

Issue Area	Impact	Mitigations
<i>Geology and Soils</i>	Soil expansion	Comply with all measures in the geotechnical report
	During construction soil erosion	AQMD Rule 403 and SPPP implementation required
	Post Construction soil erosion	Additional paving and strategically placed landscaping

The Draft MND was circulated for a 30-day review period, ending on April 30, 2009. The applicant has accepted the proposed mitigation measures which staff finds would reduce the environmental impacts associated with the project to less than significant levels. For these reasons, staff finds the use of a Mitigated Negative Declaration for CEQA processing of this application to be appropriate.

If the Planning Commission votes to deny the project, no action on the Final MND is required. If the Planning Commission's desire is to approve the application, CEQA requires that the Planning Commission also adopt a "mitigation monitoring program" (MMP) to ensure compliance during project construction and operation.

V. RECOMMENDATION

As there are two legislative actions (the General Plan Amendment and Zone Change) associated with the project. The entitlements associated with the project including the Conditional Use Permit, the Variance, the Sign Permit, and the Vesting Tentative Parcel Map will be forwarded to the Council for final action concurrent with the General Plan Amendment and Zone Change.

It is recommended that the Planning Commission recommend approval of Conditional Use Permit Case No. 07-CUP-010, Vesting Tentative Tract Map No. 69426, Sign Permit Case No. 07-SP-036 and Variance Case No. 08-VAR-006, subject to conditions as well as the General Plan Amendment Case No. 07-GPA-001, and Zone Change Case No. 07-ZC-001 for the proposed development.

Staff also recommends the Planning Commission approve the Final Mitigated Negative Declaration and Mitigation Monitoring Program.

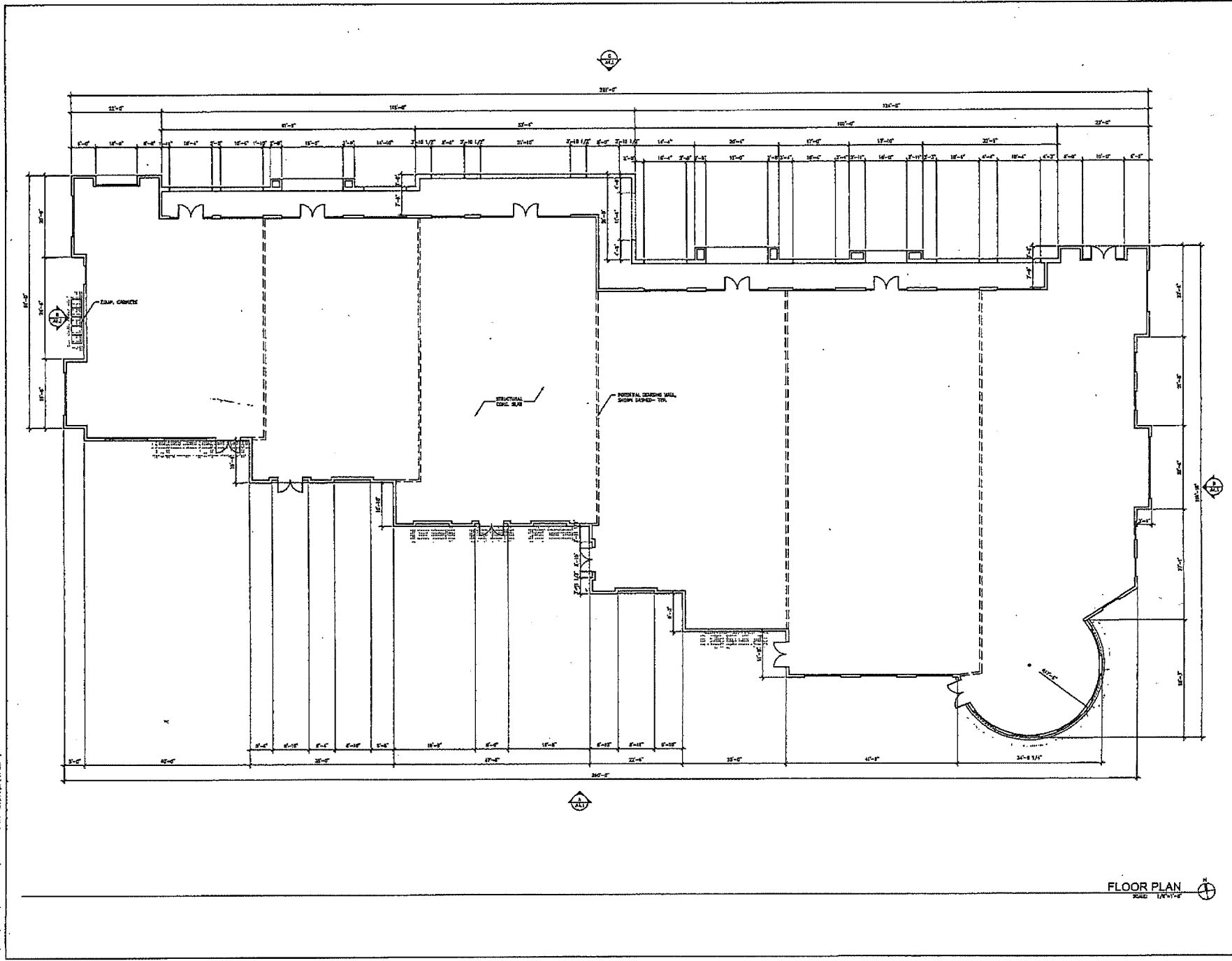
VI. ATTACHMENTS

- Draft Resolution and Conditions of Approval for the Conditional Use Permit and Sign Permit
- Draft Resolution and Conditions of Approval for the Variance Request

VI. ATTACHMENTS (Continued)

- Draft Resolution and Conditions of Approval for the Vesting Tentative Parcel Map
- Draft Resolution for the General Plan Amendment
- Draft Resolution for the Zone Change
- Draft Ordinance with Exhibit Page
- Exhibit A: Applicant's Burden of Proof for the Wall and Signage
- Exhibit B: Applicant's Letter
- Exhibit C: Vicinity/Zoning Map
- Exhibit D: Reduced Photocopies of the Plans
- Exhibit E: Renderings and Photo-simulations
- Exhibit F: Photographs of the Site and Color Copy of the Color and Material Board

CASE PLANNER: Valerie Darbouze, Associate Planner



FLOOR PLAN
SCALE: 1/4" = 1'-0"

WE ARE BEYOND THE BOUNDARIES OF THE USABLE AND SHALL NOT BE USED IN ANY MANNER THAT IMPLIES OR SUGGESTS THAT THE PRESENTER HAS BEEN APPROVED BY THE CITY OF AGOURA HILLS. THIS IS A PRELIMINARY PLAN AND SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY OF AGOURA HILLS. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

DATE	REVISION	BY	APP'D

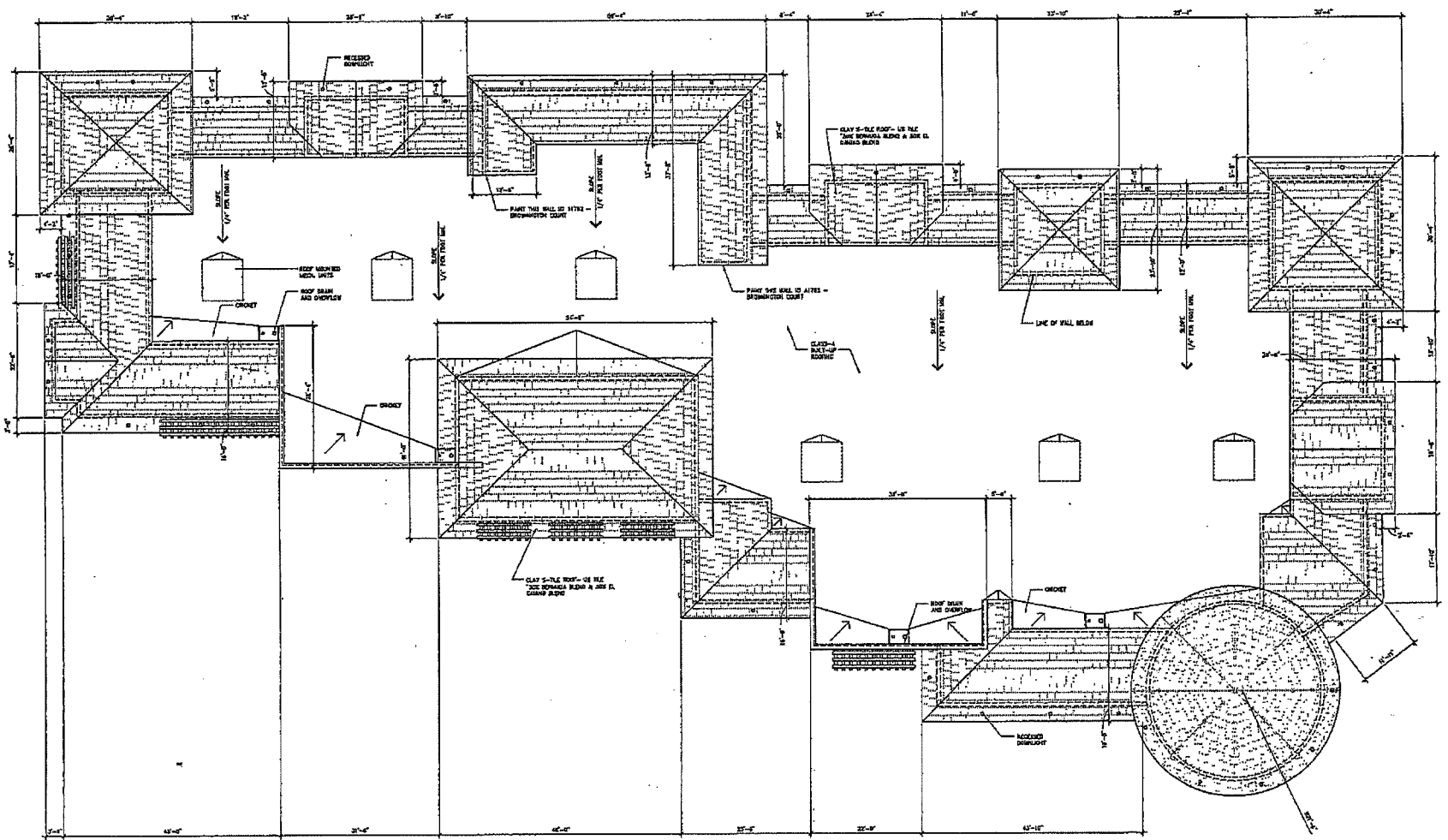
AGOURA BUSINESS CENTER WEST, LLC
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 5301 DERRY AVENUE
 AGOURA HILLS, CALIFORNIA

WARE MALCOMB
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 SUITE 100
 ANAHEIM, CALIFORNIA 92805
 TEL: 714.771.1111
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 WWW.WAREMALCOMB.COM

A2.1

PLANNING RESUBMITTAL 10-28-08

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ROOF PLAN
SCALE 1/8" = 1'-0"

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ROOF PLAN

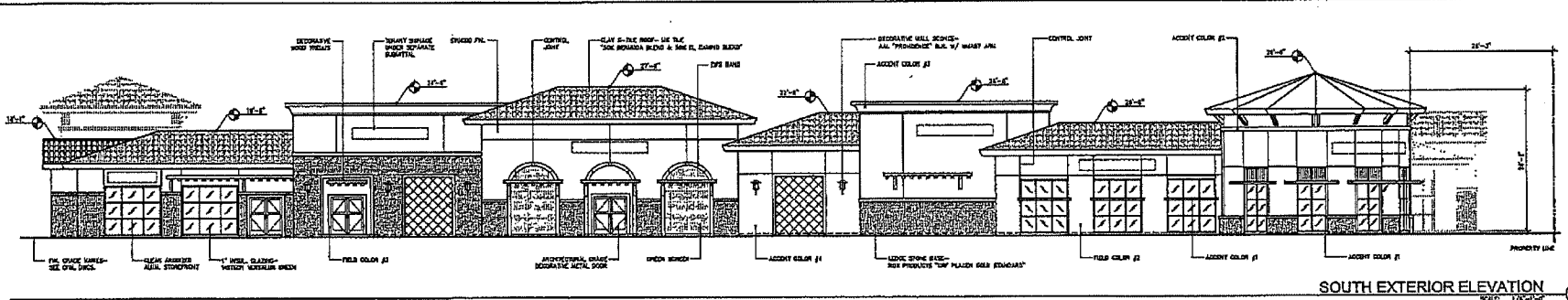
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3	REVISED PER COMMENTS	11/10/08
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5	REVISED PER COMMENTS	11/10/08
6	REVISED PER COMMENTS	11/10/08
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9	REVISED PER COMMENTS	11/10/08
10	REVISED PER COMMENTS	11/10/08

PAPER	18
DRAWN BY	ELC
CHECKED BY	ELC
DATE	10/28/08
PROJECT	AGOURA BUSINESS CENTER WEST
DATE	10/28/08
SCALE	1/8" = 1'-0"

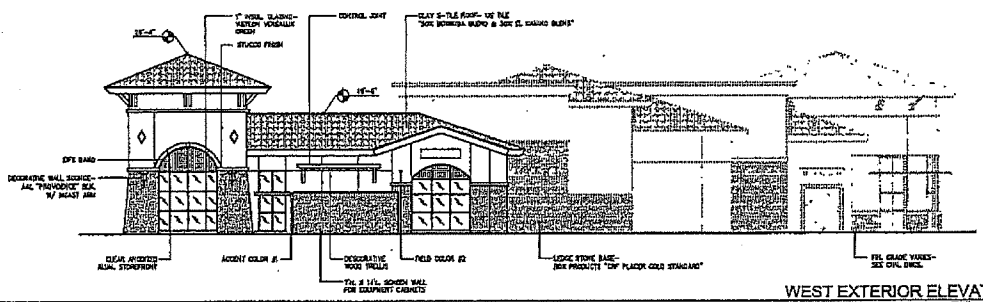
AGOURA BUSINESS CENTER WEST, LLC
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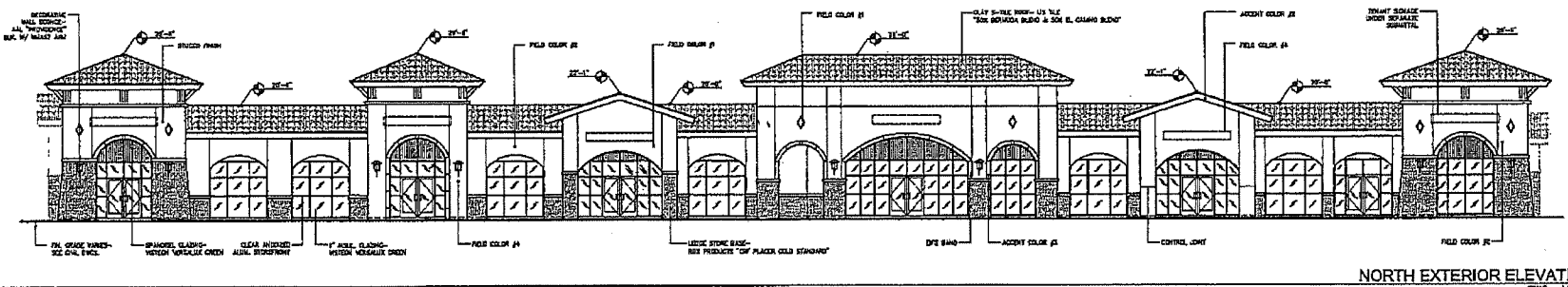
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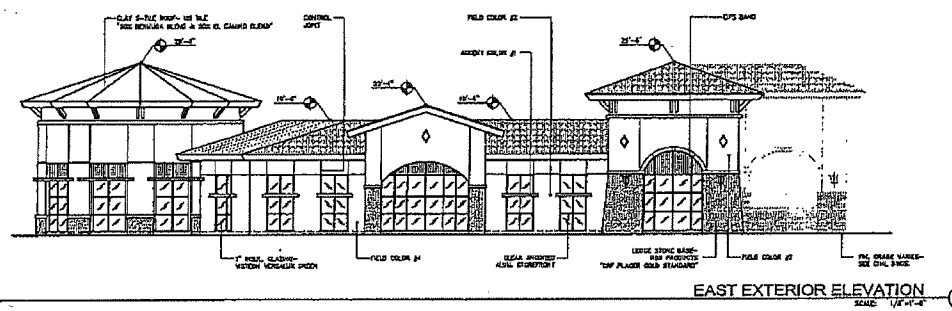
SOUTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



WEST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



NORTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



EAST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

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EXTERIOR ELEVATIONS

NO.	DATE	DESCRIPTION
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3		
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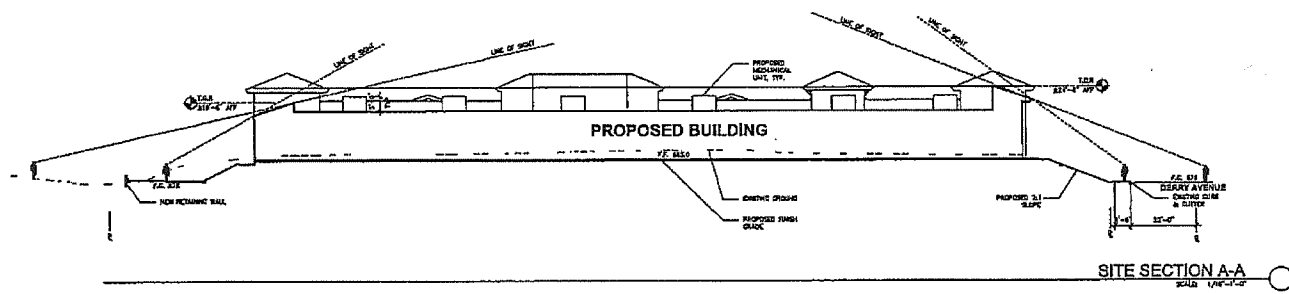
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CHECKED BY: JACOB
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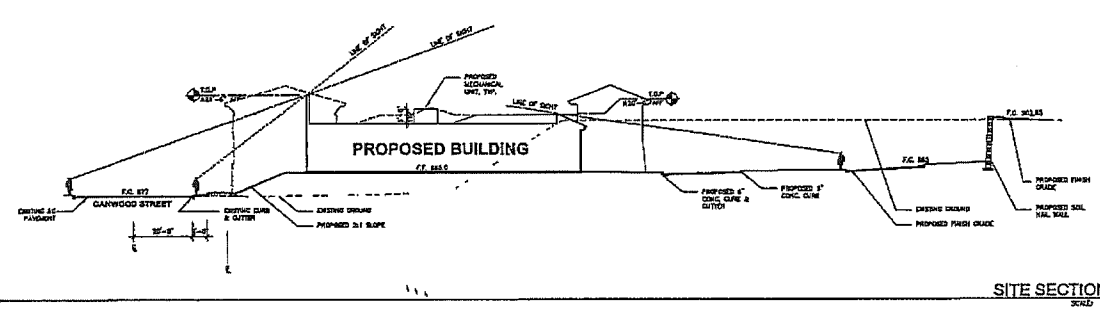
PLANNING SUBMITTAL 10-28-08

WARE MALCOMB ARCHITECTS, INC. 10000 WILSON AVENUE, SUITE 100, AGOURA, CA 91301

15. Vertical Curve: PVI=343.50+00 - Agoura Business Center - West (Jan 2010) (3/13/2010) 1/15



SITE SECTION A-A
SCALE 1/8"=1'-0"



SITE SECTION B-B
SCALE 1/8"=1'-0"

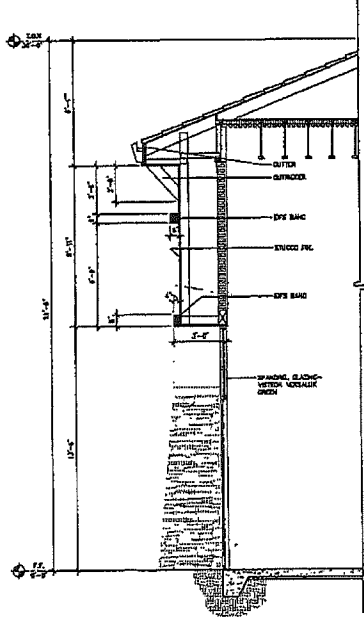
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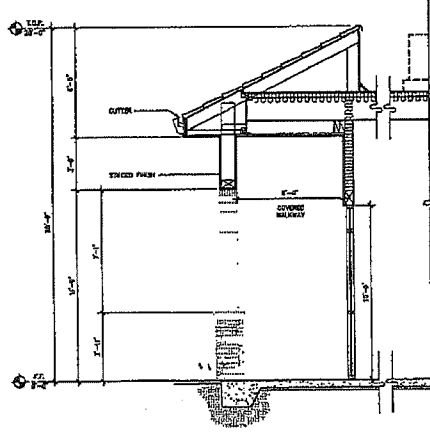
SITE SECTIONS - LINE OF SIGHT	
NO.	DESCRIPTION
1	EXISTING AS PAVED
2	CANYWOOD STREET
3	EXISTING DRAINAGE
4	PROPOSED 2:1 SLOPE
5	EXISTING DRAINAGE
6	PROPOSED 4" CONC. CURB & GUTTER
7	PROPOSED 4" CONC. CURB
8	PROPOSED 4" CONC. CURB
9	EXISTING DRAINAGE
10	PROPOSED FISH GUARD
11	PROPOSED SOIL NAIL WALL
12	PROPOSED FISH GUARD
13	EXISTING DRAINAGE
14	PROPOSED 2:1 SLOPE
15	EXISTING DRAINAGE
16	PROPOSED 2:1 SLOPE
17	EXISTING DRAINAGE
18	PROPOSED FISH GUARD
19	EXISTING DRAINAGE
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97	EXISTING DRAINAGE
98	PROPOSED FISH GUARD
99	EXISTING DRAINAGE
100	PROPOSED FISH GUARD

DATE: 10/29/09
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 JOB NO.: 091-036-00
 SHEET: A5.1
 TOTAL SHEETS: 11

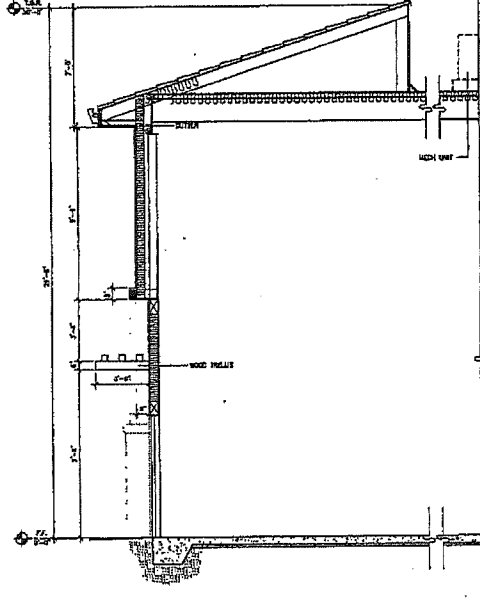
PLANNING RESUBMITTAL 10-29-09



WALL SECTION
SCALE 3/8" = 1'-0" (D)



WALL SECTION
SCALE 3/8" = 1'-0" (B)



WALL SECTION
SCALE 3/8" = 1'-0" (A)

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WARE MALCOMB
ARCHITECTS
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PHONE (818) 413-6200

