



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

ACTION DATE: April 5, 2012

TO: Planning Commission

APPLICANT: James Ashford of 1534 McCadden, LLC
5126 Clareton Drive
Agoura Hills, CA 91301

CASE NO.: 05-CUP-001 (Amendment #3)

LOCATION: 29020 Agoura Road, Suite A-14
(A.P.Ns. 2061-031-023 & 024)

REQUEST: Request by applicant to amend a previously approved Conditional Use Permit for live entertainment in a restaurant (Sunset Room). Staff also requests that the Planning Commission review a monitoring report.

ENVIRONMENTAL DETERMINATION: The project is exempt from CEQA.

RECOMMENDATION: Staff recommends that the Planning Commission accept the monitoring report, approve the applicant's request to amend Condition No. 24 of Resolution No. 11-1041, and deny the applicant's request to amend Condition Nos. 13 and 25 of Resolution 11-1041 for Conditional Use Permit Case No. 05-CUP-001 (Amendment #3), subject to the conditions based on the findings of the attached draft Resolution.

ZONING DESIGNATION: PD (Planned Development - Agoura Village Specific Plan)

GENERAL PLAN DESIGNATION: PD (Planned Development)

I. PROJECT BACKGROUND AND DESCRIPTION

The applicant, James Ashford, representing the Sunset Room, is requesting a Conditional Use Permit Amendment to modify three live entertainment conditions of approval. The

three conditions were included as conditions of approval for the Conditional Use Permit by the Planning Commission when it approved the Conditional Use Permit Amendment #2 for the Sunset Room on October 6, 2011. The restaurant is located at 29020 Agoura Road within the Agoura Village Shopping Center which is in the Planned Development (Agoura Village Specific Plan) zone. The first Conditional Use Permit for live entertainment was approved by the Planning Commission in 2006 for the previous restaurant at this location (Chapter 8). Over the past five years, the Planning Commission has approved two amendments to the original Conditional Use Permit (CUP) which changed the type, the days, and hours of the entertainment.

The most recent amendment to the Conditional Use Permit, granted for the Sunset Room in 2011, allowed for the following types and hours of indoor entertainment for the restaurant. (For reference, attached are the staff report, Resolution and Conditions of Approval for the Sunset Room's Conditional Use Permit.)

Currently Approved Live Entertainment

Days	Type	Hours
Monday	Sports night	4:00 p.m. to 1:30 a.m.
Tuesday:	Jazz-Blues-Comedy-Similar Entertainment	4:00 p.m. to 1:30 a.m.
Wednesday:	Low Key Live Entertainment	5:00 p.m. to 8:00 p.m.
	Karaoke	8:00 p.m. to 1:30 a.m.
Thursday:	DJ, Live Band with singer	4:00 p.m. to 1:30 a.m.
Friday:	DJ, Live Band with singer	4:00 p.m. to 1:30 a.m.
Saturday:	DJ, Live Band with singer	4:00 p.m. to 1:30 a.m.
Sunday:	Live Entertainment (Easy Rock/Latin Jazz)	12:00 p.m. to 1:30 a.m.

As potential impacts associated with the live entertainment are best gauged after the business is fully operational, the conditions of approval include a condition that a 6-month monitoring report of the applicant's compliance with the conditions be provided by staff to the Planning Commission for review.

While the conditions of approval allow live entertainment seven days a week, currently, the restaurant is open Wednesday through Saturday only. The applicant has informed staff that due to a lower than anticipated patronage, he is seeking to amend the current conditions of approval (attached to this report) to change the time for "last call" of alcoholic beverages (Condition No. 13); to allow for outdoor entertainment (Condition No. 24); and to allow for lingerie shows (Condition No. 25).

II. STAFF ANALYSIS

For purposes of this report, staff has combined findings regarding the monitoring report, with the applicant's amendment requests. Staff inspected the restaurant and live entertainment on the following dates: November 5, and 18, 2011, and February 2, 2012. Staff has also conducted numerous random inspections of the on-site and off-site parking lots over the past six months. The conditions of approval and staff's comments on each are as follows:

CONDITION NOS. 1 through 6 are standards conditions.

CONDITION NO. 7: *"The applicant shall comply with all requirements of the State Department of Alcohol Beverage Control."*

- The applicant has received approval from the Alcohol Beverage Control Department (ABC) for a Type 47 license (on-sale of beer, wine, and distilled spirits). Included in the application was a list of ABC enforceable conditions of approval. ABC confirms that the applicant has abided by all the conditions and is not in violation of ABC regulations.

CONDITION NO. 8: *"In accordance with Zoning Ordinance Section 9710, a new Conditional Use Permit by the City shall be required when any of the following conditions of the business apply:*

- A. *The establishment changes its type of retail liquor license with the Department of Alcoholic Beverage Control;*
 - B. *There is substantial modification to the mode or character of operation, including, but not limited to, any increase of 20% or more in the floor area.*
 - C. *The alcoholic beverage license has either been revoked or suspended for any period by ABC."*
- No such changes have occurred.

CONDITION NO. 9: *"All employees involved in direct sales to customers shall enroll annually in ABC-approved alcoholic service training."*

- The owner has verified that all the employees involved in direct sales were trained on ABC's rules and regulations.

CONDITION NO. 10: *"A full dinner menu shall be available until 1:00 a.m."*

- The kitchen appears to be staffed and functioning into the late hours as inspected by staff.

CONDITION NO. 11: *"There shall be no minimum number of drinks required to be consumed during the operation of the eating establishment."*

- Staff was not able to verify this condition but has not received evidence on any violation.

CONDITION NO. 12: *"There shall be no service of alcoholic beverages on the dance floor."*

- Staff conducted inspections during the hours of operation on November 5 and 18, and February 2, 2011, and was able to confirm that no alcohol was served on the dance floor during the inspections.

CONDITION NO. 13: *"'Last call' for alcoholic beverages will occur at 1:00 a.m. and there shall be no service of alcohol after 1:15 a.m. On Fridays and Saturdays, 'last call'"*

for alcohol beverages will occur at 1:15 a.m. and there shall be no service of alcohol after 1:30 a.m. All patrons must exit the premises by 2:00 a.m."

Staff conducted inspections during the hours of operation on November 5 and 18, 2011 and February 2, 2012, and was able to confirm that no alcohol was served after the hours specified above while present.

- The applicant has filed a request to amend Condition No. 13 to change the last call to 1:30 a.m. (currently 1:00 a.m. except Friday and Saturday 1:15 a.m.), and last service to 1:45 a.m. (currently 1:15 a.m. except Friday and Saturday 1:30 a.m.). The applicant has indicated that the reason for this request is to be comparable with the other alcohol servicing businesses in the area.

Condition No. 13 as currently written, which the applicant had agreed to previously, was intended to encourage and assist patrons to leave the premises in an expedient, orderly, and safe manner. This condition was meant to serve as a "cool down" period in order to avoid the last minute rush to order alcohol prior to close of business, to help dissipate the crowd safely, to minimize crowds waiting for valets retrieving vehicles, and to reduce traffic congestion in the area. This condition was also coordinated with the condition regarding increased security in the parking lot during the last hour of operation (the business closes at 2:00 a.m.) to help in the orderly shutdown of the business. Past experience has shown that substantial control of the parking lot is necessary at the end of the day as patrons exit the site. This "cool down" protocol was recommended by staff and the Sheriff's Department in reaction to what was experienced under the previous operator (Chapter 8) in which there were numerous calls for service at the end of the day regarding altercations and disorderly conduct. It is staff's opinion that the "cool down" provisions have been effective in reducing the calls for service and in protecting public safety. Since Sunset Room opened its doors in October 2011, the Sheriff's Department reports 5 calls related to disorderly conduct, 4 calls related to drunkenness, 2 calls related to theft and 5 calls related to false security alarms. If compared to the number of service calls originated from Chapter 8, the previous operator, the number of calls is lower and limited to a fewer categories of disturbances. Staff is not in favor of the request to modify Condition No. 13.

CONDITION NO. 14: *"Bottle service" shall only be allowed at times when a full dinner menu is available."*

- Staff was not able to confirm that condition, but has not received evidence of any violation.

CONDITION NO. 15: *"The applicant shall comply with all the provisions in the Security Plan, marked Exhibit E, and is made a condition of the Conditional Use Permit Amendment #2."*

- Staff conducted inspection during the hours of operation on November 5, and 18, 2011 and February 2, 2012 and was able to confirm that security was in place during the visits, both inside the premises and in the parking lot per the security plan.

CONDITION NO. 16: *“Security/monitoring staff will be designated to patrol the parking lot and adjacent areas during the evening hours until the close of business and until all of the patrons have left the premises.”*

- Staff conducted inspection during the hours of operation on November 5, and 18, 2011 and February 2, 2012 and confirmed that security was in place during the visit.

CONDITION NO. 17: *“The telephone number of a responsible party shall be available upon request from the Lost Hills Sheriff Station staff.”*

- The owner has confirmed that the owner’s phone number is available to the Sheriff Station’s staff.

CONDITION NO. 18: *“Minors must be accompanied by an adult whenever there is dancing or live entertainment.”*

- No minors appeared in the restaurant during inspections, however staff was not able to confirm the age of the customers. The applicant confirms that the patrons’ identification is checked before entry.

CONDITION NO. 19: *“On-site security cameras shall be maintained. The recording shall be archived a minimum of 14 calendar days.”*

- Security cameras have been installed and inspected by the Los Angeles Sheriff’s Department.

CONDITION NO. 20: *“There shall be no pool tables or electronic gaming machines.”*

- There are no pool tables or electronic gaming machines within the restaurant.

CONDITION NO. 21: *“There shall be no leasing of the facility or subletting the facility for outside events.”*

- Staff is not aware of third party leasing of the restaurant.

CONDITION NO. 22: *“There shall be no “after hours” use of the facility. Closing time shall be no later than 2:00 a.m.”*

- Staff is not aware of the use of the facility after hours.

CONDITION NO. 23: *“The dance floor shall not exceed 1,080 square feet.”*

- Staff verified that the dancing is occurring only in the designated area shown on the approved floor plan.

CONDITION NO. 24: *“There shall be no outdoor entertainment or dancing.”*

- No outdoor dancing was occurring during Staff’s visit. Staff did note that speakers were installed outside for ambiance music, but the weather was not conducive for customers to stay outside.

The applicant has filed a request to modify Condition No. 24 to have a musician play the guitar or the keyboard on Sunday afternoons and every evening from 5:00 p.m. to 8:00 p.m. in the enclosed outdoor patio along the east wall. No

changes to the building are proposed and the full dinner menu would continue to be provided. The proposed amendment to Condition No. 24 is as follows:

Condition No. 24: ~~“There shall be no outdoor entertainment or dancing.~~

The outdoor entertainment shall be limited to a musician or recorded music for the purpose of playing ambience music to the dining patrons. No dancing is allowed in the outdoor dining area.”

Outdoor entertainment is a conditionally permitted use in the Agoura Village Specific Plan and falls under the purview of the current Conditional Use Permit for live entertainment. The proposed live entertainment would remain ancillary to the dining and is intended to provide ambience music for diners only. Since the patio was originally approved for dining and drinking, and was designed as such, and the applicant has not provided any details on dancing, including a floor plan and other operational components, staff recommends dancing continue to be prohibited outdoors. However, the addition of ambience music in the patio area would not trigger a requirement for additional parking whereas additional dancing space would require revising the original traffic study. Therefore, the amendment to Condition No. 24 excludes dancing on the patio and as such, all other conditions remain applicable. A similar request to have indoor and outdoor live entertainment was approved in December 2011 by the Planning Commission for a restaurant located at the northwest corner of Agoura Road and Kanan Road (Ladyface Alehouse & Brasserie). Although there are no residential neighborhoods in the vicinity, there is one caretaker unit across the street from the shopping center that could be impacted and as such the applicant was conditioned not to exceed the 50 db at the property line. Currently, the outdoor dining area is enclosed with solid walls, but is open to the sky. The applicant is interested in adding a cover over the outdoor dining area that would help in muffling the sound. In Staff's opinion, the addition of ambience music on the patio area would not fundamentally alter the original application. Staff supports the request to amend Condition No. 24 with respect to ambience music.

CONDITION NO. 25: *“Live entertainment is limited to only what is approved by the Planning Commission under this Conditional Use Permit. There shall be no wet tee-shirt contests, pole-dancing, lingerie shows, bikini dancing or taxi dancing, or the like.”*

- Although specifically prohibited, one lingerie show took place on February 2, 2012, without City approval. A video of the event can be viewed on the following YouTube web link: http://www.youtube.com/watch?v=uecY_XJOVq8. Staff did not videotape the event, but was present in the restaurant that evening.

The applicant is now requesting to amend Condition No. 25 to allow lingerie shows. When the Planning Commission approved the live entertainment Conditional Use Permit Case No. 05-CUP-001 Amendment #2 in October 2011, the Planning Commission expressly limited the type of entertainment allowed. The Applicant indicated his intent to operate a “supper club” where live entertainment would be ancillary to dining. At that time, Staff worked with the applicant in crafting Condition No. 25 and the Applicant agreed to the restrictions in Condition No. 25. Staff finds that amending Condition No. 25 to allow lingerie shows would change the character of the use approved by Conditional Use Permit

Case No. 05-CUP-001 Amendment #2. Such live entertainment would not be ancillary to dining as originally proposed and approved. In addition, the addition of lingerie shows would fundamentally alter the character of the use, potentially necessitating additional traffic studies and changes to the floor plan. The Applicant previously agreed to the condition prohibiting lingerie shows. Staff does not support the request to change Condition No. 25 to allow lingerie shows.

CONDITION NO. 26: *“Any changes to the Floor Plan shall be subject to review and approval by the Director of Planning and Community Development and/or the Planning Commission.”*

- No major change in the floor plan has been requested by the applicant and staff is not asking for a change. Some events required the use of a stage of various dimensions.

CONDITION NO. 27: *“The facility shall be responsible for removing all trash and debris from the site and adjacent sites every day after closing.”*

- With the exception of two Sunday mornings on October 29, 2011 and February 5, 2012, the Code Enforcement Officer was able to verify that the site is kept clean after the closing of the business. Staff would note a recent increase in debris on Cornell Road, but cannot verify that it is attributable to the Sunset Room’s patrons.

CONDITION NO. 28: *“There shall be no noise audible over 50 dB beyond the property line per the Zoning Ordinance.”*

- Staff noted that the music was audible from the street on November 18, 2011 and requested the applicant not use outdoors speakers but no complaint was received.

CONDITION NO. 29: *“All live entertainment shall cease no later than 1:30 a.m.”*

- Staff was able to verify on one visit that the entertainment ended at the required time.

CONDITION NO. 30: *“All graffiti on the site shall be removed or painted over within 24 hours of each occurrence.”*

- No graffiti has been found at the site or on adjacent sites.

CONDITION NO. 31: *“Prior to issuance of occupancy, the applicant shall meet with the City Traffic Engineer and shall submit a valet parking circulation plan to the satisfaction of the City Traffic Engineer.”*

- The applicant met with staff and submitted a valet parking circulation plan that would comply with the City Traffic Engineer’s requirements. The applicant contracted to have cars parked off-site at a business park on Agoura Road. Contracts were signed with other property owners to gain access to additional parking.

CONDITION NO. 32: *“Any changes to the valet parking, including changes to Condition Nos. 31, 33, and 34, shall be subject to review and approval by the Director of Planning and Community Development and/or the Planning Commission prior to implementation.”*

- A Parking Study was submitted as part of the Conditional Use Permit Amendment which concluded that the new restaurant would require additional parking off-site with valet services. As a result, the Sunset Room was required to provide valet parking services and start the process with securing an agreement with nearby properties with adequate parking facilities. Over the course of six months, the Sunset Room negotiated with the Adobe Cantina, the Whizin Market Place, the Gateway and the Shamrock office buildings. The City approved each request, each time consulting with the City Traffic Engineer on public safety. Each site was found to be adequate as long as the Valet Parking Company could have access to at least 140 parking spaces in the evenings Monday through Sunday.

Following the Planning Commission hearing, the applicant submitted three subsequent requests to use alternative sites for parking. Realizing that the parking lot at the Adobe Cantina would not be paved in time to be used for the grand opening, a first request was submitted to the Planning Department to use an unused area of the Whizin Shopping Center instead of the Adobe Cantina which would provide about 100 spaces in addition to the originally agreed upon Canyon Tile and Stone for the remainder 29 parking spaces. The second request came shortly thereafter, using the Gateway Corporate Center located at 28632 Agoura Road, which had enough parking to accommodate the 129 required additional spaces and with good access. While writing the agreement, the applicant agreed to lease an additional 11 spaces for a total of 140 spaces. These requests were approved by the Director of Planning and Community Development as allowed under Condition No. 32. A third request was submitted to use the Shamrock office building located at 28720 Roadside Drive instead, one lot closer to the restaurant with cars to be driven on Cornell Road and Roadside Drive. That request was approved administratively as well. The valet company's services are being used the days the Sunset Room is open, on Thursday, Friday and Saturday nights. The reported number of spaces that are being utilized did not exceed 50 spaces on any one evening over the course of 6 months; the applicant requested to reduce the required number to 70 or half of the originally agreed number of spaces. The Director of Planning and Community Development agreed to a modification to the contract provided that availability for and access to 140 spaces is guaranteed.

CONDITION NO. 33: *“Prior to issuance of occupancy, the applicant shall enter into parking agreements with the property owner of the property currently occupied by the Adobe Cantina, and with the property owner of the property currently occupied by the Canyon Tile and Stone, acceptable to the City, for use as off-site valet parking lots of The Sunset Room patrons' vehicles. Per the Parking Study, there shall be a minimum of 226 spaces provided both on-site and off-site at all times.”*

- See discussion above. Another location was chosen and approved administratively.

CONDITION NO. 34: *“Prior to occupancy, the Adobe Cantina parking lot's unpaved areas to be used for parking, per the Parking Study, shall be provided with a finished*

surfaced and improved to the satisfaction of the City Engineer and the Director of Planning and Community Development."

- See discussion above. Another location was chosen so it is not necessary to pave the Adobe Cantina parking lot.

CONDITION NO. 35: *"A copy of these conditions will be maintained on the premises and all managers shall be made aware of these conditions."*

- The applicant informed staff that the conditions are on site at all times but that has not been verified.

CONDITION NO. 36: *"The applicant shall allow inspection of premises by City Staff during normal business hours. A monitoring report on the applicant's compliance with the conditions of approval shall be prepared by the City Staff to the Planning Commission no later than 6 months after initial operation and at anytime thereafter as deemed necessary by the City. If at any time there are excessive calls for service by the Sheriff's Department, the applicant shall take action to address those issues immediately, including increasing security personnel and paying the City of Agoura Hills to offset the costs for the increases in calls for services attributed to the Sunset Room."*

- Staff made random site visits and reported on the operation. The applicant cooperated with staff on each inspection. The Los Angeles County Sheriff's Department has provided the City with a report of service calls. To date, there have been from October 2011 to mid March 2012:
 - 5 calls for false alarms triggered by the cleaning staff
 - 5 calls for disorderly conduct
 - 4 calls for drunkenness
 - 2 calls for theft

CONDITION NO. 37: *"In the event that the applicant seeks to install a cover over the outdoor dining area, the design of the cover is subject to the review and approval of the Director of Planning and Community Development Department and the Building Official."*

- The applicant has installed a temporary structure over the outdoor dining area in order to continue serving his clientele during inclement weather. If the cover remains, it would require a Planning Department and Building and Safety Department approval.

CONDITION NO. 38: *"The Sunset Room Restaurant and Lounge will not open for business until the Conditional Use process for live entertainment is completed and all required permits are issued."*

- The applicant has been approved for all the work conducted inside and only operated after receiving final inspections and occupancy issuance from the Building and Safety Department.

The applicant is requesting amendment to the Conditional Use Permit conditions regarding "last call", outdoor live entertainment and lingerie shows. With the exception

of the patio cover and outdoor speakers, and the occurrence of a lingerie show, the applicant appears to have complied with all the conditions of approval.

If the Planning Commission wishes to approve the proposed amendment, the Commissioners may impose any reasonable conditions found necessary to meet the objectives of the Conditional Use Permit. Such conditions may include such limitations regarding the number of performers, the location, days and hours of the performances, noise restriction, a monitoring report, and the like. The revised conditions prepared for the Planning Commission's consideration are intended to ensure the entertainment is ancillary to the restaurant.

In reviewing the Sunset Room's Conditional Use Permit last year, staff's analysis and recommendations were based on past experience with live entertainment, particularly combined with on-sale of alcohol, at this location as well as at other locations in the city. The scope of live entertainment, security, traffic, and parking have been issues that have arisen in the past and staff had worked diligently with the applicant in crafting conditions to avoid conflicts. After six months of operation, staff believes that these conditions of approval have been effective.

In approving any request for Conditional Use Permit or amendments, the Planning Commission should be mindful that the Conditional Use Permit and the conditions of approval run with the land and is not personal to any individual or to a particular business. Therefore, the Commission should be aware that the restaurant may be operated under different ownership in the future and the Conditional Use Permit could be used for any type of live entertainment that is within the context of the approved conditions.

III. ENVIRONMENTAL REVIEW

The project is exempt from the California Environmental Quality Act, as defined in Section 15301 (Class 1).

IV. RECOMMENDATION

Based on staff's analysis, it is recommended that the Planning Commission accept the monitoring report, approve the draft Resolution for the applicant's request to amend Condition No. 24 of Resolution No. 11-1041 to allow for outdoor live entertainment, and deny the applicant's request to amend Condition Nos. 13 and 25 of Resolution 11-1041 regarding "last call" of alcohol beverages and lingerie shows.

If the Planning Commission desires to grant approval of amendments to either Condition No. 13 or 25, or to deny each the applicant's proposed amendments, staff would return with a revised draft Resolution for approval.

V. ATTACHMENTS

- Draft Resolution and Conditions of Approval of the Conditional Use Permit Amendment #3

- Exhibit A: October 6, 2011 Staff Report, Approved Resolution and Conditions of Approval of Conditional Use Permit Amendment #2
- Exhibit B: Vicinity/Zoning Map
- Exhibit C: Site and Floor Plans
- Exhibit D: New Valet Parking Plan

Case Planner: Valerie Darbouze, Associate Planner

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS APPROVING AN AMENDMENT TO CONDITION NO. 24 OF CONDITIONAL USE PERMIT CASE NO. 05-CUP-001 (AMENDMENT #3) AND DENYING AMENDMENTS TO CONDITION NO. 13 AND CONDITION NO. 25.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. In May 2005, the Planning Commission for the City of Agoura Hills (“City”) approved Conditional Use Permit No. 05-CUP-001, subject to conditions, per Planning Commission Resolution No. 812. In September 2007, the Planning Commission approved Conditional Use Permit Case No. 05-CUP-001 Amendment #1 per Planning Commission Resolution No. 911.

Section 2. On October 6, 2011, the Planning Commission approved Conditional Use Permit Case No. 05-CUP-001 Amendment #2 per Planning Commission Resolution No. 11-1041. The applicant accepted the conditions attached to Conditional Use Permit Case No. 05-CUP-001 Amendment #2 and began operating The Sunset Room in October 2011.

