



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

ACTION DATE: March 15, 2012

TO: Planning Commission

APPLICANT: Sean Ben-Menahem
5000 N. Parkway Calabasas, Suite 106
Calabasas, CA 91302

CASE NOS.: 03-CUP-016 (Amendment) & 03-OTP-017 (Amendment)

LOCATION: 6149 Palo Comado Drive - (A.P.N. 2055-023-073)

REQUEST: Request for approval of a one-year time extension for a Conditional Use Permit to construct a 3,994 square foot, two-story, single-family residence, with a 475 square foot attached two-car garage and a horse-keeping area; and a request for an extension of an Oak Tree Permit to encroach in the protected zone of 10 oak trees for the proposed construction.

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA per Section 15303 of the CEQA Guidelines (New Construction of a Single-Family Residence)

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to extend Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, subject to conditions, based on the findings of the attached Draft Resolution.

ZONING DESIGNATION: RV-OA-EQ – (Residential Very Low Density -Old Agoura Design Overlay District- Equestrian Overlay District)

GENERAL PLAN DESIGNATION: RV – Residential Very Low Density

I. PROJECT DESCRIPTION AND BACKGROUND

After conducting four public hearings, on January 15, 2009, the Planning Commission approved a Conditional Use Permit application (Case No. 03-CUP-016) by Sean Ben Menahem, for the proposed construction of a 3,994 square-foot, two-story, single-family residence with a 475 square-foot, two-car garage, and 288 square feet of horse-keeping area.

The original application reviewed by the Planning Commission on March 20, 2008 was for a 4,880 square-foot house. At subsequent continued hearings on August 7, 2008 and December 18, 2008, the Planning Commission reviewed revised plans showing a 4,515 square-foot house and a 3,994 square-foot house, respectively. At each revision, the plans addressed the Planning Commission's concerns regarding house size, grading, architecture, drainage, and horse-keeping amenities.

The 1.13-acre vacant lot is located on the west side of Palo Comado Drive, one lot south of Fairview Place, at 6149 Palo Comado Drive. Also requested was an Oak Tree Permit to encroach in the protected zone of 10 Oak trees for the construction. The lot is zoned RV-OA (Residential Very Low Density-Old Agoura Design Overlay) zone and is adjacent to developed lots to the west, east and south, and a vacant residentially zoned lot to the north. The Planning Commission approved the Conditional Use Permit, and Oak Tree Permit on a 5-0 vote.

Pursuant to the provisions of the Zoning Ordinance and the project conditions of approval, the Conditional Use Permit and Oak Tree Permit were valid for an initial two (2) year period (to January 15, 2011). As allowed by the Zoning Ordinance and the project conditions of approval, the applicant requested and received a one (1) year administrative extension of each of the entitlements (to January 15, 2012). Prior to the expiration of the first extension, the applicant requested a second, one-year extension of the permits, which the Zoning Ordinance allows to be considered by the Planning Commission.

II. STAFF ANALYSIS

The project has not changed from its original approval and all conditions of approval would remain valid with the exception of those noted below. Copies of previous staff reports and adopted Resolution and conditions of approval are attached for reference. Although the applicant has not yet applied for a building permit, he is seeking additional time to begin construction.

The City Oak Tree Consultant has reviewed the original conditions of approval and has found the project to be generally in keeping with the original scope of approved work. The project proposed to encroach into the protected zone of 10 oak trees and no removals are necessary. The City Oak Tree Consultant recommends adding three additional conditions pertaining to seedling oak trees that were found on the site. The conditions would require an evaluation, prior to issuance of the grading permit to determine whether these trees will be subject to protection. To mitigate the removal of any oak trees that are protected at the time of issuance of the grading permit, the applicant's landscape plan would need to include at least the

The Engineering/Public Works Department has also reviewed the request and the previously approved conditions of approval. The Engineering/Public Works Department requested that one condition be revised, which requires that the Transportation Impact Fee be updated to the most current fee.

The Building and Safety Department has also reviewed the request and the previously approved conditions of approval and recommends their conditions be amended to reflect the most current Building Code requirements.

Although this application is a request to extend the life of the entitlements as it was approved in 2009 and is not subject to the new guidelines, the project complies with the recently approved Residential Neighborhood Compatibility Ordinance. Based on the above analysis, staff finds the request for an extension of the Conditional Use Permit and Oak Tree Permit to be acceptable in part because the applicant is not requesting any changes to the project. Staff finds the request to be consistent with projects approved under the categorical exemption for a new single-family residence (Section 15303 of the CEQA Guidelines). The project would not require the preparation of a Mitigated Negative Declaration or Environmental Impact Report.

III. RECOMMENDATION

Staff recommends that the Planning Commission adopt a motion to approve an amendment to Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017 granting a one-year time extension that would expire on January 15, 2013, subject to the revised conditions of approval, based on the findings of the attached draft Resolution.

IV. ATTACHMENTS

- Draft Resolution and Conditions of Approval
- Exhibit A: Vicinity/Zoning Map
- Exhibit B: Project Plans
- Exhibit C: January 15, 2009 Planning Commission Meeting Minutes
- January 15, 2009 Planning Commission Staff Report
- Project Plans
- Planning Commission Resolution No. 960 and Conditions of Approval
- Exhibit D: December 18, 2008 Planning Commission Meeting Minutes
- December 18, 2008 Planning Commission Staff Report
- Project Plans
- Exhibit E: August 7, 2008 Planning Commission Meeting Minutes
- August 7, 2008 Planning Commission Staff Report
- Project Plans
- Exhibit F: March 20, 2008 Planning Commission Meeting Minutes
- March 20, 2008 Planning Commission Staff Report
- Project Plans

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS EXTENDING CONDITIONAL USE
PERMIT CASE NO. 03-CUP-016 AND OAK TREE PERMIT
CASE NO. 03-OTP-017 SUBJECT TO REVISED CONDITIONS
OF APPROVAL

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS,
RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Sean Ben-Menahem with respect to the real property located at 6149 Palo Comado Drive, Assessor's Parcel Number 2055-023-073, requesting the approval of a Conditional Use Permit amendment, and an Oak Tree Permit amendment for a one-year time extension to construct a 3,994 square-foot, two-story, single-family residence with a 475 square foot attached two-car garage with 288 square feet of horse-keeping area, and to encroach in the protected zone of ten (10) oak trees for the proposed construction.

Section 2. A public hearing was duly held on March 15, 2012 at 6:30 p.m. in the Council Chambers, City Hall at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date and place and purpose of the aforesaid was duly given.

Section 3. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the public hearing.

Section 4. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds that the findings contained in Planning Commission Resolution No. 960 approved on January 15, 2009, can still be made, as stated below and in accordance with Section 9673.2.E. of the Municipal Code, subject to the revised conditions of approval.

- A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The proposed project is located within the Residential Very Low Density zone and the Old Agoura Design Overlay zone, which provide general design standards for residential developments. All minimum development standards have been met for the proposed two-story residence with regard to setbacks, lot coverage, height, architectural guidelines and hillside development standards regarding height.
- B. The proposed use, as conditioned, is compatible with the surrounding properties. The project will contribute to the aesthetic value of the neighborhood as a whole. The proposed building style of architecture and building materials, which include Spanish tiles, rafter tails, smooth stucco, a balcony with wrought iron railing, courtyard entry and an overall earth tone scheme color are compatible with the neighborhood and meet the requirements of the Old Agoura Design Overlay District.
- C. The proposed use, as conditioned, and the conditions under which the project will be operated or maintained, will not be detrimental to the public health, safety or welfare. No element of the architecture or the use is detrimental to the health, safety or welfare.

of the public as single-family residences are allowed in that particular zone and the private septic system and drainage meet the conditions of both the Los Angeles County Health Department and the City Geological/Geotechnical Consultant. Access to the property will be taken from Palo Comado Drive, and the two-story house will be placed in a location on the lot that will not impact the privacy or view sheds of adjoining neighbors.

- D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance with regard to building placement, design, lot coverage, and height, and hillside development in that the project meets or exceeds the prescribed development's standards for the zones.
- E. The proposed use as conditioned, will maintain the diversity of the community's rustic structures in that the residence was designed as a split level and the combination of materials and the color palette give the house its own identity. The placement of the residence will not impact view-sheds of neighboring residents as it is set back from the front property line 52 feet and surrounded by hillside on the other three sides of the property. The parcel is isolated from the main roads where the development is the most visible.
- F. The proposed use, as conditioned, is consistent with the goals, objectives and policies of the General Plan. The proposed location of the house and the project as a whole, as subject to the revised conditions of approval, will preserve the oak trees. Proportionality of the house in relation to the size of the lot meets the intent of the Old Agoura Implementation Measures outlined in the Community Design Element.

Section 5. The project is a request for one, single-family residence and thus is exempt from California Environmental Quality Act (CEQA), pursuant to California Code of Regulations, Title 14, Section 15303.

Section 6. Based on the aforementioned findings, the Planning Commission hereby approves a one-year extension of Conditional Use Permit Case No. 03-CUP-016 and Oak tree Permit Case No. 03-OTP-017, subject to the attached revised Conditions of Approval. Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017 shall now expire on January 15, 2013.

Section 7. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED and ADOPTED this 15th day of March, 2012, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John O'Meara, Chairperson

ATTEST:

Mike Kamino, Secretary

Conditions of Approval
Case Nos. 03-CUP-016 (Amendment) & 03-OTP-017 (Amendment)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of these Permits with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the project plans as approved by the Planning Commission on January 15, 2012.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse provided that the applicant has been given written notice to cease such violation and has filed to do so for a period of thirty (30) days.
7. All Conditions of Approval in Planning Commission Resolution No. 960, except as modified herein, are valid and shall remain valid for the life of the project. The Conditions of Approval in Planning Commission Resolution No. 960 are amended as follows:
 - “9. Unless this ~~permit is used within two (2) years from the date of City approval, Case No. 03-CUP-016 (Amendment) and 03-CUP-017 (Amendment) are used by January 15, 2013, the permits will expire. A written request for a one (1) year extension may be considered prior to the expiration date.~~”
 - “13. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. At this time, the required school impact fee is ~~\$2.24~~ 2.97 per square foot.”
 - “14. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ ~~0.9223~~ 0.9296 per square foot of new floor area.”

OAK TREE/LANDSCAPE CONDITIONS

- "43A. Prior to the commencement of construction, the seedling oak trees located on the site shall be measured by the applicant's oak tree consultant to determine whether they meet the requirement for protection. These trees shall be retained until issuance of the grading permit."
- "43B. Prior to the commencement of construction, the applicant's oak tree consultant shall map out the then-current oak tree canopies and re-evaluate the potential impacts to the trees. Canopies measured shall include any seedling oak tree that meets the requirement for protection per item 4 above. Additional impacts shall be considered for mitigation purposes only."
- "43C. To mitigate the removal of any oak tree that meets the requirement for protection at the time of issuance of the grading permit the landscape plan shall include at least the equivalent number of inches of diameter of new oak trees within the landscape as those to be removed. A minimum of four (4) new oak trees shall be planted for each oak tree to be removed. The sizes shall include at least one (1) thirty-six inch (36") size box tree and two (2) twenty-four inch (24") box size trees. The exact species, planting sizes and planting locations shall be subject to review and approval by the City Oak Tree Consultant."

ENGINEERING/PUBLIC WORKS CONDITIONS

- "51.A.ii. The applicant shall pay a Transportation Impact Fees (TIF) to the Building and Safety Department in the amount of \$2,440 prior to the issuance of a Certificate of Occupancy Building Permit, per the City's most current fee schedule at the time of Building Permit issuance. The current fee is \$3,094."

BUILDING AND SAFETY CONDITIONS

- ~~53. The City Building Code requires all new residences to be protected by a residential fire sprinkler system. Plans for the required system shall be approved by the Fire Department prior to the issuance of Building Permits for the residence. Fire Sprinklers are required per Sec. 903.2 of the Agoura Hills Building Code.~~
- ~~54. The City Building Code requires that a minimum setback of structure to toe of slope per Agoura Hills Building Code, Sec. 1806.5.3 shall be demonstrated. Minimum setback from a descending slope is H/2, (½ the vertical height of the slope, including portions not on property), or provide the equivalent protection determined by the soils engineer. This deviation will need to be verified by City soils engineer and approved by Building Official.~~
- ~~55. Exterior elements and materials must be in compliance with all Fire Zone 4 requirements, Agoura Hills Building Code, Sec.6402.1.~~
- ~~56. Dual pane windows shall be utilized as required for Fire Zone 4 compliance.~~

- ~~57. The proposed roofing shall demonstrate the protective characteristics of a Class A roofing material or better.~~
- ~~58. All HVAC equipment shall be shown on mechanical plans as well as on site and grading plans.~~
- ~~59. Building Permits shall not be issued until grading is approved and City, Fire District and all other Departments' requirements have been satisfied.~~
- “53. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures need to meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).”
- “54. The plans shall show a 2% slope away from all new structures.”
- “55. The Structural Plans shall indicate that all new or replaced windows will be tempered on at least one side of the dual pane, or a 20 min rated window or glass blocks per Section 704A.3.2.2 of the 2010 California Building Code.”
- “56. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Soils Report, Floor Plan, Title 24 including Cool Roofing, Mechanical, Electrical, Plumbing, Energy Plans, Septic Tank plans will need to be submitted to Building and Safety Department for plan review and approval.”
- “57. This project will be subject to the 2010 California Building Code, 2010 California Mechanical Code, 2010 California Plumbing Code, 2010 California Electrical Code, 2010 Green Building Code and 2008 Energy Standards.”
- “58. The project shall be subject to the Agoura Hills Municipal Code Section 1805.3.2, pertaining to hillside setback requirements.”
- “59. Fire Sprinklers for all new structures will be required per Agoura Hills Municipal Code (AHMC) 903.2.”
- “59A. Los Angeles County Fire Department approval will be required for all new structures prior to Building Permit issuance.”
- “59B. Approval from the Los Angeles County Health Department will be required for the septic system.”
- “59C. Per AQMD Rule 445 only fireplaces fueled by gas (such as gas logs) may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted.”



CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016, AMENDMENT
OAK TREE PERMIT - CASE NO. 03-OTP-017 AMENDMENT

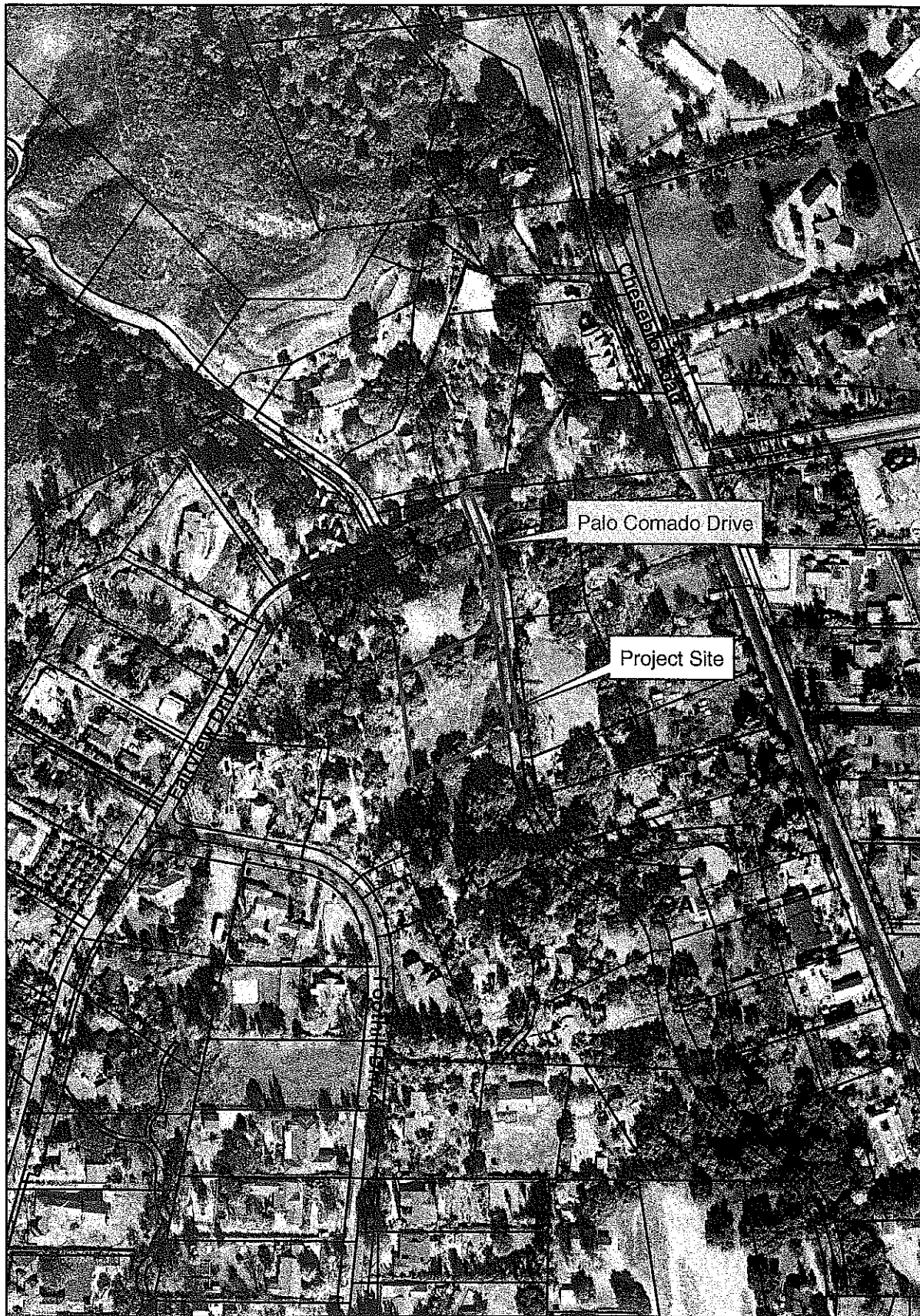
FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS

EXHIBIT A

Vicinity/Zoning Map

CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016
OAK TREE PERMIT - CASE NO. 03-OTP-017
TIME EXTENSION

Vicinity/Zoning Map



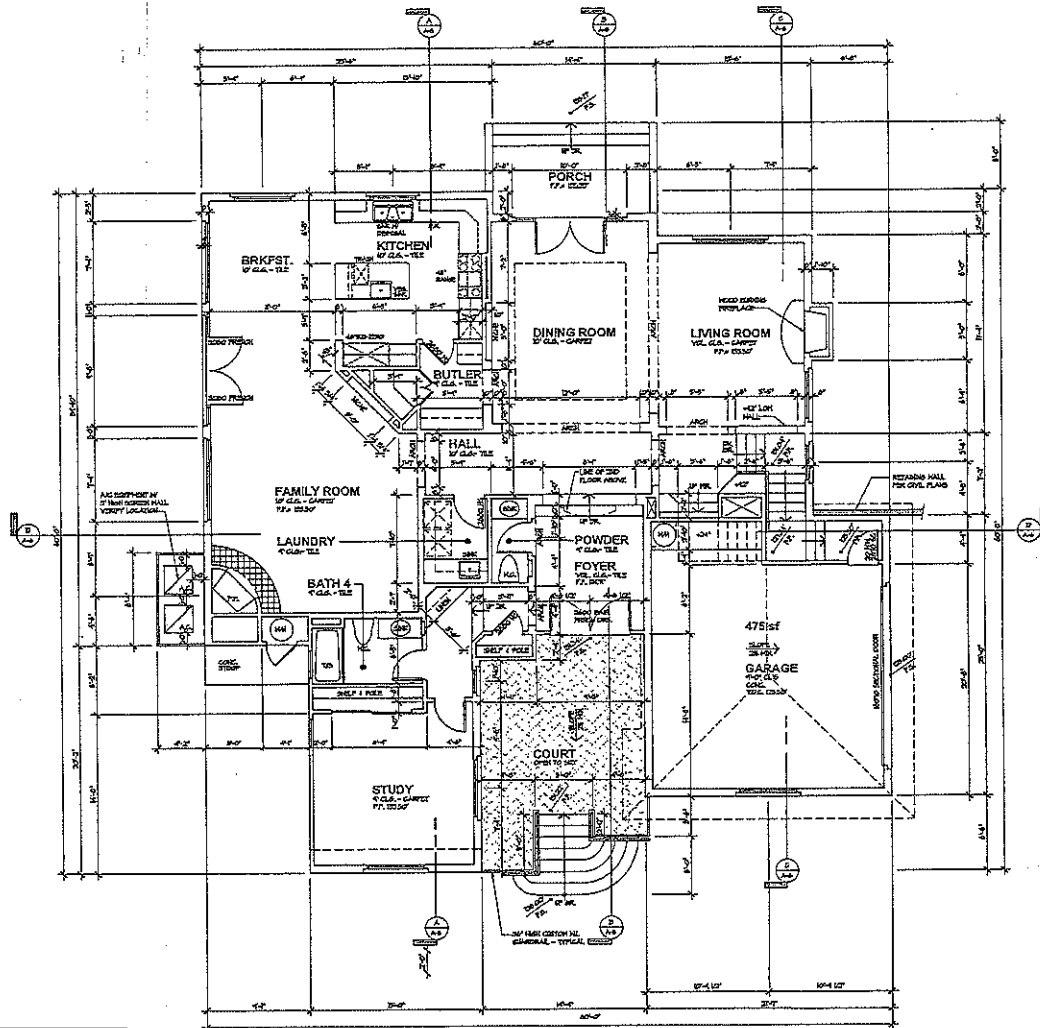


CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016, AMENDMENT
OAK TREE PERMIT - CASE NO. 03-OTP-017 AMENDMENT

FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS

EXHIBIT B

Reduced Copies of Project Plans



TOTAL SOLID FLOOR AREA TABULATION	
FIRST FLOOR AND DECK	= 2236 SQ. FT.
SECOND FLOOR (B. OCC.)	= 1218 SQ. FT.
3-CAR GARAGE (B. OCC.)	= 475 SQ. FT.
TOTAL (B. OCC.) FLOOR AREA	
TOTAL (B. OCC.) FLOOR AREA	= 3929 SQ. FT.
TOTAL (B. OCC.) GARAGE AREA	= 475 SQ. FT.
TOTAL (B. OCC.) DECKS & PATIOS	= 34 SQ. FT.
TOTAL (B. OCC.) STRUCTURE	= 4438 SQ. FT.

FIRST FLOOR PLAN

3236 SQ. FT.

FIRST FLOOR CASELATION

FIRST FLOOR AND DECK = 2236 SQ. FT.

3-CAR GARAGE (B. OCC.) = 475 SQ. FT.

TOTAL (B. OCC.) + FIRST FLOOR = 2948 SQ. FT.

TOTAL (B. OCC.) + FIRST FLOOR + 3-CAR GARAGE = 3423 SQ. FT.

TOTAL (B. OCC.) + FIRST FLOOR + 3-CAR GARAGE + DECKS & PATIOS = 3457 SQ. FT.



NOT FOR CONSTRUCTION

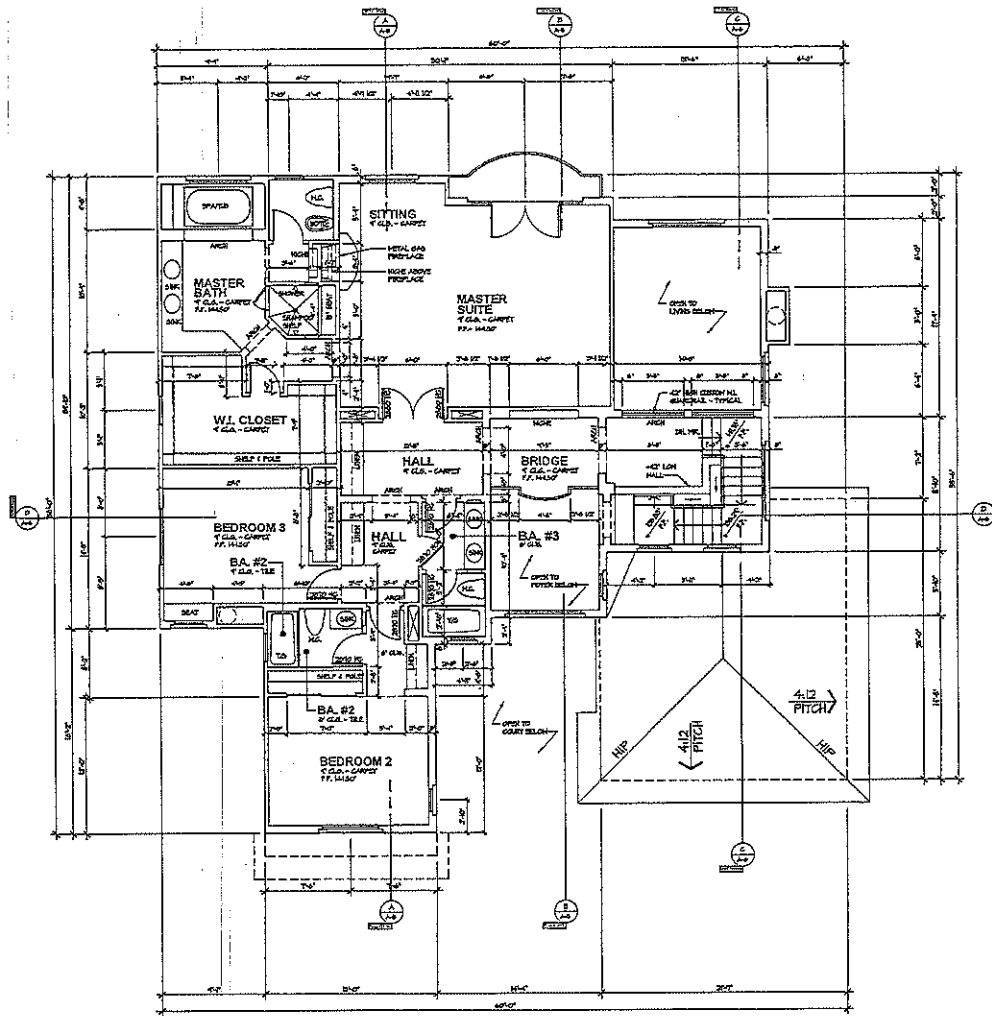
Sheet No.
A-2

REVISIONS

PROJECT NAME
**BEN-MENAHIM
CUSTOM RESIDENCE**

FIRST FLOOR PLAN	
DESIGNER	INFORMS
DATE	DATE
PLAN OR	DATE
REVISION	DATE

KEN STOCKTON
ARCHITECT
2000 N. GARDEN ROAD, SUITE 100, CAROLINA, CA 95008
TEL: 925-434-1111 FAX: 925-434-1111



SECOND FLOOR PLAN

DATE: 05/11/07

SCALE: 1/8" = 1'-0"

PROJECT NAME: BEN-MENACHEM CUSTOM RESIDENCE

ARCHITECT: KEN STOCKTON ARCHITECT

NO. SHEET: A-3

TOTAL BR. AREA = 1,074 SQ. FT.

TOTAL GROSS AREA 2ND FLOOR = 1,217 SQ. FT.

DATE: 05/11/07

SCALE: 1/8" = 1'-0"

PROJECT NAME: BEN-MENACHEM CUSTOM RESIDENCE

ARCHITECT: KEN STOCKTON ARCHITECT

NO. SHEET: A-3

TOTAL BR. AREA = 1,074 SQ. FT.

TOTAL GROSS AREA 2ND FLOOR = 1,217 SQ. FT.

REVISIONS:

PROJECT NAME: BEN-MENACHEM CUSTOM RESIDENCE

SECOND FLOOR PLAN

DATE: 05/11/07

SCALE: 1/8" = 1'-0"

PROJECT NAME: BEN-MENACHEM CUSTOM RESIDENCE

ARCHITECT: KEN STOCKTON ARCHITECT

NO. SHEET: A-3

TOTAL BR. AREA = 1,074 SQ. FT.

TOTAL GROSS AREA 2ND FLOOR = 1,217 SQ. FT.

DATE: 05/11/07

SCALE: 1/8" = 1'-0"

PROJECT NAME: BEN-MENACHEM CUSTOM RESIDENCE

ARCHITECT: KEN STOCKTON ARCHITECT

NO. SHEET: A-3

TOTAL BR. AREA = 1,074 SQ. FT.

TOTAL GROSS AREA 2ND FLOOR = 1,217 SQ. FT.

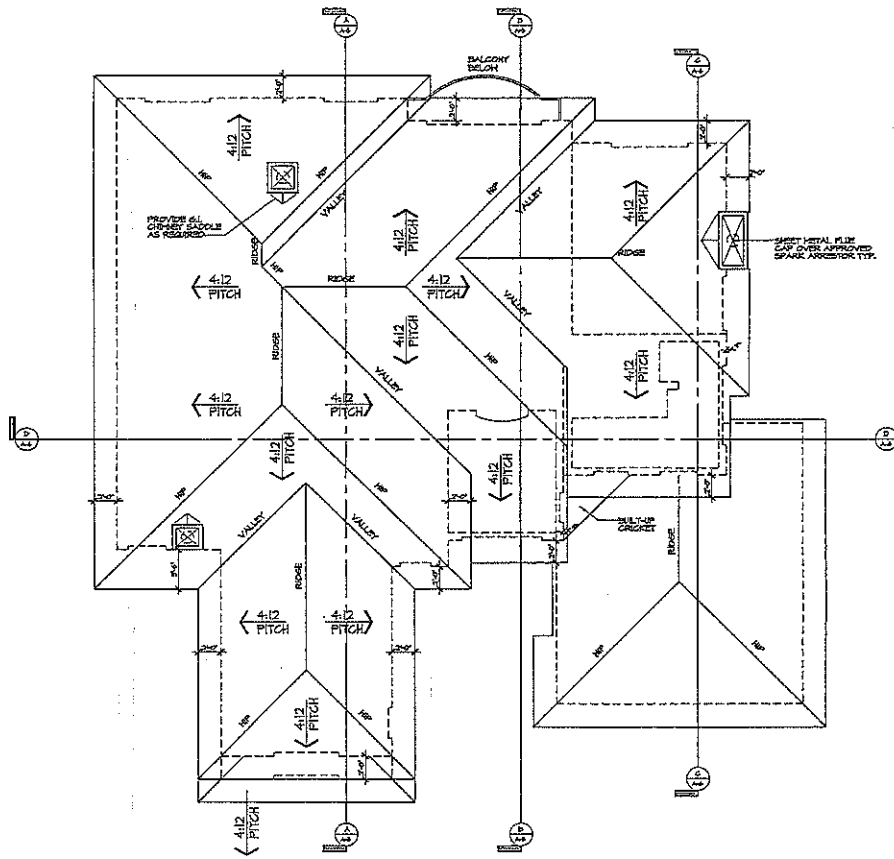
DATE: 05/11/07

SCALE: 1/8" = 1'-0"



NOT FOR CONSTRUCTION

A-3



ROOF PLAN
 1/24" = 1'-0"
 SCALE: 1/24" = 1'-0"



NOT FOR CONSTRUCTION

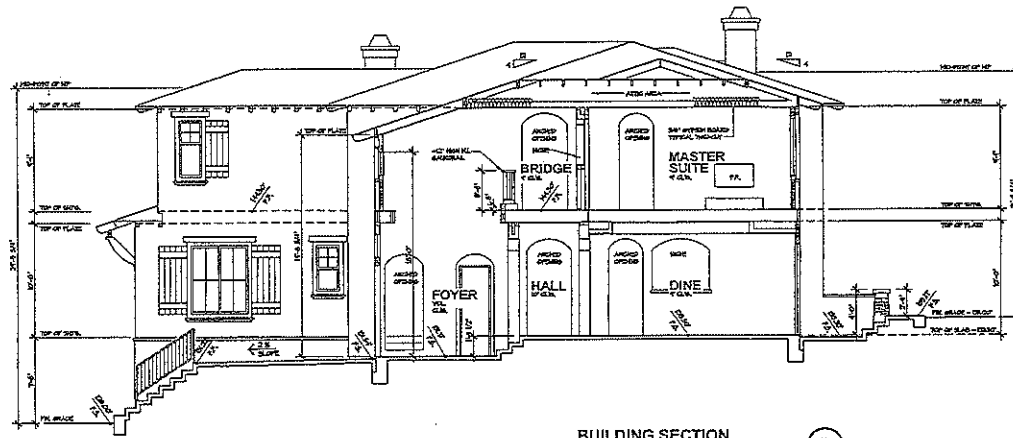
SHEET NO.
A-4

KEN STOCKTON
 ARCHITECT
 2800 H. AVENUE, SUITE 100, CARLSBAD, CA 92008
 (619) 436-4444 FAX: (619) 436-4444

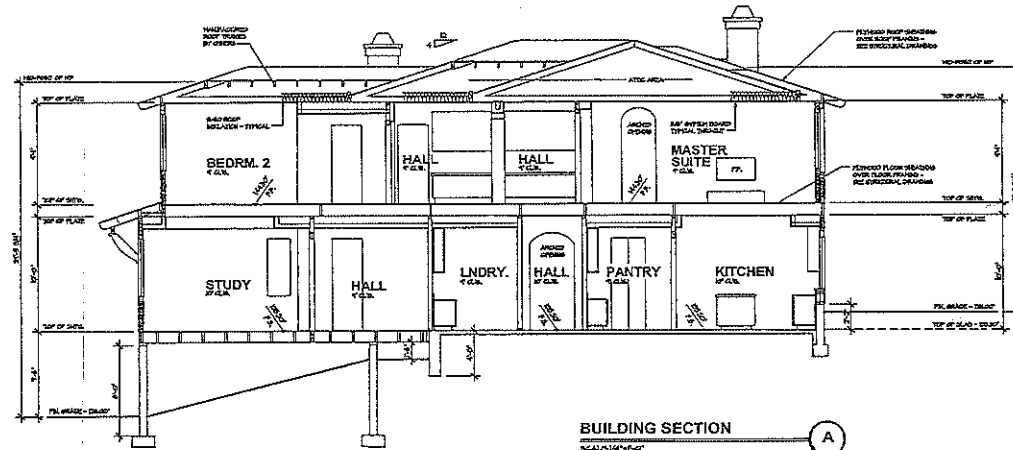
ROOF PLAN	
DRAWN: 01/12	REVISIONS:
DATE: 02/12/08	1/02/2008
PLAN NO.	
REV:	

PROJECT NAME
BEN-MENACHEM
 CUSTOM RESIDENCE

EVOLUTION



BUILDING SECTION B



BUILDING SECTION A

DEVELOPER
BEN-MENACHEM
 CUSTOM RESIDENCE

PROJECT NAME

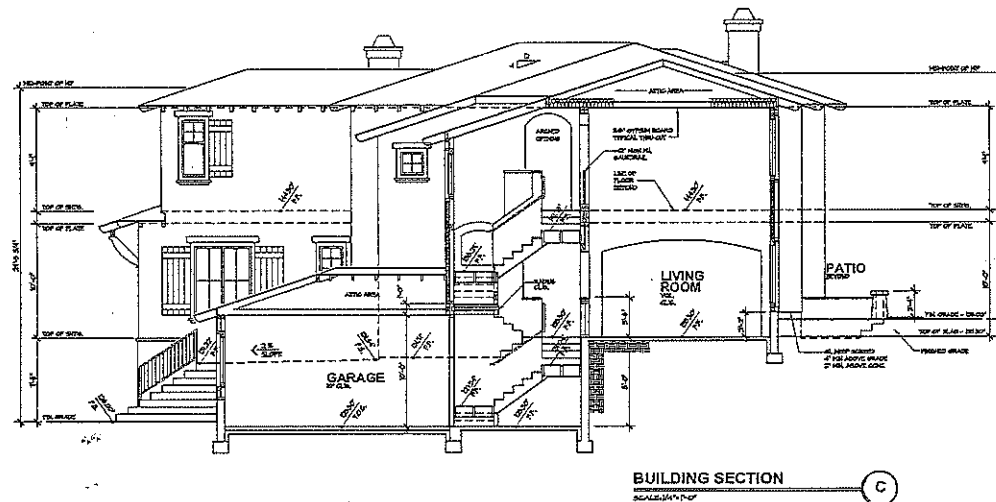
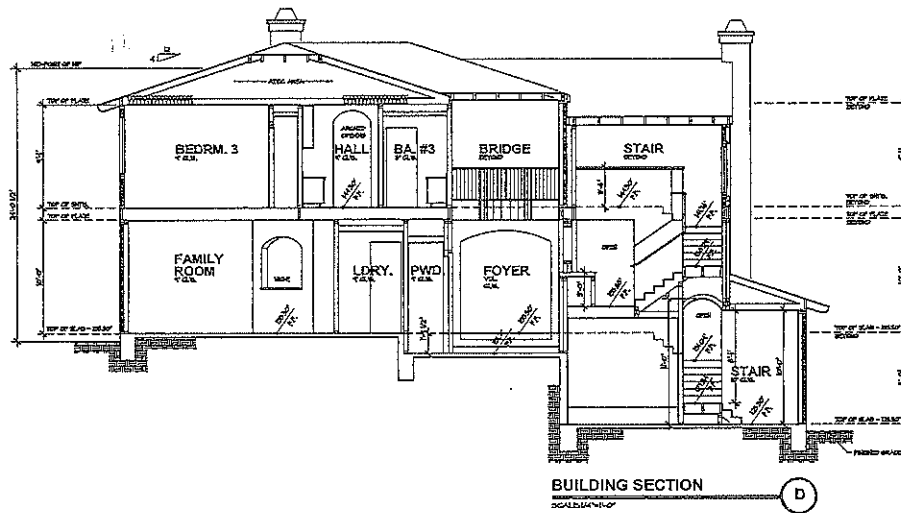
BUILDING SECTIONS
 DRAWN: JDA
 DATE: 08/11/05
 CHECKED: JDA
 DATE: 10/22/05
 SCALE: 1/8" = 1'-0"

KEN STOCKTON
 ARCHITECT
 2800 N. WOODLAND ROAD, SUITE 100, GARDEN GROVE, CA 92640
 (949) 440-1444 FAX (949) 440-1441

SHEET NO.
A-5



NOT FOR CONSTRUCTION



PROJECT NAME: BEN-MENACHEM CUSTOM RESIDENCE

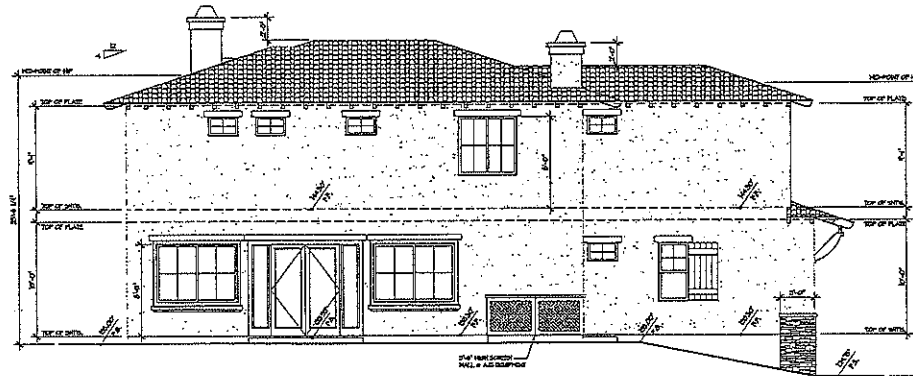
BUILDING SECTIONS
 DRAWN: GIBB
 DATE: 10/23/08
 PAVED: CHAV/08
 PLAN CRG.
 PER: PT

