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**DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT**

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DATE: February 2, 2012

TO: Planning Commission

APPLICANT: Marciano Zion for Marisa Feldman  
6131 Rustling Oaks Drive  
Agoura Hills, CA 91301

CASE NO.: 11-SPR-010

LOCATION: 6131 Rustling Oaks Drive  
(A.P.N. 2051-009-017)

REQUEST: Request for approval of a Site Plan/Architectural Review to construct a 528 square foot addition to the existing second story of a 3,026 square foot, single family residence.

ENVIRONMENTAL ANALYSIS: Categorically Exempt from CEQA per Section 15303 (New Construction or Conversion of Small Structures).

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Site Plan/Architectural Review Case No. 11-SPR-010, subject to Conditions, based on the findings of the attached draft Resolution.

ZONING DESIGNATION: RS-(5)-7,000 (Single Family Residential, (maximum 5 units per gross acre), 7,000 square foot minimum lot size) zone.

GENERAL PLAN DESIGNATION: RS (Residential Single Family)

## I. BACKGROUND AND PROJECT DESCRIPTION

The applicant, Marciano Zion for property owner Marisa Feldman, is proposing a Site Plan/Architectural Review to construct a 528 square foot addition to the existing second story of a 3,026 square foot, single-family residence on a 6,708 square foot parcel. The property is located at 6131 Rustling Oaks Drive, in the Morrison Ranch Neighborhood. The parcel is zoned Single-Family Residential (RS-(5)-7,000) zone.

The project site is a rectangular shaped, relatively flat lot, located on the west side of Rustling Oaks Drive, and is surrounded by existing single-family homes. The subject parcel was developed in 1980, prior to City incorporation, with a two-story, 2,476 square foot residence and a 550 square foot, two-car garage.

The existing residence is located in the center of the lot and includes an attached two-car garage at the front, facing the front property line, an attached covered patio at the rear and on the north side of the residence, and a swimming pool in the backyard. The existing landscape areas around the residence are to remain. The project does not require removal of any trees or grading on the lot.

The proposed 528 square foot expansion of the residence consists of adding a new bedroom, bathroom, and seating area to the second floor at the northwest corner of the residence, over the existing kitchen and dining room areas. This would require raising the ridge line of the gable roof, above the kitchen and dining area, by approximately 9 feet, to meet the existing second story ridge line of the roof and extend the cantilevering second story to the full width of the residence.

The Residential Neighborhood Compatibility Guidelines, adopted in 2009, requires the Planning Commission's consideration and approval of a site Plan Architectural Review application for any additions to an existing second story that results in the second story exceeding seventy-five (75) percent of the existing first story. The proposed 528 square foot, second-floor addition, combined with the existing 1,452 square foot, second-floor area, will be 1,980 square-feet, or 93% of the existing 2,124 square foot of the first-story (including the garage).

The existing residence and the proposed addition are permitted uses in the Single-Family Residential (RS) zone. Listed below are the proposed development data pertaining to the project:

| Development Standards | Existing      | Proposed | Allowed/ Required  |
|-----------------------|---------------|----------|--------------------|
| 1. Lot Size           | 6,708 sq. ft. | N/A      | 7,000 sq. ft. min. |
| 2. Lot Width          | 67 ft.        | N/A      | 60 ft. min.        |
| 3. Lot Depth          | 101 ft.       | N/A      | 75 min.            |

| Development Standards      | Existing      | Proposed      | Allowed/ Required   |
|----------------------------|---------------|---------------|---|
| 4. Building Size           | 3,026 sq. ft. | 3,554 sq. ft. | N/A   |
| 5. Building Height         | 27.5 ft.      | 27.5 ft.      | 35 ft. max.   |
| 6. Lot Coverage            | 32%           | 32%           | 50%   |
| 7. Building Setbacks       |               |               |   |
| a. Front (east) to garage: | 22 ft.        | 22 ft.        | 20 ft. min.   |
| b. Rear (west):            | 29 ft.        | 29 ft.        | 20 ft. min.   |
| c. Side (south):           |               |               |   |
| 1 <sup>st</sup> Floor      | 5 ft.         | 5 ft.         | Existing  |
| 2 <sup>nd</sup> Floor      | 5 ft.         | 5 ft.         | Existing  |
| d. Side (north):           |               |               |   |
| 1 <sup>st</sup> Floor      | 13 ft.        | 13 ft.        | Existing  |
| 2 <sup>nd</sup> Floor      | 31 ft.        | 13 ft.        | 18 ft. combined<br>(for north & south<br>side yard setback) |

## II. STAFF ANALYSIS

### Site Plan

The second-story addition is proposed on the northwest end of the house, above the kitchen and dining area. The 528 square foot, second-story addition is not imposing at street level, given that the majority of the second story addition is located at the rear of the house. The setbacks from the property lines to the residence will not change, since the addition is over a portion of the existing first floor. The existing 13-foot side yard setback from the north property line and the existing 5-foot side yard setback from the south property line will be maintained. The Zoning Ordinance allows for first-story room additions to maintain existing side yard setbacks. The Zoning Ordinance allows for second-story additions to be placed directly above a first-story, provided that the minimum combined side yards are met for the second-story portion of an addition. In this instance, the proposed combined side yard setback for the second-story is 18 feet, which meets the required 18-foot minimum combined setback requirement. The second-story addition will be located 29 feet from the rear property line. The minimum front and rear yard setback requirement of the zone is 20 feet. The proposed addition to the residence conforms to the required building setbacks.

The proposed second floor addition will not increase the lot coverage as the addition is above an existing footprint. The total lot coverage of this site is 32% of the parcel, with a building footprint of 2,124 square feet. The maximum allowable lot coverage for the RS zone is 50%.

In an effort to evaluate the compatibility of the proposed design and size of the home with other properties in the neighborhood, a survey of 48 neighboring developed lots was conducted. The results showed an average lot size of 7,917 square feet and an average dwelling unit size of 2,890 square feet (excluding garage), resulting in an average floor/area ratio (FAR) of 0.37. The sizes of the neighboring homes, (excluding garage), varies from 2,343 square feet to 3,776 square feet. The applicant is proposing a house size of 3,554 square feet (excluding garage) on a 6,708 square-foot lot, which results in a floor/area ratio of 0.53. The proposed size of the residence is 664 square feet more than the neighborhood average. Nonetheless, the applicant's proposal will result in a lot coverage of 32%, which is below the maximum allowable lot coverage of 50% for the zone. The Residential Neighborhood Compatibility Ordinance does not restrict size or FARs of homes in the RS zone. However, the issue of neighborhood compatibility is at the discretion of the Planning Commission, and neighborhood input is a component in accessing neighborhood compatibility. The Morrison Ranch Homeowners Association approved the proposed plans. Neighbors within a 750 foot radius of the project site were notified of the Planning Commission meeting, but the City has not received any written comments regarding the project to date.