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AGOURA HILLS, CALIFORNIA

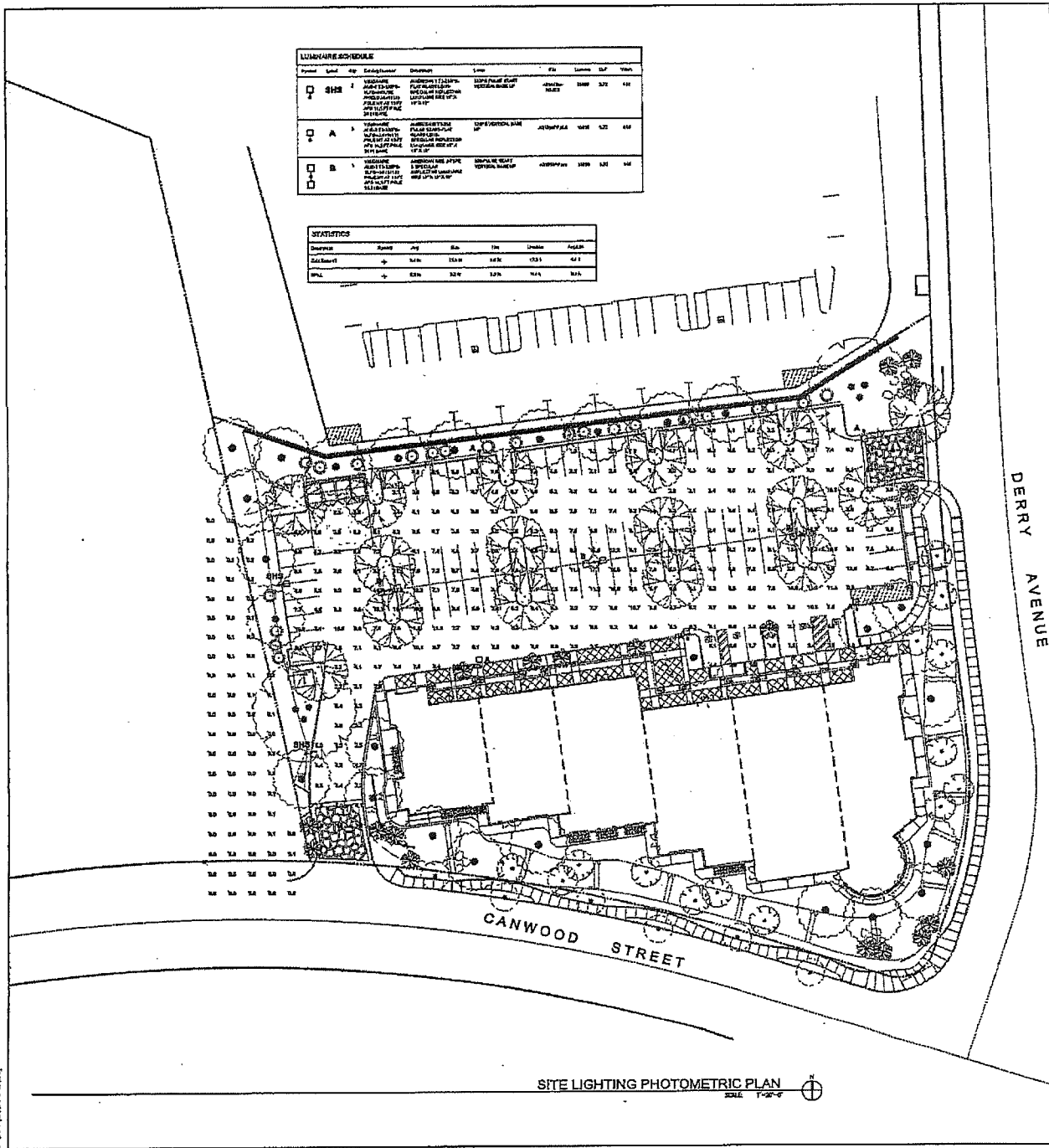
WALL SECTIONS	
NO.	DESCRIPTION

PROJECT	NO.
DATE	NO.
SCALE	NO.
DATE	NO.
SCALE	NO.
DATE	NO.
SCALE	NO.

PROJECT
A5.2

PLANNING RESUBMITTAL 10-28-08

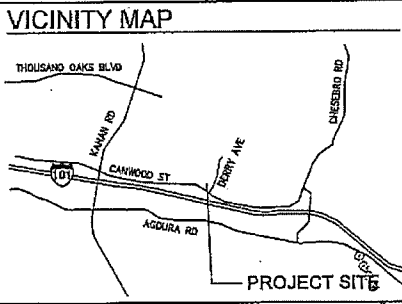
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Item	Code	Quantity	Description	Unit	Footcandle	Height	Notes
1	SHS	1	100W 120V 1200lm LED Flood Light	1000	32'	14'	1000
2	A	3	100W 120V 1200lm LED Flood Light	1000	32'	14'	1000
3	B	1	100W 120V 1200lm LED Flood Light	1000	32'	14'	1000

Category	Value	Unit	Notes
Footcandle	100	fc	100
Height	32	ft	32
Notes	100	ft	100
Scale	1/4" = 1'-0"		

SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1/4" = 1'-0"



American Dimensional Drawings

Category	Code	Quantity	Unit	Notes
Area	1	1	sq ft	100
Volume	1	1	cu ft	100
Area	2	1	sq ft	100
Volume	2	1	cu ft	100

The American design features a modern, multi-story building with a glass facade and a central courtyard. The building is surrounded by a parking lot and a landscaped area with trees and shrubs. The site is located in a commercial district with other businesses nearby.

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WARE MALCOMB
Professional Engineer
No. 10000
10000
10000
10000

A I I I E T O E
Engineering Group, Inc.
10000
10000
10000
10000

AGOURA BUSINESS CENTER WEST, LLC
AGOURA BUSINESS CENTER WEST
5301 DERRY AVENUE
AGOURA HILLS, CALIFORNIA

NO.	DATE	REVISION

SHEET
SP.1

PLANNING RESUBMITTAL - 10-28-06

FIRE ACCESS ROAD ZONE

- EXTENDS TO FEET FROM THE EDGE OF ANY PAVED DRIVEWAY OR ROADWAY THAT MAY BE USED AS ACCESS FOR FIRE PROTECTIVE APPROACHES.
- GRADE AND SLOPE FLAMMABLE GROWTH FOR A MINIMUM OF 10 FEET ON EACH SIDE OF FIRE ACCESS ROAD.
- FIRE CODES AND REGULATIONS AND STANDARDS SHALL BE MAINTAINED IN ACCORDANCE WITH FIRE CODES. FIRE ACCESS ROADS SHALL HAVE UNOBSTRUCTED VERTICAL CLEARANCE.
- LANDSCAPE AND NATIVE PLANTS WITHIN THE 10-FOOT FIRE ACCESS ROAD ZONE SHALL BE APPROPRIATELY SPACED AND MAINTAINED TO PROVIDE SAFE ACCESS IN FIELD AND FIRE APPROACHMENTS.

MAINTENANCE

- ALL FIRE MAINTENANCE SHALL BE REGULARLY PERFORMED IN ALL ZONES WHICH REQUIRE REGULAR OR FREQUENT MAINTENANCE OF UNDESIRABLE COEXISTING VEGETATION AND REPLACEMENT OF DEAD OR Dying LANDSCAPE.
- PRUNING AND TRIMMING TO REDUCE THE OVERALL PLUMB LEAD AND CONTAIN WITH OTHER PLANTS.
- PRUNING LOWER BRANCHES OF TREES AND TRIMMING CANOPIES TO 15 FEET FROM THE TRUNK TO REDUCE THE RISK OF BRANCHES FALLING FROM HEIGHTS INTO THE ZONE.
- UNLESS OTHERWISE APPROVED, GROUND COVERS SHALL BE MAINTAINED AT A HEIGHT OF 2 FEET TO 4 FEET IN ZONE A, 12 INCHES TO 18 INCHES IN ZONE B, AND 18 INCHES TO 24 INCHES IN ZONE C.
- ACCUMULATED PLANT LITTER AND DEAD WOOD SHALL BE REMOVED. DEBRIS AND TRIMMINGS PRODUCED BY PRUNING AND TRIMMING SHALL BE REMOVED FROM THE SITE OR COMPOSTED AND REAPPLIED TO THE SAME AREA TO A MAXIMUM DEPTH OF 4 INCHES.
- SMALL AND AUTUMN DECIDUOUS TREES SHALL BE MAINTAINED FOR OPTIMAL INTEREST AND PROGRAMMATIC EFFECTIVE VALUE. REGULATORY REGULATIONS SHALL BE MAINTAINED TO MAINTAIN OTHER PLANTS.
- COMPLIANCE WITH THE FIRE CODES AS A YEAR-ROUND RESPONSIBILITY. ENFORCEMENT WILL OCCUR UPON VIOLATION. FOLLOWING THE FIRE CODES, THE FIRE DEPARTMENT SHALL CONDUCT INSPECTIONS OF THE PLANTS AND GROUND COVER IN THE ZONES AND REPORT THE RESULTS TO THE CITY OF AGUILA HILLS PUBLIC WORKS DEPARTMENT. ALL VIOLATIONS SHALL BE REPORTED TO THE CITY OF AGUILA HILLS PUBLIC WORKS DEPARTMENT.
- ALL PLANTS AND PAVEMENT SHALL BE MAINTAINED WITHIN THE COUNTY OF LOS ANGELES PER THE CITY OF AGUILA HILLS PUBLIC WORKS DEPARTMENT. APPROVED PLANTS SHALL BE MAINTAINED TO THE APPROPRIATE PLANT MATURITY PER AN APPROVED PLAN. PLANTS SHALL BE MAINTAINED TO THE APPROPRIATE PLANT MATURITY PER AN APPROVED PLAN.
- ADDITIONAL MAINTENANCE SHALL BE PROVIDED TO MAINTAIN THE QUALITY OF THE PLANTS AND PAVEMENT WITHIN THE ZONE.

ASSESSMENT FOR FUEL MODIFICATION PLAN #4178

ZONE A - BRUSH ZONE

- EXTENDS 20 FEET BEYOND THE EDGE OF ANY COMBUSTIBLE STRUCTURE, APPROXIMATE ON PROJECTIONS.
- VEGETATION BY AUTOMATIC OF NATURE, EITHER SHALL BE PROVIDED TO LANDSCAPE TO MAINTAIN HEALTHY VEGETATION WITH HIGHER FIRE RESISTANCE. OTHER SPECIES MAY BE UTILIZED SUBJECT TO APPROVAL.
- LANDSCAPING AND VEGETATION IN THIS ZONE SHALL CONSIST PRIMARILY OF GREEN LAWNS, GROUND COVERS, AND ACCENTUALLY SPACED SHRUBS AND TREES. THE OVERALL CHARACTERISTICS OF THE LANDSCAPE SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
- PLANTS IN ZONE A SHALL BE INHERENTLY HIGHLY FIRE RESISTANT AND BE SPACED APPROPRIATELY. SPECIES SELECTION SHOULD BE BASED UPON THE FIRE MODIFICATION PLAN REFERENCE. OTHER SPECIES MAY BE UTILIZED SUBJECT TO APPROVAL.
- TANDEM SPECIES WILL TYPICALLY NOT BE ALLOWED WITHIN OR MORE FEET OF COMBUSTIBLE STRUCTURE AND MAY BE REQUIRED TO REMAIN PLANTED TO THE FIRE DEPARTMENT'S FUEL MODIFICATION LIST.
- WIND AND CLIMATIC PLANTS SHALL NOT BE ALLOWED ON ANY COMBUSTIBLE STRUCTURE.

ZONE B - IRRIGATED ZONE

- EXTENDS FROM THE SUPERSTADY EDGE OF ZONE A TO 100 FEET FROM STRUCTURE.
- IRRIGATION BY AUTOMATIC OF NATURE, EITHER SHALL BE PROVIDED TO LANDSCAPE TO MAINTAIN HEALTHY VEGETATION WITH HIGHER FIRE RESISTANCE. OTHER SPECIES MAY BE UTILIZED SUBJECT TO APPROVAL.
- LANDSCAPING AND VEGETATION IN THIS ZONE SHALL TYPICALLY CONSIST PRIMARILY OF GREEN LAWNS, GROUND COVERS, AND ACCENTUALLY SPACED SHRUBS AND TREES. THE OVERALL CHARACTERISTICS OF THE LANDSCAPE SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN A FIRE ENVIRONMENT.
- PLANTS IN ZONE B SHALL BE INHERENTLY HIGHLY FIRE RESISTANT AND BE SPACED APPROPRIATELY. SPECIES SELECTION SHOULD BE BASED UPON THE FIRE MODIFICATION PLAN REFERENCE. OTHER SPECIES MAY BE UTILIZED SUBJECT TO APPROVAL.

ZONE C - NATIVE RESILIENT ZONE

- EXTENDS FROM THE OUTBOUND EDGE OF ZONE B TO 200 FEET FROM STRUCTURE.
- IRRIGATION SYSTEMS ARE NOT REQUIRED FOR THIS ZONE. NATIVE PLANTS ARE GENERALLY NOT COMPATIBLE WITH REGULAR, LIQUID, SUPPLEMENTARY WATER.
- LANDSCAPING AND VEGETATION IN THIS ZONE MAY CONSIST OF MODIFIED EXISTING NATIVE PLANTS, ADEQUATELY SPACED ORNAMENTAL SHRUBS AND TREES, OR BOTH. THESE MAY ALSO BE REPLACED BY LANDSCAPE PLANTING WITH ORNAMENTAL OR LESS FLAMMABLE NATIVE SPECIES TO MEET NATURE'S SLOPE COVERING REQUIREMENTS OF CITY OF AGUILA HILLS PUBLIC WORKS DEPARTMENT'S LANDSCAPE OR HILLSIDE ORDINANCES. IN ALL CASES, THE OVERALL CHARACTERISTICS OF THE LANDSCAPE SHALL PROVIDE ADEQUATE DEFENSIBLE SPACE IN FIRE ENVIRONMENT.
- EXISTING NATIVE VEGETATION SHALL BE MAINTAINED BY TRIMMING AND REMOVAL OF SPECIES CONSISTENT WITH HIGH FIRE RESISTANCE. TRIMMING SHALL NOT EXCEED 15% OF THE PLANT CANOPY. TRIMMING SHALL BE MAINTAINED TO MAINTAIN THE PLANT'S NATURAL FORM AND CHARACTERISTICS. PLANTS IN ZONE C SHALL BE SPACED APPROPRIATELY. SPECIES SELECTION SHOULD BE BASED UPON THE FIRE MODIFICATION PLAN REFERENCE. OTHER SPECIES MAY BE UTILIZED SUBJECT TO APPROVAL.
- GENERAL SPACING FOR EXISTING NATIVE SHRUBS OR GROUPS OF SHRUBS IS 16 FEET BETWEEN CANOPIES.
- GENERAL SPACING FOR EXISTING NATIVE TREES OR GROUPS OF TREES IS 30 FEET BETWEEN CANOPIES.

LANDSCAPE MAINTENANCE SCHEDULE

THE PROPERTY OWNER AGREES TO BE RESPONSIBLE FOR THE MAINTENANCE OF THE FUEL MODIFICATION PLAN AS DETAILED HEREIN. INSPECTIONS OF FUEL MODIFICATION REQUIREMENTS SHALL BE CONDUCTED BY THE CITY OF AGUILA HILLS PUBLIC WORKS DEPARTMENT. THE MAINTENANCE OF THE FUEL MODIFICATION PLAN SHALL BE MAINTAINED TO THE APPROPRIATE PLANT MATURITY PER AN APPROVED PLAN. PLANTS SHALL BE MAINTAINED TO THE APPROPRIATE PLANT MATURITY PER AN APPROVED PLAN.

PLANT NAME	MATURE	DATE
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PLANT NAME	MATURE	DATE	SPACING
TREES			
1	QUERCUS AGNIFOLIA	24" @ 10' x 10'	30' (AT 10 YRS)
2	CESTRUM PARVIFLORA	24" @ 10' x 10'	30' (AT 10 YRS)
3	PLATANUS X ACERIFOLIA	24" @ 10' x 10'	30' (AT 10 YRS)
4	MAHONIA PARVIFLORA	24" @ 10' x 10'	40' (AT 10 YRS)
5	ADONISYSSIS ANDRACINA	24" @ 10' x 10'	18' (75% OF 20')
6	CESTRUM PARVIFLORA	24" @ 10' x 10'	18' (75% OF 20')
7	WESTERN RED CEDAR	24" @ 10' x 10'	30' (AT 10 YRS)

SHRUBS & GROUND COVERS

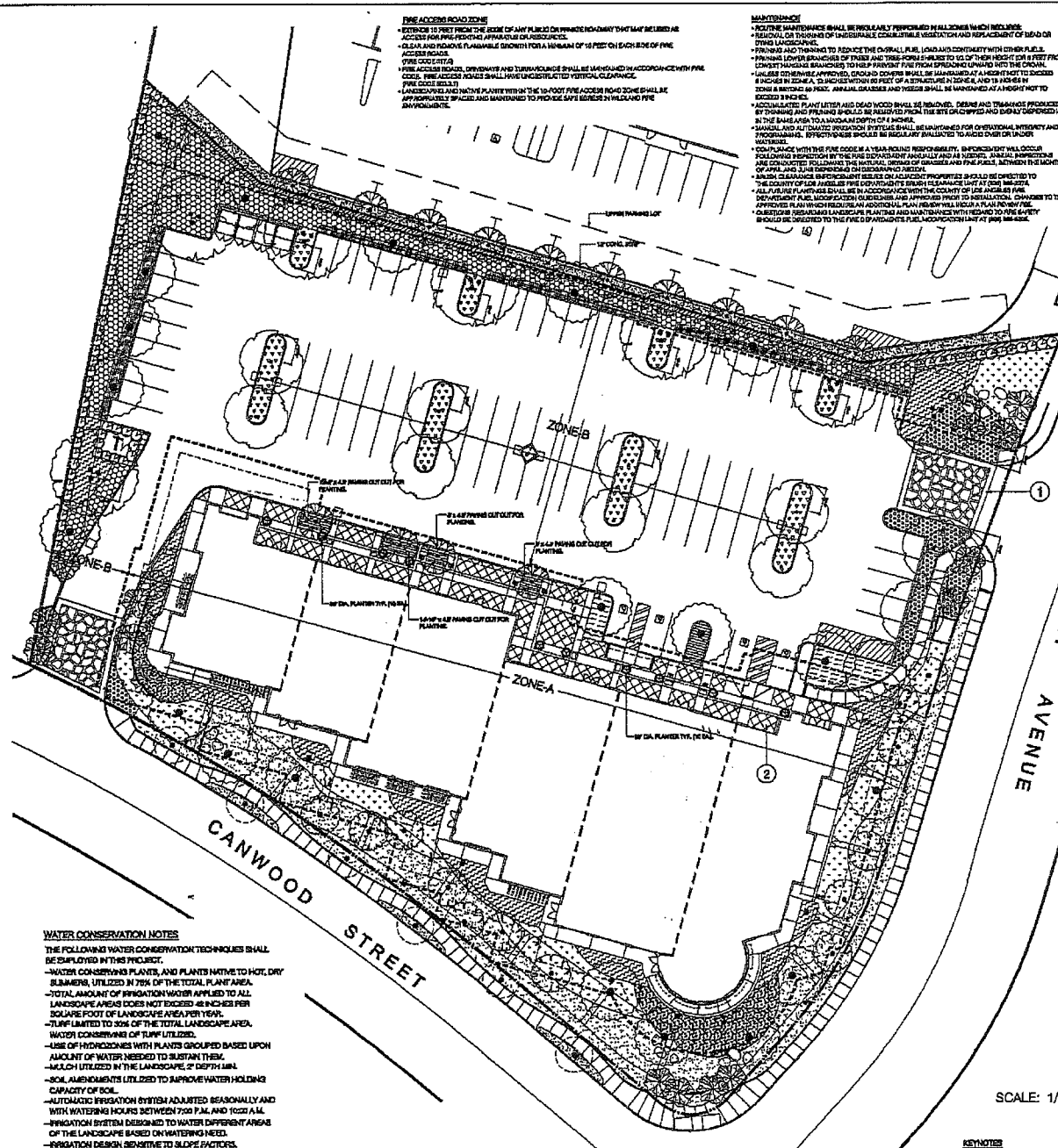
PLANT NAME	MATURE	DATE	COMMENT
1	ALICE ARBORESCENS	8" @ 10' x 10'	NATIVE
2	PROSTROTAPHYLLON	8" @ 10' x 10'	NATIVE
3	PENTSTEMON	8" @ 10' x 10'	NATIVE
4	ADONISYSSIS	8" @ 10' x 10'	NATIVE
5	VERBENA	8" @ 10' x 10'	NATIVE
6	VERBENA	8" @ 10' x 10'	NATIVE
7	VERBENA	8" @ 10' x 10'	NATIVE
8	VERBENA	8" @ 10' x 10'	NATIVE
9	VERBENA	8" @ 10' x 10'	NATIVE
10	VERBENA	8" @ 10' x 10'	NATIVE
11	VERBENA	8" @ 10' x 10'	NATIVE
12	VERBENA	8" @ 10' x 10'	NATIVE
13	VERBENA	8" @ 10' x 10'	NATIVE
14	VERBENA	8" @ 10' x 10'	NATIVE
15	VERBENA	8" @ 10' x 10'	NATIVE
16	VERBENA	8" @ 10' x 10'	NATIVE

VEGETATION

1	YACONIA OVATA	8" @ 10' x 10'
2	YACONIA OVATA	8" @ 10' x 10'
3	YACONIA OVATA	8" @ 10' x 10'
4	YACONIA OVATA	8" @ 10' x 10'
5	YACONIA OVATA	8" @ 10' x 10'
6	YACONIA OVATA	8" @ 10' x 10'
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30	YACONIA OVATA	8" @ 10' x 10'

KEYNOTES

- STANDARD CONCRETE STONE PATTERN PAVING WITH BANDING.
- COLORED CONCRETE STONE FRONT SPECIAL PAVING WITH TEXTURED FIELD AND SMOOTH BANDING.



WATER CONSERVATION NOTES

- THE FOLLOWING WATER CONSERVATION TECHNIQUES SHALL BE EMPLOYED IN THIS PROJECT.
- WATER CONSERVING PLANTS, AND PLANTS NATIVE TO HOT DRY SUMMERS, UTILIZED IN 75% OF THE TOTAL PLANT AREA.
- TOTAL AMOUNT OF IRRIGATION WATER APPLIED TO ALL LANDSCAPE AREAS DOES NOT EXCEED 48 INCHES PER SQUARE FOOT OF LANDSCAPE AREA PER YEAR.
- TURF LIMITED TO 20% OF THE TOTAL LANDSCAPE AREA.
- WATER CONSERVING TURF UTILIZED.
- USE OF HYDROZONES WITH PLANTS GROUPED BASED UPON AMOUNT OF WATER NEEDED TO SUSTAIN THEM.
- MULCH UTILIZED IN THE LANDSCAPE, 2" DEPTH MIN.
- SOIL AMENDMENTS UTILIZED TO IMPROVE WATER HOLDING CAPACITY OF SOIL.
- AUTOMATIC IRRIGATION SYSTEM ADJUSTED SEASONALLY AND WITH WATERING HOURS BETWEEN 7:00 P.M. AND 10:00 A.M.
- IRRIGATION SYSTEM DESIGNED TO WATER DIFFERENT AREAS OF THE LANDSCAPE BASED ON WATERING NEED.
- IRRIGATION DESIGN SENSITIVE TO SLOPE FACTORS.
- RECOMMENDATIONS GIVEN FOR ANNUAL IRRIGATION SCHEDULE.

