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**DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT**

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DATE: July 19, 2012

TO: Planning Commission

APPLICANT: ARC Design Group, Inc., for Ofer Dayan  
1000 Paseo Camarillo, Suite 239  
Camarillo, CA 93010

CASE NOS.: 12-SPR-003 and 12-OTP-007

LOCATION: 28080 Balkins Drive (A.P.N. 2055-023-098)

REQUEST: Request for approval of a Site Plan/Architectural Review to construct a 4,037 square foot, two-story, single-family residence with a 701 square foot attached garage, a 768 square foot detached garage/storage/workshop, a swimming pool, and equestrian facilities; and Oak Tree Permit to encroach within the protected zone of two oak trees for the proposed construction.

ENVIRONMENTAL DETERMINATION: Categorically exempt from the California Environmental Quality Act (CEQA), per Section 15303 of the CEQA Guidelines (New Construction or Conversion of Small Structures)

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Site Plan/Architectural Review Case No. 12-SPR-003 and Oak Tree Permit Case No. 12-OTP-007, subject to conditions, based on the findings of the attached draft Resolution.

ZONE DESIGNATION: RV-OA-EQ (Residential Very Low Density - Old Agoura Design Overlay – Equestrian Overlay)

GENERAL PLAN DESIGNATION: RV – (Residential Very Low Density)

## I. PROJECT BACKGROUND AND DESCRIPTION

On January 19, 2006, the Planning Commission held a public hearing to consider a request by ARC Design Group, Inc., for Roger and Christine Ewing for a Site Plan/Architectural Review to construct a 4,037 square foot, two-story, single-family residence with 1,469 square feet of garages, a swimming pool, and equestrian facilities at 28080 Balkins Drive. The request was unanimously approved by the Planning Commission. Building plans for the project were submitted into plan check for a building permit. The plans were approved, but building permits were not obtained by the applicant, the entitlement has since expired, and the parcel remains vacant.

A new application has been submitted by ARC Design Group, Inc., for Ofer Dayan (new owner), requesting approval of a Site Plan/Architectural Review and Oak Tree Permit to construct the originally approved 4,037 square foot, two-story, single-family residence with a 701 square foot attached two-car garage with a motor court area, and a 768 square foot detached two-car garage/storage/workshop, which is located in the RV-OA-EQ (Residential Very Low Density - Old Agoura Design Overlay - Equestrian Overlay) districts. The applicant is also proposing to construct a swimming pool, cabana, horse stalls, and a dressage arena on the subject lot. The proposed new residence, equestrian facilities, site improvements, and lot coverage remain unchanged from the originally approved project.

The 1.03-acre (44,997 square feet) vacant property consists of a gently east-sloping rectangular parcel located on the south side of Balkins Drive, approximately 218 feet east of the intersection with Colodny Drive. The relatively flat parcel has an average topographic slope of 9.96%. There are developed residential properties in the RV zone to the east, south, west, and across Balkins Drive to the north.

New single-family homes are subject to review by the Planning Commission. Since the property has an average topographical slope that is less than 10%, the project is not subject to the City Hillside Ordinance or Conditional Use Permit and, therefore, can be reviewed as a Site Plan/Architectural Review application.

The proposed single-family residence is a permitted use in the RV zone and will meet the required development standards relative to lot coverage, building placement, and height. Listed below are the proposed development data pertaining to the project:

### Pertinent Data

	<u>Proposed</u>	<u>Required/ Allowed</u>
1. Lot Size	1.03 acres (44,997 sq. ft.)	1 acre min. (43,560 sq.ft.)
2. Lot Depth	286 feet	N/A

	<u>Proposed</u>	<u>Required/ Allowed</u>
3. Lot Width	172 feet	N/A
4. Bldg. Height	28 feet	35 feet max.
5. Building Sizes		
First Floor	2,824 sq. ft.	N/A
<u>Second Floor</u>	<u>1,213 sq. ft.</u>	<u>N/A</u>
Total House Area	4,037 sq. ft.	N/A
Attached Garage	701 sq. ft.	N/A
Detached Garage/Workshop/Storage	768 sq. ft.	N/A
Covered Patios/Porch	656 sq. ft.	N/A
Cabana	197 sq. ft.	N/A
<u>Horse Stalls</u>	<u>1,495 sq. ft.</u>	<u>N/A</u>
Total Structures	6,303 sq. ft.	N/A
6. Setbacks		
Front (north)	44 feet	25 ft. min.
Rear (south)	137 feet	25 ft. min.
East Side	65 feet	12 ft. min.
West Side	12 feet	12 ft. min.
7. Lot Coverage		
Residence, Garages & Porte Cochere	4,346 sq. ft.	N/A
Covered Patios/Porch	606 sq. ft.	N/A
Horse Stalls with roof cover	2,539 sq. ft.	N/A
Pool Cabana	197 sq. ft.	N/A
Swimming Pool & Spa	433 sq. ft.	N/A
<u>Hardscape</u>	<u>953 sq. ft.</u>	<u>N/A</u>
Total	9,074 sq. ft. (20.2%)	11,249 sq. ft. (max. 25%)
8. No. of Oak Trees	2 off-site	N/A
9. Average Slope	9.96%	N/A

## II. STAFF ANALYSIS

### Site Plan

The building pad, which would occupy 7.8% of the 1.03-acre lot, would be situated at the northerly portion of the parcel, with access to be taken from Balkins Drive via an on-site access driveway proposed in the center of the front property line. The applicant is also proposing a decomposed granite access drive along the east property line to access the proposed trailer garage and horse stalls. The Los Angeles County Fire Department has tentatively approved the Site Plan for this project for required access.

A swimming pool, cabana, and covered patios are proposed in the rear southern portion of the site, behind the residence. The proposed horse stalls would be located 22 feet east of the pool and the dressage arena is proposed at the extreme south portion of the site at a finish grade of 974 feet, four feet lower than the house.

The residence is proposed to be setback 44 feet from the front (north) property line and 137 feet to the rear (south) property line, which exceeds the minimum front and rear setback requirements of the RV zone. The side yard setbacks for the east and west property lines will be at the minimum 12 feet, as allowed for the zone.

The project was reviewed for compliance with the Equestrian Overlay District, approved in 2009, which applies to residential development in the Old Agoura neighborhood. The Overlay District requires properties to accommodate a horse keeping area of at least 1,500 square feet in size that could include a 144 square foot covered stall with a corral and a 150 square foot area for hay and tack storage. Furthermore, the location of the equestrian area must be accessible from the street for veterinary care and the delivery of supplies. The proposed Site Plan shows a horse keeping area in the rear of the property, which includes an area approximately 9,800 square foot in size for a horse arena, and a 2,539 square foot area for horse stalls with a covered roof. The distance between the horse stalls and the horse arena to the neighboring residence to the east would be 117 feet, and 178 feet to the neighbor's residence to the west.

The 1,495 square foot accessory structure proposed within the rear portion of the lot is a permitted use by the Zoning Ordinance. Accessory structures cannot occupy more than 25% of the rear yard plus 40% of the buildable area in combination with any other accessory buildings on the site. The proposed horse structure would be located more than 10 feet distance between the main structure and the horse arena, 22 feet from the swimming pool to the northwest, and 21.5 feet from the east side property line. The maximum height of the horse structure would be 14 feet and would also comply with the maximum allowable lot coverage limitation for accessory structures in the buildable area. Horse structures are required to be placed at least 35 feet from any habitable structure or street. The placement of the proposed horse stalls is 35 feet to the nearest habitable structure (proposed residence) and 110 feet to the nearest street (Balkins Drive), which meets the requirement.

In the RV zone, the City Municipal Code allows maximum building lot coverage of twenty-five (25) percent of the lot. The total proposed coverage for this project is 9,074 square feet, or 20.2 % of the parcel, which includes the footprint of the residence, garages, accessory structures, patios, hardscape, and a swimming pool.

The applicant is proposing a house size of 4,037 square feet on a 44,997 square foot (1.03 acre) lot, which results in a floor/ratio of .08, and lot coverage of 20.2%, which is below the maximum allowable lot coverage of 25% for the zone.

The Old Agoura Residential Design Guidelines, adopted in 2009, recommends a maximum 5,300 square feet of floor area based on the size and topography of the lot. In this instance, the Floor Area Ratio included in the Old Agoura Residential Design Guidelines, adopted in 2009, is 11.7% or 5,300 square feet. The applicant has proposed a floor area ratio of 10.4% or 4,693 square feet, of which 4,037 is the residence and 656 square feet is covered patios. The 4,693 square feet is below the recommended floor area ratio of 5,300 square feet.