KEN STOCKTON
 ARCHITECT
 2800 N. LAUREL AVE. SUITE 100
 BOULDER, CO 80504
 (303) 440-4444 FAX: (303) 440-4443



NOT FOR CONSTRUCTION

SECT. NO. A-6



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

PROJECT NAME
BEN-MENAHEM
CUSTOM RESIDENCE

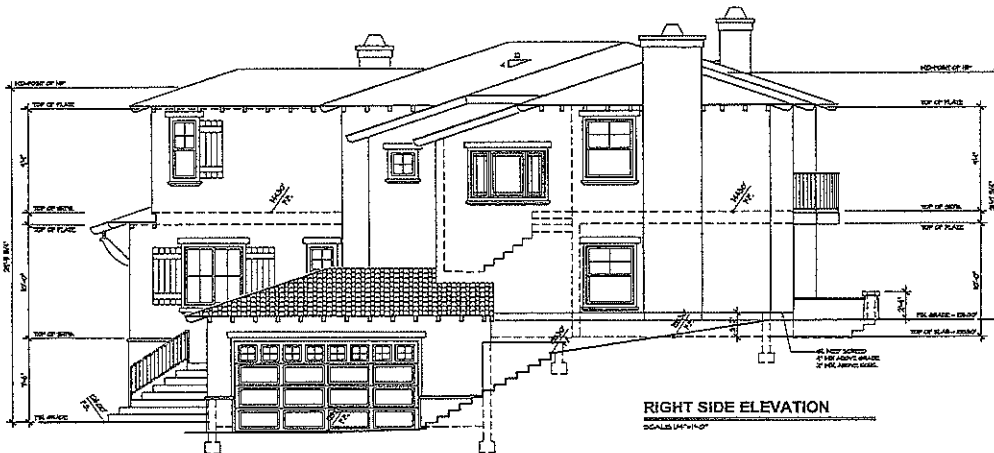
FIRST FLOOR PLAN
DRAWN: OJA
DATE: 08/11/09
DATE: 08/11/09
PLAN ONE
PERSET

KEN STOCKTON
ARCHITECT
2000 N. WOODHOLM ROAD, SUITE 100, ANAHEIM, CA 92805
(714) 534-4444 FAX: (714) 534-4444



SHEET NO.
A-7

NOT FOR CONSTRUCTION



RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"

REAR ELEVATION
SCALE 1/8" = 1'-0"

DESCRIPTION

**BEN-MENACHEM
CUSTOM RESIDENCE**
R.S.D.

PROJECT NAME

FIRST FLOOR PLAN

REVISIONS
DATE: 07/11/07
DRAWN BY: CAD/CAD
CHECKED BY: PLAN/CHE
DATE: 10/23/08
PROJECT:

KEN STOCKTON

ARCHITECT
2000 H. AVENUE, SUITE 100, LA JOLLA, CA 92037
TEL: 619.434.1414 FAX: 619.434.1414



NOT FOR CONSTRUCTION

A-8

BENCHMARK:
 FD. BM. # 5982 AT THE N.W. CORNER
 OF THE INTERSECTION OF FAIRVIEW PL.
 AND CHESSEBRO RD.
 ASSUMED EL. = 100.00'

EASEMENTS:

- 4 - AN EASEMENT (NOT PLOTTABLE)
- 5 - AN EASEMENT FOR INGRESS AND EGRESS RECORDED IN BOOK 7322 PAGE 90, O.R. (ILLEGIBLE)
- 6 - AN EASEMENT FOR POLE LINES PURPOSE RECORDED IN BOOK 30249 PAGE 191, O.R. (NOT PLOTTABLE)
- 7 - AN EASEMENT TO SOUTHERN CALIFORNIA GAS COMPANY PER INSTRUMENT NO. 2543, RECORDED ON AUG. 25, 1971
- 8 - AN EASEMENT FOR PRIVATE AND FUTURE STREETS AND PRIVATE DRIVEWAYS
- 9 - AN EASEMENT FOR UTILITY AND SEWAGE PURPOSES PER INSTRUMENT 68-259674, O.P./O.R. RECORDED ON FEB. 24, 1999

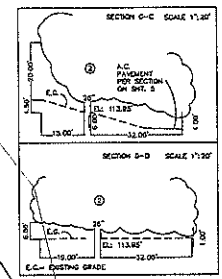
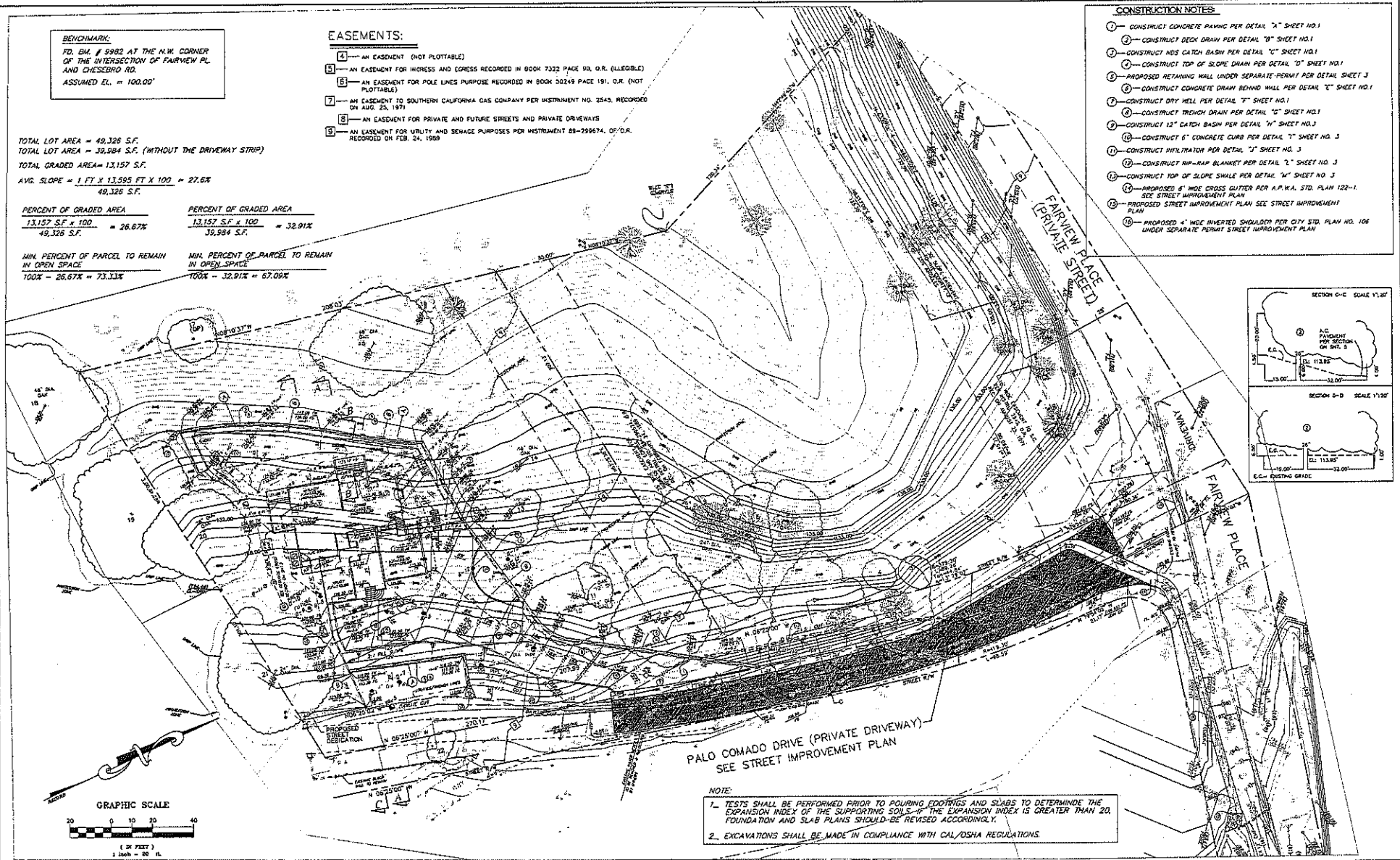
TOTAL LOT AREA = 49,326 S.F.
 TOTAL LOT AREA = 39,984 S.F. (WITHOUT THE DRIVEWAY STRIP)
 TOTAL GRADED AREA = 13,157 S.F.
 AVG. SLOPE = 1 FT X 13,595 FT X 100 = 27.6%
 49,326 S.F.

PERCENT OF GRADED AREA	PERCENT OF GRADED AREA
$\frac{13,157 \text{ S.F.} \times 100}{49,326 \text{ S.F.}} = 26.67\%$	$\frac{13,157 \text{ S.F.} \times 100}{39,984 \text{ S.F.}} = 32.91\%$

MIN. PERCENT OF PARCEL TO REMAIN IN OPEN SPACE	MIN. PERCENT OF PARCEL TO REMAIN IN OPEN SPACE
$100\% - 26.67\% = 73.33\%$	$100\% - 32.91\% = 67.09\%$


CONSTRUCTION NOTES:

- 1 - CONSTRUCT CONCRETE PAVING PER DETAIL "A" SHEET NO. 1
- 2 - CONSTRUCT DECK DRAIN PER DETAIL "B" SHEET NO. 1
- 3 - CONSTRUCT MDS CATCH BASIN PER DETAIL "C" SHEET NO. 1
- 4 - CONSTRUCT TOP OF SLOPE DRAIN PER DETAIL "D" SHEET NO. 1
- 5 - PROPOSED RETAINING WALL UNDER SEPARATE PERMIT PER DETAIL SHEET 3
- 6 - CONSTRUCT CONCRETE DRAIN BEHIND WALL PER DETAIL "E" SHEET NO. 1
- 7 - CONSTRUCT DRY WELL PER DETAIL "F" SHEET NO. 1
- 8 - CONSTRUCT TRENCH DRAIN PER DETAIL "G" SHEET NO. 1
- 9 - CONSTRUCT 12" CATCH BASIN PER DETAIL "H" SHEET NO. 3
- 10 - CONSTRUCT 6" CONCRETE CURB PER DETAIL "I" SHEET NO. 3
- 11 - CONSTRUCT INFILTRATOR PER DETAIL "J" SHEET NO. 3
- 12 - CONSTRUCT RIP-RAP BLANKET PER DETAIL "L" SHEET NO. 3
- 13 - CONSTRUCT TOP OF SLOPE SHALE PER DETAIL "M" SHEET NO. 3
- 14 - PROPOSED 6" WIDE CROSS CUTTER PER A.P.V.A. STD. PLAN 122-1. SEE STREET IMPROVEMENT PLAN
- 15 - PROPOSED STREET IMPROVEMENT PLAN SEE STREET IMPROVEMENT PLAN
- 16 - PROPOSED 4" WIDE INVERTED SHOULDER PER CITY STD. PLAN NO. 106 UNDER SEPARATE PERMIT STREET IMPROVEMENT PLAN



PALO COMADO DRIVE (PRIVATE DRIVEWAY)
 SEE STREET IMPROVEMENT PLAN

NOTE:
 1. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 20, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 2. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.

PREPARED BY: CALCHIC ENGINEERING GROUP CONSULTING ENGINEERS & LAND SURVEYORS 2100 PARKWAY, SUITE 200, PALMDALE, CALIFORNIA 91368 TEL: 818-341-1111 FAX: 818-341-1112					CITY OF AGOURA HILLS APPROVAL 					GRADING PLAN				
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RANRJO ADEVA CITY ENGINEER	DATE	"RCE" NO. 56555	EXP. DATE	PROJECT NO.	SHEET 2 OF 6
CITY OF AGOURA HILLS DIV. NO.														



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016, AMENDMENT
OAK TREE PERMIT - CASE NO. 03-OTP-017 AMENDMENT**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT C

January 15, 2009 Planning Commission Meeting

- Minutes
- Staff Report
- Project Plans
- **Approved Resolution and Conditions of Approval**



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MINUTES OF THE REGULAR SCHEDULED MEETING OF
THE PLANNING COMMISSION

January 15, 2009

CALL TO ORDER:

Chair O'Meara called the meeting to order at 6:32 p.m.

FLAG SALUTE:

Commissioner Buckley Weber

ROLL CALL:

Chair John O'Meara, Vice Chair Curtis Zacuto, Commissioners Illece Buckley Weber, Cyrena Nouzille, and Steve Rishoff.

Also, present were Assistant Community Development Director Doug Hooper, Associate Planner Valerie Darbouze, Assistant Engineer Kelly Fisher, City Oak Tree and Landscape Consultant Kay Greeley, and Recording Secretary Sheila Keckhut.

APPOINTMENT OF CHAIR AND VICE CHAIR:

On a motion by Commissioner Buckley Weber, seconded by Vice Chair Zacuto, the Planning Commission moved to appoint Chair O'Meara as Chairperson for the 2009 calendar year. Motion carried 4-0-1 (Commissioner O'Meara abstained).

On a motion by Commissioner Buckley Weber, seconded by Commissioner Nouzille, the Planning Commission moved to appoint Vice Chair Zacuto as Vice Chairperson for the 2009 calendar year. Motion carried 4-0-1 (Commissioner Zacuto abstained).

1. **APPROVAL OF MINUTES:** December 18, 2008 Planning Commission Meeting

On a motion by Vice Chair Zacuto, seconded by Commissioner Buckley Weber, the Planning Commission moved to approve the Amended Minutes of the December 18, 2008 Planning Commission Meeting. Motion carried 5-0.

PUBLIC COMMENTS: None

CONTINUED PUBLIC HEARING

2. **REQUEST:** Request for approval of a Conditional Use Permit to construct a 3,994 square-foot, two-story, single-family residence, with a 475 square foot attached two-car garage, and a 39 square-foot balcony; and a request for an Oak Tree Permit to remove 1 oak tree and encroach in the protected zone of 9 oak trees for the proposed construction.

APPLICANT: Sean Ben-Menahem
5000 N. Parkway Calabasas, Suite 106
Calabasas, CA 91302

CASE NOS.: 03-CUP-016 & 03-OTP-017

LOCATION: 6149 Palo Comado Drive
(A.P.N. 2055-023-073)

ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA per Section 15303.

RECOMMENDATION: If it was the Planning Commission's decision to approve Conditional Use Permit No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, staff recommended adoption of the Resolution.

PUBLIC COMMENTS: Chair O'Meara opened the Public Hearing

The following persons spoke on this agenda item:

Sean Ben-Menahem, Applicant

Ivan Chiu, Calcivic Engineering, representing the applicant

Humberto Castillo, Resident

REBUTTAL: Sean Ben-Menahem, applicant gave rebuttal regarding the project and answered additional questions of the Planning Commission.

Chair O'Meara closed the public hearing.

ACTION: On a motion by Commissioner Rishoff, seconded by Vice Chair Zacuto, the Planning Commission moved to approve Conditional Use Permit No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, subject to conditions.

ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDA

Assistant Community Development Director Doug Hooper thanked Chair O'Meara and Vice Chair Zacuto for serving as Chair and Vice Chair of the Planning Commission in 2008 stating that they did an exceptional job.

Commissioner Nouzille stated the City Council unanimously voted to pass the Residential Neighborhood Compatibility Ordinance.

ADJOURNMENT

At 7:27 p.m., on a motion by Commissioner Rishoff, seconded by Vice Chair Zacuto, the Planning Commission adjourned the meeting to the next scheduled Planning Commission meeting on Thursday, February 5, 2009 at 6:30 p.m. Motion carried 5-0.



DATE: JANUARY 15, 2009

TO: PLANNING COMMISSION

FROM: PLANNING STAFF

SUBJECT: CONDITIONAL USE PERMIT CASE NO. 03-CUP-016 & OAK TREE PERMIT CASE NO. 03-OTP-017

I. PROJECT BACKGROUND AND DISCUSSION

The Planning Commission conducted a public hearing on March 20, 2008, for Sean Ben-Menahem's Conditional Use Permit and Oak Tree Permit applications (Case Nos. 03-CUP-016 and 03-OTP-012) to construct a two-story, single-family residence at 6149 Palo Comado Drive. The case was continued and subsequent public hearings for the proposal were held on August 7, 2008 and December 18, 2008.

The last proposal considered by the Planning Commission included a 3,994 square-foot single-family residence with a 475 square-foot attached garage and a 39 square-foot balcony. The proposed design was a California Spanish style house, two stories in height, with a single-story garage. The grading of this hillside lot included creating a split-level pad for the house with retaining walls and two manufactured 2:1 slopes in the front and the back of the property with retaining walls around the pad. The project also required an Oak Tree Permit to encroach in the protected zone of nine (9) oak trees and to remove one (1) other oak tree.

The public hearing was continued to January 15, 2009, and the Commission requested the applicant submit a more detailed exhibit of the proposed drainage improvements for the intersection of the Fairview Street and Palo Comado Drive. The applicant has provided staff with a revised Grading Plan. The Engineering Department reviewed the grading plan which includes an inverted shoulder along the interior side of Palo Comado Road, which would cross the road and continue east on Fairview Drive into the creek. The applicant is also required to extend a concrete inverted shoulder across the intersection. The concrete material will be mixed with an earth-tone pigment and some exposed aggregate for a rustic appearance. As a result of the revisions, the Engineering Department has modified the draft conditions of approval.

The Planning Commission also requested that the horse-keeping area along the front of the property be enlarged. The applicant has extended the retaining wall to provide an area 50 feet in length in 20 feet in depth (1,000 square feet) as shown on the Grading Plan.

In addition, the Planning Commission recommended the front yard include native landscape materials, in lieu of turf. The applicant has shown this revision on a revised colored rendering. The draft conditions of approval also include a requirement for native landscaping in the front yard planter.

As a result of the discussions held during the previous public hearing, the applicant will not be required to pave Palo Comado Drive south of the proposed driveway. Therefore Oak Tree #22 will be preserved. The City Oak Tree/Landscape Consultant will not be requiring mitigation for that tree. The Oak Tree Conditions have been revised and are attached to the draft Resolution.

II. RECOMMENDATION

If it is the Planning Commission's decision to approve Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, staff recommends the Planning Commission adopt the attached draft Resolution, subject to the revised Conditions of Approval.

Attachments

- Draft Resolution of Approval and Revised Conditions of Approval
- Exhibit A: Revised Rendering
- Exhibit B: Reduced Copy of Architectural and Revised Grading Plans
- Exhibit C: December 18, 2008 Meeting Draft Minutes
- Exhibit D: December 18, 2008 Meeting Staff Report

Case Planner: Valerie Darbouze, Associate Planner

BENCHMARK:
 TD. BM. # 9989 AT THE N.W. CORNER
 OF THE INTERSECTION OF FAIRVIEW PL.
 AND CHESTER RD.
 ASSUMED EL. = 100.00'

TOTAL LOT AREA = 40,368 S.F.
 TOTAL LOT AREA = 39,884 S.F. (WITHOUT THE DRIVEWAY STRIP)
 TOTAL GRADED AREA = 13,167 S.F.
 AVG. SLOPE = 1 FT X 13,167 FT X 100 = 32.67%
 40,368 S.F.

PERCENT OF GRADED AREA	PERCENT OF GRADED AREA
13,167 S.F. X 100 = 32.67%	13,167 S.F. X 100 = 32.91%
48,326 S.F.	39,884 S.F.

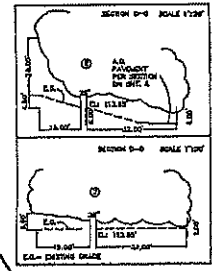
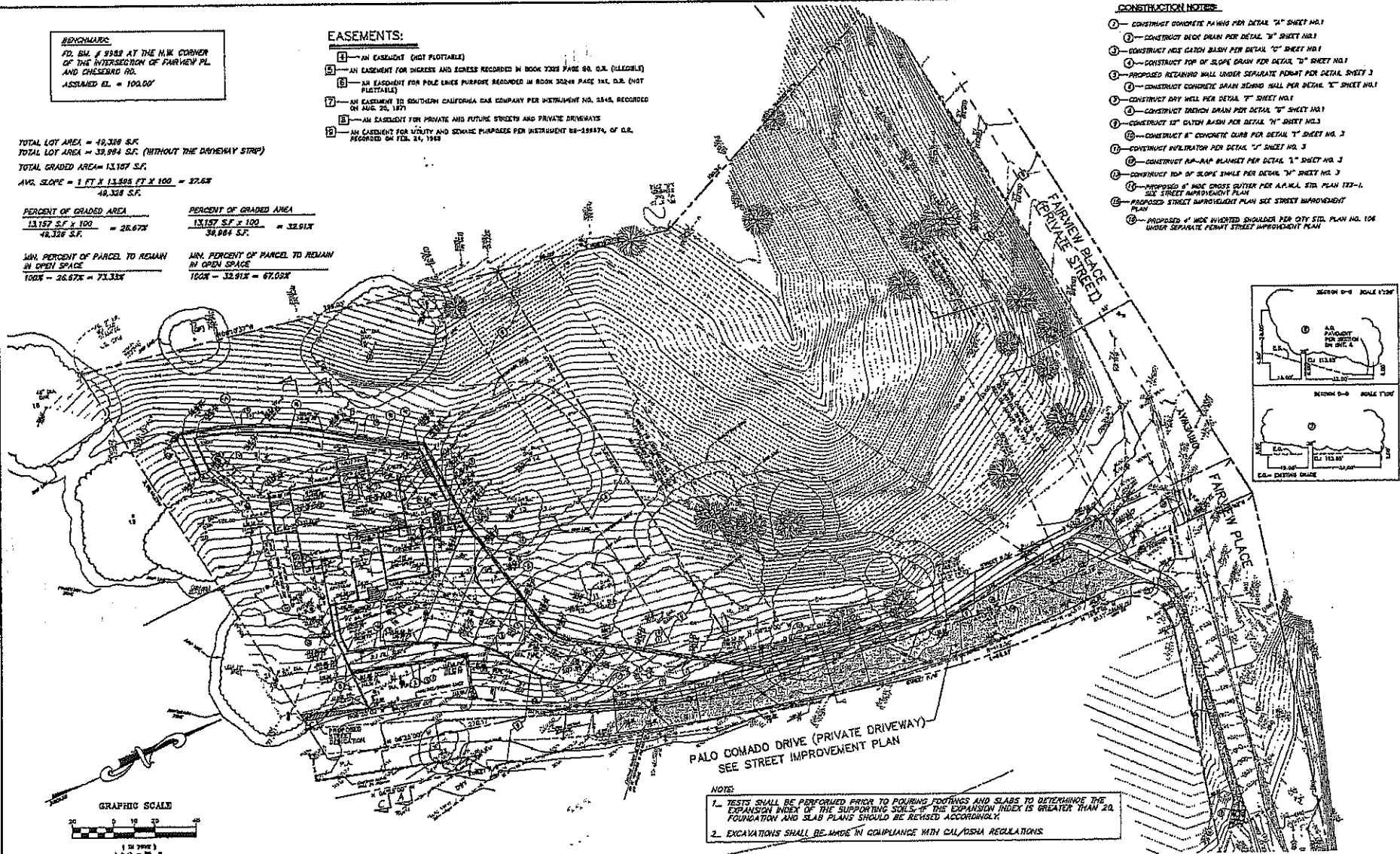
MIN. PERCENT OF PARCEL TO REMAIN IN OPEN SPACE	MIN. PERCENT OF PARCEL TO REMAIN IN OPEN SPACE
100% - 36.67% = 73.33%	100% - 32.91% = 67.09%

EASEMENTS:

- 1 - AN EASEMENT (NOT PLOTTABLE)
- 2 - AN EASEMENT FOR DRIVES AND EGRESS RECORDED IN BOOK 1028 PAGE 88, D.R. (ILLEGIBLE)
- 3 - AN EASEMENT FOR POLE LINES PURPOSE RECORDED IN BOOK 3024 PAGE 142, D.R. (NOT PLOTTABLE)
- 4 - AN EASEMENT TO SOUTHERN CALIFORNIA GAS COMPANY PER INSTRUMENT NO. 2845, RECORDED ON AUG. 26, 1971
- 5 - AN EASEMENT FOR PRIVATE AND FUTURE STREETS AND PRIVATE DRIVEWAYS
- 6 - AN EASEMENT FOR UTILITY AND SERVICE PURPOSES FOR INSTRUMENT 88-189474, OF D.R. RECORDED ON FEB. 11, 1988

CONSTRUCTION NOTES:

- 1 - CONSTRUCT CONCRETE PA WING PER DETAIL "A" SHEET NO.1
- 2 - CONSTRUCT DRAIN DRAIN PER DETAIL "B" SHEET NO.1
- 3 - CONSTRUCT 18" CATCH BASIN PER DETAIL "C" SHEET NO.1
- 4 - CONSTRUCT TOP OF SLOPE DRAIN PER DETAIL "D" SHEET NO.1
- 5 - PROPOSED RETAINING WALL UNDER SEPARATE PERMIT PER DETAIL SHEET 3
- 6 - CONSTRUCT CONCRETE DRAIN BEHIND WALL PER DETAIL "E" SHEET NO.1
- 7 - CONSTRUCT DRY HELL PER DETAIL "F" SHEET NO.1
- 8 - CONSTRUCT DRAIN DRAIN PER DETAIL "G" SHEET NO.1
- 9 - CONSTRUCT 18" CATCH BASIN PER DETAIL "H" SHEET NO.1
- 10 - CONSTRUCT 8" CONCRETE CURB PER DETAIL "I" SHEET NO. 3
- 11 - CONSTRUCT SULATOR PER DETAIL "J" SHEET NO. 3
- 12 - CONSTRUCT RAMP BLANKET PER DETAIL "K" SHEET NO. 3
- 13 - CONSTRUCT TOP OF SLOPE SINGLE PER DETAIL "L" SHEET NO. 3
- 14 - PROPOSED 6" WIDE CROSS CUTTER PER A.A.M.A. STD. PLAN 123-L SEE STREET IMPROVEMENT PLAN
- 15 - PROPOSED STREET IMPROVEMENT PLAN SEE STREET IMPROVEMENT PLAN
- 16 - PROPOSED 4" WIDE INVERTED SHOULDER PER CITY STD. PLAN NO. 106 UNDER SEPARATE PERMIT STREET IMPROVEMENT PLAN



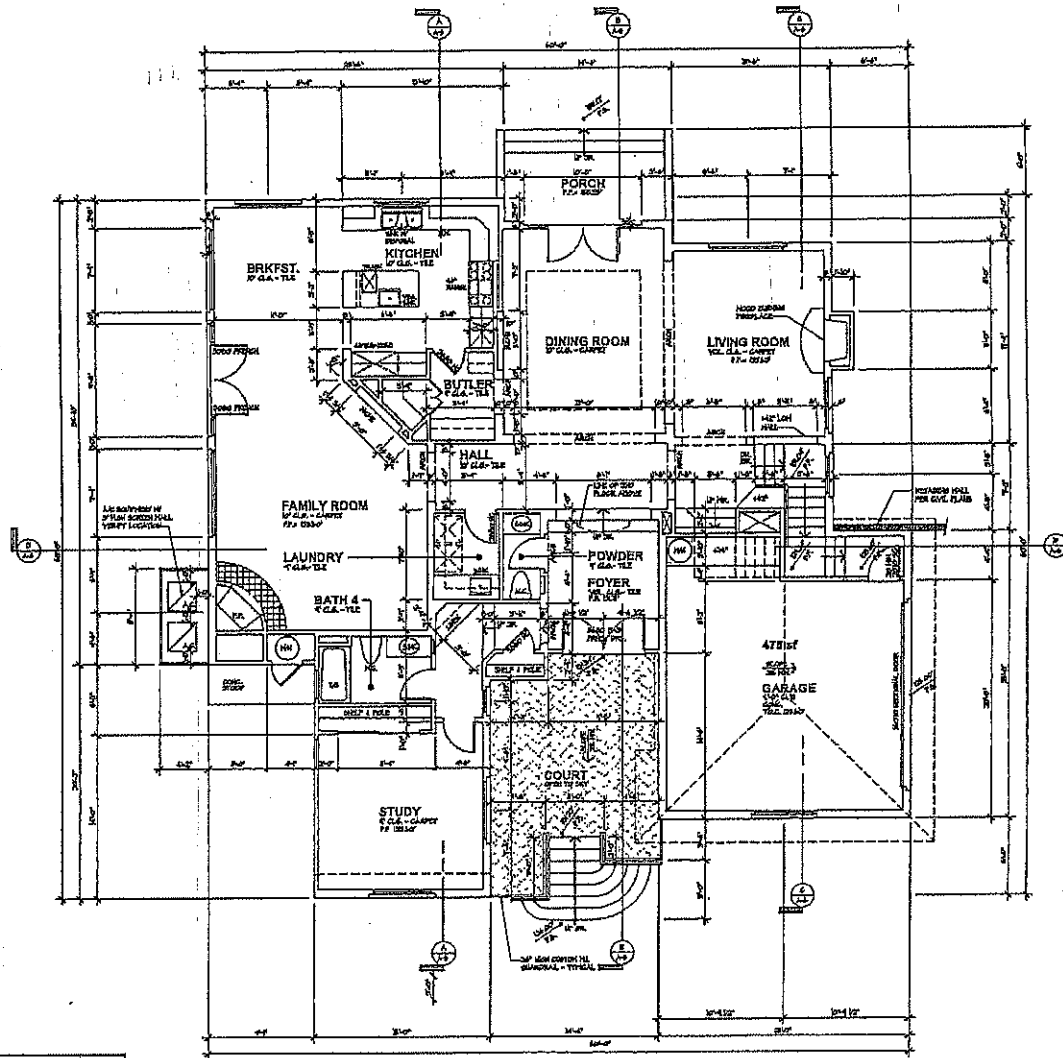
PALO COMADO DRIVE (PRIVATE DRIVEWAY)
 SEE STREET IMPROVEMENT PLAN

NOTE:
 1. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 20, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 2. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.



PREPARED BY ENGINEERING GROUP 10000 BROADWAY, SUITE 100 BAY AREA, CALIFORNIA 94603				CITY OF AGOURA HILLS APPROVAL				GRADING PLAN							
REV	BY/DATE	DESCRIPTION OF CHANGE	REV	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	SAVARD/ADVA CITY ENGINEER	DATE	NO. NO. DATE	EXP. DATE	AGOURA HILLS	PROJECT NO.	SHEET 2 OF 6

CITY OF AGOURA HILLS CIVIL INC.



TOTAL BEDROOM FLOOR AREA TOTAL/ROOM	
FIRST FLOOR (SEE GRID)	= 2206 SQ. FT.
SECOND FLOOR (SEE GRID)	= 478 SQ. FT.
3-CAR GARAGE (SEE GRID)	= 478 SQ. FT.
TOTAL BR. FLOOR AREA	= 3162 SQ. FT.
TOTAL 1 ST FLOOR GARAGE AREA	= 478 SQ. FT.
TOTAL 1 ST FLOOR 1 ST FLOOR	= 3640 SQ. FT.
TOTAL GARAGE STRUCTURE 1 ST FLOOR	= 478 SQ. FT.

FIRST FLOOR PLAN

2206 SQ. FT.	
FIRST FLOOR TOTAL AREA	
FIRST FLOOR (SEE GRID)	= 2206 SQ. FT.
3-CAR GARAGE (SEE GRID)	= 478 SQ. FT.
TOTAL BR. FLOOR AREA	= 3162 SQ. FT.
TOTAL GARAGE AREA 1 ST FLOOR	= 478 SQ. FT.
TOTAL GARAGE STRUCTURE 1 ST FLOOR	= 478 SQ. FT.



NOT FOR CONSTRUCTION

DATE: 08/11/00

PROJECT NO. 10000

FIRST FLOOR PLAN

DESIGNER	ARCHITECT
DATE	08/11/00
CHECKED	08/11/00
PROJECT	10000

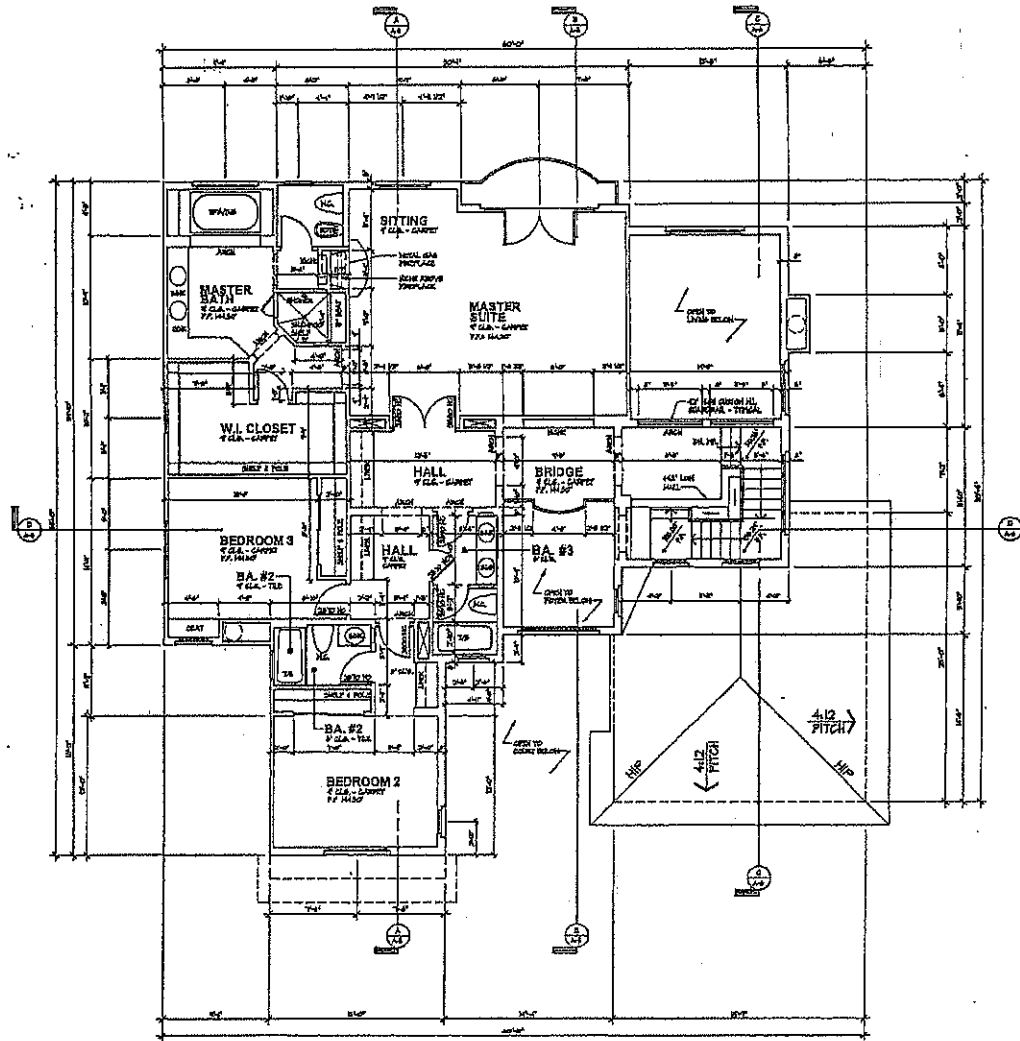
KEN STOCKTON

ARCHITECT
 10000
 10000
 10000

SHEET NO.

A-2

BEN-YENAHEN
 CUSTOM RESIDENCE



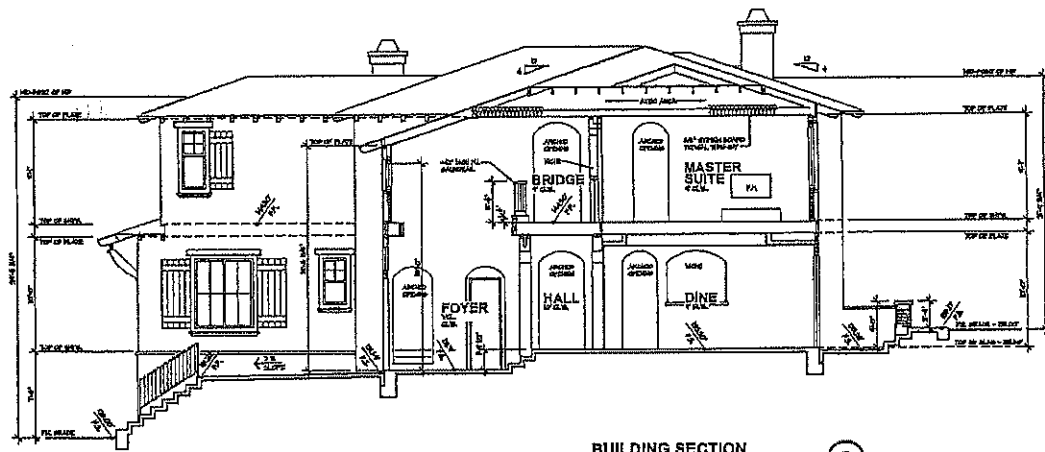
SECOND FLOOR PLAN

DATE: 05/15/01
 SECOND FLOOR TABLETS
 SECOND FLOOR DOOR SCHEDULE 175 DOOR
 3/4" x 1 1/2" x 1 1/2" SCHEDULE 175 DOOR
 TOTAL DOOR SCHEDULE 175 DOOR SCHEDULE 175 DOOR
 TOTAL DOOR SCHEDULE 175 DOOR SCHEDULE 175 DOOR

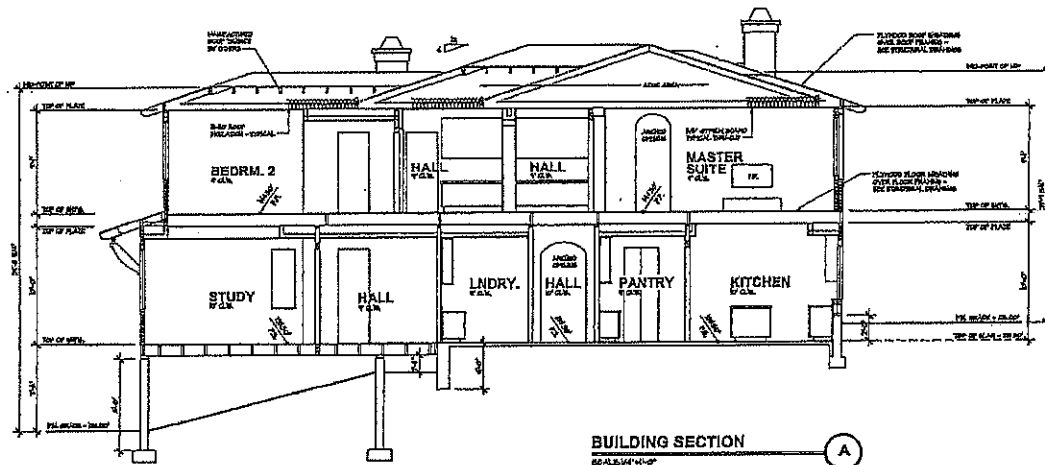


NOT FOR CONSTRUCTION

<p>PROJECT NAME BEN-MENACHEM CUSTOM RESIDENCE</p>
<p>DATE 05/15/01</p>
<p>PROJECT NO. A-3</p>



BUILDING SECTION **B**
SCALE 1/4" = 1'-0"



BUILDING SECTION **A**
SCALE 1/4" = 1'-0"

PROJECT NAME
**BEN-MENACHEM
 CUSTOM RESIDENCE**

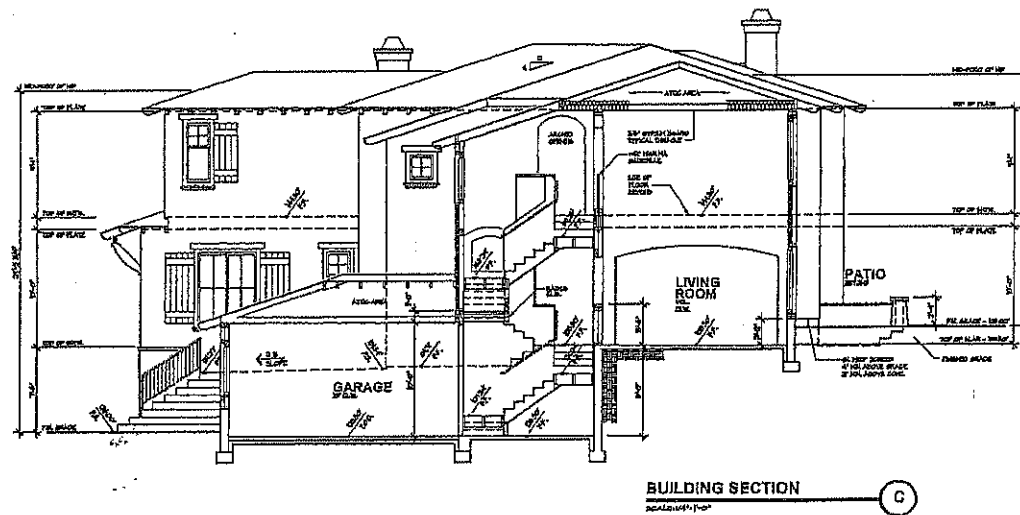
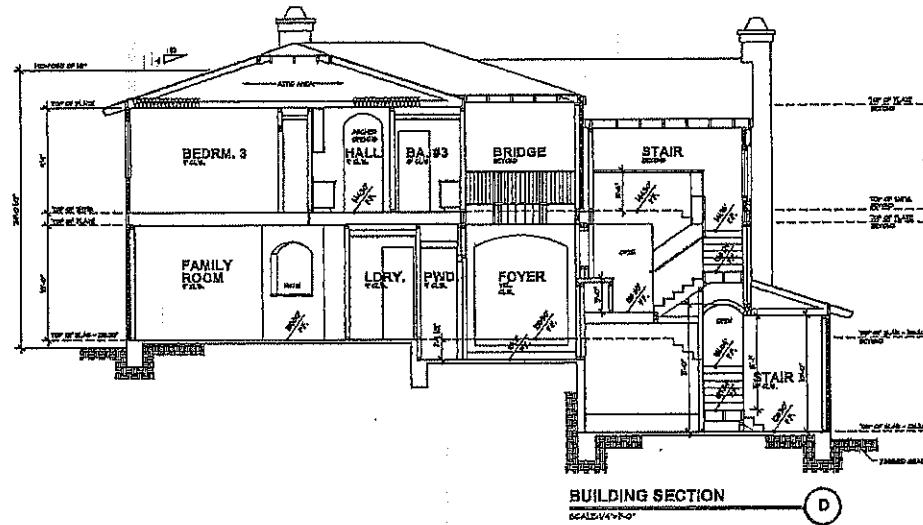
BUILDING SECTIONS	
FRANK	DATE
REVISION	LOCATION
DATE	DATE
BY	DATE
BY	DATE

DESIGNED BY
KEN STOCKTON
 ARCHITECT
 2000 W. 10th Street, Suite 100
 Portland, Oregon 97201
 (503) 241-1111



SHEET NO.
A-5

NOT FOR CONSTRUCTION



DEVELOPER

BEN-MENACHEM
CUSTOM RESIDENCE

PRELIMINARY

BUILDING SECTIONS

PREPARED BY	DATE
CHECKED BY	DATE
DESIGNED BY	DATE
PROJECT NO.	