Since the project does not require grading, a grading permit will not be required for the project. The parcel is connected to the public sewer system. No street improvements are required for the proposed addition.

#### Architecture Review

The proposed addition has been designed to match the existing structure in terms of materials and design detail. The existing house consists of off-white colored stucco walls, with white trim, white vinyl windows and a tile roof. The existing front setback/stepped design is retained, as called for in the Residential Neighborhood Compatibility Guidelines. The addition will be an extension of an existing second-story gable end, and will consist of the same stucco exterior, vinyl white windows, roof tile as the existing structure. The roof over the entry of the residence is proposed to be raised to provide height and light to the front porch area and will match the existing roof on the home. Also a stained, wooden front door with glass is proposed. Since the proposed design of the expansion of the second floor will match the existing architectural design of the home, the completed project would continue to have a harmonious relationship with the adjacent homes.

The applicant has located the proposed second-story addition above the kitchen and dining room at the rear of the residence to be consistent with the neighboring structure to the north of the subject property and other second-story structures in the neighborhood and preserve the existing character of the neighborhood. There currently are no windows on the second story of the north side of the house. However, with this new addition, a bedroom, bathroom, and seating area window will be added on this north side, where the adjacent home is a

distance of approximately 20 feet. A new bedroom window is proposed on the west side of the new second-floor addition, which overlooks the backyard. The neighbor has a bay window facing south on the second story.

The proposed home expansion has been compared with other similar additions built in the neighborhood. The neighbor directly to the north of the project site, on Rustling Oaks Drive, is 3,242 square feet, which includes a 572 square foot similar addition that was built in 1988. The largest home in the survey area, on Fountainwood Street, is 3,776 square feet, which includes a 602 square foot addition that was built in 2007.

The height of the existing ridge line of the roof is 27.5 feet. The proposed second-story addition would not exceed the existing 27.5 feet at its highest point, which is below the maximum building height of 35 feet allowed for in the RS zone and is compatible with the established building heights in the neighborhood, as called for in the neighborhood compatibility guidelines.

Staff finds the project is a reasonable expansion of the existing dwelling. The applicant has noted that the additional bedroom, closet space, bathroom, and seating area are needed for an expanding family. The proposed bedroom will be the 4<sup>th</sup> bedroom in the home.

#### Environmental Review

The project consists of a 528 square-foot addition to an existing 3,026 square foot single-family residence. It is categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, per Section 15303 (New Construction or Conversion of Small Structures) because the addition will not result in an increase of more than 10,000 square feet in size to an existing single-family residence and the area in which the project is located is not environmentally sensitive.

### **III. RECOMMENDATION**

Based on the foregoing review and analysis, staff recommends that the Planning Commission approve Site Plan/Architectural Review Case No. 11-SPR-010, subject to conditions.

### **IV. ATTACHMENTS:**

- Site Plan/Architectural Review Draft Resolution and Conditions of Approval
- Exhibit A: Reduced Photocopies of the Architectural Plans
- Exhibit B: Photographs of the Residence
- Exhibit C: Square Footage Analysis Map
- Exhibit D: Vicinity Map
- Exhibit E: Color and Material Board

Case Planner: Renee Madrigal, Associate Planner

DRAFT RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF AGOURA HILLS  
APPROVING SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 11-SPR-010

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Marciano Zion for Marisa Feldman with respect to the property located at 6131 Rustling Oaks Drive (Assessor's Parcel Number 2051-009-017), requesting approval of a Site Plan/Architectural Review Case No. 11-SPR-010 to construct a 528 square-foot addition to the existing second story of a 3,026 square foot, single-family residence. A public meeting was duly held on February 2, 2012, at 6:30 p.m. in the Council Chambers at City Hall, 30001 Ladyface Court, Agoura Hills, California 91301. Notice of the time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid Public Meeting.

Section 3. The Planning Commission, pursuant to the Agoura Hills Zoning Ordinance, finds as follows:

A. The proposed use, as conditioned, is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the Single Family Residential (RS) zone in which the use is located. The proposed addition to a single-family residence is a permitted use in the RS zone.

B. The proposed addition, as conditioned, will not be detrimental to the public health, safety, or general welfare. The property will be improved and maintained according to City Building Code standards and all building plans will be reviewed and approved by the City's Building and Safety Department. The placement of the addition above the existing first floor will be below the maximum allowable building height of 35 feet, thereby allowing for privacy, light, and air to adjacent structures and is compatible with the established building heights in the neighborhood as called for in the Architectural Design Standards and Guidelines for neighborhood compatibility. The parcel is connected to the public sewer system.

C. The proposed addition, as conditioned, will not conflict with the character and design of the buildings in the surrounding area in that the proposed exterior materials consisting of off-white stucco walls, white trim, and a tile roof will be compatible with the existing residence and neighboring homes.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance relative to setbacks, lot coverage and building height, and is consistent with the development standards of the Single-Family Residential zone.

E. That the proposed use, as conditioned, is consistent with the goals, objectives and policies of the General Plan in that it will maintain a distinguish characteristic including the building form, scale, and massing, as called in Policy LU-9.1 of the General Plan Land Use and Community Form Element.

F. The proposed use, as conditioned, preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The proposed addition will consist of off-white stucco walls, white trim and a tile roof that are consistent with the architecture of the existing residence and surrounding area. The addition will not exceed the existing height of the residence and view-sheds would not be significantly impacted. The proposed room addition is a logical expansion to the existing single-family residence and will be constructed in accordance with the development standards of the RS zone.

Section 4. The project consists of a 528 square-foot addition to an existing 3,026 square-foot, single-family residence, and is, therefore, categorically exempt from the California Environmental Quality Act Guidelines, per Section 15303, because the addition will not result in an increase of more than 10,000 square feet in size, and the area in which the project is located is not environmentally sensitive.

Section 5. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. 11-SPR-010, subject to the attached conditions, with respect to the property described in Section I hereof.

PASSED, APPROVED, and ADOPTED this 2<sup>nd</sup> day of February, 2012, by the following vote to wit:

AYES: (0)  
NOES: (0)  
ABSTAIN: (0)  
ABSENT: (0)

\_\_\_\_\_  
Chairperson

ATTEST:

\_\_\_\_\_  
Mike Kamino, Secretary

## CONDITIONS OF APPROVAL (Case No. 11-SPR-010)

### STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of these Permits with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits: Site Plan, Elevation Plans, Floor Plan, and Roof Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved architectural plans.
8. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
9. Unless this permit is used within two (2) years from the date of City approval, Case No. 11-SPR-010 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
10. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$2.97 per gross square foot for residential construction.
11. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.9296 per square foot.



12. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be allowed.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

14. As required under the City of Agoura Hills, Construction and Demolition Debris Recycling Program (Waste Reduction/Recycling Plans), to ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
15. As required under the City of Agoura Hills, Construction and Demolition Debris Recycling Program (Waste Reduction/Recycling Plans), the project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
16. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

BUILDING AND SAFETY CONDITIONS

17. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures need to meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).
18. As part of the building permitting process and prior to permit issuance, two (2) full sets of construction plans including, Electrical, Plumbing, Mechanical, Title 24, Structural calculations shall be submitted to Building and Safety Department for plan review and approval.

END



**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 11-SPR-010**

**FOR THE PROPERTY LOCATED AT  
6131 RUSTLING OAKS DRIVE, AGOURA HILLS**

**EXHIBIT A**

**REDUCED PHOTOCOPIES OF THE  
ARCHITECTURAL PLANS**

APPLY TO 2010 LABC. CBC. CPC. CMC. CEC. BUILDING CODE

- MECHANICAL VENTILATION**
1. ALL BATHROOMS, TOILET ROOMS, POWDER ROOMS AND LAUNDRY ROOMS SHALL BE VENTILATED TO PROVIDE 3 OR CHANGES PER HOUR, AND CONNECTED DIRECTLY TO THE OUTSIDE. FAN SHALL BE OPERATED FROM A LIGHT SWITCH.
  2. LEGAL EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF KEYS, SPECIAL KNOWLEDGE OR EFFORT. ALL EXIT HARDWARE SHALL BE OF AN APPROVED TYPE AND OR FLUSH BOLTS (MANUALLY OPERATED) AND SIMILAR DEVICES ARE PROHIBITED.
  3. EXIT/ENTRANCE DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.
  4. PROVIDE LOW CONSUMPTION WATER CLOSETS AND LOW FLOW SHOWER HEADS.
  5. PROVIDE APPROVED STUCCO WEEP SCREENS AT SILL PLATE OF ALL STUCCO WALLS. STUCCO FINISH SHALL NOT EXTEND BELOW FINISH GRADE.
  6. BATHROOM FLOORS OVER WOOD SHALL HAVE WATER-PROOF PROTECTION. PROVIDE RESILIENT FLOORING OVER 1/4" FELT BONDED TO PLYWOOD SUBFLOOR.
  7. AN APPROVED SESIMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE PROUDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
  8. ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF. ALL FLASHING, COUNTER FLASHING AND COPING WHEN OF METAL SHALL BE 20 GA. GAL. MINIMUM.
  9. ALL PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE INSPECTED AND APPROVED BY BUILDING INSPECTOR BEFORE COVERING.
  10. FEE BLOCS AT ARCHITECT WALLS OVER 8" HIGH.
  11. COMFORT HEATING WILL BE PROVIDED TO EVERY DWELLING UNIT AS REQUIRED BY CODE.
  12. PROVIDE NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIAL FOR SHOWER ENCLOSURE AND WINDOWS WITHIN 6" OF SHOWER OR BATH TUB DOOR.
  13. CONDUCT ALL ROOF DRAINAGE UNDER SIDEWALK TO STREET BY MEANS OF AN APPROVED NON-ROTSIVE DEVICE.
  14. BATHUB AND SHOWER UNITS, INCLUDING BACKING, SHALL BE OF TYPE APPROVED BY THE PLUMBING DEPARTMENT.
  15. TELEVISION ANTENNA SHALL BE LOCATED 7' ABOVE FLAT ROOFS.
  16. PROVIDE ALL APPROVED SMOKE AND FIRE DETECTORS WITHIN 10' OF CEILING AND WIRE SHOWN ON PLANS. HAND WIRED WITH BATTERY BACK UP.
  17. PROVIDE SMALL APPLIANCE CIRCUITS IN KITCHEN - 12 OUTLET MAX ON 20 AMP SERVICE - 9 OUTLET MAX ON 15 AMP CIRCUIT.

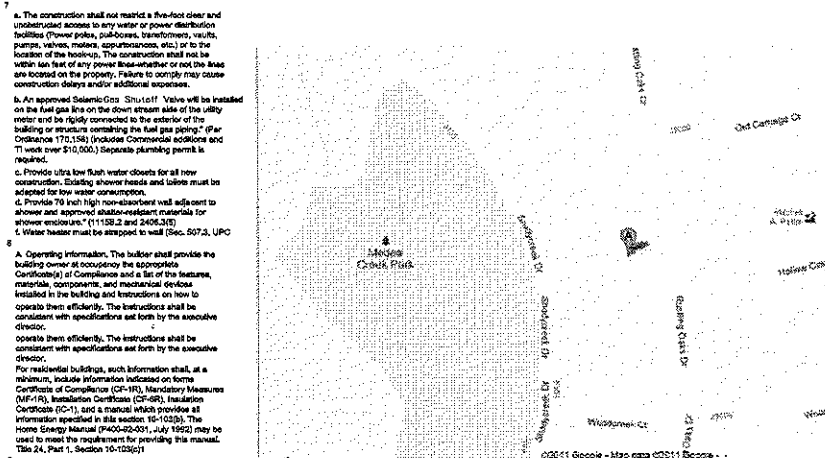
- STRUCTURAL GENERAL**
1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2010 CBC EDITION AND ALL OTHER APPLICABLE REQUIREMENTS, ORDINANCES, AND REGULATIONS.
  2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE.
  3. UNLESS SHOWN OR NOTED OTHERWISE, TYPICAL DETAILS AND GENERAL NOTES SHALL BE USED WHENEVER APPLICABLE.
  4. UNLESS SPECIFICALLY CALLED OUT ON THESE DRAWINGS, CONTRACTOR SHALL FURNISH ADEQUATE SHORING, BRACING, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK, AND SHALL BE FULLY RESPONSIBLE FOR SAME.
  5. COPIES OF ALL INSPECTIONS, REPORTS, TEST RESULTS, ETC. SHALL BE SENT TO STRUCTURAL ENGINEER.
- FOUNDATION**
- MAXIMUM SOIL PRESSURE 1500 P.S.F. CLASS 5 MAT OBJECTIVE 1804.2
- CONCRETE**
1. ALL WORK SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF P C-2500 P.S.I. @ 28 DAYS.
  2. SECS OF FOOTINGS PADS MAY BE POURED AGAINST STABLE EARTH.
  3. ALL STEEL REINFORCING ANCHOR BOLTS, DOWELS AND OTHER INSERTS SHALL BE SECURED IN POSITION AND INSPECTED BY THE LEGAL BUILDING DEPARTMENT INSPECTOR, PRIOR TO THE POURING OF ANY CONCRETE.
  4. PORTLAND CEMENT TYPE II WATER CEMENT RATIO IS 26 GALLONS OF WATER PER CUBIC YARD OF CONCRETE.