#### Architectural Design

The applicant is proposing a Tuscan style of architecture for the residence with a Mediterranean tile roof, beige color stucco, and a clear dark brown stain finish for the decorative trim and window shutters. The applicant is also proposing medium brown color doors and dark brown clad windows. To break up the building mass the applicant is using smaller elements such as a stair tower, wrought iron rails, two-story brown stone on the elevations, and a two-story middle with small one-story element at the perimeter of the building. The exterior building colors and materials are the same as proposed in 2006.

The overall height of the proposed residence is 28 feet, which is below the maximum height of 35 feet allowed for a residence. The Architectural Review Panel found the design to comply with the City Architectural Guidelines and the rural character of the Old Agoura Overlay District. The Old Agoura Homeowners Association has also reviewed the project. A copy of their letter is attached to the report for the Commission's review.

#### Oak Tree and Landscaping Review

The subject site includes two off-site Coast Live Oak trees located near the southeast corner of the site on the adjacent property to the east. Grading for the dressage area and installation of a new split-rail fence near the southeast corner of the property would require encroachment within the protected zones of both oak trees and some clearance pruning would be required.

The City Oak Tree/Landscape Consultant has reviewed the Oak Tree Report prepared for the project (attached) and recommends that the oak trees be fenced prior to the start of construction, and determined that the health of the oak trees would not be significantly impacted with the recommended conditions of project approval.

The City Landscape Consultant has also reviewed the preliminary landscape plan that was submitted. The City Consultant supports the preliminary plan, subject to compliance with the landscape recommendations included in conditions of approval that are included within the attached draft Resolution. The planting scheme is required to utilize native, drought tolerant plants, which comply with the City's Landscape Design Guidelines. The applicant is proposing to plant ornamental landscaping in all four yards to help screen the adjacent residences.

#### Engineering/Public Works Department Review

The Engineering Department has reviewed and conditionally approved the Grading Plan and will require the applicant to improve the street (Balkins Drive) along the property frontage. These improvements will include a minimum street width of 20 feet, including pavement transitions, which will satisfy the Los Angeles County Fire Department's requirements. Final public improvement plans will be subject to approval by the City Engineer prior to issuance of a building permit.

Proposed grading of the property would include 1,607 cubic yards of cut, 2,586 cubic yards of fill, and 979 cubic yards of import. A private septic system, located on the side (east) center portion of the property, will serve the residence. The location and feasibility of the septic system has been tentatively approved by the Los Angeles County Health Department.

Split-rail fencing is proposed starting from the east side of the main driveway, in the front of the lot, and will connect to a new retaining wall (on the eastern and southern property line) and continued around to a the west property line, ending at the front property line. An additional retaining wall is proposed along a portion of the west (side) property line and will remain under 6 feet.

A semi-permeable surface material (interlocking pavers) is proposed for the 20-foot wide driveway and motor court /Fire Department turnaround areas in the center of the front property line to access the proposed attached and detached garages. The applicant is also proposing decomposed granite along the east property line to access the trailer garage and horse stalls.

The City's Geotechnical Consultant has reviewed the geotechnical reports prepared for this project and recommends that the project be approved from a geotechnical perspective. The City's Geotechnical Consultant's letter dated March 29, 2012, is attached for reference.

#### Environmental Review

The project has been determined to be Categorical Exempt from the California Environmental Quality Act (CEQA), per Section 15303 of the CEQA guidelines (New Construction or Conversion of Small Structures). This exemption includes, but is not

limited to, the construction of a single-family residence. A copy of the notice of exemption is attached.

In conclusion, staff finds that the proposed project meets the development standards established by the Residential Very Low Density zone and the Old Agoura Design Overlay zone and the project is designed and sited to be compatible with the neighborhood. Geotechnical and geological studies were completed to analyze the feasibility and impacts of the project. The proposed building design and materials are in keeping with the semi-rural character of the neighborhood.

### **III. RECOMMENDATION**

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Site Plan/Architectural Review, Case No. 12-SPR-003 and Oak Tree Permit Case No. 12-OTP-007, subject to conditions, based on the findings of the attached draft Resolutions.

### **IV. ATTACHMENTS**

- Draft Resolution and Conditions of Approval
- Exhibit A: Letter from Old Agoura Homeowners Association
- Exhibit B: Colored Elevation of the Residence and Colors and Material Board
- Exhibit C: Reduced Copies of Plans
- Exhibit D: City Geotechnical Consultant's (GeoDynamics) Letter
- Exhibit E: Environmental Determination
- Exhibit F: Vicinity Map
- Exhibit G: Photographs of Surroundings
- Exhibit H: Oak Tree Report

**CASE PLANNER:** Renee Madrigal, Associate Planner

DRAFT RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF AGOURA HILLS  
APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 12-SPR-003  
AND OAK TREE PERMIT CASE NO. 12-OTP-007

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY  
FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by ARC Design Group, Inc. for Ofer Dayan with respect to the real property located at 28080 Balkins Drive (Assessor's Parcel Number 2055-023-098), requesting the approval of a Site Plan/Architectural Review Case No. 12-SPR-003 and Oak Tree Permit Case No. 12-OTP-007 to construct a 4,037 square foot, two-story, single-family residence with a 701 square foot attached garage, a 768 square foot detached garage/storage/workshop, a swimming pool, and equestrian facilities. A public hearing was duly held on July 19, 2012, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California; and that notice of the time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. The Planning Commission finds, pursuant to Agoura Municipal Code Section 9677.5, that:

A. The proposed use, as conditioned, is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located. The proposed project is located within the Very Low Density Residential, Old Agoura Design, and Equestrian Overlay (RV-OA-EQ) districts, which allow for single-family development. Minimum development standards have been met for the proposed two-story residence with regard to lot coverage, building height, building setbacks, architectural design standards and guidelines, and equestrian use.

B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare in that the design of the residence will ensure adequate light, air, privacy and open space to surrounding properties. The project exceeds the minimum setback requirements of the RV zone. Geological, geotechnical, drainage studies and landscape plans have been provided and approved by the City's consultants. A private septic system will serve this 1.03 acre parcel and meets the conditions of the Los Angeles County Health Department. Vehicular access to the property will be provided via Balkins Drive. The applicant will be required to construct the project in compliance with the City Building Code.

C. The proposed use, as conditioned, will not conflict with the character and design of the buildings and open space in the surrounding area. The proposed design,



colors, and materials, including the beige stucco and stone finish walls, dark brown clear stain wood trim, and window shutters, dark brown wood clad windows and clay tile roof, are in keeping with the rustic style of homes desired for the Old Agoura neighborhood. Thus, the proposed use is compatible with the surrounding neighborhood. The project was reviewed by the City's Architectural Design Review Panel and was found to be in compliance with the City's Architectural Design Guidelines and Standards of the Old Agoura Design Overlay District. The project also meets the intent of the Old Agoura Residential Design Guidelines.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. The project meets the development standards of the Residential Very Low Density zone and the Old Agoura Design Overlay District. The proposed residence meets all required building setbacks, lot coverage, and building height requirements for the zone, as well as setbacks for horse facilities and horse keeping area requirements of the equestrian overlay. In addition, the proposed residence incorporates natural building materials in the project design.

E. The proposed use, as conditioned, is consistent with the City's General Plan in that the project allows for keeping of horses on the property and maintains the rustic character of Old Agoura, as called for in the General Plan Land Use and Community Form Element, Goal LU-8.1.

F. The proposed use, as conditioned, preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The distance from other similar and like uses is sufficient to maintain the diversity of the community in that the project will meet the minimum yard setback requirements of the Residential Very Low Density zone and will be placed 44 feet from the street serving the property, thereby preserving public views. Furthermore, the project was designed to provide sufficient space on the property to accommodate accessory structures and amenities in addition to the main residence.

Section 4. The Planning Commission finds, pursuant to Agoura Hills Zoning Municipal Code Section 9677.7(G), that:

A. The proposed use, as conditioned, is consistent with the General Plan, and design standards adopted by the City Council. The project conforms to Policy LU-8.7 Neighborhood Identity by providing open space areas suitable for horses, thereby enhancing the equestrian and rural character of the area. The architectural style of the proposed residence is in keeping with the City Architectural Design Guidelines and Standards.

B. As conditioned, the design and location of the proposed development and its relationship to existing developments and traffic in the vicinity thereof is such that it will increase the desirability of investment or occupation in the neighborhood. The proposed development will not unreasonably interfere with the use and enjoyment of existing or proposed residential developments in the vicinity, and will not create traffic hazards or congestion. Access to the site is via Balkins Drive, a private street. The

driveway location will not interfere with neighboring developments or create traffic hazards, and sufficient space is available for on-site parking for the new residence.

C. The proposed use, as conditioned, is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of the City. The proposed building design and materials are in keeping with the rustic style of homes in the Old Agoura neighborhood, are compatible with the surrounding neighborhood, and have exceeded the minimum development standards established by the Zoning Ordinance. The single-family residence is a permitted use in the RV zone.