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DALE POE REAL ESTATE GROUP
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5501 DERRY STREET
AGOURA HILLS, CALIFORNIA

PLANTING PLAN

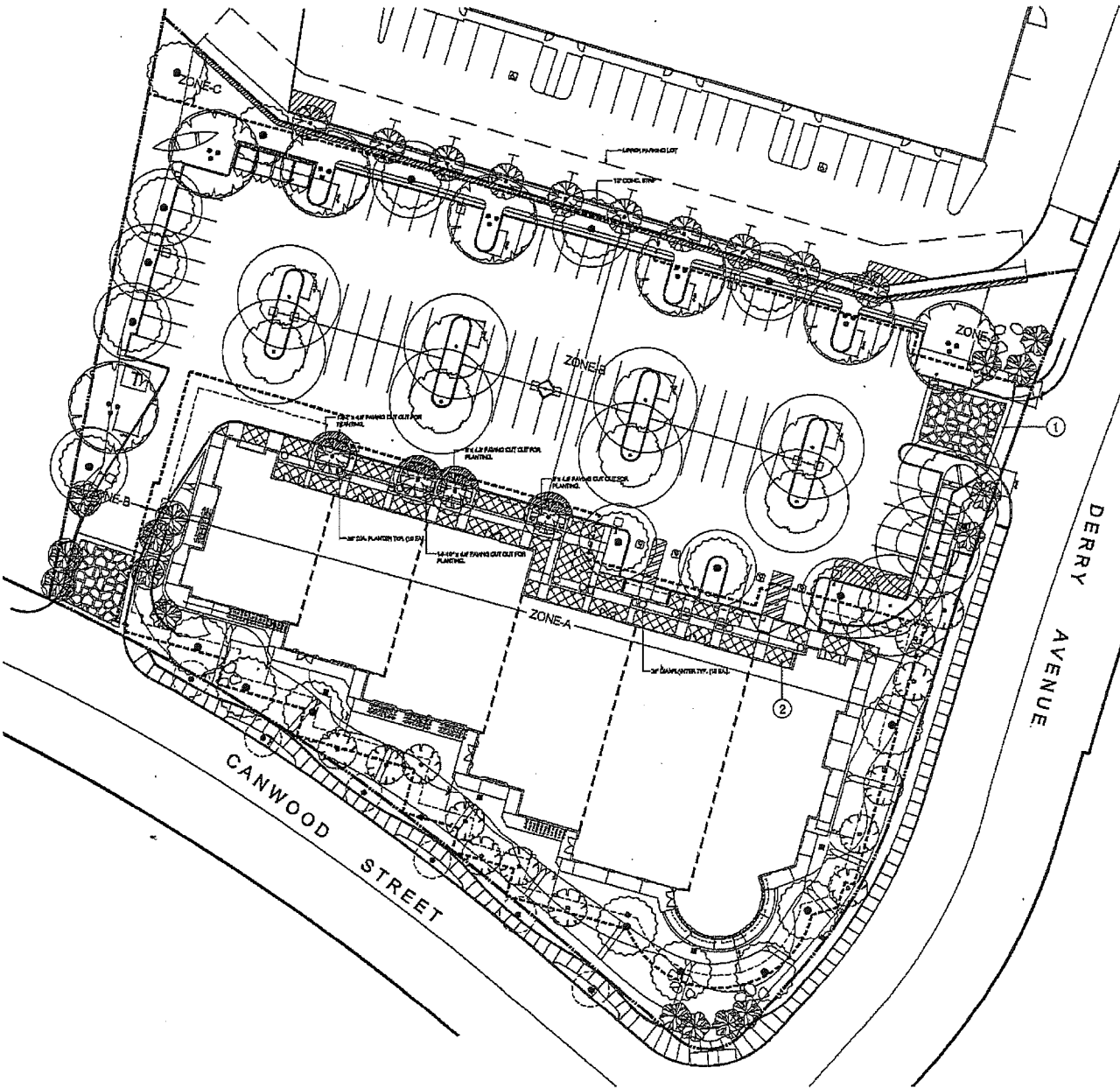
DATE	BY	REVISIONS

LP-1

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PLANTING LEGEND

TREES	SIZE & QTY	CANOPY SIZE
QUERCUS AGRIFOLIA	48" BOX 7 EA.	35' (AT 15 YRS)
LIVE OAK COAST		
PLATANUS X ACERIFOLIA	24" BOX 21 EA.	30' (AT 15 YRS)
LONDON PLANIE TREE		
LILMUS PARVIFOLIA	24" BOX 11 EA.	40' (AT 15 YRS)
CHINESE EVERGREEN ELM		
LAGERSTROEMIA INDICA	24" BOX 14 EA.	19' (75% OF 25)
GRAPE HYRTILE		
CERIS OCCIDENTALIS	24" BOX 12 EA.	15' 6" (75% OF 16)
WESTERWED BUD		

LANDSCAPE TABULATIONS

-TOTAL PARKING LOT AREA	: 34,048 SQ.FT.
-50% OF PARKING AREA TO BE COVERED BY TREE CANOPY REQUIRED	: 17,022 SQ.FT.
-TOTAL TREE CANOPY AREA PROVIDED	: 13,842 SQ.FT.
-% TREE CANOPY COVERAGE PROVIDED	: 81%
-10% OF PARKING AREA TO BE LANDSCAPE	: 3,405 SQ.FT.
-TOTAL LANDSCAPE IN PARKING AREA PROVIDED	: 7,710 SQ.FT.
-% PARKING AREA LANDSCAPED	: 23%

- WATER CONSERVATION NOTES**
- THE FOLLOWING WATER CONSERVATION TECHNIQUES SHALL BE EMPLOYED IN THIS PROJECT:
 - WATER CONSERVING PLANTS, AND PLANTS NATIVE TO HOT, DRY SUMMERS, UTILIZED IN 70% OF THE TOTAL PLANT AREA
 - TOTAL AMOUNT OF IRRIGATION WATER APPLIED TO ALL LANDSCAPE AREAS DOES NOT EXCEED 42 INCHES PER SQUARE FOOT OF LANDSCAPE AREA PER YEAR.
 - TURF LIMITED TO 30% OF THE TOTAL LANDSCAPE AREA.
 - WATER CONSERVING OF TURF UTILIZED.
 - USE OF HYDRONAZONE WITH PLANTS GROUPED BASED UPON AMOUNT OF WATER NEEDED TO SUSTAIN THEM.
 - MULCH UTILIZED IN THE LANDSCAPE, 2" DEPTH MIN.
 - SOIL AMENDMENTS UTILIZED TO IMPROVE WATER HOLDING CAPACITY OF SOIL.
 - AUTOMATIC IRRIGATION SYSTEM ADJUSTED SEASONALLY AND WITH WATERING HOURS BETWEEN 7:00 P.M. AND 10:00 A.M.
 - IRRIGATION SYSTEM DESIGNED TO WATER DIFFERENT AREAS OF THE LANDSCAPE BASED ON WATERING NEED.
 - IRRIGATION DESIGN SENSITIVE TO SLOPE FACTORS.
 - RECOMMENDATIONS GIVEN FOR ANNUAL IRRIGATION SCHEDULE.



SCALE: 1/16" = 1'-0"

OWNER / DEVELOPER
AGOURA BUSINESS CENTER WEST, LLC
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AGOURA HILLS, CA 91301
(949) 853-2832
APN - 2043-012-022
2043-012-027



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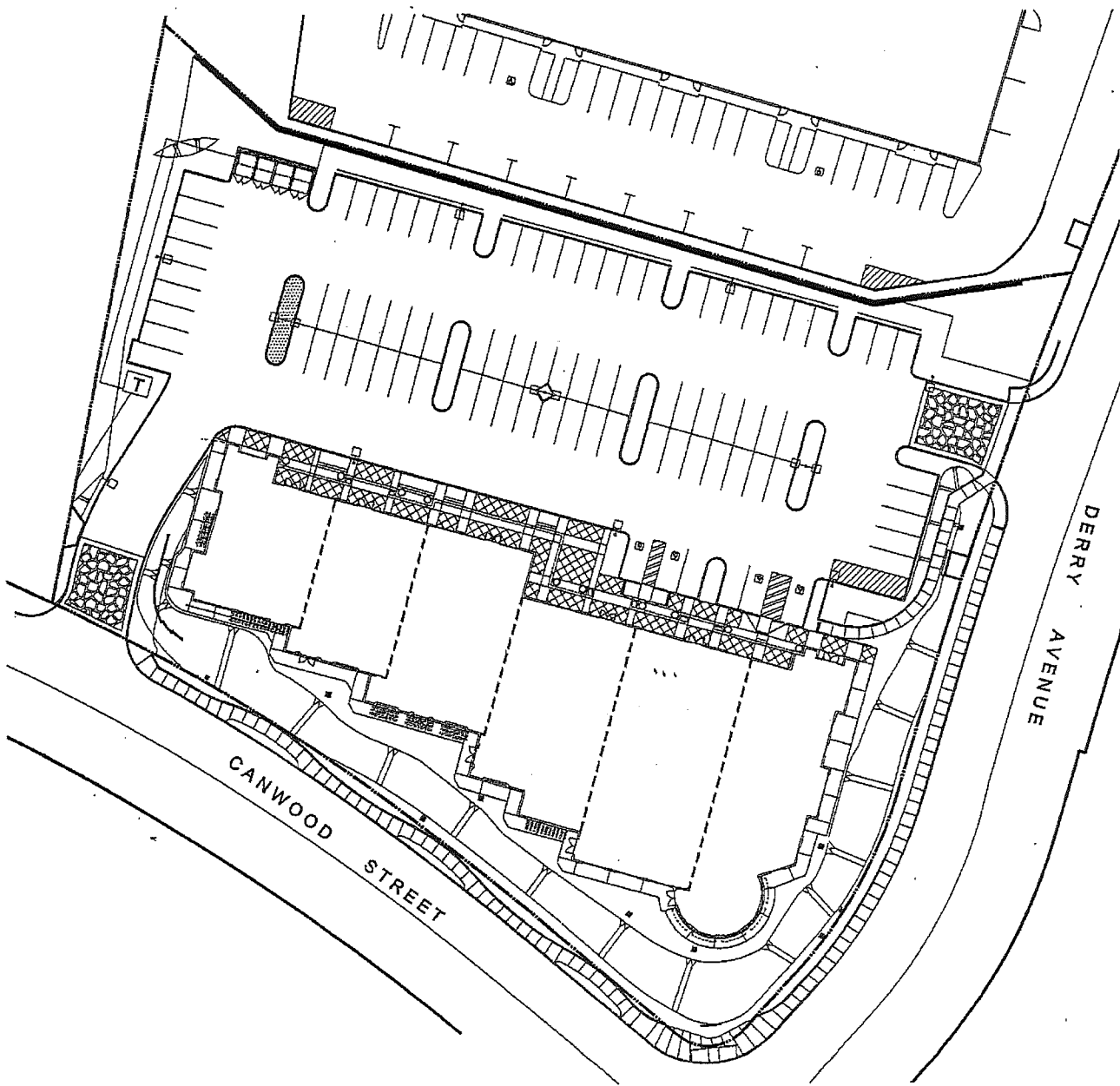
DALE POE REAL ESTATE GROUP
AGOURA BUSINESS CENTER WEST
5301 DERRY STREET
AGOURA HILLS, CALIFORNIA

SHADING PLAN

DATE	BY	CHKD	APPROVED
02-24-17	DALE POE		
03-10-17	DALE POE		
03-10-17	DALE POE		

DATE: 02-24-17
PROJECT: 02-130-00
SHEET: LP-2

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- LANDSCAPE TABULATIONS**
- TOTAL PARKING LOT AREA : 94,567 SQ.FT.
 - 15% OF PARKING AREA TO BE LANDSCAPE : 5,165 SQ.FT.
 - TOTAL LANDSCAPE IN PARKING AREA PROVIDED : 7,710 SQ.FT.
 - % PARKING AREA LANDSCAPED : 22%

SCALE: 1/16" = 1'-0"

NORTH

OWNER/DEVELOPER
 BRAUN GOLF
 AGOURA BUSINESS CENTER WEST, LLC
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 AGOURA HILLS, CA 91212
 (914) 884-2111
 APN - 2048-012-022
 - 2048-012-027



PARKING AREA LANDSCAPE CALCULATION PLAN

AREA	DATE	REVISION

TITLE: _____
 DRAWING NO.: _____
 JOB NO.: DEC-22-08

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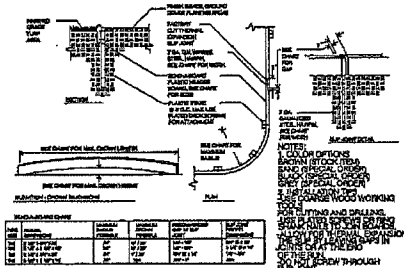
DALE POE REAL ESTATE GROUP
AGOURA BUSINESS CENTER WEST
 5301 DERRY AVENUE
 AGOURA HILLS, CALIFORNIA

WARE MALCOMB
 LSC 00017897
 18600 AGOURA AVENUE SUITE 100
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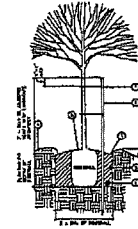
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LANDSCAPE PLANTING NOTES

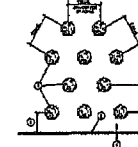
1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES FOR THE COMPLETE INSTALLATION AS DESCRIBED BY THE LANDSCAPE DRAWINGS.
2. ANY DEVIATION FROM THE PLAN IS TO HAVE PRIOR WRITTEN APPROVAL BY THE OWNER OR HIS REPRESENTATIVE.
3. THE LANDSCAPE CONTRACTOR IS TO REMOVE ALL WEEDS AND OR GRASSES (INCLUDING THE ROOTS) EXISTING IN THE PROPOSED GROUND COVER AREA.
4. THE PROPOSED GROUND COVER AREA SHALL RECEIVE THE PRE-EMERGENT HERBICIDE SURFLAN 75W PER MANUFACTURER'S INSTRUCTIONS. APPLICATION OF THIS HERBICIDE SHALL BE DONE BY PERSONNEL LICENSED TO HANDLE AGRICULTURAL CHEMICALS.
5. ROUGH GRADING OTHER THAN THAT NOTED ON THE LANDSCAPE FINISH GRADING IS THE RESPONSIBILITY OF THE LANDSCAPE DRAWINGS IS BY THE GENERAL CONTRACTOR FINISH GRADING WILL CONSIST OF RACKING ALL AREAS TO A SMOOTH GRADE, LOOSENING TO THE SOIL TO A DEPTH OF 6" AND REMOVING ALL ROCKS OR CLODS OF 2" DIAMETER IS INCLUDED. FINISH GRADE IS TO BE 2" BELOW TOP OF ADJACENT CURBS AND SIDEWALKS.
6. ALL LANDSCAPE AREAS ARE TO RECEIVE AN EVEN APPLICATION OF 8 CUBIC YARDS OF NITROGEN MINERALIZED STABILIZED WOOD SAWDUST, 30 POUNDS OF 8N-20P-20K FERTILIZER, 10 LB. OF SOIL SULFUR FOR EACH 1,000 SQUARE FEET. THE ABOVE AMENDMENTS ARE TO BE INCORPORATED UNIFORMLY INTO THE TOP 6" OF SOIL.
7. ALL ROCK OR UNBROKEN SOIL CLODS OVER 1" IN DIAMETER BROUGHT TO THE SURFACE ARE TO BE REMOVED FROM THE SITE.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORTICULTURAL SOILS FERTILITY REPORT PRIOR TO SOIL PREPARATION AND PLANT INSTALLATION. SOIL CONDITIONING AMENDMENTS AND PLANTING BACKFILL MIXES SHALL BE IN ACCORDANCE TO SOIL AND PLANT LAB RECOMMENDATIONS. SOIL AND PLANT LAB: (714)-282-8777, 1694 N. MAIN STREET, ORANGE, CA 92667
9. GROUNDCOVERS ARE TO BE PLANTED SO THAT AFTER SETTLING, THE CROWN OF THE THE PLANT IS EVEN WITH FINISH GRADE, ROOTS FULLY COVERED WITH SOIL AND FIRMED.
10. WATERING OF PLANTS IS TO TAKE PLACE IMMEDIATELY AFTER PLANTING.
11. MULCH ALL SHRUB AND GROUNDCOVER AREAS WITH A 1" LAYER OF 1/2" TO 3/4" REDWOOD BARK.
12. AT THE COMPLETION OF ALL PLANTING OPERATIONS, THE PREMISES ARE TO BE LEFT NEAT AND CLEAN. ALL SURPLUS MATERIALS, NURSERY TAGS AND WASTE ARE ARE TO BE REMOVED FROM THE SITE.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN ALL LANDSCAPE AREAS FOR A PERIOD OF THIRTY CALENDAR DAYS FROM THE DATE OF COMPLETION, ESTABLISHED BY THE OWNER OR HIS REPRESENTATIVE. ALL AREAS ARE TO BE KEPT WELL WATERED, FREE OF GRASSES AND TRASH DURING THIS MAINTENANCE PERIOD.
14. AN APPLICATION OF FERTILIZER (16% NITROGEN, 6% PHOSPHORIC, 8% POTASH) IS TO BE MADE JUST PRIOR TO THE COMPLETION OF THE MAINTENANCE PERIOD, OR AT 30 DAYS INTERVALS IF MAINTENANCE PERIOD IS GREATER THAN 30 DAYS.
15. ALL TREES, SHRUBS AND PLANT MATERIAL (OTHER THAN FLATTED MATERIAL) LESS THAN 1/2 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 MONTH; 1/2 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS. ALL MATERIAL LARGER THAN 1/2 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR.



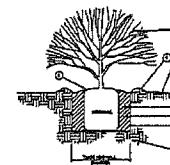
4 PLASTIC EDGING
SCALE: 1/8" = 1'-0"



1 TREE PLANTING
SCALE: 1/8" = 1'-0"



2 SHRUB & GROUNDCOVER SPACING
SCALE: 1/8" = 1'-0"



3 SHRUB PLANTING
SCALE: 1/8" = 1'-0"

WARE MALCOMB
LANDSCAPE ARCHITECTS
1000 S. GARDEN STREET
SANTA ANA, CALIFORNIA 92705
(714) 244-1111

50
THE QUALITY ASSURANCE PROGRAM
FOR THE CONSTRUCTION INDUSTRY

DALE POE REAL ESTATE GROUP
AGOURA BUSINESS CENTER WEST
5501 DERRY STREET
AGOURA HILLS, CALIFORNIA

PLANTING DETAILS

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LP-4



OWNER: DEVELOPER
8800 SULLY
AGOURA BUSINESS CENTER WEST, LLC
3500 SULLY AVENUE, SUITE 100
AGOURA HILLS, CALIFORNIA 91301
(714) 881-1227
APR - 2018-012-022
- 2018-012-027

IRRIGATION NOTES:

1. ALL IRRIGATION WORK SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE WORK.

2. THE DESIGN IS SHOWN ASSUMING ALL PIPING, VALVES, EQUIPMENT, ETC. IS SHOWN WITHIN FINISHED AREAS. FOR DESIGN CLARIFICATION ONLY AND SHALL BE RELOCATED IN THE FINISHED AREAS AS NECESSARY AS TO CONFORM WITH THE FINISHED SURFACE LOCATIONS. ALL IRRIGATION SHALL BE A MINIMUM OF 2" FROM THE EDGE OF CURBS, WALLS, AND/OR OTHER FINISHED AREAS.

3. THE CONTRACTOR SHALL FLUSH AND INSULATE ALL PIPING PRIOR TO OPTIMAL PERFORMANCE. THIS SHALL INCLUDE PROTECTING THE FLOW CONTROL VALVE WHICH TO AVOID THE OPTIMAL OPERATING PRESSURE FOR EACH ZONE AND INSTALLATION OF PRESSURE COMPENSATING DEVICES WHERE NECESSARY.

4. THE IRRIGATION CONTRACTOR SHALL COORDINATE IRRIGATION WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS. POSITION LOCATIONS OF PIPES, DEVICES, DISCREET WALLS, UNDER PANELS, STRUCTURES, ETC. ALL PIPING UNDER FINISHED AREAS SHALL BE INSTALLED PRIOR TO FINISH.

5. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT WITHIN FIVE (5) DAYS PRIOR TO COMMENCEMENT OF WORK TO LOCATE AND MARK ALL EXISTING UTILITIES. THE IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AND FLOW RATES PRIOR TO CONNECTION AND REPORT TO THE OWNER'S REPRESENTATIVE ANY DIFFERENCES THAT WOULD REQUIRE CHANGES TO THE SYSTEM DESIGN PRIOR TO CONSTRUCTION.

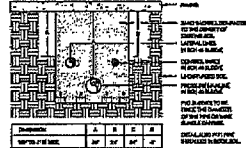
6. MANUAL IRRIGATION SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR SHALL SUBMIT ALL NECESSARY PERMITS.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH AND VERIFYING ACTUAL LOCATION AND REQUIREMENTS FOR ALL IRRIGATION SYSTEMS AND EQUIPMENT TO BE LOCATED UNDER THIS CONTRACT.

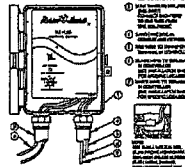
8. ALL PIPING AND FITTINGS SHALL BE INSTALLED NORMAL SERVICE. SOLVENT WELD SHALL BE USED ON THE FINISHED SIDE OF THE JOINT AND BE INSTALLED ON THE NON-PRESSURE (LATERAL) SIDE OF THE JOINT WHERE NECESSARY.

9. ALL PIPING LATERAL PIPING TO BE SHOWN ON PLAN SHALL BE 2" DIA.

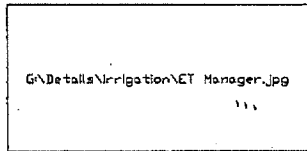
10. CONTRACTOR TO LOCATE EXIST. WATER MAINS AND CONNECT TO THE PROPOSED IRRIGATION SYSTEM. IRRIGATION SYSTEMS ARE TO BE INSTALLED AS SHOWN ON THE PLAN AND IN ACCORDANCE WITH THE DESIGN AND REQUIREMENTS OF THE LANDSCAPE ARCHITECT, MANUAL AND OTHER APPLICABLE APPLICABLE STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.