Section 3. On March 15, 2012, an application was duly filed by James Ashford of 1534 McCadden, LLC, on behalf of The Sunset Room (the “Applicant”), with respect to the real property located at 29020 Agoura Road, Suite A-14, Assessor’s Parcel Numbers 2061-031-023 and 024. The Applicant is requesting approval of an amendment to the current conditions of approval for Conditional Use Permit Case No. 05-CUP-001. Specifically, the Applicant has requested: (1) to delay the time for “last call” of alcoholic beverages (Condition No. 13); (2) to allow for outdoor entertainment in the form of ambience music (Condition No. 24); and (3) to allow for lingerie shows (Condition No. 25).

Section 4. The Planning Commission of the City of Agoura Hills considered the requested changes to the conditions of approval for Conditional Use Permit Case No. 05-CUP-001 at a public hearing held on April 5, 2012 at 6:30 p.m. in the Council Chambers, City Hall at 30001 Ladyface Court, Agoura Hills, CA 91301. Notice of the time, date, place, and purpose of the aforesaid was duly given.

Section 5. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 6. Pursuant to Section 9673.2.E of the Agoura Hills Zoning Ordinance, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds the request to revise Condition No. 24 in substantial conformance with the original approval per the findings in Resolution No. 11-1041.

Section 7. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission denies the Applicant's request to amend Condition No. 13 and Condition No. 25 based on the following:

- A. In approving Conditional Use Permit Case No. 05-CUP-001 Amendment #2, the Planning Commission imposed certain conditions on the requested use in order to be able to make the findings required by Section 9673.2.E of the Agoura Hills Zoning Ordinance for the approval of a conditional use permit.
- B. The conditions approved by the Planning Commission per Resolution No. 11-1041 specifically included a prohibition against lingerie shows, and a requirement that last call occur at 1:00 a.m. Sunday through Thursday, and 1:15 a.m. Friday and Saturday. The Applicant accepted these conditions and began operating The Sunset Room in October 2011.
- C. The record demonstrates that the Planning Commission imposed those two conditions in order to ensure that the proposed use of the property is not detrimental to the public health, safety, or welfare. The Applicant has not demonstrated any changed conditions suggesting that these two conditions are no longer required to make sure that the operation will not be detrimental to the public health, safety or welfare.

Section 8. The Planning Commission hereby finds that the action taken by this resolution is categorically exempt from the California Environmental Quality Act (Public Resources Code Section 21000 et seq., "CEQA"), pursuant to Section 15061(b)(3) of the state CEQA Guidelines (Title 14, California Code of Regulations, Section 15000 et seq.) because the project does not have any potential for causing a significant effect on the environment. The revised condition of approval amends only one condition of approval to allow ambience music on the outdoor dining patio. Thus, there is no possibility that the project will have a significant effect on the environment. In addition, the Project involves the operation of an existing structure involving negligible or no expansion of use beyond the already existing use. Thus, the Project is exempt from CEQA review pursuant to Section 15301 (Class 1).

Section 9. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 05-CUP-001 Amendment #3 with revised Conditions of Approval, attached hereto as Exhibit A and incorporated herein by reference.

Section 10. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED and ADOPTED this 5th day of April, 2012 by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John O'Meara, Chairperson

ATTEST:

Mike Kamino, Secretary

Conditions of Approval
Case No. 05-CUP-001 Amendment #3

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of these Permits with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the project plans as approved by the Planning Commission on April 5, 2012.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse provided that the applicant has been given written notice to cease such violation and has filed to do so for a period of thirty (30) days.
7. All Conditions of Approval in Planning Commission Resolution No. 11-1041, except as modified herein, are valid and shall remain valid for the life of the project. The Conditions of Approval in Planning Commission Resolution No.11-1041 are amended as follows:

“24. ~~There shall be no outdoor entertainment or dancing.~~
The outdoor entertainment shall be limited to a musician or recorded music for the purpose of playing ambience music to the dining patrons to be located along the east wall. No dancing is allowed in the outdoor dining area.”

END

CASE NO. 05-CUP-001 Amendment #3

**For the project located at 29020 Agoura Road
Agoura Hills**

Exhibit A

**October 6, 2011 Staff Report, Approved Resolution
and
Conditions of Approval**



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

ACTION DATE: October 6, 2011

TO: Planning Commission

APPLICANT: James Ashford of 1534 McCadden, LLC
5126 Clareton Drive
Agoura Hills, CA 91301

CASE NO.: 05-CUP-001 Amendment #2

LOCATION: 29020 Agoura Road, Suite A-14
(A.P.Ns. 2061-031-023 & 024)

REQUEST: Request to approve an amendment to a
Conditional Use Permit for Live Entertainment
in a restaurant.

ENVIRONMENTAL
DETERMINATION: Categorical Exemption Section 15301 (Class 1)

RECOMMENDATION: Staff recommends approval of Conditional Use
Permit Amendment Case No. 05-CUP-001
Amendment #2, subject to the conditions based
on the findings of the attached Resolution.

ZONING DESIGNATION: SP (Agoura Village Specific Plan)

GENERAL PLAN DESIGNATION: PD (Planned Development)

I. PROJECT BACKGROUND AND DESCRIPTION

The applicant, James Ashford, representing The Sunset Room, is requesting a Conditional Use Permit Amendment for live entertainment as an ancillary use to a proposed restaurant/supper club. The restaurant is located at 29020 Agoura Road within the Agoura Village Shopping Center and is one of seven tenants in the shopping center. The restaurant is also located in the Agoura Village Specific Plan area which allows the use at this location. A Conditional Use Permit for live entertainment was originally approved by the Planning Commission for the previous restaurant, Chapter 8, in July of 2006 for the same tenant space and the Conditional Use Permit amended in September of 2007. The original Conditional Use Permit allowed dancing to recorded music on Fridays and Saturdays. The amended Conditional Use Permit allowed a 3-man band to play ambient music during the dinner-serving hours every day in the early hours of

dining. The new restaurant operator for The Sunset Room proposes to open the facility as a supper club with a different type of entertainment and hours.

The Zoning Ordinance requires the submittal of a Conditional Use Permit for any proposed live entertainment to be considered by the Planning Commission to ensure compatibility with neighboring uses and to apply appropriate conditions of approval. In order to achieve these purposes, the Planning Commission may grant or deny a Conditional Use Permit application and impose reasonable conditions, subject to the right of appeal to the City Council. In this case, since a CUP for live entertainment has already been approved for a prior user and remains applicable to the tenant space, an amendment is required to revise the scope of the previously approved entertainment. The applicant would continue operating with a Department of Alcoholic Beverage Control License Type 47, for on-sale of beer, wine, and distilled spirits sales. The applicant is not considering upgrading or adding any other-types of alcohol licenses and is not subject to obtaining a separate Conditional Use Permit from the Planning Commission for the alcohol license. The applicant is agreeable, though, to the draft conditions of approval for the live entertainment, and the Department of Alcohol Beverage Control withholding the issuance of the liquor license for the restaurant until the City takes final action on the Conditional Use Permit amendment for the proposed live entertainment.

The shopping center is located at the southwest corner of Agoura Road and Cornell Road. The parcel is bordered by the Medea Creek flood control channel to the west, Cornell Road and vacant hillside property to the east, vacant open space land to the south, and the Regency Theater Center to the north. Padri Restaurant is not part of this shopping center and is under separate ownership.

There are currently 97 parking spaces in the parking lot which is served by a 2-way driveway off of Agoura Road and a one-way (ingress only) driveway off of Cornell Road. The Sunset Room will share the parking lot with other tenants including Isabella Italian Restaurant, Teague Pilates, and Let's Face It (permanent make-up treatments). The remaining tenant spaces are vacant.

The following two tables summarize the requested floor plan changes to accommodate the new restaurant and live entertainment (Table 1), and the types of entertainment proposed during the week (Table 2). Attached are copies of the proposed floor plan for the Sunset Room and previous floor plan (Chapter 8).

TABLE 1

	Total Tenant Space	Previous Dining Area (Chap 8)	Proposed Dining Area (Sunset Room)	Previous Entertainment Area (Chapter 8)	Proposed Entertainment Area (Sunset Room)
Indoor	6,531 sq.ft.	3,500 sq.ft.	1,944 sq.ft.	1,080 sq.ft.	1,080 sq.ft.
Outdoor	1,000 sq.ft.	1,000 sq.ft.	1,000 sq.ft.	None	None
Total:	7,563 sq.ft.	4,500 sq.ft.	2,944 sq.ft.	1,080 sq.ft.	1,080 sq.ft.

TABLE 2

<u>Days</u>	<u>Type</u>	<u>Hours</u>
Monday	Sports night	4:00 p.m. to 1:30 a.m.
Tuesday:	Jazz-Blues-Comedy-Similar Entertainment	4:00 p.m. to 1:30 a.m.
Wednesday:	Low Key Live Entertainment	5:00 p.m. to 8:00 p.m.
	Karaoke	8:00 p.m. to 1:30 a.m.
Thursday:	DJ, Live Band with singer	4:00 p.m. to 1:30 a.m.
Friday:	DJ, Live Band with singer	4:00 p.m. to 1:30 a.m.
Saturday:	DJ, Live Band with singer	4:00 p.m. to 1:30 a.m.
Sunday:	Live Entertainment (Easy Rock/Latin Jazz)	12:00 p.m. to 1:30 a.m.

II. STAFF ANALYSIS

Staff has reviewed the proposed request for the Conditional Use Permit Amendment and has the following comments regarding live entertainment, traffic/parking and security.

Live Entertainment

The previously approved Conditional Use Permit for Chapter 8 was limited to dancing to recorded music between the hours of 10:00 p.m. and 2:00 a.m. on Fridays and Saturdays, and a live 3-piece band on Tuesday through Friday, from 5:00 p.m. to 10:00 p.m. for dining ambiance. The live entertainment was required to be provided completely inside the restaurant. Fridays were the only days when the two types of entertainment were allowed from 5:00 p.m. to 2:00 a.m.

The current applicant is asking to change the scope, frequency, and hours of the entertainment, as well as the interior layout of the tenant space. The existing CUP for Chapter 8 allowed for up to 1,080 square feet of dance area on the right side of the entrance to the restaurant adjacent to the outdoor dining area. The live entertainment for Chapter 8 was created by relocating tables in the dining area. The Sunset Room, however, will not make the dining area and live entertainment area interchangeable. Although the applicant is proposing to keep 1,080 square feet of dancing area as the previous facility, the dance floor is proposed to be relocated to the left side of the entrance to the restaurant, which the applicant has stated, is more conducive to accommodating live bands, a DJ station, and other types of stand-up entertainment. Likewise, it may be more conducive to a higher occupancy. The restaurant's operating hours are expected to be on Monday through Sunday from 11:00 a.m. to 2:00 a.m. The restaurant would offer dancing every night, except possibly of stand-up comedy performances and sports nights. The previous dance floor area would be converted to a dining area, and the mezzanine that was approved for a DJ and dancers above the areas would be reduced in size and specifically designed to support a sound system.

All proposed entertainment as stated by the applicant is listed in Table 2 in Section I of this report. While some of the listed entertainment during the week, as proposed by the applicant, is somewhat open-ended in specific details, what is apparent is that the applicant is proposing: 1/ band performances with singers (i.e. rock, jazz, Latin jazz, blues music); 2/ karaoke singing; 3/ DJ recorded music; and 4/ comedy performances.

Since these are the only, specific types of live entertainment given by the applicant, staff recommends that the conditions of approval limiting the allowable entertainment to only these types. If the applicant desires to change the types of live entertainment in the future to something other than what has been approved by the Planning Commission, the applicant would be required to obtain approval of new Conditional Use Permit amendment. The Planning Commission may also elect, instead, to defer requests for minor changes to live entertainment to the Director with the option of the Director to refer the matter to the Planning Commission for a CUP amendment. Staff is, however, recommending a condition that specific forms of live entertainment, including wet-T-shirt contests, pole dancing, lingerie show, bikini dancing, or taxi dancing or the like be strictly prohibited.

Staff remains unclear as to what live entertainment, if any, is associated with the "sports night." Of the allowable types of entertainment, staff does not see the need to distinguish which day of the week a particular type of performance is held, as the owners may want the flexibility to choose and change the appropriate days of the entertainment. Staff does, however, support specifying the allowable hours of live entertainment for each day of the week. Although a full dinner menu is conditioned to be provided until 1:00 a.m., staff is concerned that the combination of reduced dining areas within the restaurant, and the allowable hours of entertainment, may be conducive for the supper club to be more akin to a night club during the later evening hours. Thus, the entertainment could become the primary use of the supper club during certain hours and not necessarily cater primarily to diners. The conditions of approval are intended to help ensure dining remains a primary use for this restaurant, and any other future eating/drinking establishment that may occupy the tenant space. Also, if deemed appropriate by the Planning Commission, staff would also request the Planning Commission conditions, since the applicant has not, the maximum number of band members allowed to perform. Staff would note that all entertainers would be required to be located within the designated dance floor area, and/or adjacent equipment area.

The applicant has communicated to staff that this type of facility would not be intended to attract a young crowd but rather the 21 year-old and above age range of customers. A condition of approval is included that minors must be accompanied by an adult whenever there is dancing or live entertainment. Minors must also be accompanied by an adult during the dining hours and beyond. No customers under the drinking age will be allowed in the facility unless accompanied by an adult. Additionally, their personnel are responsible for monitoring the maximum occupancy determined by the Fire Department. As such, the personnel will be using hand-held counters at all times. The applicant has indicated that he is expecting to be approved for the same occupancy approved while under the previous ownership.

With respect to noise impacts, the use is subject to the requirements of the Noise Ordinance which establishes maximum decibel levels. The area of the restaurant that will be providing the entertainment is away from the outdoor dining area and surrounded by walls on at least 3 sides. The DJ station is turned away from the front door and the facility has been insulated to minimize noise impacts to other tenants. The shopping center is surrounded by open space to the south and is not in proximity to residential neighborhoods. Outdoor entertainment in the patio is not allowed and no outdoor

speakers are allowed as well. Staff is aware of one dwelling unit that is located in the storage facility across the street used by a site manager.

Staff would note that other Conditional Use Permits for live entertainment have been issued in the area, including for the Fettuccini Bar, the predecessor of the Padri Restaurant located at 29008 Agoura Road adjacent to the site, and the Canyon Club at Whizin's Market Place. Immediately following the Fettuccini Bar change in ownership, another Conditional Use Permit for live entertainment was issued in 2002 at the same site currently occupied by Padri Restaurant. Both aforementioned Conditional Use Permits are currently active.

As previously stated, live entertainment is a permitted use in the SP zone, with the approval of a Conditional Use Permit as being ancillary to dining. The Conditional Use Permit process allows the Planning Commission to impose conditions of approval to minimize impacts on adjacent properties. The previous restaurant within this tenant space required extensive calls for Sheriff's Department services while the business was in operation. The calls for service were attributed to the live entertainment crowds, alcohol consumption, lack of proper security or insufficient security, and the conflicts experienced at the close of business during wait time for valet service. The sections below regarding parking and security address these potential impacts. It is staff's desire to address these concerns through appropriate conditions of approval, which have been agreed to by the applicant. Staff would also note that the restaurant ownership could change in the future. As the Conditional Use Permit "runs with the land", it is important to impose conditions that are clearly written to avoid any ambiguity for future successor users of the restaurant as to what is allowed and what is not.

Parking

This 19,688 square-foot shopping center currently has 97 parking spaces. It is presently occupied by an eating establishment, exercise facility and facial care business. The remainder of the space is vacant but is expected to be occupied by retail uses. The current land use profile of the center is provided below:

TABLE 3

	Current Tenant Space Space	Current Parking Req'mt.	Parking Supply	Previous Req'mt
Vacancy ¹	5,189 sq.ft.	20.75		2
Retail	975 sq.ft.	3.90		3
Exercise	5,073 sq.ft.	21.05		4
Food Use:				
Isabella	2,200 sq.ft.	10		10
Sunset Room (Proposed)	6,531 sq.ft.	44.16 ⁵		67.83 (Chapter 8)
Total	19,688 sq.ft.	100 sp.	97⁶ sp.	116 spaces

As shown above, technically the parking requirement per code for all the uses is for 100 spaces once the Sunset Room is in operation. Because Chapter 8 previously received approval for the outdoor dining patio which increased the parking requirement, a Variance was approved to allow for a 19 space reduction (116 spaces required), per Case No 05-VAR-005. The technical parking requirement for the new restaurant calls for fewer spaces to 100 spaces, so the previous Variance approval could still apply to The Sunset Room.

The applicant is proposing to reduce the overall size of the dining area resulting in a lower parking requirement per Code. However, typically staff has found, as with Chapter 8, that any new entertainment component would tend to increase the actual demand for parking beyond what is required as it is intended to attract more people. Also, historically, during the first few months of operation, new establishments will experience a high parking demand. When combining dining and entertainment components with the novelty of the business, the parking demand will exceed the capacity of the site.

As requested by staff, the applicant has contracted the services of Overland Traffic Consultants, Inc., which prepared a parking study to evaluate the potential parking demand of the new supper club, accounting for existing conditions in the shopping center and surrounding properties. Currently, there are 97 spaces in the parking lot. Based on the current occupancy of the center, the study notes that, the peak demand of the shopping center (both for customers and employees) will reach 213 spaces at 9:00 p.m. on a week night. On weekend nights a peak demand of 226 spaces will start beginning at 9:00 p.m. Additionally, the study finds that the demand will exceed the supply during a week day and weekend starting at 4:00 p.m., therefore, additional parking needs to be available starting at 4:00 p.m. to accommodate all uses. The proposed use will compete

¹ The parking demand was calculated for retail uses.

² Parking requirement of the uses changed over a 5-year period.

³ Same as above

⁴ Same as above

⁵ The parking requirement was based on the dining areas which is less than the previous restaurant.

⁶ Over the years, some of the parking spaces were eliminated for handicap accessible spaces which take more space than a regular space.

with the other tenants parking demand until 9:00 p.m. during the week, and until 10:00 p.m. on weekends. The Code required number of parking spaces is, for the other tenants, 56 parking spaces and the study estimates the peak demand at 66. The Code required number of parking spaces for Sunset Room is 44 and the study anticipates, at its worst case scenario, 190 spaces for the Sunset Room. The solution proposed in the study to accommodate the increased demand is to park off-site through valet parking.

In order to manage the parking demand, the applicant plans on hiring a valet parking company to store the vehicles, to direct traffic, and reserve some of the spaces in the shopping center for the tenants that would still be open. The valet parking operator proposes to start at 5:00 p.m. and end at the close of business. The operator plans to employ a managed parking system and expects to use 20 valet parking attendants, 2 managers, 3 directors and one additional attendant in an electrically-powered cart to monitor the sites. The valet parking plan shows that some of the parking spaces to be reserved for access to the other tenants of the center. Staff expects that self-parkers will be using Cornell Road as well which is permitted in some sections of the road. Staff suggests that the valet parking/security team monitor where clients park to avoid impacts on adjacent properties. A valet parking circulation plan has been included in the Parking Study (Exhibit D). The valet parking company would allow patrons to enter from Agoura Road and continue to the front door to drop off their vehicles or continue around the parking lot to self-park. Patrons could retrieve their vehicles near the entrance and then exit the parking lot on Agoura Road. The valet parking staff would use the same route to park and retrieve the vehicles. The City Traffic Engineer has expressed some concern with the potential traffic volumes and queuing associated with valet parking circulation and impacts on Agoura Road. A condition is included requiring that the applicant design a valet circulation plan to the satisfaction of the City Traffic Engineer.

The applicant/valet parking operator has contracted with the Adobe Cantina, a restaurant located 160 feet to the west on Agoura Road, to use their parking lot for valet parking services and estimates that the facility could potentially provide an additional 130 stacked parking spaces (34 paved and remainder unpaved). The Adobe Cantina needs to maintain a minimum of 32 spaces for its business until 9:30 p.m. and the remainder of the parcel could be used for additional parking. The applicant will also lease parking at the Canyon Tile and Stone located near the Whizin Market Place that could provide an additional 25 spaces. When combining the 97 existing parking spaces in the Agoura Village Shopping Center with the off-site valet parking lots at Adobe Cantina (130 parking spaces) and Canyon Tile and Stone (25 parking spaces), there will be a total of 252 parking spaces available to accommodate the Sunset Room. The Parking Study concludes that since the shared peak weekend demand was for 226 parking spaces, the combination of on-site parking and off-site valet parking will be sufficient.

Both sites that could be used by the applicant's valet parking staff are developed and paved with the exception of the rear portion of the Adobe Cantina parking lot. That portion has been left unpaved over the years and is not required for the Adobe Cantina restaurant. Parking must typically be provided on a finished surface. Public Works staff has also expressed concern with parking on unpaved surfaces due to dust generation and possible runoff, especially into the floor control channel. Also an unfinished parking surface is subject to mud during and after wet conditions which could potentially render

the lot unusable. Given the amount of use that this unpaved area behind Adobe Cantina is expected to experience, staff recommends that this area be provided with a finished surface to the satisfaction of the City. A condition to this effect is included. A condition of approval is also included requiring submittal of parking agreements with Adobe Cantina and with Canyon Tile and Stone for the use of the parking lots for valet parking to ensure that these off-site valet parking lots are available at all times.

The Parking Study also mentions a possible valet parking lot location at the Westlake Lutheran Church located on the north side of Agoura Road, west of Kanan Road, at 29295 Agoura Road for an additional 75 parking spaces. Given the distance, staff does not support including this location as part of the valet parking plan.

Staff visited the site on multiple occasions since the closure of the previous restaurant and noted that the parking lot is usually not fully occupied on any night. Two of the five existing tenants in the shopping center, Isabella Restaurant (formerly Fabrocini) and Pilates Fitness, would continue to operate during the hours the live entertainment would be operating (8:00 p.m. and 10:00 p.m.); other stores would be closed. The hours of operation of all the tenants have not changed since the last review. In order to avoid Sunset Room customers from occupying the entire parking lot, the Sunset Room proposes to use the services of a valet parking company to monitor traffic and direct all the customers to the appropriate designated parking spaces. Some of the spaces will be reserved for self-parkers and other will valet park. The existing tenants could continue to park on-site.

Security

A security plan has been provided for the Planning Commission's review and has been reviewed by City staff. The Sheriff's Department has provided extensive input on the development of the security plan and has approved the plan. In the Security Plan, are listed a number of precautionary measures intended to control crowds and avoid conflicts both inside and outside the establishment and as well as all adjacent areas where customers may be. These measures consist of providing trained personnel, security equipment and implementing policies regarding handling customers. The personnel would consist of one security guard for every 40 guests. However, the applicant is expecting increased security by having between 13 and 15 trained security guards on Friday and Saturday nights. Security staff will have specific responsibilities. Some of the security personnel are intended to monitor parking lots, some to verify IDs and sobriety of the customers coming in and leaving the establishment, some to resolve customer complaints, and others to protect the overall safety of the establishment and dissipate the crowds outside until everyone has left the premises. Each security guard is expected to be stationed in a specific location. The ratio of guards to be inside or outside would depend on the type of entertainment and the time of the day or night. The staff would be dressed in recognizable garments; those monitoring the parking lots would be dressed with safety jackets carrying flash lights. One supervisor would be equipped with portable video recording capabilities and available whenever needed. Past experience has shown that substantial control and monitoring of the parking lot is necessary at the end of the day as patrons exit the site. Measures are included in the security plan calling for increased security personnel to be relocated to the outside and remain in the parking lot

until the parking lot is clear after close of business. The intent is to encourage and assist patrons to leave the premises in an expedient, orderly, and safe fashion. In order to avoid the last minute rush to order alcohol and immediate closing of the establishment, the project is conditioned to stop serving alcohol earlier to allow for a "cool down" period. Specifically, Condition #13 specifies that the "last call" shall be made at 1:00 a.m. Monday through Friday and 1:15 a.m. Saturday and Sunday and that no alcohol shall be served after 1:30 a.m. Condition #29 requires that all live entertainment cease by 1:30 a.m.