D. The design of the proposed development, as conditioned, provides a desirable environment for its occupants, as well as for the project's neighbors, and is aesthetically of good composition, materials, textures, and colors. The building design is compatible with the variety of architectural styles in the neighborhood. The distance between structures meets all minimum setback requirements and the orientation of the structures allows for privacy for future occupants and neighbors. The project will not significantly impact view-sheds of surrounding properties. The project was designed to accommodate for horse-keeping facilities.

E. The proposed use, as conditioned, complies with all applicable requirements of the RV-OA-EQ zone in which it is located and all other applicable requirements since a single-family residence is a permitted use in the RV zone. Minimum development standards have been met with regard to building setback, height, lot coverage, Architectural Design Standards and Guidelines, and equestrian use.

F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare. The design of the residence will ensure adequate light, air, privacy and open space to surrounding properties. The project exceeds the minimum setback requirements of the RV zone. Geological, geotechnical, drainage studies and landscape plans have been provided and approved by the City's consultants. A private septic system will serve this 1.03 acre parcel and meets the conditions of the Los Angeles County Health Department. Vehicular access to the property will be provided via Balkins Drive. The applicant will be required to construct the project in compliance with the City Building Code.

G. The encroachment in the protected zone of the two off-site oak trees and clearance pruning is a result of the grading required for the dressage area and installation of a new split-rail fence near the southeast corner of the property. The project would not significantly impact the health of the oak trees.

Section 5. The project is a request for one, single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). As such, the project does not require adoption of an environmental impact report or negative declaration.

Section 6. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. 12-SPR-003 and Oak Tree Permit Case No. 12-OTP-007, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED, and ADOPTED this 19<sup>th</sup> day of July, 2012, by the following vote to wit:

AYES: (0)  
NOES: (0)  
ABSTAIN: (0)  
ABSENT: (0)

\_\_\_\_\_  
John O'Meara, Chairperson

ATTEST:

\_\_\_\_\_  
Mike Kamino, Secretary

## CONDITIONS OF APPROVAL (Case Nos. 12-SPR-003 & 12-OTP-007)

### STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of Approval of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits approved by the Planning Commission: Site Plan, Building Elevation Plans, Floor Plans, Roof Plan, Grading Plan, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. The applicant shall comply with all applicable Public Health Statutes, Ordinances and Regulations related to the disposal of sewage.
11. All structures shall conform with the requirements of the Division of Building and Safety of the City of Agoura Hills.

12. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
13. Unless this permit is used within two (2) years from the date of City approval, this permit will expire. A written request for a one-year extension may be considered prior to the expiration date.
14. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
15. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.20 per square foot.
16. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
17. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.9296 per square foot of new floor area.
18. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
19. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
20. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

#### BUILDING AND SAFETY

21. The City Building Code requires all new residences to be protected by a residential fire sprinkler system. The residence shall comply with this requirement.

22. All new or replacement windows shall be tempered on at least one side of the dual pane, or a 20 minute rated, or glass block per Section 704A of the 2010 California Building Code.
23. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).
24. As part of the permitting process and prior to building permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Title 24 including Cool Roofing, Mechanical, Electrical, Plumbing, Energy Plans, Septic Tank plans shall be submitted to Building and Safety Department for plan review and approval.
25. This project will be subject to the 2010 California Building Code, 2010 Mechanical Code, 2010 California Plumbing Code, 2010 Electrical Code, 2010 Green Building Code and 2008 Energy Code.
26. The applicant shall submit to the Building and Safety Department a Soils Report prior to building permit issuance.
27. The location of Carbon Monoxide Detector in Master Bedroom shall meet code requirements per 2010 California Building Code Section 420.4.

#### ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

##### General

28. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
29. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at [www.ci.agoura-hills.ca.us](http://www.ci.agoura-hills.ca.us).
30. Prior to permitting, the applicant shall pay a Transportation Impact Fee (TIF) in the amount of \$3,094 to the Building and Safety Department.

31. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
32. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
33. The grading Plan shall show location(s) of all Oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
34. Prior to permitting, the applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original Mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
35. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
36. Prior to issuance of permits from the Engineering Department, this project will require the applicant to obtain a permit from the Los Angeles County Health Department and Las Virgenes Municipal Water District.
37. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at (818) 597-7322 for approved City certification forms.
38. Prior to issuance of any permits, the applicant shall provide a title report not older than 30 days.

#### Public Improvements

39. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The applicant shall widen AC pavement to 20 feet along project frontage, including pavement transitions, and all water appurtenances shall be per LVMWD standards (see condition number 43).

Water

40. This property is within the LVMWD service area. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.

Septic

41. The project site is within a deficient public sewer system area. Applicant shall obtain approval from the Los Angeles County Health Department prior to permit issuance.

Drainage/Hydrology

42. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.

Stormwater Quality (NPDES)

43. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
  - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMP's;
  - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge into the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
  - c. Non-storm water runoff from equipment and vehicles washing and any other activities shall be contained at the project site;



- d. Erosion from slopes and channels shall be controlled by implementing an effective combinations of BMP's such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
44. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
45. SWPPP Plan – All projects that develop one (1) acre or more of total land area or which are part of a larger phased development that will disturb at least one acre of land, are required to prepare a Storm Water Pollution Prevention Plan (SWPPP), utilizing the model form in Appendix B of the 2003 CASQA Storm water BMP Handbook for Construction at: [www.cabmphandbooks.com](http://www.cabmphandbooks.com) and submit a copy of the plan to the City of Agoura Hills Engineering Department for review. A copy of the adopted SWPPP shall be maintained in the construction site office at all times during construction and the Site Superintendent shall use the plan to train all construction site contractors and supervisory personnel in construction site Best Management Practices, prior to starting work on the site.

Said plan shall, among other things, ensure that the following minimum requirements are effectively implemented at all construction sites:

- e. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
- f. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
- g. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
- h. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting

and maintenance of vegetation on slopes and covering erosion susceptible slopes.

46. Prior to issuance of Certificate of Occupancy, all remaining fees/deposits required by the Engineering Department must be paid in full.
47. Prior to issuance of Certificate of Occupancy, all requirements including construction of improvements covered in the conditions must be completed to the satisfaction of the City Engineer.
48. Prior to issuance of Certificate of Occupancy, the Applicant's Engineer shall submit a set of Mylar Record Drawings (as-built) for off-site improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling a final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless mylar record drawings (as-built), satisfactory to the City, are submitted.
49. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued stormwater maintenance, using City-approved forms, with Los Angeles County. An electronic copy of this document is available on the City's website: [www.agoura-hills.ca.us](http://www.agoura-hills.ca.us).
50. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

#### Oak Trees

51. The applicant is permitted to encroach within the protected zones of Oak Trees Number DSOT-1 and - 2 to complete the approved grading program shown on the approved grading plan and to install the split-rail fence shown on the approved architectural site plan.
52. The applicant is permitted to prune Oak Trees Number DSOT-1 and - 2 as needed for vertical clearance over the split-rail fence and in areas where grading is otherwise approved. The quantity of pruning on each tree shall be approved by the City Oak Tree and Landscape Consultant.
53. Prior to the start of any work or mobilization on the site, each oak tree to be preserved shall be fenced at the edge of the protected zone or otherwise approved work limits in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations and installation prior to the start of work or mobilization on the site.

54. No grading, scarifying or other soil disturbance shall be permitted within any portion of the protected zone of any oak tree except as specifically permitted above.
55. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time except as specifically required to accomplish the approved encroachments.
56. All work performed within the protected zone of any oak tree shall be monitored by the applicant's oak tree consultant. Forty-eight (48) hours notice shall be provided to the City Oak Tree Consultant prior to the start of any such work.
57. All excavation within the protected zone of any oak tree shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant. Light construction equipment may be utilized with prior approval of the City Oak Tree Consultant.
58. Prior to occupancy, each of the two oak trees shall be mulched throughout the dripline with three inches (3") of approved organic matter.
59. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree and Landscape Consultant.
60. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
61. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified arborist under the direct observation of the applicant's oak tree consultant. All pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.
62. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
63. The applicant shall also comply with all recommendations contained in the Oak Tree Report and addendum as prepared by Richard W. Campbell, ASLA for this permit.
64. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

Landscaping

65. Prior to the approval of building permits, the applicant shall submit three (3) sets of plans for review by the City Landscape Consultant and approved by the Director of Planning and Community Development, meeting the following requirements.
- a. The final landscape plan shall generally conform to the Planting Plan prepared by d. Turner Landscape Architecture dated February 27, 2012, received by the City of Agoura Hills June 13, 2012, subject to other specific remarks contained in these conditions:
  - b. A California-licensed landscape architect shall prepare, stamp and sign the plans.
  - c. All plans shall be legible and clearly drawn.
  - d. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
  - e. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
  - f. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
  - g. The project identification number shall be shown on each sheet.
  - h. The plans shall accurately and clearly depict the following existing and proposed features:
    - Landscape trees, shrubs, ground cover and any other landscaping materials
    - Property lines
    - Streets, street names, rights-of-way, easements, driveways, walkways, bicycle paths, and any other paved areas
    - Buildings and structures
    - Parking areas
    - General contour lines
    - Grading areas, including tops and toes of slopes
    - Utilities, including street lighting and fire hydrants
    - Natural features, including watercourses, rock outcroppings