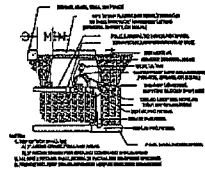
1. PIPE INSTALLATION



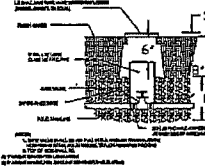
10. POSTURE SENSOR AS-UP



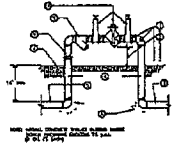
11. WEATHER-SMART IRRIGATION SYSTEM



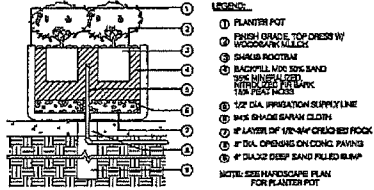
4. REMOTE CONTROL VALVE



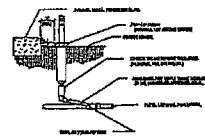
7. GATE VALVE



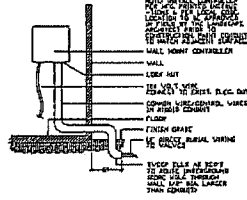
7. BACKFLOW DEVICE



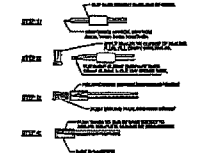
8. PLANTER POT



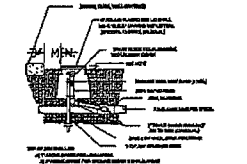
1. DRIPLINE HEAD



3. WALL MOUNT CONTROLLER



4. PIPE CONNECTIONS



3. QUICK-COUPLER VALVE

- LEGEND:**
- 1 PLANTER POT
 - 2 FINISH GRADE TOP DRESS W/ WOODCHIP MULCH
 - 3 SHARKS ROOTING
 - 4 BACKFILL W/ 2" DIA SAND
 - 5 2" DIA IRRIGATION SUPPLY LINE
 - 6 1/2" DIA. IRRIGATION SUPPLY LINE
 - 7 2" DIA. OPENING ON CONC. PAVING
 - 8 2" DIA. DEEP SAND FILLED W/ SAND
 - 9 2" DIA. OPENING ON CONC. PAVING
 - 10 2" DIA. DEEP SAND FILLED W/ SAND
- NOTE: SEE ARCHITECT'S PLAN FOR PLANTER POT

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 ARCHITECTS
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DALE POE REAL ESTATE GROUP
AGOURA BUSINESS CENTER WEST
 CENTER WEST
 5301 DERRY STREET
 AGOURA HILLS, CALIFORNIA

IRRIGATION DETAILS

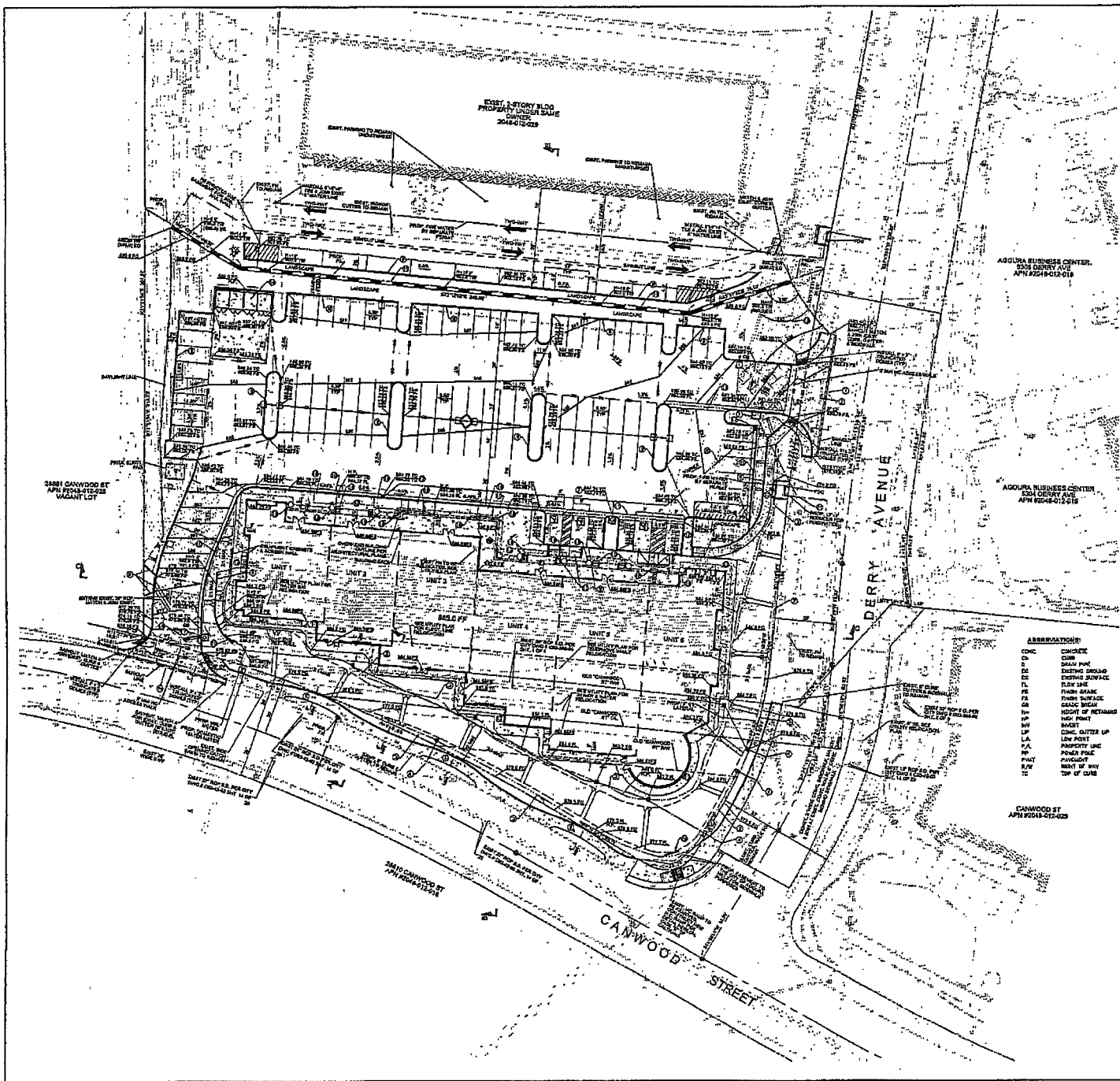
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DATE: 11/11/04
 DRAWN BY: JMB
 CHECKED BY: JMB
 JOB NO: 04-16-04

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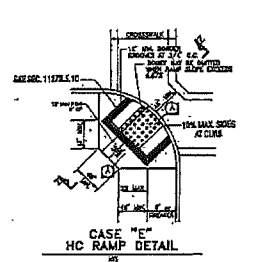
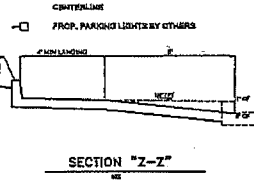
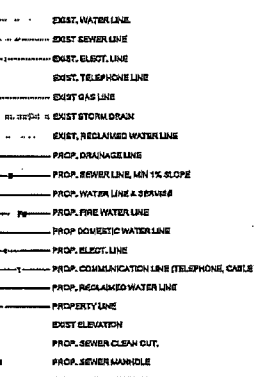
APN - 2048-012-022
 - 2048-012-022





- CONTINUED FROM SHEET**
1. REMOVE AND REGRADE EXISTING PAVED DRIVEWAY SECTION, 4' A.D. ON FALL LINE, DRAIN RECOMMENDED BY THE SOLE DESIGNER.
 2. CONSTRUCT COMMERCIAL DRIVEWAY APPROACH PER A.P.M.A. STD 1104, TYPE C, 4" TRUCK POLE, LOCATED WITHIN 20' BUFFER.
 3. CONSTRUCT 2' WIDE GRASS LANE 4' DEEP DRIVE.
 4. CONSTRUCT PARALLEL DRIVEWAY PER A.P.M.A. STD. PLAN 1602, 24" x 18" INLET.
 5. CONSTRUCT 1' WIDE GRASS DRIVEWAY WITH 4" SLOPE.
 6. CONSTRUCT 2' WIDE GRASS DRIVEWAY WITH 4" SLOPE.
 7. CONSTRUCT 2' WIDE GRASS DRIVEWAY WITH 4" SLOPE.
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 18. CONSTRUCT 2' WIDE GRASS DRIVEWAY WITH 4" SLOPE.
 19. CONSTRUCT 2' WIDE GRASS DRIVEWAY WITH 4" SLOPE.
 20. CONSTRUCT 2' WIDE GRASS DRIVEWAY WITH 4" SLOPE.

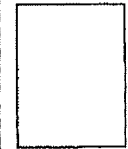
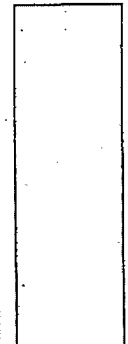
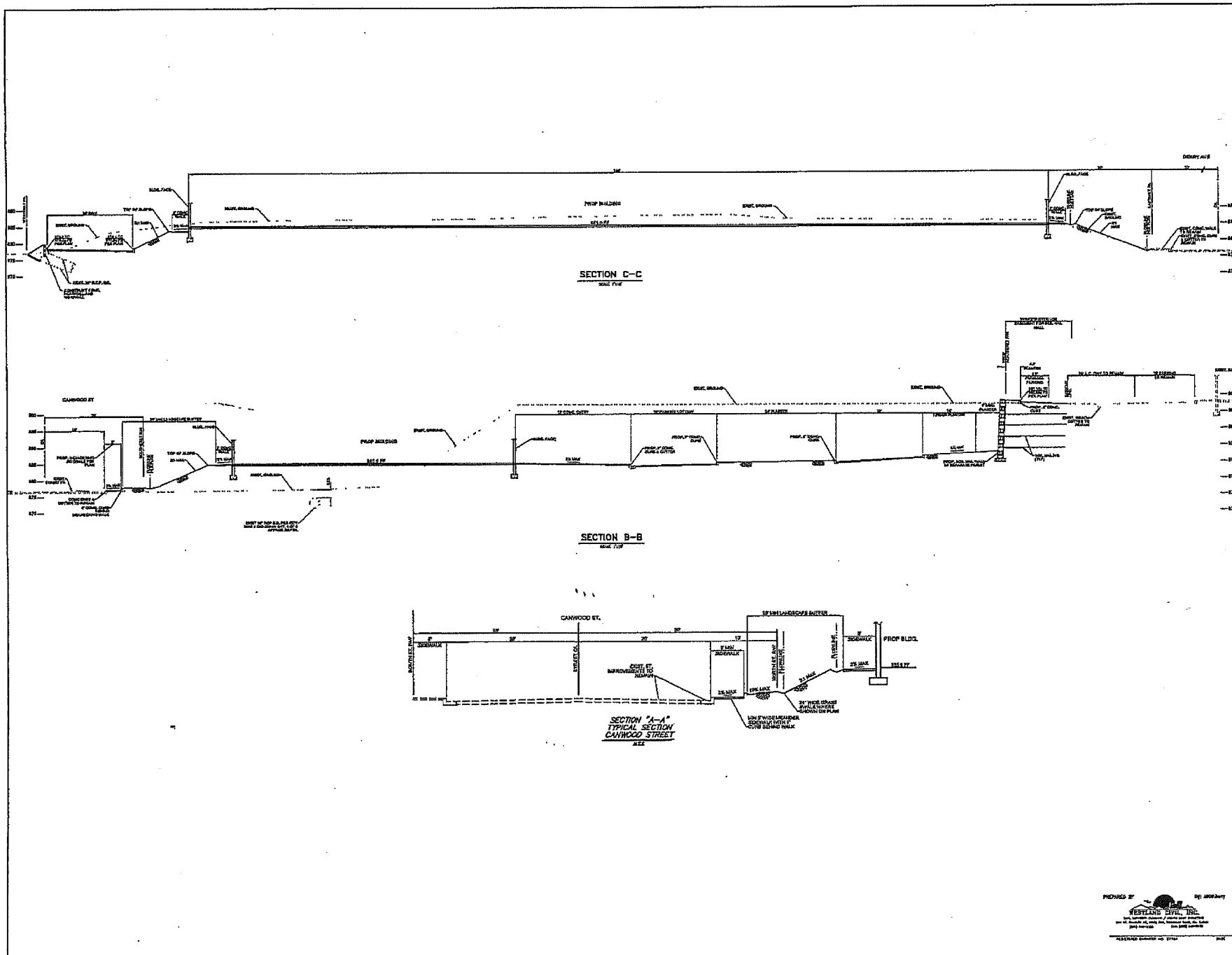
- NOTES:**
1. SEE UTILITY LOCATION PLAN FOR AWARD/ADJUST OF 42" DIA. 12" DEEP 12" DIA. 12" DEEP.
 2. NO 12" TRUCK POLES ON CONSTRUCTION SITE.
- LEGEND:**
- EXIST. WATER LINE
 - EXIST. SEWER LINE
 - EXIST. ELEC. LINE
 - EXIST. TELEPHONE LINE
 - EXIST. GAS LINE
 - EXIST. STORM DRAIN
 - EXIST. RECLAIMED WATER LINE
 - PROP. DRAINAGE LINE
 - PROP. SEWER LINE, MIN 1% SLOPE
 - PROP. WATER LINE, 2" SPAN#8
 - PROP. FIRE WATER LINE
 - PROP. DOMESTIC WATER LINE
 - PROP. ELEC. LINE
 - PROP. COMMUNICATION LINE (TELEPHONE, CABLE TV)
 - PROP. RECLAIMED WATER LINE
 - PROPERTY LINE
 - EXIST. ELEVATION
 - C.O. PROP. SEWER CLEAN OUT
 - MAN PROP. SEWER MANHOLE
 - EXIST. SEWER MANHOLE
 - CA. CENTERLINE
 - PROP. PARKING LIGHTS BY OTHERS



PROPOSED BY: **WESTLAND CIVIL, INC.**
 10724 JENSEN DRIVE, SUITE 100, AGOURA HILLS, CA 91301
 (818) 891-1111
 www.westlandcivil.com

AGOURA BUSINESS CENTER WEST, LLC
 AGOURA BUSINESS CENTER WEST
 5301 DERRY AVENUE
 AGOURA HILLS, CALIFORNIA

DATE:	
DESIGNED BY:	
CHECKED BY:	
DATE:	

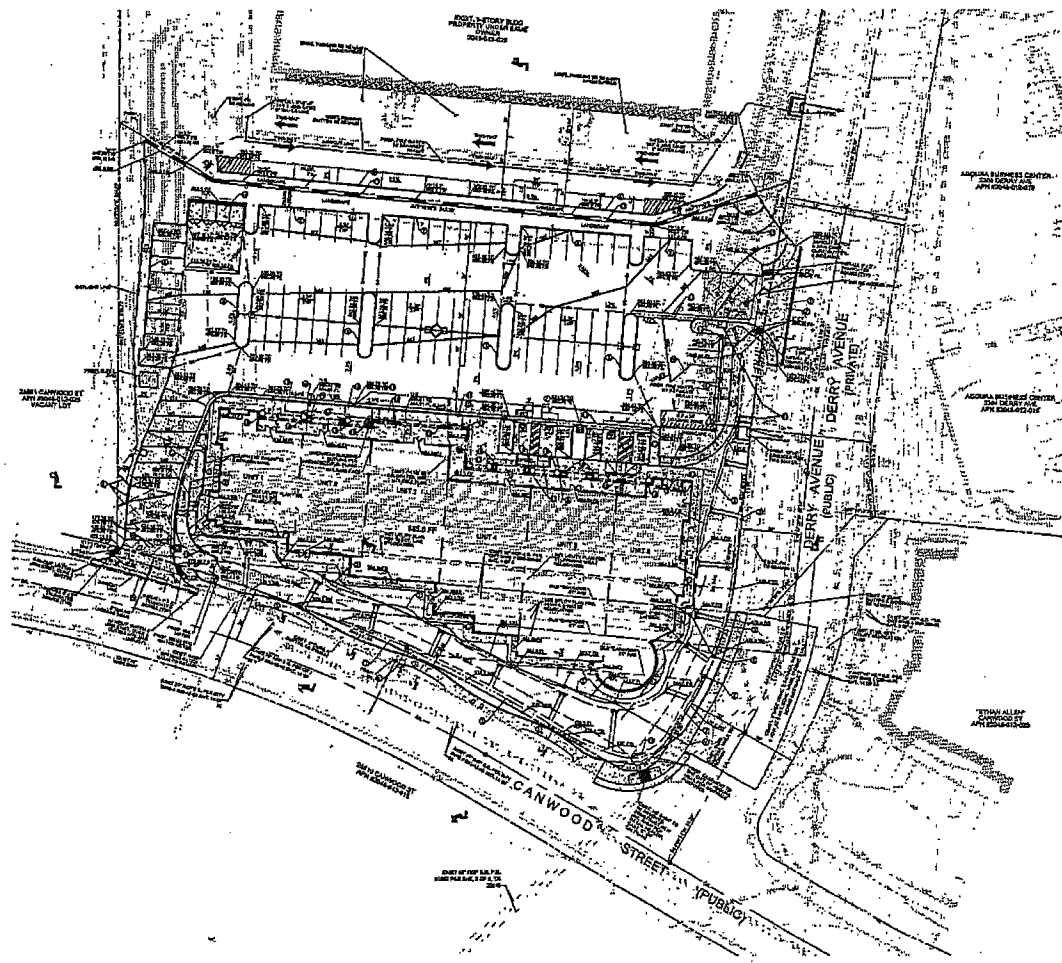


AGOURA BUSINESS CENTER WEST, LLC
AGOURA BUSINESS CENTER WEST
 5301 DERRY AVENUE
 AGOURA HILLS, CALIFORNIA

NO.	DESCRIPTION	DATE

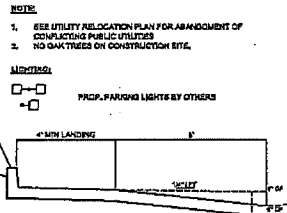
PROVISED BY: [Signature] BY: [Signature]
WESTLAND CIVIL, INC.
INCORPORATED IN CALIFORNIA
 2500 WILSON AVENUE, SUITE 200
 COSTA MESA, CALIFORNIA 92626
 (714) 446-1111
 WWW.WESTLANDCIVIL.COM

DATE PLOTTED	
DRAWN BY	
CHECKED BY	
DATE	

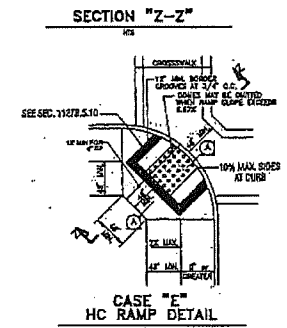


- LEGEND:**
- EXIST. WATER LINE
 - EXIST. SEWER LINE
 - EXIST. ELECT. LINE
 - EXIST. TELEPHONE LINE
 - EXIST. GAS LINE
 - EXIST. STORM DRAIN
 - EXIST. RECLAIMED WATER LINE
 - PROP. DRAINAGE LINE
 - PROP. SEWER LINE, MIN 1% SLOPE
 - PROP. WATER LINE & SERVICE
 - PROP. FIRE WATER LINE
 - PROP. DOMESTIC WATER LINE
 - PROP. ELECT. LINE
 - PROP. COMMUNICATION LINE (TELEPHONE, CABLE TV)
 - PROP. RECLAIMED WATER LINE
 - PROPERTY LINE
 - EXIST. ELEVATION
 - C.O. PROP. SEWER CLEAN OUT
 - SMH PROP. SEWER MANHOLE
 - EXIST. SEWER MANHOLE
 - C.L. CENTERLINE
 - PROP. PARKING LIGHTS BY OTHERS
 - DECORATIVE CONC. PAVEMENT
 - 2:1 FILL SLOPE MAX

- CONSTRUCTION NOTES:**
1. SAWCUT AND REMOVE EXISTING PAVEMENT SECTION, 4" A.C. ON 2" A.B. MIN. OR AS RECOMMENDED BY THE LOCALS BUREAU.
 2. CONSTRUCT COMMERCIAL DRIVEWAY APPROACH PER A.P.W.A. STD 119-1 TYPE C 1/2" TRUCK P.C. AND PEG WITH 3" PAVES, 10-20
 3. GRADE 2" WIDE GRASS LINED 4" DEEP SWALE.
 4. CONSTRUCT PARKWAY DRAIN PER A.P.W.A. STD PLAN 150-2, CASE 18-101.
 5. CONSTRUCT 2" MEANDERING SIDEWALK WITH 4" SLOUGH CURB BEHIND SIDEWALK AND TYPED EDGE PER CITY STANDARDS.
 6. CONSTRUCT CONC. HEADWALL AND SIDEWALL PER CALTRANS STD D 88. 1" MIN. DIA. 4" R.C.P. REMOVE EXIST. CONC. HEADWALL AND SIDEWALL, JOIN EA. 30" R.C.P. WITH NEW 30" R.C.P. TO PROP. HEADWALL.
 7. CONST. 1.5' SIDE OF OPENING CATCH BASIN PER A.P.W.A. 200-1, CONST. RETAINING WALL BY SEPARATE PERMIT, 4' HIGH MAX.
 8. CONST. 4" CONC. CURB.
 9. CONST. 4" CONC. CURB AND GUTTER.
 10. CONST. 2" WIDE CONC. GUTTER.
 11. CONST. 4" WIDE, 4" THICK CONC. EDGEWALK, MOORED TO 4" WIDE AROUND BUILDING.
 12. CONST. 1/2" CONC. RAMP PER STATE TITLE 24 A.D.A. E.T.D.
 13. PROP. TRASH ENCLOSURE PER ARCHITECTURAL PLAN.
 14. CONST. 20' MIN. RETAINING WALL BY SEPARATE PERMIT.
 15. REMOVE EXIST. 24" R.C.P. S.D., SEE UTILITY PLAN.
 16. CONST. 24" R.C.P. S.D. OR 24" DIA. R.C.P.
 17. PROP. TRASH WELL, USE POCKET. SEE LANDSCAPE PLAN.
 18. MONUMENT SIGN PER ARCHITECTURAL PLAN.
 19. INSTALL 12" PVC STORM DRAIN PIPE.
 20. CONSTRUCT DRAIN PIPE TO EXIST. OR
 21. CONST. 2" AC PAVEMENT ON 2" BASE PER SOLE ENGINEER.