- STRUCTURAL STEEL**
1. STRUCTURAL STEEL A 36M, STRUCTURAL PIPE ASTM A53 Q35 TUBING ASTM A501.
  2. WELDING BY A LICENSED FABRICATOR USING CERTIFIED WELDERS.
  3. WELDING - ELECTRIC ARC PROCESS.
  4. ALL FIELD STRUCTURAL WELDING TO HAVE CONTINUOUS INSPECTION.
  5. ALL WELDING TO BE DONE BY WELDERS CERTIFIED BY THE 2010 CBC BUILDING DEPARTMENT. CONTINUOUS INSPECTION REQUIRED.
  6. REINFORCING STEEL ASTM A615 GRADE 40

- WOOD**
1. ALL LUMBER - DOUGLAS FIR/LARCH EXCEPT AS NOTED. ALL LUMBER SHALL BE GRADE MARKED, AND MUST BE GRADE MARKED.
  2. JOISTS, RAFTERS, AND BEAMS - NO. 1 GRADE, EXCEPT AS NOTED.
  3. MISC. FRAMING STUDS, FLOORING, ETC. - "STANDARD" GRADE D.F.
  4. SHEATHING - "STANDARD" GRADE OR UTILITY GRADE.
  5. PLYWOOD - DOUGLAS FIR - PS 1-6.
  6. SILL PLATES - PRESSURE TREATED D.F. ON FASTER FOR PRESERVATIVES TREATED SHALL BE HOT-DIPPED ZINC COATED GALVANIZED STEEL.
  7. HOLES FOR BOLTS - SAME SIZE AS BOLT OR 1/16" LARGER.
  8. BOLTS TO HAVE STANDARD END WASHERS.
  9. SOLID FIRE BLOCKING IN STUD WALLS @ 6" MAX.
  10. NAILING SHALL CONFORM TO TABLE 2304.5.1
  11. ROOF SHEATHING SHALL BE INSPECTED BEFORE APPLYING ROOFING TO INSURE SOUND BOARDS AND NAILING.
  12. 2" BLOCKING AT 10'-0" FOR ROOF RAFTER, 8'-0" FOR FLOOR JOISTS.

- ROOFING**
1. ROOF SHEATHING SHALL BE 1/2" PLYWOOD IDENTIFICATION INDEX 240 (OR EQUIVALENT) NAILS WITH 6" @ 12" ALL SUPPORTED EDGES AND OVER ALL STUD WALLS. 10# @ 12" AT OTHER INTERMEDIATE BEARINGS (NO EDGE BLOCKING REQUIRED).
- FLOOR FRAMING**
1. FLOOR SHEATHING SHALL BE 5/8" PLYWOOD IDENTIFICATION INDEX 2616 (OR EQUIVALENT) NAILED WITH 10# @ 6" AT ALL SUPPORTED EDGES AND OVER ALL STUD WALLS. 10# @ 12" AT ALL INTERMEDIATE BEARINGS.
  2. ALL INTERIOR BEARING WALL HEADERS SHALL BE AS FOLLOWS (EXCEPT AS NOTED ON PLANS, 4'-0" MAX. OPEN. 4X4)
  3. 3/4" MAX. OPEN. 4X4 OR 2" X 10" MAY BE USED WHERE FLASH FRAMING REQUIRED UNDO.
  4. PROVIDE DOUBLE JOIST UNDER PARTITIONS RUNNING PARALLEL TO FRAMING. 1/2" cts plywood sheathing w/ 8" @ 12"

- ADDITIONAL NOTES:**
- 1 anchor bolts per place located not more than 12" or less than 7" bolt diameters from each end and to the slab
  - 2 anchor bolts every 6' maximum 7" and spaced maximum 6" w/ 2"x12" plain washers minimum
  - 3 PROVIDE TWO LAYERS OF GRADE D PAPER OVER ALL WOOD BASE SHEATHING
  - 4 ATTACHED PRIVATE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ATTACHED BY A MINIMUM 2" GAP. GARAGE DOOR APPLIED TO THE GARAGE SIDE
  - 5 HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET
  - 6 THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE PETROLEUM BY-PRODUCTS. SOL PARTICULATE CONSTRUCTION WASTE MATERIALS OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED CONVEYED



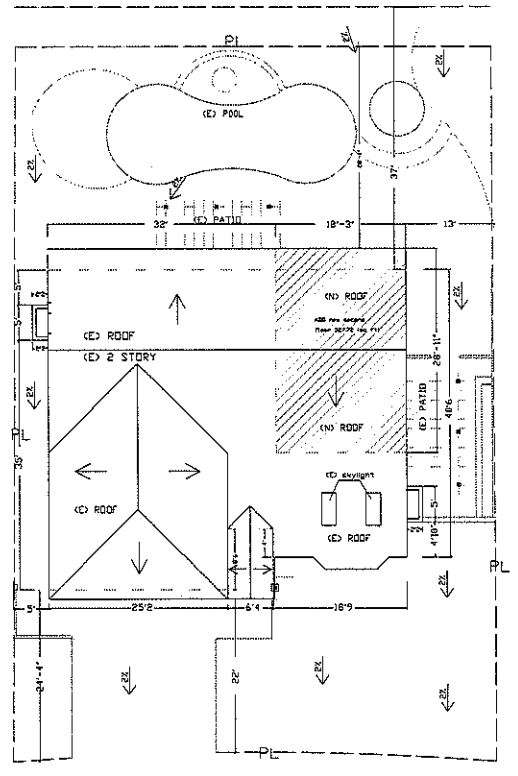
PROJECT SUMMARY

PROJECT DESCRIPTION : ADD new second floor 527.72 (sq ft)

Zoning : R.S  
 CONSTRUCTION TYPE: V-B  
 BUILDING TYP: Residential  
 NUMBER OF STORIES : TWO  
 Assessor Parcel Number: 2051-009-017

Tract: TR 33402  
 LOT 235  
 Lot 6,708 (sq ft)  
 Square Feet existing 3,026 sqft  
 (E) first floor 1574 S.Q.F.T  
 (E) GARAGE 550 S.Q.F.T  
 TOTAL FIRST FLOOR 2124 S.Q.F.T  
 (E) second floor 1452 S.Q.F.T  
 second floor ADDITION 527.72 (sq ft)  
 TOTAL SECOND FLOOR 1979.72 S.Q.F.T  
 TOTAL S.Q.F.T 3026+527.72=3553.72  
 LOT COVERAGE 2124 / 6708 = 31.66%  
 527.72 / 3553.72=17.43  
 1979.72 / 2124 = 93.20%

| INDEX |                                       |
|-------|---------------------------------------|
| SHEET |                                       |
| 1     | SITE plan                             |
| 2     | existing & proposal first floor plan  |
| 3     | existing & proposal second floor plan |
| 4     | elevation                             |



RUSTLING OAKS DR  
 SITE plan & ROOF PLAN  
 SCALE 1/8" = 1'-0"