66. The Planting Plan shall indicate the botanical name and size of each plant.
67. Plant symbols shall depict the size of the plants at maturity.
68. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
69. The landscape plans shall prominently display the following notes:
  - All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
  - All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
  - Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
70. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
71. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and overspray on adjoining areas.
72. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
  - Design and static pressures
  - Point of connection
  - Backflow protection
  - Valves, piping, controllers, heads, quick couplers
  - Gallon requirements for each valve
73. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
74. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
  - Site Plan

- Elevations
  - Grading Plan
  - Conditions Of Approval
75. The Old Agoura Design Overlay zone requires locally native, low water use landscape plantings with a naturalistic appearance to preserve the rural character of the area. Native, drought resistant plants shall be utilized extensively on all graded slopes in accordance with the Old Agoura Design Overlay District requirements.
76. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
77. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.
78. The landscape plan must be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department prior to the issuance of building permits. The plan shall be submitted to the City Planning Department, for review by the Fire Department.

#### FIRE DEPARTMENT CONDITIONS

79. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a building permit.

#### SOLID WASTE MANAGEMENT STANDARD CONDITIONS

80. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
81. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and

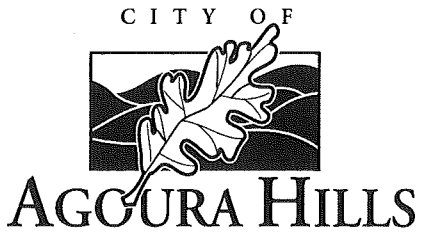
document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

82. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

#### SPECIAL CONDITIONS

83. All future fencing and accessory structures shall be reviewed and approved by the Director of Planning and Community Development and the Building and Safety Department prior to construction.

END



**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 12-SPR-003 AND  
OAK TREE PERMIT CASE NO. 12-OTP-007**

**FOR THE PROPERTY LOCATED AT  
28080 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT A**

**LETTER FROM OLD AGOURA  
HOMEOWNERS ASSOCIATION**



DATE: February 9, 2012

RE: Preliminary Review of Proposed Project

FROM: Planning & Zoning Committee  
Old Agoura Homeowners Association

TO: Mike Kamino, Director  
Department of Planning & Community Development  
City of Agoura Hills

SUBJECT: 28080 Balkins Drive, Lot 2, Parcel 98 (Arc Design Group for Dayan)

#### Description

The plans show a two story, single family residence of 4,037 square feet with two two-car garages totaling 1,469 square feet. The plans show a future stable area, dressage arena and pool on a lot of 44,997 square feet.

#### Comment

In 2005 the Planning Commission approved essentially the same project for the previous owners of this lot. Since that time, the building entitlements lapsed. The current owners purchased the land and the plans and are now bringing those plans back to the Planning Commission.

In the years since that first approval, the City of Agoura Hills passed a zoning ordinance amendment affecting Old Agoura. We are happy to say that the site plans, floor plans, elevations and sections we have seen for the proposed design appear to meet those new requirements. The house is slightly smaller and it appears that the floor area ratio is within current limits and there are no lot coverage issues. The stables and pool are to be permitted separately.

As stated in our original letter to the City, dated April 25, 2005, this project was designed with horses in mind. Retaining walls and a complex drainage system for the area, stalls, turnout and driveway access would all be part of the initial build.

The architectural style might be described as adapted Tuscan farm house. There is a consistent use of color, a great deal of detail on all sides of the project, and the use of natural materials. The design is very wide though well articulated and the view through the motor court and varying roof heights also help break up the horizontal mass. In addition, it is set 44 feet back from the street and there are mature pepper trees along the front of the property that screen it somewhat. We will be interested in seeing the landscaping plan when it is ready. As always, we look forward to seeing plans with drought resistant native plantings as well as exterior lighting appropriate for a dark skies neighborhood.

We are amenable to the architect and owners proceeding with final plans.

Thank you for the opportunity to comment.

Robyn Britton, Chairperson



**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 12-SPR-003 AND  
OAK TREE PERMIT CASE NO. 12-OTP-007**

**FOR THE PROPERTY LOCATED AT  
28080 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT B**

**COLORED ELEVATION OF THE RESIDENCE  
AND COLORS AND MATERIALS**

PLANS AND DESIGN BY



**arc**  
DESIGN  
GROUP  
INC.  
ARTISTIC  
RESIDENTIAL  
CREATIONS

TELEPHONE 805 484 4277

# DAYAN RESIDENCE

28080 BALKINS DRIVE  
AGOURA HILLS, CA 91301

RAFTER TAILS, TRIM, SILLERS:  
STAIN GRADE  
'DARK BROWN CLEAR STAIN'

ROOFING:  
J.S. TILE  
TWO PIECE CLAY TILE  
55% 'OLD WORLD BLEND'  
15% 'TUSCANY'

STONE:  
ELDORADO STONE  
'VENETO' FIELD 'EDGE'

DOORS & WINDOWS:  
KOLBE & KOLBE  
COLOR: 'MUDPIE'

STUCCO:  
VERO-RIALTO MOTTLED FINISH  
COLOR: FRAZEE PAINT #2143M  
'FOCO'

PRECAST CONCRETE:  
CONCRETE DESIGNS, INC. (CDI)  
'YJCCA'

WROUGHT IRON RAILING:  
COLOR: CHARCOAL GRAY

SPLIT RAIL FENCING:  
CAL. STOGA RANCH FENCING  
BY INNOVATIVE EQUINE SYSTEMS  
HIGH DENSITY POLYETHYLENE VINYL  
COLOR: 'WEATHERED WOOD'





**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 12-SPR-003 AND  
OAK TREE PERMIT CASE NO. 12-OTP-007**

**FOR THE PROPERTY LOCATED AT  
28080 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT C**

**REDUCED COPIES OF PLANS**

# DAYAN RESIDENCE

28080 BALKINS DRIVE  
AGOURA HILLS, CA 91301  
A.P.N.: 2055-023-098  
LOT: 2, PARCEL: 98

DESIGN & PLANS BY:  
**arc DESIGN GROUP, INC.**  
1000 PASEO CAMARILLO, SUITE #239  
CAMARILLO, CALIFORNIA 93010  
TELEPHONE: 805.484.4277

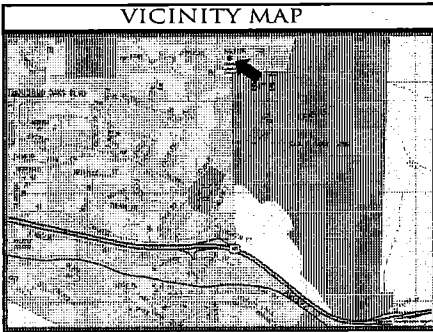
TITLE 24 ENERGY CALCULATIONS BY:  
**SOLARY, INC**  
22028 VENTURA BLVD., SUITE 207  
WOODLAND HILLS, CALIFORNIA 91364  
TELEPHONE: 818.347.6096

LANDSCAPE DESIGN BY:  
**DENNIS TURNER**  
23852 PACIFIC COAST HIGHWAY, SUITE 109  
MALIBU, CALIFORNIA 90265  
TELEPHONE: 310.437.1370

STRUCTURAL ENGINEER:  
**STRUCTURAL DESIGN PLUS**  
15053 VENTURA BLVD., STE. 205  
SHERMAN OAKS, CA 91403  
TELEPHONE: 818.905.9871