- ABBREVIATIONS:**
- CONC. CONCRETE
 - DN DOWN
 - D DRAIN PIPE
 - EG EXISTING GROUND
 - ES EXISTING SURFACE
 - FL FLOW LINE
 - FO FINISH GRADE
 - FS FINISH SURFACE
 - GB GRADE BREAK
 - HG HEIGHT OF RETAINING
 - HP HIGH POINT
 - INV INVERT
 - LP LOW POINT
 - LP CONC. GUTTER LIP
 - P.P. PROPERTY LINE
 - PP POWER POLE
 - PAV PAVEMENT
 - R/W RIGHT OF WAY
 - TO TOP OF CURB



UNDERGROUND SERVICE ALERT

CALL TOLL FREE
1-800-227-2400

TWO WORKING DAYS BEFORE YOU DIG

REV	SYMBOL	DESCRIPTION OF CHANGE	RCR	DATE

PREPARED BY

WESTLAND CIVIL, INC.
10000 Westside Blvd., Suite 200, Westside, CA 91361
(818) 338-1111 FAX (818) 338-1112

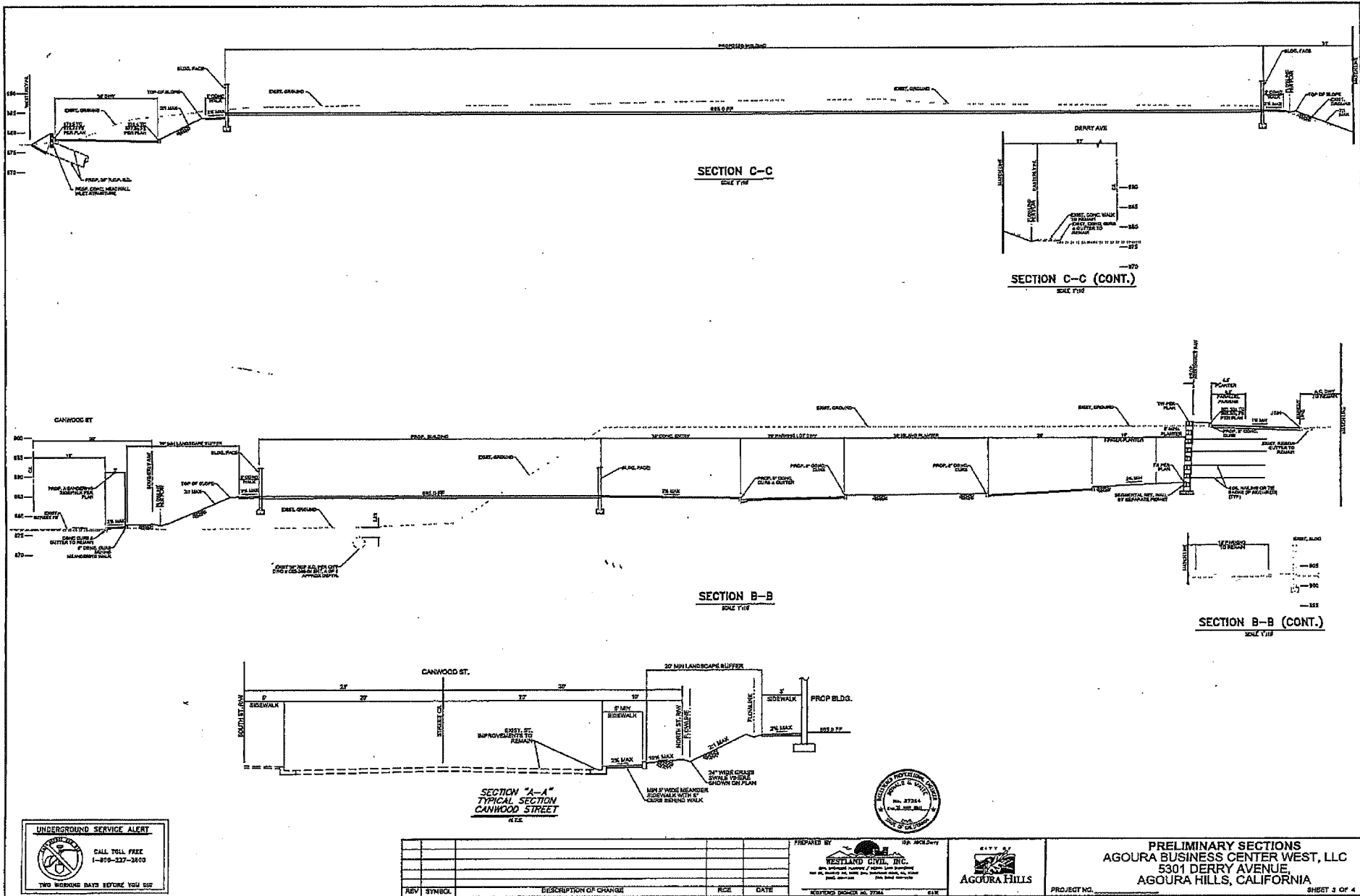
REGISTERED ENGINEER NO. 37261 DATE

CITY OF

AGOURA HILLS

PRELIMINARY GRADING / DRAINAGE PLAN
AGOURA BUSINESS CENTER WEST, LLC
 5301 DERRY AVENUE,
 AGOURA HILLS, CALIFORNIA

PROJECT NO. _____ SHEET 2 OF 4
 01/21/2008



WESTLAND GENERAL NOTES

- WESTLAND ENGINEERING, INC. HAS NOT BEEN RETAINED OR COMPENSATED, AND ASSUMES NO RESPONSIBILITY TO PROVIDE DESIGN CONSTRUCTION ADVISORY SERVICES RELATIVE TO THE CONTRACTOR'S SAFETY PRECAUTIONS, OR TO AGENCIES, METHODS, TECHNIQUES, OR SEQUENCES OF PROCEDURES REQUIRED FOR THE CONTRACTOR TO PROTECT HIS WORK.
- THE LOCATION OF, AND EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES HAS BEEN DETERMINED TO THE BEST OF THE ENGINEER'S ABILITY. BUT HE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ANY EXISTING UTILITIES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY DAMAGE DONE TO EXISTING UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" TOLL FREE AT 1-800-227-2800, TWO DAYS PRIOR TO THE START OF CONSTRUCTION FOR ANY UTILITY LOCATIONS.
- THIS DRAWING, INCLUDING THE DESIGN INCORPORATED HEREIN, IS AN INSTRUMENT OF PROFESSIONAL SERVICE PREPARED FOR USE IN CONNECTION WITH THE PROJECT IDENTIFIED HEREIN UNDER THE CONDITIONS EXISTING IN DECEMBER, 2002. ANY USE, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION OF WESTLAND ENGINEERING, INC. SHALL BE AT THE USER'S SOLE RISK.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE ASSUMED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR HIS SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BELIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL, HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- THE CONTRACTOR TO PROVIDE ABSOLUTE DUST CONTROL ACCORDING TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PAVED WORKS CONSTRUCTION.

PUBLIC UTILITIES / SERVICES

WATER:	LAS VEGAS MUNICIPAL WATER DISTRICT 402 LAS VEGAS ROAD CALABAS, CA 91301 (818) 214-2123
ELECTRICAL:	SOUTHERN CALIFORNIA Edison 389 FOOTBALL DRIVE THOUSAND OAKS, CA 91320 (805) 454-7011
TELEPHONE:	AT&T 1281 KAYHUR ST., ROOM 2201 VAN NUYS, CA 91410 (818) 276-6788
GAS:	SOUTHERN CALIFORNIA GAS CO. 877 SHAMBER RD 284 VALLEY, CA 92681 (951) 620-3964
SEWER:	CITY OF AGOURA HILLS 2061 AGOURA RD AGOURA HILLS, CA (916) 597-2229
CABLE:	TIME WARNER 2511 RIVOLI DR VICTORIA, CA 91229 (805) 477-4423

ABBREVIATIONS:

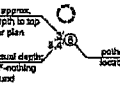
B/V	BACK FLOW VALVE
CONC.	CONCRETE
C/S	C/SIS
D	DRAIN PIPE
EO	EXISTING GROUND
ES	EXISTING SURFACE
FL	FLOOR LINE
FS	FINISH GRADE
FS	FINISH SURFACE
GR	GRADE BREAK
H	HIGHEST OF RETAINING
HP	HIGH POINT
HP	WHIST
HP	CONC. GUTTER UP
L/P	LOW POINT
LP	PRIORITY LINE
P/V	POST INDICATOR VALVE
PP	PROPERTY LINE
P/MT	PAVEMENT
R/W	RIGHT OF WAY
TC	TOP OF CURB

UTILITIES NOTES:

- ALL UTILITIES WITHIN THE CONSTRUCTED AREA TO BE ABANDONED AND OR RELOCATED AS SHOWN.
- EXIST. 36" RCP MAY BE LEFT IN PLACE WITH A STRUCTURAL CAP OR RELOCATED AS SHOWN HEREIN.
- THE RELOCATED UTILITIES ARE BOHAMIAT ONLY, SEE RESPECTIVE UTILITY CO. PLANS FOR CONSTRUCTION DRAWINGS.

LEGEND:

---	EXIST. WATER LINE
---	EXIST. SEWER LINE
---	EXIST. ELECT. LINE
---	EXIST. TELEPHONE LINE
---	EXIST. GAS LINE
---	EXIST. STORM DRAIN
---	EXIST. RECLAIMED WATERLINE
D	PROP. DRAINAGE LINE
S	PROP. SEWER LINE, MIN 1% GLOPE
W	PROP. WATER LINE & SERVICE
FW	PROP. FIRE WATER LINE
DW	PROP. DOMESTIC WATER LINE
E	PROP. ELECT. LINE
T	PROP. COMMUNICATION LINE (TELEPHONE, CABLE TV)
HW	PROP. RECLAIMED WATERLINE
---	PROPERTY LINE
---	EXIST. ELEVATION
C.O.	PROP. SEWER CLEAN OUT
SMH	PROP. SEWER MANHOLE
SMH	EXIST. SEWER MANHOLE
CL	PROP. POTHOLE LOCATION



POTHOLE LOCATION	EXIST. SURFACE ELEV.	POTHOLE DEPTH
1 8" STORM DRAIN	377.24	-4.85' top
2 36" STORM DRAIN LINE	374.17	-1.27' top
3 12" S.P. SEWER LINE	374.16	-3.42' top
4 8" RECLAIM WATER LINE	374.32	-7.23' top (7" depth on 12" base)
5 RECLAIM CONDUITS	374.08	-10.00' top (2.23' top, reclaimed water coming 24"
6 36" STORM DRAIN	375.54	-3.52' top (7" depth on 18" base)
7 12" S.P. STORM DRAIN	375.74	-4.51' top (7" depth on 24" base)
8 12" WATER LINE	374.20	-5.24' top (11" depth on 36" base)
9 RECLAIM WATER, 4" backhoe	375.28	-2.24' top
10 12" S.P. SEWER LINE	373.85	-8.84' top (12" depth on 36" base)
11 12" WATER LINE	377.64	-4.83' top (7" depth, 12" depth to sand bedding, 1' sand
12 12" STORM DRAIN	374.47	-4.24' top (6" depth, 12" depth on 12" base)
13 36" STORM DRAIN	377.43	-8" top (6" depth, 12" depth on 18" base)
14 36" STORM DRAIN	375.53	-2.68' top (7" depth on 18" base)
15 12" WATER LINE	377.42	-3.22' top, 8" depth, 12" depth to sand bedding, 1' sand
16 12" S.P. STORM DRAIN	375.48	-3.17' top (7" depth on 12" base)
17 36" STORM DRAIN	377.58	-2.24' top (7" depth on 18" base)
18 12" WATER LINE	374.25	-2.24' top (7" depth on 12" base)
19 12" WATER LINE	384.42	-2.68' top (7" depth on 12" base)

UNDERGROUND SERVICE ALERT

CALL TOLL FREE
1-800-227-2800

TWO WORKING DAYS BEFORE YOU DIG

REV	SYMBOL	DESCRIPTION OF CHANGE	AGE	DATE

PREPARED BY: **WESTLAND CIVIL, INC.**

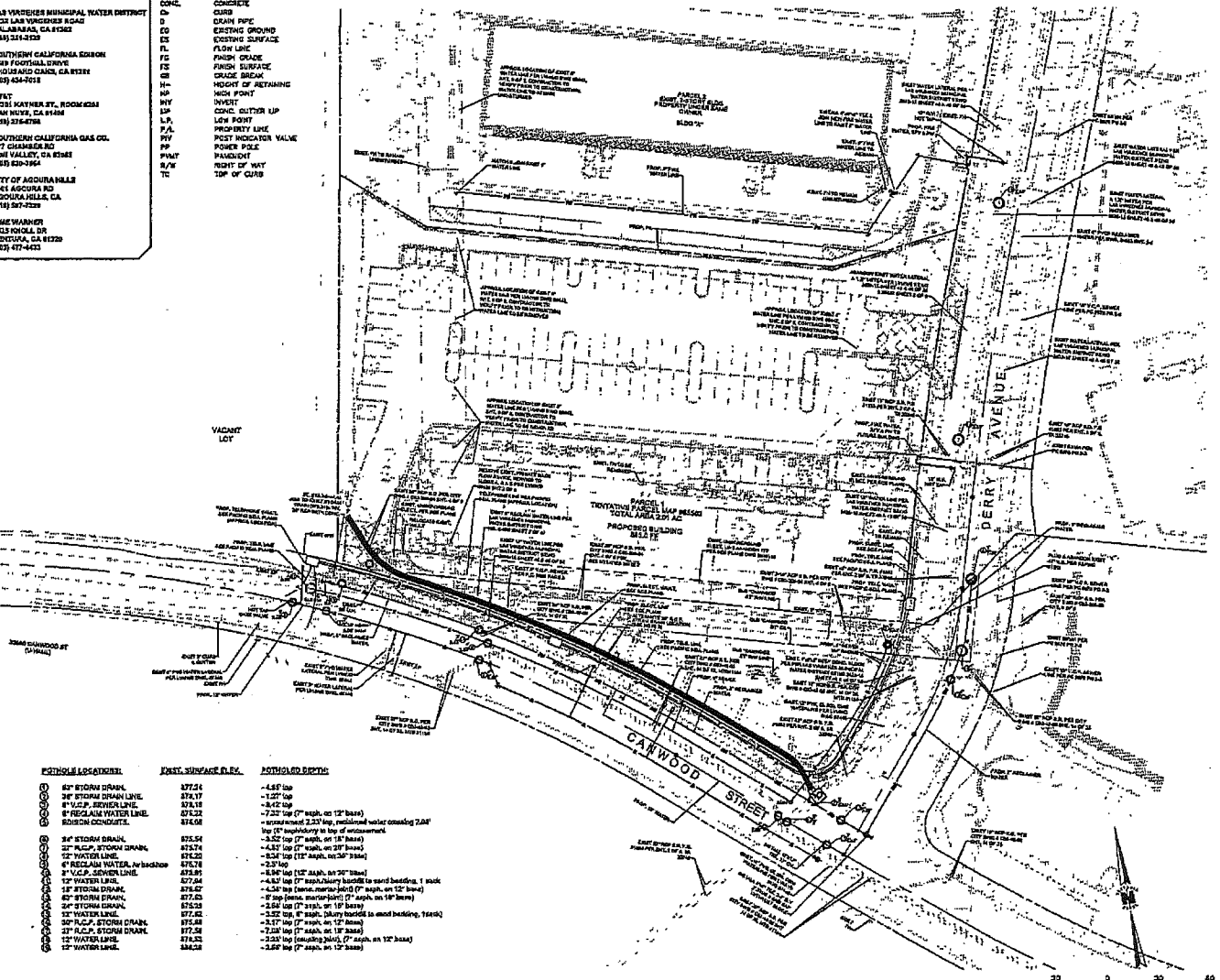
1000 Westland Blvd., Suite 100, Westland, CA 91391
Tel: (818) 214-2123 Fax: (818) 214-2124

REGISTERED DESIGN NO. 2704

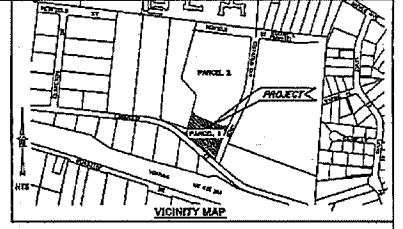
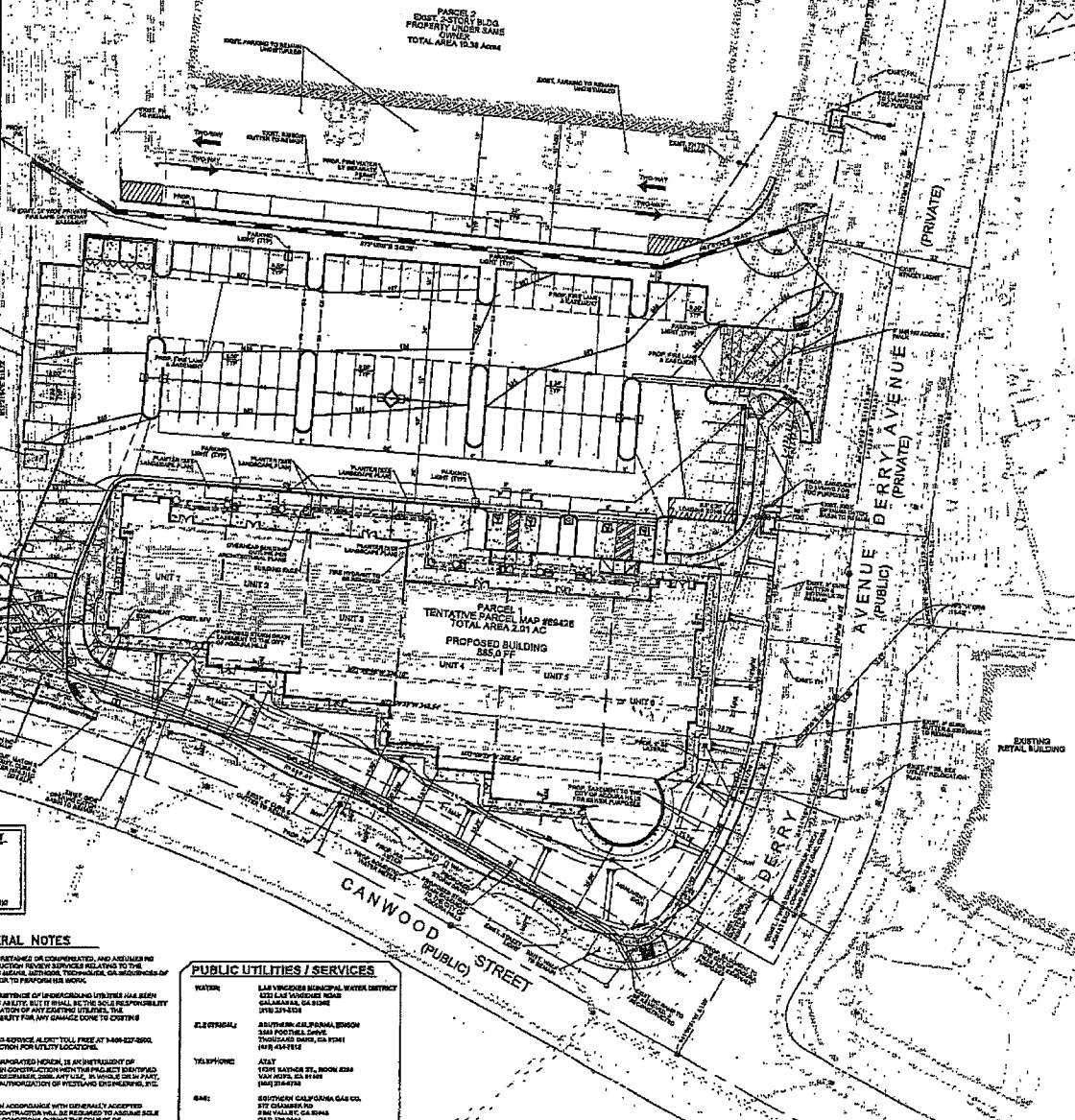
AGOURA HILLS

PRELIMINARY UTILITIES RELOCATION PLAN
5301 DERRY AVE
CITY OF AGOURA HILLS

PROJECT NO. _____ SHEET 4 OF 4
03/17/2003



FOR CONTINUATION SEE SHEET 2



SITE ANALYSIS: PARCEL 10
PROJECT NAME & ADDRESS:
AGOURA BUSINESS CENTER WEST
8301 DERRY AVE, AGOURA HILLS, CA

ONE STORY RETAIL BUILDING
EXIST. LAND USE - VACANT
PROP. LAND USE - RETAIL

EXIST. ZONING / GENERAL PLAN
- CS-30 (C) (Business Park-Manufacturing-Freeway Corridor) AND
- CS-43 (C) (Commercial Retail Service-Freeway Corridor)

PROP. ZONING / GENERAL PLAN - CS-33 (C)
APN - 26410-0202
2046-010-27

PARCEL 10
2.01 AC ±, 267,381 sq. ft.
GROSS BUILDING - 267,381 sq. ft.
BUILDING COVERAGE - 23.84%
PARKING COVERAGE - 5.05% (2.6% ± OR 38.23%
TOTAL LANDSCAPE COVERAGE - 22.87% ± (2.6% ± OR 38.12% ±
OTHER HARDSHIP AREAS - 2669 sq. ft. OR 1.68% ±

TOTAL PARKING REQUIREMENTS (MINIMUM REQUIRED) - 83 spaces
TOTAL PARKING SPACES PROVIDED - 88 spaces
ADA PARKING SPACES (Minimum) - 4 spaces
LOADING / UNLOADING PARKING SPACE - 4 spaces

LEGAL DESCRIPTION:
PAR 26410-0202 PARCEL 10 PART OF THE COUNTY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED BY BOOK 106 PAGES 81 TO 81 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY.

PARCEL 10
LOT 2 OF TRACT NO. 3344, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED BY BOOK 106 PAGES 81 TO 81 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY.

PARCEL 10
THESE PORTIONS OF PARCELS 10 AND 11 IN THE CITY OF AGOURA HILLS, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 106, PAGES 81 THROUGH 81 OF MAPS, IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY.

DISCLAIMER STATEMENT:
THERE ARE NO OAK TREES ON PROPOSED PARCEL 10.

NOTES:
1. SEE COMPOSITE UTILITY RELOCATION PLAN FOR EXIST. & PROPOSED UTILITIES CONSTRUCTION.
2. SEE SHEETS 1 FOR PARCELS 10 & 11 ALL PROPOSED & EXISTING EASEMENTS & LOCATIONS.
3. SEE PRELIMINARY GRADING PLAN FOR SITE GRADING AND SECTIONS.

PARCEL 10
THESE PORTIONS OF PARCELS 10 AND 11 IN THE CITY OF AGOURA HILLS, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 106, PAGES 81 THROUGH 81 OF MAPS, IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY.

PARCEL 10
THESE PORTIONS OF PARCELS 10 AND 11 IN THE CITY OF AGOURA HILLS, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 106, PAGES 81 THROUGH 81 OF MAPS, IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY.