REVISIONS BY

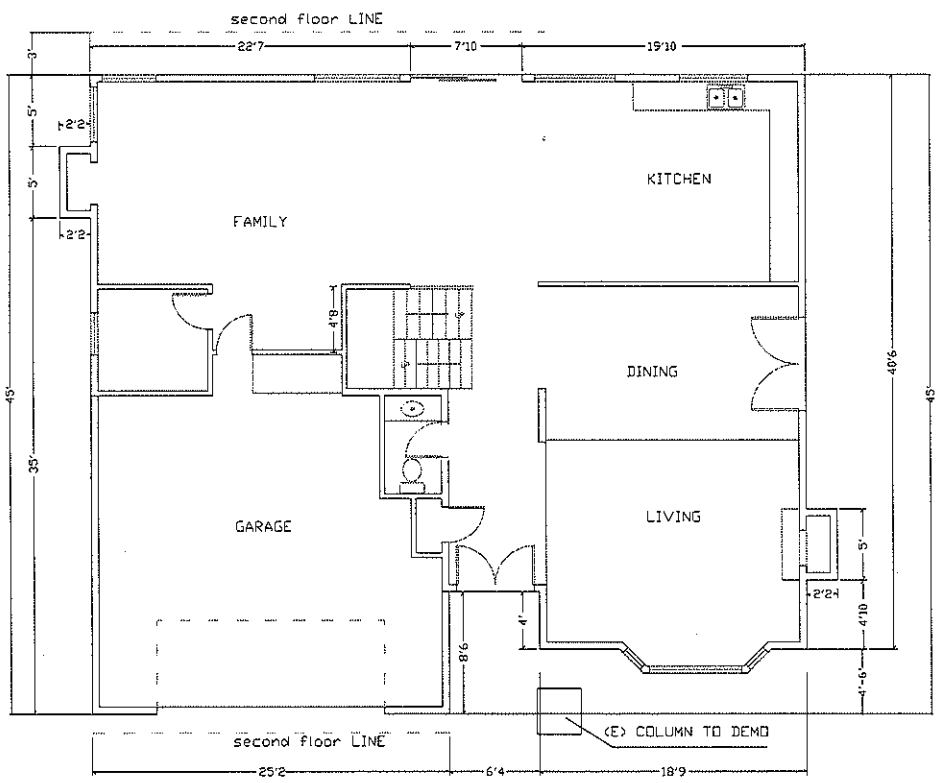
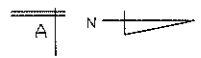
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DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 JOB: \_\_\_\_\_  
 SHEET: \_\_\_\_\_  
 OF \_\_\_\_\_

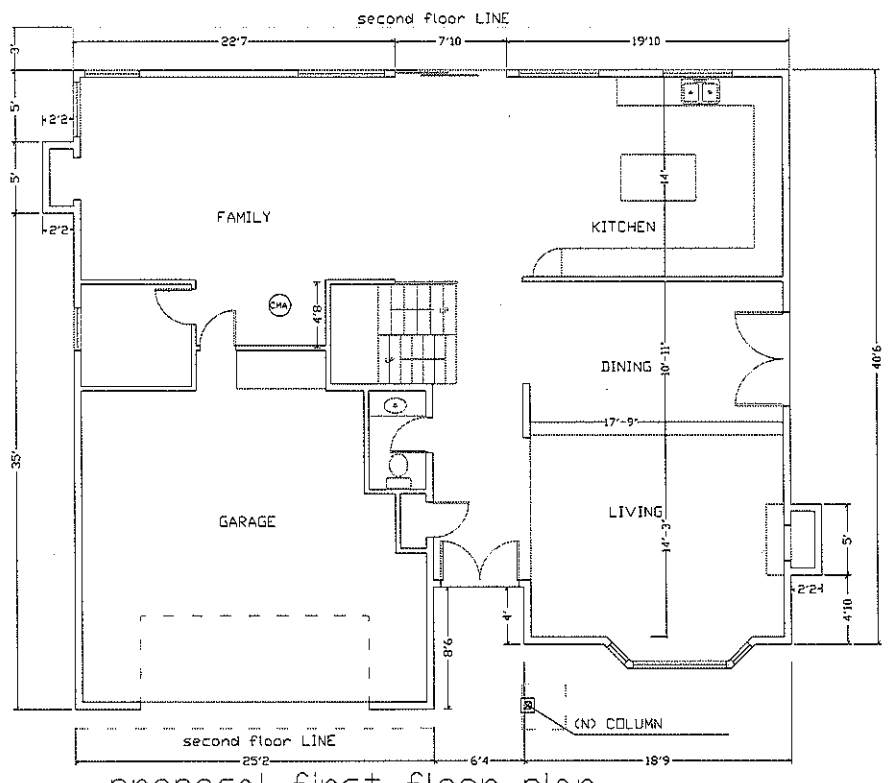
JOB NAME: FELDMAN  
 ADDRESS: 6131 RUSTLING OAKS DR  
 AGOURA HILLS CA  
 OWNER: FELDMAN TOMER

Marzi 818 3044565

- NEW WALL
- DEMLITION WALL
- EXISTING WALL
- (S.D) SMOKE DETECTOR
- (C.M.A) CARBON MONOXIDE ALARM



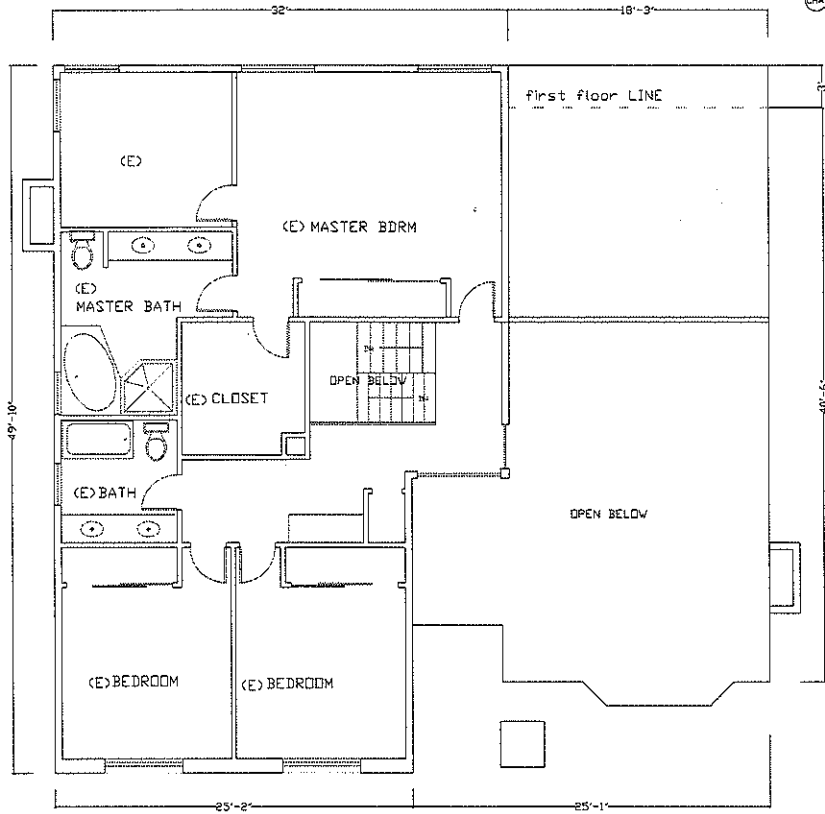
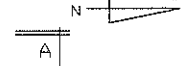
existing first floor plan  
SCALE 1/4" = 1'-0"