The security staff will also coordinate with the valet parking staff to provide expedient service in retrieving the vehicles in order to avoid traffic congestion in and around the shopping center and any potential for conflicts. The security staff is equipped with communication devices to alert of the management of potential issues. In addition, security cameras will be used during the hours of operation of the business. Additional cameras will be installed inside and some outside to monitor the outdoor dining area and the front door and other areas and the coverage has been reviewed and approved by the Sheriff's Department. Conditions of approval include a condition to archive the recordings of the activities during business hours for future use if necessary. The applicant does not intend to lease the facility to third-party promoters to host special events such as those intended for younger age groups. No after hours use is proposed. The CUP is conditioned to accordingly.

Other Comments

The applicant is finishing the final stages of remodeling work that has been permitted by the Building and Safety Department. Tenant improvements permit were required of the new restaurant operator to upgrade the facility to current Building Code standards. From an architectural design standpoint, the exterior appearance will remain the same with the exception of new light fixtures that are painted silver that are painted to match the sign and a new wrought iron gate which was required by the Alcohol Beverage Control Agency. The applicant has communicated his interest to add, in the future, a cover over the outdoor dining area. The request can be approved by the Director of Planning and will require a separate application for a Building Permit.

The above staff analysis of the issues have been based on past experience with live entertainment, particularly when combined with on-sale of alcohol, at this location, as well as at other locations in the City. The scope of the live entertainment, traffic and parking, and security have been issues that have arisen in the past and staff has worked with the applicant in addressing these issues to avoid potential conflicts. Many of the proposed conditions in the draft resolution have been volunteered by the applicant. However, it is not possible to foresee all potential impacts and to properly address those issues beforehand. Therefore, a condition has also been included that staff prepare a monitoring report for review by the Planning Commission no later than 6 months after the initial start of operation and anytime thereafter as deemed necessary. Upon review of the monitoring report, the Planning Commission can schedule a public hearing for the purpose of considering adjustment to the conditions of approval to address issues. Also, if at any time, there are excessive calls for service by the Sheriff's Department, the applicant is required to take action to address those issues immediately.

Staff is recommending approval of this CUP amendment, subject to conditions of approval. However, if the Planning Commission has other issues that they feel need to be addressed prior to acting on this CUP amendment, staff would request that the Commission give direction to the applicant and/or staff regarding those specific issues and to continue this item.

III. ENVIRONMENTAL REVIEW

The project consists of providing additional services in an existing eating establishment without expansion of space and is therefore exempt from the California Environmental Quality Act, as defined in Section 15301 (Class 1) and does not require the adoption of an environmental impact report or negative declaration.

IV. RECOMMENDATION

Based on the above analysis, staff recommends approval of Amendment #2 to Conditional Use Permit Case No. 05-CUP-001, subject to the findings and conditions in the attached Resolution.

V. ATTACHMENTS

- Draft Resolution and Conditions of Approval for the Conditional-Use Permit
- Exhibit A: Vicinity/Zoning Map
- Exhibit B: Proposed Architectural Plans
- Exhibit C: Previously Architectural Plans (Chapter 8)
- Exhibit D: Parking Study/Valet Parking Plan
- Exhibit E: Security Plan/Diagram
- Exhibit F: Photographs of the Site

CASE PLANNER: Valerie Darbouze, Associate Planner

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
APPROVING AMENDMENT #2 TO CONDITIONAL USE PERMIT
CASE NO. 05-CUP-001

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY
FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by James Ashford of The Sunset Room, with respect to the real property located at 29020 Agoura Road, Assessor's Parcel Numbers 2061-031-023 and 024, requesting approval of an amendment to an approved Conditional Use Permit for live entertainment in conjunction with an existing restaurant. A public hearing was duly held on October 6, 2011 at 6:30 p.m. in the Council Chambers, City Hall at 30001 Ladyface Court, Agoura Hills, CA 91301. Notice of the time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission of the aforesaid Public Hearing.

Section 3. The Planning Commission finds, pursuant to the Agoura Hills Zoning Ordinance, that:

- A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located in that live entertainment is permitted in the Agoura Village Specific Plan, subject to approval of a Conditional Use Permit.
- B. The proposed use, as conditioned, is compatible with the surrounding area in that there are no residential uses in the immediate surrounding area and live entertainment is currently permitted in neighboring restaurants within the Agoura Village Overlay District.
- C. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health and safety, or welfare in that the entertainment will be contained indoors. The entertainment will consist of dancing to live bands, recorded music, performing acts and specialty nights. A security plan for the project has been submitted by the applicant, with input by the Sheriff's Department, containing security measures to address potential security issues.
- D. The proposed use as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance in that the entertainment will be located in a delineated area which is approximately 1,080 square feet located inside the restaurant with no entertainment proposed outdoors. The entertainment is to remain ancillary to the dining and a menu is available until closing. The excess

parking demand is mitigated as described by the Parking Study by the use of a valet parking services which will be storing vehicles off-site.

- E. The distance from other similar and like uses is sufficient to maintain the diversity in the area as the other live entertainment uses in the area and in other parts of the city offer different types of live entertainment and are regulated under separate Conditional Use Permits.
- F. The proposed use, as conditioned, is consistent with the goals, objectives, and policies of the General Plan in that the live entertainment offers a land use which serves the diverse need of the Agoura Hills residents, as called for in the Land Use Element of the City's General Plan.

Section 4. The Planning Commission finds that the proposed amendment to be categorically exempt from the requirements of the California Environmental Quality Act, per Section 15303, in that the project involves live entertainment inside an existing insulated structure.

Section 5. Based on the aforementioned findings, the Planning Commission hereby approves Amendment #2 to Conditional-Use Permit Case No. 05-CUP-001, with respect to the property described in Section 1.

PASSED, APPROVED and ADOPTED this 6th day of October, 2011 by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Steve Rishoff, Chairperson

ATTEST:

Mike Kamino, Secretary

CONDITIONS OF APPROVAL
(Case No. 05-CUP-001 Amendment #2)

STANDARD CONDITIONS

1. This action shall not be effective for any purpose until the applicants have agreed in writing that the applicants are aware of, and accept all, Conditions of Approval of this permit with the Department of Planning and Community Development. Any conditions on such acceptance or challenges, including the filing of legal action, relating to the permit or the conditions shall be treated as a failure to meet this Condition and shall nullify and void this permit.
2. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits approved by the Planning Commission.
3. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
4. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicants have been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
5. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Conditional Use Permit and Conditional Use Permit Amendments.
6. Unless this permit is used within two (2) years from the date of City approval, Case No. 05-CUP-001 Amendment will expire. A written request for a one (1) year extension may be considered prior to the expiration date.

SPECIAL CONDITIONS

7. The applicants shall comply with all requirements of the State Department of Alcohol Beverage Control.
8. In accordance with Zoning Ordinance Section 9710, a new Conditional Use Permit by the City shall be required when any of the following conditions of the business apply:
 - A. The establishment changes its type of retail liquor license with the Department of Alcoholic Beverage Control;
 - B. There is substantial modification to the mode or character of operation, including, but not limited to, any increase of 20% or more in the floor area.
 - C. The alcoholic beverage license has either been revoked or suspended for any period by ABC.

Conditions of Approval (Case No. 05-CUP-001 Amendment #2)

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9. All employees involved in direct sales to customers shall enroll annually in ABC-approved alcoholic service training.
10. A full dinner menu shall be available until 1:00 a.m.
11. There shall be no minimum number of drinks required to be consumed during the operation of the eating establishment.
12. There shall be no service of alcoholic beverages on the dance floor.
13. "Last call" for alcoholic beverages will occur at 1:00 a.m. Monday through Friday and 1:15 a.m. Friday through Saturday. No alcohol shall be served after 1:30 a.m. All patrons must exit the premises by 2:00 a.m.
14. "Bottle service" shall only be allowed at times when a full dinner menu is available.
15. The applicant shall comply with all the provisions in the Security Plan, marked Exhibit E and is made a condition of the Conditional Use Permit-Amendment #2.
16. Security/monitoring staff will be designated to patrol the parking lot and adjacent areas during the evening hours until the close of business and until all of the patrons have left the premises.
17. The telephone number of a responsible party shall be available upon request from the Lost Hills Sheriff Station staff.
18. Minors must be accompanied by an adult whenever there is dancing or live entertainment.
19. On-site security cameras shall be maintained. The recording shall be archived a minimum of 14 calendar days.
20. There shall be no pool tables or electronic gaming machines.
21. There shall be no leasing of the facility or subletting the facility for outside events.
22. There shall be no "after hours" use of the facility. Closing time shall be no later than 2:00 a.m.
23. The dance floor shall not exceed 1,080 square feet.
24. There shall be no outdoor entertainment or dancing.
25. Live entertainment is limited to only what is approved by the Planning Commission under this Conditional Use Permit. There shall be no wet tee-shirt contests, pole-dancing, lingerie shows, bikini dancing or taxi dancing, or the like.

Conditions of Approval (Case No. 05-CUP-001 Amendment #2)

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26. Any changes to the Floor Plan shall be subject to review and approval by the Director of Planning and Community Development and/or the Planning Commission.
27. The facility shall be responsible for removing all trash and debris from the site and adjacent sites every day after closing.
28. There shall be no noise audible over 50 dB beyond the property line per the Zoning Ordinance.
29. All live entertainment shall cease no later than 1:30 a.m.
30. All graffiti on the site shall be removed or painted over within 24 hours of each occurrence.
31. Prior to issuance of occupancy, the applicant shall meet with the City Traffic Engineer and shall submit a valet parking circulation plan to the satisfaction of the City Traffic Engineer.
32. Any changes to the valet parking shall be subject to review and approval by the Director of Planning and Community Development and/or the Planning Commission prior to implementation.
33. Prior to issuance of occupancy, the applicant shall enter into parking agreements with Adobe Cantina and with Canyon Tile and Stone, acceptable to the City, for use as off-site valet parking lots of The Sunset Room patrons' vehicles, as per the Parking Study.
34. Prior to occupancy, the Adobe Cantina parking lot's unpaved areas to be used for parking per the Parking Study, shall be provide with a finished surfaced and improved to the satisfaction of the City Engineer and the Director of Planning and Community Development.
35. A copy of these conditions will be maintained on the premises and all managers shall be made aware of these conditions.
36. The applicant shall allow inspection of premises by City Staff during normal business hours. A monitoring report on the applicant's compliance with the conditions of approval shall be prepared by the City Staff to the Planning Commission no later than 6 months after initial operation and at anytime thereafter as deemed necessary by the City. If at any time there are excessive calls for service by the Sheriff's Department, the applicant shall take action to address those issues immediately, including increasing security personnel and paying the City of Agoura Hills to offset the costs for the increases in calls for services attributed to the Sunset Room.

Conditions of Approval (Case No. 05-CUP-001 Amendment #2)

Page 4 of 4

37. In the event that the applicant seeks to install a cover over the outdoor dining area, the design of the cover is subject to the review and approval of the Director of Planning and Community Development Department and the Building Official.
38. The Sunset Room Restaurant and Lounge will not open for business until the Conditional Use process for live entertainment is completed and all required permits are issued.

END

Exhibit A

CASE NO. 05-CUP-001 Amendment #2

**For the project located at 29020 Agoura Road
Agoura Hills**

Vicinity/Zoning Map

City of Agoura Hills

Conditional Use Permit Amendment
05-CUP-001 Amendt #2

Vicinity/Zoning
Map

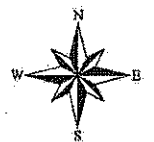
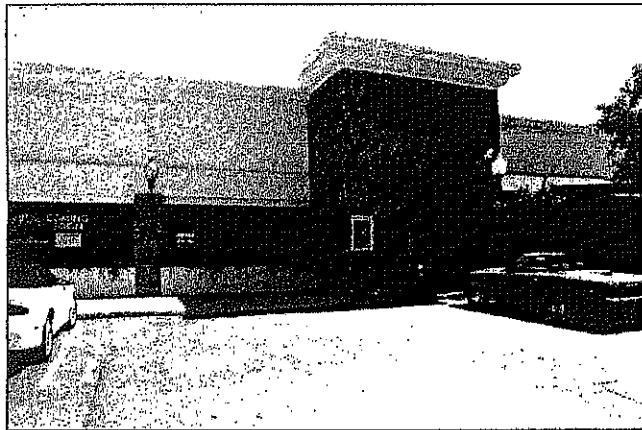


Exhibit B

CASE NO. 05-CUP-001 Amendment #2

**For the project located at 29020 Agoura Road
Agoura Hills**

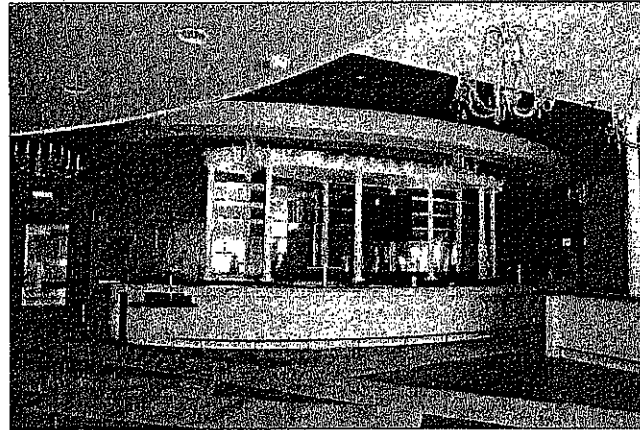
Proposed Architectural Plans



RESTAURANT STORE FRONT
FROM PARKING LOT, SOUTH PERSPECTIVE



RESTAURANT STORE FRONT
SOUTH SOUTH-EAST PERSPECTIVE



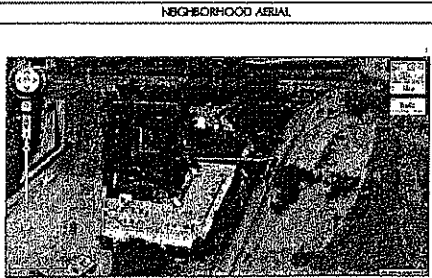
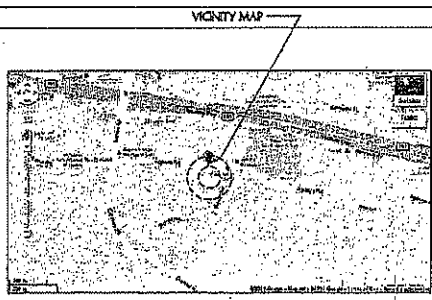
MAIN BAR AND DANCE AREA IN FOREGROUND
SOUTH, SOUTH-WEST PERSPECTIVE

REV	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

OWNER: SUNSET ROOM
ARCHITECT: JAMES H. BERRY

SUNSET ROOM
29020 AGOURA RD.
AGOURA HILLS, CA 91301

ABBREVIATIONS	
AD	ADJUSTED
AN	ANALOG
AP	APPROXIMATE
AS	AS SHOWN
AT	AT THIS LOCATION
AV	AVAILABLE
AW	AVAILABLE FOR CONSTRUCTION
AX	AXIS OF SYMMETRY
BA	BATHROOM
BB	BUILDING BOUNDARY
BC	BUILDING CORNER
BD	BUILDING DETAIL
BE	BUILDING ELEVATION
BF	BUILDING FOOTING
BG	BUILDING GROUND
BH	BUILDING HEIGHT
BI	BUILDING INTERIOR
BJ	BUILDING JUNCTION
BK	BUILDING KITCHEN
BL	BUILDING LAYOUT
BM	BUILDING MATERIAL
BN	BUILDING NORTH
BO	BUILDING OUTLINE
BP	BUILDING PATTERN
BQ	BUILDING PROFILE
BR	BUILDING ROOM
BS	BUILDING SECTION
BT	BUILDING THICKNESS
BV	BUILDING VOLUME
BW	BUILDING WALL
BX	BUILDING WINDOW
BY	BUILDING YIELD
BZ	BUILDING ZONE
CA	CANOPY
CB	CANOPY BRACKET
CC	CANOPY COLUMN
CD	CANOPY DETAIL
CE	CANOPY ELEVATION
CF	CANOPY FOOTING
CG	CANOPY GROUND
CH	CANOPY HEIGHT
CI	CANOPY INTERIOR
CJ	CANOPY JUNCTION
CK	CANOPY KITCHEN
CL	CANOPY LAYOUT
CM	CANOPY MATERIAL
CN	CANOPY NORTH
CO	CANOPY OUTLINE
CP	CANOPY PATTERN
CQ	CANOPY PROFILE
CR	CANOPY ROOM
CS	CANOPY SECTION
CT	CANOPY THICKNESS
CV	CANOPY VOLUME
CW	CANOPY WALL
CX	CANOPY WINDOW
CY	CANOPY YIELD
CZ	CANOPY ZONE



SCOPE OF PROJECT	
EXISTING RESTAURANT	CONVERT EXISTING LUNCH RESTAURANT INTO A NIGHT AND WEDNESDAY RESTAURANT AND REPLACE EXISTING SIDE WALKWAY & REVERE BRIDGE WITH TERRAZZO TILE SQUARE PATTERNS TO COMPLY WITH LA COUNTY HEALTH CODES.
PROJECT DATA	
ADDRESS:	29020 Agoura Rd. Agoura Hills, CA 91301
BUILDING ADDRESS:	City of Agoura Hills
OWNER:	James H. Berry
LEGAL DESCRIPTION:	
FOR PROJECT:	36.000 SF (Commercial)
LOTTAGE:	
TERMINAL ADDRESS:	
ADDRESS RANGE:	29020-29022
TRACT:	29-0199
MAP REFERENCE:	
SECTION:	
LOT:	13
ZONE:	
DEVELOPER:	
LOT AREA:	
PERMITS:	COMMERCIAL/RESTAURANT/RECREATION
OCCUPANCY:	
MECHANICAL:	
PLUMBING:	
ELECTRICAL:	
STRUCTURAL:	
MECHANICAL:	
ELECTRICAL:	
STRUCTURAL:	
MECHANICAL:	
ELECTRICAL:	
STRUCTURAL:	

PROJECT TEAM	
OWNER:	Mr. Jim Ashland & Cindy Reed Sunset Room 29020 Agoura Rd., CA 91301 310-462-8177
ARCHITECT:	JAMES H. BERRY 29020 AGOURA RD. AGOURA HILLS, CA 91301 310-462-8177
ENGINEER:	
LANDSCAPE ARCHITECT:	
MECHANICAL ENGINEER:	
ELECTRICAL ENGINEER:	
STRUCTURAL ENGINEER:	
PLUMBING ENGINEER:	
ENVIRONMENTAL ENGINEER:	
SOIL ENGINEER:	
TRAFFIC ENGINEER:	
AV ENGINEER:	
INTERIOR DESIGNER:	
SCULPTOR:	
PAINTER:	
WALLPAPER HANGER:	
UPHOLSTERER:	
CARPENTER:	
GLAZIER:	
IRON WORKER:	
ROOFER:	
CONCRETE FINISHER:	
PAVING CONTRACTOR:	
LANDSCAPE CONTRACTOR:	
PLUMBING CONTRACTOR:	
ELECTRICAL CONTRACTOR:	
MECHANICAL CONTRACTOR:	
STRUCTURAL CONTRACTOR:	
GENERAL CONTRACTOR:	

SHEET INDEX	
ARCHITECTURAL	COVER SHEET WITH LEGAL DESCRIPTION VICINITY AND SITE PLAN AGOURA FLOOR PLAN OUTDOOR FLOOR PLAN RESTROOM WITH ELEVATIONS WALL FINISHES RESTROOM FUTURE PLAN KITCHEN & BAR PLAN FLOOR FINISH RESTROOM FUTURE SPECIES RESTROOM FUTURE & WATER HEATER SPECIES
STRUCTURAL	NA
MECHANICAL	NA
ELECTRICAL	NA
PLUMBING	NA
CALCULATIONS	
MECHANICAL	NA
ELECTRICAL	NA
PLUMBING	NA
STRUCTURAL	NA
KEY PLAN	

TU DESIGN
CONSTRUCTION DOCUMENTS
29020 AGOURA RD.
AGOURA HILLS, CA 91301
310-462-8177

PROJECT TITLE
SUNSET ROOM

SHEET TITLE
COVER SHEET

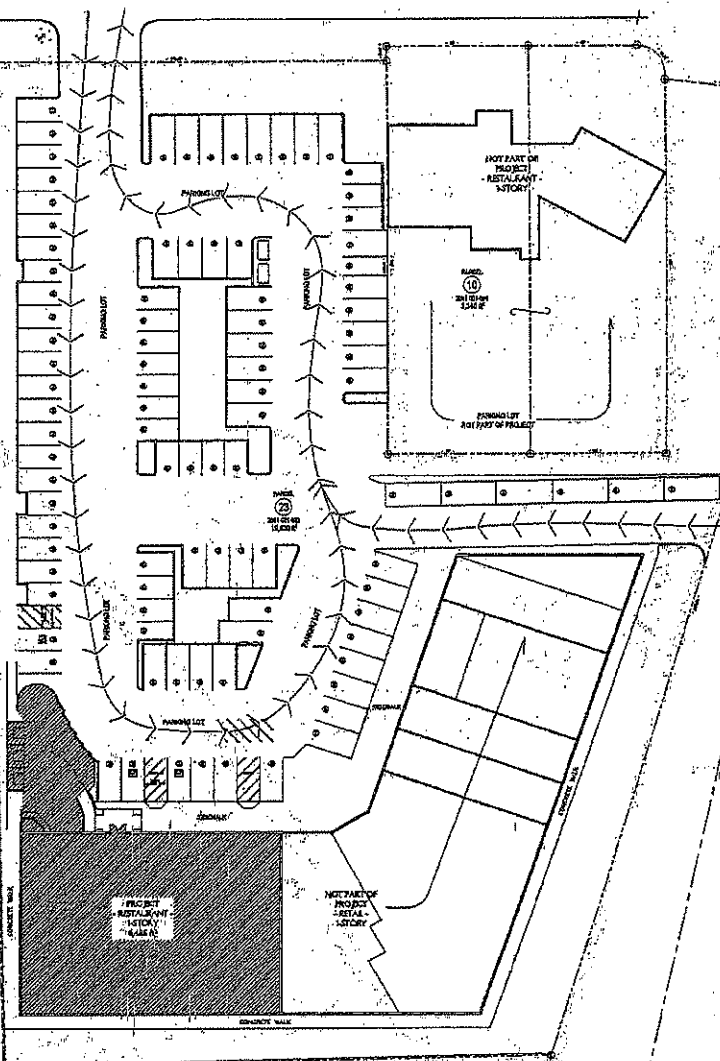
NO. 1

JOB No. 11-0428 DATE 4/24/11

SHEET No. A-0.0

AGOURA RD

CORNELL RD



PARKING DATA
 97 STALLS PROVIDED
 83 STALLS REQUIRED

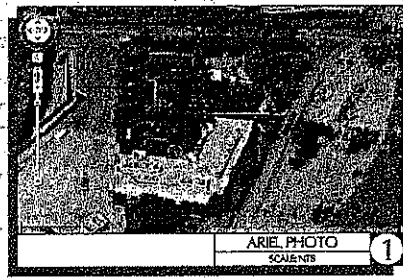
LEGEND
 PROJECT BLOCK

KEY LINES

PROPERTY LINE (L, O)
 CENTERLINE (C)
 EASEMENT
 CONVEYANCED METAL BOUNDARY
 CYCLONE FENCE
 FENCE THROUGH METAL BOUNDARY

NOTES

LOT AREA = 19,000 SF
 PROJECT FOOTPRINT W/ BUFFER = 6,400 SF
 SITE LANDSCAPED AREA = 5,194 SF
 INDOOR COVERED AREA = 1,254 SF
 OUTDOOR PATIO COVERED AREA = 1,000 SF