UNDERGROUND SERVICE ALERT

CALL TOLL FREE
1-888-227-2100

TWO WORKING DAYS BEFORE YOU DIG

WESTLAND GENERAL NOTES

1. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ASSUMING RESPONSIBILITY TO PROTECT EXISTING UTILITIES AND SERVICES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
2. THE LOCATION OF AND DEPTHS OF EXISTING UTILITIES HAVE BEEN REVEALED TO THE BEST OF THE ENGINEER'S KNOWLEDGE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ANY UTILITIES NOT REVEALED BY THE CONTRACTOR'S EXISTING UTILITIES SURVEY.
3. THE CONTRACTOR SHALL MAINTAIN AN UNDERGROUND SERVICE ALERT (USA) TOLL FREE AT 1-888-227-2100, TWO DAYS PRIOR TO THE START OF CONSTRUCTION FOR UTILITY LOCATIONS.
4. THIS DRAWING, INCLUDING THE DESIGN INCORPORATED HEREIN, IS AN INSTRUMENT OF PROFESSIONAL SERVICE PREPARED FOR USE IN CONSTRUCTION OF THE PROJECT IDENTIFIED HEREON UNLESS THE CONTRACTOR OR ENGINEER ADVISES OTHERWISE. IT IS VALID IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION OF WESTLAND ENGINEERS, INC. SHALL BEAT THE SERVICE BUREAU.
5. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR ALL SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS RESPONSIBILITY SHALL REMAIN WITH THE CONTRACTOR AND NOT BE DELEGATED TO ANY OTHER PARTY, AND CONSTRUCTION CONTRACTORS WILL BE RESPONSIBLE TO OBTAIN NECESSARY PERMITS, AND FURNISH ADEQUATE PROTECTION FOR ALL UTILITIES, AND TO OBTAIN CONSENT WITH THE PERSONNEL ON THE PROJECT, ACCEPTING LIABILITY ARISING FROM THE CONTRACTOR'S NEGLIGENCE OF THE DESIGN PROFESSIONAL.
6. THE CONTRACTOR TO PROVIDE ADEQUATE SURETY CONTRACT, ACCORDING TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

PUBLIC UTILITIES / SERVICES

NUMBER	UTILITY / SERVICE	CONTACT INFORMATION
ELECTRICAL	L.A.S. WESTLAND ENGINEERING CENTER	1310 S. WILSON ST. SUITE 200 AGOURA HILLS, CA 91301 (818) 271-4338
ELECTRICAL	SOUTHERN CALIFORNIA Edison	3340 WESTERN BLVD TOWERSIDE, CA 91384 (818) 244-1318
TELEPHONE	AT&T	1700 NATION ST., ROOM 233A VAN NUYS, CA 91410 (818) 271-4338
WATER	SOUTHERN CALIFORNIA GAS CO.	1700 NATION ST., ROOM 233A VAN NUYS, CA 91410 (818) 271-4338
SEWER	CITY OF AGOURA HILLS	600 W. BROADWAY ST. AGOURA HILLS, CA (818) 467-7500
WATER	THE WRONGER	2157 PHOENIX BLVD AGOURA HILLS, CA (818) 271-4338

ABBREVIATIONS:

EXISTING WATER LINE	---S---
EXISTING SEWER LINE	---E---
EXISTING ELECTRIC LINE	---L---
EXISTING TELEPHONE LINE	---T---
EXISTING GAS LINE	---G---
EXISTING STORM DRAIN	---SD---
EXISTING RECLAIMED WATER LINE	---RW---
PROP. WATER LINE	---W---
PROP. SEWER LINE	---S---
PROP. ELECT. LINE	---L---
PROP. TELEPHONE LINE (TELEPHONE, CABLE TV)	---T---
PROP. RECLAIMED WATER LINE	---RW---
PROP. PROPERTY LINE	---
PROP. SEWER CLEAN OUT	---CO---
PROP. SEWER MANHOLE	---MH---
EXIST. SEWER MANHOLE	---MH---
CENTERLINE	---
PROP. PARKING LIGHTS BY OTHERS	---

OWNER / SUBDIVIDER:
AGOURA HILLS CENTER WEST LLC
3000 DERRY AVENUE, SUITE 100
AGOURA HILLS, CA 91301
BY: [Signature]



REV	DATE	DESCRIPTION OF CHANGE	BY	DATE

VESTING TENTATIVE PARCEL MAP NO. 85426
AGOURA BUSINESS CENTER WEST
8301 DERRY AVENUE, AGOURA HILLS, CA

PROJECT NO. _____

SCALE 1" = 30'

SHEET 1 OF 2
03/17/2020

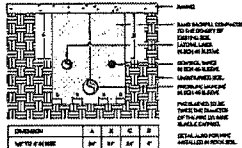
Vicinity/Zoning Map



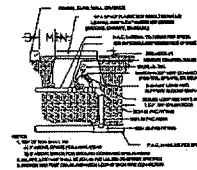
CONDITIONAL USE PERMIT - CASE NO. 07-CUP-010
SIGN PERMIT - CASE NO. 07-SP-036
GENERAL PLAN AMENDMENT - CASE NO. 07-GPA-001
ZONE CHANGE - CASE NO. 07-ZC-001
VARIANCE REQUEST - CASE NO. 08-VAR-006
VESTING TENTATIVE PARCEL MAP - PM 69426

IRRIGATION NOTES:

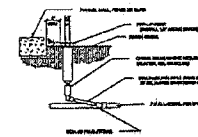
1. ALL IRRIGATION WORK SHALL BE COMPLETED BY THE CONTRACTOR AS TO MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE WORK.
2. THE DESIGN IS DIAGNOSTIC. ALL PIPING, VALVES, EQUIPMENT, ETC. SHOWN WITHIN FINISHED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE PROVIDED IN THE PLANTING AREA IN A MANNER SO AS TO CONFORM WITH THE VARIOUS DETAILS. LOCATE ALL IRRIGATION MAINS A MINIMUM OF 2' FROM THE EDGE OF CURB, WALK, AND/OR OTHER LANDSCAPE AREA.
3. THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMAL PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMAL OPERATING PRESSURE FOR EACH INSTALLED METALLIZATION OF PRESSURE COMPENSATING SPRINKLER HEADS, INSURED.
4. THE IRRIGATION CONTRACTOR SHALL COORDINATE IRRIGATION WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR LOCATION OF PIPE BUDS AND THROUGH WALLS, UNDER PAVING, STRUCTURES, ETC. ALL PIPING UNDER PAVED AREAS SHALL BE INSTALLED PRIOR TO PAVING.
5. THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT WITHIN FIVE (5) DAYS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT CONSTRUCTION SCHEDULES.
6. THE CONTRACTOR SHALL INSTALL AND/OR ADJUST VALVES AS REQUIRED TO PREVENT LOW HEAD DRIPPHAGE. SEE SPECIFICATIONS.
7. THE IRRIGATION SYSTEM IS DESIGNED BASED ON THE OPERATING PRESSURE AND THE ANTI-SIPHON DEMAND INDICATED ON THE PLANS AT THE POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AND FLUXIBLE PRESSURE CONNECTION AND REPORT TO THE OWNER REPRESENTATIVE ANY DIFFERENCES THAT WOULD REQUIRE CHANGES TO THE DESIGN PRIOR TO CONSTRUCTION.
8. REMOTE IRRIGATION SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES CONTRACTOR SHALL BECOME ALL NECESSARY PERMITS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SITE AND VERIFYING ACTUAL LOCATION AND TELLERMENTS FOR ALL IRRIGATION SYSTEMS AND EQUIPMENT TO BE LOCATED UNDER THE CONTRACT.
10. ALL PIPING AND FITTINGS SHALL BE 1/2" SCHEDULE 40S BLACK PIPE, 90° ELBOWS SHALL BE SCHEDULE 40S OF THE PRESSURE RATING AND BE LOCATED ON THE NON-PRESSURE EXTERNAL SIDE OF THE REMOTE CONTROL VALVES.
11. ALL PIGTAILS AND FITTINGS SHOWN ON PLANS ARE TO BE INSTALLED BY THE CONTRACTOR TO LOCATE EXISTING WATER MAIN AND CONNECT TO THE PROPOSED WING. INTERNAL IRRIGATION SYSTEMS ARE TO BE INSTALLED AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CENTRAL AND STANDARDS OF THE LANDSCAPE TECHNICAL MANUAL AND OTHER APPLICABLE APPLICABLE CODES AND AS OF THE APPROVED DATE OF THESE PLANS.



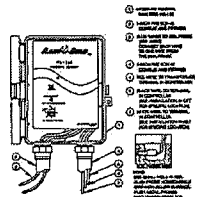
1) REMOTE CONTROL VALVE



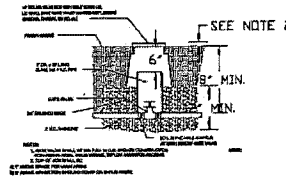
2) REMOTE CONTROL VALVE



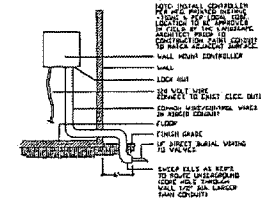
3) POP-UP HEAD



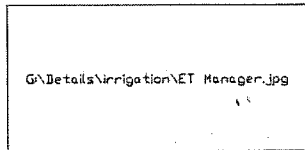
4) WEATHER-SMART IRRIGATION SYSTEM



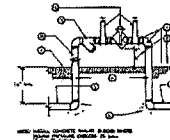
5) GATE VALVE



6) WALL MOUNT CONTROLLER



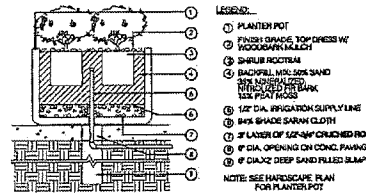
7) WEATHER-SMART IRRIGATION SYSTEM



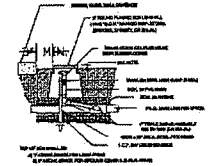
8) BACKFLOW DEVICE



9) WIRE CONNECTIONS



10) PLANTER POT



11) QUICK-COUPLER VALVE

WARE MALCOMB
ARCHITECTS
1000 N. GARDEN STREET
AGOURA HILLS, CALIFORNIA 91301
TEL: 714-833-3333
WWW.WAREMALCOMB.COM

SC
LANDSCAPE ARCHITECTS
1000 N. GARDEN STREET
AGOURA HILLS, CALIFORNIA 91301
TEL: 714-833-3333
WWW.SCARCHITECTS.COM

DALE POE REAL ESTATE GROUP
AGOURA BUSINESS CENTER WEST
5301 DERRY STREET
AGOURA HILLS, CALIFORNIA

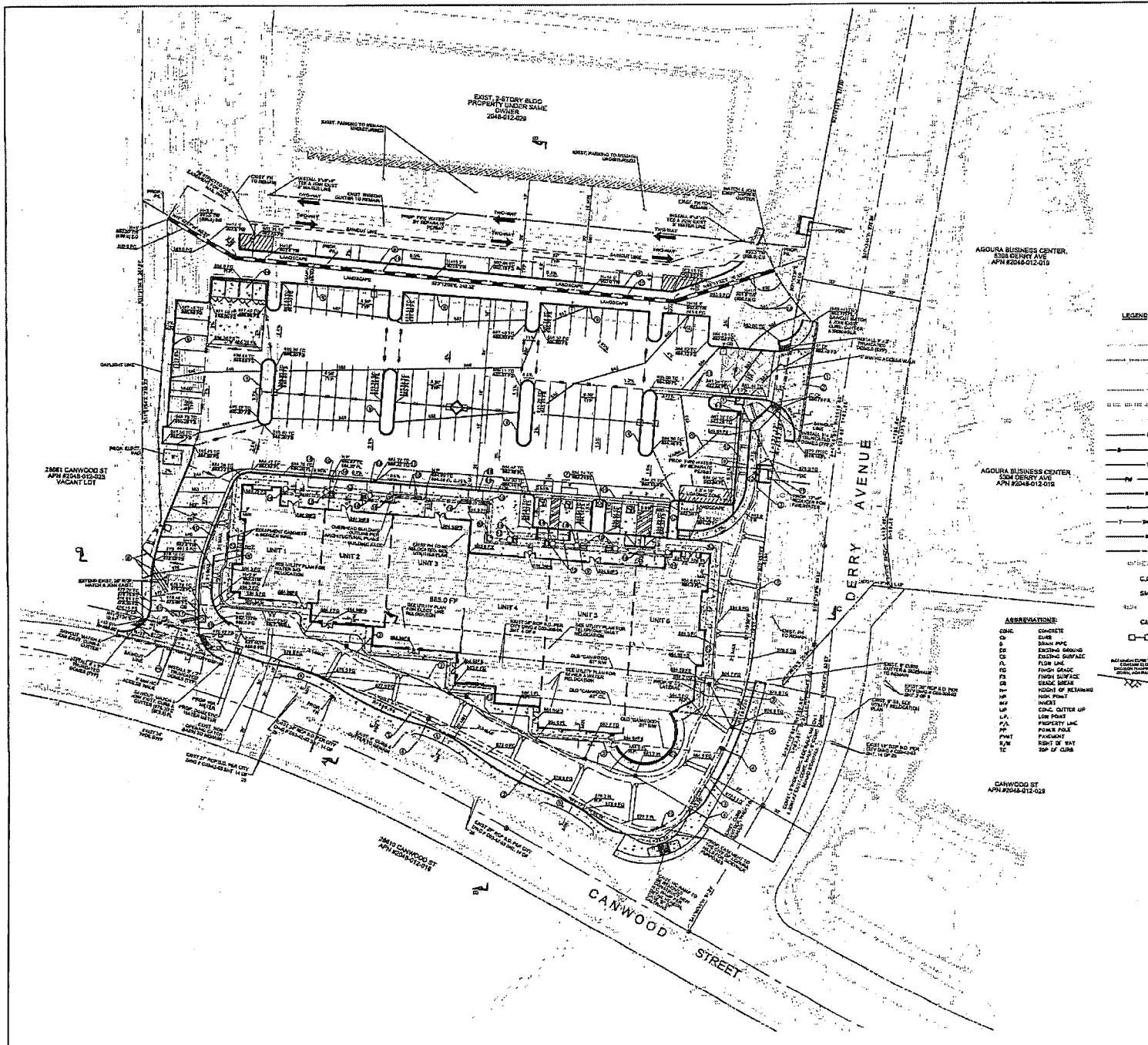
IRRIGATION DETAILS	
NO.	DESCRIPTION
1	REMOTE CONTROL VALVE
2	REMOTE CONTROL VALVE
3	POP-UP HEAD
4	WEATHER-SMART IRRIGATION SYSTEM
5	GATE VALVE
6	WALL MOUNT CONTROLLER
7	WEATHER-SMART IRRIGATION SYSTEM
8	BACKFLOW DEVICE
9	WIRE CONNECTIONS
10	PLANTER POT
11	QUICK-COUPLER VALVE

DATE: 10/27/14
DRAWN BY: J. W. MALCOMB
JOB NO.: 063-630-08
SHEET: LI-2

OWNER/DEVELOPER
DALE POE REAL ESTATE GROUP
5301 DERRY STREET, SUITE A
AGOURA HILLS, CA 91301
(914) 833-3333
APV# 2048-012-022
2048-012-027

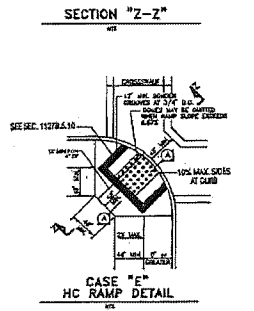
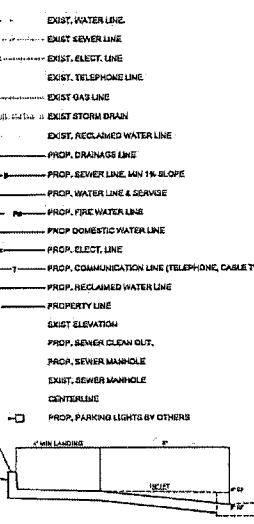


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- CONSTRUCTION NOTES:**
1. REMOVE AND REGRADE EXISTING PAVEMENT SECTION 4' AC ON 4' A.E. MIN. OR AS RECOMMENDED BY THE SOIL ENGINEER.
 2. CONSTRUCT CONCRETE DRIVEWAY APPROXIMATE PER APN 82048-012-023, TYPE 4" THICK POLYMER CONCRETE WITH 2" BARGE, 3/4" GRADE 2 REINFORCING BARS, 4" DEEP BARGE. CONSTRUCT PARADEY DRAIN FOR APN 82048-012-023, CASE 15 INLET.
 3. CONSTRUCT 2" GRANULATING BEDWALK WITH 1" BLDG CURB ISLAND BERM AND TYPING ISLAND PER CITY STANDARDS.
 4. CONSTRUCT CONC. HEADWALL AND WINDWALL PER CALIFORNIA STD. 88. R. PER CALIF. 88. R. 200. REMOVE EXIST. CONC. HEADWALL AND WINDWALL, 100% EX. 3" PLCP, WITH CONC. RETAINING WALL BY SEPARATE PERMIT, 2" HIGH WALL.
 5. CONSTRUCT 4" CONC. CURB. CONECT 4" CONC. CURB AND GUTTER. CONECT 4" CONC. GUTTER. CONECT 4" CONC. BERMWALK, MODIFIED TO 8" WIDE 4" HIGH BERMWALK.
 6. CONSTRUCT 4" CONC. BUMP PER STATE'S TITLE 24 A.D.A. TITLE 24. CONSTRUCT 4" CONC. BUMP PER ARCHITECTURAL PLANS. CONECT 4" CONC. BUMP PER ARCHITECTURAL PLANS. CONECT 4" CONC. BUMP PER ARCHITECTURAL PLANS. CONECT 4" CONC. BUMP PER ARCHITECTURAL PLANS.
 7. CONECT 4" CONC. BUMP PER ARCHITECTURAL PLANS. CONECT 4" CONC. BUMP PER ARCHITECTURAL PLANS. CONECT 4" CONC. BUMP PER ARCHITECTURAL PLANS. CONECT 4" CONC. BUMP PER ARCHITECTURAL PLANS.
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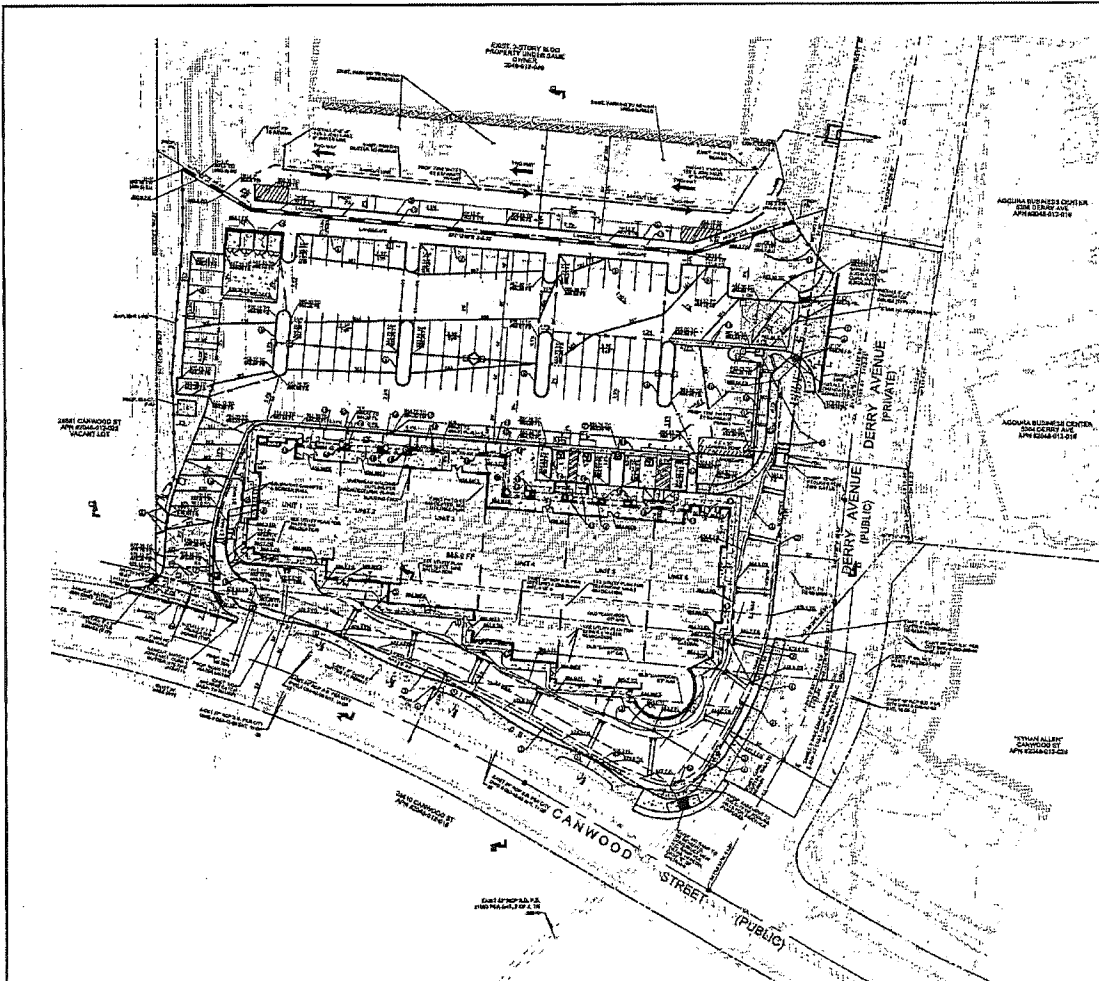
- NOTES:**
1. SEE UTILITY RELOCATION PLAN FOR AMENDMENT OF EXISTING PUBLIC UTILITIES.
 2. NO DAK TALKS ON CONSTRUCTION SITE.
- LEGEND:**
- EXIST. WATER LINE
 - EXIST. SEWER LINE
 - EXIST. ELECT. LINE
 - EXIST. TELEPHONE LINE
 - EXIST. GAS LINE
 - EXIST. STORM DRAIN
 - EXIST. RECLAIMED WATER LINE
 - PROPR. DRAINAGE LINE
 - PROPR. SEWER LINE, MIN 1% SLOPE
 - PROPR. WATER LINE & SERVICE
 - PROPR. FIRE WATER LINE
 - PROPR. DOMESTIC WATER LINE
 - PROPR. ELECT. LINE
 - PROPR. COMMUNICATION LINE (TELEPHONE, CABLE TV)
 - PROPR. RECLAIMED WATER LINE
 - PROPERTY LINE
 - EXIST. ELEVATION
 - C.O. PROPR. SEWER CLEAN OUT.
 - SMH PROPR. SEWER MANHOLE
 - EXIST. SEWER MANHOLE
 - CA. CENTERLINE
 - PROPR. PARKING LIGHTS BY OTHERS



AGOURA BUSINESS CENTER WEST, LLC
AGOURA BUSINESS CENTER WEST
 5301 DERRY AVENUE
 AGOURA HILLS, CALIFORNIA

DATE:	
BY:	
CHECKED:	
APPROVED:	
SCALE:	

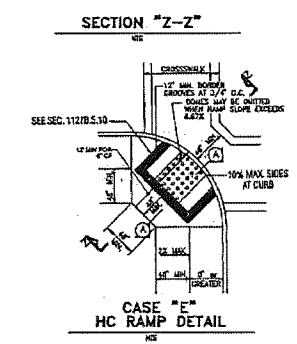
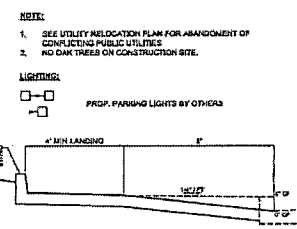
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- LEGEND:**
- EXIST. WATER LINE
 - EXIST. SEWER LINE
 - EXIST. ELECT. LINE
 - EXIST. TELEPHONE LINE
 - EXIST. GAS LINE
 - EXIST. STORM DRAIN
 - EXIST. RECLAIMED WATER LINE
 - PROP. DRAINAGE LINE
 - PROP. SEWER LINE, MIN 1% SLOPE
 - PROP. WATER LINE & SERVICE
 - PROP. FIRE WATER LINE
 - PROP. DOMESTIC WATER LINE
 - PROP. ELECT. LINE
 - PROP. COMMUNICATION LINE (TELEPHONE, CABLE TV)
 - PROP. RECLAIMED WATER LINE
 - PROPERTY LINE
 - EXIST. ELEVATION
 - C.O. PROP. SEWER CLEAN OUT
 - SAH PROP. SEWER MANHOLE
 - EXH EXIST. SEWER MANHOLE
 - CL CENTERLINE
 - PROP. PARKING LIGHTS BY OTHERS
 - DECORATIVE CONC. PAVEMENT
 - 2:1 FILL SLOPE MAX

- ABBREVIATIONS:**
- CONC. CONCRETE
 - D/D DISE
 - D DRAIN PIPE
 - EG EXISTING GROUND
 - ES EXISTING SURFACE
 - FL FLOW LINE
 - FG FRESH GRADE
 - FS FRESH SURFACE
 - GB GRADE BULKHEAD
 - H= HEIGHT OF RETAINING
 - HP HOLE POINT
 - INW INWENT
 - LIP CONC. GUTTER LIP
 - LP LOW POINT
 - P/L PROPERTY LINE
 - PP POWER POLE
 - PAV PAVEMENT
 - R/W RIGHT OF WAY
 - TC TOP OF CURB

- CONSTRUCTION NOTES:**
- 1 SAWCUT AND REMOVE EXISTING PAVEMENT SECTION, 4" A.C. OR 8" A.S. MIN. OR AS RECOMMENDED BY THE SOILS ENGINEER
 - 2 CONSTRUCT COMMERCIAL DRIVEWAY APPROACH PER A.P.W.A. STD 114-1, TYPE C, 6" THICK PCC, MODIFIED WITH 2% FIBER, W/OT
 - 3 GRADE 2" WIDE GRASS LINED 4" DEEP SWALE
 - 4 CONSTRUCT PARKWAY DRAIN PER A.P.W.A. STD PLAN 110-2, CASE II W/LET.
 - 5 CONSTRUCT 3' MIN. SLOPING SIDEWALK WITH 8" SL. CURB CURB BEHIND SIDEWALK AND TUCKED EDGES PER CITY STANDARDS
 - 6 CONSTRUCT CONC. HEADWALL AND WINDOW WALL PER CALTRANS STD D 14 B. PIPE DIA = 36" R.C.P. REMOVE EXIST. CONC. HEADWALL AND WINDOW WALL, 30" EX. 20" R.C.P. WITH NEW 20" R.C.P. TO PROP. HEADWALL
 - 7 CONST. 3" SEE OPENING CATCH BASIN PER A.P.W.A. 300-5
 - 8 CONST. RETAINING WALL BY SEPARATE PERMIT, 8' HIGH MAX.
 - 9 CONST. 8" CONC. CURB
 - 10 CONST. 8" CONC. CURB AND GUTTER
 - 11 CONST. 7" WIDE CONC. GUTTER
 - 12 CONST. 4.5" WIDE, 4" THICK CONC. SIDEWALK, MODIFIED TO 5" WIDE AROUND BUILDING
 - 13 CONST. H.C. RAMP PER STATE TITLE 34 A.D.A. STD.
 - 14 PROP. TRASH ENCLOSURE PER ARCHITECTURAL PLANS
 - 15 CONST. SEDIMENT RETAINING WALL BY SEPARATE PERMIT.
 - 16 REMOVE EXIST. 36" R.C.P. S.D., SEE UTILITIES PLAN.
 - 17 CONST. 24" SEE W/OT OR EQUAL
 - 18 PROP. TREE W/LL, VINE ROCKETS, SEE LANDSCAPE PLANS
 - 19 MONUMENT SURVEY PER ARCHITECTURAL PLANS
 - 20 INSTALL 10" PVC STORM DRAIN PIPE
 - 21 CONNECT DRAIN PIPE TO EXIST. CR.
 - 22 CONST. 2" AC PAVEMENT ON AGC. BASE PER SOLE ENGINEER