KEN STOCKTON
ARCHITECT

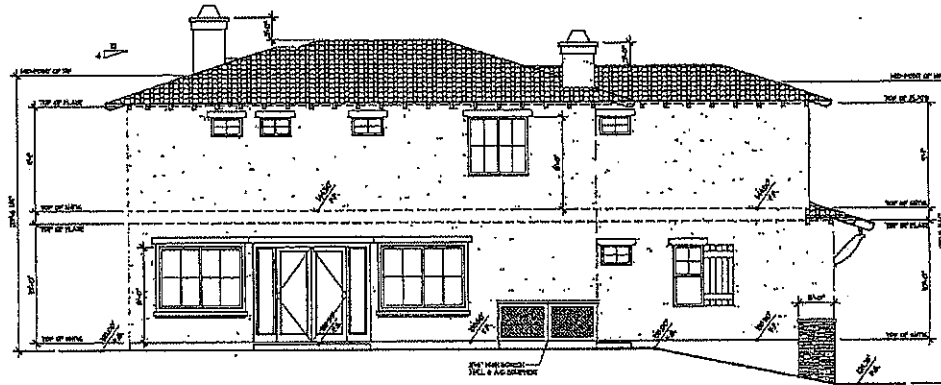
3800 N. UNIVERSITY AVE. SUITE 100
DALLAS, TEXAS 75246-1000

SHEET NO.

A-6



NOT FOR CONSTRUCTION



LEFT SIDE ELEVATION



FRONT ELEVATION

DATE: 10/1/2010

BEN-MENACHEM
CUSTOM RESIDENCE

FIRST FLOOR PLAN

ROOM: HALL
REVISIONS: 10/1/2010
SCALE: 1/8" = 1'-0"

KEN STOCKTON
ARCHITECT

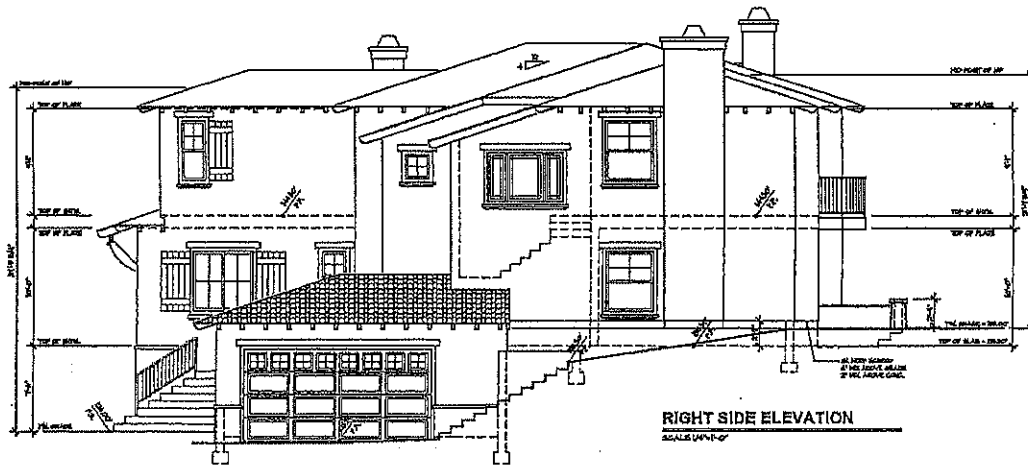
2000 S. MOUNTAIN VIEW ST. SUITE 100
DANVER, MA 01923



SHEET NO.

A-7

NOT FOR CONSTRUCTION



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

**BEN-MENACHEM
CUSTOM RESIDENCE**

PROJECT NAME

FIRST FLOOR PLAN

DATE: 06/10/20
BY: JACOB

KEN STOCKTON

ARCHITECT
3800 JEFFERSON AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1100
WWW.KENSTOCKTON.COM

SHEET NO.

A-8



NOT FOR CONSTRUCTION



RESOLUTION NO. 960

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
APPROVING CONDITIONAL USE PERMIT CASE NO. 03-CUP-016
AND OAK TREE PERMIT CASE NO. 03-OTP-017

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS,
RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Sean Ben-Menahem with respect to the real property located at 6149 Palo Comado Drive, Assessor's Parcel Number 2055-023-073, requesting the approval of a Conditional Use Permit Case No. 03-CUP-016 to allow the development of a 3,994 square-foot, two-story, single-family residence with a 475 square foot attached two-car garage; and requesting approval of Oak Tree Permit Case No. 03-OTP-017 to encroach in the protected zone of nine (9) oak trees for the proposed construction. Public hearings were duly held on March 20, 2008, August 7, 2008, December 18, 2008 and January 15, 2009 at 6:30 p.m. in the Council Chambers, City Hall at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission of the aforesaid Public Hearing.

Section 3. The Planning Commission finds, pursuant to the Agoura Hills Zoning Ordinance, that:

- A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The proposed project is located within the Residential Very Low Density zone and the Old Agoura Design Overlay zone, which provide general design standards for residential developments. All minimum development standards have been met for the proposed two-story residence with regard to setbacks, lot coverage, height, architectural guidelines and hillside development standards regarding height.
- B. The proposed use, as conditioned, is compatible with the surrounding properties. The project will contribute to the aesthetic value of the neighborhood as a whole. The proposed building style of architecture and building materials, which include Spanish tiles, rafter tails, smooth stucco, a balcony with wrought iron railing, courtyard entry and an overall earth tone scheme color are compatible with the neighborhood and meet the requirements of the Old Agoura Design Overlay District.
- C. The proposed use, as conditioned, and the conditions under which the project will be operated or maintained, will not be detrimental to the public health, safety or welfare. No element of the architecture or the use is detrimental to the health, safety or welfare of the public as single-family residences are allowed in that particular zone and the private septic system and drainage meet the conditions of both the Los Angeles County Health Department and the City Geological/Geotechnical Consultant. Access to the property will be taken from Palo Comado Drive, and the two-story house will be placed in a location on the lot that will not impact the privacy or view sheds of adjoining neighbors.

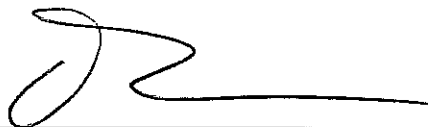
- D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance with regard to building placement, design, lot coverage, and height, and hillside development in that the project meets or exceeds the prescribed development's standards for the zones.
- E. The proposed use as conditioned, will maintain the diversity of the community's rustic structures in that the residence was designed as a split level and the combination of materials and the color palette give the house its own identity. The placement of the residence will not impact view-sheds of neighboring residents as it is setback from the front property line 52 feet and surrounded by hillside on the other three sides of the property. The parcel is isolated from the main roads where the development is the most visible.
- F. The proposed use, as conditioned, is consistent with the goals, objectives and policies of the General Plan. The proposed location of the house will preserve the oak trees. Proportionality of the house in relation to the size of the lot meets the intent of the Old Agoura Implementation Measures outlined in the Community Design Element.

Section 4. The project is a request for one, single-family residence and is exempt from the California Environmental Quality Act (CEQA), per Section 15303, and does not require adoption of an environmental impact report or negative declaration.

Section 5. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 15th day of January, 2009 by the following vote to wit:

AYES: (5) O'Meara, Zacuto, Rishoff, Buckley Weber & Nouzille
NOES: (0) None
ABSTAIN: (0) None
ABSENT: (0) None


John O'Meara, Chairperson

ATTEST:


Doug Hooper, Secretary

Conditions of Approval Case Nos. 03-CUP-016 & 03-OTP-017

PLANNING CONDITIONS

Entitlement

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of these Permits with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits: Site Plan; Elevation Plans; Floor Plans, Roof Plan, Landscape Plan and Grading Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse provided that the applicant has been given written notice to cease such violation and has filed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
8. No occupancy shall be granted for any building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
9. Unless this permit is used within two (2) years from the date of City approval, Case Nos. 03-CUP-016 and 03-OTP-017 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
10. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.

Conditions of Approval

Page 2 of 12

11. The applicant shall comply with all applicable Public Health Statutes, Ordinances, and Regulations related to the disposal of sewage.
12. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
13. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. At this time, the required school impact fee is \$2.24 per square foot.
14. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.9223 per square foot of new floor area.
15. Prior to issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until the City's Environmental Planner is notified and a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
16. The approved grading plan and construction plans, resolution, conditions of approval, the mitigated negative declaration and the mitigation monitoring and reporting program and a color and material board shall be on site at all time during the construction of the project.
17. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
18. Vehicle routes and access to the property for construction purposes shall be subject to review and approval by the City Engineer.
19. No construction work or repair work shall be performed between the hours of 7:00 p.m. to 7:00 a.m. or any Sunday or holiday.
20. The applicant and delegated contractors shall participate with City staff in a pre-construction meeting prior to issuance of a grading permit. Any change in the construction team shall be reported to the Building and Safety Department in a timely manner.
21. A copy of all communications between the City and the applicant shall be kept on-site at all times.

22. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
23. Intermittent inspections shall be scheduled by the applicant as required by the Building and Safety Department and coordinated with the Engineering and Planning Department.

Solid Waste Management

24. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
25. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
26. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

Oak Tree

27. The applicant is permitted to encroach within the protected zone of Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, 21, and 22 to complete the approved grading program and to install the paving and retaining walls shown on the approved grading plan.
28. The applicant is also permitted to prune Oak Tree Numbers 1, 2, 10, 12, 13, 14, 19, 20 and 21 as needed for vertical clearance over the Palo Comado Drive, the driveway and in areas where grading is otherwise approved. The quantity of pruning on each tree shall be approved by the City Oak Tree and Landscape Consultant.
29. Oak Tree Numbers 3, 4, 5, 6, 7, 8, 9, 11, 15, 16, 17, and 18 shall be preserved in place with no direct impacts.
30. The final design of all retaining walls shall utilize a foundation, construction and drainage detail that minimizes the permitted encroachment into the protected zone of all oak trees, subject to final review and approval by the City Oak Tree and Landscape Consultant.
31. The current drainage design includes a riprap structure on the easterly side of Oak Tree Number 19 that outlets directly above the trunk of Oak Tree Number 20. The final drainage design shall eliminate this riprap outlet and shall incorporate the flow into the adjacent infiltration system. An alternative solution may be developed, subject to the approval of the City Engineer and the City Oak Tree Consultant.
32. Prior to the start of any work or mobilization on the site, each oak tree to be preserved shall be fenced at the edge of the protected zone or otherwise approved work limits in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations and installation prior to the start of work or mobilization on the site.
33. No grading, scarifying or other soil disturbance shall be permitted within any portion of the protected zone of any oak tree except as specifically permitted above.
34. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time except as specifically required to accomplish the approved encroachments.
35. All work performed within the protected zone of any oak tree shall be monitored by the project oak tree consultant. Forty-eight (48) hours notice shall be provided to the City Oak Tree Consultant prior to the start of any such work. Contact the City Oak Tree Consultant at (818) 597-7350.

36. All excavation within the protected zone of any oak tree shall be performed using only hand tools under the direct supervision of the applicant's oak tree consultant or the City Oak Tree Consultant. Light construction equipment may be utilized with prior approval of the City Oak Tree Consultant.
37. Prior to occupancy, each oak tree shall be mulched throughout the dripline with three inches (3") of approved organic matter.
38. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree and Landscape Consultant.
39. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
40. All authorized pruning shall be performed by a qualified arborist under the direct supervision of the applicant's oak tree consultant. Pruning operations shall be consistent with The Pruning Standards of the Western Chapter of the International Society of Arboriculture.
41. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
42. The applicant shall also comply with all recommendations contained in the Oak Tree Report and addenda as prepared by Tree Life Concern, Inc.
43. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

Landscaping/Irrigation

44. The final landscape plan shall generally conform to the approved preliminary landscape plan, as prepared by Susan E. McEowen, Landscape Architect.
45. Landscape and Irrigation plans shall be submitted for review and approval by the City Planning and Community Development Department prior to issuance of a Grading Permit.
46. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:

- Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
47. Prior to the issuance of a Grading Permit, the applicant shall submit three (3) sets of landscape plans meeting the following requirements and subject to review by the City Landscape Consultant, and approval by the Director of Planning and Community Development:
- a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
 - h. The Planting Plan shall indicate the botanical name and size of each plant.
 - i. Plant symbols shall depict the size of the plants at maturity.
 - j. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.

- k. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
 - l. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
 - m. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - --- Design and static pressures
 - Point of connection
 - Backflow protection
 - Valves, piping, controllers, heads, quick couplers
 - --- Gallon requirements for each valve
 - n. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
48. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
49. The landscape plan may not include any non-native plants considered invasive in the Santa Monica Mountains by the California Native Plant Society or the California Exotic Pest Plant Council.
50. The applicant shall substitute turf proposed to be planted in the front yard and specifically on sloped areas with native, drought tolerant material in keeping with the area. No plants shall be used that are considered toxic to equine animals.

ENGINEERING CONDITIONS

51. PRIOR TO PERMITTING (GRADING, BUILDING, ENCROACHMENT, ETC)

A. General

- i. All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
- ii. Applicant shall pay a Transportation Impact Fees (TIF) to the Building and Safety Department in the amount of \$2,440 prior to the issuance of the Certificate of Occupancy.

- iii. All existing street and property monuments within or abutting this project site shall be preserved. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
- iv. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
- v. Grading Plan shall show location(s) of all Oak trees within the vicinity of the site. Applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval.
- vi. Submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer. The report shall be reviewed and approved by the City Geotechnical/Geological Consultant.
- vii. Other Agency Permit/Approval: Prior to issuance of permits from the Engineering Department, this project will require a permit from the following agencies:
 - Los Angeles County Health Department
 - Las Virgenes Municipal Water District
- viii. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. Contact the Engineering Department at 818.597.7322 for approved City certification forms.
- ix. Provide a preliminary title report not older than 30 days.
- x. All grading shall conform to City's Grading Ordinance, Chapter 33 of the Uniform Building Code.
- xi. Any/all work affecting existing easements (i.e.: LVMWD, SCE, etc.) shall require written documentation confirming the respective utility purveyor's approval. This requirement shall be completed prior to constructing any work that affects said easements.

B. Public Improvements

- i. Design full public improvements in accordance with City Code, Specifications, approved specific plan, and/or approved Conditions of Approval for the area.
- ii. The applicant shall improve Palo Comado Drive along property frontage beginning at southern portion of driveway to Fairview Place to provide for a minimum of 20-foot paved width, 4-foot inverted shoulder, and 6-foot cross-cutter, as recommended by a State-licensed Civil Engineer to ensure runoff is maintained within the roadway. The applicant shall improve the northern portion of Fairview Place within property boundaries to provide 3-foot inverted shoulder. The roadway sections shall be 4" asphalt concrete minimum on top of 6" crushed aggregate base, unless otherwise recommended by the geotechnical and/or civil engineer. Any concrete inverted shoulder and/or cross-gutter located within roadway shall be colored in an earth-tone shade. Improvements shall be reviewed and approved by the Fire Department, and then the City Engineer. Prior to the issuance of a grading permit, the applicant shall provide written documentation to the City Engineer confirming the approval from any owner in which offsite road and/or drainage improvements are to be constructed.
- iii. This property is within the LVMWD service area. Applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
- iv. Other conditions: All off-site work shall require written permission from the affected property owner(s) prior to beginning of said work.

C. Sewer

- i. No sewer line is available for direct connection. A septic tank is proposed which requires approval from the Los Angeles County Public Health Department.

D. Water

- i. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.

E. Drainage/Hydrology

- i. A hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los

Angeles County Hydrology Manual is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study. Applicant's engineer shall design proposed main lines.

F. Stormwater (NPDES)

- i. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 1. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 2. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 5. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
- ii. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Urban Stormwater Mitigation Plan (USMP) shall be submitted to and approved by the Engineering Department. The USMP shall be prepared per the Los Angeles County Standard Urban Stormwater Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.

52. PRIOR TO CERTIFICATE OF OCCUPANCY

- i. All remaining fees/ deposits required by the Engineering Department must be paid in full.
- ii. All requirements including construction of improvements covered in Section 2 must be completed to the satisfaction of the City Engineer.
- iii. The Applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. Please note that no final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.
- iv. The applicant shall record a covenant for continued stormwater maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
- v. Other Conditions: Upon receiving Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by City Engineer, to resolve said conflicts/issues. All items listed are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

BUILDING AND SAFETY

53. The City Building Code requires all new residences to be protected by a residential fire sprinkler system. Plans for the required system shall be approved by the Fire Department prior to the issuance of Building Permits for the residence. Fire Sprinklers are required per Sec. 904.2.9 of the Agoura Hills Building Code.
54. The City Building Code requires that a minimum setback of structure to toe of slope per Agoura Hills Building Code, Sec. 1806.5.3 shall be demonstrated. Minimum setback from a descending slope is H/2, ($\frac{1}{2}$ the vertical height of the slope, including portions not on property), or provide the equivalent protection determined by the soils engineer. This deviation will need to be verified by City soils engineer and approved by Building Official.

55. Exterior elements and materials must be in compliance with all Fire Zone 4 requirements, Agoura Hills Building Code, Sec.6402.1.
56. Dual pane windows shall be utilized as required for Fire Zone 4 compliance.
57. The proposed roofing shall demonstrate the protective characteristics of a Class-A roofing material or better.
58. All HVAC equipment shall be shown on mechanical plans as well as on site and grading plans.
59. Building Permits shall not be issued until grading is approved and City, Fire District and all other Departments' requirements have been satisfied.

SPECIAL CONDITIONS

60. All proposed retaining walls and garden walls shall consist of split-faced block or other decorative materials subject to review and approval by the Director of Planning and Community Development.
61. All future fencing, exterior lighting and accessory structures shall be reviewed and approved by the Director of Planning and Community Development and the Building and Safety Department prior to construction.
62. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
63. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.

END



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016, AMENDMENT
OAK TREE PERMIT - CASE NO. 03-OTP-017 AMENDMENT**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT D

December 18, 2008 Planning Commission Meeting

- Minutes
- Staff Report
- Project Plans



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MINUTES OF THE REGULAR SCHEDULED MEETING OF
THE PLANNING COMMISSION
December 18, 2008

CALL TO ORDER: Chair O'Meara called the meeting to order at 6:30 p.m.

FLAG SALUTE: Commissioner Rishoff

ROLL CALL: Chair John O'Meara, Vice Chair Curtis Zacuto, Commissioners Ilce Buckley Weber, Cyrena Nouzille, and Steve Rishoff.

Also, present were Assistant Community Development Director Doug Hooper, Associate Planner Valerie Darbouze, Assistant Engineer Kelly Fisher, and Recording Secretary Sheila Keckhut.

1. **APPROVAL OF MINUTES:** December 4, 2008 Planning Commission Meeting

On a motion by Vice Chair Zacuto, seconded by Commissioner Buckley Weber, the Planning Commission moved to approve the Amended Minutes of the December 4, 2008 Planning Commission Meeting. Motion carried 4-0-1. Commissioner Rishoff abstained.

COMMENTS FROM THE PUBLIC ON ITEMS NOT LISTED ON THE AGENDA:

The following persons spoke on items not listed on the agenda.

Giuseppe Bellisario – Owner of Grissini Ristorante

CONTINUED PUBLIC HEARING

2. REQUEST: Request for approval of a Conditional Use Permit to construct a 3,994 square-foot, two-story, single-family residence, with a 475 square foot attached two-car garage, and a 39 square-foot balcony; and a request for an Oak Tree Permit to remove 1 oak tree and encroach in the protected zone of 9 oak trees for the proposed construction.
- APPLICANT: Sean Ben-Menahem
5000 N. Parkway Calabasas, Suite 106
Calabasas, CA 91302
- CASE NOS.: 03-CUP-016 & 03-OTP-017
- LOCATION: 6149 Palo Comado Drive
(A.P.N. 2055-023-073)
- ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA per Section 15303.
- RECOMMENDATION: If it was the Planning Commission's decision to approve Conditional Use Permit No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, staff recommended adoption of the Resolution.
- PUBLIC COMMENTS: Chair O'Meara opened the Public Hearing
- The following persons spoke on this agenda item.
- Ken Stockton – Landscape Architect, representing the applicant.
- Ivan Chiu, Calcivic Engineering, representing the applicant.
- George Shakiban, Enco Structural Consultants, Inc., representing the applicant.
- Mike Kaye, Resident
- Kevin Austin, Resident
- REBUTTAL: Ivan Chiu, Calcivic representing the applicant gave rebuttal regarding the project and answered additional questions of the Planning Commission.

Chair O'Meara closed the public hearing.

RECESS: Chair O'Meara called for a recess at 8:28 p.m.

RECONVENE: Chair O'Meara reconvened the meeting at 8:45 p.m.

Chair O'Meara reopened and closed the public hearing twice and the applicant, Sean Ben-Menahem, spoke.

ACTION: On a motion by Commissioner Rishoff, seconded by Vice Chair Zacuto, the Planning Commission moved to continue Conditional Use Permit No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017 to the January 15, 2009 Planning Commission meeting. Motion carried 5-0.

DISCUSSION ITEM

3. Monitoring Report for Conditional Use Permit Case No. 06-CUP-012 - Senor Carlos Grill and Tequila Lounge.

PUBLIC COMMENTS: Chair O'Meara allowed for public comments

The following persons spoke on this agenda item.

Carlos Orozco, applicant

Barry Bartholomay, resident

Cynthia Bartholomay, resident

RECESS: Chair O'Meara called for a recess at 10:42 p.m.

RECONVENE: Chair O'Meara reconvened the meeting at 10:48 p.m.

ACTION: On a motion by Commissioner Rishoff, seconded by Vice Chair Zacuto, the Planning Commission moved to continue the discussion of Conditional Use Permit Case No. 06-CUP-012 to the February 19, 2009 Planning Commission meeting. Motion carried 5-0.

4. City Committee Appointment Selections for 2009.

The Planning Commission appointed Commissioner Rishoff to serve on the Art in Public Places Committee, Vice Chair Zacuto and Commissioner Nouzille to serve on the General Plan Advisory Committee, and Chair O'Meara and Commissioner Buckley Weber to serve on the Agoura Village Policy Committee for the 2009 calendar year.

ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDA

Chair O'Meara wished Assistant Community Development Director Doug Hooper, a happy birthday.

Staff - None

ADJOURNMENT

At 11:12 p.m., on a motion by Vice Chair Zacuto, seconded by Commissioner Rishoff, the Planning Commission moved to cancel the next Regular Meeting of the Planning Commission scheduled for January 1, 2009 and adjourned to 6:30 p.m., Thursday, January 15, for a Regular Meeting of the Planning Commission. Motion carried 5-0.



DATE: DECEMBER 18, 2008

TO: PLANNING COMMISSION

FROM: PLANNING STAFF

SUBJECT: CONDITIONAL USE PERMIT CASE NO. 03-CUP-016 & OAK TREE
PERMIT CASE NO. 03-OTP-017

I. PROJECT DESCRIPTION AND BACKGROUND

The Planning Commission conducted a public hearing on March 20, 2008, for Sean Ben-Menahem's Conditional Use Permit and Oak Tree Permit applications (Case Nos. 03-CUP-016 and 03-OTP-017) to construct a 4,880 square-foot, two-story, single-family residence, a 463 square foot attached two-car garage, a 100 square-foot patio cover and a 125 square-foot balcony/deck. The applicant also requested to remove one (1) oak tree and to encroach in the protected zone of nine (9) oak trees for the proposed construction. The vacant parcel is located at 6149 Palo Comado Drive in the Residential Very Low Density zone in Old Agoura.

After deliberation, the Planning Commission requested staff to return with a Resolution of Denial for the Planning Commission to adopt. Prior to the Planning Commission taking action, the applicant requested, and was granted a continuance of the public hearing to allow him to address the recommended changes including: 1) a reduction of the grading quantities, thereby reducing the amount of construction truck trips and impacts to the community; 2) a reduction in the size of the house, thereby reducing the mass of the house as viewed from the access driveway and the street; 3) a change in the architectural style of the house; 4) a closer review of the potential drainage impacts to the residence to the east of the access driveway; and 5) the requirement for a horse keeping area somewhere on the parcel.

The Planning Commission conducted a second hearing on August 7, 2008 to review the applicant's changes which proposed a smaller house size (4,515 square feet with a 428 square-foot attached garage). A California Bungalow style of architecture was selected which incorporated covered patios, balconies and decks, used wood siding, and gabled roofs. The grading quantities were reduced by moving the retaining walls at the bottom of the slope in the rear of the parcel and eliminating the manufactured slope; some retaining walls were eliminated but the drainage was not changed. The applicant had not included a horse keeping area in the design of the project which the Commissioners discussed and recommended that it be located near the southeast corner of the parcel. A request for an Oak Tree Permit to encroach in the protected zone of nine (9) oak trees remained. In the end, four of the five Commissioners shared the same concerns and submitted to the applicant that the design changes did not adequately address the issues raised at the previous meeting (i.e. the grading quantities, the size of the house, the style of the house, and drainage impacts to the neighboring properties down below).

II. STAFF ANALYSIS

To address the issues raised by the Planning Commission, the applicant now proposes to build a 3,994 square-foot single family residence with a 475 square-foot attached garage and a 39 square-foot balcony. The California Spanish style house design remains two stories in height with a single-story garage. The grading boundaries remain the same however; the residence was located further west from the front property line. The request for an Oak Tree Permit to encroach in the protected zone of nine (9) oak trees remains. One oak tree was originally proposed to be removed but may be retained with the latest design.

Based on this new proposal, the project still meets all minimum yard setbacks from all property lines and maximum allowable height requirements of the zone. Pertinent data is described below and findings made for the original proposal remain the same and are included in the attached draft resolution.

Pertinent Data for the Proposal:

	Original Proposal	First Revision	Second Revision (Current)	Required/ Allowed
A. Lot Size	49,281 sq.ft. (1.13 acres)	N/A	N/A	43,560 sq.ft. (1 acre)
Excluding Driveway	39,984 sq.ft.	N/A	N/A	N/A
Width	190 ft.	N/A	N/A	N/A
Depth	210 ft.	N/A	N/A	N/A
B. Building Setbacks				
<u>1. Residence Setbacks</u>				
Front	33 feet	33 feet	52 feet	25 feet min.
Rear (West Side)	75 feet	72 feet	78 feet	25 feet min.
Side (North Side)	90 feet	92 feet	93 feet	12 feet min.
Side (South Side)	33 feet	33 feet	38 feet	12 feet min.
C. Building Sizes				
Residence				
1 st Floor	2,690 sq.ft.	2,638 sq.ft.	2,216 sq.ft.	N/A
2 nd Floor	2,190 sq.ft.	1,877 sq.ft.	1,778 sq.ft.	N/A
Subtotal:	4,880 sq.ft.	4,515 sq.ft.	3,994 sq.ft.	N/A
Garage	463 sq.ft.	428 sq.ft.	475 sq.ft.	N/A
Total:	5,343 sq.ft.	4,943 sq.ft.	4,469 sq.ft.	N/A
Covered Patio	100 sq.ft.	217 sq.ft.	N/A	N/A
Balcony/Roof Deck	125 sq.ft.	332 sq.ft.	39 sq.ft.	N/A
D. Building Height	33 ft.	33 ft.	29.5 ft.	35 ft. max.

	Original Proposal	First Revision	Second Revision (Current)	Required/ Allowed
E. Lot Coverage				
Bldg. Footprint	6%	6.6%	6.4%	25% max.
Bldg. Footprint + Hardscape	25%	23.3%	23.3%	25% max.
F. Undisturbed Open Space Coverage				
	58%	68%	68%	77.5% min.
G. Number of Oak Trees				
	11 on-site	11	11	N/A
	11 off-site	10	10	N/A

The overall layout of the house is more compact with a new location of the garage; the garage was moved westerly from the front property line to where the gym used to be. The footprint is now setback from the front property line an additional 19 feet. The entry of the garage still faces east but the ceiling line is lower. The garage floor area must be at least 20 feet by 20 feet (400 square-feet) as required by the Zoning Ordinance; the excess square footage is used for a stair case. The footprint of the house has smaller dimensions (60x60 feet instead of 60x80 feet). Patio covers have been eliminated leaving one smaller balcony on the rear elevation. The total square footage of the residence including the garage, decreased 9.6% from 4,943 square feet to 4,469 square feet. The total lot coverage is lower than the last proposal. Overall, the surface of the graded area has not changed therefore the undisturbed open space area is the same as the last design (68%). In addition to making revisions to the house, the applicant is including an area for horse keeping along the front property line as shown on the Site and Grading Plans. The equestrian area is approximately 288 square feet, carved out of the sloping front yard below the driveway and away from the oak trees. No corral area is specified on the plans.

Architecture

The applicant chose to go back to his preferred choice of materials, which included smooth-stuccoed walls but incorporated wood shutters on some of the windows and wood trims on the top and bottom of other windows. The rafter tails and Spanish tile were reintroduced as well. All the gables have been eliminated and replaced with hip roofs. The roof pitch has been reduced, reducing the overall height of the residence to 29.5 feet. Other elements that were changed include the pattern of the stone veneer with an irregularly-shaped piece of sand color stone randomly arranged and applied to the front elevation rather than the previous brick-like stone pattern. The patio covers and the roof deck have been eliminated and one balcony remains on the rear elevation, which is partially covered by the hip roof. The entry is nudged between the walls of the garage and studio with a short roof above the front door built seven steps above the driveway elevation. The colors include tan and brown for the walls, shutters and trims and black for the wrought iron railing. The windows mullions would have an almond color finish.

Oak Tree/Landscaping

The applicant's Civil Engineer realigned two retaining walls along the north side of the property in order to stay away from Oak Tree No. 14, but the City Oak Tree/Landscape Consultant feels that the oak tree impact analysis remains the same and the mitigation measures remain as outlined in the conditions of approval.

Engineering/Public Works

The last shown grading quantities were 920 cubic yards of cut, 991 cubic yards of fill and 71 cubic yards of imported soil; the Grading Plan submitted for this redesign shows the same earth work quantities. The stacked retaining walls remain under, or equal to, 6 feet in height. The retaining wall proposed along Oak Tree #14 was changed from a curved wall to a straight wall. The lower wall was shortened by 13 feet and a staircase added further to the rear of the back yard. Walls were added in the front yard, two extending perpendicular to the front property line (from the edge of the driveway to the house to create a planter) and one located around the horse keeping area, adding approximately 82 linear feet of wall.

The Engineering Department reviewed the drainage patterns and quantities associated with the revised grading plan, and is satisfied that the conditions of approval address this issue. Street improvements will remain the same. The location of the septic system along the south side of the house has not changed.

Environmental

Based upon review of this project by staff, no significant environmental impacts have been identified for construction of the project. The project consists of the construction of one-single-family residence. The project has been determined to be Categorical Exempt from the California Environmental Quality Act per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence.

III. RECOMMENDATION

If it is the Planning Commission's decision to approve Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, staff recommends the Planning Commission adopt the attached draft resolution, subject to the revised Conditions of Approval.

Attachments

- Draft Resolution of Approval and Conditions of Approval
- Exhibit A: Letter from the Old Agoura Homeowners Association
- Exhibit B: Reduced Copies of the Revised Architectural and Grading Plans
- Exhibit C: August 7, 2008 Meeting Minutes
- Exhibit D: August 7, 2008 Meeting Staff Report
- Exhibit E: Vicinity/Zoning Map
- Exhibit F: Color and Materials Board and Renderings

Case Planner: Valérie Darbouze, Associate Planner

BENCHMARK:

FD. RM. # 9862 AT THE N.W. CORNER OF THE INTERSECTION OF FAIRVIEW PL. AND CHESSBRO DR. ASSUMED EL. = 104.00'

TOTAL LOT AREA = 49,386 S.F.
TOTAL LOT AREA = 38,984 S.F. (WITHOUT THE DRIVEWAY STRIP)
TOTAL GRADED AREA = 13,187 S.F.
AVG. SLOPE = 1 FT X 13,187 FT X 100 = 27.6%
49,386 S.F.

PERCENT OF GRADED AREA
13,187 S.F. x 100 = 26.67%
49,386 S.F.

MIN. PERCENT OF PARCEL TO REMAIN IN OPEN SPACE
100% - 26.67% = 73.33%

PERCENT OF GRADED AREA
13,187 S.F. x 100 = 33.91%
38,984 S.F.

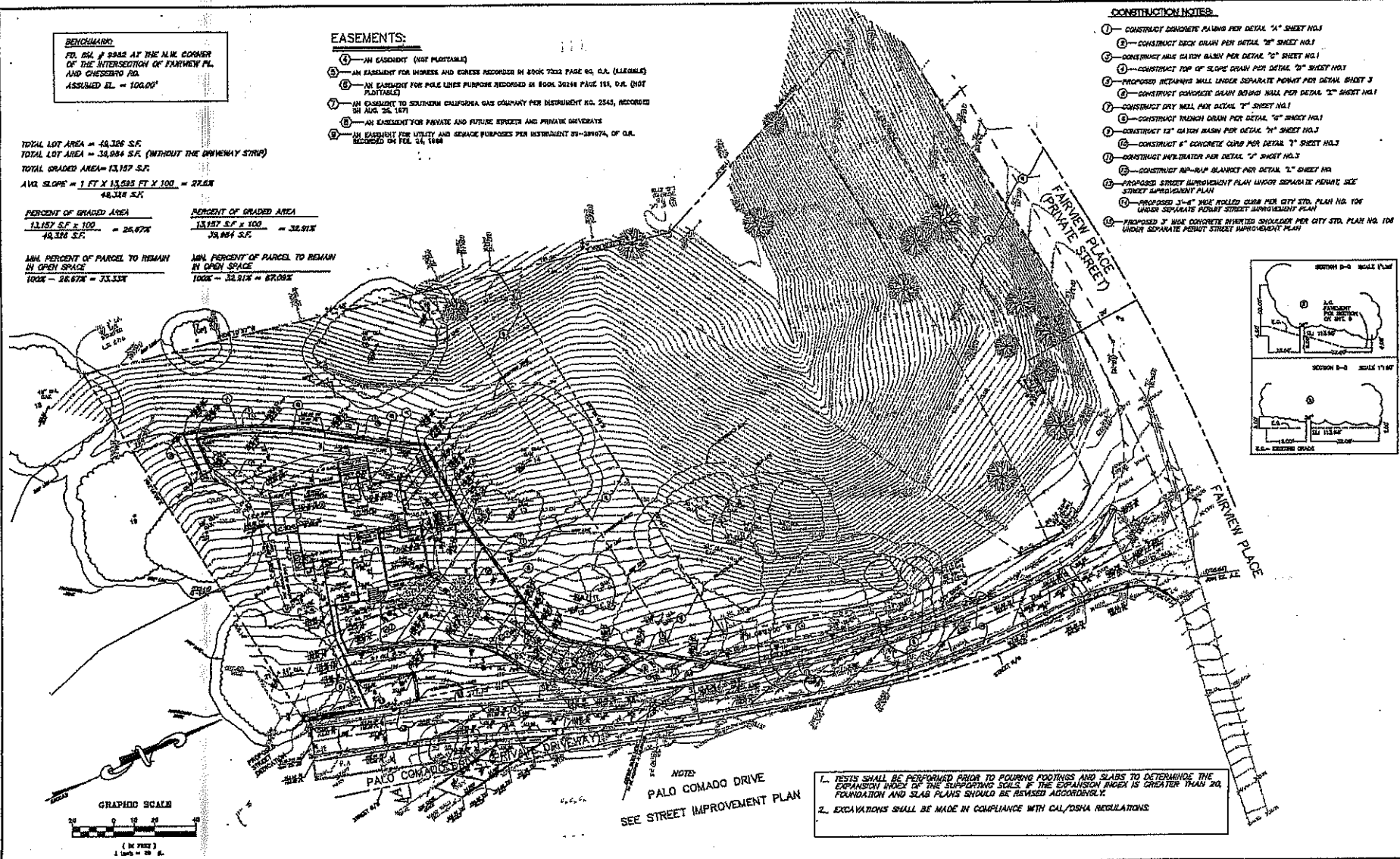
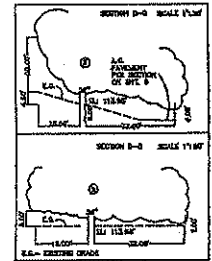
MIN. PERCENT OF PARCEL TO REMAIN IN OPEN SPACE
100% - 33.91% = 66.09%

EASEMENTS:

- ① - AN EASEMENT (NOT PLATTABLE)
- ② - AN EASEMENT FOR WIRE AND CABLE RECORDED IN BOOK 7232 PAGE 95, O.A. (LEGIBLE)
- ③ - AN EASEMENT FOR POLE LINE PURPOSE RECORDED IN BOOK 32148 PAGE 181, O.A. (NOT PLATTABLE)
- ④ - AN EASEMENT TO SOUTHERN CALIFORNIA GAS COMPANY PER INSTRUMENT NO. 2543, RECORDED IN ALB. 25, 1971
- ⑤ - AN EASEMENT FOR PAYMENT AND FUTURE EGRESS AND PRIVATE DRIVEWAYS
- ⑥ - AN EASEMENT FOR UTILITY AND SERVICE PURPOSES PER INSTRUMENT 89-081974, O.C.R. RECORDED ON FEB. 24, 1988

CONSTRUCTION NOTES:

- ① - CONSTRUCT CONCRETE FINISH PER DETAIL "A" SHEET NO.1
- ② - CONSTRUCT ROCK DRAIN PER DETAIL "B" SHEET NO.1
- ③ - CONSTRUCT ASBESTOS DRAIN PER DETAIL "C" SHEET NO.1
- ④ - CONSTRUCT TOP OF SLOPE DRAIN PER DETAIL "D" SHEET NO.1
- ⑤ - PROPOSED RETAINING WALL UNDER SEPARATE PERMIT PER DETAIL SHEET 3
- ⑥ - CONSTRUCT CONCRETE DRAIN BOUND WALL PER DETAIL "E" SHEET NO.1
- ⑦ - CONSTRUCT DRY WELL PER DETAIL "F" SHEET NO.1
- ⑧ - CONSTRUCT TRUNK DRAIN PER DETAIL "G" SHEET NO.1
- ⑨ - CONSTRUCT 12" GUTCH DRAIN PER DETAIL "H" SHEET NO.1
- ⑩ - CONSTRUCT 6" CONCRETE CURB PER DETAIL "I" SHEET NO.1
- ⑪ - CONSTRUCT INFILTRATOR PER DETAIL "J" SHEET NO.1
- ⑫ - CONSTRUCT RP-RAP BLANKET PER DETAIL "L" SHEET NO.1
- ⑬ - PROPOSED STREET IMPROVEMENT PLAN UNDER SEPARATE PERMIT SEE STREET IMPROVEMENT PLAN
- ⑭ - PROPOSED 3'-6" WIDE ROLLED CURB PER CITY STD. PLAN NO. 106 UNDER SEPARATE PERMIT STREET IMPROVEMENT PLAN
- ⑮ - PROPOSED 3" WIDE CONCRETE INVERTED SHOULDER PER CITY STD. PLAN NO. 104 UNDER SEPARATE PERMIT STREET IMPROVEMENT PLAN

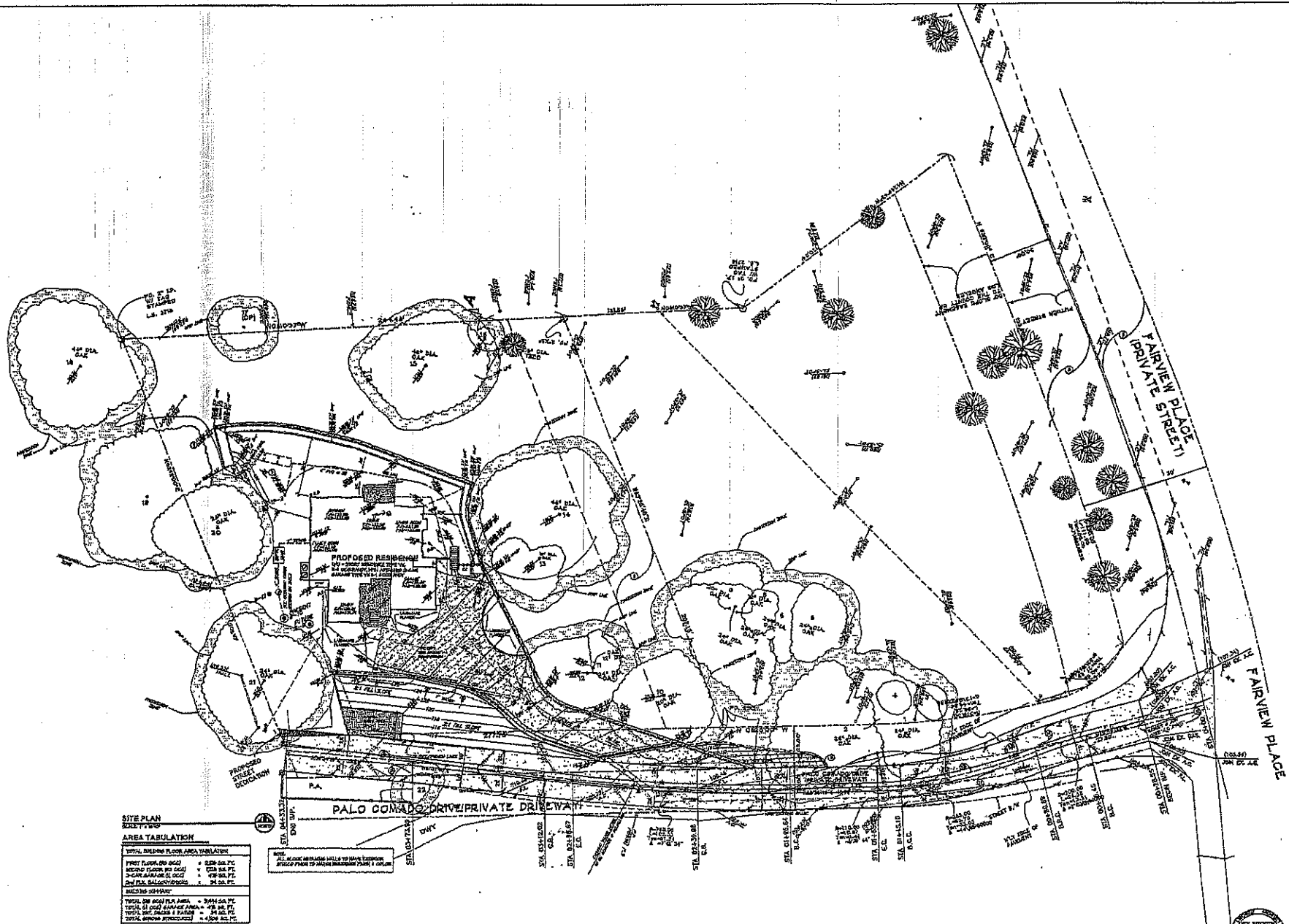


NOTE:
PALO COMADO DRIVE
SEE STREET IMPROVEMENT PLAN

- 1. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 20, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- 2. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.