BACKGROUND: COUNTY PLAT MAP

REV	REVISION	DATE

DATE: 04/28/2011
 PROJECT: SUNSET ROOM

SUNSET ROOM
 29020 AGOURA RD.
 AGOURA HILLS, CA. 91301

TWD DESIGN

DESIGN & CONSTRUCTION
 SOLUTIONS
 11111 Agoura Rd.
 Agoura Hills, CA 91301
 Tel: 818.709.5200
 Fax: 818.709.5201

PROJECT TITLE
SUNSET ROOM

SHEET TITLE
SITE PLAN

REV
 RP

JOB NO. 11-0428 DATE 04/28/2011

SHEET NO. **A-1.0**

AREA DATA (SQ)

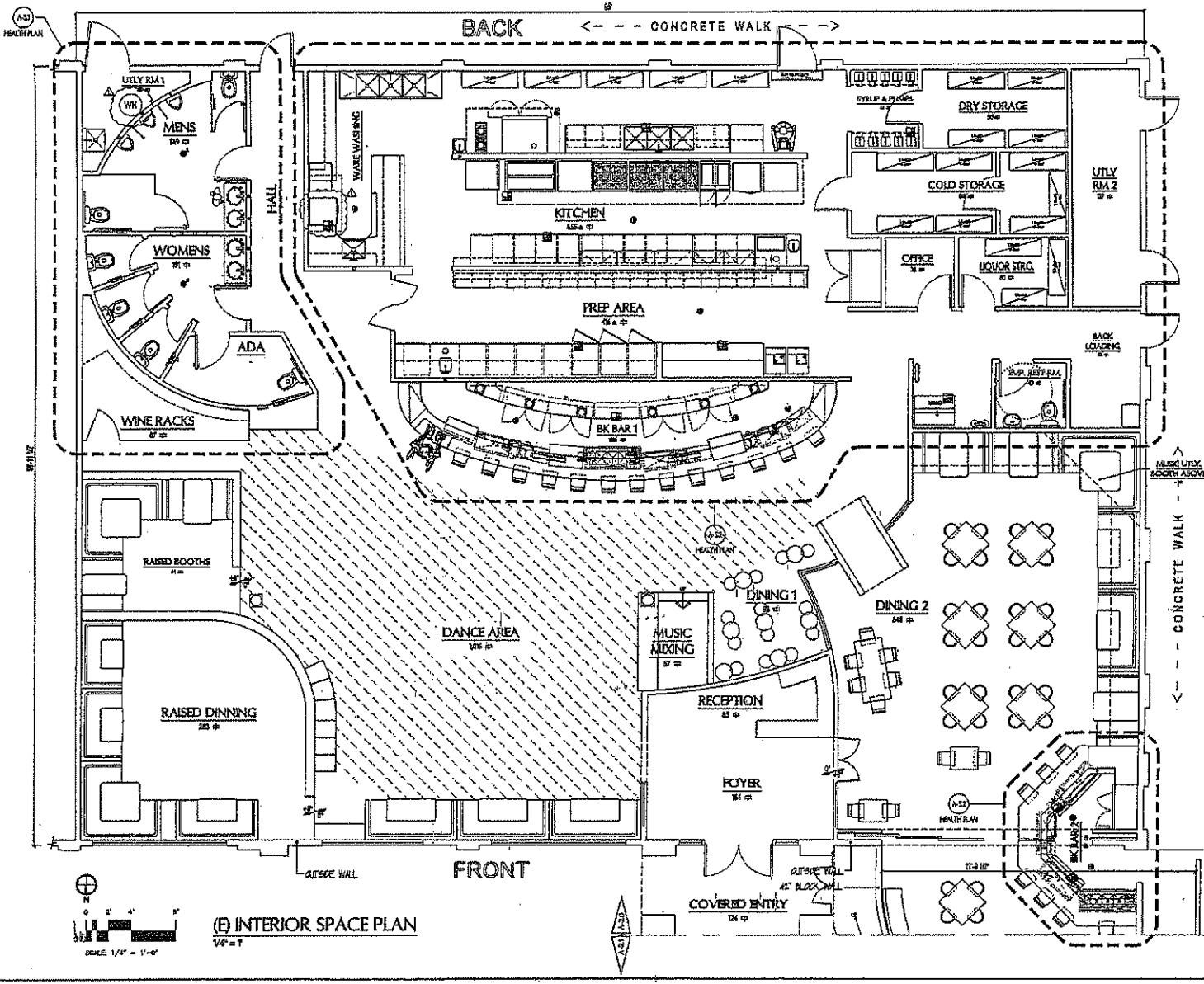
INDOOR DINING	1,794
OUTDOOR DINING	1,500
DANCE AREA	1,016
BAR & WINE CULIB	132
MUSIC MIXING	57
BAR & KITCHEN	3,350
SAVING & WINE BLDG	235
ENTRY/FOYER	238

SEE SHEET A-14 FOR DETAILS

OCCUPANCY

INDOOR DINING 174
 OUTDOOR DINING 76
 DANCE 222

SEALING THIS SET BY ORDER OF LAW AGENCIES FOR
 TYPICAL POINT SALES CONTRACTS, ETC.



(E) INTERIOR SPACE PLAN
 1/4" = 1'

02/28/2011

NO.	REVISION	DATE
1	ISSUE FOR PERMITS	02/28/11

PROJECT: SUNSET ROOM
 29620 AGOURA RD.
 AGOURA HILLS, CA 91301

SUNSET ROOM
 29620 AGOURA RD.
 AGOURA HILLS, CA 91301

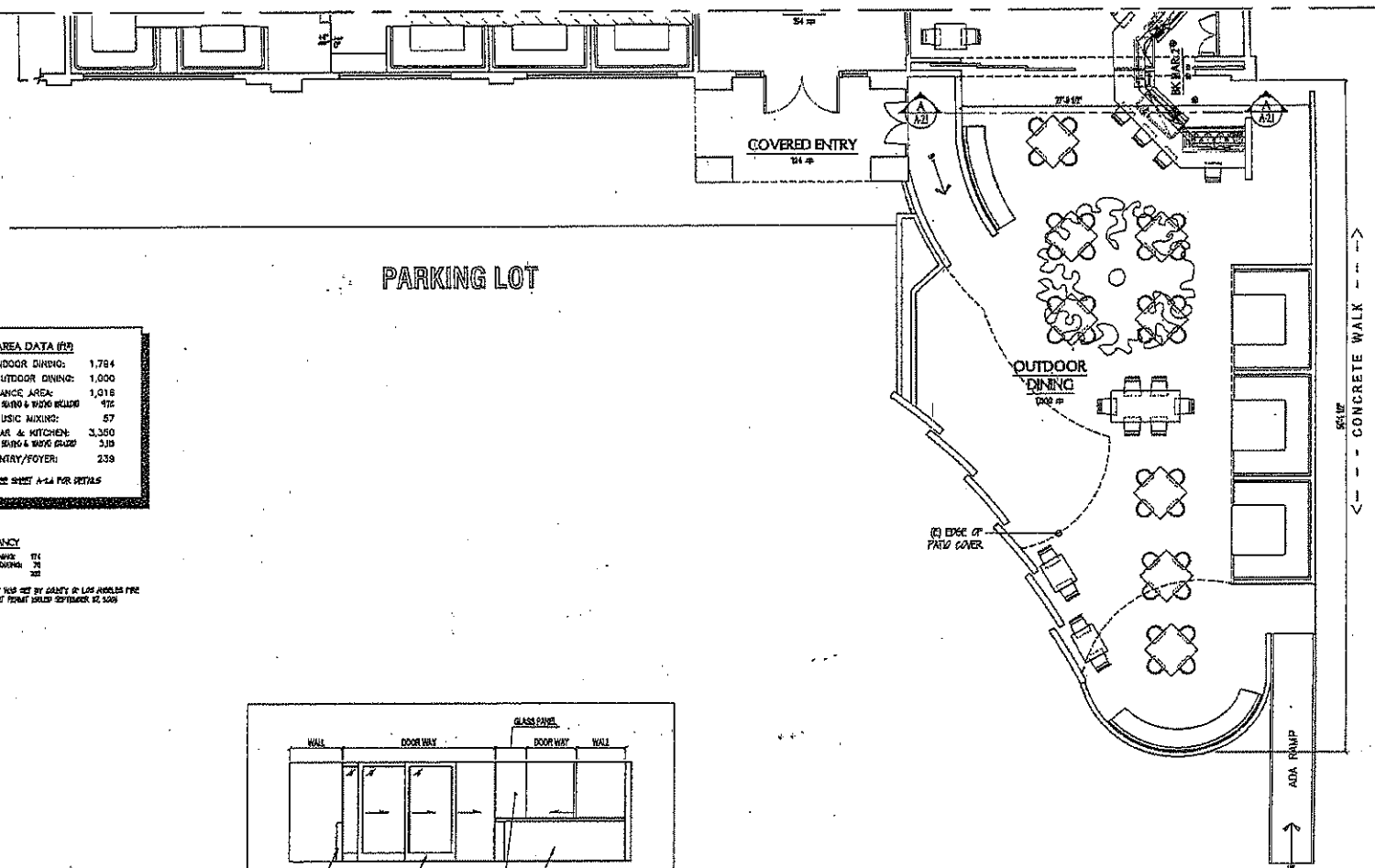
TRU DESIGN
 TRU DESIGN CONSTRUCTION DOCUMENTS
 18700 Agoura Rd. Suite 200
 Agoura Hills, CA 91301-3647
 TEL: 818-707-3647

PROJECT TITLE
SUNSET ROOM

SHEET TITLE
FLOOR PLAN & SEATING PLAN

REV
 RP

JOB No. 11-0428 DATE 02/28/11
 SHEET No. A-2.0



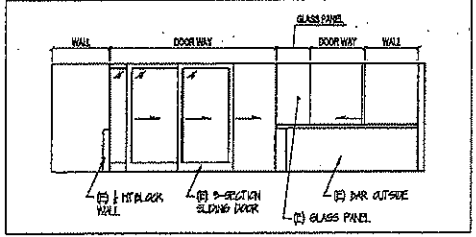
AREA DATA (SQ)

INDOOR DINING:	1,784
OUTDOOR DINING:	1,000
DANCE AREA:	1,018
SUNO & WING BRIDGE:	976
MUSIC MIXING:	57
BAR & KITCHEN:	3,350
SUNO & WING BRIDGE:	310
ENTRY/FOYER:	239

SEE SHEET A-24 FOR DETAILS

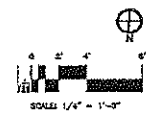
OCCUPANCY
 HOODLINE/STOVE: 111
 OUTDOOR DINING: 76
 DANCING: 82

OCCUPANCY HAS SET BY GANNETT & LAY, AGOURA HILLS FIRE
 RETROFITTING FROM BRIDGE, SEPTEMBER 12, 2009



(E) ELEV. OUTDOOR BAR
 1/4" = 1'

(E) EXTERIOR SPACE PLAN
 1/4" = 1'



NO.	REVISION	DATE

©2011 TUD DESIGN
 SUNSET ROOM/Agoura Hills

SUNSET ROOM
 29020 AGOURA RD.
 AGOURA HILLS, CA. 91301

TUD DESIGN
 DESIGN & CONSTRUCTION DOCUMENTS
 14141 W. Colton Avenue
 Colton, CA 95757-2557
 Phone: (916) 261-1111
 Fax: (916) 261-1112

PROJECT TITLE
SUNSET ROOM

SHEET TITLE
PATIO PLAN & SEATING PLAN

RP

JOB No.	DATE
11-0425	08/20/11

SHEET No.
A-21

Exhibit C

CASE NO. 05-CUP-001 Amendment #2

**For the project located at 29020 Agoura Road
Agoura Hills**

Previously Approved Architectural Plans

SHEET INDEX	
A-1	SITE PLAN
A-2	FOUNDATION PLAN
A-3	FOUNDATION WALL PLAN
A-4	FOUNDATION
A-5	FOUNDATION DETAIL
A-6	FOUNDATION SECTION
A-7	FOUNDATION
A-8	FOUNDATION
A-9	FOUNDATION
A-10	FOUNDATION
A-11	FOUNDATION
A-12	FOUNDATION
A-13	FOUNDATION
A-14	FOUNDATION
A-15	FOUNDATION
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A-94	FOUNDATION
A-95	FOUNDATION
A-96	FOUNDATION
A-97	FOUNDATION
A-98	FOUNDATION
A-99	FOUNDATION
A-100	FOUNDATION

CHAPTER 8

29020 AGOURA RD.

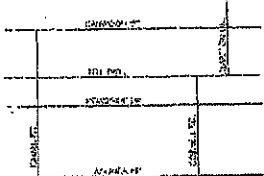
AGOURA HILLS, CALIFORNIA 91301

PROJECT INFORMATION

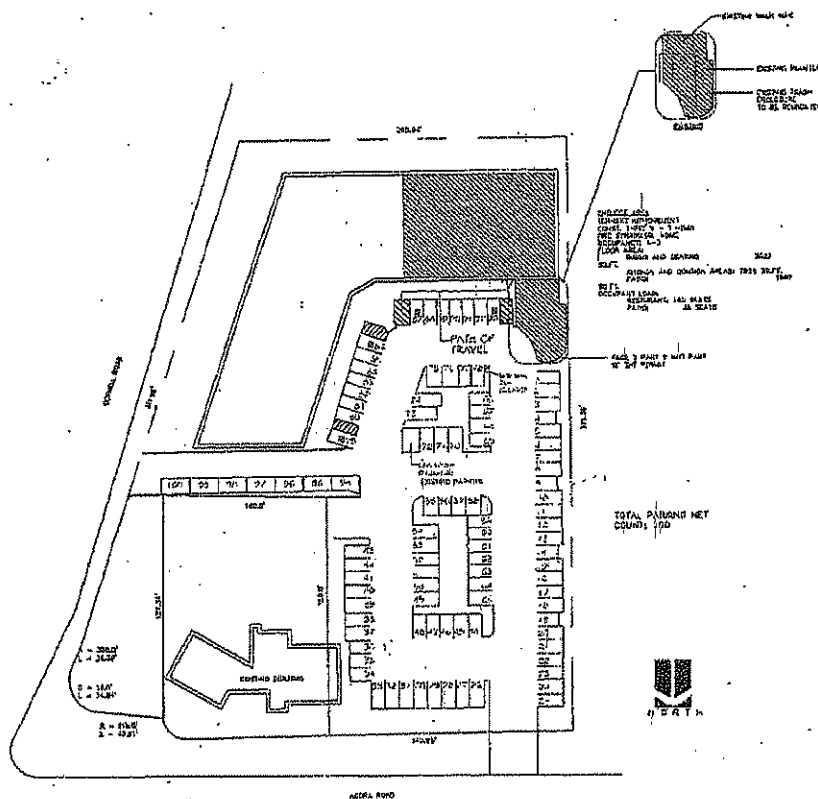
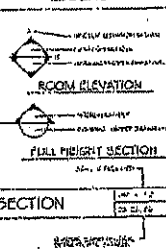
PLOT PLAN

PROJECT NO.	29020 AGOURA RD.
DATE	NOVEMBER 1, 2005
CLIENT	DAVIS-BOND
DESIGNER	DAVIS-BOND
PROJECT NO.	29020 AGOURA RD.
DATE	NOVEMBER 1, 2005
CLIENT	DAVIS-BOND
DESIGNER	DAVIS-BOND
PROJECT NO.	29020 AGOURA RD.
DATE	NOVEMBER 1, 2005
CLIENT	DAVIS-BOND
DESIGNER	DAVIS-BOND
PROJECT NO.	29020 AGOURA RD.
DATE	NOVEMBER 1, 2005
CLIENT	DAVIS-BOND
DESIGNER	DAVIS-BOND
PROJECT NO.	29020 AGOURA RD.
DATE	NOVEMBER 1, 2005
CLIENT	DAVIS-BOND
DESIGNER	DAVIS-BOND

VICINITY MAP



LEGEND



GENERAL NOTES

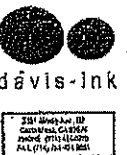
1. THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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20. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

FIRE PREVENTION NOTES

1. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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20. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

ABBREVIATIONS

AC	ARCHITECTURAL CONSULTANT	CE	CIVIL ENGINEER
AD	ARCHITECTURAL DESIGN	CF	CIVIL ENGINEER
AE	ARCHITECTURAL ENGINEER	CG	CIVIL ENGINEER
AF	ARCHITECTURAL ENGINEER	CH	CIVIL ENGINEER
AG	ARCHITECTURAL ENGINEER	CI	CIVIL ENGINEER
AH	ARCHITECTURAL ENGINEER	CJ	CIVIL ENGINEER
AI	ARCHITECTURAL ENGINEER	CK	CIVIL ENGINEER
AJ	ARCHITECTURAL ENGINEER	CL	CIVIL ENGINEER
AK	ARCHITECTURAL ENGINEER	CM	CIVIL ENGINEER
AL	ARCHITECTURAL ENGINEER	CN	CIVIL ENGINEER
AM	ARCHITECTURAL ENGINEER	CO	CIVIL ENGINEER
AN	ARCHITECTURAL ENGINEER	CP	CIVIL ENGINEER
AO	ARCHITECTURAL ENGINEER	CQ	CIVIL ENGINEER
AP	ARCHITECTURAL ENGINEER	CR	CIVIL ENGINEER
AQ	ARCHITECTURAL ENGINEER	CS	CIVIL ENGINEER
AR	ARCHITECTURAL ENGINEER	CT	CIVIL ENGINEER
AS	ARCHITECTURAL ENGINEER	CU	CIVIL ENGINEER
AT	ARCHITECTURAL ENGINEER	CV	CIVIL ENGINEER
AV	ARCHITECTURAL ENGINEER	CW	CIVIL ENGINEER
AW	ARCHITECTURAL ENGINEER	CX	CIVIL ENGINEER
AX	ARCHITECTURAL ENGINEER	CY	CIVIL ENGINEER
AY	ARCHITECTURAL ENGINEER	CZ	CIVIL ENGINEER
AZ	ARCHITECTURAL ENGINEER		

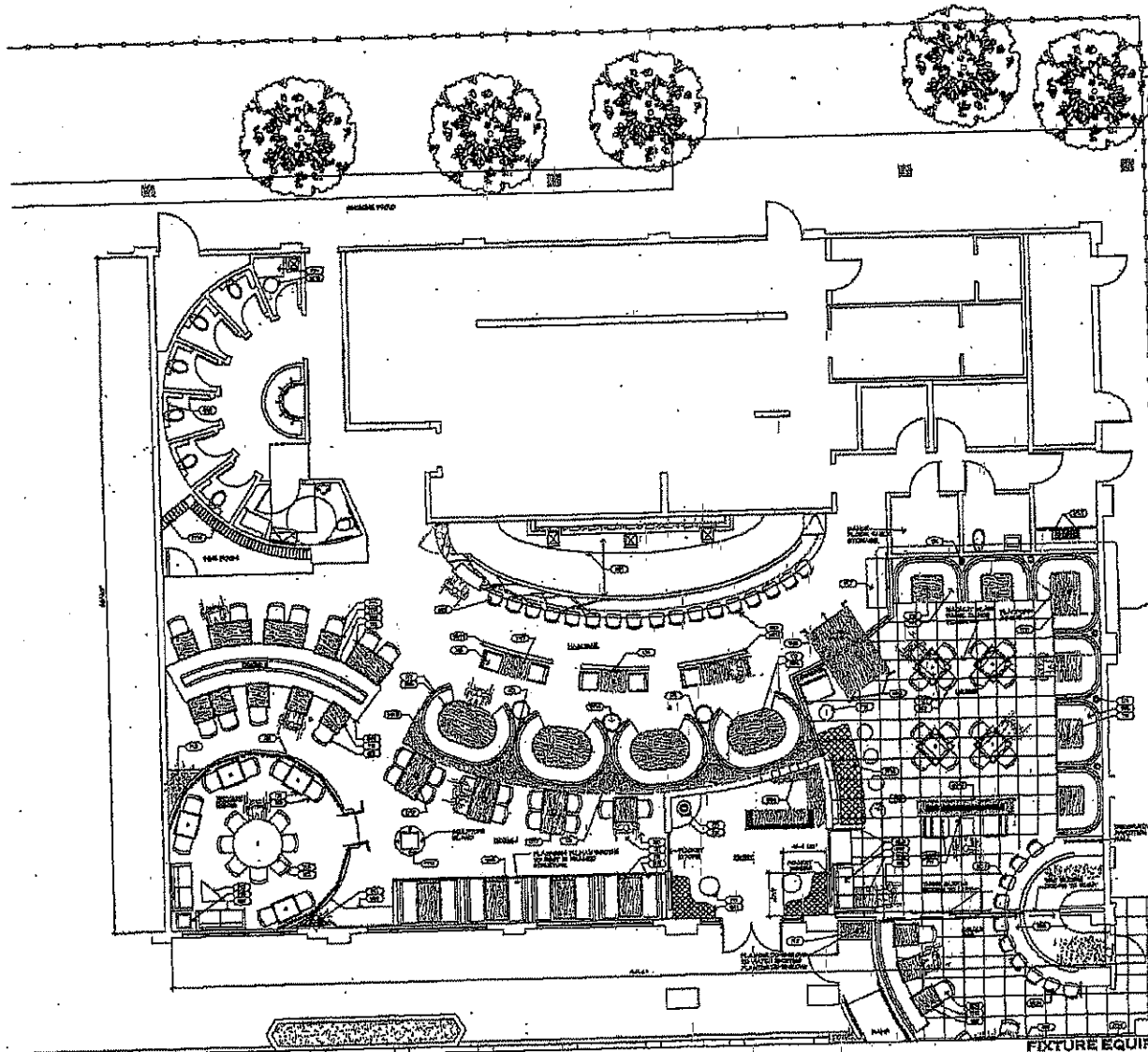


CHAPTER 8
 29020 AGOURA RD. UNIT A-14
 AGOURA HILLS, CA

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DATE	NOV 1, 2005
BY	DAVIS-BOND
SCALE	AS SHOWN