UNDERGROUND SERVICE ALERT

CALL TOLL FREE
1-800-237-2600

TWO WORKING DAYS BEFORE YOU DIG

REV	SYMBOL	DESCRIPTION OF CHANGE	AGE	DATE

PREPARED BY

WESTLAND CIVIL, INC.
100 W. Lincoln Avenue, Orange, California 92667
(714) 961-1234

PROJECT NO. 15234

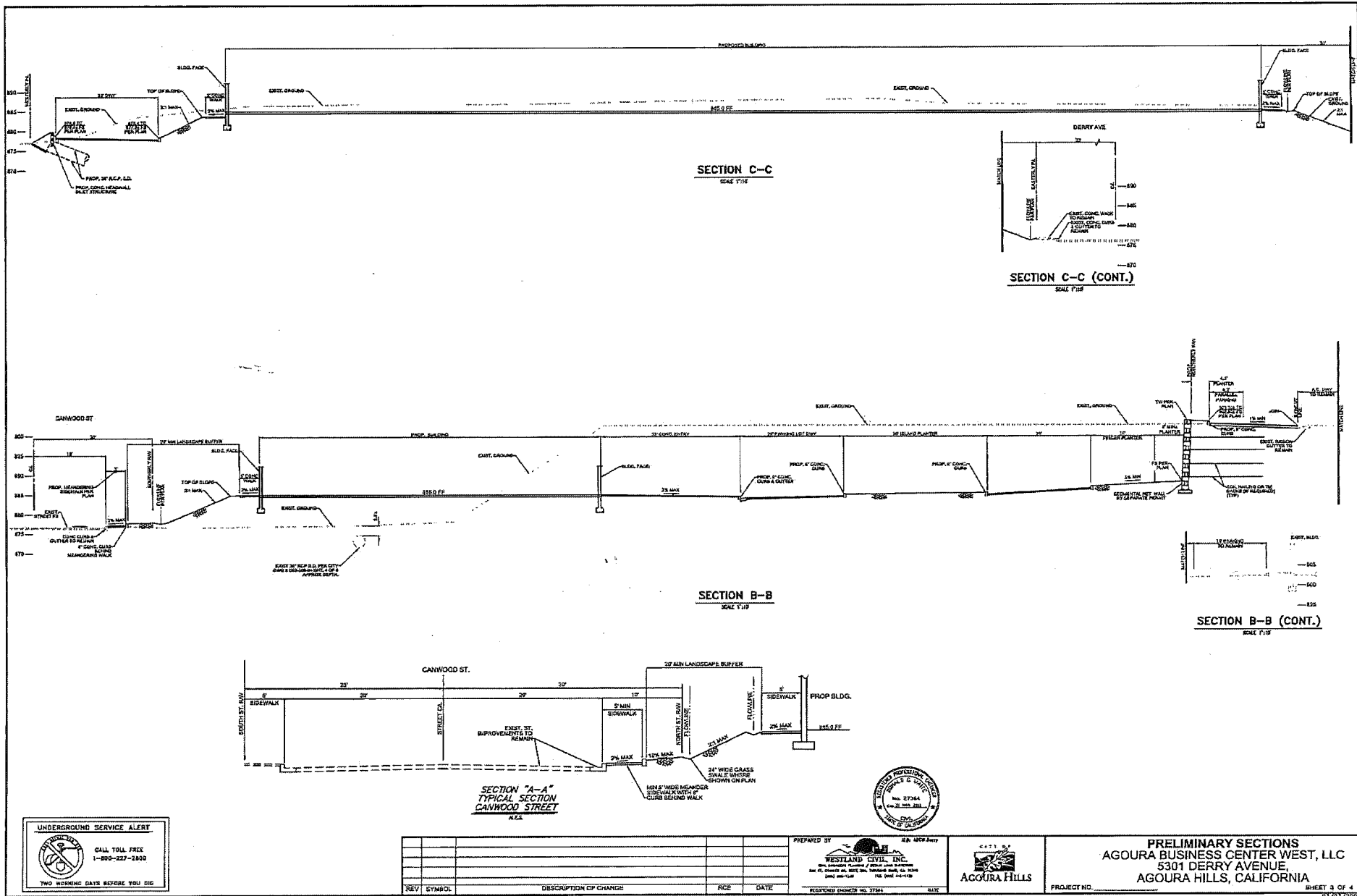
CITY OF

AGOURA HILLS

PRELIMINARY GRADING / DRAINAGE PLAN
AGOURA BUSINESS CENTER WEST, LLC
5301 DERRY AVENUE,
AGOURA HILLS, CALIFORNIA

PROJECT NO. _____

SHEET 2 OF 4
03/27/2025



WESTLAND GENERAL NOTES

- WESTLAND ENGINEERING, INC. HAS NOT BEEN RETAINED OR COMPENSATED, AND ASSUMES NO RESPONSIBILITY TO PROVIDE DESIGN CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTOR'S SAFETY PROCEDURES, OR TO METHODS, TECHNIQUES, OR SEQUENCES OF PROCEDURES REQUIRED FOR THE CONTRACTOR TO PERFORM HIS WORK.
- THE LOCATION OF, AND EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES HAS BEEN DETERMINED TO THE BEST OF THE ENGINEER'S ABILITY, BUT IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ANY EXISTING UTILITIES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY DAMAGE DONE TO EXISTING UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" TOLL FREE AT 1-800-227-2868, TWO DAYS PRIOR TO THE START OF CONSTRUCTION FOR UTILITY LOCATIONS.
- THIS DRAWING, INCLUDING THE DESIGNS INCORPORATED HEREIN, IS AN INSTRUMENT OF PROFESSIONAL SERVICE PREPARED FOR USE IN CONSTRUCTION WITH THE PROJECT IDENTIFIED HEREON UNDER THE CONDITIONS EXISTING IN DESIGNER, JUNE, ANY LAW, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF WESTLAND ENGINEERING, INC. SHALL BE AT THE USER'S SOLE RISK.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS AGREEMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- THE CONTRACTOR TO PROVIDE ADEQUATE DUST CONTROL ACCORDING TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

PUBLIC UTILITIES / SERVICES

WATER: LAS VIRGENES MUNICIPAL WATER DISTRICT
4325 LAS VIRGENES ROAD
CALABAZAS, CA 91302
(415) 251-9139

ELECTRICAL: SOUTHERN CALIFORNIA Edison
2209 FOOTBALL DRIVE
THOUSAND OAKS, CA 91324
(405) 434-7615

TELEPHONE: AT&T
1821 KAYHURST, ROOM 8203
VAN NUYS, CA 91410
(818) 297-7545

GAS: SOUTHERN CALIFORNIA GAS CO.
873 CHAMBER RD
894 VALLEJO, CA 92089
(619) 369-3344

SEWER: CITY OF AGOURA HILLS
3041 AGOURA RD
AGOURA HILLS, CA
(415) 247-7528

CABLE: TIME WARNER
2525 KNOX DR
VENTURA, CA 91323
(415) 477-4433

ABBREVIATIONS:

BNV BACK FLOW VALVE
CONC. CONCRETE
CURB CURB
DRAIN PIPE DRAIN PIPE
EXIST. EXISTING
EXIST. EXISTING SURFACE
FLOW LINE FLOW LINE
FG FINISH GRADE
FS FINISH SURFACE
CB CRACK BREAK
H= HEIGHT OF MECHANICAL HIGH POINT
INV INVERT
CONC. CURB UP CONCRETE CURB UP
L= LOW POINT
P/L PROPERTY LINE
PI= PILE INDICATOR VALVE
P= PILE
P= PAVEMENT
R= RIGHT OF WAY
T= TOP OF CURB

UTILITY NOTES:

- ALL UTILITIES WITHIN THE CONSTRUCTED AREA TO BE ABANDONED AND OR RELOCATED, AS SHOWN.
- EXIST. 30" RCP W/ MAY BE LEFT IN PLACE WITH A STRUCTURAL CAP OR RELOCATED AS SHOWN HEREON.
- THE RELOCATED UTILITIES ARE SCHEMATIC ONLY. SEE RESPECTIVE UTILITY CO. PLANS FOR CONSTRUCTION DETAILS.

LEGEND:

- EXIST. WATER LINE
- EXIST. SEWER LINE
- EXIST. ELECT. LINE
- EXIST. TELEPHONE LINE
- EXIST. GAS LINE
- EXIST. STORM DRAIN
- EXIST. RECLAIMED WATER LINE
- D --- PROP. DRAINAGE LINE
- PROP. SEWER LINE, MIN 1% SLOPE
- W --- PROP. WATER LINE & SERVICE
- FW --- PROP. FIRE WATER LINE
- DW --- PROP. DOMESTIC WATER LINE
- E --- PROP. ELECT. LINE
- T --- PROP. COMMUNICATION LINE (TELEPHONE, CABLE TV)
- RW --- PROP. RECLAIMED WATER LINE
- PROPERTY LINE
- EXIST. ELEVATION
- C.O --- PROP. SEWER CLEAN OUT
- SMH --- PROP. SEWER MANHOLE
- EXIST. SEWER MANHOLE
- CL --- CENTERLINE
- --- PROP. POT-HOLE LOCATION

- EXIST. ELEVATION
- C.O --- PROP. SEWER CLEAN OUT
- SMH --- PROP. SEWER MANHOLE
- EXIST. SEWER MANHOLE
- CL --- CENTERLINE
- --- PROP. POT-HOLE LOCATION

POT-HOLE LOCATIONS	EXIST. SURFACE ELEV.	POT-HOLE DEPTH
1 6" STORM DRAIN	877.24	-4.05' top
2 20" STORM DRAIN LINE	876.17	-1.27' top
3 8" V.C.P. SEWER LINE	878.19	-6.42' top
4 6" RECLAIM WATER LINE	878.22	-7.37' top (7" depth on 12" base)
5 BOLLION CONDUIT	878.68	encasement 2.50' top, reduced water marking 2.00' top 10" depending to top of encasement
6 24" STORM DRAIN	875.34	-3.52' top (7" depth on 12" base)
7 24" ALCP STORM DRAIN	875.74	-4.82' top (7" depth on 20" base)
8 12" WATER LINE	875.20	-1.97' top (2" depth on 20" base)
9 8" RECLAIM WATER line basehole	875.78	-2.5' top
10 8" V.C.P. SEWER LINE	875.31	-4.83' top (7" depth on 12" base)
11 12" WATER LINE	877.24	-1.97' top (2" depth on 20" base)
12 18" STORM DRAIN	875.67	-4.28' top (same, reduce 840) (7" depth on 12" base)
13 20" STORM DRAIN	877.43	17" top (same, reduce 840) (7" depth on 12" base)
14 24" STORM DRAIN	875.23	-2.88' top (7" depth on 12" base)
15 12" WATER LINE	877.52	-1.52' top (2" depth, heavy based on sand bedding, 1 inch)
16 20" ALCP STORM DRAIN	875.98	-3.17' top (7" depth on 12" base)
17 24" STORM DRAIN	877.58	-7.05' top (7" depth on 12" base)
18 12" WATER LINE	878.52	-1.53' top (conduits joints) (7" depth on 12" base)
19 12" WATER LINE	866.28	-3.56' top (7" depth on 12" base)

UNDERGROUND SERVICE ALERT

CALL TOLL FREE
1-800-227-2868

TWO WORKING DAYS BEFORE YOU DIG

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE

PREPARED BY
WESTLAND CIVIL, INC.
140 W. GARDNER AVE., SUITE 200, AGOURA HILLS, CA 91301
(415) 247-7528

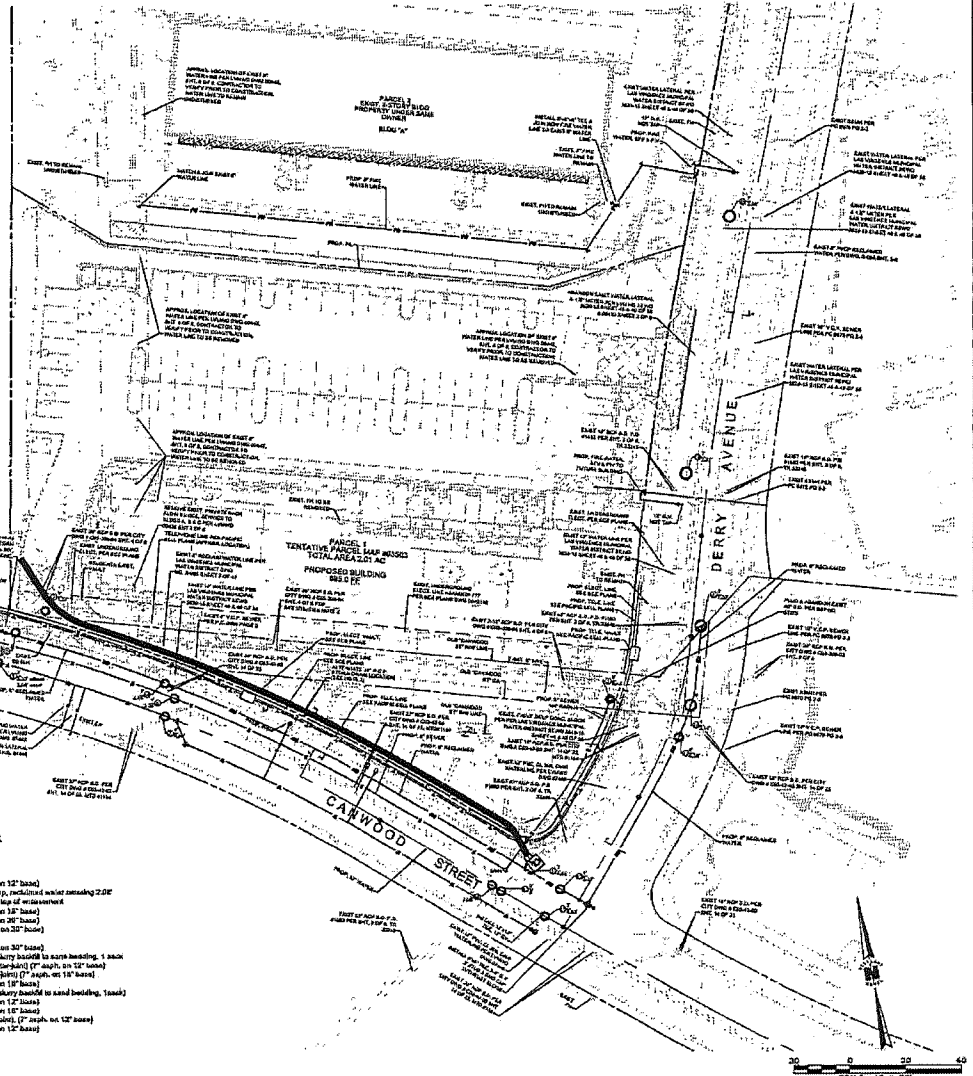
PROJECT NO. **03/17/2009**

CITY OF
AGOURA HILLS

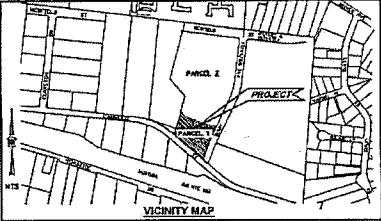
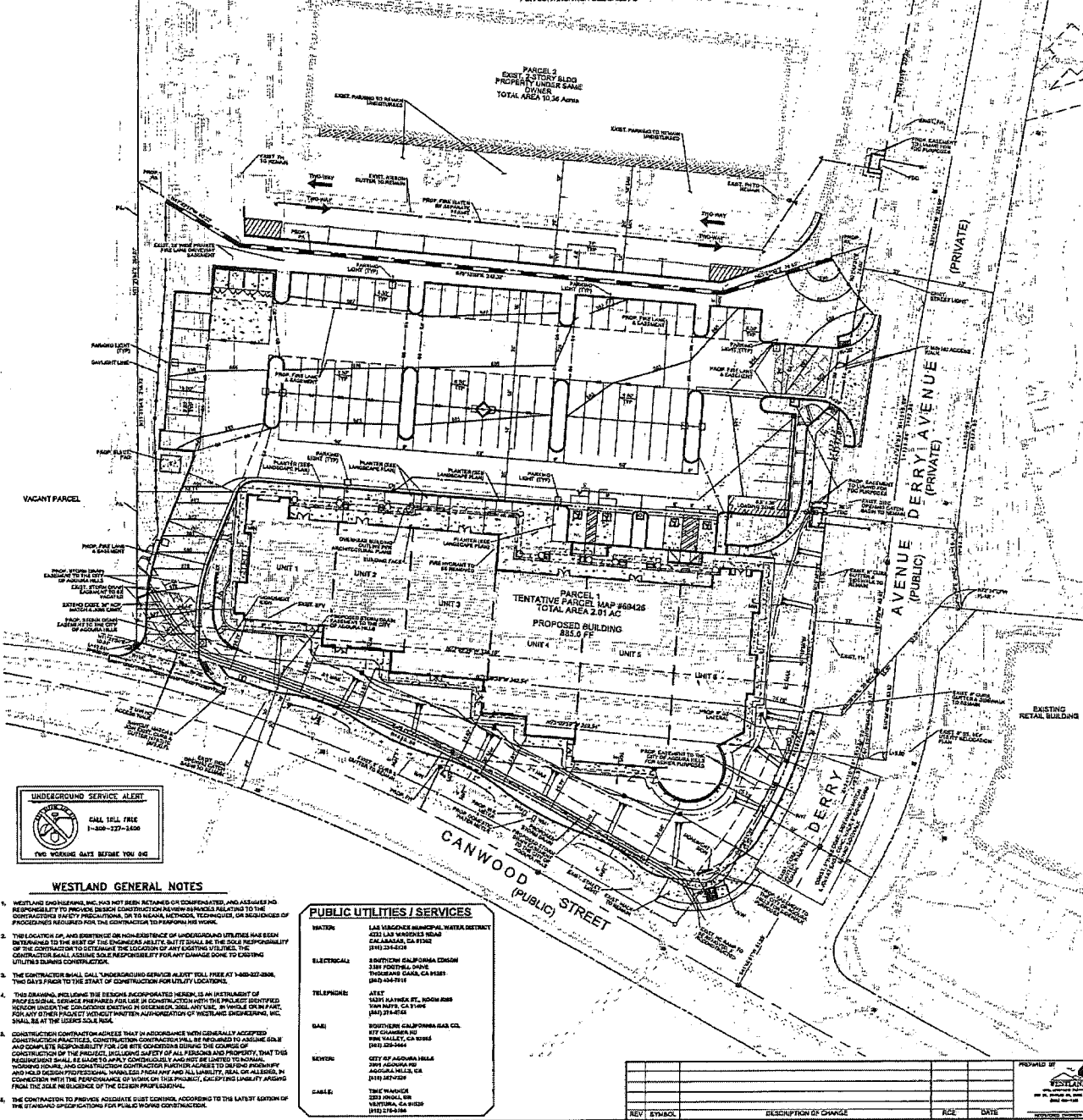
PRELIMINARY UTILITIES RELOCATION PLAN
5301 DERRY AVE
CITY OF AGOURA HILLS

PROJECT NO. **03/17/2009**

SHEET 4 OF 4



FOR CONTINUATION SEE SHEET 2



SITE ANALYSIS (PARCEL 1):
 PROJECT NAME & ADDRESS:
 AGOURA BUSINESS CENTER WEST
 5301 DERRY AVE, AGOURA HILLS, CA

ONE STORY RETAIL BUILDING
 EXIST. LAND USE - VACANT
 PROPOS. LAND USE - RETAIL
 EXIST. ZONING / GENERAL PLAN:
 • RPA-40 (Business Park - Manufacturing - Freeway Corridor) MHD
 • CR3-FC (Commercial Field Service - Freeway Corridor)

PROPOS. ZONING / GENERAL PLAN - CR3-FC
 APN# - 2044-11-022
 2048-02-027

SITE AREA - 2.01 AC. OF 57,388 sq. ft.
 GRADES BUILDING - 25,081 sq. ft.
 BUILDING COVERAGE - 23.16%
 PARKING COVERAGE - 34,332 sq. ft. or 38.82%
 TOTAL LANDSCAPE COVERAGE - 3287 sq. ft. or 36.63%
 OTHER HARDSCAPE AREAS - 8566 sq. ft. or 10.33%

TOTAL PARKING REQUIRED (N150) (N180) (N240) (N300) (N360) 83 spaces
TOTAL PARKING SPACES PROVIDED 89 spaces
 ADA PARKING SPACES (Including 20' x 48' 0" LOADING / UNLOADING PARKING SPACES - 1 space

LEGAL DESCRIPTION:
 PER GIS/2022 TITLE COMPANY PRELIMINARY TITLE REPORT DATED MAY 4, 2024, ORR#R 811601827-014

PARCEL 1:
 LOT 1 OF TRACT NO. 3048, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PART HEREOF RECORDED AS BOOK 150 PAGE 1 AND 2 OF RECORD OF SAID COUNTY.

EXCEPTION THAT PORTION OF SAID LOT 1 LIES WITHIN PARCEL 1 AS SHOWN ON RECORD OF SURVEY MAP IN BOOK 150 PAGE 1 AND 2 OF RECORD OF SAID COUNTY. PARCEL 1 IS BOUND BY THE OIL, GAS, MINERAL AND OTHER HYDROCARBON AND ASSOCIATED RIGHTS AND INTERESTS OF AGOURA HILLS COMMUNITY DEVELOPMENT OR SUCCESSORS OF SAID COMMUNITY DEVELOPMENT OR OTHERS WHOSE RIGHTS AND INTERESTS IN SAID PARCEL 1 ARE RESERVED BY AND RECEIVED BY A. T. SMALL, A TRUST, AS SET FORTH AND RECORDED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PART OF TRACT NO. 3048, IN BOOK 150, PAGE 1 AND 2 OF RECORD OF SAID COUNTY. PARCEL 1 IS BOUND BY TRACT NO. 3048, IN BOOK 150, PAGE 1 AND 2 OF RECORD OF SAID COUNTY.

PARCEL 2:
 A REPRODUCTION OF THE ORIGINAL SURVEY AND DRAINAGE BY METERS NOT RECORDED AS PART OF TRACT NO. 3048, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PART OF TRACT NO. 3048, IN BOOK 150, PAGE 1 AND 2 OF RECORD OF SAID COUNTY.