PREPARED BY: CALOTIC ENGINEERING GROUP CIVIL ENGINEERS & LAND SURVEYORS 2000 FERRIS BLVD., SUITE 100, PALMDALE, CA 91368				CITY OF AGOURA HILLS APPROVAL				CITY OF AGOURA HILLS		PROJECT NO. _____		SHEET 2 OF 8	
REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	PREPARED BY	DATE	REVIEWED BY	DATE	RAJINDRADEVA CITY ENGINEER	DATE	PROJECT NO.	CITY OF AGOURA HILLS CIVIL ENGR.		



SITE PLAN
SCALE 1/8" = 1'-0"

AREA TABULATION

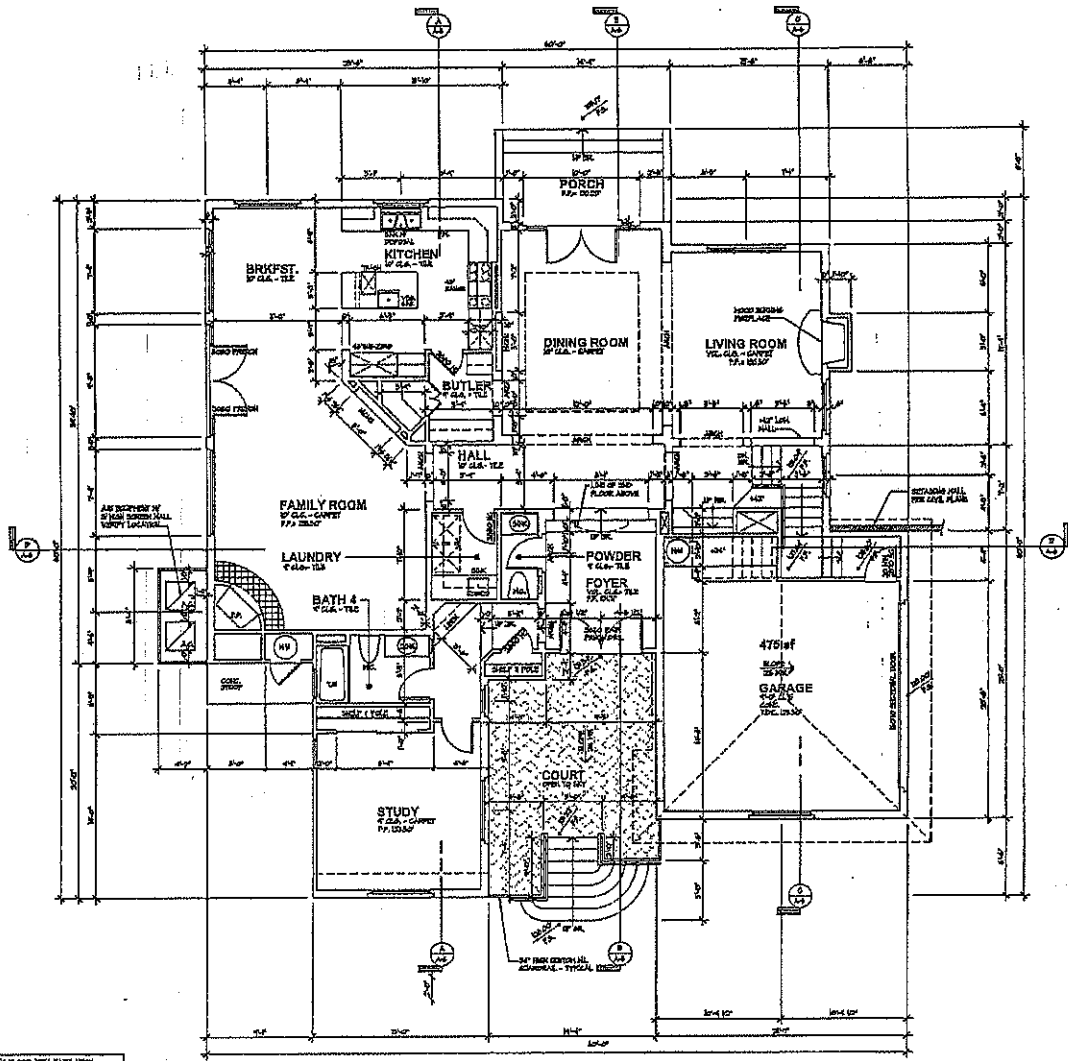
TOTAL BUILDING FLOOR AREA TABULATION	
FIRST FLOOR (SQ. FOOT)	6,250 SQ. FT.
SECOND FLOOR (SQ. FOOT)	2,218 SQ. FT.
3-CAR GARAGE (SQ. FOOT)	4,750 SQ. FT.
DRIVEWAY (SQ. FOOT)	24 SQ. FT.
TOTAL BUILDING FLOOR AREA	
TOTAL DR. AREA (SQ. FOOT)	3,944 SQ. FT.
TOTAL DR. AREA (SQ. FOOT)	4,750 SQ. FT.
TOTAL DR. AREA (SQ. FOOT)	4,750 SQ. FT.

NOTE:
ALL EXISTING UTILITIES SHALL BE MAINTAINED
UNLESS SHOWN OTHERWISE ON THIS PLAN.

PROJECT NAME	BEN-MENACHEM CUSTOM RESIDENCE
ARCHITECTURAL SITE PLAN	REVISIONS
DRAWN BY	DATE
CHECKED BY	DATE
SCALE	DATE
PROJECT NO.	DATE
ARCHITECT	KEN STOCKTON
ARCHITECT FIRM	ARCHITECTURE BY KEN STOCKTON & ASSOCIATES 1000-100-1000 THE BAY CENTER FREMONT, CA
SHEET NO.	A-1



NOT FOR CONSTRUCTION



TOTAL BLDG FLOOR AREA VOLUMATION	
FIRST FLOOR (BY CODE)	4,328 SQ. FT.
SECOND FLOOR (BY CODE)	4,778 SQ. FT.
THIRD FLOOR (BY CODE)	478 SQ. FT.
TOTAL (BY CODE) FLOOR AREA	9,584 SQ. FT.
TOTAL (BY CODE) GARAGE AREA	478 SQ. FT.
TOTAL (BY CODE) TOTAL AREA	10,062 SQ. FT.
TOTAL (BY CODE) PERMITS	4,328 SQ. FT.

FIRST FLOOR PLAN

3228 SQ. FT.

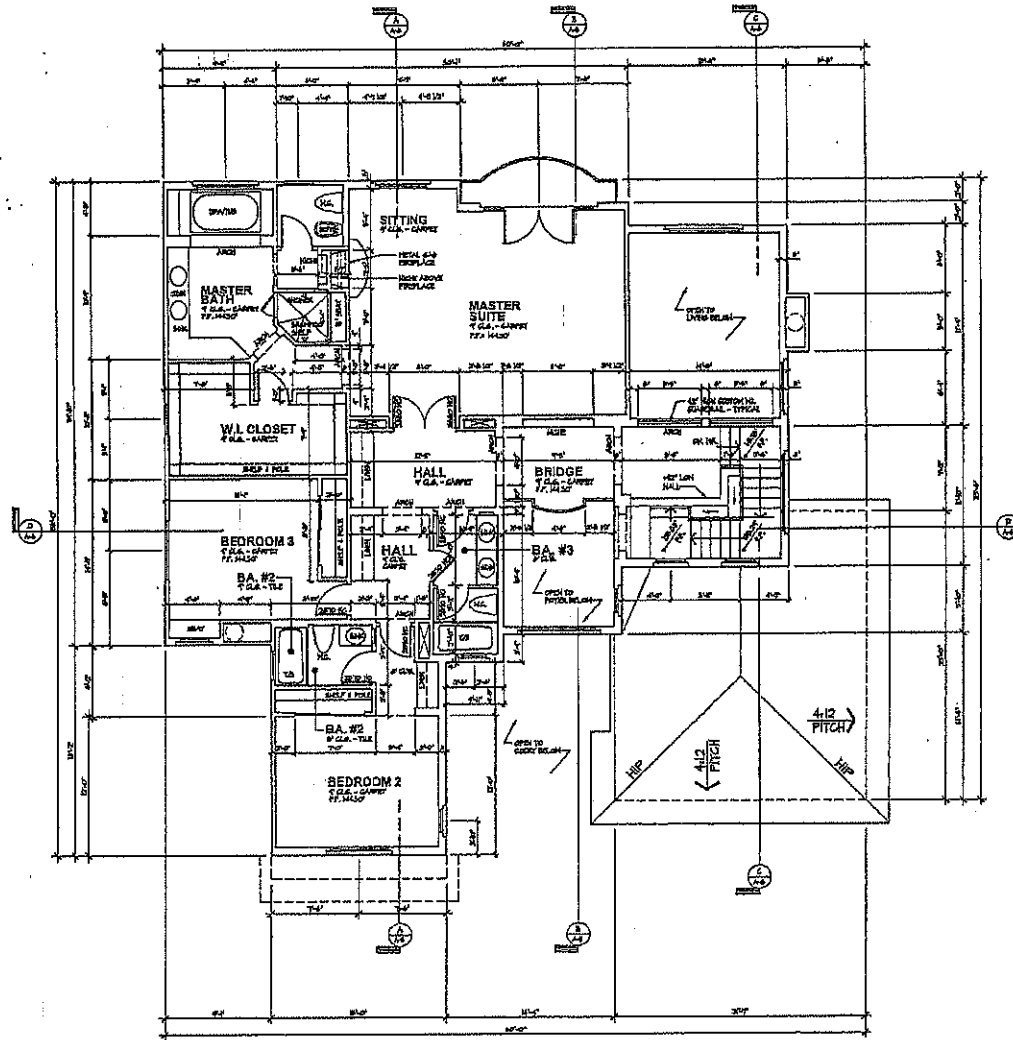
FIRST FLOOR VOLUME

FIRST FLOOR (BY CODE)	4,328 SQ. FT.
SECOND FLOOR (BY CODE)	478 SQ. FT.
TOTAL (BY CODE) FLOOR AREA	4,806 SQ. FT.
TOTAL (BY CODE) GARAGE AREA	478 SQ. FT.
TOTAL (BY CODE) TOTAL AREA	5,284 SQ. FT.



NOT FOR CONSTRUCTION

<p>PROJECT NAME</p> <p>BEN-MENACHEM</p> <p>CUSTOM RESIDENCE</p>												
<p>FIRST FLOOR PLAN</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	BY	REVISIONS									
DATE	BY	REVISIONS										
<p>ARCHITECT</p> <p>KEN STOCKTON</p> <p>3200 S. AVENUE, SUITE 100, PALM BEACH, FLORIDA 33480</p>												
<p>SHEET NO.</p> <p>A-2</p>												



SECOND FLOOR PLAN
 1/8" = 1'-0"
 SECOND FLOOR FINISHES
 WINDOW FINISH SEE 0001 + 079 42 FT.
 DOOR FINISH SEE 0001 + 079 42 FT.
 TOTAL FINISH SEE 0001 + 079 42 FT.
 TOTAL FINISH SEE 0001 + 079 42 FT.



BEN-MENACHEM
 CUSTOM RESIDENCE

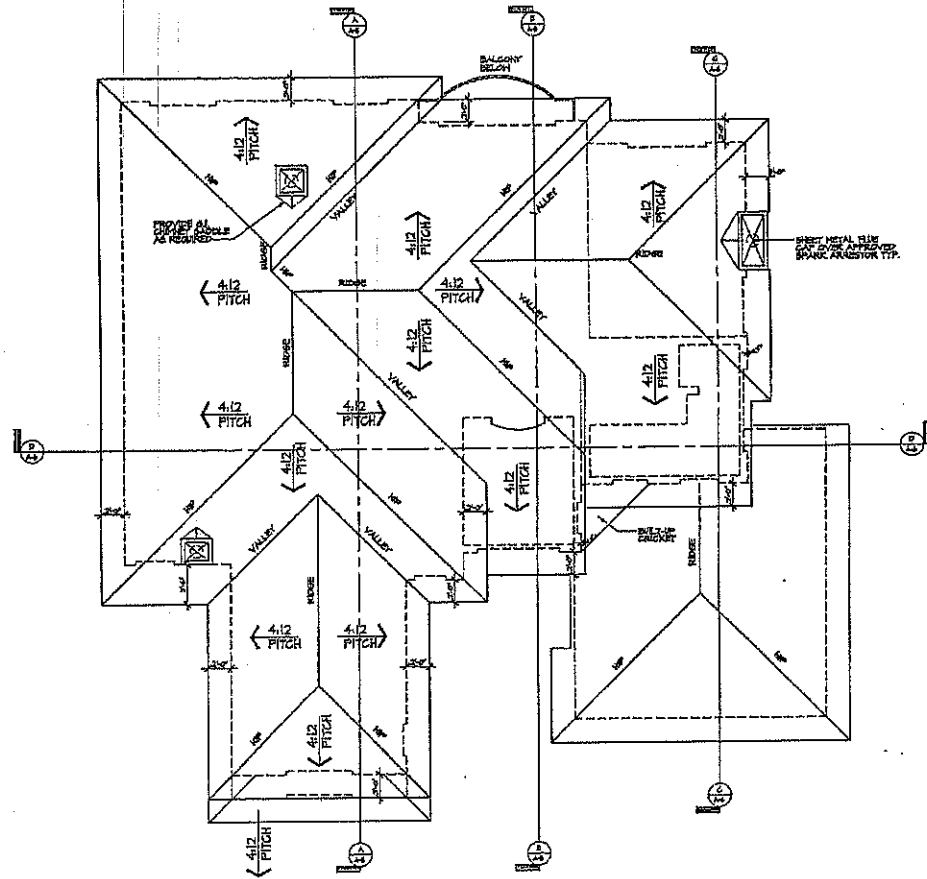
SECOND FLOOR PLAN

DATE	DESCRIPTION
12/15/00	REVISED
12/15/00	REVISED
12/15/00	REVISED

KEN STORKTON
 ARCHITECT
 12345 MAIN STREET, SUITE 100, CALIFORNIA, CA 90001
 TEL: (555) 123-4567 FAX: (555) 123-4568

SHEET NO. **A-3**

NOT FOR CONSTRUCTION

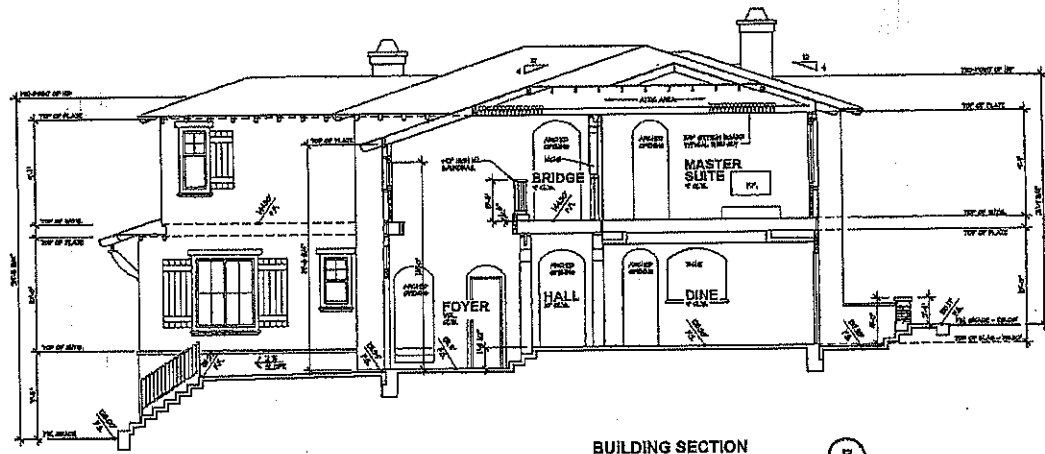


ROOF PLAN
1/8" = 1'-0"

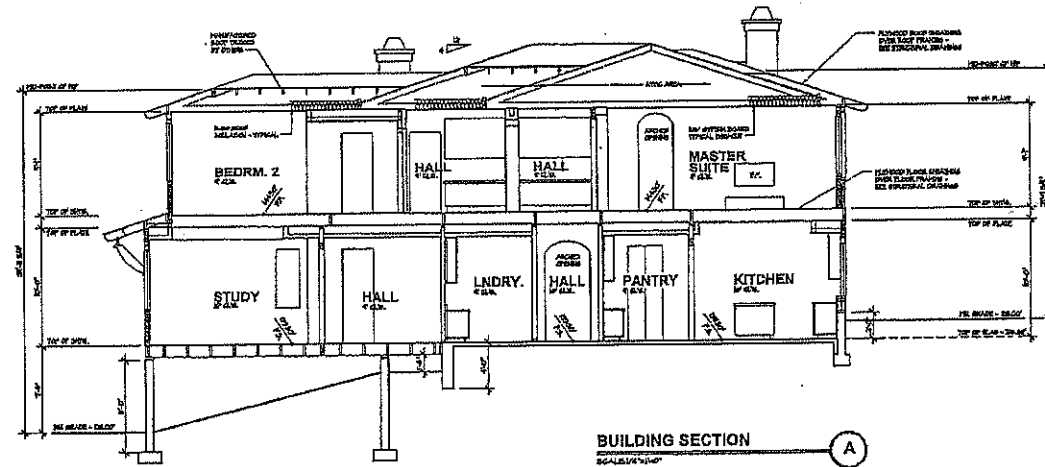


NOT FOR CONSTRUCTION

PROJECT NAME: BEN-MENACHEM CUSTOM RESIDENCE	
DATE: 01/20/20	REVISIONS: 01/20/20
DRAWN BY: CANTON	DESIGNED BY: CANTON
CHECKED BY: CANTON	DATE: 01/20/20
PROJECT NO: 19-001	
SHEET NO: A-4	
KEN STOCKTON ARCHITECT 2800 KARDOLAN DRIVE PALM ANAHEIM, CA 92701 (714) 941-1100 FAX: (714) 941-1101	



BUILDING SECTION
SCALE 1/4" = 1'-0"
B

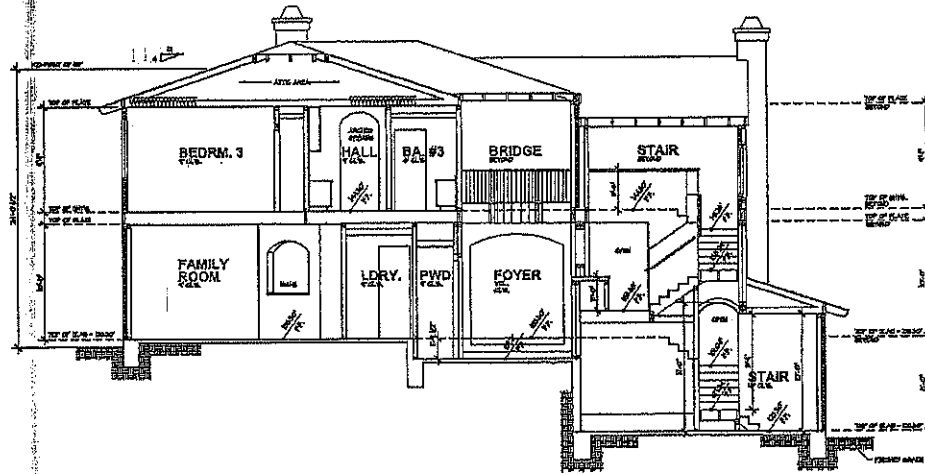


BUILDING SECTION
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A

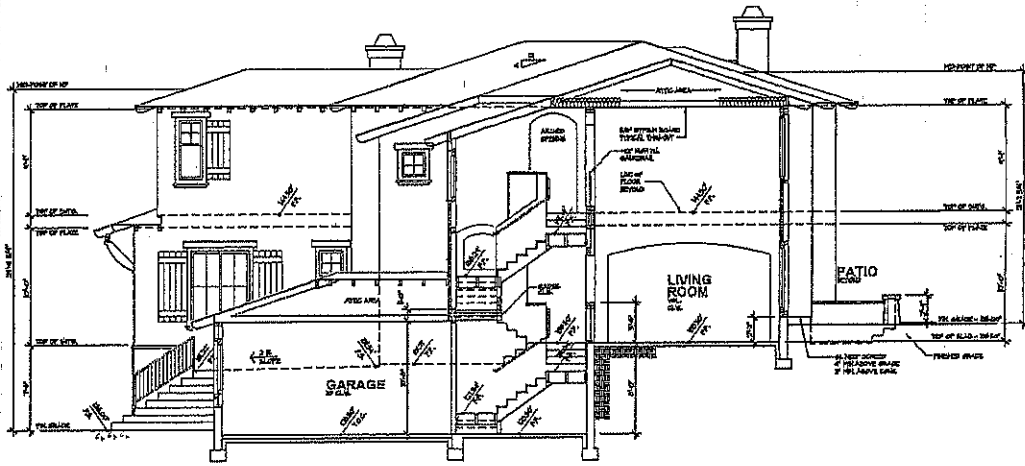
PROJECT NAME: BEN-MENACHEM CUSTOM RESIDENCE											
BUILDING SECTIONS: <table border="1"> <tr> <td>FRAME</td> <td>OK</td> </tr> <tr> <td>MECH.</td> <td>OK</td> </tr> <tr> <td>ELECT.</td> <td>OK</td> </tr> <tr> <td>PLUMB.</td> <td>OK</td> </tr> <tr> <td>FINISH</td> <td>OK</td> </tr> </table>		FRAME	OK	MECH.	OK	ELECT.	OK	PLUMB.	OK	FINISH	OK
FRAME	OK										
MECH.	OK										
ELECT.	OK										
PLUMB.	OK										
FINISH	OK										
ARCHITECT: KEN STOCKTON ARCHITECT PROJECT ADDRESS: 10000 W. GARDENWAY, CA 90231 TEL: 310.340.1111 FAX: 310.340.1112											
SHEET NO. A-5	DATE: 10/20/01										



NOT FOR CONSTRUCTION



BUILDING SECTION D
SCALE: 1/4" = 1'-0"

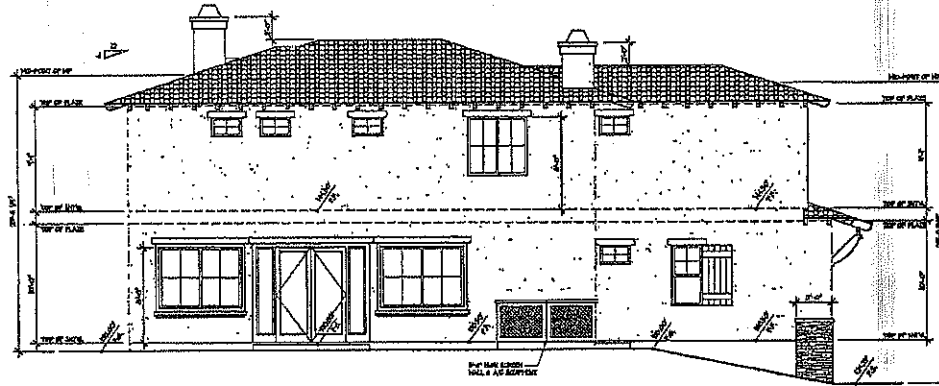


BUILDING SECTION C
SCALE: 1/4" = 1'-0"

PROJECT NAME BEN-MENACHEM CUSTOM RESIDENCE
ARCHITECT KEN STOCKTON
SHEET NO. A-6

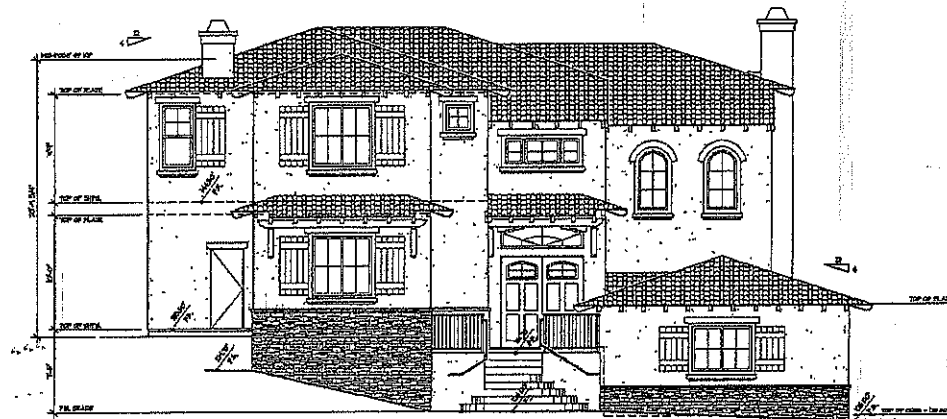


NOT FOR CONSTRUCTION



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

PROJECT NAME

BEN-HENAJHEM
CUSTOM RESIDENCE

PROJECT NAME

FIRST FLOOR PLAN

REVISIONS
DATE: 12/22/03

CHANGES
DATE: 12/22/03

DATE: 12/22/03

DATE: 12/22/03

DATE: 12/22/03

DATE: 12/22/03

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DATE: 12/22/03

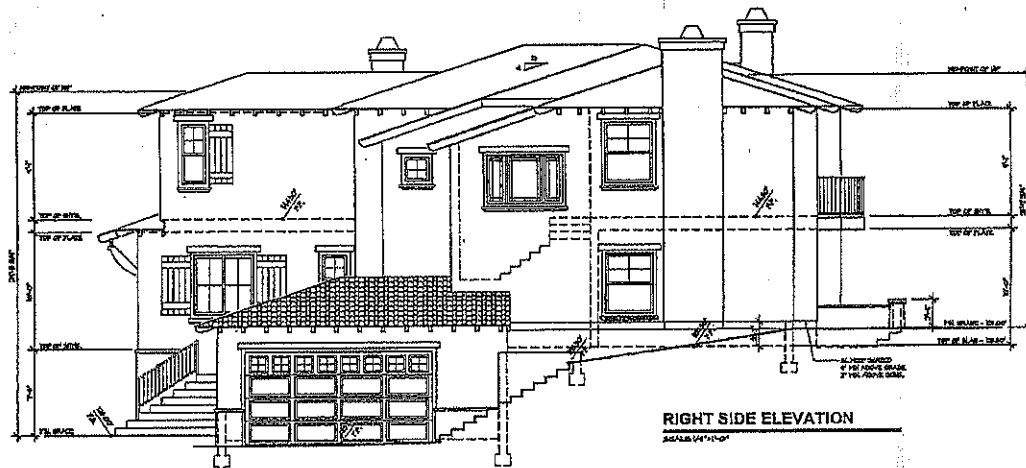
KEN STOCKTON
ARCHITECT
2007 N. WASHINGTON ST., SUITE 100, WASHINGTON, DC 20004
(202) 462-1000 FAX: (202) 462-1001



SHEET NO.

A-7

NOT FOR CONSTRUCTION



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



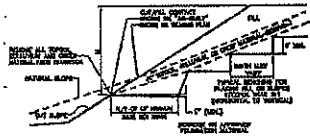
REAR ELEVATION

SCALE: 1/4" = 1'-0"

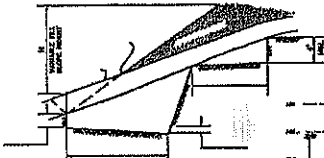
DATE: _____															
PROJECT NAME: BEN-MENACHEM CUSTOM RESIDENCE															
<table border="1"> <tr> <td colspan="2">FIRST FLOOR PLAN</td> </tr> <tr> <td>DOORS</td> <td>OK</td> </tr> <tr> <td>WINDOWS</td> <td>OK</td> </tr> <tr> <td>CEILING</td> <td>OK</td> </tr> <tr> <td>FLOORING</td> <td>OK</td> </tr> <tr> <td>TEXT</td> <td>OK</td> </tr> <tr> <td>PROJECT</td> <td>OK</td> </tr> </table>		FIRST FLOOR PLAN		DOORS	OK	WINDOWS	OK	CEILING	OK	FLOORING	OK	TEXT	OK	PROJECT	OK
FIRST FLOOR PLAN															
DOORS	OK														
WINDOWS	OK														
CEILING	OK														
FLOORING	OK														
TEXT	OK														
PROJECT	OK														
KEN STOCKTON ARCHITECT 1000 N. MOORE AVENUE, SUITE 100, LANSING, MI 48206 (313) 963-1100 FAX (313) 963-1101															
DATE: _____	A-8														



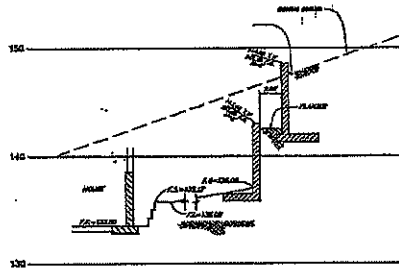
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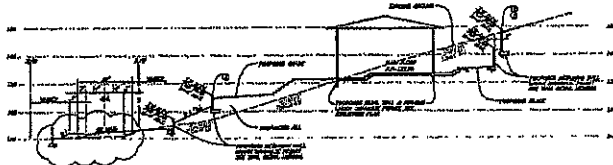
TYPICAL FILL OVER CUT SLOPE DETAIL
NOT TO SCALE



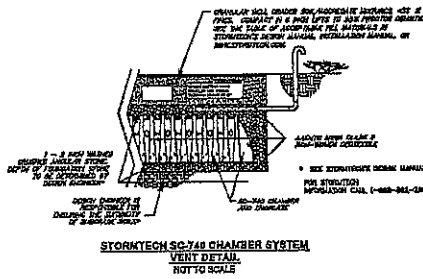
TYPICAL FILL ABOVE NATURAL SLOPE DETAIL
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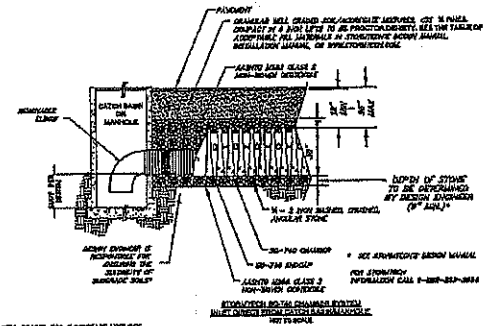
B-B
SCALE
HORIZ 1:5
VERT 1:5



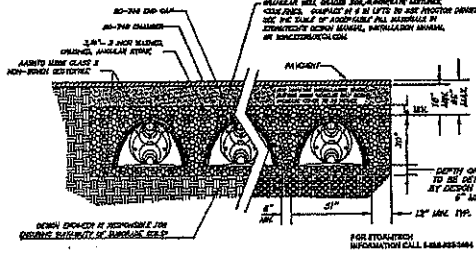
A-A
NO SCALE



STORMTECH SC-700 CHAMBER SYSTEM
VERY DETAILED
NOT TO SCALE

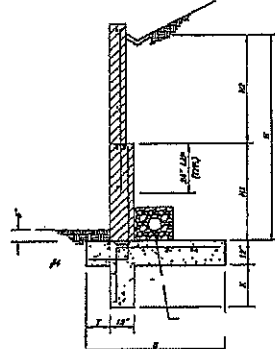
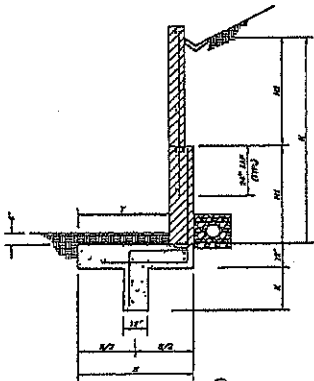


STORMTECH SC-700 CHAMBER SYSTEM
VERY DETAILED
NOT TO SCALE



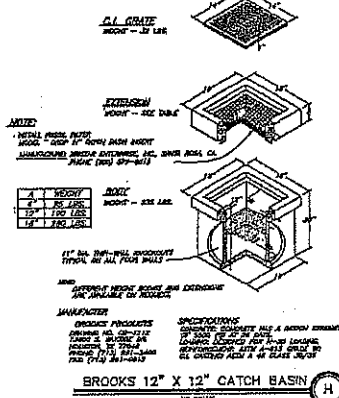
STORMTECH INFILTRATOR
NO SCALE

CONCRETE CURB ONLY
NO SCALE

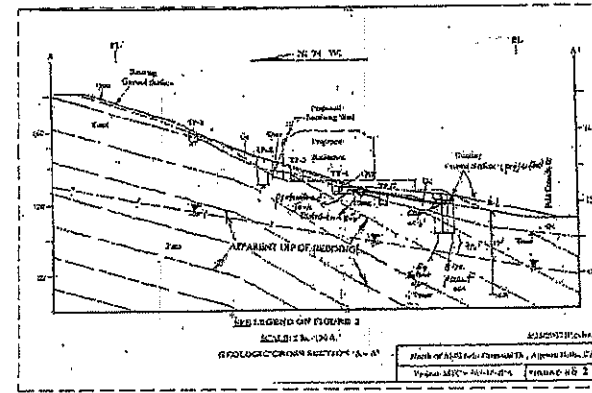


DETAILS OF WALL SCHEDULE - TYPE 1 WALL

W	H	12"	8"	Y	X	2' DIA	2' DIA
3'-0"	3'-0"	3'-0"	3'-0"	1'-0"	1'-0"	1'-0"	1'-0"
4'-0"	4'-0"	3'-0"	3'-0"	1'-0"	1'-0"	1'-0"	1'-0"
5'-0"	5'-0"	3'-0"	3'-0"	1'-0"	1'-0"	1'-0"	1'-0"



BROOKS 12" X 12" CATCH BASIN
NO SCALE



GRADING PLAN

REV	BY/CL	DESCRIPTION OF CHANGE	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAJIBO ABEYA CITY ENGINEER	DATE	FILE NO. 8888	EXP. DATE	PROJECT NO.	SHEET 3 OF 8

Color and Materials Board
(Case No. 03-CUP-016 & Case No. 03-OTP-017)

BEN-MENACHEM
MATERIAL BOARD

EXTERIOR STUCCO
SMOOTH SAND
DUNN EDWARDS—BISQUE TAN—DE6157

FASCIA, TRIM & SHUTTERS
DUNN EDWARDS—TAN PLAN—DE6137

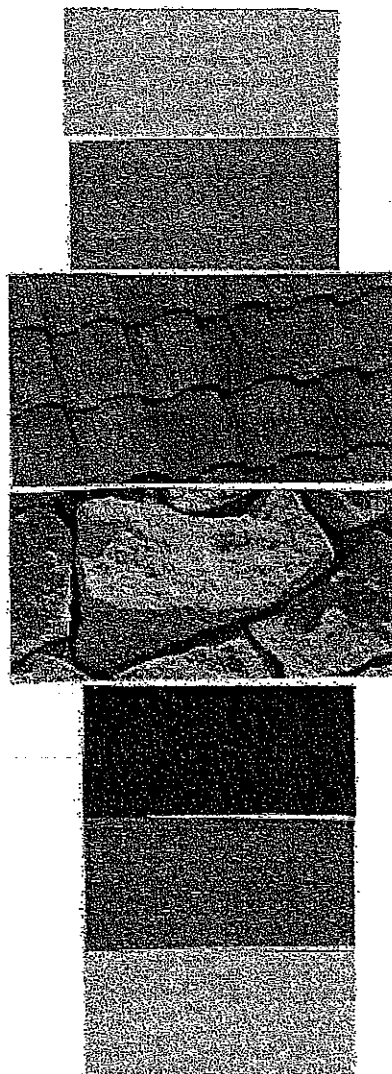
ROOF MATERIAL
EAGLE ROOFING—CAMINO REAL
SAN GABRIEL

STONE VENEER
EL DORADO STONE
BELLA—COUNTRY RUBBLE

WROUGHT IRON
DUNN EDWARDS—BLACK BAY—DEA188

ALUMINUM GUTTERS
DUNN EDWARDS—TAN PLAN—DEA6137

WINDOWS AND FRENCH DOORS
ANDERSON 200 & 400 SERIES
ALMOND



December 18, 2008 Meeting



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016, AMENDMENT
OAK TREE PERMIT - CASE NO. 03-OTP-017 AMENDMENT**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT E

August 7, 2008 Planning Commission Meeting

- **Minutes**
- **Staff Report**
- **Project Plans**



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

**MINUTES OF THE REGULAR SCHEDULED MEETING OF
THE PLANNING COMMISSION
August 7, 2008**

CALL TO ORDER:

Chair O'Meara called the meeting to order at 6:34 p.m.