Robert E. Wilson



SHEET INDEX

1001	FOUNDATION PLAN
1002	GROUND FLOOR PLAN
1003	1ST FLOOR PLAN
1004	2ND FLOOR PLAN
1005	3RD FLOOR PLAN
1006	4TH FLOOR PLAN
1007	5TH FLOOR PLAN
1008	6TH FLOOR PLAN
1009	7TH FLOOR PLAN
1010	8TH FLOOR PLAN
1011	9TH FLOOR PLAN
1012	10TH FLOOR PLAN
1013	11TH FLOOR PLAN
1014	12TH FLOOR PLAN
1015	13TH FLOOR PLAN
1016	14TH FLOOR PLAN
1017	15TH FLOOR PLAN
1018	16TH FLOOR PLAN
1019	17TH FLOOR PLAN
1020	18TH FLOOR PLAN
1021	19TH FLOOR PLAN
1022	20TH FLOOR PLAN
1023	21ST FLOOR PLAN
1024	22ND FLOOR PLAN
1025	23RD FLOOR PLAN
1026	24TH FLOOR PLAN
1027	25TH FLOOR PLAN
1028	26TH FLOOR PLAN
1029	27TH FLOOR PLAN
1030	28TH FLOOR PLAN
1031	29TH FLOOR PLAN
1032	30TH FLOOR PLAN
1033	31ST FLOOR PLAN
1034	32ND FLOOR PLAN
1035	33RD FLOOR PLAN
1036	34TH FLOOR PLAN
1037	35TH FLOOR PLAN
1038	36TH FLOOR PLAN
1039	37TH FLOOR PLAN
1040	38TH FLOOR PLAN
1041	39TH FLOOR PLAN
1042	40TH FLOOR PLAN
1043	41ST FLOOR PLAN
1044	42ND FLOOR PLAN
1045	43RD FLOOR PLAN
1046	44TH FLOOR PLAN
1047	45TH FLOOR PLAN
1048	46TH FLOOR PLAN
1049	47TH FLOOR PLAN
1050	48TH FLOOR PLAN
1051	49TH FLOOR PLAN
1052	50TH FLOOR PLAN
1053	51ST FLOOR PLAN
1054	52ND FLOOR PLAN
1055	53RD FLOOR PLAN
1056	54TH FLOOR PLAN
1057	55TH FLOOR PLAN
1058	56TH FLOOR PLAN
1059	57TH FLOOR PLAN
1060	58TH FLOOR PLAN
1061	59TH FLOOR PLAN
1062	60TH FLOOR PLAN
1063	61ST FLOOR PLAN
1064	62ND FLOOR PLAN
1065	63RD FLOOR PLAN
1066	64TH FLOOR PLAN
1067	65TH FLOOR PLAN
1068	66TH FLOOR PLAN
1069	67TH FLOOR PLAN
1070	68TH FLOOR PLAN
1071	69TH FLOOR PLAN
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1073	71ST FLOOR PLAN
1074	72ND FLOOR PLAN
1075	73RD FLOOR PLAN
1076	74TH FLOOR PLAN
1077	75TH FLOOR PLAN
1078	76TH FLOOR PLAN
1079	77TH FLOOR PLAN
1080	78TH FLOOR PLAN
1081	79TH FLOOR PLAN
1082	80TH FLOOR PLAN
1083	81ST FLOOR PLAN
1084	82ND FLOOR PLAN
1085	83RD FLOOR PLAN
1086	84TH FLOOR PLAN
1087	85TH FLOOR PLAN
1088	86TH FLOOR PLAN
1089	87TH FLOOR PLAN
1090	88TH FLOOR PLAN
1091	89TH FLOOR PLAN
1092	90TH FLOOR PLAN
1093	91ST FLOOR PLAN
1094	92ND FLOOR PLAN
1095	93RD FLOOR PLAN
1096	94TH FLOOR PLAN
1097	95TH FLOOR PLAN
1098	96TH FLOOR PLAN
1099	97TH FLOOR PLAN
1100	98TH FLOOR PLAN
1101	99TH FLOOR PLAN
1102	100TH FLOOR PLAN

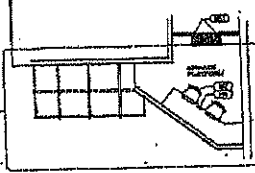


1111 W. 10TH ST.
DENVER, CO 80202
TEL: (303) 733-1111



TOTAL
CONCEPT
DESIGNS

CHAPTER 8
29000 ACCORDIA BLDG. UNIT A-44
ACCORDIA HILLS, CA.



SECOND FLOOR PLAN

FLOOR AREA:
TOTAL 3000
COMMON 1000
NET 2000

FIGURE EQUIPMENT FLOOR PLAN 1

1	CONCRETE
2	WOOD
3	GLASS
4	METAL
5	PLASTER
6	PAINT
7	CEILING
8	FLOORING
9	WALLS
10	DOORS
11	WINDOWS
12	STAIRS
13	ELEVATORS
14	MECHANICAL
15	ELECTRICAL
16	PLUMBING
17	TELEPHONE
18	TELEVISION
19	RADIO
20	RECORDING
21	VIDEO
22	COMPUTER
23	NETWORK
24	INTERNET
25	SECURITY
26	ALARMS
27	SMOKE
28	FIRE
29	EMERGENCY
30	EXIT
31	STAIR
32	ELEVATOR
33	MECHANICAL
34	ELECTRICAL
35	PLUMBING
36	TELEPHONE
37	TELEVISION
38	RADIO
39	RECORDING
40	VIDEO
41	COMPUTER
42	NETWORK
43	INTERNET
44	SECURITY
45	ALARMS
46	SMOKE
47	FIRE
48	EMERGENCY
49	EXIT
50	STAIR
51	ELEVATOR
52	MECHANICAL
53	ELECTRICAL
54	PLUMBING
55	TELEPHONE
56	TELEVISION
57	RADIO
58	RECORDING
59	VIDEO
60	COMPUTER
61	NETWORK
62	INTERNET
63	SECURITY
64	ALARMS
65	SMOKE
66	FIRE
67	EMERGENCY
68	EXIT
69	STAIR
70	ELEVATOR
71	MECHANICAL
72	ELECTRICAL
73	PLUMBING
74	TELEPHONE
75	TELEVISION
76	RADIO
77	RECORDING
78	VIDEO
79	COMPUTER
80	NETWORK
81	INTERNET
82	SECURITY
83	ALARMS
84	SMOKE
85	FIRE
86	EMERGENCY
87	EXIT
88	STAIR
89	ELEVATOR
90	MECHANICAL
91	ELECTRICAL
92	PLUMBING
93	TELEPHONE
94	TELEVISION
95	RADIO
96	RECORDING
97	VIDEO
98	COMPUTER
99	NETWORK
100	INTERNET

MAX. 10' 0" OVER
CONSTRUCTION TEAM

ID-1.1

Exhibit D

CASE NO. 05-CUP-001 Amendment #2

**For the project located at 29020 Agoura Road
Agoura Hills**

Parking Study/Valet Parking Plan

SHARED PARKING ANALYSIS FOR THE
AGOURA VILLAGE SHOPPING CENTER

Located at 29020 Agoura Road
In the City of Agoura Hills

-Prepared for:
1534 McCadden LLC

Prepared by:
Overland Traffic Consultants, Inc.
27201 Tourney Road #206
Santa Clarita, California 91355
(661) 799 - 8423

September 2011



EXECUTIVE SUMMARY

This report provides an evaluation of the existing parking demand for the Agoura Village Shopping Center and estimates the future parking demand with 100% occupancy, including the addition of The Sunset Room restaurant / supper club use.

Agoura Village Shopping Center

The Agoura Village Shopping Center is located at the southwest corner of Agoura Road and Cornell Street in the City of Agoura Hills, as shown in the following aerial photo.

The focus of this parking demand study is to document and evaluate the parking demand generated by the existing shopping center tenants and to estimate the potential parking demand with the proposed Sunset Room restaurant use during the extend hours of operation with 100% occupancy of the center.

The Agoura Village is an existing shopping center of approximately 19,711 square feet built in 1990 with 97 parking spaces (Resolution 231, April 27, 1989 which indicated a surplus of 5 spaces). Since the original approval, the center and parking lot have been modified and the code parking rates have changed with the most recent requirement of 119 parking spaces including 35 off-site employee parking spaces (05-ODP-001 and 05-VAR-001).

The center is occupied with a restaurant, retail businesses and pilates fitness studio. The current shopping center uses consists of a 4,240 square feet of retail (3 business: flower shop, day spa and skin care), 2,200 square feet of restaurant floor area, 2,537 square foot health and fitness use with the remaining 10,734 square feet vacant space. The proposed Sunset Room supper club will occupy 6,531 square feet formerly the Chapter 8 Restaurant. The center was also approved for 1,000 square feet of outdoor dining for the Chapter 8 restaurant in 2005. A total of 92 marked parking spaces currently exist at the shopping center site.



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The Sunset Room

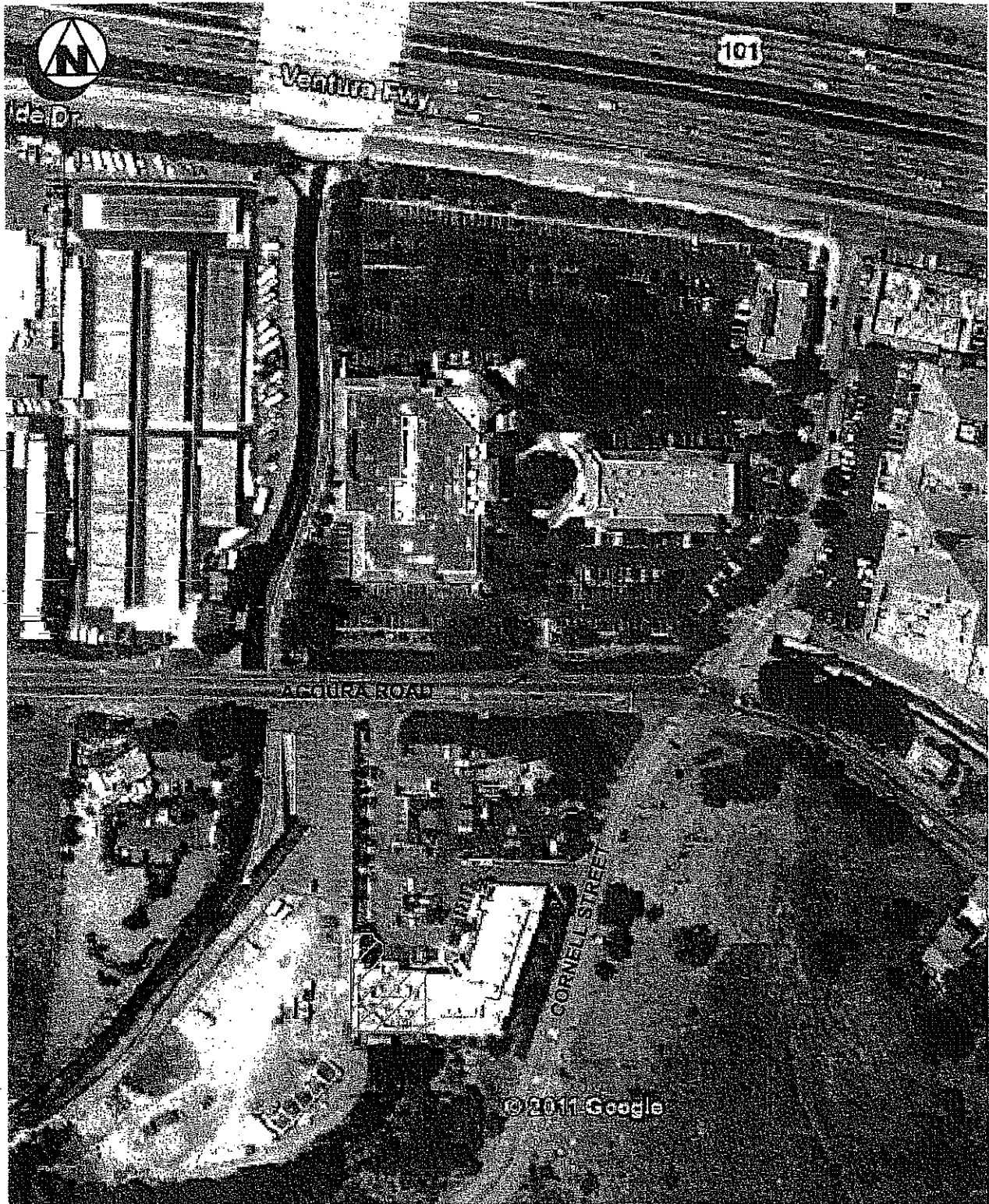
The current proposal is to occupy the vacant Chapter 8 interior and outdoor space with The Sunset Room restaurant use and extend the hours of operation with live music. The proposed Sunset Room restaurant will provide nightly valet parking from 5 pm until closing. Additional security and valet personnel will manage the on-site parking and service the leased off-site parking spaces.

In lieu of the Regency Theater off-site parking, The Sunset Room has acquired additional off-site leased parking at the nearby Canyon Tile & Stone business located in the Whizins Shopping Center at 28826 Roadside Drive. Eighteen parking spaces plus 8 stacked vehicles for a total of 25 vehicles can be parked in this remote lot after 6 pm. The Canyon Tile and Stone parking lot will be serviced by valet. The lot will be available on a daily basis from 6:00 pm to closing and used for employee parking.

Additional leased off-site parking is also being provided at the Adobe Cantina restaurant (40 parking spaces with up to 130 parking spaces utilizing the unpaved portion of the property). The Adobe Cantina lot is located just west of the adjacent flood control channel. The off-site parking at the Adobe Cantina will be serviced by a secured valet parking service. The Adobe Cantina parking lot is available to service the early employee shift at 4 pm on the back dirt lot if necessary.

The total combined off-site leased parking available to The Sunset Room is 155 spaces (25+130 spaces). At peak evening hours the Sunset Room will have a combined parking supply of 247 parking spaces available from the 2 off-site lots and the on-site lot (92+25+130).

Additional off-site parking for special events on an as needed basis is being provided at the Westlake Lutheran Church located at 29295 Agoura Road parking (approximately 75 parking spaces). Valet service will shuttle the vehicles to and from this remote lot, if necessary.



7/2011

THE SUNSET ROOM LOCATION



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Hourly parking demand profiles for the existing plus future use provides the information necessary to identify the peak parking demand for a typical day. Weekdays and weekends have been evaluated separately to determine a peak parking demand using the Urban Land Institute (ULI) parking database.

The following summarizes the key findings of this parking demand study:

1. PARKING REQUIREMENTS FOR THE AGOURA VILLAGE CENTER

- a. The Agoura Village shopping center was constructed in 1990 before the City of Agoura Hills zoning code was established. The center was approved according to the County of Los Angeles parking standards for 97 parking spaces, a surplus of 5 parking spaces at the time. Currently, the site is considered a non-conforming use with regard to the City of Agoura Hills Zoning code parking requirements.
- b. Current Approvals - Based on a record search for the Agoura Village Shopping Center, the center's past parking requirement was to provide 119 parking spaces (67.83 spaces Chapter 8 and 51.49 spaces for others). In addition to the on-site parking, a parking agreement to provide 35 off-site parking spaces for employee parking at the Mann Theater Shopping Center (currently the Regency Theaters) was approved. (Case Nos. 04-SPR-024, 05-CUP-001, 05-ODP-001 & 05-VAR-001).
- c. The applicant intends to fully comply with the current approvals referenced above.

2. EXISTING PARKING DEMAND

- a. Pursuant to the proposed change of use permit to extend the hours for the live entertainment, the existing parking demand at the site and adjacent lots was surveyed on a Friday and Saturday evening (September 9th and 10th, 2011) from 6:30 pm and 12:30 pm. The results of the parking survey show that the existing Agoura Village shopping center parking lot is being used by neighboring businesses during the late after hours. This use of the Agoura Village parking lot



by others will not be allowed once The Sunset Room valet and security operation is in effect. At that time the entire on-site lot will be available for the proposed restaurant and Agoura Village shopping center tenants.

- b. The existing Adobe Cantina paved parking lot was nearly full up to 9:30 pm after which the entire lot was closed. This lot plus the unpaved lot is to be used for the off-site Sunset Room valet service and will provide up to 130 parking spaces (including dirt lot) as needed.

3. SHARED PARKING DEMAND FOR AGOURA VILLAGE

- a. Weekday Peak Parking Demand - The hourly weekday parking demand for the Agoura Village Shopping Center uses has been added together in a parking demand model to estimate the overall parking demand with The Sunset Room use and 100% occupancy. The results of the shared parking model shows a peak weekday parking demand of 213 parking spaces occurring at 9:00 pm.
- b. Weekend Peak Parking Demand - The hourly weekend parking demand for the Agoura Village shopping center has also been evaluated in the parking demand model. The results of the parking demand model shows a peak weekend parking demand of 226 parking spaces occurring after 9:00 pm.

4. SHARED PARKING DETERMINATION FOR THE AGOURA VILLAGE

The results of this study indicates that the use of a managed valet parking service and utilization of shared off-site parking spaces with businesses that do not need late hour parking will accommodate the increased peak parking demand created by proposed The Sunset Room patrons and employees.

The proposed extended hours of The Sunset Room will increase the parking demand during the late evening hours which can be accommodated with a shared use agreement with the adjacent Adobe Cantina restaurant and Canyon Tile and Stone parking lots that combined with the on-site parking lot provides 247 parking spaces, approximately 21 spaces above the estimated peak demand.



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SECTION 1

INTRODUCTION

This report provides an evaluation of the existing parking demand for the Agoura Village Shopping Center and estimates the future parking demand with the addition of The Sunset Room use and 100% occupancy. The location of the Agoura Village shopping center site is shown in Figure 1.

The center is occupied with a restaurant, retail businesses and pilates fitness studio. The current shopping center uses consists of a 4,240 square feet of retail (3 business: flower shop, day spa and skin care), 2,200 square feet of restaurant floor area, 2,537 square foot health and fitness use with the remaining 10,734 square-feet vacant space. The proposed Sunset Room supper club will occupy 6,531 square feet formerly the Chapter 8 Restaurant. The center was also approved for 1,000 square feet of outdoor dining for the Chapter-8 restaurant in 2005.

Table 1
Agoura Village Tenant List
Agoura Village Tenant List

Tenant	Unit	Sq. Ft.	USE
Vacant	A-1,2,3	4,203	vacant
Agoura Flowers	A-4	1,007	Retail, Flowers
Lets Face It	A-6	975	Retail, Skin Care
Apre's Teague	A-8	2,258	Retail, Day Spa
Isabella's Italian Kitchen	A-10	2,200	Restaurant
Teague Pilates	A-12	2,537	Health and Fitness
The Sunset Room	A-14	<u>6,531</u>	Restaurant
		19,711	

A total of 92 marked parking spaces exist at the shopping center site. The proposed Sunset Room restaurant will provide nightly valet parking from 5 pm until closing. The Sunset Room has provided for additional off-site parking at the nearby Adobe Cantina restaurant, Canyon Tile and Stone through a lease agreement and at the Westlake Lutheran Church on an as needed basis.



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The current proposal is to occupy approximately 6,531 square feet of the vacant floor area with The Sunset Room use and extend the hours of use to 2:00 am and add live music. No additional floor area is being added to the restaurant use. The new restaurant and supper club will, however, reduce the prior indoor dining area from 2,400 square feet to 1,900 square feet and enlarge the dance floor area. Figure 2 illustrates the Sunset Room floor plan.

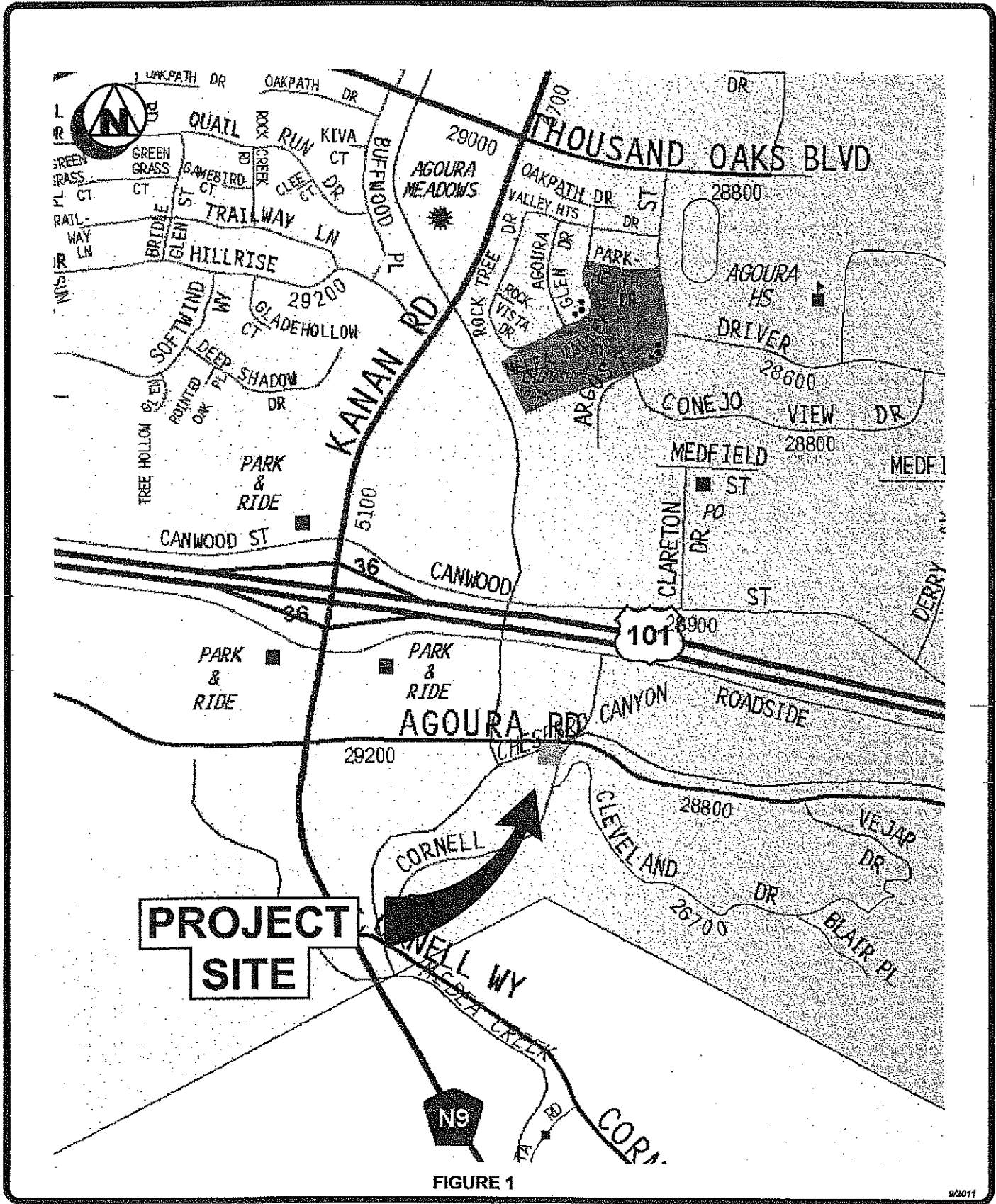


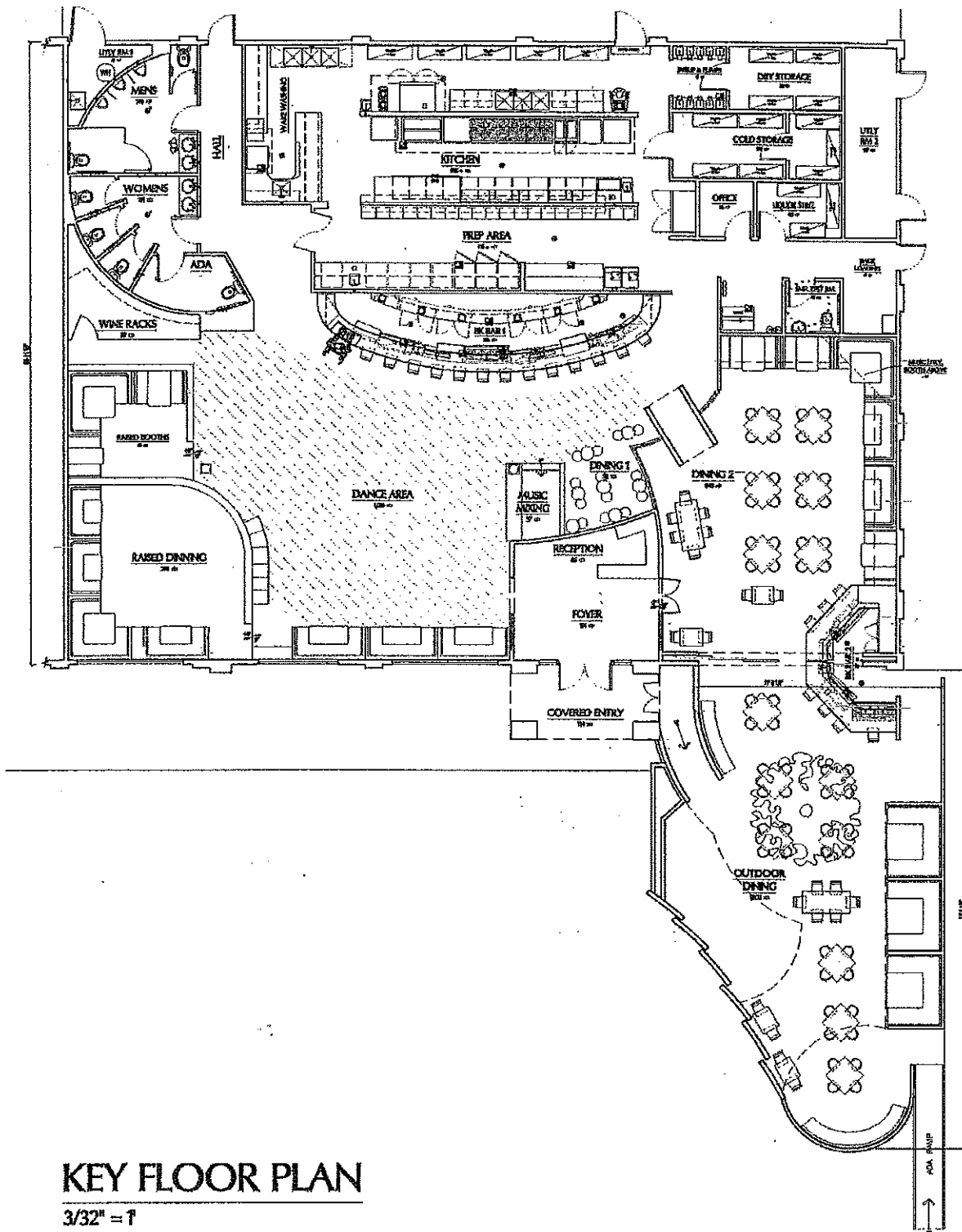
FIGURE 1

82011

Agoura Hills Study Area

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KEY FLOOR PLAN
 3/32" = 1'