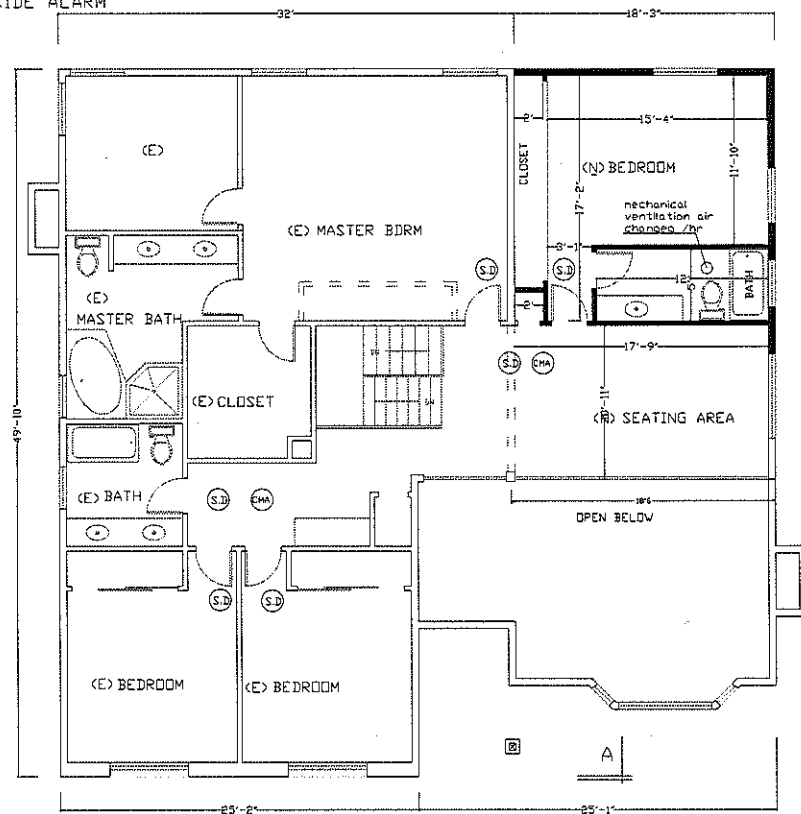
proposal first floor plan  
SCALE 1/4" = 1'-0"

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|--|---|
| REVISIONS BY   |   |
| DATE   |   |
| DRAWN  |   |
| SCALE  |   |
| JOB  |   |
| SHEET  | 2 |
| OF   |   |
| JOB NAME: FELDMAN<br>ADDRESS: 6131 RUSTLING OAKS DR<br>AGOURA HILLS CA<br>OWNER: FELDMAN TOMER   |   |
| <small>THE USE OF THESE PLANS AND SPECIFICATIONS AND CANNOT BE HELD LIABLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT.</small> |   |

- NEW WALL
- DEMLITION WALL
- EXISTING WALL
- (S.D.) SMOKE DETECTOR
- (CMA) CARBON MONOXIDE ALARM



existing second floor plan  
SCALE 1/4" = 1'-0"



proposal second floor plan  
SCALE 1/4" = 1'-0"

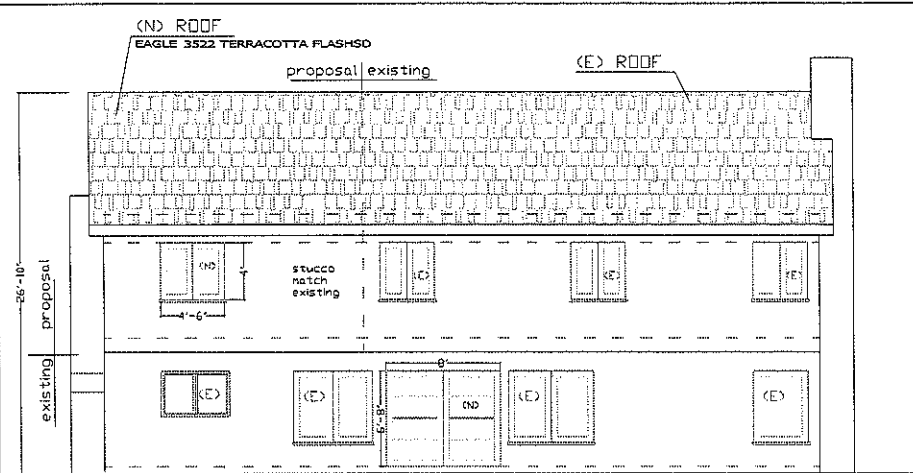
**MATERIAL LIST**

|                          |                   |                         |
|--------------------------|-------------------|-------------------------|
| ROOF TILE CLASS A        | EAGLE             | 3522 TERRACOTTA FLASHSD |
| TO MATCH EXISTING        |                   |                         |
| STUCCO TO MATCH EXISTING |                   | OFF WHITE               |
| WINDOWS                  | TO MATCH EXISTING | VINYL WHITE             |

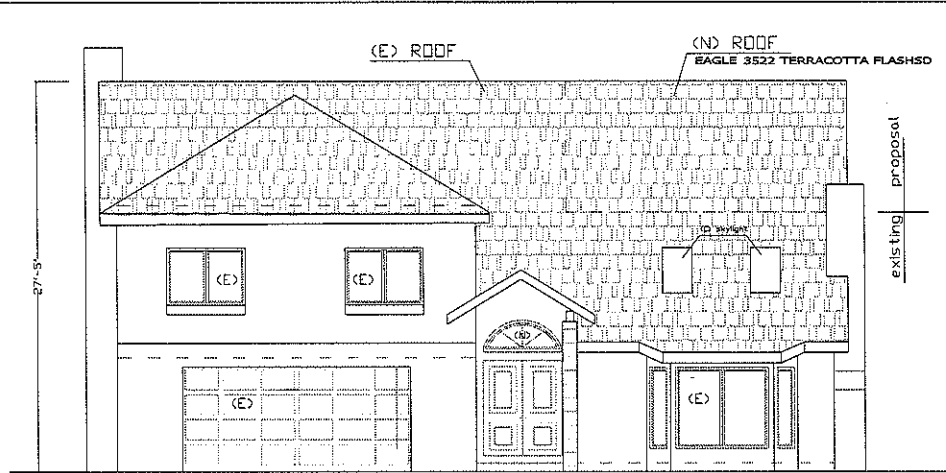
THE USE OF TRADE NAMES AND SPECIFICATIONS AND MARKS FOR PATENTED ARTICLES, MATERIALS, EQUIPMENT, AND SUPPLIES SHALL CONSTITUTE PARTS AND PORTIONS OF THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND FOR THE PROTECTION OF THE ADJACENT PROPERTY.