FLAG SALUTE

Commissioner Rishoff

ROLL CALL:

Chair John O'Meara, Vice Chair Curtis Zacuto, Commissioners Ilce Buckley Weber, Cyrena Nouzille, and Steve Rishoff.

Also, present were Assistant Community Development Director Doug Hooper, Associate Planner Valerie Darbouze, Assistant Planner Renee Madrigal, Assistant Engineer Kelly Fisher, Oak Tree and Landscape Consultant Kay Greeley, and Recording Secretary Sheila Keckhut.

1. APPROVAL OF MINUTES:

July 17, 2008 Planning Commission Meeting

On a motion by Commissioner Rishoff, seconded by Vice Chair Zacuto, the Planning Commission moved to approve the Minutes of the July 17, 2008 Planning Commission Meeting. Motion carried 4-0-1. Commissioner Nouzille abstained.

COMMENTS FROM THE PUBLIC ON ITEMS NOT LISTED ON THE AGENDA:

None

CONTINUED PUBLIC HEARINGS

2. REQUEST:

Request for approval of a Conditional Use Permit to construct a 4,515 square foot, two-story, single-family residence, a 428 square foot attached two-car garage, 217 square feet of patio covers and 332 square feet of balconies/decks; and a request for an Oak Tree Permit to

remove 1 oak tree and encroach in the protected zone of 9 oak trees for the proposed construction.

APPLICANT: Sean Ben-Menahem
5000 N. Parkway Calabasas, Suite 106
Calabasas, CA 91302

CASE NOS.: 03-CUP-016 & 03-OTP-017

LOCATION: 6149 Palo Comado Drive
(A.P.N. 2055-023-073)

ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA per Section 15303.

RECOMMENDATION: If it was the Planning Commission's decision to approve Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, staff recommended the Planning Commission adopt the draft resolution, subject to the revised Conditions of Approval.

PUBLIC COMMENTS: Chair O'Meara opened the public hearing.

The following persons spoke in favor of the project.

Ken Stockton, Architect for the applicant

George Shakiban, Construction Engineer representing applicant

Jeff Aviezer, resident

The following persons spoke neither for nor against the project

Mike Kaye, resident

Robyn Britton, representing Old Agoura HOA

REBUTTAL: George Shakiban, Construction Engineer representing applicant, gave rebuttal regarding the project and answered additional questions of the Planning Commission.

Chair O'Meara closed the public hearing.

Chair O'Meara reopened the public hearing and Sean Ben-Menahem, applicant spoke. Chair O'Meara closed the public hearing.

ACTION: On a motion by Commissioner Rishoff, seconded by Commissioner Buckley Weber, the Planning Commission moved to direct staff to prepare a draft Resolution of denial for Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017 for the Planning Commission's consideration at the August 21, 2008 Planning Commission meeting. Motion carried 3-2. Chair O'Meara and Vice Chair Zacuto opposed.

3. **REQUEST:** Request for approval of a Conditional Use Permit to construct a 3,547 square foot, two-story, single-family residence with a 981 square foot attached garage; and a request for approval of an Oak Tree Permit to remove one (1) Oak tree and to encroach within the protected zone of four (4) on-site Oak trees for the proposed construction.

APPLICANT: Gary Bardovi for Nevin Bardai
3611 Motor Avenue, Suite 108
Los Angeles, CA 90034

CASE NOS.: 07-CUP-011 and 07-OTP-020

LOCATION: 28340 Balkins Drive
(A.P.N. 2055-021-044)

ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA per Section 15303

RECOMMENDATION: If the Planning Commission desired to approve Conditional Use Permit Case No., 07-CUP-011 and Oak Tree Permit Case No. 07-OTP-020, a draft Resolution and conditions were prepared for adoption.

Chair O'Meara and Commissioner Buckley Weber stated they did watch the June 5, 2008 Planning Commission meeting that they would participate in the public hearing.

PUBLIC COMMENTS: Chair O'Meara opened the public hearing.

The following persons spoke in favor of the project.

Chuck Cohen, Attorney-representing the applicant.

Gary Bardovi, Architect representing the applicant.

Erick Mason, Civil Engineer representing the applicant.

RECESS:

Chair O'Meara called for a recess at 8:29 p.m.

RECONVENE:

Chair O'Meara reconvened the meeting at 8:50 p.m.

The following person spoke in favor of the project.

Bob Bombardier, Landscape Architect representing the applicant.

The following person spoke neither for nor against the project.

John Levin, resident

Laurie Turner, resident

Bob Hartman, resident

Robyn Britton, representing Old Agoura HOA

Ronald Cagnon, resident

REBUTTAL:

Chuck Cohen attorney representing applicant, gave rebuttal regarding the project and answered additional questions of the Planning Commission.

Chair O'Meara closed the public hearing.

ACTION:

On a motion by Vice Chair Zacuto, seconded by Commissioner Buckley Weber, the Planning Commission moved to adopt the Resolution, approving Conditional Use Permit Case No. 07-CUP-011 and Oak Tree Permit Case No. 07-OTP-020, subject to conditions. Motion carried 3-2. Commissioner Buckley Weber and Commissioner Nouzille opposed.

4. REQUEST: A request for a Conditional Use Permit to convert a single-family residence into an office building and add 916 square feet of building area; a request for a Variance from Zoning Ordinance Sections 9373.7 and 9373.5 to reduce the landscaping from 20 to 10 feet in width along the front property line and to maintain a reduced, combined side yard setback of 20 feet instead of a minimum of 70 feet; and a request for an Oak Tree Permit to encroach into the protected zone of two oak trees for the construction of the project.
- APPLICANT: Joseph Luithly
28818 Agoura Road
Agoura Hills, CA 91301
- CASE NOS.: 07-CUP-008, 07-OTP-005, & 07-VAR-002
- LOCATION: 28818 Agoura Road
(A.P.N. 2061-029-002)
- ENVIRONMENTAL DETERMINATION: Exempt from CEQA per Section 15303
- RECOMMENDATION: Staff recommended approval of Conditional Use Permit, Case No. 07-CUP-008, and Oak tree Permit Case No. 07-OTP-005, and Variance Case No. 07-VAR-002, subject to conditions, based on the findings of the draft Resolutions.
- Chair O'Meara and Commissioner Buckley Weber stated they did watch the June 5, 2008 Planning Commission meeting that they would participate in the public hearing.
- PUBLIC COMMENTS: Chair O'Meara opened the public hearing.
- The following persons spoke in favor of the project
- Joseph Luithly, applicant
- Chair O'Meara closed the public hearing.
- ACTION: On by Vice Chair Zacuto, and seconded by Commissioner Buckley Weber the Planning Commission moved to adopt the Resolution, approving Case Nos. 07-CUP-008, 07-OTP-005, and 07-VAR-002 subject to conditions. Motion carried 5-0.

DISCUSSION

5. REQUEST: Request for approval to modify the existing sign program at the Agoura Design Center to include a monument sign.
- APPLICANT: Signature Signs Inc. for Adler Realty Investments, Inc.
801 Mitchell Road, Suite 102
Newbury Park, CA 91320
- CASE NO.: 08-SP-024
- LOCATION: 28501, 28505-28509 Canwood Street
(A.P.N. 2048-012-017, 018, and 2055-003-064)
- ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA per Section 15311 (a)
- RECOMMENDATION: Staff recommended approval of Sign Permit Case No. 08-SP-024, subject to conditions, based on the findings of the draft Resolution.
- PUBLIC COMMENTS: Chair O'Meara opened the public hearing.
- The following persons spoke in favor of the project.
- Jami Leaf with Signature Signs, representing the applicant.
- Chair O'Meara closed the public hearing.
- ACTION: On a motion by Vice Chair Zacuto, and seconded by Commissioner Rishoff, the Planning Commission moved to adopt the Resolution, approving Sign Permit No. 08-SP-024 subject to conditions. Motion carried 4-1. Commissioner Buckley Weber opposed.

ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDA

(Planning Commission and Staff)

Vice Chair Zacuto and Commissioner Buckley Weber announced they will not be attending the August 21, 2008 Planning Commission meeting.

ADJOURNMENT

At 11:08 p.m., on a motion by Commissioner Buckley Weber, seconded by Vice Chair Zacuto, the Planning Commission adjourned the meeting to the next scheduled Planning Commission meeting on Thursday August 21, 2008, at 6:30 p.m.



DATE: AUGUST 7, 2008

TO: PLANNING COMMISSION

FROM: PLANNING STAFF

SUBJECT: CONDITIONAL USE PERMIT CASE NO. 03-CUP-016 & OAK TREE PERMIT CASE NO. 03-OTP-017

I. PROJECT DESCRIPTION AND BACKGROUND

On March 20, 2008, the Planning Commission conducted a public hearing for Sean Ben-Menahem's Conditional Use Permit and Oak Tree Permit applications (Case Nos. 03-CUP-016 and 03-OTP-017) to construct a 4,880 square-foot, two-story, single-family residence, a 463 square foot attached two-car garage, a 100 square-foot patio cover and a 125 square-foot balcony/deck. The applicant also requested to remove 1 oak tree and to encroach in the protected zone of 9 oak trees for the proposed construction. The parcel is located at 6149 Palo Comado Drive in the Residential Very Low density zone in Old Agoura.

After reviewing the project and taking public testimony, the Planning Commission requested that the applicant 1) reduce the grading quantities thereby reducing the amount of truck trips and impacts to the community; 2) reduce the size of the house thereby reducing the mass of the house as viewed from the access driveway; 3) revisit the architectural style of the house; and 4) review potential drainage impacts to the residence to the east of the access driveway. The Planning Commission granted a continuation to August 7, 2008 in order for the applicant to address these issues. Included in this report is an analysis of the applicant's revisions to the project and copies of the plans for the Commission's review.

II. STAFF ANALYSIS

In response to the Planning Commission's concerns, the applicant revised his project by changing the style of architecture of the residence and by eliminating the grading on the hillside and moving the retaining walls at the bottom of the slope and away from the oak trees. The applicant is now requesting to construct a 4,515 square-foot, single-family residence with a 428 square-foot attached garage with 217 square feet of covered patios and 332 square feet of balconies and decks. The request for an Oak Tree Permit to encroach in the protected zone of nine oak trees for the proposed construction has been reduced to 4 oak trees.

The pad layout and orientation of the building will remain the same. The project still meets all minimum yard setbacks from all property lines and maximum allowable height requirements of the zone. The 20-foot-a-part retaining walls originally proposed in the rear yard designed to retain the manufactured slope were relocated at the base of the slope preserving more of the natural topography. Pertinent data are described below and findings made for the original proposal remain the same and are included in the attached draft resolution.

Pertinent Data for the Proposal:

	Existing	Original Proposal	Revised Proposal	Required/ Allowed
A. Lot Size	49,281 sq.ft. (1.13 acres)	49,281 sq.ft. (1.13 acres)	N/A	43,560 sq.ft. (1 acre)
Width	190 ft.	N/A	N/A	N/A
Depth	210 ft.	N/A	N/A	N/A
B. Building Setbacks				
<u>1. Residence Setbacks</u>				
Front	N/A	33 feet	33 feet	25 feet min.
Rear (West Side)	N/A	75 feet	72 feet	25 feet min.
Side (North Side)	N/A	90 feet	92 feet	12 feet min.
Side (South Side)	N/A	33 feet	33 feet	12 feet min.
C. Building Sizes				
Residence				
1 st Floor	N/A	2,690 sq.ft.	2,638 sq.ft.	N/A
2 nd Floor	N/A	2,190 sq.ft.	1,877 sq.ft.	N/A
Subtotal:	N/A	4,880 sqft.	4,515 sqft.	N/A
Garage	N/A	463 sq.ft.	428 sq.ft.	N/A
Total:	N/A	5,343 sq.ft.	4,943 sq.ft.	N/A
Covered Patio	N/A	100 sq.ft.	217 sq.ft.	N/A
Balcony/Roof Deck	N/A	125 sq.ft.	332 sq.ft.	N/A
D. Building Height	N/A	33 ft.	33 ft.	35 ft. max.
E. Lot Coverage				
Bldg. Footprint	N/A	6%	6.6%	25% max.
Bldg. Footprint + Hardscape	N/A	25%	23.3%	25% max.
F. Undisturbed Open Space Coverage	N/A	58%	68%	77.5% min.
G. No. of Oak Trees				
11 on-site	11	11	11	N/A
11 off-site	10	10	10	N/A

The footprint of the house (first floor and garage) has decreased slightly and the covered patios square footage has increased slightly. The total square footage including the garage, decreased from 5,343 square feet to 4,943 square feet (7.48%). The total lot coverage is slightly higher than the original proposal. The proposed layout of the house on the lot was largely dictated by the driveway leading to the house and the Los Angeles County Fire District's requirements with respect to the necessity to have a turn-around on site and that requirement hasn't changed. As presented, the undisturbed open space area would be increased by 20% over the original proposal, providing a larger buffer between the existing oak trees and the development.

Architecture

The architecture has changed from a Mediterranean style to a more rustic style. The overall layout of the house remains similar to the original proposal. The more visible changes include different exterior materials such as imitation wood horizontal planks and fishscale shingles for siding, fascia boards instead of rafter tails, a simplified roof line and material and window style and trims. The proposed roof material is a concrete shake instead of the previously proposed Spanish tile with a 4:12 pitch instead of 5:12 pitch. Additional patio covers and balconies are proposed. The supporting columns of the patio covers are designed with a post and stone clad base. In order to reduce the mass of the structure, interior changes were made as well and include removing a second floor bedroom and bathroom and relocating the laundry room from the second to the first floor. The staircase is now integrated into the floor space and no longer designed as a separate architectural feature, visible from the outside. The colors were changed to a brown family of colors including the stone veneer and roof tile.

Oak Tree/Landscaping

The new Grading Plan shows a reduction in earthwork which eliminates the impacts to one on-site oak tree. The retaining walls were designed to be further away from Oak Tree No. 15 located in the rear yard. The encroachment to Oak Tree Nos. 13, 14, 19, and 21 was reduced with the revisions. Furthermore, the septic tank is shown at the exact edge of the protected zone of Oak Tree No. 20; the City Oak Tree Consultant considers this encroachment as the installation of the tank would likely require excavation in its protected zone unless it can be relocated further away from the tree. Overall, the direct impact was reduced on the order of 25% as compared to the prior plan. Based on the revised Grading Plan, the City Oak Tree Consultant has made recommendations with respect to protecting the trees in closest proximity to the construction areas.

Engineering/Public Works

Whereas the applicant's Civil Engineer original proposal required 2,479 cubic yards of cut and 1,162 cubic yards of fill with 867 cubic yard of export, the revised grading plan shows grading quantities to be nearly balanced. These new grading quantities are 920 cubic yards of cut, 991 cubic yards of fill and 71 cubic yards of imported soil. Bringing the retaining walls closer together and raising the main floor pad by one foot in height are the two contributing factors to eliminating most of the export soil.

The Engineering Department reviewed the drainage patterns and quantities associated with the revised grading plan and are satisfied that the conditions of approval address this issue.

Street improvements will remain the same. The location of the septic system has not changed.

Environmental

Based upon review of this project by staff, no significant environmental impacts have been identified for construction of the project. The project consists of the construction of one-single-family residence. The project has been determined to be Categorical Exempt from the California Environmental Quality Act per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence.

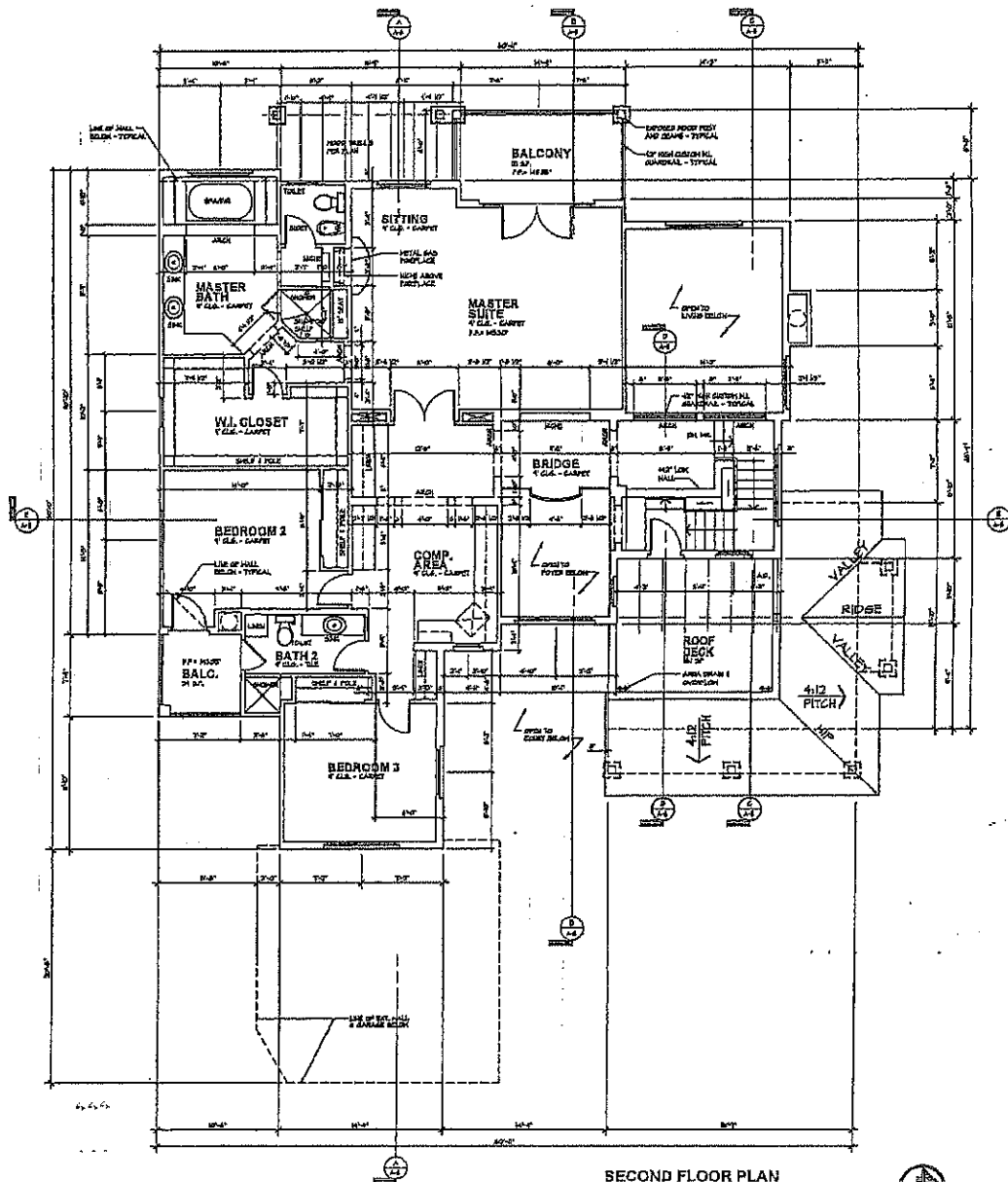
III. RECOMMENDATION

If it is the Planning Commission's decision to approve Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, staff recommends the Planning Commission adopt the attached draft resolution, subject to the revised Conditions of Approval.

Attachments

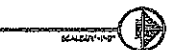
- Draft Resolution of Approval and Conditions of Approval
- Exhibit A: Reduced Copies of the Revised Architectural and Grading Plans
- Exhibit B: March 20, 2008 Meeting Minutes
- Exhibit C: March 20, 2008 Meeting Staff Report
- Exhibit D: Vicinity/Zoning Map
- Exhibit E: Color and Materials Board

Case Planner: Valerie Darbouze, Associate Planner



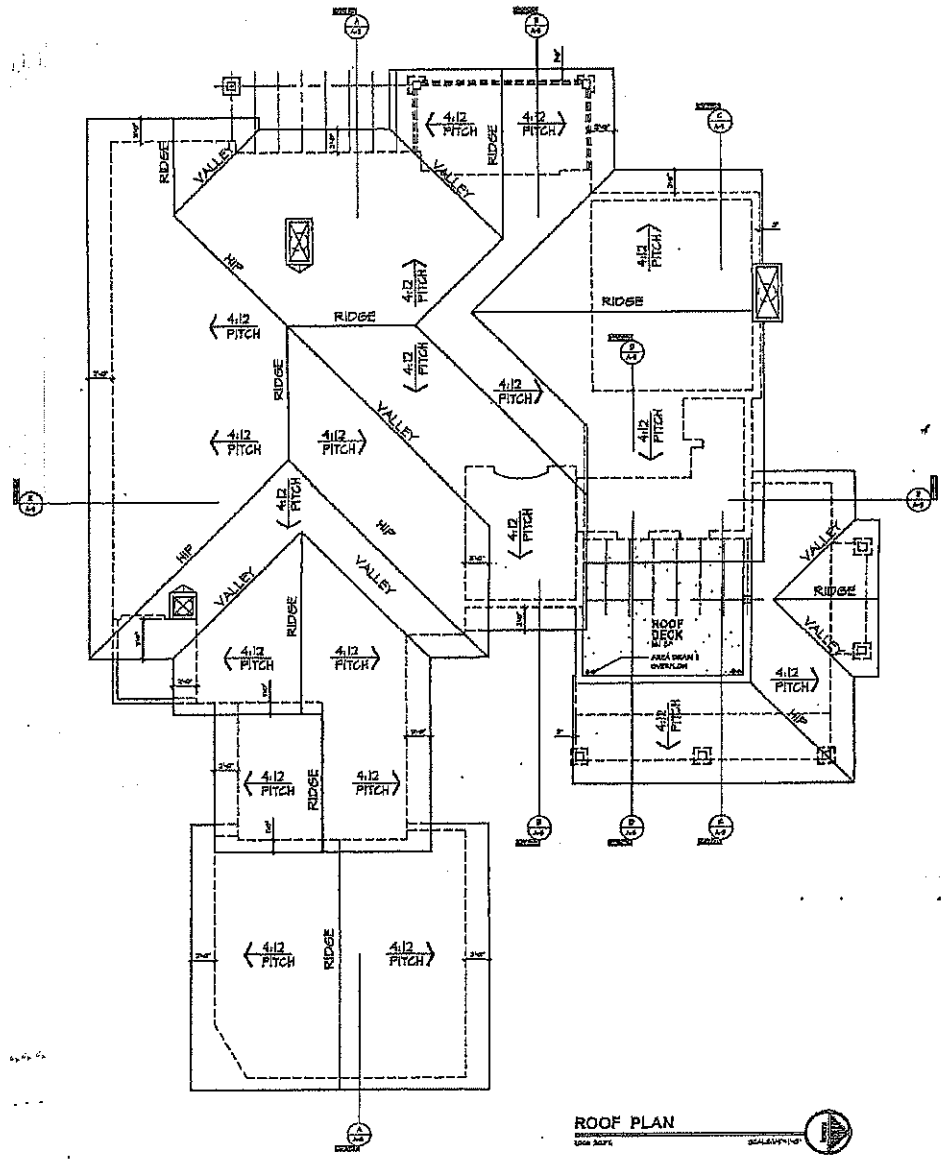
SECOND FLOOR PLAN
 1/11" = 1'-0"

SECOND FLOOR TYPICALS	
SECOND FLOOR FOR AREA	1,471 SQ. FT.
BALCONY/DECKS	330 SQ. FT.
TOTAL (SEE ALSO 2 SECOND FLOOR)	1,801 SQ. FT.



NOT FOR CONSTRUCTION

PROJECT NAME BEN-MENACHEM CUSTOM RESIDENCE
PROJECT NO. _____
SECOND FLOOR PLAN DRAWN BY: _____ CHECKED BY: _____ DATE: _____ PLAN NO.: _____ PROJECT: _____
KEN STOCKTON ARCHITECT 3800 J. Avenue, Suite 100, Los Angeles, CA 90022 TEL: (213) 442-1100 FAX: (213) 442-1101
SHEET NO. A-3

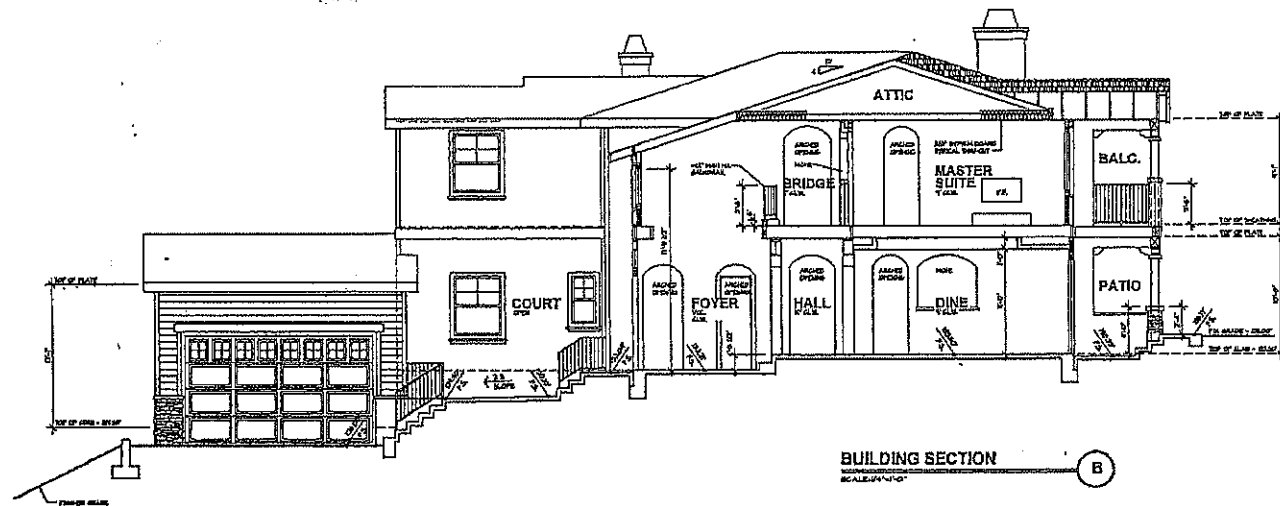


ROOF PLAN
DATE 03/20/10

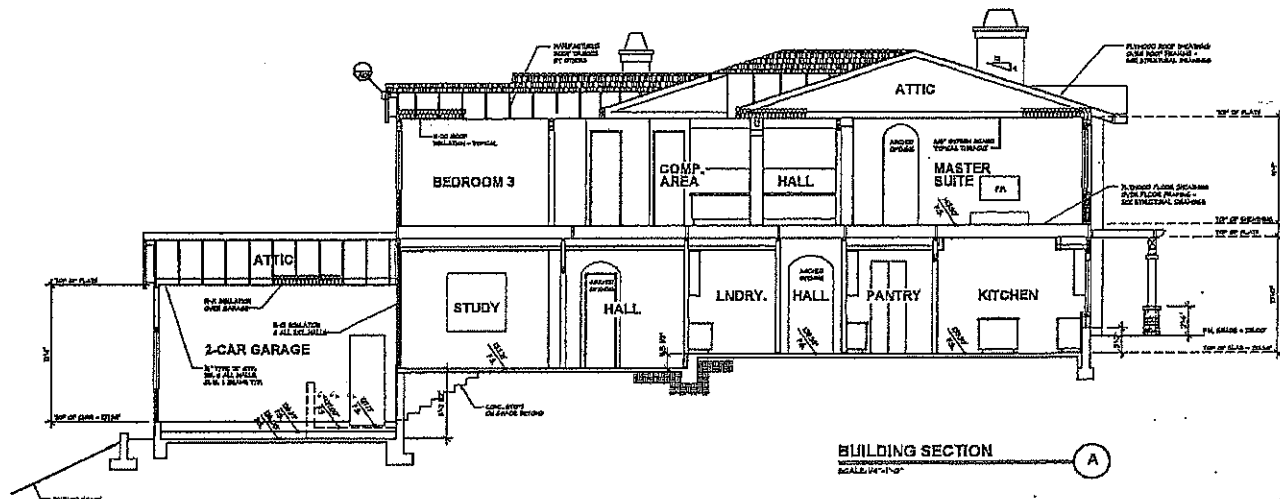


NOT FOR CONSTRUCTION

PROJECT NAME BEN-MENACHEM CUSTOM RESIDENCE		DATE 03/20/10	SCALE AS SHOWN
DESIGNED BY KEN STOCKTON	ARCHITECT	NO. 12574	STATE OF CALIFORNIA
PROJECT NO. A-4		SHEET NO. 1	



BUILDING SECTION B
SCALE: 1/8" = 1'-0"



BUILDING SECTION A
SCALE: 1/8" = 1'-0"

PROJECT NAME:
BEN-MENACHEM
CUSTOM HOME

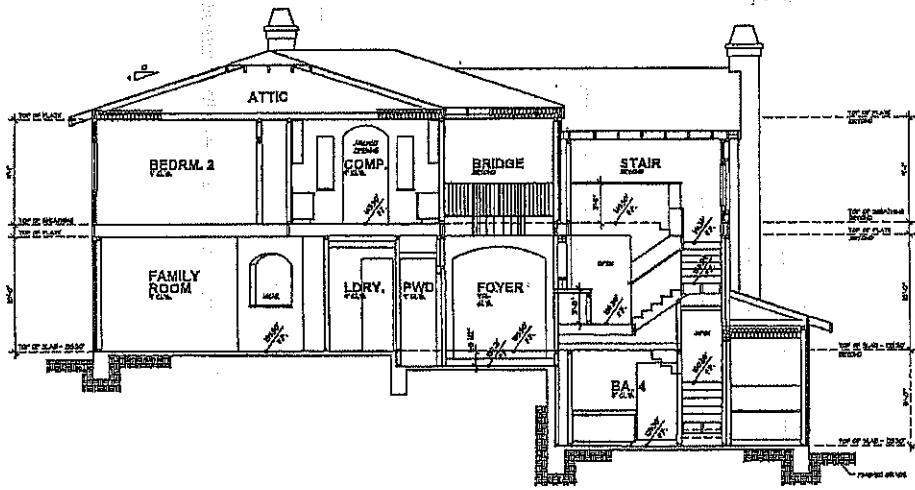
BUILDING SECTIONS
REVISED
DATE: 07/20/08
DRAWN BY: [unintelligible]
PROJECT

KEN STOCKTON
ARCHITECT
2000 N. QUINN BOULEVARD, SUITE 100, CALHOUN, GA 30508
404-525-1999 FAX: 404-525-1997

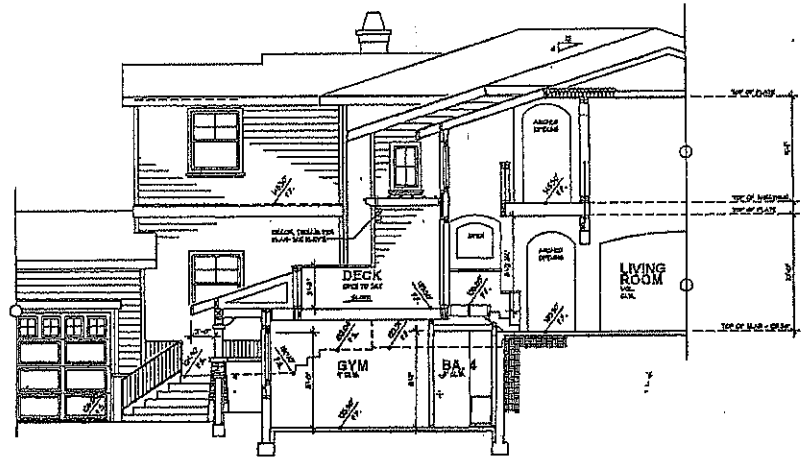


NOT FOR CONSTRUCTION

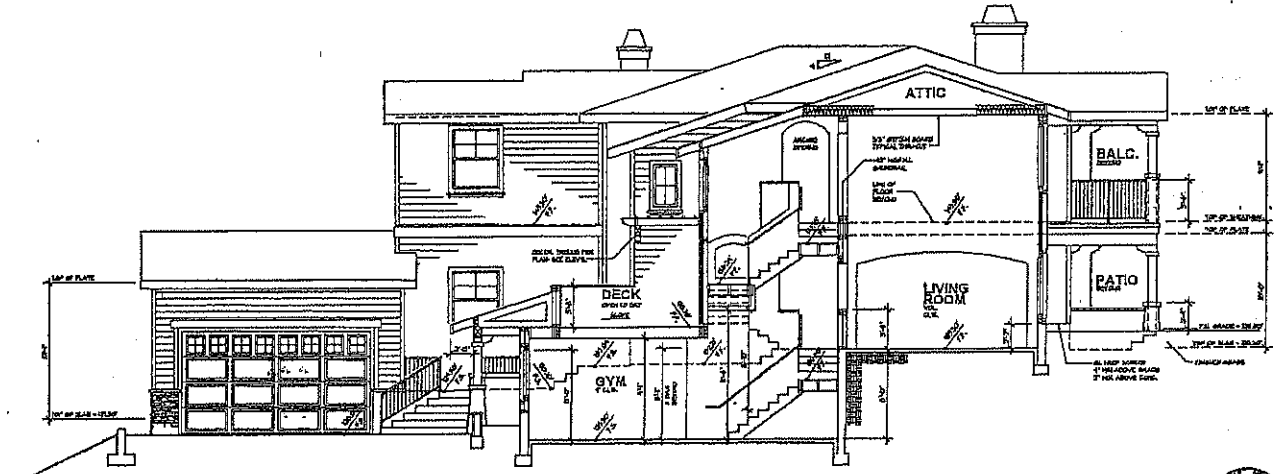
MEET NO. A-5



BUILDING SECTION E
SCALE 1/8"=1'-0"



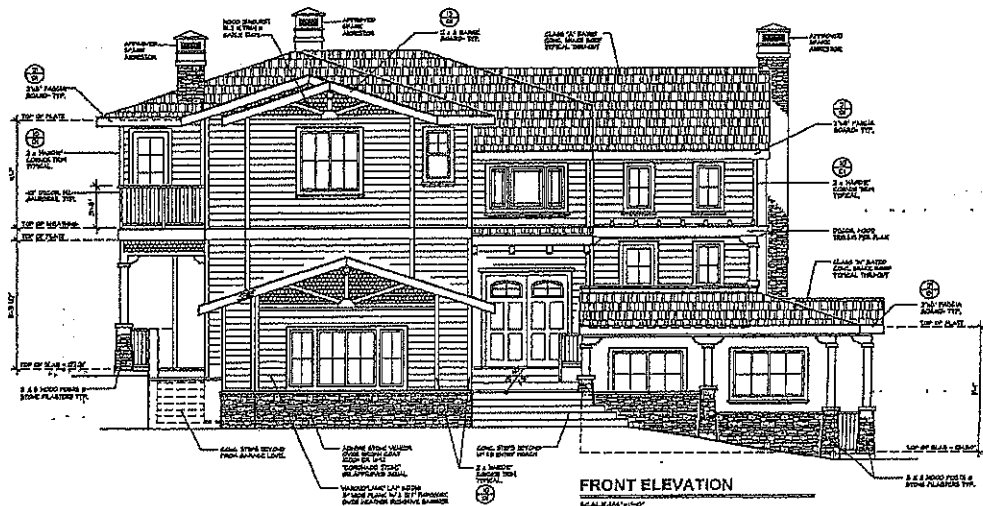
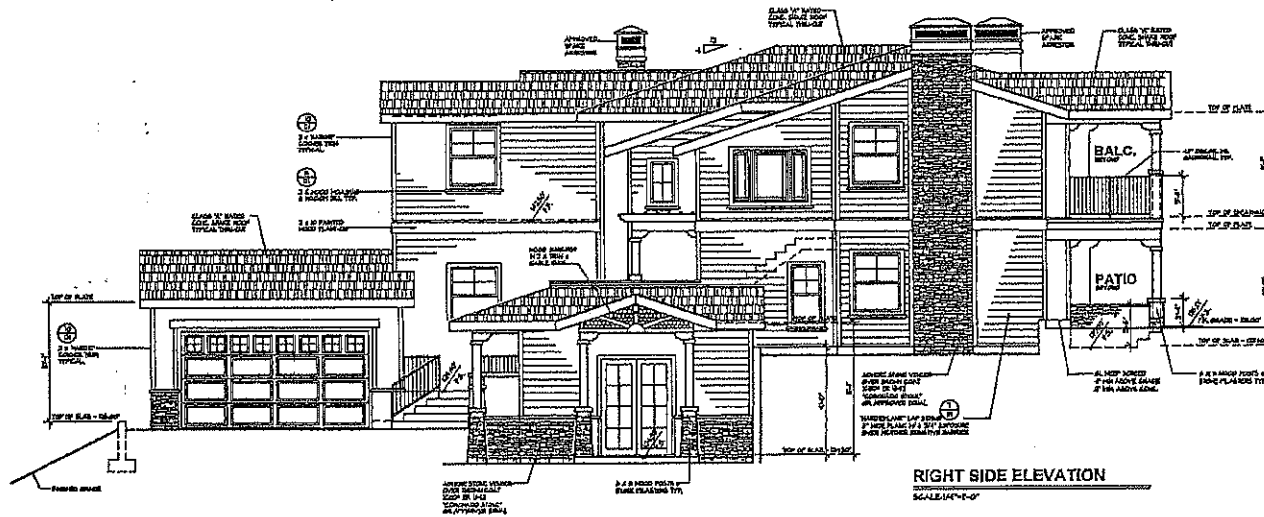
BUILDING SECTION D
SCALE 1/8"=1'-0"



BUILDING SECTION C
SCALE 1/8"=1'-0"

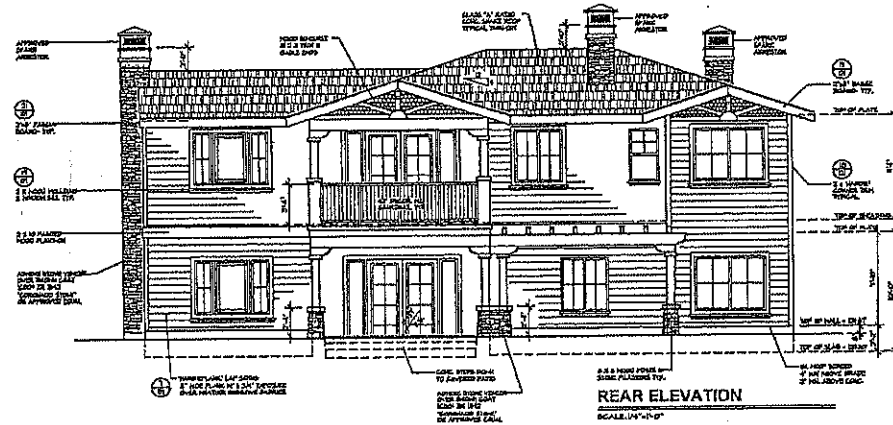
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DRAWN		KEN STOCKTON	
DATE		05/20/09	
SCALE		AS SHOWN	
PROJECT NO.		100-200000	
SHEET NO.		A-6	

NOT FOR CONSTRUCTION

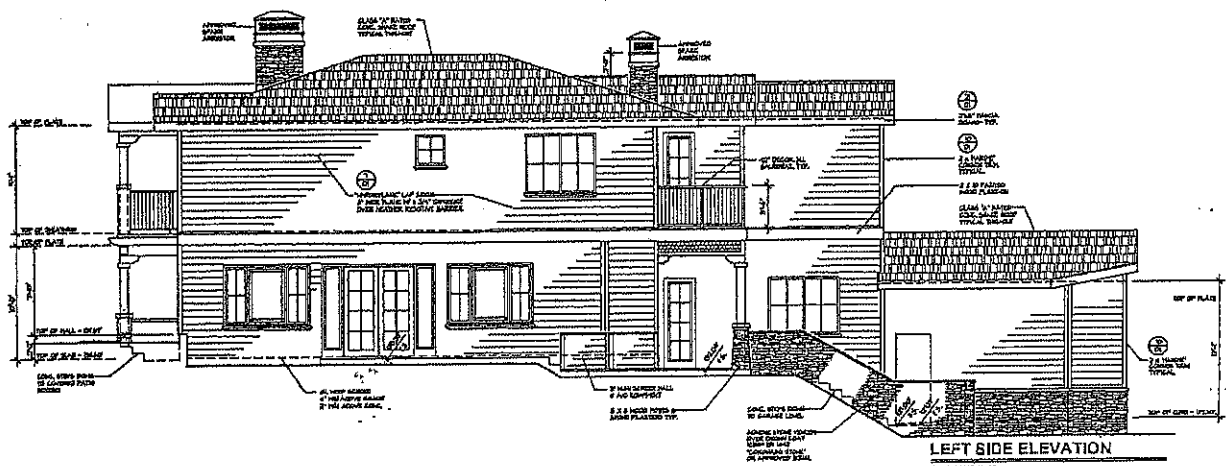


ELEVATION	
PROJECT NAME BEN-MENACHEM CUSTOM RESIDENCE	
PROJECTING	DATE
EXTERIOR ELEVATIONS	REVISIONS
DRAWN	DATE
DATE	DATE
SCALE	SCALE
PROJECTING	DATE
PROJECTING KEN STOCKTON	
ARCHITECT KEN STOCKTON ARCHITECTURE, INC. 1000 W. UNIVERSITY BLVD., SUITE 100 ANN ARBOR, MI 48106-1000	
SHEET NO. A-7	

NOT FOR CONSTRUCTION



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



NOT FOR CONSTRUCTION

PROJECT NAME		BEN-MENACHEM CUSTOM RESIDENCE	
EXTERIOR ELEVATIONS		DATE	1/1/2010
DESIGNED BY	KEN STOCKTON	CHECKED BY	KEN STOCKTON
SCALE	AS SHOWN	DATE	1/1/2010
KEN STOCKTON ARCHITECT		SHEET NO.	
1000 PARDON BOULEVARD SUITE 100, CHALMERS, LA 70002		A-8	

GRADING NOTES

- ALL GRADING SHALL BE RECONFORMED WITH ARTICLE 9 OF THE ANIMAS HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL GRADING MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL EXISTING AND NEW RECONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRADING AND FINISHING OF ALL AREAS TO BE CONSTRUCTED WITH THE EXISTING GRADE OR FINISH GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRADING AND FINISHING OF ALL AREAS TO BE CONSTRUCTED WITH THE EXISTING GRADE OR FINISH GRADE.
- ANY CHANGES TO THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL OBTAIN A PERMITTED CIVIL ENGINEER TO PROVIDE CONSULTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLAN AND A SIGNATURE TO THE FINISHING CONTRACT DOCUMENTS IN ACCORDANCE WITH THE ANIMAS HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT, PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A TOPOGRAPHIC REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL NECESSARY GRADING HAS BEEN COMPLETED FOR THE APPROVED GRADING PLAN.
 - FINAL GRADING REPORT, PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND FINISHING WORK HAS BEEN COMPLETED, AND THAT ALL PLANNING AND REGULATION REQUIREMENTS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLAN AND REGULATIONS OF THE CITY OF ANIMAS HILLS.
 - AN AS-BUILT SOLE REPORT SHALL BE SUBMITTED TO THE CITY ENGINEER. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE INFORMATION OF ANY FOUNDATION IMPROVEMENTS, THE RESULTS OF ALL COMPACTION TESTS, AND AS WELL AS A MAP SHOWING THE LIMITS OF ALL EXISTING, EXPOSED AND PROPOSED FOUNDATIONS, THE LOCATION AND ELEVATION OF ALL EXISTING AND PROPOSED FOUNDATIONS, AND THE LOCATION AND ELEVATION OF ALL EXISTING AND PROPOSED FOUNDATIONS. THE REPORT SHALL BE SUBMITTED TO THE CITY ENGINEER.
- TESTS SHALL BE PERFORMED PRIOR TO FOUNDATION FOOTING AND SHALL BE DETERMINED BY THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 10, FOUNDATION AND SLAB PLANS SHOULD BE DESIGNED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- A COPY OF THE GRADING PLAN AND FINISHING PLAN SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY. THE CITY ENGINEER APPROVES BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON SUNDAYS OR HOLIDAYS.

