISION & WIDENING STREET TO 20'	RCE	DATE
Δ			3/1/08	06-12-07

PREPARED BY: JK ASSOCIATES INC. CHOICE CIVIL CONSULTING ENGINEER
CITY OF AGOURA HILLS APPROVAL: [Signature/Stamp]
REVIEWED BY: RAMIRO ADEVA CITY ENGINEER DATE: _____

REGISTERED CIVIL ENGINEER: [Signature/Stamp]
REGISTERED GEOLOGIST: [Signature/Stamp]
REGISTERED GEOTECHNICAL ENGINEER: [Signature/Stamp]





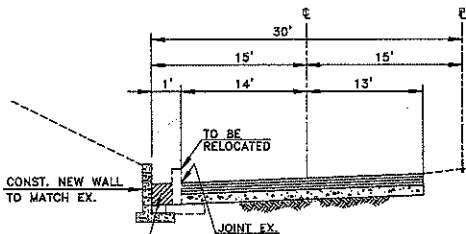
TYPICAL BERM DETAIL
TOP OF ALL SLOPES

CONSTRUCTION NOTES

- 1 CONST. DRIVEWAY PER APWA STD PLAN 110-1 TYPE "B"
- 2 CONST. AREA DRAIN PER DETAIL #4 SHT#1
- 3 CONST. CLEAN OUT PER DETAIL #5 SHT#1
- 4 CONST. 3.5' MAX SLUMP STONE RET. WALL PER STRUCTURAL PLAN
- 5 CONST. WALL GUTTER PER DETAIL #3 SHT#1
- 6 CONST. 24"x24" CATCH BASIN PER DETAIL #1 SHT#1
- 7 CONST. JUNCTION BOX
- 8 CONST. BERM PER DETAIL #1 HEREON
- 9 CONST. SPLASH WALL PER DETAIL #2 SHT#1
- 10 CONST. FOSSIL FILTER PER DETAIL #1 SHOWN ON SHT.#5
- 11 REMOVE EXISTING RET. WALL & CONST. NEW 3' HIGH RET. WALL TO MATCH EXIST.
- 12 SAW CUT EXIST. PAVEMENT & CONST. 4" A.C. OVER 6" AGG BASE
- 13 LIMIT OF FOOTING
- 14 OAK TREE #1 TO BE REMOVED
- 15 CONST. 6" HIGH CONC. CURB

BENCHMARK
 QUAD: MALIBU
 YEAR: 2003
 BM NUMBER: Y 10428
 ELEVATION: 908.050 FEET
 278.165 METER
 DESCRIPTION: OPW BM TAG IN S CS 1 M E/O BOX @ SE COR. AGOURA RD & LEWIS RD 184 E & 11.264 S/O S/L INT.

NOTE
 RAISE ALL ELEV. AT SITE BY 884.78 FEET TO MATCH THE CITY BENCHMARK.