NOTE: THAT PORTION THEREOF LIVING WITHIN THE LAND DESCRIBED IN THE INSTRUMENT RECORDED AUGUST 12, 1981 AS INSTRUMENT NO. 101378 IN SAID OFFICE OF THE COUNTY RECORDER.

DATE STATEMENT:
 THESE ARE OUR CURRENT DATA ON PROPOSED PARCEL 1.

NOTES:
 1. SEE COMPOSITE UTILITY RELOCATION PLAN FOR EXIST. & PROPOSED UTILITIES DISPOSITION.
 2. SEE SHEET 2 FOR PARCELS 2, 3, 4, 5, 6, 7, 8, 9, 10 AND ALL ADJACENT & EXISTING EASEMENTS LOCATIONS.
 3. SEE PRELIMINARY GRADING PLAN FOR SITE GRADING AND EXISTING.

VACANT PARCEL

UNDERGROUND SERVICE ALERT

CALL 811
 1-800-277-1620

THE WORKING DAYS BEFORE YOU DIG

WESTLAND GENERAL NOTES

- WESTLAND ENGINEERING, INC. HAS NOT BEEN RETAINED OR CONSIDERED, AND ASSUMES NO RESPONSIBILITY TO PROVIDE DESIGN OR CONSTRUCTION ADMINISTRATION SERVICES RELATING TO THE CONTRACTOR'S SAFETY PRECAUTIONS, OR TO HAZARDOUS MATERIALS, TECHNOLOGY, OR SERVICES OF PROFESSIONALS REQUIRED FOR THE CONTRACTOR TO PERFORM HIS WORK.
- THE LOCATION OF, AND EXISTENCE OR NON-EXISTENCE OF, UNDERGROUND UTILITIES HAS BEEN DETERMINED TO THE BEST OF THE ENGINEER'S ABILITY. IT SHALL BE THE CLIENT'S RESPONSIBILITY TO OBTAIN ALL NECESSARY INFORMATION TO DETERMINE THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ASSUME THE RISK OF RESPONSIBILITY FOR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN THE UNDERGROUND SERVICE ALERT CALL FREE AT 1-800-277-1620, TWO DAYS PRIOR TO THE START OF CONSTRUCTION FOR UTILITY LOCATIONS.
- THIS DRAWING, INCLUDING THE RECORDS INCORPORATED HEREIN, IS AN INSTRUMENT OF PROFESSIONAL SERVICE PREPARED FOR USE IN CONNECTION WITH THE PROJECT IDENTIFIED HEREON UNDER THE CONDITIONS EXISTING IN CONTRACT. NO PART, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF WESTLAND ENGINEERING, INC. SHALL BE AT THE USER'S SOLE RISK.
- CONTRACTOR CONTRACTOR AGREES THAT IN ADDITION TO ANY OTHER GENERAL ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTORS SHALL BE RESPONSIBLE TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SAFETY OF PERSONNEL AND PROPERTY. THAT THIS REQUIREMENT SHALL BE ADDED TO ANY CONTRACTS AND NOT BE LIMITED TO NORMAL WORKING CONDITIONS. CONTRACTOR CONTRACTOR AGREES TO OBTAIN PROFESSIONAL AND HOLD DESIGN PROFESSIONAL WARRANTIES FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT. ACCEPTED LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- THE CONTRACTOR TO PROVIDE ADEQUATE DUST CONTROL, ACCORDING TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

PUBLIC UTILITIES / SERVICES

WATER:	LAS VIRGENES MUNICIPAL WATER DISTRICT 355 LAS VIRGENES ROAD CALADANA, CALIFORNIA 91131-2924
ELECTRICAL:	WESTWOOD CALIFORNIA CONSUMERS 3100 FOOTBRIDGE DRIVE THOUSAND OAKS, CALIFORNIA 91320 (818) 404-7515
TELEPHONE:	AT&T 1601 54th STREET, SUITE 100 TAMPA, FLORIDA 33634 (813) 227-6500
SEWER:	ROBERTSON CALIFORNIA GAS CO. 817 CHAMBERLAIN RD TWIN VALLEY, CA 91386 (626) 252-2444
SEWER:	CITY OF AGOURA HILLS 2005 AGOURA HWY AGOURA HILLS, CA 91106-2758
CABLE:	TIME WARNER 1000 HIGHLAND BLVD NATIONAL, CA 91820 (916) 278-2464

ABBREVIATIONS:

CONC	CONCRETE
CL	CLAY
D	DRAIN PIPE
ES	EXISTING SEWER LINE
ES	EXISTING SURFACE
FD	FIRE DUCT CONNECTION
FL	FLOOR LINE
FG	FINISH GRADE
FV	FIRE VENT
FV	FINISH GRADE
H	HIGH POINT
H	HEIGHT OF RETAINING WALL
IN	INVERT
NP	NATURAL FINISH GRADE
UP	CONCRETE OUTER UP
LP	LEAD PIPE
UP	PROPERTY LINE
PP	PURPOSE POLE
PP	PARCHMENT
R/S	RIGHT OF WAY
N/T	TOP OF CURB

LEGEND:

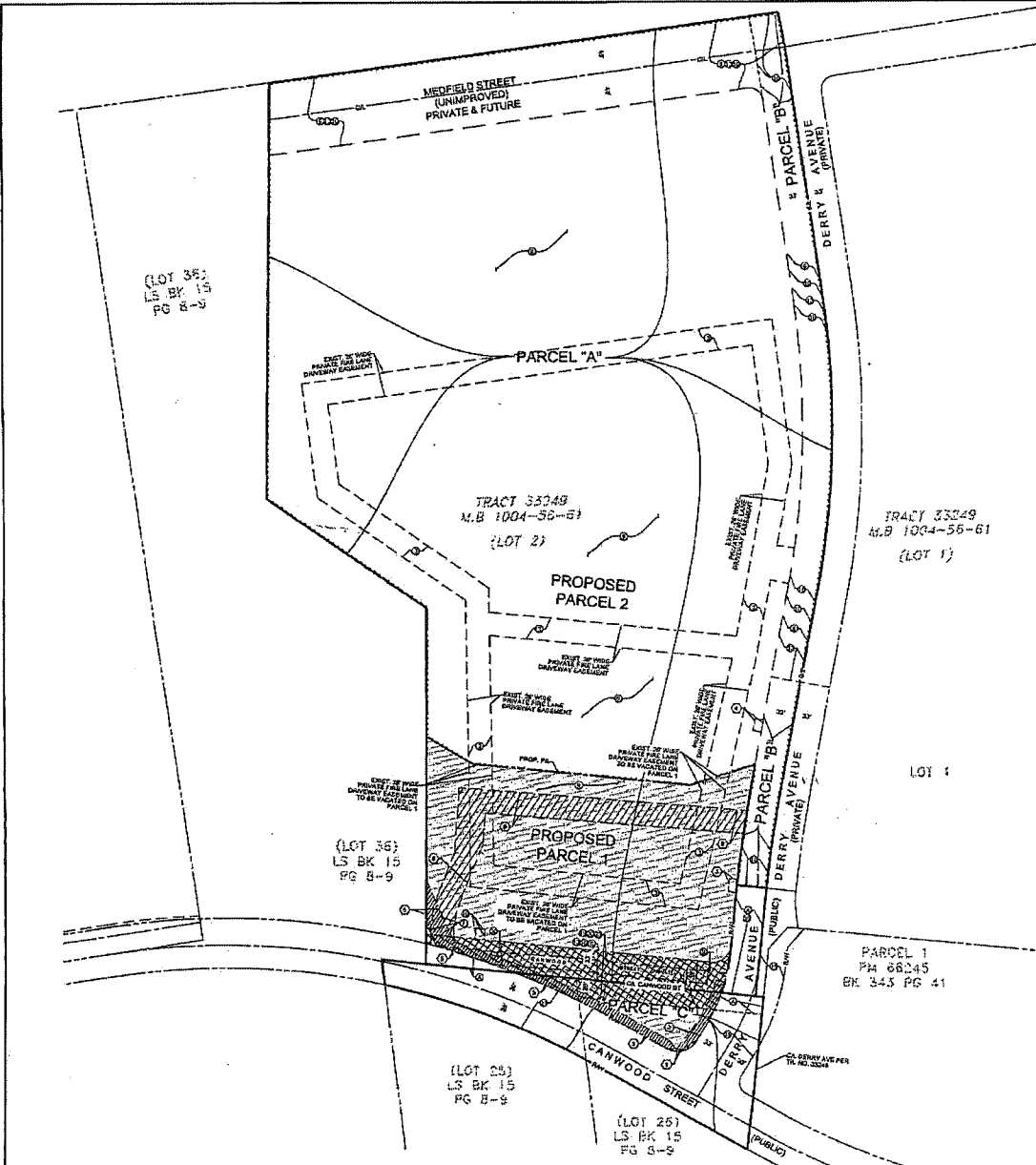
---	EXIST. WATER LINE
---	EXIST. SEWER LINE
---	EXIST. ELECT. LINE
---	EXIST. TELEPHONE LINE
---	EXIST. GAS LINE
---	EXIST. STORM DRAIN
---	EXIST. RECLAIMED WATER LINE
---	PROP. DRAINAGE LINE
---	PROP. SEWER LINE MIN 1% SLOPE
---	PROP. WATER LINE & SERVICE
---	PROP. FIRE WATER LINE
---	PROP. DOMESTIC WATER LINE
---	PROP. ELECT. LINE
---	PROP. COMMUNICATION LINE (TELEPHONE, CABLE TV)
---	PROP. RECLAIMED WATER LINE
---	PROPERTY LINE
---	EXIST. ELEVATION
---	PROP. SEWER CLEAN OUT
---	PROP. SEWER MANHOLE
---	EXIST. SEWER MANHOLE
---	CENTELINE
---	PROP. PARKING LIGHTS BY OTHERS

OWNER / SUBDIVIDER:
 AGOURA BUSINESS CENTER WEST, LLC
 100 NORTH AVENUE, SUITE 8
 AGOURA HILLS, CALIFORNIA
 91106
 ATTN: WILLIAM POE

WESTLAND CIVIL, INC.
 2000 JENNIFER DRIVE, SUITE 100
 AGOURA HILLS, CALIFORNIA 91106
 (916) 278-1364
 WWW.WESTLANDCIVIL.COM

VESTING TENTATIVE PARCEL MAP NO. 69426
 AGOURA BUSINESS CENTER WEST
 5301 DERRY AVENUE, AGOURA HILLS, CA

PROJECT NO. SHEET 1 OF 2



EXISTING EASEMENTS PER TITLE REPORT DATED MAY 5, 2003; ORDER #810015224-X14:

AT THE DATE HEAD OF EACH ITEM TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN SAID POLICY FORM SHALL BE AS FOLLOWS:

① AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THEREO AS SET FORTH IN A DOCUMENT

PURPOSE: POLE LINES AND CONDUITS
 RECORDED: SEPTEMBER 4, 1988 IN BOOK 1486, PAGE 58 OF OFFICIAL RECORDS
 AFFECTS: THAT PORTION OF SAID LAND AS DESCRIBED IN THE DOCUMENT ATTACHED HERETO (SAMPLETABLE)

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LEGAL DESCRIPTION:

PLACER COUNTY REAL PROPERTY TITLE REPORT DATED MAY 5, 2003; ORDER #803211-4

PARCEL 1:

LOT 2 OF TRACT NO. 33349, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1500, PAGES 21 TO 21 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

A NEIGHBORHOOD EASEMENT FOR ROADS AND EGRESS, DRAINAGE AND DRAINAGE BY INSTRUMENT RECORDED JULY 27, 1998 AS INSTRUMENT NO. 88-152407, OFFICIAL RECORDS, BOOK THE INSTRUMENT IS PART OF THAT PORTION OF LOT 1 OF TRACT NO. 33349, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1500, PAGES 21 THROUGH 21 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 3:

THOSE PORTIONS OF PARCELS 25 AND 26, IN THE CITY OF AGOURA HILLS, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON THE RECORDED MAP #1810015224-X14 IN BOOK 15 PAGES 8 AND 9 OF RECORDS OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THOSE PORTIONS OF TRACT CERTAIN 40-20 WEST 20th ST, 10 THRU 100 S. AS SHOWN ON SAID RECORDED MAP #1810015224-X14 ADDING TO THE NORTH AND EAST OF SAID PARCELS 25 AND 26, DESCRIBED AS A WHOLE AS FOLLOWS:

BEHIND AND AT THE INTERSECTION OF THE CENTER LINE OF CANNWOOD STREET 10.00 FEET WIDE, AS PRIVATE STREET, WITH CENTER LINE OF DERRY AVENUE 16.00 FEET WIDE, PRIVATE STREET, SAID CENTER LINES ARE BOTH AS SHOWN ON TRACT NO. 33349, AS PER MAP RECORDED IN BOOK 1500 PAGES 21 AND 21 OF RECORDS OF SURVEYS, IN THE COUNTY RECORDER OFFICE. THENCE ALONG SAID CENTER LINE OF DERRY AVENUE, SOUTH 44.50 METERS (145 FEET) 10.00 FEET TO THE INTERSECTION OF SAID CENTER LINE WITH SECTION 11 22.00 FEET WEST 18.11 FEET TO THE BEGINNING OF A TANGENT CURVE, CONTINUE SAID TANGENT LINE AND TURN A CURVE, CENTER ANGLE OF 70 DEGREES 45 MINUTES 55 SECONDS, AN ARC DISTANCE OF 23.14 METERS (75 FEET) TO THE CENTER LINE OF SAID CANNWOOD STREET. THENCE ALONG SAID CENTER LINE OF SAID CANNWOOD STREET, THENCE ALONG THE CENTER LINE OF SAID CANNWOOD STREET, 18.11 FEET WEST TO THE POINT OF BEGINNING.

APR 1994-11-02 - PARCEL "A"

2004-11-02 - PARCEL "C"

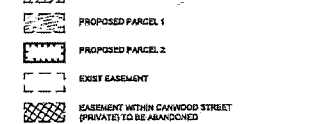
PARCEL "B" EXCEPTION

A DOCUMENTED "EASEMENT WITHIN PARCEL" AGRICULTURE OF THE CITY OF AGOURA HILLS ACCEPTING PORTIONS OF CANNWOOD AT DERRY AVENUE AS PUBLIC STREET PER ORD. NO. 34171. RECORDED JUL. 11, 1941.

PROPOSED EASEMENTS:

① EASEMENT TO THE CITY OF AGOURA HILLS FOR FIREMALE PURPOSES.
 ② EASEMENT TO THE CITY OF AGOURA HILLS FOR FIREMALE PURPOSES.
 ③ EASEMENT TO THE CITY OF AGOURA HILLS FOR FIREMALE PURPOSES.
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 ⑦ EASEMENT TO THE CITY OF AGOURA HILLS FOR FIREMALE PURPOSES.
 ⑧ EASEMENT TO THE CITY OF AGOURA HILLS FOR FIREMALE PURPOSES.

LEGEND:



NOTE:

ALL PUBLIC AND PRIVATE EASEMENTS WITHIN CANNWOOD STREET (PRIVATE) SHALL BE ABANDONED ON THE FINAL MAP OR BY SEPARATE INSTRUMENT PRIOR TO RECORDED OF FINAL MAP.
 - EXISTING STORM DRAIN EASEMENT TO BE VACATED

AREA BEFORE ADJUSTMENT:

PARCEL A 12.35 Acres
 PARCEL B 0.26 Acres
 PARCEL C 0.55 Acres

AREA AFTER ADJUSTMENT:

PARCEL 1 2.21 Acres
 PARCEL 2 10.38 Acres



EASEMENTS & PARCELS INDEX MAP

REV	SYMBOL	DESCRIPTION OF CHANGE	NEW	DATE

PROPOSED BY: **RESLAND CIVIL, INC.**
11121 Resland Blvd., Agoura Hills, CA 91301-4701
 (805) 459-9900

AGOURA HILLS

VESTING TENTATIVE PARCEL MAP NO. 69426
 AGOURA BUSINESS CENTER WEST
 5301 DERRY AVENUE, AGOURA HILLS, CA

PROJECT NO. _____ SHEET 2 OF 2

DATE: 05/11/2003

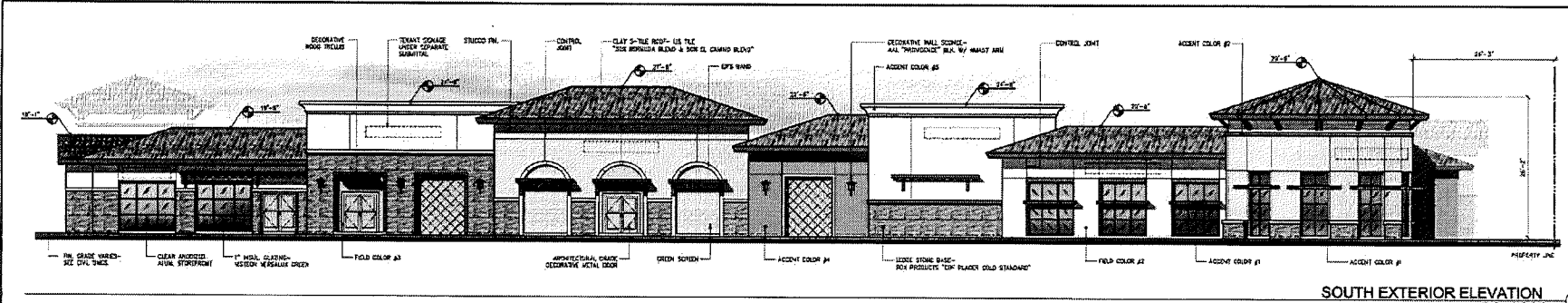
W:\04\0429\0429\0429\Title\Parcel\IndexMap\0429_IndexMap_0429_05110906.dwg 05/11/2003 02:10:08 AM



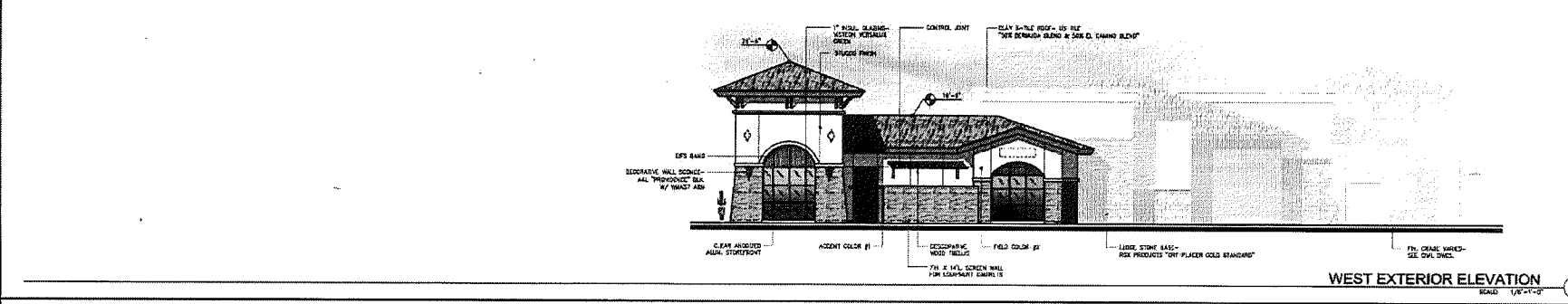
**RETAIL DEVELOPMENT
FOR THE PROPERTY LOCATED
AT THE NORTHWEST CORNER OF
DERRY AVENUE & CANWOOD STREET,
AGOURA HILLS**

**CONDITIONAL USE PERMIT CASE NO. 07-CUP-010
SIGN PERMIT CASE NO. 07-SP-036
VARIANCE REQUEST CASE NO. 08-VAR-006
VESTING TENTATIVE PARCEL MAP 69426
GENERAL PLAN AMENDMENT CASE NO. 07-GPA-001
ZONE CHANGE CASE NO. 07-ZC-001**

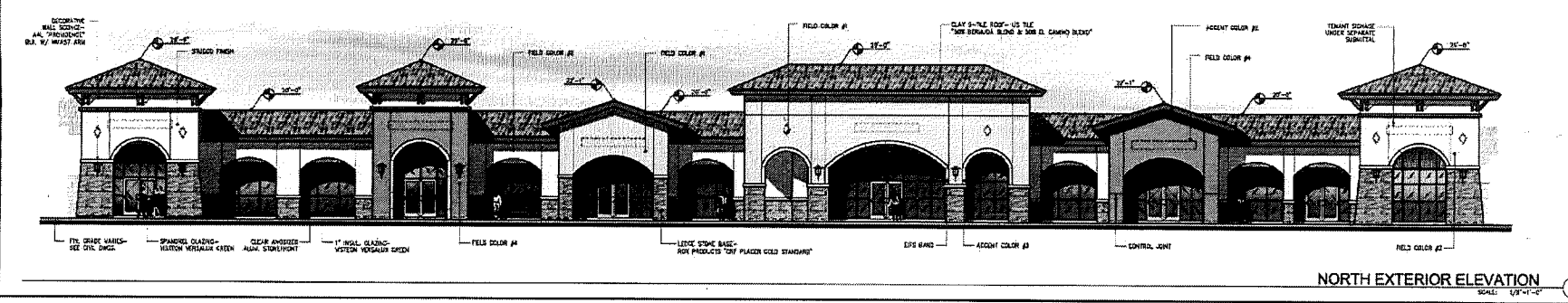
**EXHIBIT E
Renderings
and
Photosimulations**



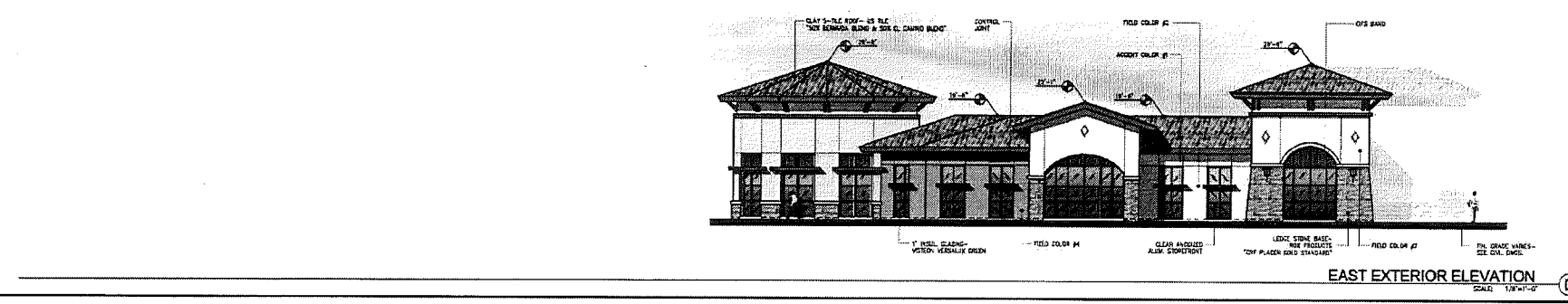
SOUTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



WEST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



NORTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



EAST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"

WARE MALCOMB
ARCHITECTS
PLANNING
DESIGN
GROUP
1800 W. AVENUE 10
SANTA ANITA, CALIFORNIA 91386
TEL: 818-341-1500
WWW.WMARCHITECTS.COM

AGOURA BUSINESS CENTER WEST, LLC
AGOURA BUSINESS CENTER WEST
CENTER WEST
5301 DERRY AVENUE
AGOURA HILLS, CALIFORNIA

EXTERIOR ELEVATIONS	
NO.	DATE

DRAWING NO. **A4.1**
 DATE: 01/03
 CADD: 01/03
 SCALE: 1/8"=1'-0"
 2-SET
A4.1

1/23/2013 10:40 AM Agoura Business Center - West - 1/23/2013 10:40 AM