GEOTECHNICAL NOTES

- TESTS SHALL BE PERFORMED PRIOR TO FOUNDATION FOOTING AND SHALL BE DETERMINED BY THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 10, FOUNDATION AND SLAB PLANS SHOULD BE DESIGNED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
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INSPECTION NOTES

- THE ENGINEER OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS AT THE FOLLOWING STAGES OF WORK:

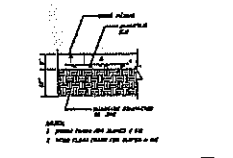


LEGEND AND SYMBOLS

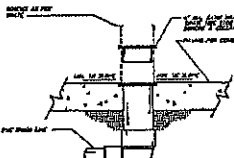
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|----|---------------------|-------|--------------------|
| AC | ROOF OF A.C. PAVING | OR OF | PROPOSED ELEVATION |
| CC | ROOF OF CONCRETE | OR OF | PROPOSED ELEVATION |
| CE | EXISTING ELEVATION | OR OF | PROPOSED ELEVATION |
| CA | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CB | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CC | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CD | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CE | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
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| CG | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CH | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CI | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CJ | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CK | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CL | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CM | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CN | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CO | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CP | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CQ | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CR | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CS | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CT | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CU | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CV | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CW | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CX | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CY | EXISTING FINISH | OR OF | PROPOSED ELEVATION |
| CZ | EXISTING FINISH | OR OF | PROPOSED ELEVATION |

PUBLIC UTILITIES / SERVICES

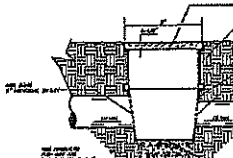
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|-------------|---|
| WATER: | LOS ANGELES MUNICIPAL WATER DISTRICT
4321 LAS VEGAS BLVD
LOS ANGELES, CA 90018
(310) 384-1118 |
| ELECTRICAL: | SOUTHERN CALIFORNIA Edison
5548 CENTRAL DRIVE
THIRDMAR BLVD, CA 91351
(818) 484-7777 |
| TELEPHONE: | AT&T WORLDWIDE COMMUNICATIONS
1500 AVENUE STREET, 91118
VAN NUYS, CA 91410
(818) 377-4333 |
| RAIL: | SOUTHERN CALIFORNIA RAIL
800 SOUTH AVENUE
GLENNVIEW, CA 91118
(818) 771-3724 |
| SEWER: | LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1500 S. FURNACE AVENUE, 91040
PASADENA, CA 91351
(818) 386-2154 |
| CABLE: | ADVENTRA
3120 TULLAH ROAD
POWELL BLVD, CA 91123
(818) 771-4213 |
| RAIL: | RAILROAD COMMUNICATIONS
3000 GRANDVIEW ROAD
VANUYS, CA 91411
(818) 384-2012 |
| CALTRANS: | CALTRANS
8400 PIEDMONT BOULEVARD
PASADENA, CA 91351
(818) 384-1200 |



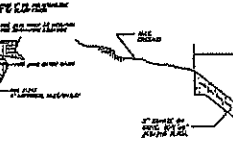
CONC. PAVING DETAIL
NO SCALE



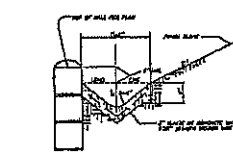
POOL DRAIN
NO SCALE



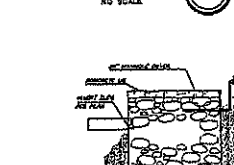
9" X 9" AREA DRAIN
NO SCALE



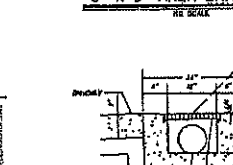
PAVED SWALE
NO SCALE (TYP. OF SWALE)



TOP OF WALL DRAIN
NO SCALE



DRY WELL DETAIL
NO SCALE



12" TRENCH DRAIN
NO SCALE

PROJECT GEOTECHNICAL CONSULTANT

MTC ENGINEERING, INC. TEL: (626) 287-6418 FAX: (626) 287-6444
3024 TEMPLE CITY BLVD., CITY OF TEMPLE CITY, CA 91784
FRIEDLAND BLVD. #277 VANUYS, FRIEDLAND, CALIFORNIA 91411

- SOIL REPORTS:
- 1) PRELIMINARY SOIL AND GEOTECHNICAL REPORT DATED 03-04-04, P. 304-344-04.
 - 2) ADDITIONAL REPORT DATED 10-14-04, P. 344-344-04.
 - 3) ADDITIONAL REPORT DATED 03-04-04, P. 344-344-04.
 - 4) ADDITIONAL REPORT DATED 11-14-04, P. 344-344-04.
 - 5) ADDITIONAL REPORT DATED 04-14-04, P. 344-344-04.

STORMWATER POLLUTION NOTES

1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) TO THE CITY ENGINEER PRIOR TO CONSTRUCTION. THE SWPPP SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER. THE SWPPP SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER. THE SWPPP SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER.
2. A SITE SPECIFIC "WATER QUALITY CONTROL PLAN" (WQCP) SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER. THE WQCP SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER.
3. IF THE PROPERTY OWNER IS UNABLE TO MAINTAIN ALL STORM DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY, CATCH BASIN FILTER DEVICES SHALL BE INSTALLED AT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND ONCE AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

1. APPLICANT SHALL CONTACT CITY TREE CONSULTANT, (MTC) ENGINEER, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES".

ABBREVIATIONS

- | | |
|--------------------------|----------------------------|
| AC - ASPHALT TO CONCRETE | NO - NATURAL GRADING |
| AD - ASPHALT TO ASPHALT | OR - BOTTOM OF FOOTING |
| CB - CATCH BASIN | PL - PROPERTY LINE |
| CC - CONCRETE | PO - POINT OF INTERSECTION |
| CE - EXISTING ELEVATION | PR - PROPOSED FINISH |
| CA - EXISTING FINISH | PS - PROPOSED FINISH |
| CB - EXISTING FINISH | PT - PROPOSED FINISH |
| CC - EXISTING FINISH | PU - PROPOSED FINISH |
| CD - EXISTING FINISH | PV - PROPOSED FINISH |
| CE - EXISTING FINISH | PW - PROPOSED FINISH |
| CF - EXISTING FINISH | PX - PROPOSED FINISH |
| CG - EXISTING FINISH | PY - PROPOSED FINISH |
| CH - EXISTING FINISH | PZ - PROPOSED FINISH |
| CI - EXISTING FINISH | QA - PROPOSED FINISH |
| CJ - EXISTING FINISH | QB - PROPOSED FINISH |
| CK - EXISTING FINISH | QC - PROPOSED FINISH |
| CL - EXISTING FINISH | QD - PROPOSED FINISH |
| CM - EXISTING FINISH | QE - PROPOSED FINISH |
| CN - EXISTING FINISH | QF - PROPOSED FINISH |
| CO - EXISTING FINISH | QG - PROPOSED FINISH |
| CP - EXISTING FINISH | QH - PROPOSED FINISH |
| CQ - EXISTING FINISH | QI - PROPOSED FINISH |
| CR - EXISTING FINISH | QJ - PROPOSED FINISH |
| CS - EXISTING FINISH | QK - PROPOSED FINISH |
| CT - EXISTING FINISH | QL - PROPOSED FINISH |
| CU - EXISTING FINISH | QM - PROPOSED FINISH |
| CV - EXISTING FINISH | QN - PROPOSED FINISH |
| CW - EXISTING FINISH | QO - PROPOSED FINISH |
| CX - EXISTING FINISH | QP - PROPOSED FINISH |
| CY - EXISTING FINISH | QR - PROPOSED FINISH |
| CZ - EXISTING FINISH | QS - PROPOSED FINISH |

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	GENERAL NOTES AND DETAILS
2	GRADING PLAN
3	GRADING DETAILS
4	SWPPP / EROSION CONTROL PLAN
5	STREET IMPROVEMENT NOTES
6	STREET IMPROVEMENT PLAN

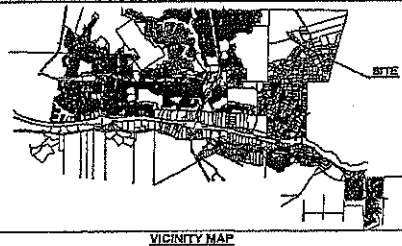
ESTIMATED EARTHWORK QUANTITIES					
ESTIMATED CUT	200	CY	ESTIMATED EXPORTS	0	CY
ESTIMATED FILL	200	CY	ESTIMATED IMPORTS	0	CY
ESTIMATED OVER-EXCAVATION	NONE	CY			

BENCH MARK			
DESCRIPTION	NO. (SEE SHEET NO. 2)	ELEVATION	SURVEY DATE
		100.00'	3/25/03

RECORD DRAWING STATEMENT			
DATE	DATE	DATE	DATE

SOILS APPROVAL			
DATE	DATE	DATE	DATE

OWNER	
NAME	SEAN BEN MENDHAM
ADDRESS	3000 N. PARKWAY CALABASAS, SUITE 108
REPRESENTATIVE	DAVE OVENSON
TELEPHONE	(415) 322-0322
CIVIL ENGINEER	
NAME	DAVE OVENSON
ADDRESS	2160 PARNELL WAY, ALTA DENA
REPRESENTATIVE	IVAN CHU
TELEPHONE	(562) 798-2458
GEOTECHNICAL ENGINEER	
NAME	MTC ENGINEERING, INC.
ADDRESS	3024 TEMPLE CITY BLVD., TEMPLE CITY, CA 91784
REPRESENTATIVE	JETT YANG
TELEPHONE	(626) 287-6418



VICINITY MAP			
DATE	DATE	DATE	DATE

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	BY	DATE	BY	DATE	BY	DATE	BY
1		ADD STREET IMPROVEMENTS PLAN & NOTES	4/27/04	IVAN CHU	5/25/04					
2		ADD GEOTECHNICAL NOTES	4/27/04	JETT YANG	5/25/04					
3		DESCRIPTION OF CHANGE								



GRADING			
PROJECT NO.		SHEET	1 OF 8

CITY OF AGOURA HILLS CIVIL, INC.

BENCHMARK:
 FD. B.M. # 2422 AT THE N.W. CORNER
 OF THE INTERSECTION OF FAIRVIEW PL.
 AND CHESEBRO RD.
 ASSUMED EL. = 100.00'

TOTAL LOT AREA = 49,328 S.F.
 TOTAL BLDG. FOOTPRINT = 3,680 S.F.
 TOTAL GRADED AREA = 14,541 S.F.
 TOTAL DRIVEWAY & PAVING AREA = 5,198 S.F.
 AVG. SLOPE = $1 \text{ FT IN } 13,545 \text{ FT} \times 100 = 27.35\%$
 49,328 S.F.

PERCENT OF GRADED AREA
 $(14,541 \text{ S.F.} \div 3,680 \text{ S.F.}) \times 100 = 18.94\%$
 49,328 S.F.

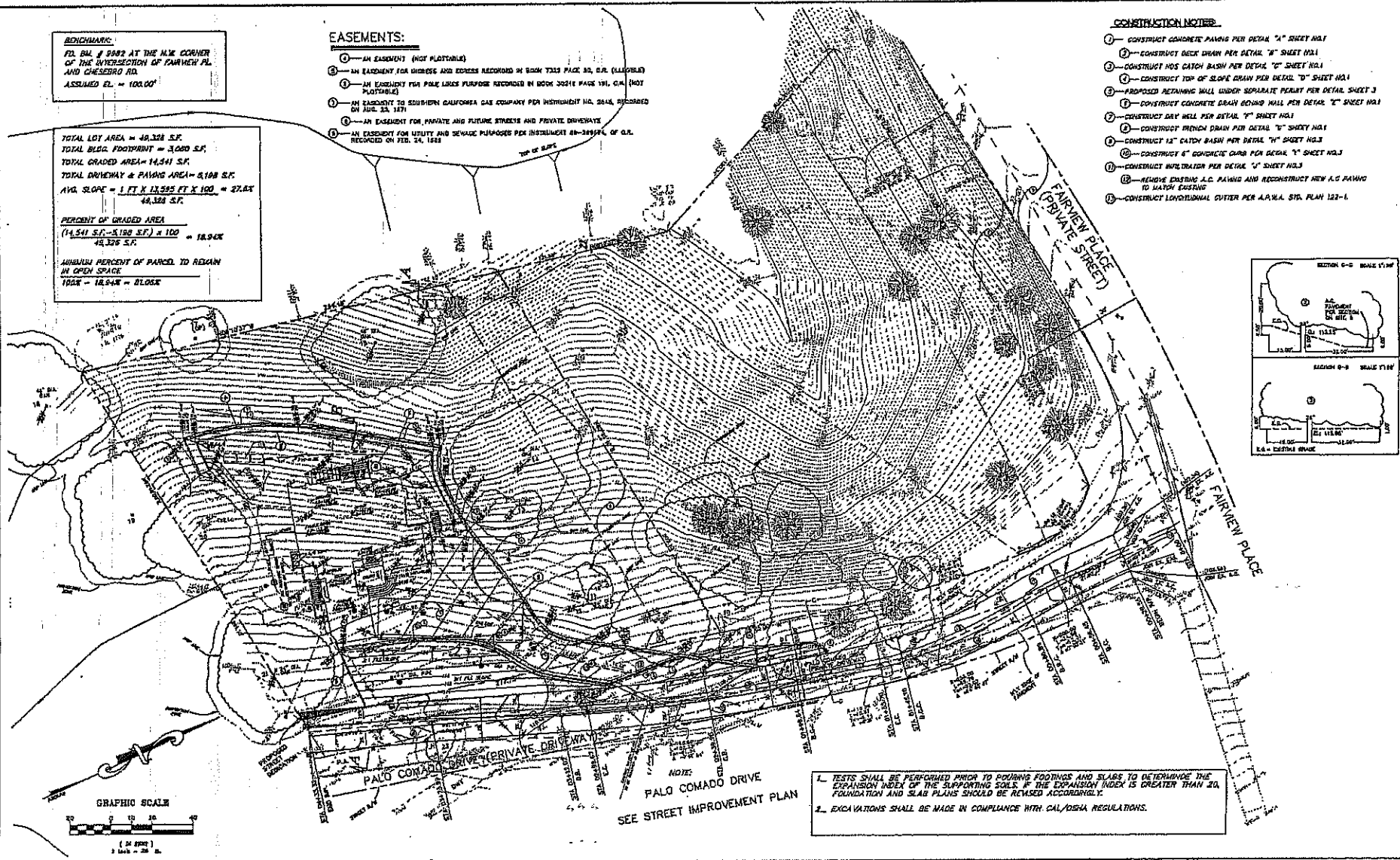
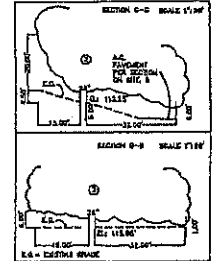
MINIMUM PERCENT OF PARCELS TO REMAIN
 IN OPEN SPACE
 18.94% = 8,000 S.F.

EASEMENTS:

- ① - AN EASEMENT (NOT PLOTTABLE)
- ② - AN EASEMENT FOR DRIBBLE AND EDGES RECORDED IN BOOK 7333 PAGE 30, C.R. (ILLISIBLE)
- ③ - AN EASEMENT FOR POLE LINES PURPOSE RECORDED IN BOOK 30216 PAGE 191, C.R. (NOT PLOTTABLE)
- ④ - AN EASEMENT TO SOUTHERN CALIFORNIA GAS COMPANY PER INSTRUMENT NO. 2548, RECORDED ON AUG. 28, 1971
- ⑤ - AN EASEMENT FOR PRIVATE AND PUBLIC STREETS AND PRIVATE DRIVEWAYS
- ⑥ - AN EASEMENT FOR UTILITY AND SEWAGE PURPOSES PER INSTRUMENT 88-249594, OF C.R. RECORDED ON FEB. 24, 1988

CONSTRUCTION NOTES:

- ① - CONSTRUCT CONCRETE PAVING PER DETAIL "A" SHEET NO.1
- ② - CONSTRUCT DECK DRAIN PER DETAIL "M" SHEET NO.1
- ③ - CONSTRUCT NOS CATCH BASIN PER DETAIL "O" SHEET NO.1
- ④ - CONSTRUCT TOP OF SLOPE DRAIN PER DETAIL "D" SHEET NO.1
- ⑤ - PROPOSED RETAINING WALL UNDER SEPARATE PERMIT PER DETAIL SHEET 3
- ⑥ - CONSTRUCT CONCRETE BRUSH BEHIND WALL PER DETAIL "C" SHEET NO.1
- ⑦ - CONSTRUCT DRY WELL PER DETAIL "Y" SHEET NO.1
- ⑧ - CONSTRUCT FRENCH DRAIN PER DETAIL "U" SHEET NO.1
- ⑨ - CONSTRUCT 12" CATCH BASIN PER DETAIL "H" SHEET NO.3
- ⑩ - CONSTRUCT 6" CONCRETE CURB PER DETAIL "Y" SHEET NO.3
- ⑪ - CONSTRUCT MULTICUTTER PER DETAIL "U" SHEET NO.3
- ⑫ - REMOVE EXISTING A.C. PAVING AND RECONSTRUCT NEW A.C. PAVING TO MATCH EXISTING
- ⑬ - CONSTRUCT LONGITUDINAL CUTTER PER A.A.W.A. STD. PLAN 122-1



NOTE:
 1. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 20, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 2. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.

NOTE:
 PALO COMADO DRIVE
 SEE STREET IMPROVEMENT PLAN

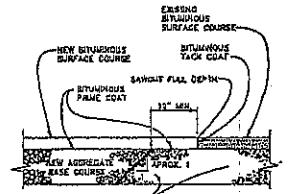
REV		SYMBOL	DESCRIPTION OF CHANGE	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY OF AGOURA HILLS APPROVAL	DATE	REVISIONS	EXTENTS	AGOURA HILLS	PROJECT NO.	SHEET <u>2</u> OF <u>8</u>
PREPARED BY: CALGYIC ENGINEERING GROUP 2855 AVENUE 108, SUITE 100, THERMIDON, CALIF. 92584 TEL: (951) 780-1111 FAX: (951) 780-1112										HANNA ASHVA CITY ENGINEER		CITY OF AGOURA HILLS PROJECT NO.		CITY OF AGOURA HILLS DWG. NO.	

STREET IMPROVEMENT NOTES

1. ALL WORK SHALL CONFORM TO THESE APPROVED PLANS, THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (COMMON "STANDARD") AND THE STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION (SPW).
 2. NO DEVIATION FROM THESE PLANS SHALL BE MADE UNLESS A CHANGE ORDER IS APPROVED BY THE CITY ENGINEER.
 3. ALL CONTRACTORS AND SUBCONTRACTORS WORKING WITHIN CITY LIMITS SHALL POSSESS A VALID BUSINESS REGISTRATION WITH THE CITY OF AGOURA HILLS PRIOR TO COMMENCING WORK.
 4. CONTRACTORS SHALL COMPLY WITH ALL CALIFORNIA SAFETY STANDARDS.
 5. CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS INSPECTOR FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING WORK AND TWENTY-FOUR (24) HOURS IN ADVANCE OF SPECIFIC INSPECTION NEEDS DURING THE COURSE OF THE WORK.
 6. ALL WORK SHALL BE PERFORMED BETWEEN THE HOURS OF 7:00 AM AND 4:00 PM AND IS SUBJECT TO INSPECTION BY THE PUBLIC WORKS DEPARTMENT.
 7. CONTRACTORS SHALL NOTIFY ALL SITE CONDITIONS AND DANGERS AND SHALL REPORT ALL OCCURRENCES TO THE CITY ENGINEER PRIOR TO COMMENCING WORK.
 8. CONTRACTORS SHALL LOCATE, PROTECT AND SAVE ANY AND ALL SURVEY INSTRUMENTS THAT MAY BE ON OR MAY BE DAMAGED OR DESTROYED BY THESE OPERATIONS. ONCE FOUND, THE CONTRACTOR SHALL THEN NOTIFY BOTH THE DEVELOPER'S CIVIL ENGINEER AND THE CITY'S PUBLIC WORKS INSPECTOR. THE SUPERVISOR OF CIVIL ENGINEERING SHALL RESET ALL SAID INSTRUMENTS PER THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT.
 9. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY LINES, COGNATE OR STRUCTURAL DAMAGE OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDRESSING ALL PUBLIC AND PRIVATE PROPERTY DAMAGE AS IT MAY BE ATTRIBUTED BY THESE OPERATIONS. ALL COSTS FOR PREVENTIVE, RESTORATION AND RESTORING EXISTING IMPROVEMENTS SHALL BE BORNE BY THE CONTRACTOR.
 10. EXISTING TRAFFIC SIGNS ARE NOT TO BE REMOVED WITHOUT PRIOR NOTIFICATION AND APPROVAL OF THE CITY ENGINEER. AT A MINIMUM, CONSTRUCTION WARNING TRAFFIC SIGNS AND STOPPING SHALL BE FURNISHED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "WORK AREA TRAFFIC CONTROL HANDBOOK (CALIFORNIA MANUAL) TRAFFIC SIGNS AND STOPPING SHALL BE FURNISHED AT THE DEVELOPER'S EXPENSE.
 11. ALL OBSTACLES SHALL BE TAKEN TO ENSURE THAT JUST CONFORM IS MAINTAINED AT ALL TIMES THROUGH THE DURATION OF THE PROJECT.
 12. ALL UNDERGROUND UTILITIES AND SERVICE LATERALS SHALL BE INSTALLED PRIOR TO DISTRIBUTION OF CURBS, GUTTERS, SIDEWALKS AND PAVING UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER.
 13. "SECOND DRAINAGE" PLANS SHALL BE SUBMITTED PRIOR TO FINAL WALK-THROUGH INSPECTION AND ACCEPTANCE OF THE IMPROVEMENTS BY THE CITY.
 14. ALL TRAFFIC SIGNALS SHALL BE DESIGNED AND CONSTRUCTED PER CITY ENGINEER APPROVAL.
 15. TRAFFIC SIGNALS SHALL BE IN ACCORDANCE WITH CITY AGREEMENTS UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER. "T-CAPPING" SHALL BE APPLIED TO ALL TRAFFIC CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER. REFER TO DETAIL DRAWING FOR TRAFFIC SIGNALS.
 16. FOOTSTEPS, TRAILS AND FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY REQUIREMENTS UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER. FOOTSTEPS, TRAILS OF PUBLIC-MAINTAINED AREAS REQUIRE CONSTRUCTION BY THE CITY OF AGOURA HILLS.
 17. APPLICANT IS RESPONSIBLE FOR PREPARING ALL LEGAL DOCUMENTATION NECESSARY TO LONG-TERM EASEMENTS. EASEMENT TRACES ON PRIVATE PROPERTIES ARE TO BE MAINTAINED AT THE PROPERTY OWNER'S EXPENSE.
 18. AN ENCROACHMENT PERMIT IS REQUIRED OF ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY FROM ALL APPLICABLE FEES MUST BE PAID AND SECURITIES POSTED PRIOR TO COMMENCING WORK. ALL WORK INVOLVING STREET IMPROVEMENTS REQUIRES APPROVAL FROM THE PUBLIC WORKS INSPECTOR. APPLICANTS SHALL ALLOW 48 HOURS ADVANCE NOTICE TO THE DEPARTMENT OF PUBLIC WORKS TO SCHEDULE ALL INSPECTIONS.
 19. CONTRACTOR SHALL TELEPHONE UNDERGROUND SERVICE ALERT (USA) 1-800-433-4133 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
 20. REQUIREMENT FOR STREET STRUCTURAL SECTION TO BE DETERMINED BY THE ENGINEER AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF BASIC MATERIALS.
 21. WATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LAS VEGAS MUNICIPAL WATER DISTRICT WORKS MANUAL.
 22. SEPARATION OF WATER AND WASTEWATER LINES SHALL BE IN ACCORDANCE WITH LAS VEGAS MUNICIPAL WATER DISTRICT.
- PRIOR TO COMMENCING TO WATER AND SEWER MAINS IN THE PUBLIC RIGHT-OF-WAY, APPLICANT SHALL FURNISH DOCUMENTATION FROM LAS VEGAS MUNICIPAL WATER DISTRICT TO THE CITY STATING THAT ALL CONSTRUCTION FEES HAVE BEEN PAID.

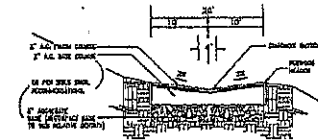
PUBLIC UTILITIES / SERVICES

- WATER: LAS VEGAS MUNICIPAL WATER DISTRICT
4333 LAS VEGAS ROAD
CALLEJAS, CA 91301
(615) 823-4133
- ELECTRICAL: SOUTHERN CALIFORNIA Edison
3087 FORTUNA DRIVE
IRVINGDALE, CA 91364
(615) 481-7018
- TELEPHONE: SBC (PAC BELL)
1808 BARNES STREET #115
VAN NUYS, CA 91410
(415) 373-8669
- SEWER: SOUTHERN CALIFORNIA GAS
8100 SHADLOW AVENUE
CHAPARRAL, CA 91713
(949) 701-3484
- LA COUNTY DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1000 S. FREIGHT AVENUE, RDG 100 EAST
JANUARY, CA 91761
(925) 300-3184
- GRUBB: JOELPINA
2323 TULLER ROAD
HEMPHART PARK, CA 91320
(605) 373-2824
- GRUBB: CHAFFIN COMMUNICATIONS
3006 CHRISTENSEN ROAD
HAYWARD, CA 94525
(415) 426-8910
- CALTRANS: CALTRANS
4800 ACEVEDO BOULEVARD
TARZANA, CA 91356
(818) 308-1468



ASPHALT PAVEMENT JOINT DETAIL

NO SCALE



NOTES:

1. ALL ROAD SURFACE SHALL BE FIVE (5) FEET (5'-00") WIDE OR FIVE (5)-FEET (5'-00") WIDE AND FIVE (5) FEET (5'-00") WIDE.
2. ALL SIDEWALK SURFACE SHALL BE FIVE (5) FEET (5'-00") WIDE.
3. ALL SIDEWALK SURFACE SHALL BE A MINIMUM OF 2" THICK.
4. SIDEWALK SURFACE IS REQUIRED FOR ALL PAVEMENTS SHALL.

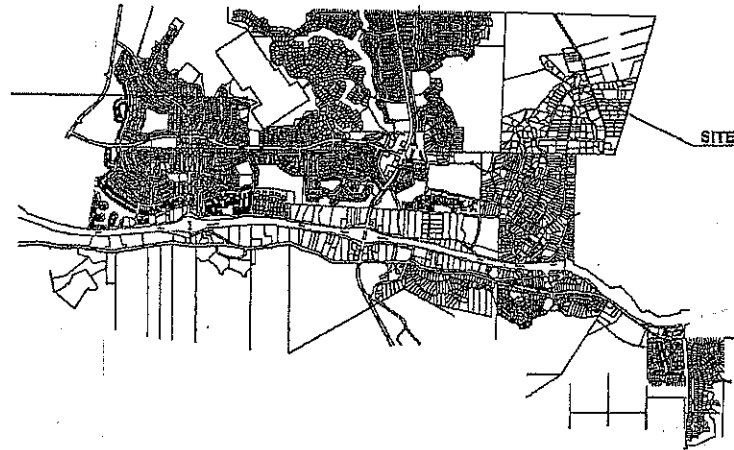
STREET CROSS-SECTION

SCALE 1" = 10'



STORMWATER POLLUTION NOTES

1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS REQUIRED IN THE SWPPP PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A REGISTERED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE BEST MANAGEMENT PRACTICES (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF SOLIDS POLLUTANTS TO OPEN LOCATIONS DURING AND AFTER CONSTRUCTION.
2. A SITE-SPECIFIC "NEIGHBOR AWARENESS CONTROL PLAN" SHALL BE PREPARED IN CONSULTATION WITH THE SWPPP AND SHALL OUTLINE BMP'S TO BE USED DURING CONSTRUCTION IN THE PLANNED SEASON AND IDENTIFY THOSE LOCATIONS RELATED TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 1ST.
3. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. GULCH BUSH TRIP NETS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER.



VICINITY MAP

NO SCALE

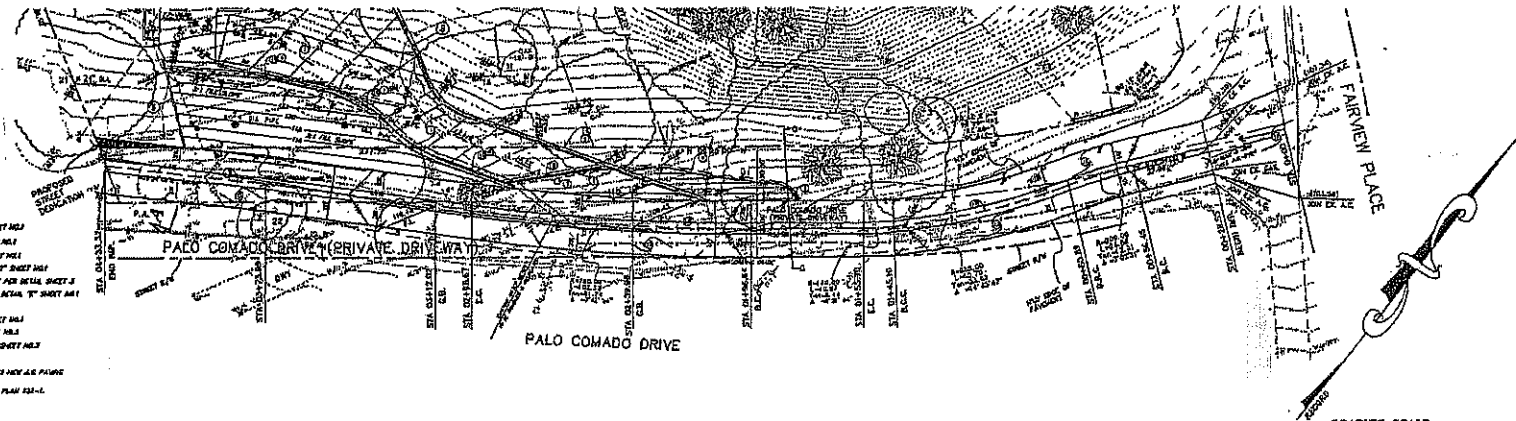
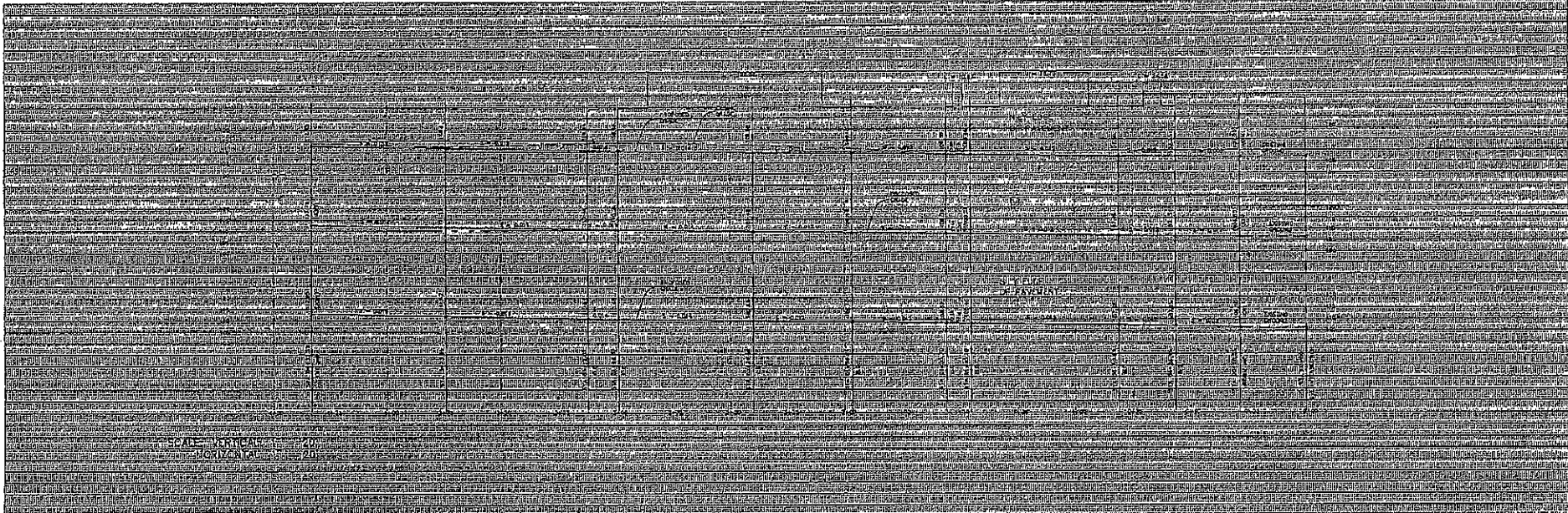
					CITY OF AGOURA HILLS APPROVAL				
REV	SYMBOL	DESCRIPTION OF CHANGES	AGE	DATE	DESIGNED BY	DATE	REVIEWED BY	DATE	SAVURO AGUIA CITY ENGINEER



STREET IMPROVEMENTS NOTES

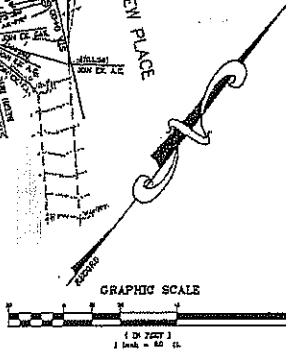
PROJECT NO. _____ SHEET 5 OF 6

CITY OF AGOURA HILLS DIV. NO.



CONTINUATION NOTES

- ①—CONCRETE FLOORING FINISH FOR DETAIL "A" SHEET 101
- ②—CONCRETE SIDE DRAIN FOR DETAIL "B" SHEET 101
- ③—CONCRETE AND CURB BENCH FOR DETAIL "C" SHEET 101
- ④—CONCRETE TOP OF BLDG DRAIN FOR DETAIL "D" SHEET 101
- ⑤—PROPOSED RETAINING WALL UNDER SEPARATE PERMIT FOR DETAIL "E" SHEET 101
- ⑥—CONCRETE SIDEWALK FINISH FOR DETAIL "F" SHEET 101
- ⑦—CONCRETE SIDE WALK FOR DETAIL "G" SHEET 101
- ⑧—CONCRETE BENCH BENCH FOR DETAIL "H" SHEET 101
- ⑨—CONCRETE 12" CONCRETE CURB FOR DETAIL "I" SHEET 101
- ⑩—CONCRETE 12" CONCRETE CURB FOR DETAIL "J" SHEET 101
- ⑪—CONCRETE 12" CONCRETE CURB FOR DETAIL "K" SHEET 101
- ⑫—CONCRETE 12" CONCRETE CURB FOR DETAIL "L" SHEET 101
- ⑬—CONCRETE 12" CONCRETE CURB FOR DETAIL "M" SHEET 101
- ⑭—CONCRETE 12" CONCRETE CURB FOR DETAIL "N" SHEET 101
- ⑮—CONCRETE 12" CONCRETE CURB FOR DETAIL "O" SHEET 101
- ⑯—CONCRETE 12" CONCRETE CURB FOR DETAIL "P" SHEET 101
- ⑰—CONCRETE 12" CONCRETE CURB FOR DETAIL "Q" SHEET 101
- ⑱—CONCRETE 12" CONCRETE CURB FOR DETAIL "R" SHEET 101
- ⑲—CONCRETE 12" CONCRETE CURB FOR DETAIL "S" SHEET 101
- ⑳—CONCRETE 12" CONCRETE CURB FOR DETAIL "T" SHEET 101
- ㉑—CONCRETE 12" CONCRETE CURB FOR DETAIL "U" SHEET 101
- ㉒—CONCRETE 12" CONCRETE CURB FOR DETAIL "V" SHEET 101
- ㉓—CONCRETE 12" CONCRETE CURB FOR DETAIL "W" SHEET 101
- ㉔—CONCRETE 12" CONCRETE CURB FOR DETAIL "X" SHEET 101
- ㉕—CONCRETE 12" CONCRETE CURB FOR DETAIL "Y" SHEET 101
- ㉖—CONCRETE 12" CONCRETE CURB FOR DETAIL "Z" SHEET 101



		PREPARED BY		CITY OF AGOURA HILLS APPROVAL		 PALO COMADO DRIVE (PRIVATE DRIVEWAY)		PROJECT NO. _____ SHEET <u>8</u> OF <u>8</u>	
		PROJ. NO.	DATE	REVIEWED BY	DATE				
REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	DATE	DATE	DATE	DATE	DATE	DATE



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016, AMENDMENT
OAK TREE PERMIT - CASE NO. 03-OTP-017 AMENDMENT**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT F

March 20, 2008 Planning Commission Meeting

- Minutes
- Staff Report
- Project Plans



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

**MINUTES OF THE REGULAR SCHEDULED MEETING OF
THE PLANNING COMMISSION
March 20, 2008**

CALL TO ORDER:

Chair O'Meara called the meeting to order at 6:31 p.m.