JOB NAME: FELDMAN  
ADDRESS: 6131 RUSTLING OAKS DR  
AGOURA HILLS CA  
OWNER: FELDMAN TOMER

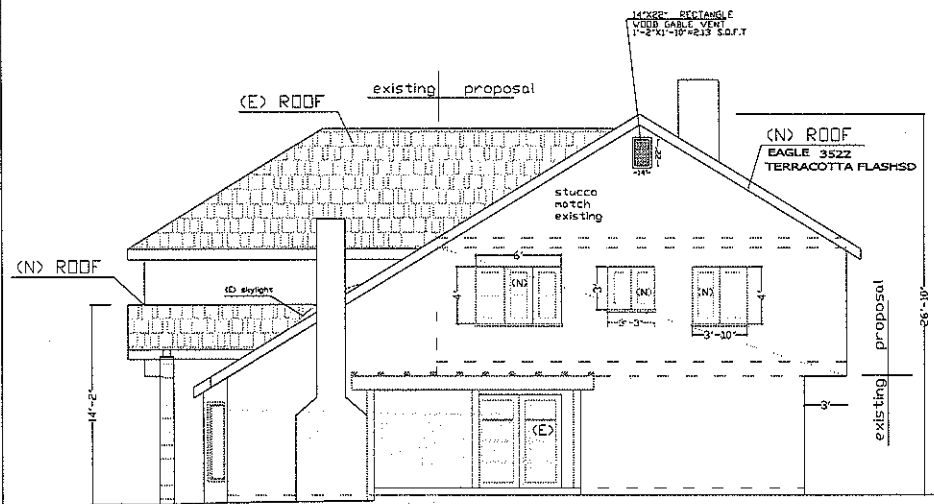
DATE:  
DRAWN:  
SCALE:  
JOB:  
SHEET:  
OF 3



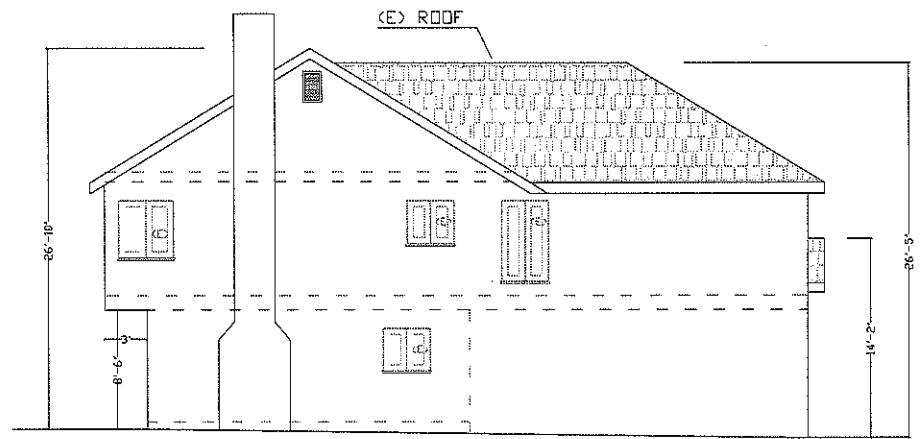
West elevation  
SCALE 1/4" = 1'-0"



East elevation  
SCALE 1/4" = 1'-0"



North elevation  
SCALE 1/4" = 1'-0"



South elevation  
SCALE 1/4" = 1'-0"

REVISIONS BY

|  |  |
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THE USE OF THESE PLANS AND SPECIFICATIONS AND CONTRACT DOCUMENTS SHALL BE LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THESE DOCUMENTS. ANY OTHER USE OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED.

JOB NAME: FELDMAN  
ADDRESS: 6131 RUSTLING OAKS DR  
AGOURA HILLS CA  
OWNER: FELDMAN TOMER

DATE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
JOB: \_\_\_\_\_  
SHEET: \_\_\_\_\_  
OF 4



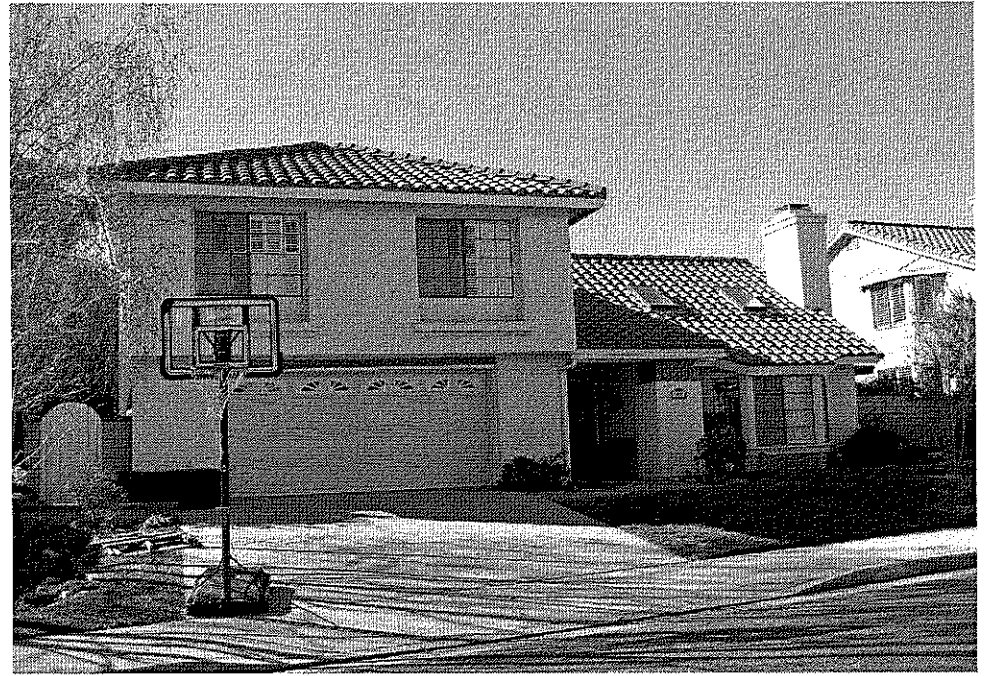
**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 11-SPR-010**