TYPICAL CROSS SECTION
 RENE E DRIVE
 NOT TO SCALE

NOTE

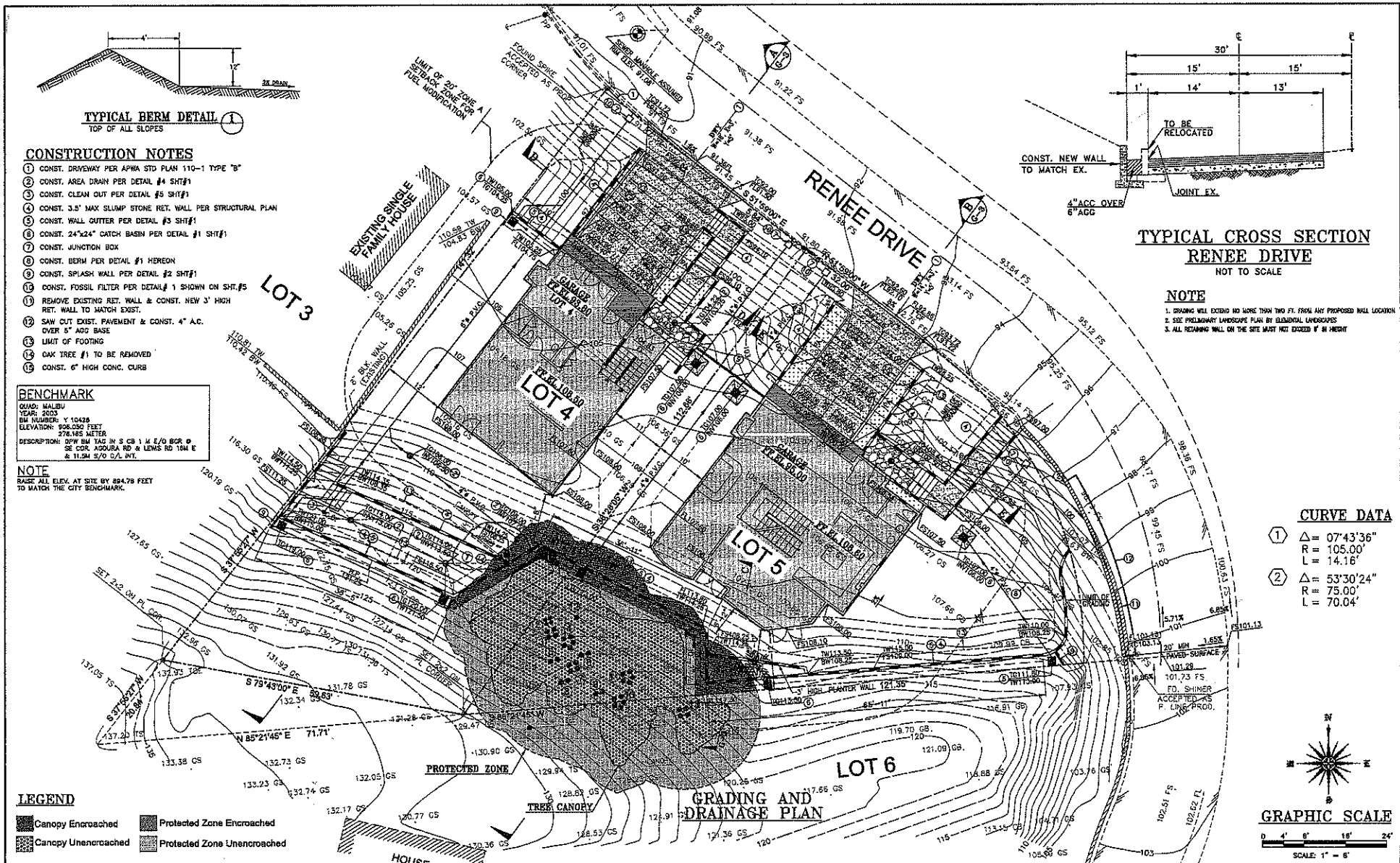
1. GRADING WILL EXCEED NO MORE THAN TWO FT. FROM ANY PROPOSED WALL LOCATION
2. SEE PRELIMINARY LANDSCAPE PLAN BY ELEMENTAL LANDSCAPES
3. ALL REMAINING WALL ON THE SITE MUST NOT EXCEED #1 IN HEIGHT

CURVE DATA

- 1 $\Delta = 07'43'36"$
 $R = 105.00'$
 $L = 14.16'$
- 2 $\Delta = 53'30'24"$
 $R = 75.00'$
 $L = 70.04'$



GRAPHIC SCALE
 SCALE 1" = 8'