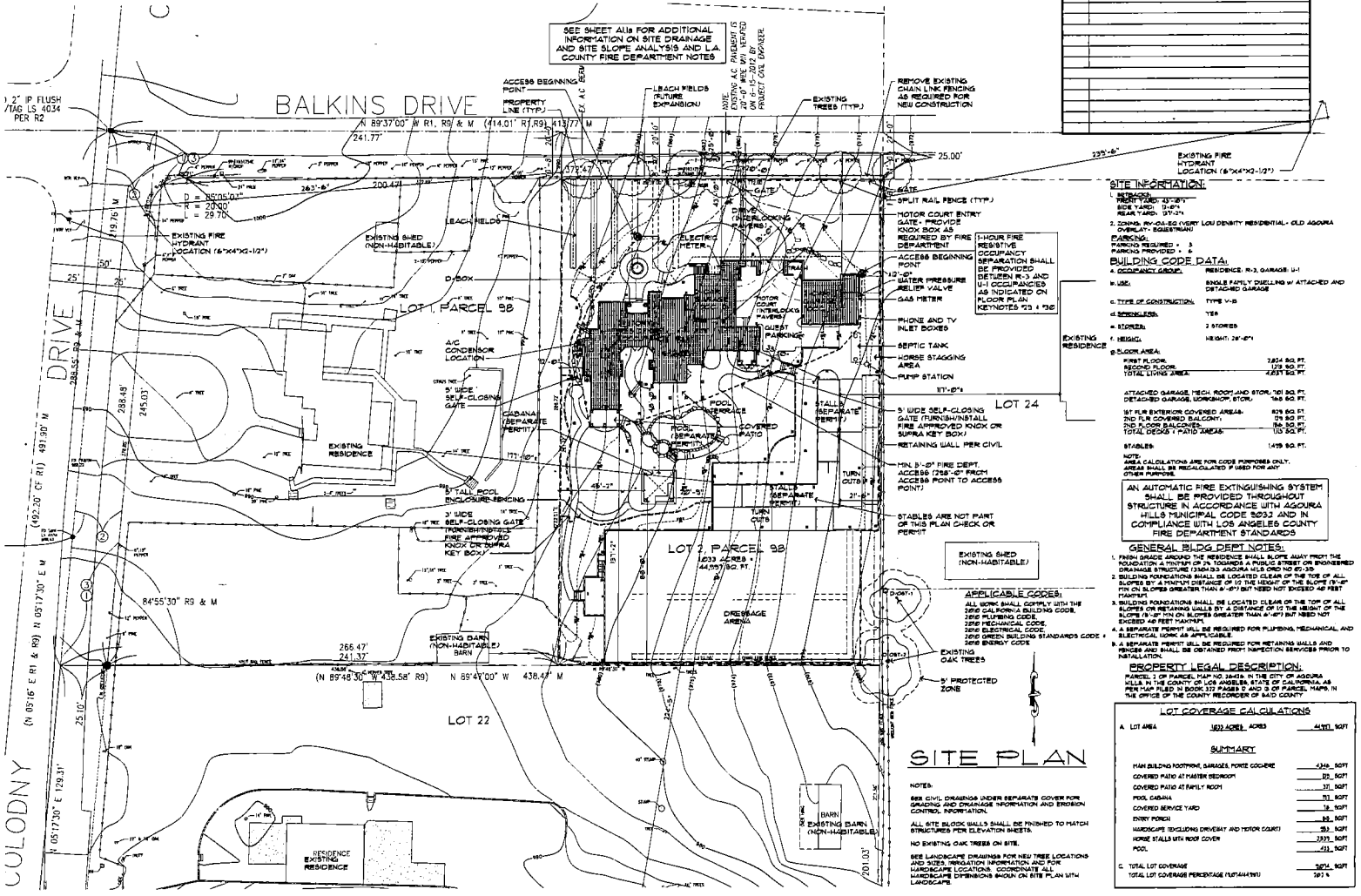
SOILS ENGINEER:  
**GROVER HOLLINGSWORTH & ASSOCIATES**  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CALIFORNIA 91362  
TELEPHONE: 818.889.0844

GRADING AND DRAINAGE BY:  
**WALLACE E. MASON & ASSOC.**  
851 RANCHO ROAD  
THOUSAND OAKS, CA 91329  
TELEPHONE: 805.494.9729



### PROJECT NOTES

- COPYRIGHT:**  
All plans, design, and concepts shown in these drawings are the exclusive property of arc DESIGN GROUP, INC. and shall not be used, disclosed, or reproduced for any purpose whatsoever without written permission.
- CODES:**  
This project is governed by the 2005 Edition of the California Building Code. Code compliance is mandatory. The drawings and notes shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for researching all applicable codes and obtaining all permits and required approvals.
- FIELD VERIFICATION:**  
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify arc DESIGN GROUP, INC. of any conflicts or discrepancies in the drawings immediately.
- DIMENSIONS:**  
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify arc DESIGN GROUP, INC. of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood lurring or face of concrete unless otherwise noted. Section or elevation dimensions are to top of concrete slab, top of plywood or light weight concrete on top of wall plates and/or beams unless otherwise noted.
- DISCREPANCIES:**  
The Owner has requested arc DESIGN GROUP, INC. provide limited design and engineering services. In the event additional details or guidance is needed by the contractor for construction of any portion of the project, he shall immediately notify arc DESIGN GROUP, INC. Failure to give ample notice shall relieve arc DESIGN GROUP, INC. of responsibility. Do not proceed in areas of discrepancy until all discrepancies have been fully resolved with written direction from arc DESIGN GROUP, INC.
- DUTY OF COOPERATION:**  
Release of these plans constitutes further cooperation among the Owner, his contractor, and arc DESIGN GROUP, INC. Design and construction are complete. Although arc DESIGN GROUP, INC. and their consultants have performed their services with due care and diligence, they guarantee perfection. Every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to arc DESIGN GROUP, INC. Failure to notify arc DESIGN GROUP, INC. compounds misadventure and increases construction costs. A failure to cooperate by a simple notice shall relieve arc DESIGN GROUP, INC. from responsibility for all consequences.
- CHANGES TO THE WORK:**  
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Removal or such work without approval by change order increases the General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans made without consent of arc DESIGN GROUP, INC. are unauthorized and shall relieve arc DESIGN GROUP, INC. of responsibility for any and all consequences resulting from such changes.
- WORKMANSHIP:**  
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc. to obtain a complete job with the recognized standards of the industry.
- SUBSTITUTIONS:**  
Substitution of "equal" products will be acceptable with the approval of arc DESIGN GROUP, INC.
- CONSTRUCTION SAFETY:**  
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of workers and adjacent properties during construction, and shall comply with state and federal safety regulations.
- EXCAVATION REQUIREMENTS:**  
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of the foundation design. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER and any other required agency.
- FIELD MODIFICATIONS OF STRUCTURAL MEMBERS:**  
The General Contractor and Subcontractors shall field coordinate and obtain approval from the Engineer of record before any cutting, notching or cutting of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building.
- WEATHER CONDITIONS:**  
Extended exposure of underlayment, framing and sheathing is damaging to these building components. The Contractor should schedule construction accordingly to avoid extended exposure to components not intended to be exposed to the elements. When weather conditions dictate, the appropriate measures should be taken to protect these building components.
- PROJECT SURVEYING AND STAKING:**  
The General Contractor shall verify all existing grades and survey and stake all building corners including driveway location. Owner arc DESIGN GROUP, INC. approval prior to beginning any grading.
- PROJECT GRADES:**  
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL GRADES INCLUDING PAVED AREA SLOPES PRIOR TO POURING ANY FOUNDATIONS. SURVEY WORK SHOULD BE VERIFIED IN DETAIL.



PAGE	DESCRIPTION
ARCHITECTURAL	
A11	COVER SHEET, SITE PLAN, VICINITY MAP, ABBREVIATIONS
A12	ENLARGED SITE PLAN, FIRE DEPARTMENT NOTES
A13	FIRST FLOOR PLAN
A14	SECOND FLOOR PLAN
A15	FLOOR PLAN, HOTEL DOOR, 4 WOOD SCHEDULES
A16	ROOF PLAN
A17	EXTERIOR ELEVATION
A18	EXTERIOR ELEVATION
A19	SECTIONS
A20	SECTIONS