FLAG SALUTE

Commissioner Nouzille

ROLL CALL:

Chair John O'Meara, Vice Chair Curtis Zacuto, Commissioners Illece Buckley Weber, Cyrena Nouzille and Steve Rishoff.

Also present were Assistant Community Development Director Doug Hooper, Associate Planner Valerie Darbouze, Planning Technician Britteny Tang, Assistant Engineer Kelly Fisher, and Oak Tree and Landscape Consultant Kay Greeley.

APPROVAL OF MINUTES:

March 6, 2008 Planning Commission Meeting

On a motion by Vice Chair Zacuto, seconded by Commissioner Nouzille, the Planning Commission moved to approve the Minutes of the March 6, 2008 Planning Commission Meeting. Motion carried 4-0-1. Commissioner Buckley Weber abstained.

COMMENTS FROM THE PUBLIC ON ITEMS NOT LISTED ON THE AGENDA:

None

**NEW PUBLIC HEARING ITEM NO. 3 WAS MOVED TO THE FIRST ITEM ON
AGENDA**

NEW PUBLIC HEARINGS

**COMMISSIONER RISHOFF RECUSED HIMSELF FROM ITEM 2 ON THE AGENDA
DUE TO HIS RESIDENCE BEING LESS THAN 500 FEET FROM THE PROJECT.**

2. REQUEST: Request approval of a Site Plan/Architectural Review to construct a 1,399 square foot single-story addition with a 500 square foot patio cover to an existing 916 square foot, single-story residence, and to convert and 806 square foot detached accessory structure to a garage; a request for an Oak Tree Permit to remove one (1) oak tree and encroach within the protected zone of one (1) oak tree for the proposed construction; and a request for a Variance from the Zoning Ordinance Section 9233.2.B to construct the room addition 7.75 feet from the south side property line, instead of at least 12 feet from the side property line.
- APPLICANTS: Mike and Darin Millett
5446 Fairview Place
Agoura Hills, Ca 91301
- CASE NOS.: 06-SPR-011; 06-OTP-031; and 08-VAR-001
- LOCATION: 5446 Fairview Place
(A.P.N. 2055-014-018)
- ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA per Section 15303.
- RECOMMENDATION: Staff recommended approval of Site Plan/Architectural Review Case No. 06-SPR-011, Oak Tree Permit Case No. 06-OTP-031, and Variance Case No. 08-VAR-001, subject to conditions, based on the findings of the draft Resolutions.
- PUBLIC COMMENTS: Chair O'Meara opened the public hearing.

The following persons spoke in favor of the project.

Michael Silva, Architect representing the applicant.

Darin Millett, Applicant

Robyn Britton, Old Agoura Home Owners Association

REBUTTAL:

Applicant chose not to give rebuttal

Chair O'Meara closed the hearing.

ACTION:

On a motion by Commissioner Buckley Weber, seconded by Vice Chair Zacuto, the Planning Commission moved to adopt Resolution No. 929, approving Variance Case No. 08-VAR-001. Motion carried 4-0-1. Commissioner Rishoff recused.

On a motion by Commissioner Buckley Weber, seconded by Vice Chair Zacuto, the Planning Commission moved to adopt Resolution No. 930, approving Site Plan/Architectural Review Case No. 06-SPR-011, Oak Tree Permit Case No. 06-OTP-031, subject to amended conditions. Motion carried 4-0-1. Commissioner Rishoff recused.

3. REQUEST:

Request for approval of a Conditional Use Permit to construct a 4,880 square foot, two-story, single-family residence a 463 square foot attached two-car garage, a 100 square-foot patio cover and a 125 square-foot balcony/deck; and a request for an Oak Tree Permit to remove one (1) oak tree and encroach in the protected zone of nine (9) oak trees for the proposed construction.

APPLICANT:

Sean Ben-Menahem
5000 N. Parkway Calabasas, Suite 106
Calabasas, CA 91302

CASE NOS.:

03-CUP-016 & 03-OTP-017

LOCATION:

6149 Palo Comado Drive
(A.P.N. 2055-023-073)

ENVIRONMENTAL
DETERMINATION:

Categorically Exempt from CEQA per Section 15303.

RECOMMENDATION:

Staff recommended approval of Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, subject to conditions, based on the findings of the attached draft Resolution.

PUBLIC COMMENTS:

Chair O'Meara opened the Public Hearing

The following person spoke on this agenda item.

Sean Ben-Menahem, Applicant

The following persons spoke in opposition of the project.

Mike Kaye, Resident

Kevin Austin, Resident

Mark Dixon, Resident

Robyn Britton, Old Agoura Homeowners Association

The following person spoke neither for nor against the project

Robert Michitsch – Resident

RECESS:

Chair O'Meara called for a recess at 8:30 p.m.

RECONVENE:

Chair O'Meara reconvened the meeting at 8:44 p.m.

REBUTTAL:

Sean Ben-Menahem, Applicant gave rebuttal regarding the project and answered additional questions of the Planning Commission.

Chair O'Meara closed the hearing.

ACTION: On a motion by Vice Chair Zacuto, seconded by Commissioner Buckley Weber, the Planning Commission moved to continue Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017 to the June 19, 2008 Planning Commission meeting. Motioned carried 5-0.

ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDA
(Planning Commission and Staff)

Commissioner Nouzille announced she would be absent at the April 3, 2008 Planning Commission meeting.

ADJOURNMENT

At 10:10 p.m., on a motion by Vice Chair Zacuto, seconded by Commissioner Nouzille; the Planning Commission adjourned the meeting to the next scheduled Planning Commission meeting on Thursday April 3, 2008, at 6:30 p.m.



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

ACTION DATE: March 20, 2008

TO: Planning Commission

APPLICANT: Sean Ben-Menahem
5000 N. Parkway Calabasas, Suite 106
Calabasas, CA 91302

CASE NOS.: 03-CUP-016 & 03-OTP-017

LOCATION: 6149 Palo Comado Drive
(A.P.N. 2055-023-073)

REQUEST: Request for approval of a Conditional Use Permit to construct a 4,880 square foot, two-story, single-family residence, a 463 square foot attached two-car garage, a 100 square-foot patio cover and a 125 square-foot balcony/deck; and a request for an Oak Tree Permit to remove 1 oak tree and encroach in the protected zone of 9 oak trees for the proposed construction.

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA per Section 15303 (New Construction of a Single-Family Residence)

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017 subject to conditions, based on the findings of the attached Draft Resolution.

ZONING DESIGNATION: RV-OA - (Residential Very Low Density - Old Agoura Design Overlay District)

GENERAL PLAN DESIGNATION: RV - Residential Very Low Density

I. PROJECT DESCRIPTION AND BACKGROUND

The applicant, Ken Stockton for Sean Ben Menahem, is proposing to construct a 4,880 square-foot, two-story, single-family residence with a 463 square-foot, two-car garage, a 100 square-foot patio cover and a 125 square-foot balcony/deck. The 1.13-acre vacant lot is located on the west side of Palo Comado Drive, one lot south of Fairview Place at 6149 Palo Comado Drive. The applicant is also requesting approval of an Oak Tree Permit to remove 1 oak tree and encroach in the protected zone of 9 others for the construction. The lot is zoned RV-OA (Residential Very Low Density-Old Agoura Design Overlay) zone and is adjacent to developed lots to the rear and east and a vacant residentially zoned lot to the north.

New single-family homes are subject to review by the Planning Commission. Since the average topographic slope of the property exceeds 10%, it is considered a hillside lot and, therefore, development proposals must be reviewed with a Conditional Use Permit application. The proposed single-family residence is a permitted use in the RV zone. The maximum allowable building lot coverage in the RV zone is 25%. The total proposed lot coverage of the residence (footprint and garage) is 6% of the lot size. When adding the square footage of the pool and miscellaneous hardscape features that are anticipated by the applicant, the proposed lot coverage increases to approximately 25%. As designed, the project meets the development requirements relative to lot coverage, minimum yard setbacks and building height. The following is a summary of the proposed development relative to the Zoning Ordinance requirements.

Pertinent Data for the Proposal

	Existing	Proposed	Required
A. Lot Size	49,281 sq.ft.	49,281 sq.ft.	43,560 sq.ft.
	(1.13 acres)	(1.13 acres)	(1 acre)
Width	190 ft.	N/A	N/A
Depth	210 ft.	N/A	N/A
B. Building Setbacks from Property Lines			
1. <u>Residence Setbacks</u>			
Front (Driveway Easement)	N/A	33 feet	25 feet min.
Rear (West Side)	N/A	75 feet	25 feet min.
Side (North Side)	N/A	90 feet	12 feet min.
Side (South Side)	N/A	33 feet	12 feet min.
2. <u>Future Pool</u>			
Front (East)	N/A	N/A	N/A
Rear (West)	N/A	50 ft.	5 ft.
Side (North)	N/A	130 ft.	5 ft.
Side (South)	N/A	35 ft.	5 ft.

	Existing	Proposed	Required
C. Building Sizes			
Residence			
1 st Floor	N/A	2,690 sq.ft.	N/A
2 nd Floor	<u>N/A</u>	<u>2,190 sq.ft.</u>	<u>N/A</u>
Total:	N/A	4,880 sqft.	N/A
Garage	N/A	463 sq.ft.	N/A
Balcony	N/A	125 sq.ft.	N/A
Patio Cover	<u>N/A</u>	<u>100 sq.ft.</u>	<u>N/A</u>
Total:	N/A	5,568 sqft.	N/A
D. Building Height			
	N/A	33 ft.	35 ft. max.
E. Lot Coverage			
Bldg. Footprint	N/A	6%	25%
Bldg. Footprint+ Hardscape*	N/A	25%	25%
F. Undisturbed Open Space**			
	N/A	52%	77.5%
F. Oak Trees Considered for Review			
	11 on-site	same	N/A
	11 off-site	10	N/A

* Hardscape includes future pool and driveway

** The difference between lot coverage and undisturbed open space is unused but disturbed areas.

II. STAFF ANALYSIS

A. Site Plan

The proposed residence is to be built in the center of the parcel. The closest structure is located 77 feet from the south property line on the adjacent southerly lot. Another structure is located 110 feet from the northeast corner of the parcel, across the access driveway. The proposed residence will exceed the minimum required front yard setback by 8 feet (33 feet proposed versus 25 feet required), the rear yard setback by 50 feet (75 feet proposed versus 25 feet required) and the side yard setback on the south side yard setback requirements by 8 feet (33 feet proposed versus 12 feet required) and on the north side by 78 feet (90 feet proposed versus 12 feet required). A future pool is also being considered by the applicant. The all inclusive anticipated development, as shown on the Site Plan would meet the maximum allowable lot coverage for the zone.

The lots on the east side of the access easement generally are steeper and overlook the lots along the west side. The Grading Plan indicates that a proposed flat pad that is to be cut into the hillside and a 2:1 manufactured slope would be created using the support of retaining walls. The pad would be 14 feet above the access driveway. A two-retaining

wall system, each 6 feet in height, is proposed in the rear yard with stair case leading from the house pad to the top of the hill. Two additional retaining walls, 6 to 2.5 feet high, would also be required as part of the construction of the house and the 140-foot long on-site driveway. The design of the driveway was a result of the Fire District requirement to have a turn-around area on-site, the maximum allowable 17% slope of the driveway and the desire to minimize encroachment on oak trees in the vicinity of the project.

The house was designed with one and two-story elements. The garage is a 15-foot high single-story element located in the front of the house. The finished floor elevation of the garage is 6 feet lower than the finished floor elevation of the living areas. The garage is used strictly for the storage of two vehicles and is therefore not counted as a story but it is included when calculating the maximum height of the structure. The roof peak does not exceed 33 feet. The average height is 27 feet. A 6-foot high retaining wall along the northern property line would partially screen the northern elevation as seen from the lots at the corner of the access driveway.

The Hillside Ordinance open space standards are at the discretion of the Planning Commission. The square footage of the open space that should remain undisturbed is a function of the steepness of the lot. In this case, the lot has an average slope of 27.6%, and the Hillside Ordinance calls for 77% of the lot to remain undeveloped in order to effectively preserve the natural topography and biological resources. The project is preserving 52% of the open space. The findings in favor of the proposal are based on the fact that the lot was lawfully created prior to the adoption of the requirement, the change in ownership is not a result of the parcel no longer being considered part of a larger parcel, that the septic system will not be installed on a parcel less than one acre and that a Conditional Use Permit can permit the use and specify the minimum percent of required open space on the parcel. Staff believes that the findings can be made and that with conditions the on-site resources, specifically the oak trees, would be protected. The on-site oak trees are located at the perimeter of the parcel. The project will require the use of retaining walls that partially encroach in the protected zone of the trees and in some cases under the canopy for the purpose of protecting life and property and providing access. The City Oak Tree Consultant has worked very closely with the applicant in order to reduce the amount of encroachment into 9 trees and is able to recommend approval of the Oak Tree Permit.

The applicant is unable to provide an area that would be suitable for horses with the proposed design. The topography combined with the number oak trees all around the parcel preclude the applicant from further grading the hillside for either a pad or access to the pad. Although the General Plan specifies the needs for maintaining sufficient space on a parcel to accommodate horse keeping, some of the remaining undeveloped lots, such as the subject property, seem to have more challenges in complying with this policy. The Planning Commission has discretion to evaluate whether the proposed development precludes such an area or whether it is not feasible to accommodate horses or other farm animals based on the minimum setback requirements and impacts to the natural resource.

In an effort to evaluate the compatibility of the proposed size of the home with the neighboring structures approved and built, a survey of 87 developed lots in the neighborhood was conducted. The results revealed an average size for the living areas of all 87 homes to be 3,241 square feet. The average lot size was found to be 49,675 square feet (1.14 acres). Most recent approvals of single-family residences in the Old Agoura area include a 5,623 square-foot house on a 43,996 square-foot lot on Fairview Drive, east of the project and a 5,694 square-foot house on a 45,227 square-foot lot on Colodny Drive. The total proposed size of the home will be 5,536 square feet (plus a 751 square-foot garage) on a 40,281 square-foot lot minus the driveway. Although, the proposed floor area ratio is higher than the neighborhood average, the proposed lot coverage meet the maximum lot coverage established for the zone.

B. Architectural Review:

The entry of the two-story residence is enclosed with a privacy wall clad with a veneer stone. This 200 square-foot courtyard, open to the sky, links the elevation of the driveway, the garage and the living areas and provides access between the garage and the house. The applicant proposes a Mediterranean style of architecture including Mediterranean tiles, smooth plaster finish, exposed rafter tails, a balcony for the master bedroom facing the hillside and a round tower element. The Architectural Review Panel (ARP) found the proposed design of the residence to be true to the selected architectural style and one that could be added to the eclectic inventory found in the Old Agoura neighborhood. The applicant incorporated the few comments that the ARP's provided staff with. Multiple roof lines reflect the various living areas of the house. The entry to the garage originally faced east but grading changes required that the garage be relocated and reoriented to face north. The residence will not be visible from Fairview Drive where most of the circulation occurs. A letter from the Old Agoura Homeowners Association regarding the project is attached.

C. Oak Tree/Landscape Review:

Based on the scope of the work, the City Oak Tree/Landscape Consultant would be in support of removing Oak Tree Number 22 (8" diameter) if necessary to allow for widening and paving of Palo Comado Drive. This tree is located on the property located to the east of the applicant's property at 6149 Palo Comado Drive. It would be the applicant's responsibility to obtain permission for their removal from the adjacent property owner. Furthermore, the applicant would be permitted to encroach within the protected zone of Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, and 21 to complete the approved grading program and to install the paving and retaining walls shown on the approved grading plan. The applicant would also be permitted to prune Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, and 21 as needed for vertical clearance over the Palo Comado Drive, the driveway and in areas where grading is otherwise approved. Oak Tree Numbers 3, 4, 5, 6, 7, 8, 9, 11, 16, 17, 18, and 20 shall be preserved in place with no direct impacts.

The applicant has worked with the Fuel Modification Department of the Los Angeles County Fire District to incorporate an adequate landscaping and not further impact on

and off-site oak trees. The applicant has also reduced the rear slope to a 2:1 gradient for his proposed landscape improvements.

D. Engineering/Public Works Review:

The Grading Plan has been reviewed by the Engineering Department. The rectangular lot also includes a 365-foot long private driveway providing access from the project north boundary to Fairview Drive which is owned by the applicant. The topography of the lot slopes ascends from east to west. The applicant's civil engineer proposes 2,479 cubic yards of cut and 1,162 cubic yards of fill with 867 cubic yard of export. The grading is necessary to cut a tri-level pad above the access road. The main floor is proposed to be at an elevation of 132 feet and the garage and gym at an elevation of 125 feet whereas the lowest and highest elevation points of the parcel are 110 and 173 feet.

With regard to street improvements, the Engineering Department will require that the applicant improve Palo Comado Drive along the entire property frontage to Fairview Place to provide for a minimum of 20-foot paved width, and 3-foot inverted shoulder or asphalt curb to ensure that the runoff is maintained within the roadway.

A septic system will serve the proposed residence and will be located on the south and east sides of the lot and will not conflict with the proposed structures. Staff has received a conceptual approval from the Los Angeles County Health Services Department of the proposed system.

E. Environmental Review:

Based upon review of this project by the City Environmental Analyst, no significant environmental impacts have been identified for construction of the project. The project has been determined to be Categorically Exempt from the California Environmental Quality Act per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence. A copy of the notice of exemption regarding the project is attached.

In conclusion, staff finds that the proposed project meets the development standards established by the Residential Single-Family Density zone and the Old Agoura Design Overlay zone and the project is designed and sited to be compatible with the neighborhood. Geotechnical and geological studies were completed to analyze the feasibility and impacts of the project. The proposed house size and articulation is in proportion with the lot size and the proposed style adds to the variety of architectural styles found in Old Agoura. The use of natural materials of that particular style is in keeping with the semi-rural character of the neighborhood.

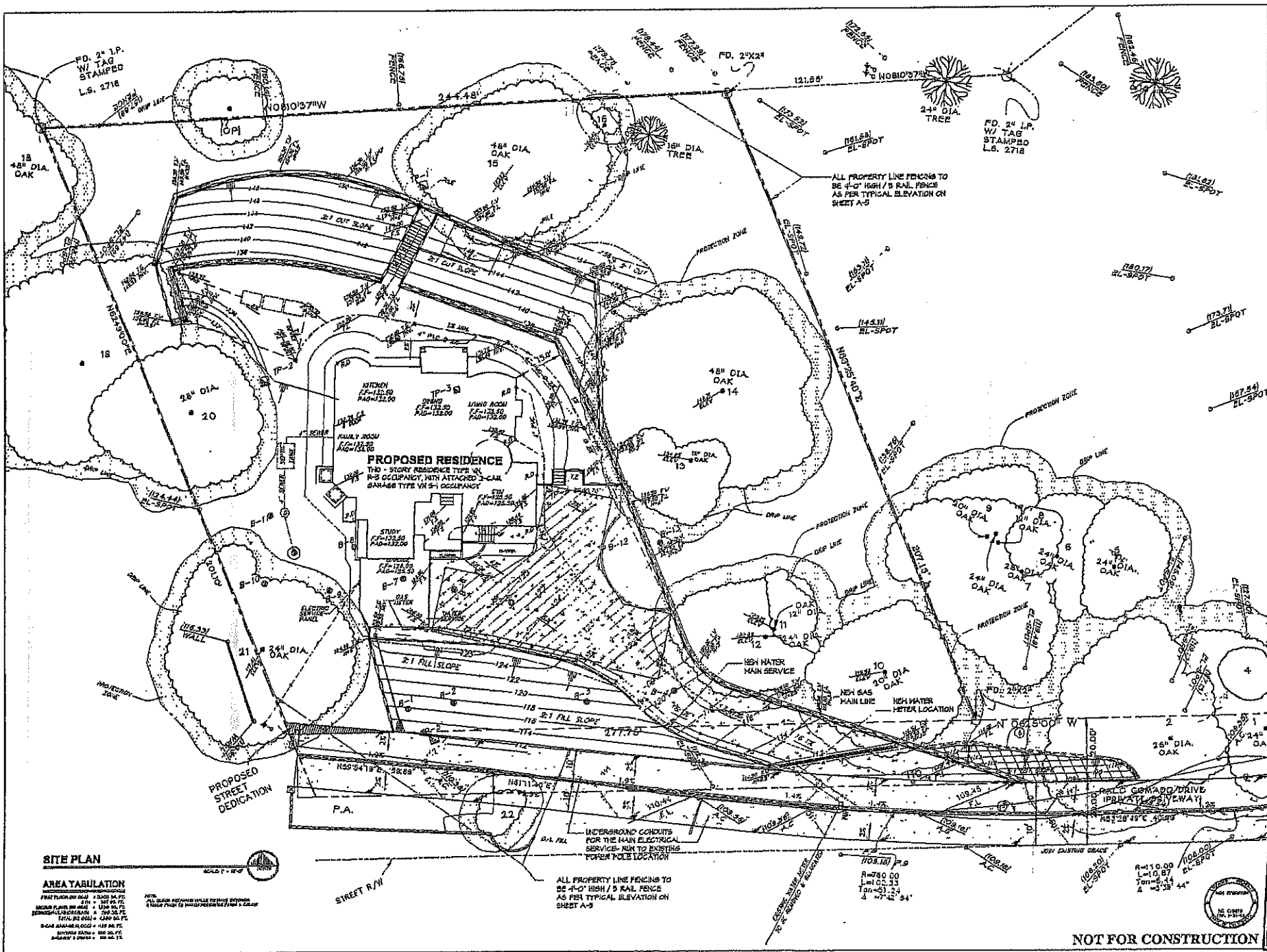
III. RECOMMENDATION

Based on the above analysis, staff recommends that the Planning Commission adopt the attached Draft Resolution approving Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, subject to the conditions.

IV. ATTACHMENTS

- Draft Resolution and Conditions of Approval
- Exhibit A: Letter from the Old Agoura Homeowners Association
- Exhibit B: Vicinity/Zoning Map
- Exhibit C: Square Footage Analysis Map
- Exhibit D: Reduced Copies of the Proposed Project Architectural Plans
- Exhibit E: City's Oak Tree/Landscape and Geological/Geotechnical Consultant Comments
- Exhibit F: Environmental Categorical Exemption
- Exhibit G: Photographs of the Property and Color and Material Board

Case Planner: Valerie Darbouze, Associate Planner



SITE PLAN

AREA TABULATION

NET AREA: 1.50 AC. (104,000 SQ. FT.)
 GROSS AREA: 1.50 AC. (104,000 SQ. FT.)
 TOTAL AREA: 1.50 AC. (104,000 SQ. FT.)

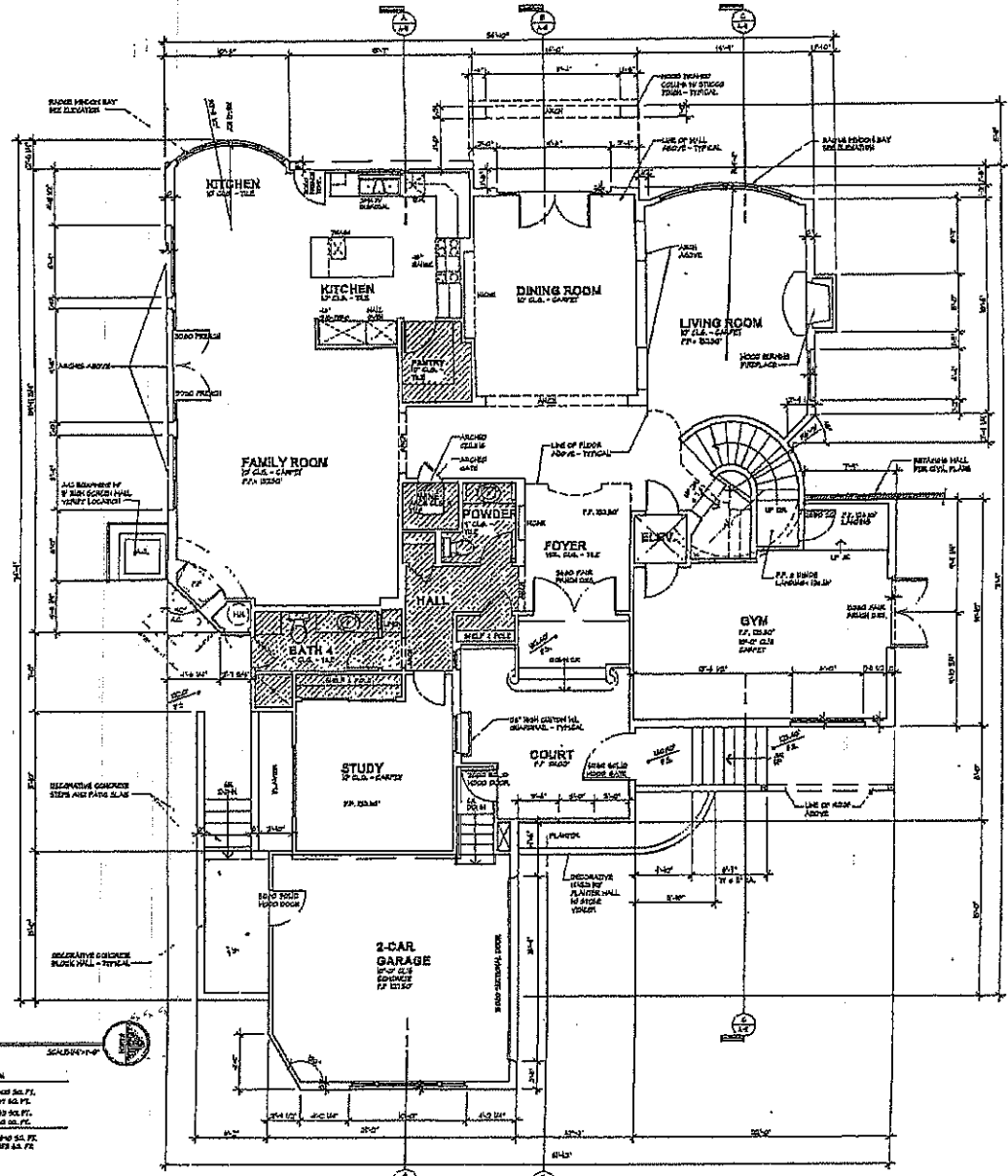
DATE: 10/15/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]

ALL PROPERTY LINE FENCING TO BE 4'-0" HIGH / 5 RAIL FENCE AS PER TYPICAL ELEVATION ON SHEET A-5

NOT FOR CONSTRUCTION

PROJECT NAME		LAMBURG RESIDENCE	
OWNER		CUSTOM RESIDENCE	
SITING		PALO GRANDO, OLD AGORA	
DATE		10/15/10	
SCALE		AS SHOWN	
DRAWN BY		[Name]	
CHECKED BY		[Name]	
DATE		10/15/10	
PROJECT NO.		[Number]	
SHEET NO.		A-1	

KEN STOCKTON
 ARCHITECT
 1000 N. GARDEN ST., SUITE 100
 PALO ALTO, CA 94304
 TEL: 650.941.1000
 FAX: 650.941.1001
 WWW.KENSTOCKTON.COM



FIRST FLOOR PLAN

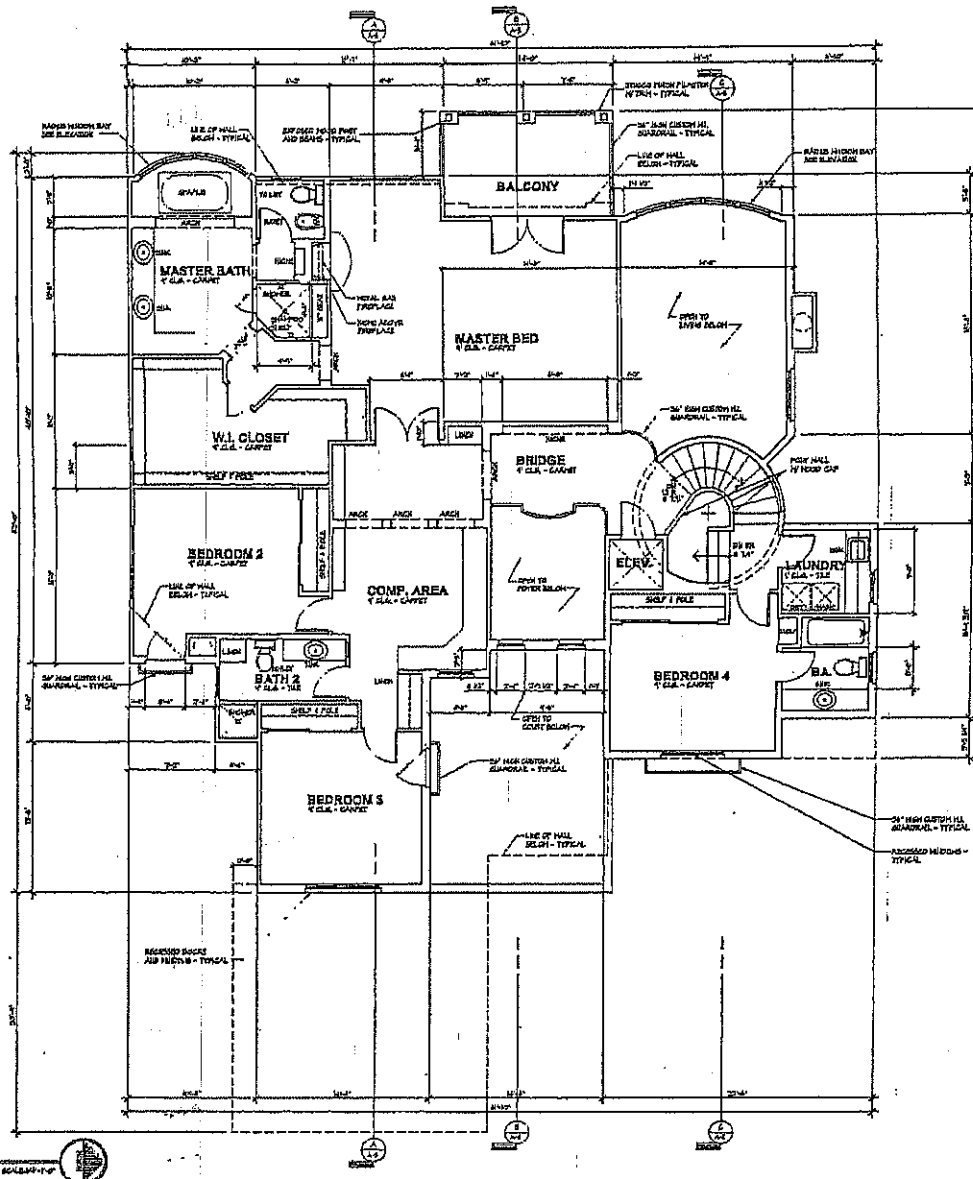
2440 02/72

SCALE 1/8" = 1'-0"

FLOOR FINISHES	
FINE FLOOR FINISH	3/4" SOL. FL.
CONCRETE	3/4" SOL. FL.
2-CAR GARAGE FINISH	4" SOL. FL.
CONCRETE FLOOR	3/4" SOL. FL.
TOTAL AREA FINISH - FIRST FLOOR - 3,373 SQ. FT.	

PROJECT NAME		LEVELS	
IAMBURG RESIDENCE		LEVEL 1	
CUSTOM RESIDENCE		LEVEL 2	
PALO COMARDO, OLD ASSORA		LEVEL 3	
PROJECT NO.		DATE	
2440 02/72		02/72	
DRAWN BY		CHECKED BY	
K. STOCKTON		C. BROWN	
ARCHITECT		PLANNER	
KEN STOCKTON ARCHITECT		C. BROWN ARCHITECT	
2440 02/72		02/72	
SHEET NO.		SHEET NO.	
A-2		A-2	

NOT FOR CONSTRUCTION



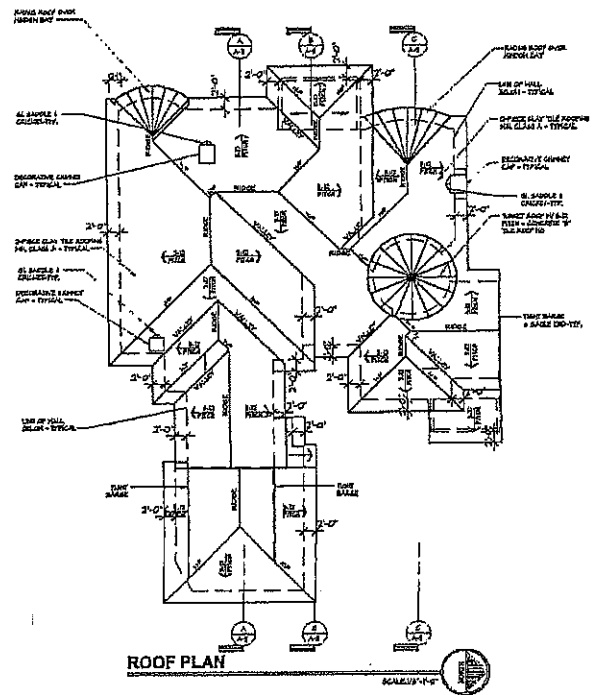
SECOND FLOOR PLAN
3140 S.F.T.

FLOOR SCHEDULE
 SECOND FLOOR (S.F.) 1800 S.F.T.
 SECOND FLOOR (S.F.) 1800 S.F.T.
 SECOND FLOOR (S.F.) 1800 S.F.T.
 TOTAL 5400 S.F.T.