FIGURE 2

9/2011

SUNSET ROOM FLOOR PLAN

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SECTION 2

SHARED PARKING DEMAND ANALYSIS

The shared parking concept recognizes that combining compatible land uses in a single development may result in less parking demand than would be required for separate freestanding developments of similar size. The recently adopted Agoura Village Specific Plan recognizes the shared parking concept as a means to ensure that efficient and adequate public parking is available in the plan area. One of the principles of the plan is to encourage shared parking between adjacent businesses and developments.

Shared parking is defined as a parking space that can be used to provide parking for more than one land use. Since hourly demand differs between uses, the opportunity may exist for several uses to share a parking space during different hours of the day. Different hours of operation, variation in the parking turnover (i.e., length of stay) and diverse parking characteristics allows for dual use of parking spaces. This variation in the peak accumulation of parking demand by different hours of the day for different uses allows the implementation of shared parking.

The hourly parking demand for the existing and future uses are combined in the shared parking model to estimate the total parking demand. The parking accumulation profiles show the variation in the parking demand during different hours of the day.

Using the shared parking concept, a parking demand model for the Agoura Village Shopping Center was developed. Parking demand data from the existing shopping center, data from The Sunset Room operator and data from the Urban Land Institute Shared Parking Report have been added together to estimate the Agoura Village Shopping Center's peak parking demand requirements.



The future parking demand for the shopping center floor area has been estimated using the ULI peak parking requirements and applying the hourly parking demand profiles provided by the Urban Land Institute (ULI) database.

Hourly adjustments were made to account for the hours of operation for the existing restaurant and fitness uses. Employee adjustments were increased for the health & fitness use and the Sunset Room to account for added security and valet service personnel.

The results of the weekly parking demand analysis are shown in Tables 1 for the weekday and weekend. Table 2 contains the adjusted hourly use factors applied to the land use categories.

Weekday Peak Parking Demand - The hourly weekday parking demand for the Agoura Village Shopping Center uses has been added together in a parking demand model to estimate the overall parking demand with The Sunset Room use. The results of the shared parking model indicate a peak weekday parking demand of 213 parking spaces occurring at 9:00 pm.

Weekend Peak Parking Demand - The hourly weekend parking demand for the Agoura Village shopping center has also been evaluated in the parking demand model. The results of the parking demand model indicates a peak weekend parking demand of 226 parking spaces occurring after 9:00 pm.

The results of this study indicates that the continued use of managed valet parking service and utilization of shared off-site parking spaces with businesses that do not need late hour parking will accommodate the increased peak parking demand created by proposed The Sunset Room use. The proposed extended hours of The Sunset Room will increase the parking demand during the late evening hours which can be accommodated with a shared use agreement with the adjacent Adobe Cantina restaurant and the Westlake Lutheran Church, on an as needed basis.



Appendix A
Shared Parking Data and Assumptions

1. Peak Parking Demand Rates

As recommended by staff, the base parking rates are per code with adjustments as described below to address employee parking levels:

- Retail is per city code (1 spaces / 250 s.f.) with customer and employee ratios per ULI
- Isabella's is per city code (15 spaces / 1000 s.f.) with customer and employee ratios per ULI.
- The Sunset Room is per ULI for nightclub use with higher weekend rates. Employee parking demand is the sum of club employee (2 shifts at 15 per shift with 9:00 pm overlap plus valet and security parking demand (assumed 15 spaces for valet and security parking starting at 5 pm). Maximum Sunset Room employee related parking demand is 45 spaces at 9:00 pm.
- Pilates is per retail code (1 spaces / 250 s.f.) assumed 2.0 parking rate for employees (compared to 0.4 ULI health club rate), assumes peak of 5 employees (reception, group fitness leader, trainer, manager, and support staff).

See Table A1 below for the base parking demand rates.

• Table A1
• Base Parking Demand Rates

Recommended Parking Ratios					
Spaces required per unit land use					
Land Use	Weekday		Weekend		Unit
	Visitor	Employee	Visitor	Employee	
Retail	3.20	0.80	3.20	0.80	/ksf GLA
Isabella's	12.00	3.00	12.00	3.00	/ksf GLA
The Sunset Room	15.25	0.00	17.50	0.00	/ksf GLA
Pilates	3.20	2.00	3.20	2.00	/ksf GLA

Note: The Sunset Room employee parking based on 30 employees (2 shifts)
+ valet and security starting at 4:00pm.



2. Hourly Parking Demand Profile

Hourly parking demand profiles are based on the ULI Share parking Report, Second Edition, as adjusted below:

- Isabella's assumes a ULI restaurant parking demand profile according to their operating hours: customer parking from 11 am to 10 pm weekdays and 4 pm to 10 pm weekends with employees arriving 1 hour before opening and departing 1 hour after closing.
- The Sunset Room is per ULI for nightclub use with higher weekend rates. Supper club opening hours of 4 pm daily.
- Teague Pilates assumes ULI parking profile and 8 am to 8 pm daily hours. Hours assume full daily usage and maximum class schedule.

See Table A2 for the hourly weekday and weekend parking demand profiles for the Agoura Village. Table 3 provides the hourly parking demand for the patrons and employees of the Agoura Village uses (existing and future).



Table A2
 ULI Time - of - Day Parking Demand Percentages
 Agoura Village Specific Hours

		Time-of-Day Factors for Weekday Demand																		
		6 AM	7 AM	8 AM	9 AM	10 AM	11 AM	12 PM	1 PM	2 PM	3 PM	4 PM	5 PM	6 PM	7 PM	8 PM	9 PM	10 PM	11 PM	12 AM
Retail	Customer	1%	5%	15%	35%	65%	85%	95%	100%	95%	90%	90%	95%	95%	95%	80%	50%	30%	10%	0%
	Employee	10%	15%	40%	75%	85%	95%	100%	100%	100%	100%	100%	95%	95%	95%	90%	75%	40%	15%	0%
Isabella's	Customer	0%	0%	0%	0%	0%	40%	75%	75%	65%	40%	50%	75%	95%	100%	100%	100%	0%	0%	0%
	Employee	0%	0%	0%	0%	90%	90%	90%	90%	90%	75%	75%	100%	100%	100%	100%	100%	100%	85%	0%
The Sunset Room	Customer											25%	25%	25%	50%	75%	100%	100%	100%	100%
	Employee				5%	5%	5%	5%	10%	10%	10%	20%	45%	70%	100%	100%	100%	100%	100%	100%
Pilates	Customer	0%	0%	40%	70%	70%	80%	60%	70%	70%	70%	80%	90%	100%	90%	80%	0%	0%	0%	
	Employee	0%	0%	75%	75%	75%	75%	75%	75%	75%	75%	75%	100%	100%	75%	50%	20%	0%	0%	

		Time-of-Day Factors for Weekend Demand																			
		6 AM	7 AM	8 AM	9 AM	10 AM	11 AM	12 PM	1 PM	2 PM	3 PM	4 PM	5 PM	6 PM	7 PM	8 PM	9 PM	10 PM	11 PM	12 AM	
Retail	Customer	1%	5%	10%	30%	50%	65%	80%	90%	100%	100%	100%	95%	90%	80%	75%	65%	50%	35%	15%	0%
	Employee	10%	15%	40%	75%	85%	95%	100%	100%	100%	100%	100%	95%	85%	80%	75%	65%	45%	15%	0%	
Isabella's	Customer	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	45%	60%	90%	95%	100%	90%	0%	0%	0%	
	Employee	0%	0%	0%	0%	0%	0%	0%	0%	0%	75%	75%	100%	100%	100%	100%	100%	100%	85%	0%	
The Sunset Room	Customer											25%	25%	25%	50%	75%	100%	100%	100%	100%	
	Employee				5%	5%	5%	5%	10%	10%	10%	20%	45%	70%	100%	100%	100%	100%	100%	100%	
Pilates	Customer	0%	0%	35%	50%	35%	50%	50%	30%	25%	30%	55%	100%	95%	60%	30%	0%	0%	0%		
	Employee	0%	0%	50%	50%	50%	50%	50%	50%	50%	50%	75%	100%	100%	75%	50%	20%	0%	0%		



Table A3
 ULI Time - of - Day Parking Demand Per User
 With The Sunset Room

December																			
Weekday Estimated Peak-Hour Parking Demand																			
	6 AM	7 AM	8 AM	9 AM	10 AM	11 AM	12 PM	1 PM	2 PM	3 PM	4 PM	5 PM	6 PM	7 PM	8 PM	9 PM	10 PM	11 PM	12 AM
Retail	-	1	4	8	15	20	24	27	27	27	26	23	22	20	18	14	8	3	-
Employee	1	1	3	5	6	6	7	7	7	7	7	6	6	6	5	3	1	-	
Isabella's	-	-	-	-	-	10	20	20	17	10	13	20	25	26	26	-	-	-	
Employee	-	-	-	-	6	6	6	6	6	5	5	7	7	7	7	7	7	6	
The Sunset Room	-	-	-	-	-	-	-	-	-	-	29	29	29	58	86	115	115	115	115
Employee+valet+security	-	-	-	-	-	-	-	-	-	-	15	30	30	30	45	45	30	30	30
Pilates	-	-	3	5	5	6	4	5	5	5	6	8	7	6	6	-	-	-	
Employee	-	-	4	4	4	4	4	4	4	4	4	5	5	4	3	1	-	-	
Customer	-	1	7	13	20	36	48	52	49	42	74	78	83	110	136	155	123	118	115
Employee	1	1	7	9	16	16	17	17	17	16	31	48	48	47	61	58	40	37	30
Total Demand	1	2	14	22	36	52	65	69	66	58	105	126	131	157	197	213	163	155	145

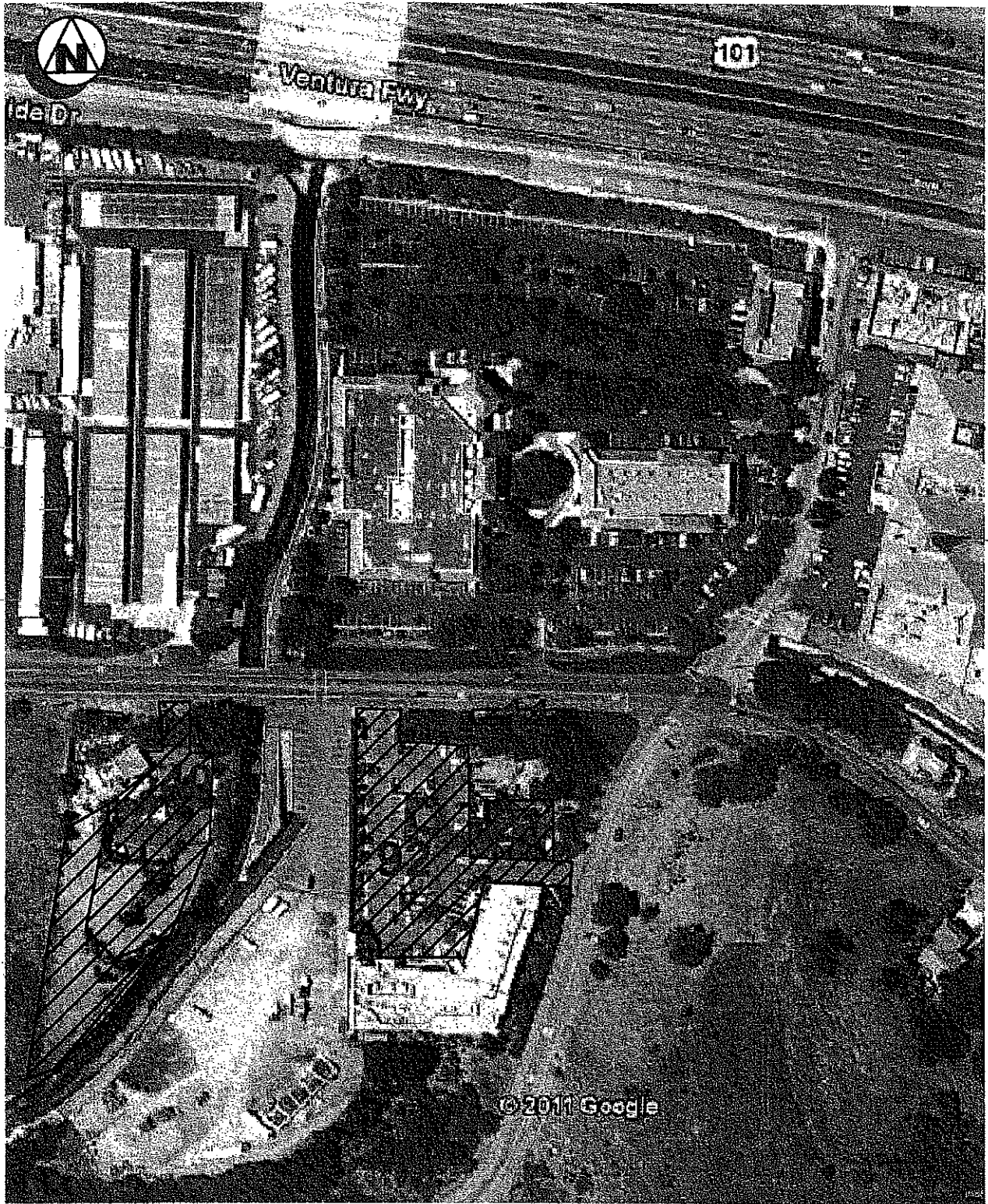
December																			
Weekend Estimated Peak-Hour Parking Demand																			
	6 AM	7 AM	8 AM	9 AM	10 AM	11 AM	12 PM	1 PM	2 PM	3 PM	4 PM	5 PM	6 PM	7 PM	8 PM	9 PM	10 PM	11 PM	12 AM
Retail	-	1	3	9	16	19	23	26	27	27	26	24	22	20	18	14	-	-	-
Employee	1	1	3	5	6	6	7	7	7	7	7	6	6	5	5	4	3	1	-
Isabella's	-	-	-	-	-	-	-	-	-	-	12	16	23	25	26	23	-	-	-
Employee	-	-	-	-	-	-	-	-	-	5	5	7	7	7	7	7	7	6	-
The Sunset Room	-	-	-	-	-	-	-	-	-	-	33	33	33	66	99	132	132	132	132
Employee+valet+security	-	-	-	-	-	-	-	-	-	-	15	30	30	30	45	45	30	30	30
Pilates	-	-	3	4	3	4	4	2	2	2	4	7	7	4	2	-	-	-	
Employee	-	-	3	3	3	3	3	3	3	3	4	5	5	4	3	1	-	-	
Customer	-	1	6	13	19	23	27	28	29	29	75	80	85	115	145	169	132	132	132
Employee	1	1	6	8	9	9	10	10	10	15	31	48	48	46	60	57	40	37	30
Total Demand	1	2	12	21	28	32	37	38	39	44	106	128	133	161	205	226	172	169	162



Overland Traffic Consultants, Inc.

Existing Parking Lot Usage

Agoura Village Shopping Center
(29020 Agoura Road, Agoura Hills)



7/2011

Agoura Hills Study Area

 **Overland Traffic Consultants, Inc.**

27201 Tournay Road #206, Santa Clarita, CA 91355
(661)799-8423 v, (661)799-8456 f, OTC@overlandtraffic.com

PARKING OCCUPANCY STUDY - RESULTS

CLIENT: OVERLAND TRAFFIC CONSULTANTS, INC.
 PROJECT: AGOURA HILLS
 DATE: FRIDAY, SEPTEMBER 09, 2011
 PERIOD: 06:30 PM TO 11:30 PM

FILE: 1-PARK-FRI

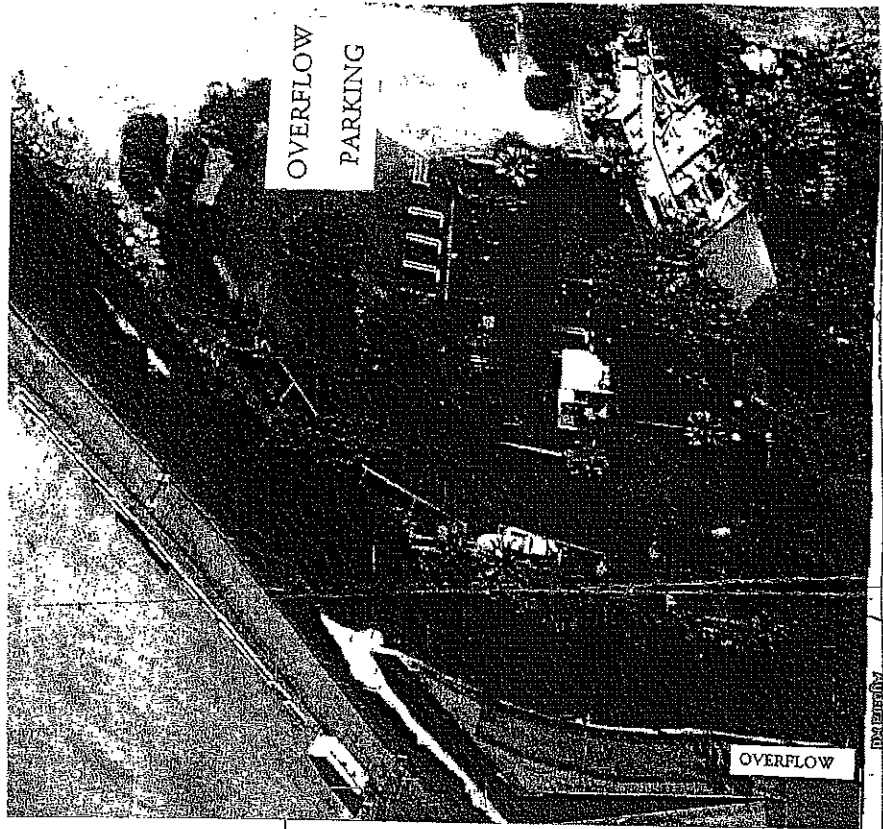
PERIOD	LOT 92	LOT 21	LOT 30		ON-STREET
	92 SPACES	21 SPACES	30 MARKED SP	10 UNMARKED SP	11 SPACES
06:30-07:30	70	15	7	5	7
07:30-08:30	74	16	12	6	7
08:30-09:30	64	15	15	7	6
09:30-10:30	58	14	20	7	5
10:30-11:30	62	15	CLOSED		4
11:30-12:30	54	14	CLOSED		4

PARKING OCCUPANCY STUDY - RESULTS

CLIENT: OVERLAND TRAFFIC CONSULTANTS, INC.
 PROJECT: AGOURA HILLS
 DATE: SATURDAY, SEPTEMBER 10, 2011
 PERIOD: 06:30 PM TO 11:30 PM

FILE: 1-PARK-SAT

PERIOD	LOT 92	LOT 21	LOT 30		ON-STREET
	92 SPACES	21 SPACES	30 MARKED SP	10 UNMARKED SP	11 SPACES
06:30-07:30	23	17	15	7	5
07:30-08:30	34	15	22	8	5
08:30-09:30	50	20	20	8	4
09:30-10:30	53	20	CLOSED		4
10:30-11:30	58	20	CLOSED		4
11:30-12:30	57	20	CLOSED		4