**FOR THE PROPERTY LOCATED AT  
6131 RUSTLING OAKS DRIVE, AGOURA HILLS**

**EXHIBIT B**

**PHOTOGRAPHS OF THE RESIDENCE**







**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 11-SPR-010**

**FOR THE PROPERTY LOCATED AT  
6131 RUSTLING OAKS DRIVE, AGOURA HILLS**

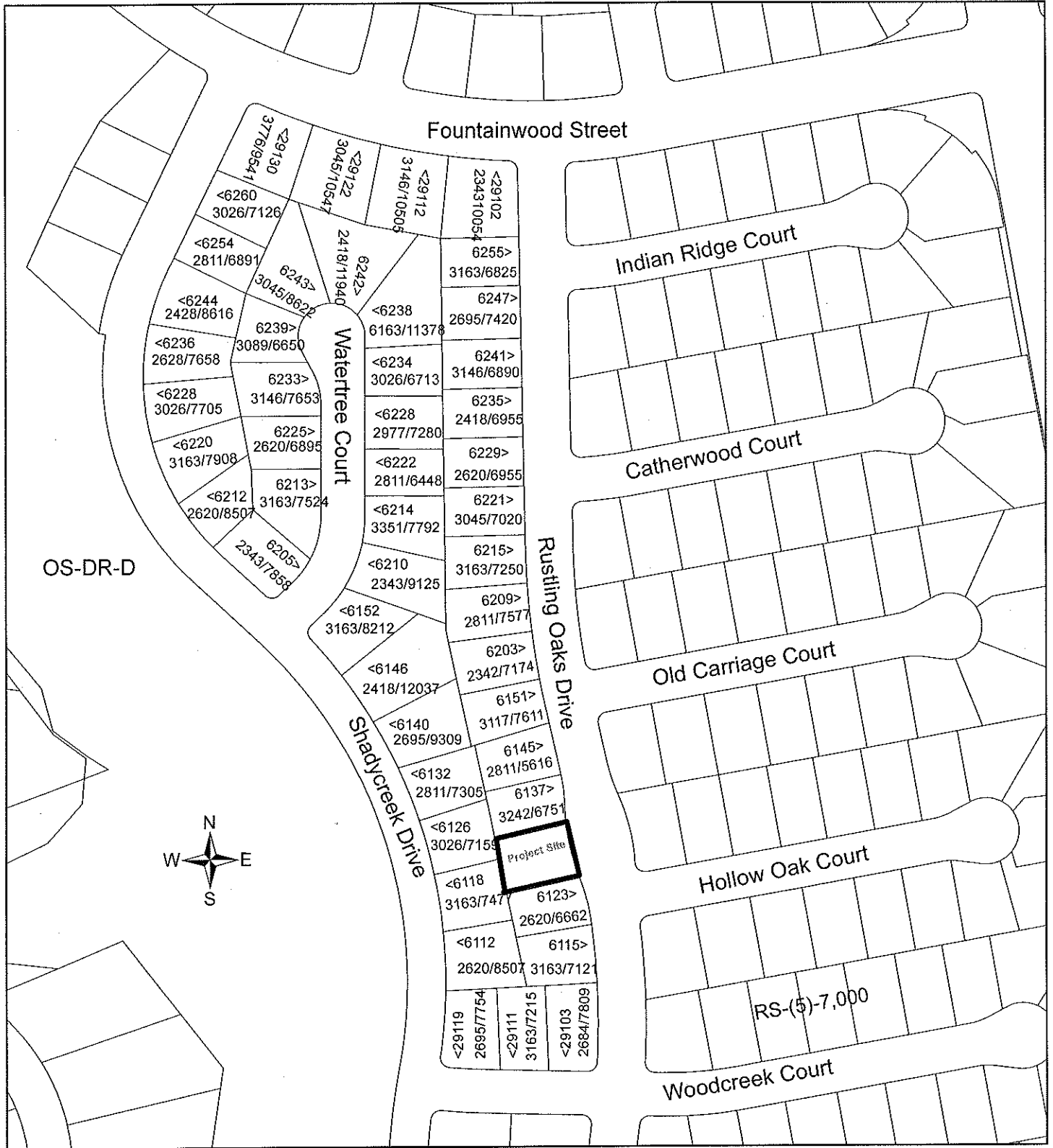
**EXHIBIT C**

**SQUARE FOOTAGE ANALYSIS MAP**

SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 11-SPR-010  
 (A.P.N. 2051-009-017)

Square Footage Analysis Map

Legend:  
 < Address  
 Bldg. Size/Lot Size





**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 11-SPR-010**

**FOR THE PROPERTY LOCATED AT  
6131 RUSTLING OAKS DRIVE, AGOURA HILLS**

**EXHIBIT D**

**VICINITY MAP**

SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 11-SPR-010  
(A.P.N. 2051-009-017)





**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 11-SPR-010**

**FOR THE PROPERTY LOCATED AT  
6131 RUSTLING OAKS DRIVE, AGOURA HILLS**

**EXHIBIT E**

**COLOR AND MATERIAL BOARD**

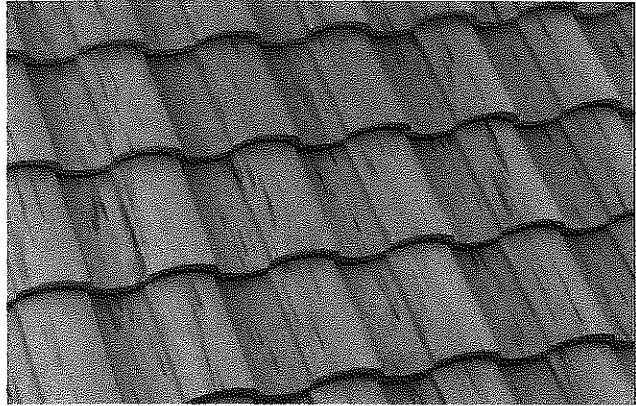
6131 RUSTLING OAKS DR  
AGORA HILLS CA  
OWNER: FELDMAN TOMER

## MATERIAL LIST

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ROOF TILE CLASS A  
TO MATCH EXISTING

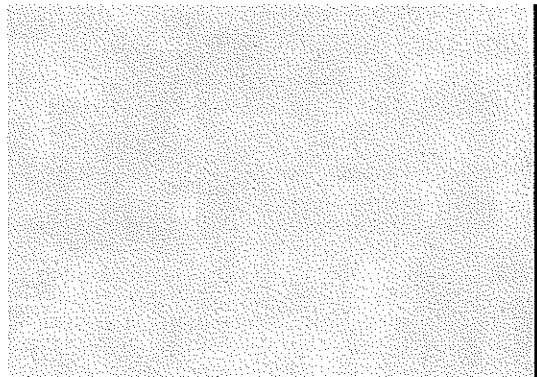
EAGLE 3522 TERRACOTTA FLASHSD



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STUCCO TO MATCH EXISTING

OFF WHITE



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WINDOWS TO MATCH EXISTING

VINYL WHITE