**arc DESIGN GROUP, INC.**  
1000 PASEO CAMARILLO, SUITE #239  
CAMARILLO, CALIFORNIA 93010  
TELEPHONE: 805.484.4277

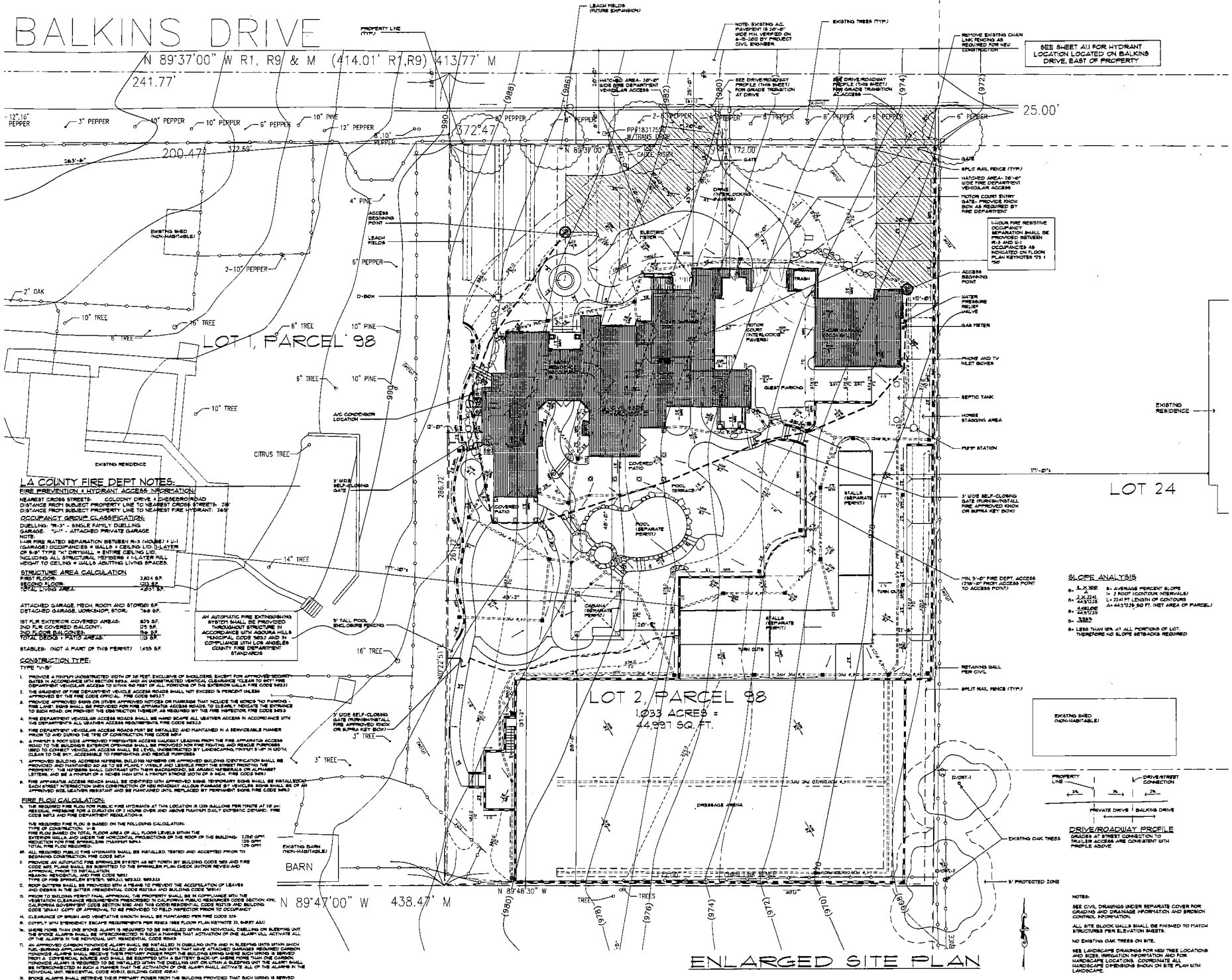
PROJECT: DAYAN RESIDENCE  
28080 BALKINS DRIVE, SUITE 239  
AGOURA HILLS, CA 91301  
A.P.N.: 2055-023-098

**DAYAN RESIDENCE**  
DRAWING INDEX  
VICINITY MAP & SITE PLAN

DATE: MAY 18, 2005  
BY: [Signature]

Sheet No. **A1.1**

# BALKINS DRIVE



SEE SHEET A1 FOR HYDRANT LOCATION LOCATED ON BALKINS DRIVE, EAST OF PROPERTY

LOCAL FIRE RESISTIVE OCCUPANCY SEPARATION SHALL BE PROVIDED BETWEEN R1 AND R9 OCCUPANCIES AS INDICATED ON FLOOR PLAN KEYNOTED 75.1

### L.A. COUNTY FIRE DEPT NOTES:

**FIRE PREVENTION & HYDRANT ACCESS INFORMATION**  
NEAREST CROSS STREET: COLONY DRIVE (2-SEVEN) ROAD  
DISTANCE FROM SUBJECT PROPERTY LINE TO NEAREST CROSS STREET: 244'  
DISTANCE FROM SUBJECT PROPERTY LINE TO NEAREST FIRE HYDRANT: 269'  
**OCCUPANCY GROUP CLASSIFICATION**  
DUELLING "R-3" - SINGLE FAMILY DUELLING GARAGE: "U1" - ATTACHED PRIVATE GARAGE  
**FIRE RATED SEPARATION BETWEEN R10 (HOME) & U1 (GARAGE) OCCUPANCIES & WALLS & CEILING L10 (L1-LAYER OF 5/8" THIN 1" CRYSTALLINE FIBER GLASS L10) INCLUDING ALL STRUCTURAL MEMBERS & LATERAL PULL RESIST TO CEILING SHALL BE MAINTAINED THROUGHOUT THE ENTIRE STRUCTURE**  
**STRUCTURE AREA CALCULATION**  
FIRST FLOOR: 3,824 SF  
TOTAL FLOOR AREA: 4,281 SF  
TOTAL LIVING AREA: 2,851 SF  
ATTACHED GARAGE (TRUCK ROOM AND STORAGE) SF: 748 SF  
DETACHED GARAGE, WORKSHOP, STORAGE: 748 SF  
1ST FLR EXTERIOR COVERED AREAS: 829 SF  
2ND FLR COVERED BALCONY: 548 SF  
TOTAL DECK & PATIO AREAS: 110 SF  
STABLES: (NOT A PART OF THIS PERMIT) 1,459 SF

**CONSTRUCTION TYPE:**  
TYPE "10-B"  
1. PROVIDE A PERMANENT UNOBSTRUCTED WIDTH OF 36 FEET EXCLUSIVE OF BUILDINGS, EXCEPT FOR APPROVED SECURITY BARRIERS IN ACCORDANCE WITH SECTION 9100.1 AND AN UNOBSTRUCTED VERTICAL CLEARANCE CLEAR TO THE FIRE DEPARTMENT VEHICULAR ACCESS TO ACCESS TO ALL PORTIONS OF THE EXTERIOR WALLS (FIRE CODE 9403)  
2. THE GRADIENT OF FIRE DEPARTMENT VEHICULAR ACCESS ROADS SHALL NOT EXCEED 10 PERCENT UNLESS PROVIDED BY THE LOCAL JURISDICTION. FIRE CODE 9401  
3. FIRE LANE AND BULL DOGS PROVIDED FOR FIRE DEPARTMENT ACCESS SHALL BE CLEARLY MARKED TO INDICATE THE ENTRANCE TO SUCH ROAD. BARRIERS TO BE CONSTRUCTED AS REQUIRED BY THE FIRE DEPARTMENT FIRE CODE 9403  
4. FIRE DEPARTMENT VEHICULAR ACCESS ROADS SHALL BE MAINTAINED AND WEATHER ACCESS IN ACCORDANCE WITH THE FIRE DEPARTMENT WEATHER ACCESS POINTS TO BE INSTALLED AND MAINTAINED IN A REMOVABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 9401  
5. A PERMANENT FOOT CURE APPROVED FIRE DEPARTMENT VEHICULAR ACCESS ROADS FROM THE FIRE APPARATUS ACCESS ROAD TO THE BUILDING EXTERIOR ENTRANCE SHALL BE PROVIDED FOR FIRE FIGHTING AND RESCUE PURPOSES USED TO GAIN ACCESS TO ACCESS ROADS SHALL BE CONSTRUCTED BY UNDERGRADUATE TRENCHING OF 18" MINIMUM CLEARANCE TO THE STREET. ACCESS ROADS SHALL BE MAINTAINED AS REQUIRED BY THE FIRE DEPARTMENT FIRE CODE 9403  
6. APPROVED BUILDING ACCESS ROADS, BUILDING NUMBER OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED. THE NUMBER SHALL CONTRAST WITH THE BACKGROUND BY ARABIC NUMBERS OR ALPHABET LETTERS, AND BE A PART OF A 100-FOOT WIDE BY 3-1/2" HIGH (FIRE CODE 9403)  
7. FIRE APPARATUS ACCESS ROADS SHALL BE IDENTIFIED WITH APPROVED SIGN. SIGNIFYING SIGN SHALL BE INSTALLED AT APPROVED FIRE DEPARTMENT VEHICULAR ACCESS ROADS AND SHALL BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGN (FIRE CODE 9403)  
8. APPROVED WEATHER ACCESS ROADS SHALL BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGN (FIRE CODE 9403)

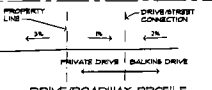
**FIRE FLOOR CALCULATION:**  
THE REQUIRED FIRE FLOOR IS BASED ON THE FOLLOWING CALCULATION:  
FIRE FLOOR BASED ON TOTAL FLOOR AREA OF ALL FLOOR LEVELS WITHIN THE EXTERIOR WALLS AND INCLUDES THE FLOOR AREA OF THE ROOF OF THE BUILDING: 4,281 SQ. FT.  
REDUCTION FOR FIRE APPARATUS TRAFFIC AREA: 1,726 SQ. FT.  
TOTAL FIRE FLOOR REQUIRED: 2,555 SQ. FT.

ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 9401  
1. PROVIDE AN AUTOMATIC FIRE SUPPRESSION SYSTEM AS SET FORTH BY BUILDING CODE 9401 AND FIRE CODE 9401. PLANS SHALL BE SUBMITTED TO THE SPRINKLER PLAN CHECK (FOR REVIEW AND REVISION, RETENTION, AND FIRE CODE 9401)  
2. TYPE OF SYSTEM SHALL BE AS FOLLOWS: 9401.1 9401.2 9401.3 9401.4  
3. ROOF SYSTEMS SHALL BE PROVIDED WITH A RELEASE TO PREVENT THE ACCUMULATION OF LEAKAGE AND OTHERS IN THE SPACE BETWEEN ROOF AND BUILDING CODE 9401  
4. PRIOR TO BEING PERMITTED FOR APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VERIFICATION CLEARANCE REQUIREMENTS FOR THE CALIFORNIA FIRE DEPARTMENT CODE SECTION ON CALIFORNIA GOVERNMENT CODE SECTION 9100.1 AND THE CALIFORNIA FIRE DEPARTMENT CODE SECTION ON CALIFORNIA GOVERNMENT CODE SECTION 9100.2 AND THE CALIFORNIA FIRE DEPARTMENT CODE SECTION ON CALIFORNIA GOVERNMENT CODE SECTION 9100.3  
5. CLEARANCE OF BRUSH AND VEGETATION WIDTH SHALL BE MAINTAINED PER FIRE CODE 9100.1  
6. COMPLETELY UNOBSTRUCTED FIRE RESISTIVE FLOOR PLAN PARTITION IS BURNED AS SET FORTH IN THE INDIVIDUAL UNIT. RESIDENTIAL CODE 9404  
7. WHERE FLOOR PARTITION IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL BUILDING OR SUBDIVISION UNIT, THE SPRING ALARMS SHALL BE INSTALLED IN BUILDING UNITS AND IN SLEEPING UNITS WITHIN EACH FLOOR-BUILDING APARTMENT AND IN COMMONS UNITS THAT HAVE ATTACHED GARAGES PROVIDED COMMON GARAGES ARE INSTALLED WITHIN THE BUILDING UNITS AND ARE SERVED FROM A COMMON SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP WHERE MORE THAN ONE COMMON GARAGE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE BUILDING UNIT. BUILDING UNIT ALARMS SHALL BE INTERCONNECTED TO SUCH A SYSTEM THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. RESIDENTIAL CODE 9404  
8. WHERE ALARMS SHALL RETRIEVE THEIR PRIMARY POWER FROM THE BUILDING PROVIDED THAT SUCH POWER IS SERVED FROM A COMMON SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. RESIDENTIAL CODE 9404

**SLOPE ANALYSIS**

1. 3.1% MAX	2. AVERAGE PERCENT SLOPE
3. 2.1% MIN	3. 2.1% MIN
4. 11.4% MAX	4. 11.4% MAX
5. 1.0% MIN	5. 1.0% MIN
6. 3.3% MAX	6. 3.3% MAX
7. 1.0% MIN	7. 1.0% MIN
8. 11.4% MAX	8. 11.4% MAX

NO SLOPE MORE THAN 1% AT ALL PORTIONS OF LOT THEREFORE NO SLOPE RETRACTIONS REQUIRED



**NOTES:**  
- SEE CIVIL DRAWINGS UNDER SEPARATE COVER FOR GRADING AND DRAINAGE INFORMATION AND EROSION CONTROL INFORMATION.  
- ALL SITE BLOCK WALLS SHALL BE FINISHED TO MATCH EXISTING FINISH ELEVATION SHEETS.  
- NO EXISTING OAK TREES ON SITE.  
- SEE LANDSCAPE DRAWINGS FOR NEW TREE LOCATION AND TREE PROTECTION INFORMATION AND HARDSCAPE LOCATIONS. COORDINATE ALL HARDSCAPE DIMENSIONS WITH SITE PLAN WITH LANDSCAPE.



FACILITY: SDP  
1303 VENTURA BLVD.  
SUITE 200  
SHERBORN OAKS, CA  
94555  
916-933-7871

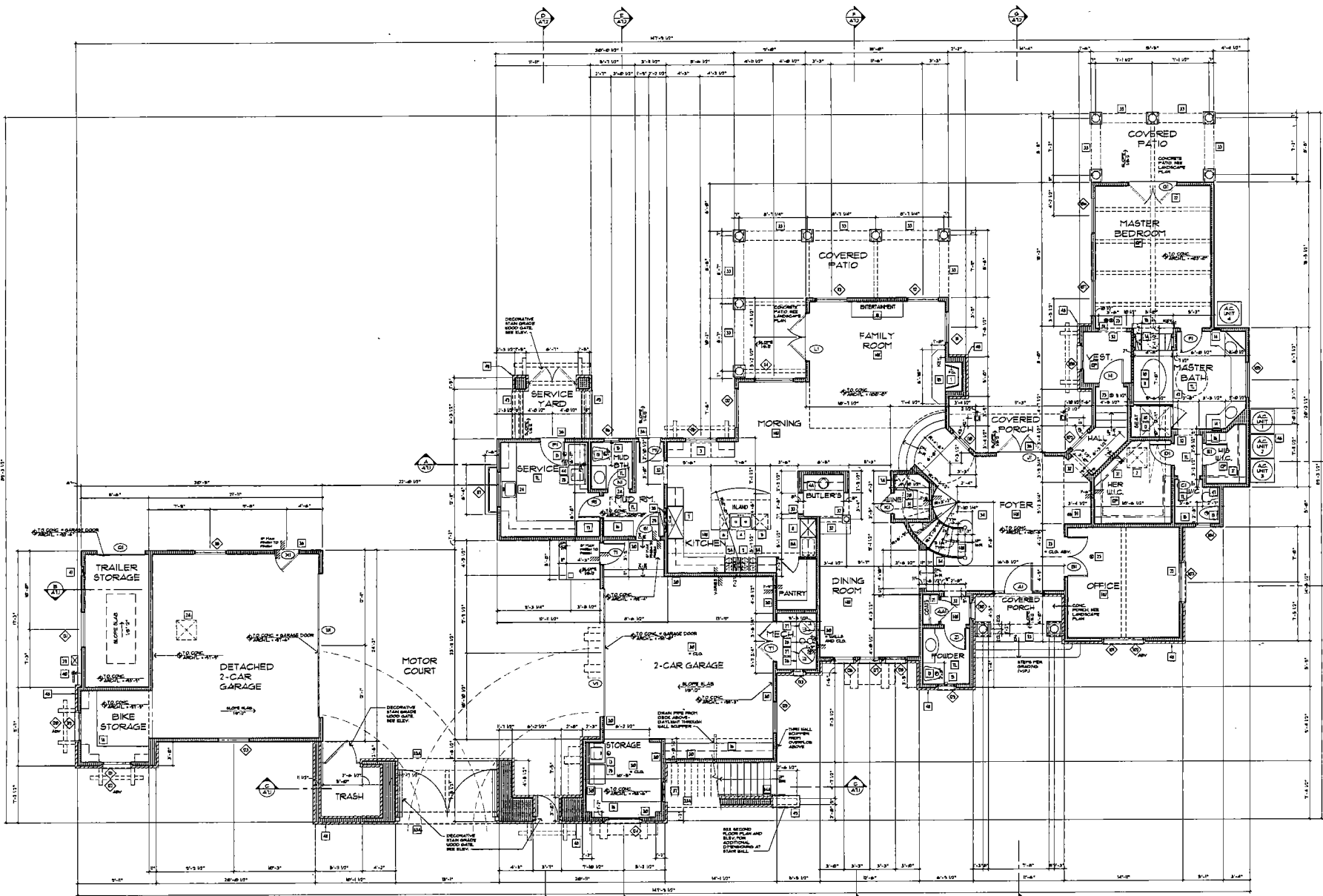
OWNER:  
DAYAN  
10 BOX 24294  
FRENCH, CA  
94524

**DAYAN RESIDENCE**  
2808 BALKINS DRIVE  
AGGREGATE LOT 2, PARCEL 98  
A.P.N. 2055-023-078

**ENLARGED SITE PLAN**

DRAWING NO.: 17-18-07  
DATE: MAY 11, 2017  
REVISIONS:

SCALE: 1" = 10'-0"  
**A1.1a**



**WALL LEGEND:**

- 1/4" STUD PER STRUCTURAL
  - 3/4" STUD PER STRUCTURAL
  - ARCH OR CEILING CONDITION SEE REF. TO PLAN SHEET "A"
  - 1/2" FIN JAMB FROM DOOR/JAMB R.C. TO NEAREST ADJACENT FRAMING
- NOTES:  
1. WALL STUD BRACING AS INDICATED UNLESS NOTED OTHERWISE ON THE PLAN.  
2. ALL WALLS TO BE FINISHED WITH STUD UNLESS NOTED OTHERWISE ON THE PLAN.  
3. 3"X6" RAISED BELL-HOOK CORNER BEAD AT ALL DRYWALL CORNERS, TYP. VERIFY SIZE/TYPE.