PRIVATE PROPERTY

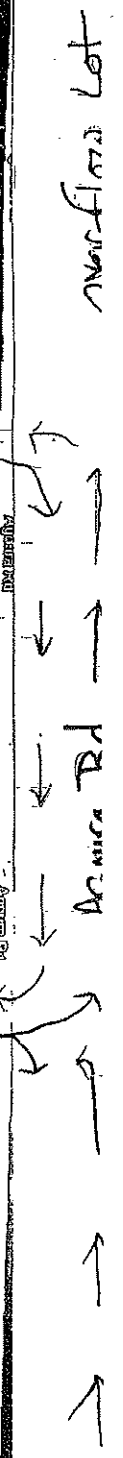
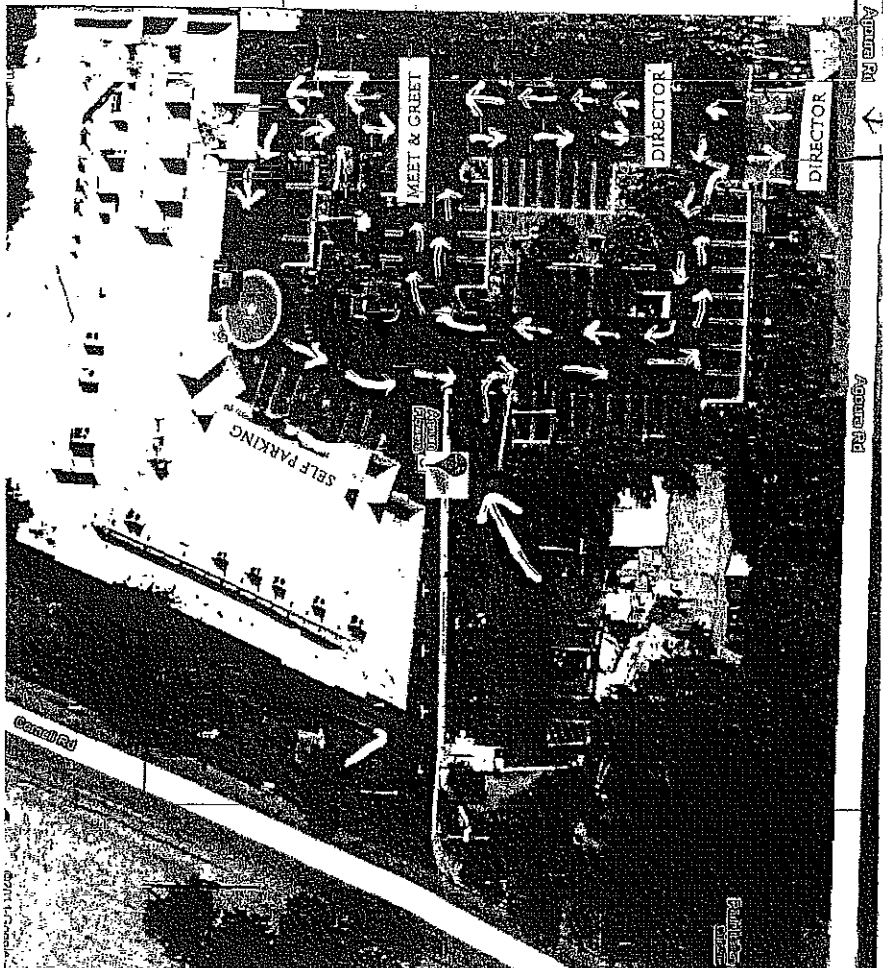


Exhibit E

CASE NO. 05-CUP-001 Amendment #2

**For the project located at 29020 Agoura Road
Agoura Hills**

Security Plan

The Sunset Room Security Outline

I. Number/Utilization of Security Personnel

- For each night *The Sunset Room* is open, we will have on duty 1 security staff member for every 40 patrons.
- We plan to staff 13-15 guards on Friday & Saturday nights.
- All security personnel shall be attired in a manner to readily identify them as such (black suit, radio and head-set with a company lapel pin).
- At the time of last call, one-half of all the security personnel shall be stationed outside the premises to assist and encourage patrons to leave in a safe, calm manner.
- Accordingly as the venue continues to empty, more of the security staff shall filter into the parking lot until all staff is stationed outside and assisting guest's departure.
- Security staff will be positioned throughout the venue indoors and outdoors (see diagram) in a manner as to be able to observe all aspects of the premises.
- Hand-held counters shall be used by the staff at the entrance at all times to monitor the number of patron's in the building while the venue is open.
- ID-scanners are provided to the staff at all times.
- The designated security staff will be available 30 minutes prior to the agreed-upon shift for de-briefing.
- The security staff is to be in constant communication with a supervisor who will be equipped with video recording capabilities.

II. Control & Clearance of Parking Lot

- Video cameras are mounted to cover the entrance, exits and the entire premises. Camera position has been reviewed by A.S.C. and adjusted as such to cover all areas of both the interior and exterior of the venue and its property. The security video system shall be reviewed and approved by the Los Angeles County Sheriff's Department. Recordings shall be archived for a least 14 calendar days for access by the Sheriff's Department (which is solely in the hands of and controlled by, The Sunset Room Management and its staff).
- Security staff (3 guards) will be designated to patrol the parking lot and adjacent areas during the evening hours until the close of business and until all of the patrons have left the premises.

III. The Clientele

- The target/age range for patrons of *The Sunset Room* will be from 25-45 years of age. We will NOT be promoting or sponsoring 21 and under nights as did the previous venue.

- All identification cards used to prove age must be valid (i.e., may not be expired), and must be government-issued. All employees are encouraged to ask purchasers questions relating to their identification in order to verify the information. If the employee checking an ID has a strong suspicion that an ID is false, altered, or belongs to someone other than the person presenting the ID, he/she shall confiscate the ID and turn it over to management, to be presented to the police.

IV. Control/Supervision of Patrons under 21 (Restaurant)

- During dinner hours minors (under 21) will be allowed in the dining area accompanied by a chaperone. The minors (under 21) will not be welcomed to stay in the venue after they have finished eating.
- Licensee will request proof of age from any customer who appears to be 30 years of age or younger, and will refuse service of alcohol to any customer who cannot produce adequate ID.

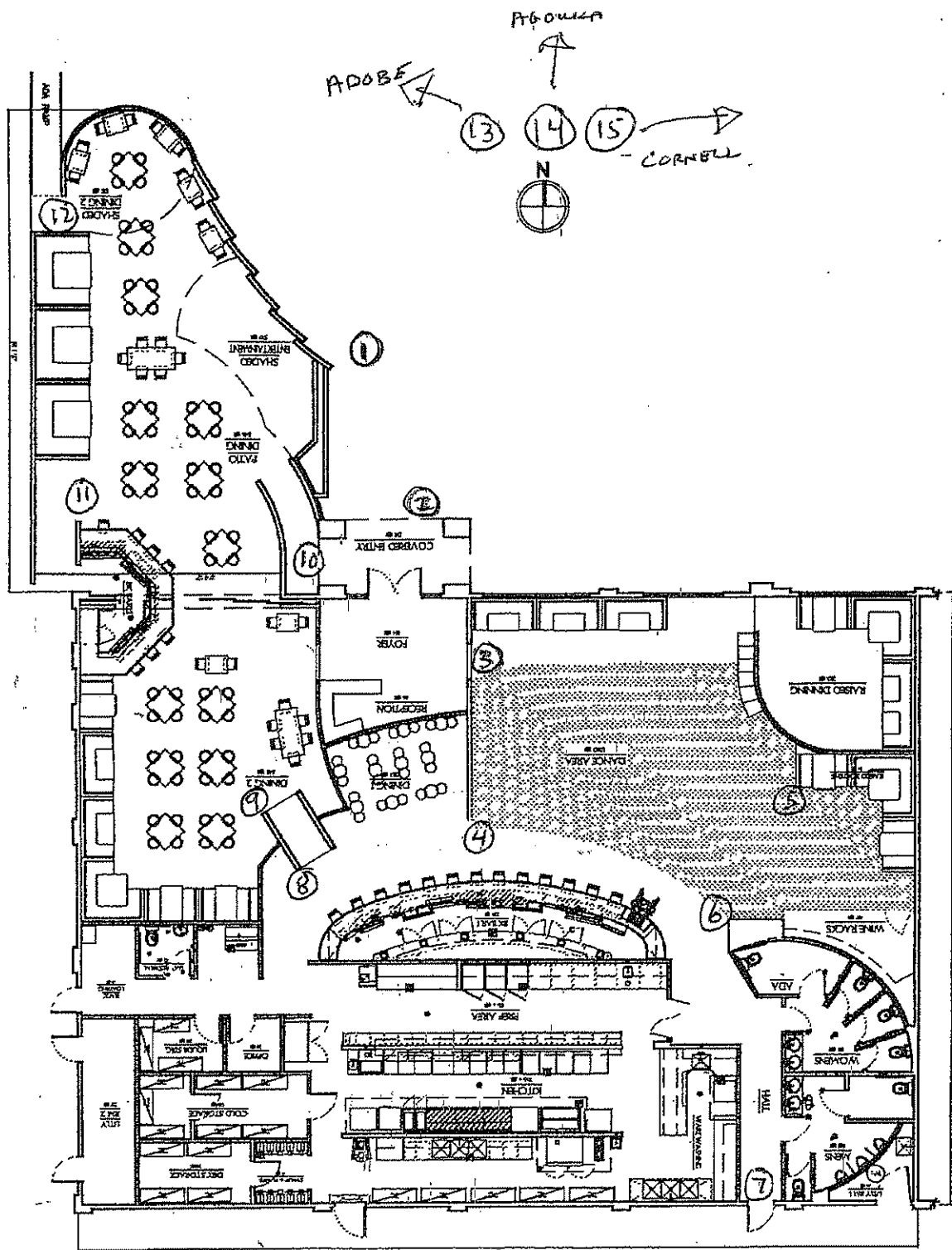


Exhibit F

CASE NO. 05-CUP-001 Amendment #2

**For the project located at 29020 Agoura Road
Agoura Hills**

Photographs of the Site

CONDITIONAL USE PERMITAMENDMENT #2
—CASE NO. 05-CUP-001 AMENDT. #2



RESOLUTION NO. 11-1041

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
APPROVING AMENDMENT #2 TO CONDITIONAL USE PERMIT
CASE NO. 05-CUP-001

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS,
RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by James Ashford of The Sunset Room, with respect to the real property located at 29020 Agoura Road, Assessor's Parcel Numbers 2061-031-023 and 2061-031-024, requesting approval of an amendment to an approved Conditional Use Permit for live entertainment in conjunction with an existing restaurant. A public hearing was duly held on October 6, 2011 at 6:30 p.m. in the Council Chambers, City Hall at 30001 Ladyface Court, Agoura Hills, CA 91301. Notice of the time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission of the aforesaid Public Hearing.

Section 3. The Planning Commission finds, pursuant to the Agoura Hills Zoning Ordinance, that:

- A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located in that live entertainment is permitted in the Agoura Village Specific Plan, subject to approval of a Conditional Use Permit.
- B. The proposed use, as conditioned, is compatible with the surrounding area in that there are no residential uses in the immediate surrounding area and live entertainment is currently permitted in neighboring restaurants within the Agoura Village Overlay District.
- C. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health and safety, or welfare in that the entertainment will be contained indoors. The entertainment will consist of dancing to live bands, recorded music, performing acts and specialty nights. A security plan for the project has been submitted by the applicant, with input by the Sheriff's Department, containing security measures to address potential security issues.
- D. The proposed use as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance in that the entertainment will be located in a delineated area which is approximately 1,080 square feet located inside the restaurant with no entertainment proposed outdoors. The entertainment is to remain ancillary to the dining and a menu is available until closing. The excess parking demand is mitigated as described by the

Parking Study by the use of a valet parking services which will be storing vehicles off-site.

- E. The distance from other similar and like uses is sufficient to maintain the diversity in the area as the other live entertainment uses in the area and in other parts of the city offer different types of live entertainment and are regulated under separate Conditional Use Permits.
- F. The proposed use, as conditioned, is consistent with the goals, objectives, and policies of the General Plan in that the live entertainment offers a land use which serves the diverse need of the Agoura Hills residents, as called for in the Land Use Element of the City's General Plan.

Section 4. The Planning Commission finds that the proposed amendment to be categorically exempt from the requirements of the California Environmental Quality Act, per Section 15303, in that the project involves live entertainment inside an existing insulated structure.

Section 5. Based on the aforementioned findings, the Planning Commission hereby approves Amendment #2 to Conditional Use Permit Case No. 05-CUP-001, with respect to the property described in Section 1.

PASSED, APPROVED and ADOPTED this 6th day of October, 2011 by the following vote to wit:

AYES: (3) Rishoff, Buckley Weber, and Moses
NOES: (0)
ABSTAIN: (0)
ABSENT: (2) Justice and O'Meara


Steve Rishoff, Chairperson

ATTEST:


Mike Kamino, Secretary

CONDITIONS OF APPROVAL
(Case No. 05-CUP-001 Amendment #2)

STANDARD CONDITIONS

1. This action shall not be effective for any purpose until the applicants have agreed in writing that the applicants are aware of, and accept all, Conditions of Approval of this permit with the Department of Planning and Community Development. Any conditions on such acceptance or challenges, including the filing of legal action, relating to the permit or the conditions shall be treated as a failure to meet this Condition and shall nullify and void this permit.
2. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits approved by the Planning Commission.
3. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
4. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicants have been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
5. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Conditional Use Permit and Conditional Use Permit Amendments.
6. Unless this permit is used within two (2) years from the date of City approval, Case No. 05-CUP-001 Amendment will expire. A written request for a one (1) year extension may be considered prior to the expiration date.

SPECIAL CONDITIONS

7. The applicants shall comply with all requirements of the State Department of Alcohol Beverage Control.
8. In accordance with Zoning Ordinance Section 9710, a new Conditional Use Permit by the City shall be required when any of the following conditions of the business apply:
 - A. The establishment changes its type of retail liquor license with the Department of Alcoholic Beverage Control;
 - B. There is substantial modification to the mode or character of operation, including, but not limited to, any increase of 20% or more in the floor area.
 - C. The alcoholic beverage license has either been revoked or suspended for any period by ABC.

Conditions of Approval (Case No. 05-CUP-001 Amendment #2)

Page 2 of 4

9. All employees involved in direct sales to customers shall enroll annually in ABC-approved alcoholic service training.
10. A full dinner menu shall be available until 1:00 a.m.
11. There shall be no minimum number of drinks required to be consumed during the operation of the eating establishment.
12. There shall be no service of alcoholic beverages on the dance floor.
13. "Last call" for alcoholic beverages will occur at 1:00 a.m. and there shall be no service of alcohol after 1:15 a.m. On Fridays and Saturdays, "last call" for alcohol beverages will occur at 1:15 a.m. and there shall be no service of alcohol after 1:30 a.m. All patrons must exit the premises by 2:00 a.m.
14. "Bottle service" shall only be allowed at times when a full dinner menu is available.
15. The applicant shall comply with all the provisions in the Security Plan, marked Exhibit E and is made a condition of the Conditional Use Permit Amendment #2.
16. Security/monitoring staff will be designated to patrol the parking lot and adjacent areas during the evening hours until the close of business and until all of the patrons have left the premises.
17. The telephone number of a responsible party shall be available upon request from the Lost Hills Sheriff Station staff.
18. Minors must be accompanied by an adult whenever there is dancing or live entertainment.
19. On-site security cameras shall be maintained. The recording shall be archived a minimum of 14 calendar days.
20. There shall be no pool tables or electronic gaming machines.
21. There shall be no leasing of the facility or subletting the facility for outside events.
22. There shall be no "after hours" use of the facility. Closing time shall be no later than 2:00 a.m.
23. The dance floor shall not exceed 1,080 square feet.
24. There shall be no outdoor entertainment or dancing.
25. Live entertainment is limited to only what is approved by the Planning Commission under this Conditional Use Permit. There shall be no wet tee-shirt contests, pole-dancing, lingerie shows, bikini dancing or taxi dancing, or the like.

26. Any changes to the Floor Plan shall be subject to review and approval by the Director of Planning and Community Development and/or the Planning Commission.
27. The facility shall be responsible for removing all trash and debris from the site and adjacent sites every day after closing.
28. There shall be no noise audible over 50 dB beyond the property line per the Zoning Ordinance.
29. All live entertainment shall cease no later than 1:30 a.m.
30. All graffiti on the site shall be removed or painted over within 24 hours of each occurrence.
31. Prior to issuance of occupancy, the applicant shall meet with the City Traffic Engineer and shall submit a valet parking circulation plan to the satisfaction of the City Traffic Engineer.
32. Any changes to the valet parking, including changes to Condition Nos. 31, 33, and 34, shall be subject to review and approval by the Director of Planning and Community Development and/or the Planning Commission prior to implementation.
33. Prior to issuance of occupancy, the applicant shall enter into parking agreements with the property owner of the property currently occupied by the Adobe Cantina, and with the property owner of the property currently occupied by the Canyon Tile and Stone, acceptable to the City, for use as off-site valet parking lots of The Sunset Room patrons' vehicles. Per the Parking Study, there shall be a minimum of 226 spaces provided both on-site and off-site at all times.
34. Prior to occupancy, the Adobe Cantina parking lot's unpaved areas to be used for parking per the Parking Study, shall be provided with a finished surfaced and improved to the satisfaction of the City Engineer and the Director of Planning and Community Development.
35. A copy of these conditions will be maintained on the premises and all managers shall be made aware of these conditions.
36. The applicant shall allow inspection of premises by City Staff during normal business hours. A monitoring report on the applicant's compliance with the conditions of approval shall be prepared by the City Staff to the Planning Commission no later than 6 months after initial operation and at anytime thereafter as deemed necessary by the City. If at any time there are excessive calls for service by the Sheriff's Department, the applicant shall take action to address those issues immediately, including increasing security personnel and paying the City of Agoura Hills to offset the costs for the increases in calls for services attributed to the Sunset Room.

Conditions of Approval (Case No. 05-CUP-001 Amendment #2)

Page 4 of 4

37. In the event that the applicant seeks to install a cover over the outdoor dining area, the design of the cover is subject to the review and approval of the Director of Planning and Community Development Department and the Building Official.
38. The Sunset Room Restaurant and Lounge will not open for business until the Conditional Use process for live entertainment is completed and all required permits are issued.

END

CASE NO. 05-CUP-001 Amendment #3

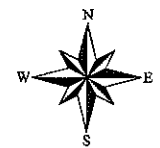
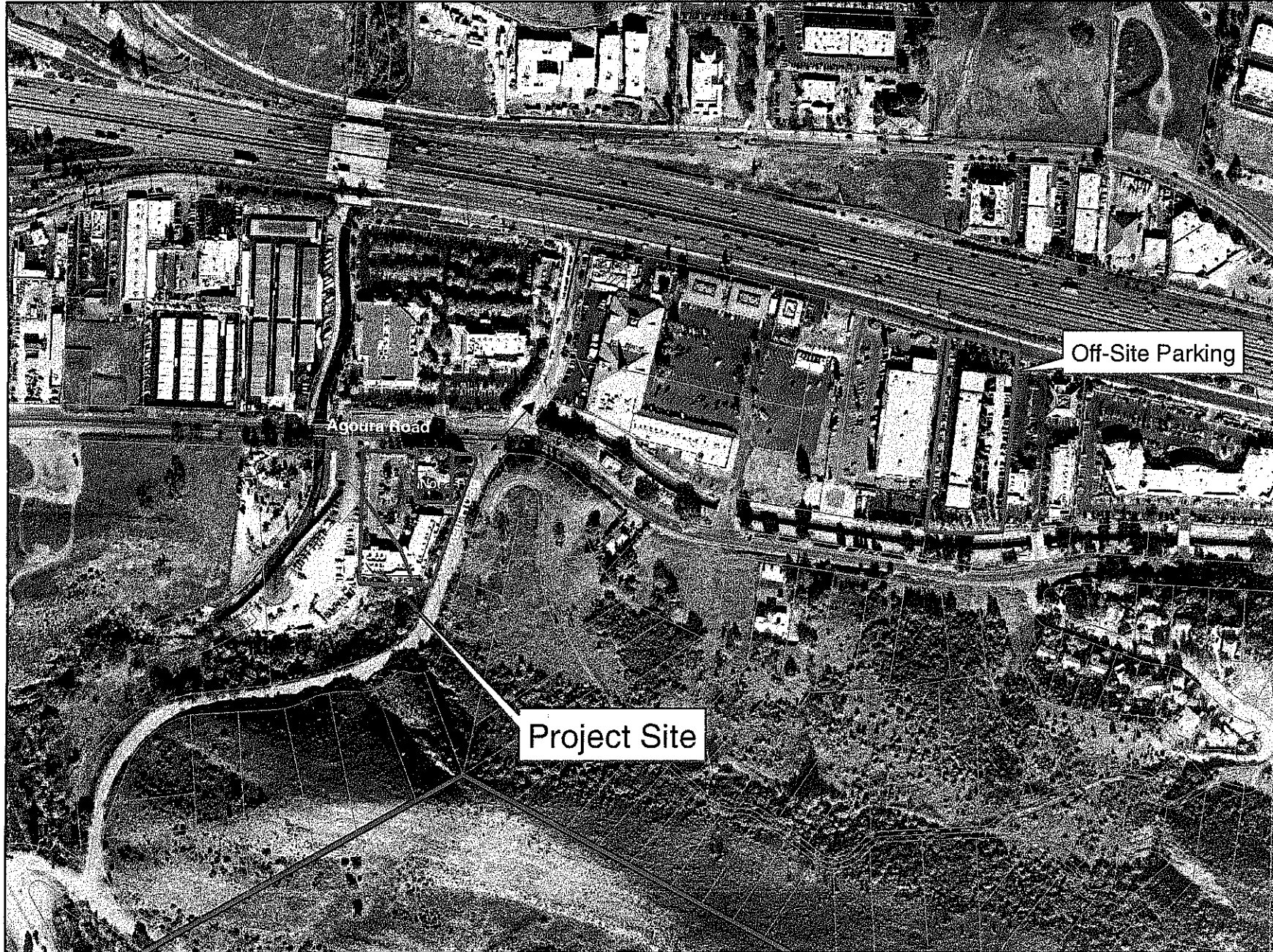
**For the project located at 29020 Agoura Road
Agoura Hills**