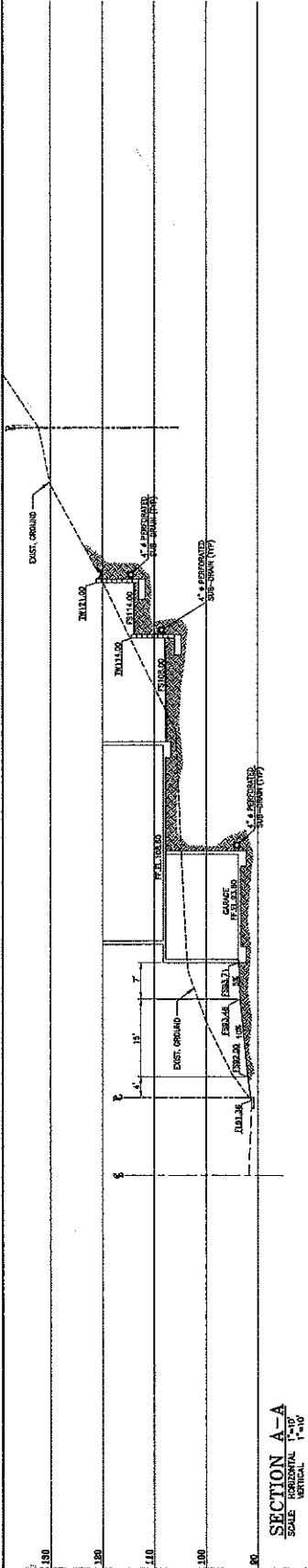


LEGEND

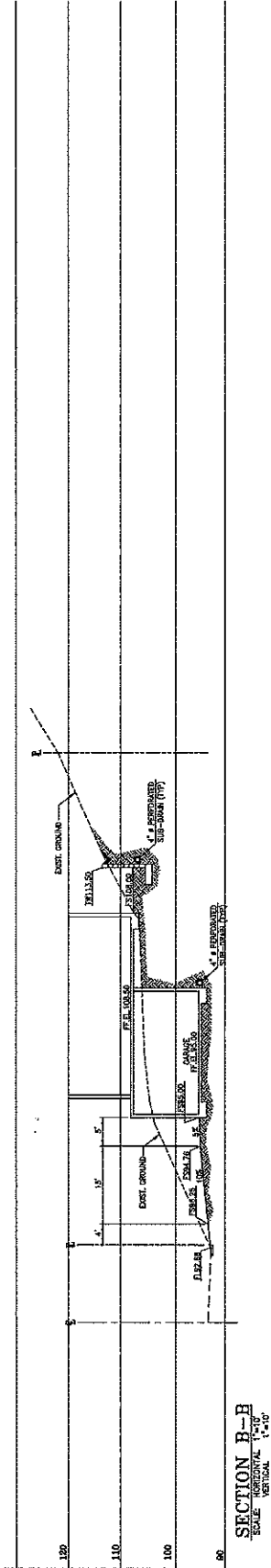
- Canopy Encroached
- Protected Zone Encroached
- Canopy Unencroached
- Protected Zone Unencroached

<p>JK ASSOCIATES THE CHOICE 1700 W. AGOURA RD. SUITE 100, AGOURA HILLS, CA 91301 TEL: (626) 961-1000 FAX: (626) 961-1002</p>				<p>CITY OF AGOURA HILLS APPROVAL</p>				<p>AGOURA HILLS</p>			
REVISION	SYMBOL	DESCRIPTION OF CHANGE	DATE	ENGINEER	DATE	REVIEWED BY	DATE	ROWING ADEVA CITY ENGINEER	DATE	RD. NO.	EXP. DATE
Δ		GENERAL GRADING REVISION & WIDENING STREET TO 30'	08-12-07	37154							

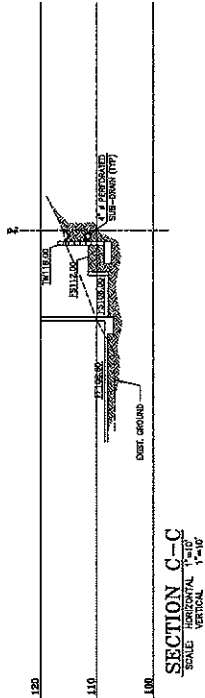
GRADING & DRAINAGE PLAN
 FOR
 LOT 4 AND LOT 5 RENE E DRIVE AGOURA HILLS CA. 91301
 PROJECT NO. _____ SHEET 2 OF 5
 CITY OF AGOURA HILLS DWG. NO. _____



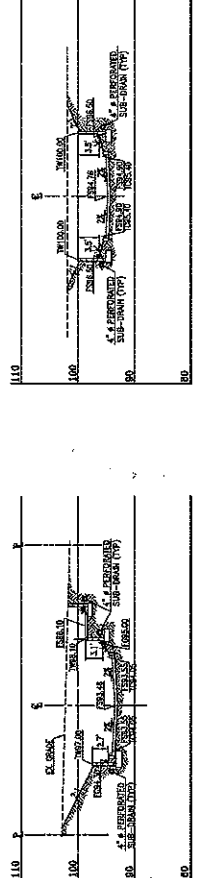
SECTION A-A
SCALE: HORIZONTAL 1"=10'
VERTICAL 1"=10'



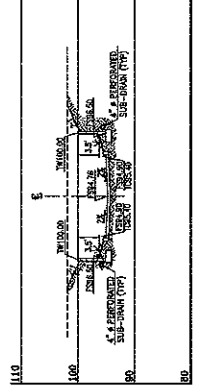
SECTION B-B
SCALE: HORIZONTAL 1"=10'
VERTICAL 1"=10'



SECTION C-C
SCALE: HORIZONTAL 1"=10'
VERTICAL 1"=10'



SECTION D-D
SCALE: HORIZONTAL 1"=10'
VERTICAL 1"=10'



SECTION E-E
SCALE: HORIZONTAL 1"=10'
VERTICAL 1"=10'

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	ENGINEER	DATE	REVIEWED BY	DATE	REVISION	FOR
1		GENERAL GRADING REVISION & WIDENING STREET TO 37'	05-12-07	RCE					



JK ASSOCIATES INC.
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
LICENSE NO. 50742
Rocco Azevia, P.E.
DATE: _____

CITY OF AGOURA HILLS APPROVAL
FOR THE CITY ENGINEER
DATE: _____
FOR THE CITY ENGINEER



SECTIONS
FOR
LOT 4 AND LOT 5 RENE DRIVE AGOURA HILLS CA 91301
PROJECT NO. _____ SHEET 3 OF 6
CITY OF AGOURA HILLS DIV. NO. _____