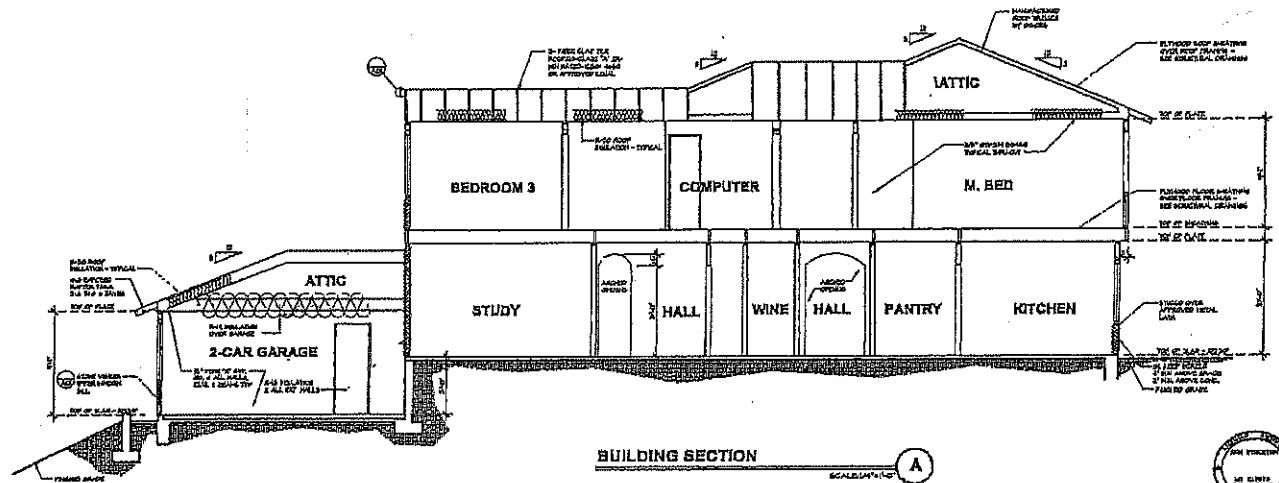


NOT FOR CONSTRUCTION

PROJECT NAME JAMBURG RESIDENCE	
CUSTOMER CESTON RESIDENCE	
ADDRESS PAID CORRAL, OLD NEGUNA	
PROJECT NO.	FIRST FLOOR
DATE	REVISED
BY	DESIGNED
DATE	DRAWN
BY	CHECKED
DATE	APPROVED
BY	DATE
KEN STOCKTON ARCHITECT 2000 N. HANCOCK ST., SUITE 100 PORTLAND, OREGON 97201	
SHEET NO. A-3	



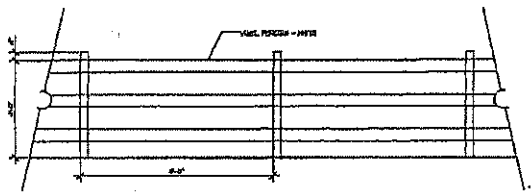
ROOF PLAN
SCALE: 1/4" = 1'-0"



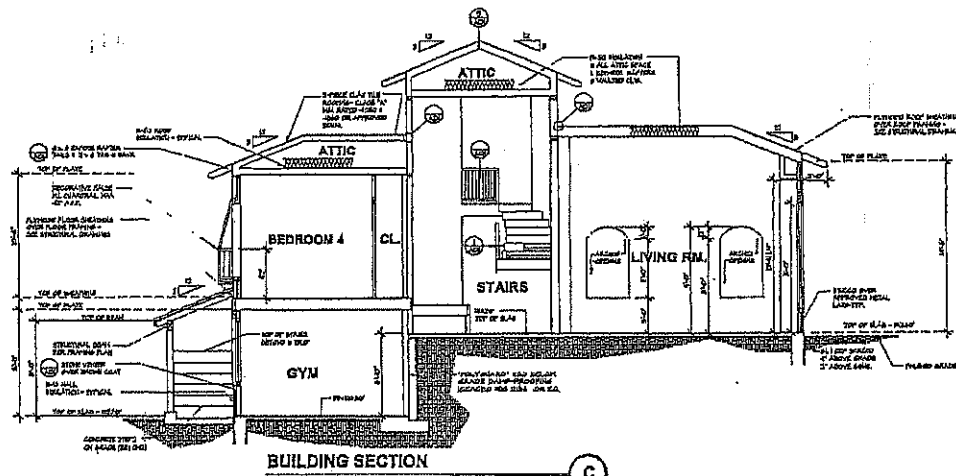
BUILDING SECTION
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

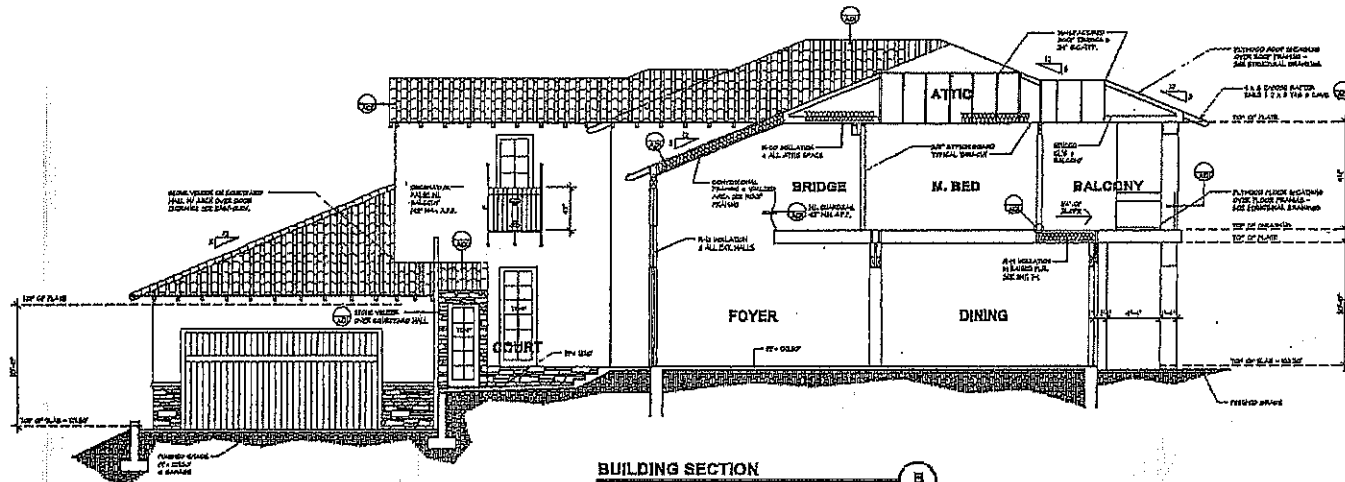
<p>PROJECT NO. A-4</p>	
<p>KEN STOCKTON ARCHITECT 2400 N. GARDEN AVENUE, SUITE 100, GARDEN CITY, MO 64503 TEL: 314/441-1111 FAX: 314/441-1112</p>	
<p>DATE: 02/25/04</p>	<p>PROJECT: 2-CAR GARAGE</p>
<p>DESIGN: 02/25/04</p>	<p>CLIENT: KEN STOCKTON</p>
<p>PROJECT NO. 02/25/04</p>	<p>PROJECT: 2-CAR GARAGE</p>
<p>PROJECT NO. JAMBURG RESIDENCE JAMBURG RESIDENCE CUSTOM RESIDENCE PALO COMADO, OLD ASCORA</p>	
<p>DATE: 02/25/04</p>	



PROPERTY LINE FENCING ELEV. (1)
SCALE: 1/4" = 1'-0"



BUILDING SECTION (C)
SCALE: 1/4" = 1'-0"



BUILDING SECTION (B)
SCALE: 1/4" = 1'-0"

PROJECT NAME
JAMBURG RESIDENCE
CUSTOM RESIDENCE
PALO VERDE, CLAY ASHURA

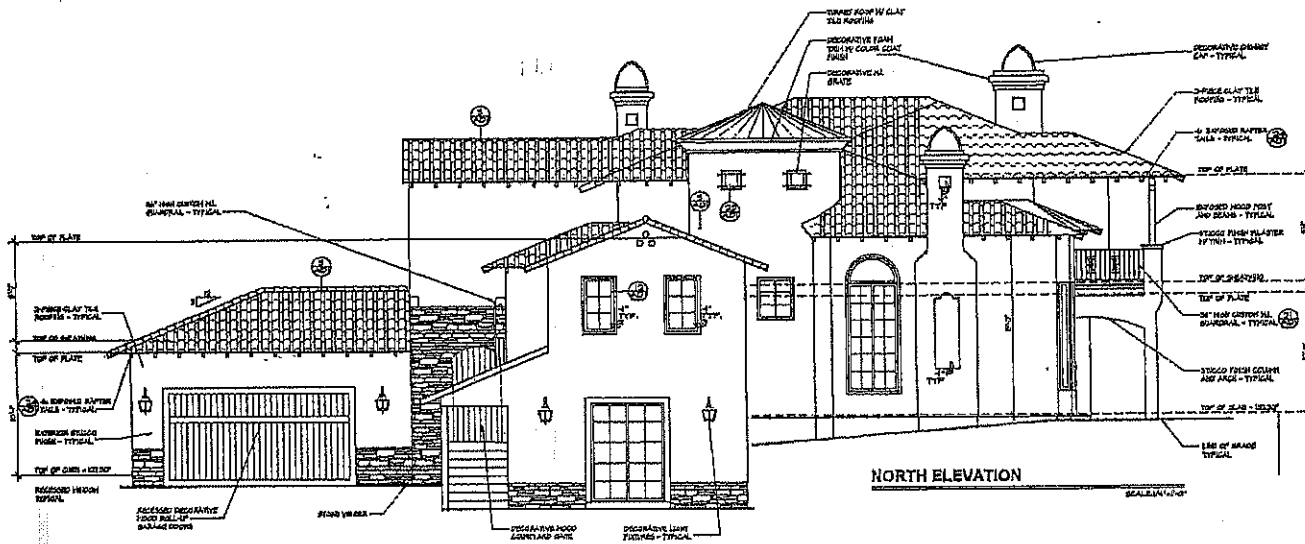
BUILDING SECTIONS	REVISIONS
FRAME S.E.E.	
DATE: 02/20/04	DESCRIPTION
DATE: 02/20/04	DESCRIPTION
DATE: 02/20/04	DESCRIPTION

ARCHITECT
KEN STOCKTON
ARCHITECT
2000 N. AVENUE, SUITE 100, PALO VERDE, CA 94454
PH: 415-948-1000 FAX: 415-948-1001



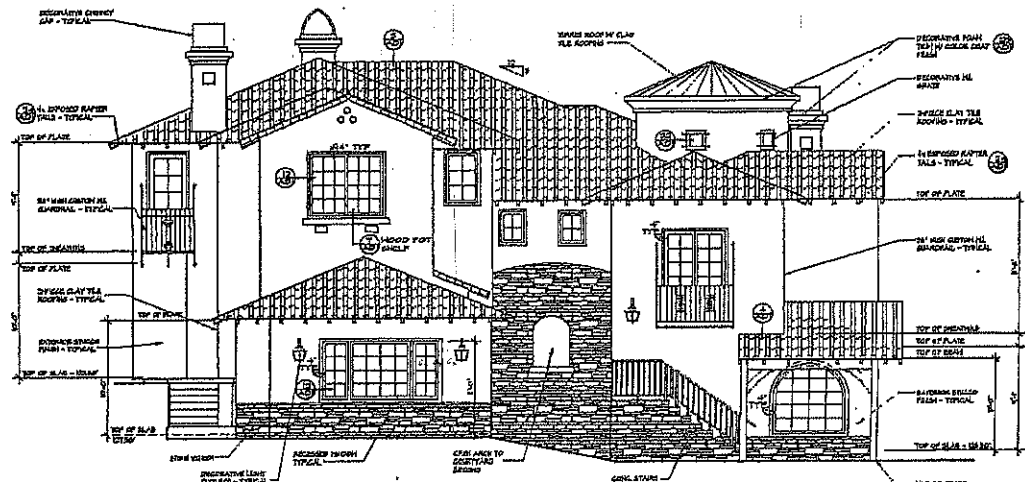
NOT FOR CONSTRUCTION

SHEET NO.
A-5



NORTH ELEVATION

SCALE 1/4" = 1'-0"



EAST ELEVATION

SCALE 1/4" = 1'-0"

EXTERIOR

PROJECT NAME
LAURELS RESIDENCE
 CUSTOM RESIDENCE
 PALO CONADO, OLD ANACAPA

EXTERIOR ELEVATIONS

DATE	BY	DESCRIPTION
02/20/24	KS	ISSUED FOR PERMITS
02/20/24	KS	ISSUED FOR PERMITS
02/20/24	KS	ISSUED FOR PERMITS

KEN STOCKTON
 ARCHITECT

3000 N. JENSEN ROAD, SUITE 100, PALO CONADO, CA 94024
 415.454.1234 FAX: 415.454.1235



SHEET NO.
A-6

NOT FOR CONSTRUCTION

BENCHMARK
 TD. B.M. # 9982 AT THE N.E. CORNER
 OF THE INTERSECTION OF FAIRVIEW PL.
 AND CHESEBRO RD.
 ASSUMED E.L. = 100.00'

TOTAL LOT AREA = 49,328 S.F.
 TOTAL BLDG. FOOTPRINT = 3,060 S.F.
 TOTAL GRADED AREA = 23,770 S.F.
 TOTAL DRIVEWAY & PAVING AREA = 8,198 S.F.
 AVE. SLOPE = 1 FT. X 13.998 FT. X 100 = 37.65%
 49,328 S.F.

PERCENT OF GRADED AREA
 $(23,770 \text{ S.F.} - 3,198 \text{ S.F.}) \div 100 = 37.65\%$
 49,328 S.F.

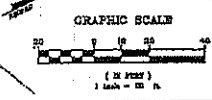
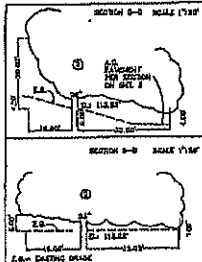
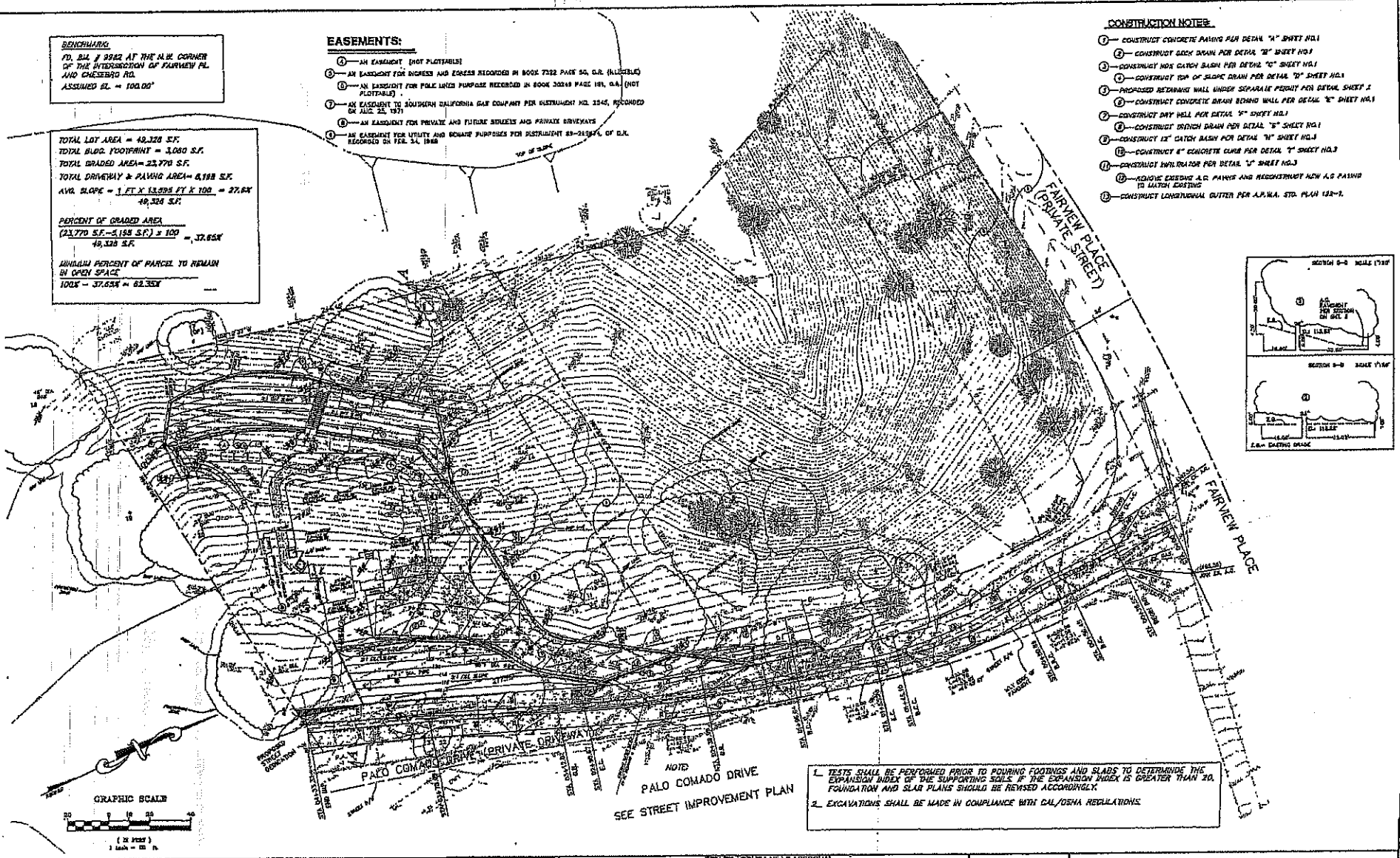
UNGRADED PERCENT OF PARCEL TO REMAIN
 IN OPEN SPACE
 $100\% - 37.65\% = 62.35\%$

EASEMENTS:

- ① - AN EASEMENT (NOT PLATTABLE)
- ② - AN EASEMENT FOR BUSHES AND TREES RECORDED IN BOOK 7322 PAGE 56, G.R. (PLATTABLE)
- ③ - AN EASEMENT FOR POLE LINES PURCHASE RECORDED IN BOOK 30248 PAGE 181, G.R. (NOT PLATTABLE)
- ④ - AN EASEMENT TO SOUTHERN CALIFORNIA GAS COMPANY PER INSTRUMENT NO. 2245, RECORDED ON JULY 25, 1971
- ⑤ - AN EASEMENT FOR PRIVATE AND FUTURE SIDEWALKS AND PRIVATE DRIVEWAYS
- ⑥ - AN EASEMENT FOR UTILITY AND SIGNAGE PURPOSES PER INSTRUMENT 89-241974 OF D.R. RECORDED ON FEB. 24, 1988

CONSTRUCTION NOTES:

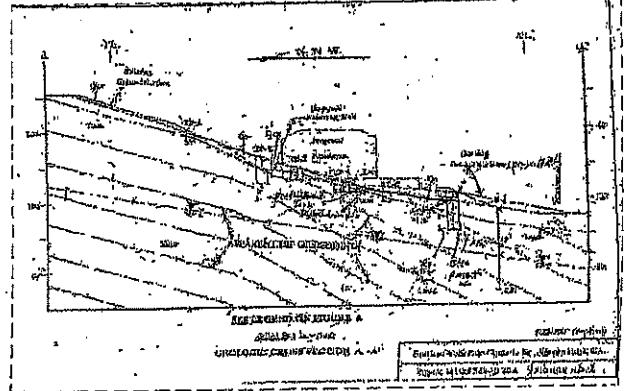
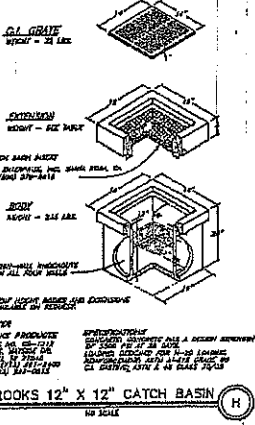
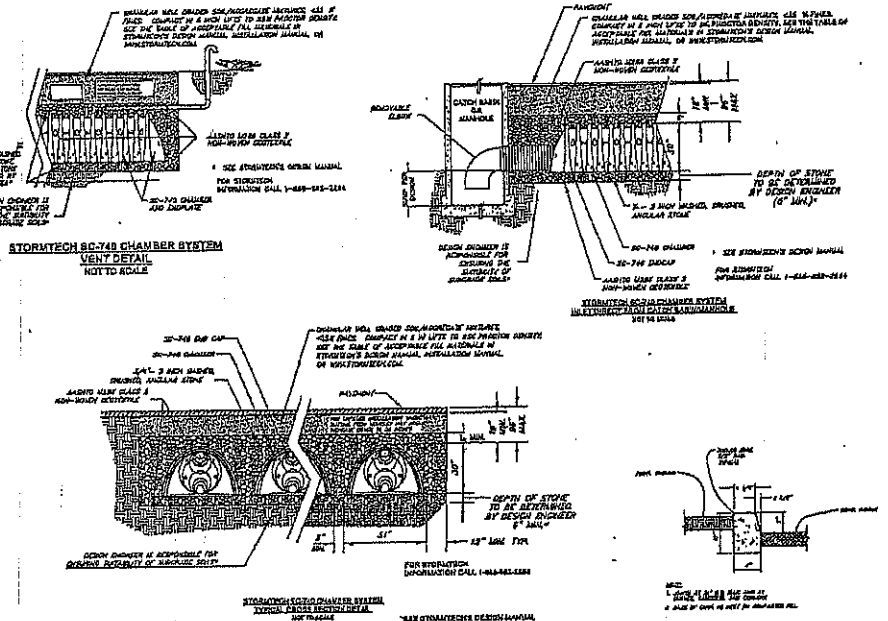
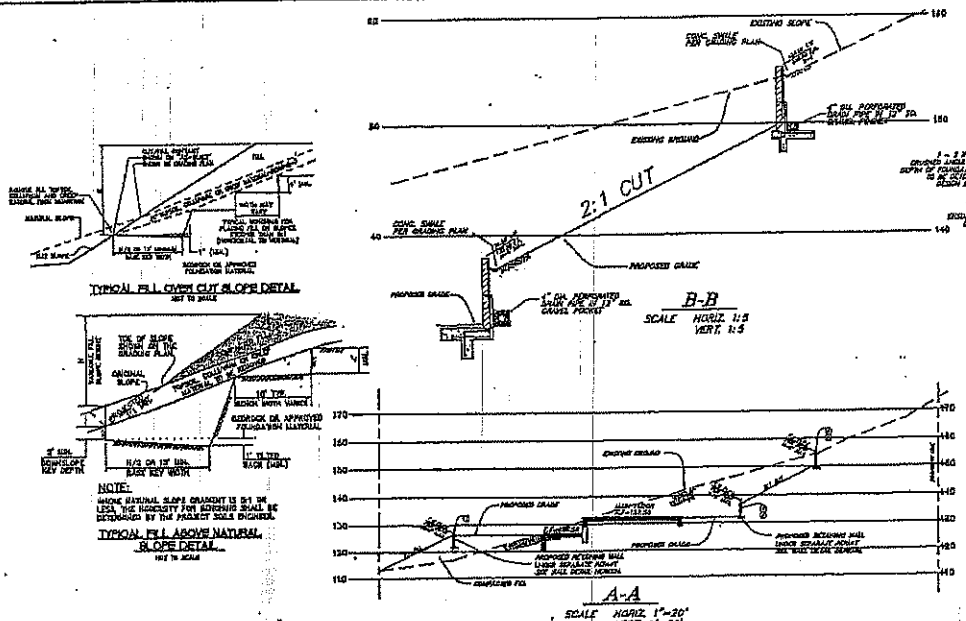
- ① - CONSTRUCT CONCRETE PAVING PER DETAIL "A" SHEET NO.1
- ② - CONSTRUCT Gully DRAIN PER DETAIL "B" SHEET NO.1
- ③ - CONSTRUCT HOSE CATCH BASIN PER DETAIL "C" SHEET NO.1
- ④ - CONSTRUCT TOP OF SLOPE DRAIN PER DETAIL "D" SHEET NO.1
- ⑤ - PROPOSED RETAINING WALL UNDER SEPARATE PERMIT PER DETAIL SHEET 2
- ⑥ - CONSTRUCT CONCRETE DRAIN BEHIND WALL PER DETAIL "E" SHEET NO.1
- ⑦ - CONSTRUCT DRY WELL PER DETAIL "F" SHEET NO.1
- ⑧ - CONSTRUCT DITCH DRAIN PER DETAIL "G" SHEET NO.1
- ⑨ - CONSTRUCT 12" CATCH BASIN PER DETAIL "H" SHEET NO.3
- ⑩ - CONSTRUCT 4" CONCRETE CURB PER DETAIL "I" SHEET NO.3
- ⑪ - CONSTRUCT INVERTOR PER DETAIL "J" SHEET NO.3
- ⑫ - REMOVE EXISTING A.C. PAVING AND RECONSTRUCT NEW A.C. PAVING TO MATCH EXISTING
- ⑬ - CONSTRUCT LONGITUDINAL GUTTER PER A.P.W.A. STD. PLAN 128-7.



NOTE:
 1. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 20, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 2. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.

NOTE:
 PALO COMADO DRIVE
 SEE STREET IMPROVEMENT PLAN

PREPARED BY CALCIVIC ENGINEERING GROUP		CITY OF AGUERA HILLS APPROVAL		GRADING PLAN	
REV	SYMBOL	DESCRIPTION OF CHANGE	PAGE	DATE	SHEET 2 OF 8
PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY ENGINEER	PROJECT NO.



RETAINING WALL SCHEDULE - TYPE A WALL

H	W	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT
12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"

RETAINING WALL SCHEDULE - TYPE B WALL

H	W	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT	HT
12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"

PREPARED BY: **CALCIYNG ENGINEERING GROUP**
 1000 W. 10TH ST. SUITE 100
 DENVER, CO 80202

CITY OF AGOURA HILLS APPROVAL

DATE: _____

PROJECT ENGINEER: _____ DATE: _____

REVIEWER BY: _____ DATE: _____

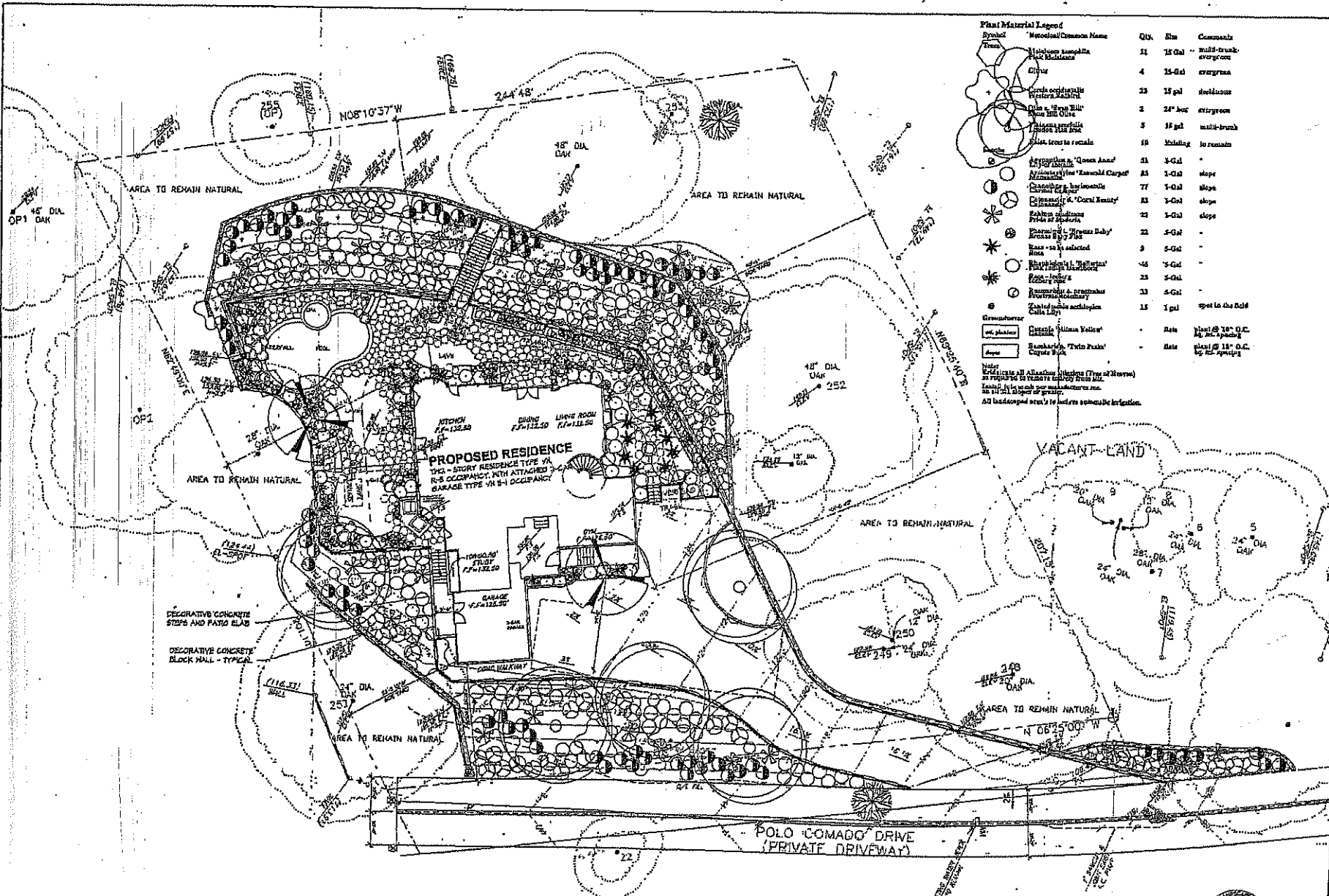
MANOR AGUEVA
CITY ENGINEER

GRADING PLAN

AGOURA HILLS

PROJECT NO. _____ SHEET 3 OF 8

CITY OF AGOURA HILLS DIV. NO. _____



Plant Material Legend

Symbol	Botanical/Common Name	Qty.	Size	Comments
(Symbol)	Metelone sumpaha	11	12 Gal	multi-trunk structure
(Symbol)	Metelone	4	15-Gal	evergreen
(Symbol)	Metelone	23	15 gal	deciduous
(Symbol)	Metelone	1	24" tree	evergreen
(Symbol)	Metelone	5	18 gal	multi-trunk
(Symbol)	Metelone	19	existing	to remain
(Symbol)	Metelone	51	1-Gal	-
(Symbol)	Metelone	85	1-Gal	-
(Symbol)	Metelone	77	1-Gal	slope
(Symbol)	Metelone	23	1-Gal	slope
(Symbol)	Metelone	23	1-Gal	slope
(Symbol)	Metelone	23	1-Gal	-
(Symbol)	Metelone	3	5-Gal	-
(Symbol)	Metelone	46	5-Gal	-
(Symbol)	Metelone	23	5-Gal	-
(Symbol)	Metelone	13	5-Gal	-
(Symbol)	Metelone	13	1 gal	spot to the side
(Symbol)	Metelone	-	Rate	1/2 gal @ 10" O.C. @ 10' spacing
(Symbol)	Metelone	-	Rate	1/2 gal @ 18" O.C. @ 10' spacing

Note: All plants to be installed within 10 days of start of construction. All landscape areas to be irrigated. All landscape areas to be irrigated. All landscape areas to be irrigated.

PRELIMINARY LANDSCAPE PLAN

AREA TABULATION

Category	Area (sq. ft.)	Area (sq. ft.)
Plantings	1,234	1,234
Structures	5,678	5,678
Other	9,012	9,012
TOTAL AREA	16,924	16,924

THE OFFICE OF
KIMBERLY M. MCDONOUGH
A CALIFORNIA CONTRACTOR
1000 CALIFORNIA DRIVE
PALM SPRINGS, CA 92262
(951) 241-7300

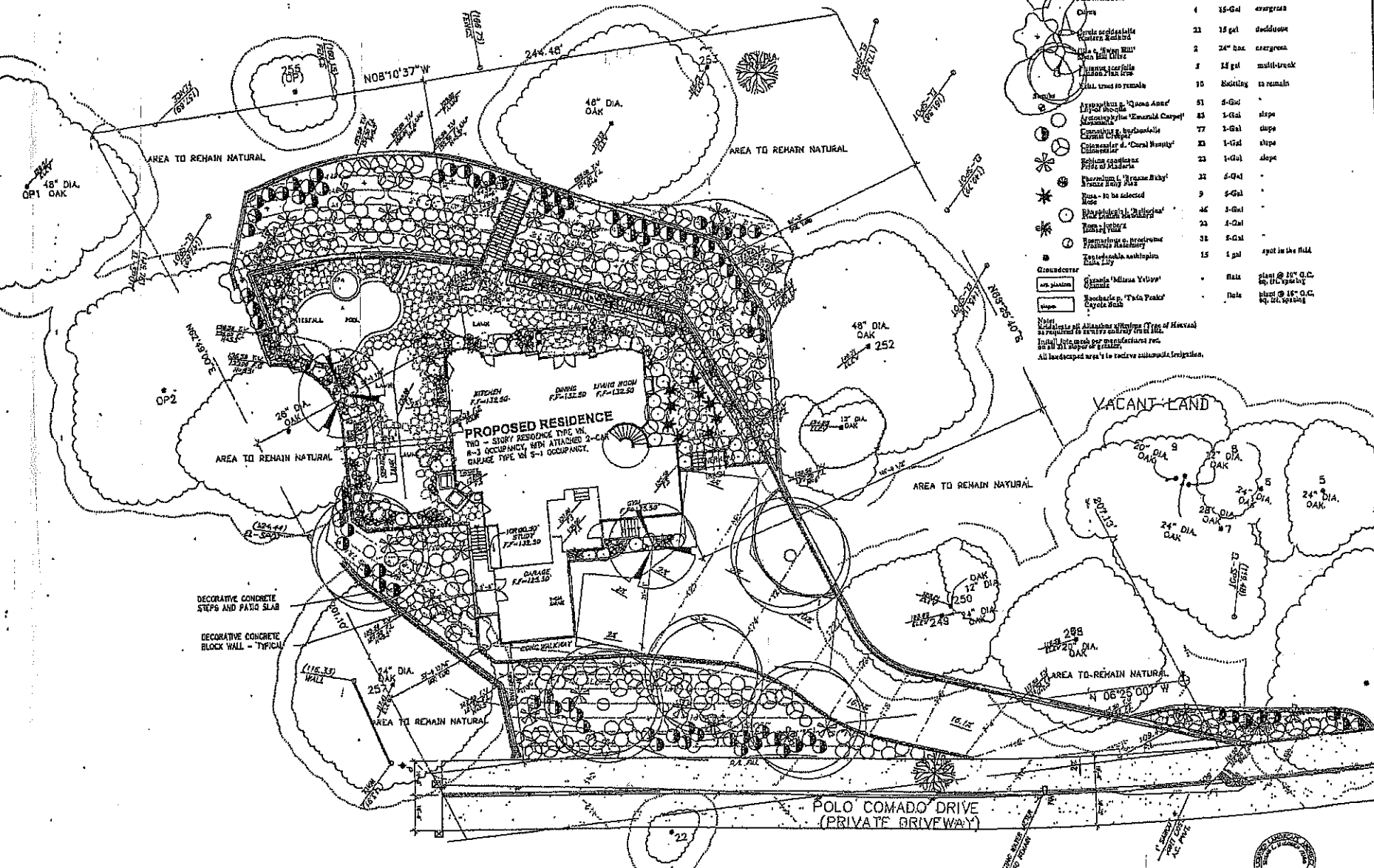
PRELIMINARY LANDSCAPE PLAN
DATE: 08/01/2014
DRAWN BY: [Name]
CHECKED BY: [Name]

PRELIMINARY LANDSCAPE PLAN
DATE: 08/01/2014
DRAWN BY: [Name]
CHECKED BY: [Name]

KEN STOCKTON
ARCHITECT
1000 CALIFORNIA DRIVE
PALM SPRINGS, CA 92262
(951) 241-7300

PROJECT NO. [Number]
SHEET NO. [Number]
L-P

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Plant Material Legend

Symbol	Botanical/Common Name	Qty.	Size	Comments
(Tree)	<i>Adiantum nasutella</i> Red Maidenhair Fern	11	15 Gal	evergreen
(Tree)	<i>Chamaecyparis</i>	4	15 Gal	evergreen
(Tree)	<i>Podocarpus neriifolia</i> Water Redwood	21	15 gal	deciduous
(Tree)	<i>Thuja 'Smaragd'</i> Green Gable	2	24" box	evergreen
(Tree)	<i>Juniperus horizontalis</i> Blue Star Juniper	1	12 gal	multi-trunk
(Tree)	<i>Thuja 'Green Gem'</i> Green Gem	10	60 gal	to remain
(Shrub)	<i>Hydrangea 'Grand Amour'</i> Grand Amour	51	5-Gal	-
(Shrub)	<i>Hydrangea 'Emerald Carpet'</i> Emerald Carpet	83	1-Gal	slope
(Shrub)	<i>Camellia 'Nippon'</i> Nippon	77	1-Gal	slope
(Shrub)	<i>Camellia 'Carol Beauty'</i> Carol Beauty	23	1-Gal	slope
(Shrub)	<i>Rhododendron 'Mardi Gras'</i> Mardi Gras	23	1-Gal	slope
(Shrub)	<i>Hydrangea 'Frances Ruby'</i> Frances Ruby	21	5-Gal	-
(Shrub)	<i>Yucca 'Black Star'</i> Black Star	9	5-Gal	-
(Shrub)	<i>Yucca 'Black Star'</i> Black Star	46	1-Gal	-
(Shrub)	<i>Yucca 'Black Star'</i> Black Star	23	1-Gal	-
(Shrub)	<i>Yucca 'Black Star'</i> Black Star	31	5-Gal	-
(Shrub)	<i>Yucca 'Black Star'</i> Black Star	15	1 gal	spot in the field
(Groundcover)	<i>Stachys 'Madame Yvonne'</i> Madame Yvonne	-	flat	plant @ 20" O.C. 45, 100, 150, 200
(Groundcover)	<i>Hebe 'Twin Peaks'</i> Twin Peaks	-	flat	plant @ 18" O.C. 45, 100, 150, 200

Notes:
 1. All plants to be Alabama natives (Type of Material as required to survive naturally from field).
 2. Initial site work per manufacturer's rec.
 3. All landscaped area's to receive automatic irrigation.

PLANTING PLAN

AREA TABULATION

Item	Quantity	Notes
Planting	1,500 sq. ft.	to be made inside to lawn outside
Planting	1,000 sq. ft.	to be made inside to lawn outside
Planting	1,000 sq. ft.	to be made inside to lawn outside
Planting	1,000 sq. ft.	to be made inside to lawn outside

THE OFFICE OF
 SUSAN E. MCGOWEN
 LANDSCAPE ARCHITECTURE
 1000 W. UNIVERSITY BLVD., SUITE 100
 CANTON, OH 44705
 TEL: 330-243-1111

PROJECT NAME
LAMBURG RESIDENCE
 CUSTOM RESIDENCE
 PALM COMADO, OLD ANCHORAGE

PLANTING PLAN & FUEL WOOD
 DRAWN BY: J. B. BROWN
 DATE: 10-25-85
 SCALE: AS SHOWN

KEN STOCKTON
 ARCHITECT
 2700 N. ANCHORAGE BLVD., SUITE 100, CANTON, OH 44705
 TEL: 330-243-1111

SHEET NO.
L-P

NOT FOR CONSTRUCTION

ASSESSMENT FOR FUEL MODIFICATION PLAN #

Zone A - Suburb Zone

- Extends 20 feet beyond the edge of any combustible structure, accessory structure, appendage or projection.
- Irrigation by automatic or manual systems shall be provided to landscape to maintain healthy vegetation with high fire fuel tolerance and greater fire resistance.
- Landscaping and vegetation in this zone shall consist primarily of green lawns, ground covers, and adequately spaced shrubs and trees. The overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Plants in Zone A shall be inherently highly fire resistant and spaced appropriately. Species selection should be made referencing the *Fuel Modification Plant Reference*. Other species may be utilized subject to approval.
- Except for dwarf varieties or mature trees small in stature, trees are generally not recommended within Zone A.
- Target tree species (including but not limited to Tuleahypota, Flax Juniper, Cypress, Cedar, Canary Island Date Palm, California Fan Palm, Mexican Fan Palm and Hologatewillow) shall not be allowed within 10 feet of combustible structures.
- Vines and climbing plants shall not be allowed in any combustible structure.

Zone B - Irrigated Zone

- Extends from the outermost edge of Zone A to 100 feet from structure.
- Irrigation by automatic or manual systems shall be provided to landscape to maintain healthy vegetation with high fire fuel tolerance and greater fire resistance.
- Landscaping and vegetation in this zone shall consist primarily of green lawns, ground covers, and adequately spaced shrubs and trees. The overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Plants in Zone B shall be fire resistant and spaced appropriately. Species selection should be made referencing the *Fuel Modification Plant Reference*. Other species may be utilized subject to approval.

Zone C - Native Brush Thinning Zone

- Extends from the outermost edge of Zone B to 200 feet from structure.
- Irrigation systems are not required for this zone. (Native plants are generally not compatible with regular, top-down supplemental watering.)
- Landscaping and vegetation in this zone may consist of modified existing native plants, adequately spaced ornamental shrubs and trees, or both. There may also be replacement landscape planting with non-invasive or less flammable native species to meet minimum slope coverage requirements of City or County Public Works or Parks & Recreation Landscaping or Erosion ordinances. In all cases the overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Existing native vegetation shall be modified by thinning and removal of species constituting a high fire risk including but not limited to larval acacia, chumley manzanita, sage, sage brush, buckwheat, and California juniper. Please reference the *Fuel Modification Plant Reference*.
- Fuel loads shall be reduced by pruning to the lower 1/3 of remaining trees or shrubs and removing dead wood. Native plants may be thinned by reduced amounts as the distance from development increases.
- Plants in Zone C shall be spaced appropriately. Species selection should be made referencing the *Fuel Modification Plant Reference*. Other species may be utilized subject to approval.
- Current spacing for existing native shrubs to be 15 feet between samples.
- Current spacing for existing native trees to be 20 feet between samples.

Fire Access Road Zone

- Extends 10 feet from the edge of any public or private roadway that may be used as access for fire-fighting apparatus or resources.
- Clear and remove flammable growth for a minimum of 10 feet on each side of Fire Access Roads. (Fire Code 1117.16)
- Fire access roads, driveways and surroundings shall be maintained in accordance with the code.
- Fire Access Roads shall have unobstructed vertical clearance. (Fire Code 903.2.3.1)
- Landscaping and native plants within the 10-foot Fire Access Road Zone shall be appropriately spaced and maintained to provide safe access in wildland fire environments.

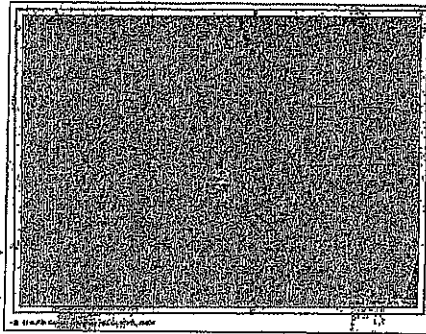
Maintenance

- Routine maintenance shall be regularly performed in all zones which requires:
 - Removal or thinning of undesirable combustible vegetation and replacement of dead or dying landscaping.
 - Pruning and thinning to reduce the overall fuel load and continuity with other fuels.
 - Pruning lower branches of trees and tree-form shrubs to 1/2 of their height (or 4 feet from lowest hanging branches) to help prevent fire from spreading upward into the crown.
 - Ground covers shall be maintained at a height not to exceed 1 1/2 inches. Annual grasses and weeds shall be maintained at a height not to exceed 3 inches.
 - Accumulated plant litter and dead wood shall be removed. Debris and trimmings produced by thinning and pruning should be removed from the site or chipped and evenly dispersed in the same area to a maximum depth of 2 inches.
 - Manual and automatic irrigation systems shall be maintained for operational integrity and programming. Effectiveness should be regularly evaluated to avoid over or under-watering.
 - Compliance with the Fire Code is a year-round responsibility. Enforcement will occur following inspection by the Fire Department annually and as needed. Annual inspections are conducted following the annual drying of grasses and fine fuels, between the months of April and June depending on geographic region.
- Brush Clearance enforcement issues on adjacent properties should be directed to the County of Los Angeles Fire Department's Brush Clearance Unit at (626) 969-2375.
- All future plantings shall be in accordance with the County of Los Angeles Fire Department Fuel Modification Guidelines and approved prior to installation.
- Questions regarding landscape planting and maintenance with regard to fire safety should be directed to the Fire Department's Fuel Modification Unit at (626) 969-5265.

Long Term Maintenance Agreement

The property owner(s) agree to be responsible for the long-term maintenance of this fuel modification plan, as described herein. Notification of Fuel Modification requirements is to be made upon sale to new owners. Proposed changes to the Fuel Modification plan must be submitted to the Fuel Modification Unit for approval, prior to implementation. Failure to comply with the Fuel Modification Plan requirements may result in an Administrative Fine up to exceed \$3000 and possible legal action.

Name (Print) _____ X _____ Signature _____ Date _____
 Name (Print) _____ X _____ Signature _____ Date _____



THE OFFICER
 SIOGAN E. MADWON
 A CALIFORNIA CALIBRATED
 INSPECTOR OF FIRE
 15100 WILSON BLVD
 VAN NUYS, CA 91411
 (818) 709-7771

SEAL

PROJECT NAME
 JAMBUURG RESIDENCE
 CUSTOM RESIDENCE
 PALO VERDE, CALIFORNIA

PLANTING PLAN & FUEL MOD
 PREPARED BY
 DATE: 12-12-16
 SCALE: 1/4" = 1'-0"

KEN STOCKTON
 ARCHITECT
 2000 W. 10TH STREET, SUITE 100
 VAN NUYS, CA 91411
 (818) 709-7771

SHEET NO.
 L-P2



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