Exhibit B

Vicinity Map

City of Agoura Hills

Conditional Use Permit Amendment #3
Case No. 05-CUP-001 Amendt

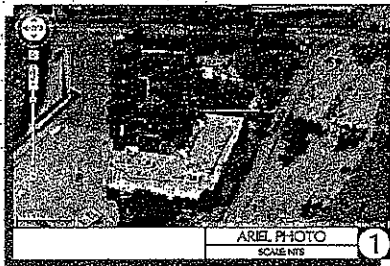
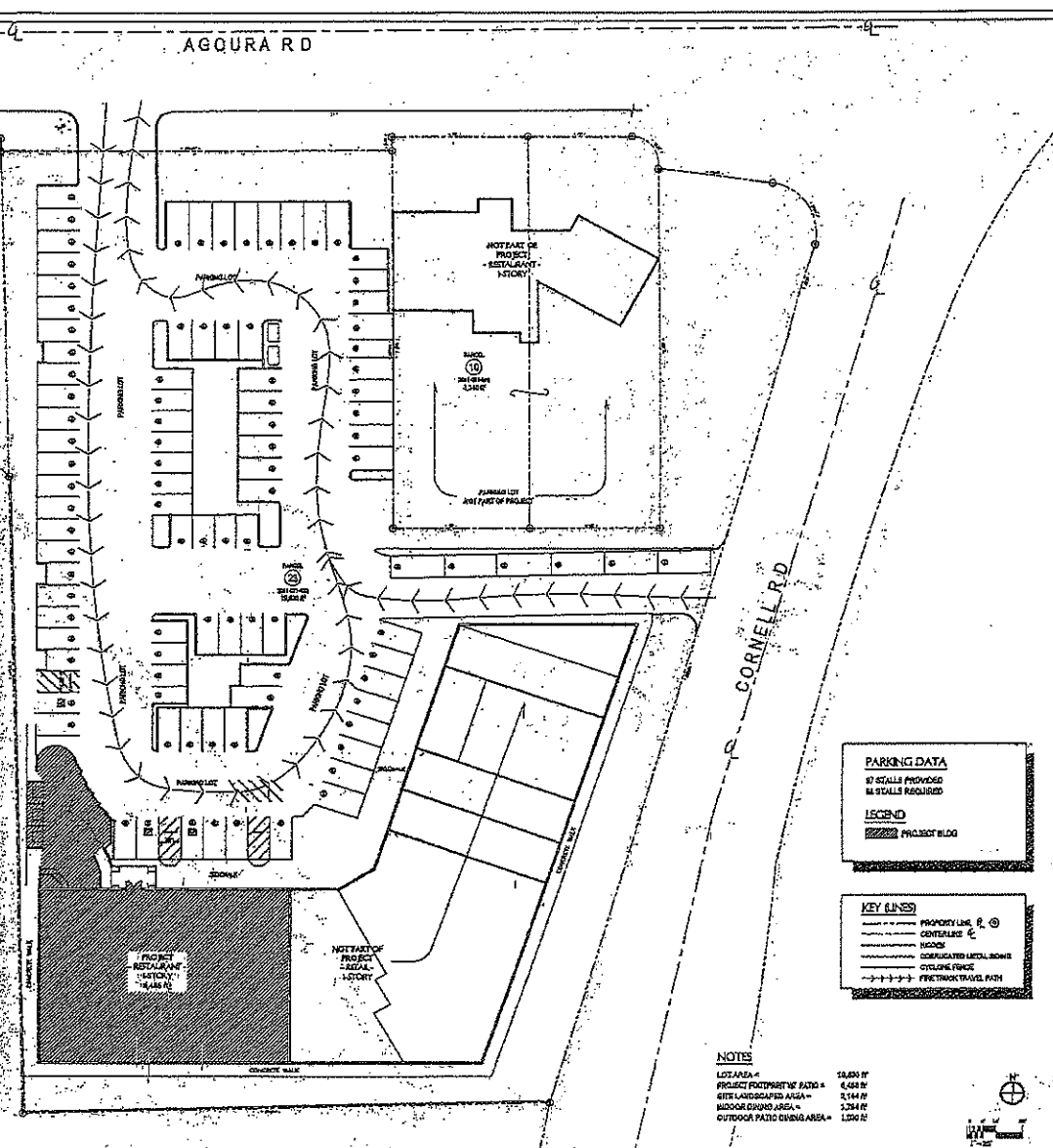


CASE NO. 05-CUP-001 Amendment #3

**For the project located at 29020 Agoura Road
Agoura Hills**

Exhibit C

Site and Floor Plans



ADG@SUNSET.COM\PLYLOT.MXD

REV	REVISION	DATE
1		

DESIGNED BY: ADG@SUNSET.COM
DATE: 6/23/2011

SUNSET ROOM
29020 AGOURA RD.
AGOURA HILLS, CA. 91301

PARKING DATA
87 STALLS PROVIDED
84 STALLS REQUIRED

LEGEND
PROJECT BLDG

KEY LINES

- PROPERTY LINE, E, ©
- CONVEYANCE, C
- EASEMENT
- DEDICATED UTILITY SOURCE
- EXISTING FENCE
- FUTURE TRAIL PATH

NOTES

- LOT AREA = 10,000 SF
- PROJECT FOOTPRINT W/ PAD = 4,458 SF
- SITE LANDSCAPED AREA = 2,144 SF
- BIOSHADE COVERED AREA = 2,284 SF
- OUTDOOR PATIO COVERED AREA = 1,000 SF



MJ DESIGN
ARCHITECTURE & CONSTRUCTION
29020 AGOURA RD.
AGOURA HILLS, CA 91301
TEL: 818-220-5207

PROJECT TITLE
SUNSET ROOM

SHEET TITLE
SITE PLAN

DATE
6/23/2011

JOB No. 11-0428

BY
SP

DATE

SHEET No. **A-10**

5/28/2011

REV	REVISION	DATE
1	ISSUED FOR PERMITS	05/28/11

©2011 CADTECH, INC. ALL RIGHTS RESERVED. SUNSET ROOMS & RESTAURANTS

SUNSET ROOM
 29020 AGOURA RD.
 AGOURA HILLS, CA. 91301

RM DESIGN

ARCHITECTURAL & CONSTRUCTION
 CONSULTANTS
 14500 E. DUBLIN RD.
 COVINGTON, CA 95925-3000

PROJECT TITLE
 SUNSET ROOM

SHEET TITLE
 FLOOR PLAN & SEATING PLAN

JOB NO. 11-042A
DATE 05/28/11
DESIGNER AD
SCALE 1/4" = 1'-0"

A-20

AREA DATA (SQ)

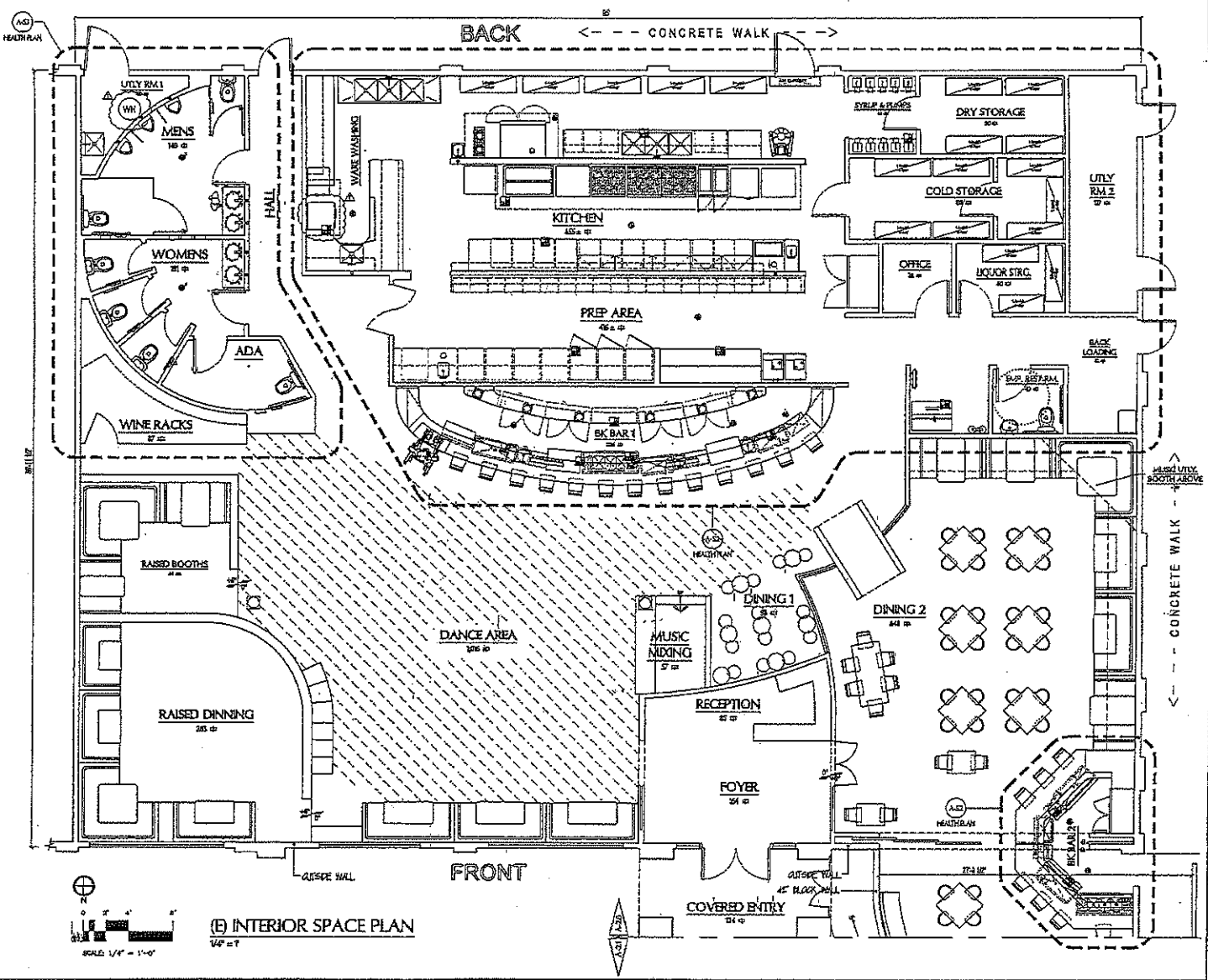
INDOOR DINING:	1,784
OUTDOOR DINING:	1,000
DANCE AREA:	1,016
BAR & WINE ROOMS:	137
MUSIC MIXING:	57
BAR & KITCHEN:	3,350
SAVING & WOOD STORAGE:	230
ENTRY/FOYER:	233

SEE SHEET A-14 FOR DETAILS

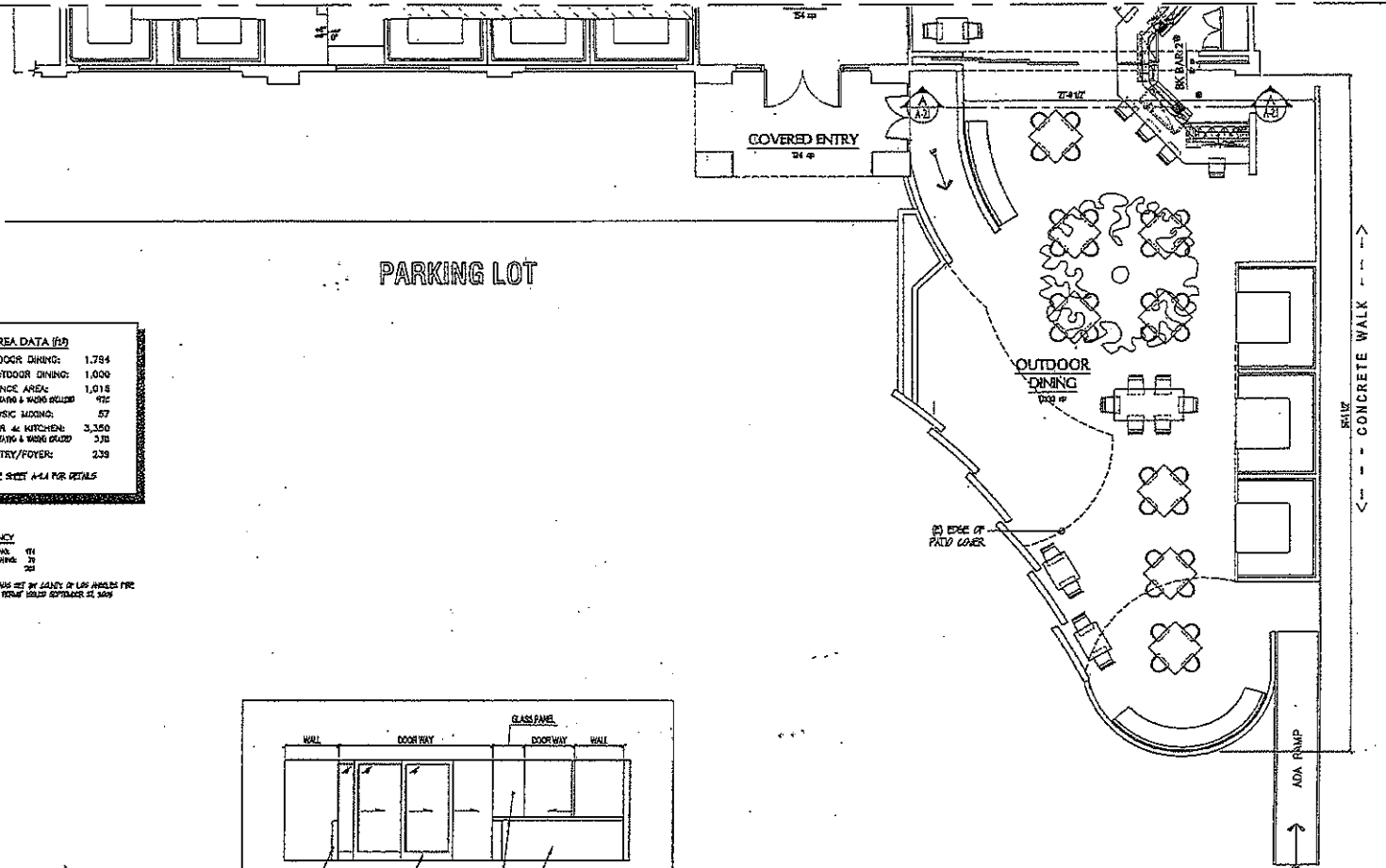
OCCUPANCY

INDOOR DINING:	174
OUTDOOR DINING:	100
SAVING:	23

ALL FRAMES WERE SET BY MEANS OF LASER LEVELS PER
 FOUNDATION PRINT W/ISSUE 05/28/11 12:00P



(E) INTERIOR SPACE PLAN
 VP = T



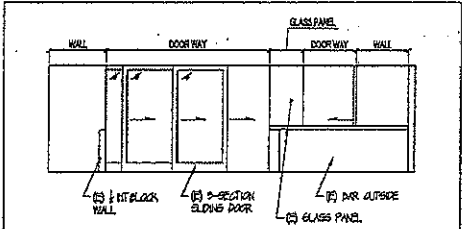
AREA DATA (sq)

INDOOR DINING:	1,784
OUTDOOR DINING:	1,000
DANCE AREA:	1,018
BAR & WINE CELLAR:	412
MUSIC LOBBY:	57
BAR & KITCHEN:	3,350
STAIR & WARE HOUSE:	370
ENTRY/FOYER:	239

SEE SHEET A-1.4 FOR DETAILS

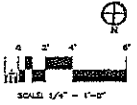
OCCUPANCY
 MODERATE 111
 OUTDOOR DINING 70
 DANCE 220

OCCUPANCY WAS SET BY LAJUNY & LOS ANGELES FIRE DEPARTMENT TRUMP SOLID SPRINKLER 21, 3009



(E) ELEV. OUTDOOR BAR
1/4" = 1'

(E) EXTERIOR SPACE PLAN
3/4" = 1'



24/02/2011

REV	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Copyright © 2011 James H. RANNEY ARCHITECTURE

SUNSET ROOM
 29020 AGOURA RD.
 AGOURA HILLS, CA. 91301

TRUDESIGN

DESIGN & CONSTRUCTION
 SPECIALISTS
 14555 Canyon Blvd. Suite 200
 Agoura Hills, CA 91301

PROJECT TITLE
SUNSET ROOM

SHEET TITLE
PATIO PLAN & SEATING PLAN

SP

JOB NO. 11-0422 DATE 04/20/11

SHEET NO. **A-2.1**

CASE NO. 05-CUP-001 Amendment #3

**For the project located at 29020 Agoura Road
Agoura Hills**

Exhibit D

New Valet Parking Plan



All Secure Valet & Parking
1560-1 Newbury Road, Suite 287, Newbury Park, CA 91320
Phone: (877) 828-7275 -- Fax: (805) 222-5786

CITY OF AGOURA HILLS

2011 JAN -4 PM 2:47

CITY CLERK

To: Greg Ramirez / City of Agoura , City Manager

Dear Greg,

Please consider our request to cancel the current off site parking and traffic plan currently in use for Sunset Room.

The Agoura Gateway Property is just too far from our venue to offer effective, prompt service for our guests.

We have secured a much closer property (Shamrock Plaza) 28720 Roadside Dr., Agoura Hills, CA , that can offer the same parking lot structure and will be much closer and cost efficient so we can keep our parking fees competitive to the area. The time to retrieve the cars back to Sunset Room is cut by 1/3. Less than 2 minutes.

Please refer to the parking plan and contract attached.

As permitted in your required clause of contract (approvals control), we request a change of parking venues from 28632 Roadside Dr. Agoura Hills, CA to 28720 Roadside Dr. Agoura Hills, CA. Effective immediately.

Respectfully,

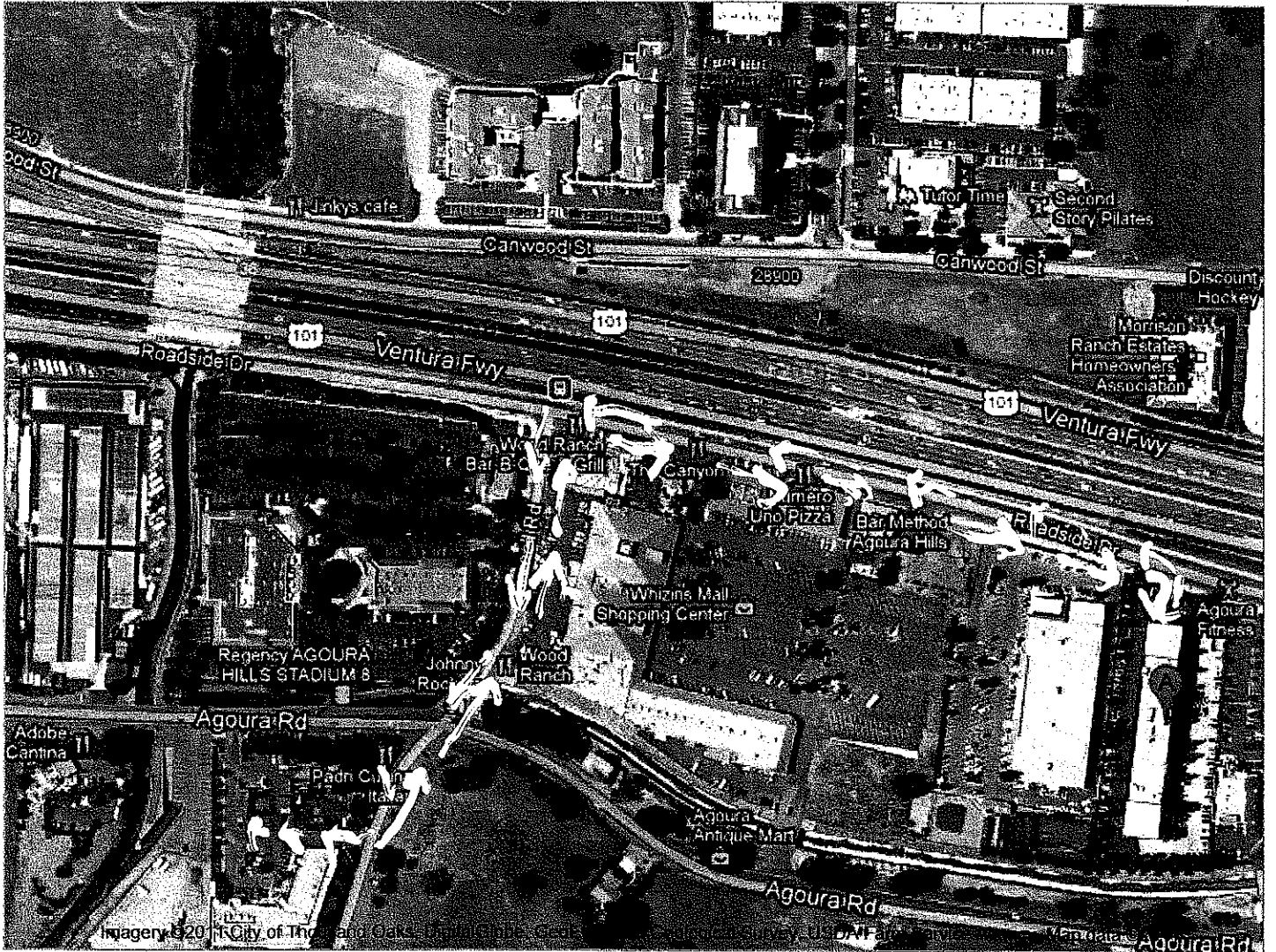
**James Ashford
Sunset Room/Owner**

**Michelle Thrower
All Secure Valet & Parking, Inc.**

Thank you for business!

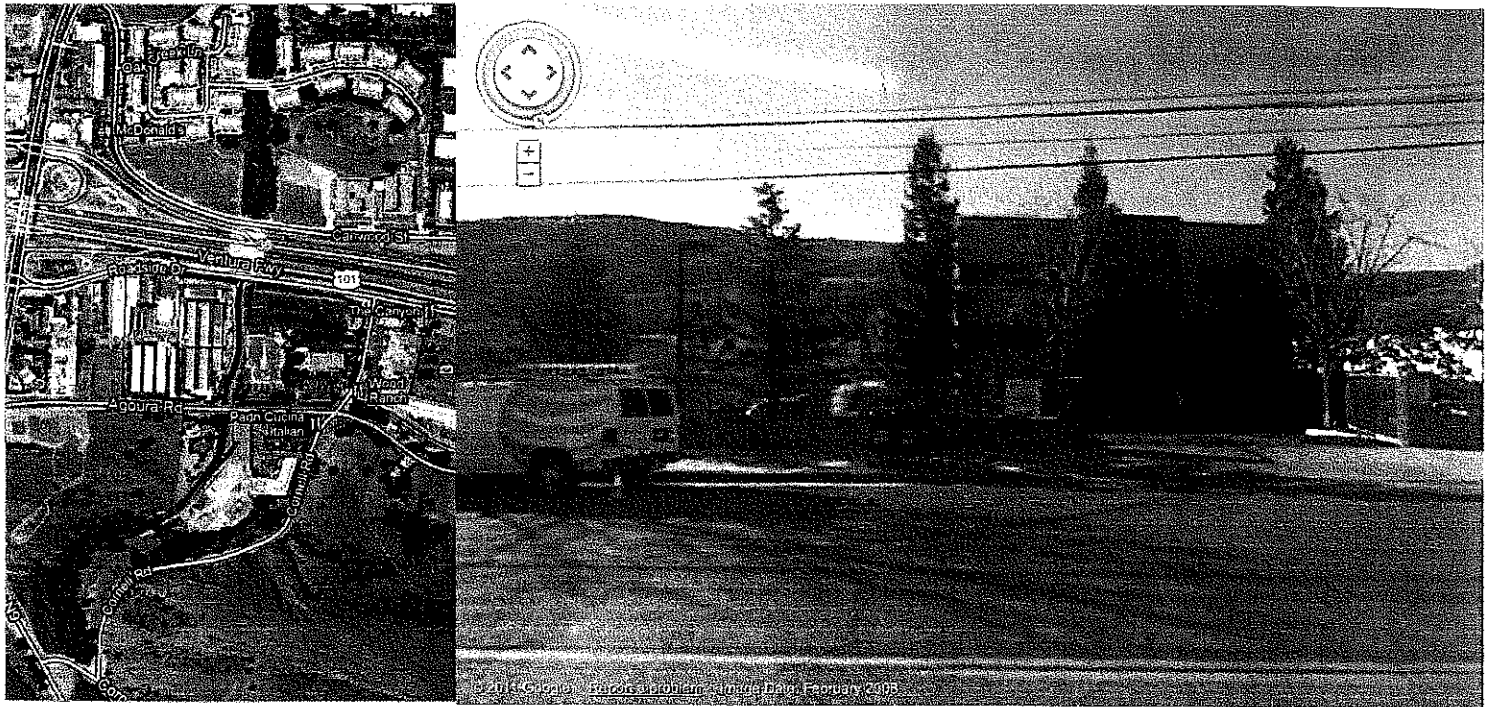
To see all the details that are visible on the screen, use the "Print" link next to the map.

Google



Google

To see all the details that are visible on the screen, use the "Print" link next to the map.



To see all the details that are visible on the screen, use the "Print" link next to the map.

Google