**SYMBOL LEGEND:**

- SEE SHEET A-1 FOR FLOOR PLAN KEYNOTES AND DOOR AND WINDOW SCHEDULES
- DOOR CALLOUT
- WINDOW CALLOUT
- FLOOR PLAN NOTE
- INTERIOR SECTION - SEE SHEET A-1

**GENERAL PLAN NOTES:**

1. ALL WORK SHALL COMPLY WITH THE 2010 CALIFORNIA BUILDING CODE, 2010 CALIFORNIA PLUMBING CODE, 2010 CALIFORNIA ELECTRICAL CODE, 2010 CALIFORNIA MECHANICAL CODE.
2. PROVIDE 1/2" CLEARANCE BETWEEN FLOOR TILE AND CONCRETE SLAB ON GRADE PER APPROVED NATIONAL TILE RECOMMENDATION GUIDE OR AMERICAN TILE INSTITUTE GUIDELINES.
3. ADDRESS NOTES:  
1. THE ADDRESS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET OR FRONTAGE ROAD.  
2. ADDRESS NUMBERS SHALL BE FOUR INCHES (4") HIGH, FIN.  
3. ADDRESS NUMBERS SHALL BE CONTINUING COLOR TO THEIR BACKGROUND. BRASS OR GOLD FINISHES SHALL NOT BE PROVIDED. ADDRESS NUMBERS LOCATED ON CURBS ARE NOT ACCEPTABLE.  
4. PERMANENT ADDRESS NUMBERS SHALL BE PROVIDED ON THE MAILBOX OR ON A PERMANENT SIGN ON POST ADJACENT TO THE DRIVEWAY ENTRANCE OF A PAVED LOT.

**PLUMBING NOTES:**

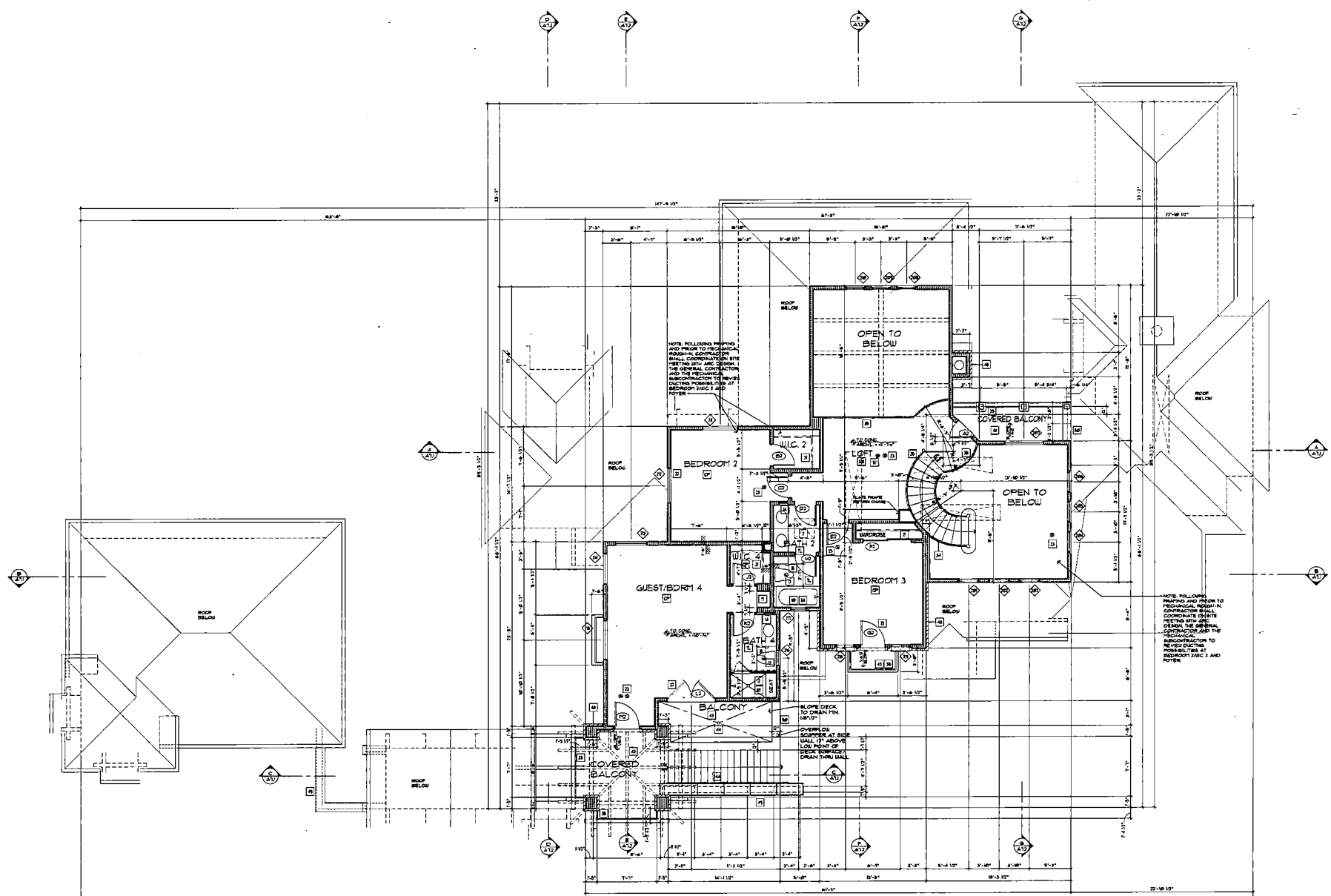
- 1. ALL WORK SHALL COMPLY WITH THE 2010 CALIFORNIA BUILDING CODE, 2010 CALIFORNIA PLUMBING CODE, 2010 CALIFORNIA ELECTRICAL CODE, 2010 CALIFORNIA MECHANICAL CODE.
- 2. PROVIDE 1/2" CLEARANCE BETWEEN FLOOR TILE AND CONCRETE SLAB ON GRADE PER APPROVED NATIONAL TILE RECOMMENDATION GUIDE OR AMERICAN TILE INSTITUTE GUIDELINES.
- 3. ADDRESS NOTES:  
1. THE ADDRESS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET OR FRONTAGE ROAD.  
2. ADDRESS NUMBERS SHALL BE FOUR INCHES (4") HIGH, FIN.  
3. ADDRESS NUMBERS SHALL BE CONTINUING COLOR TO THEIR BACKGROUND. BRASS OR GOLD FINISHES SHALL NOT BE PROVIDED. ADDRESS NUMBERS LOCATED ON CURBS ARE NOT ACCEPTABLE.  
4. PERMANENT ADDRESS NUMBERS SHALL BE PROVIDED ON THE MAILBOX OR ON A PERMANENT SIGN ON POST ADJACENT TO THE DRIVEWAY ENTRANCE OF A PAVED LOT.

**FLOORING LEGEND:**

- 1. TILE FLOORING (SEET STYLE & COLOR BY OWNER AND INTERIOR DESIGNER)
  - 2. HARDWOOD FLOORING (SEET STYLE & COLOR BY OWNER AND INTERIOR DESIGNER)
  - 3. CARPET FLOORING (SEET STYLE & COLOR BY OWNER AND INTERIOR DESIGNER)
- NOTE: COORDINATE FLOORING FINISH PATTERNS WITH OWNER.
- NOTE: COORDINATE TOILET, BATH AND TUB FINISH LOCATIONS FOR BUILDING REQUIREMENTS.
- NOTE: PROVIDE CONTROL JOINTS AT CONCRETE SLAB AND NOTED ON STRUCTURAL DRAWINGS.

**FIRST FLOOR PLAN**

FIRST FLOOR LIVABLE SQUARE FOOTAGE = 2,654 SQ. FT.  
GARAGE / MECHANICAL STORAGE = 1,483 SQ. FT.  
COVERED ENTRY / COVERED PATIOS = 825 SQ. FT.



**WALL LEGEND:**

- 2x4 STUD PER STRUCTURAL
- 2x6 STUD PER STRUCTURAL
- 1/2" GYPSUM BOARD
- 5/8" VIN JAMB FROM DOOR/WIN TO NEAREST ADJACENT FINISH

**SYMBOL LEGEND:**

- DOOR CALLOUT
- WINDOW CALLOUT
- FLOOR PLAN NOTE
- INTERIOR SECTION - SEE SHEET A81

**GENERAL PLAN NOTES:**

1. ALL WORK SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE.
2. PROVIDE VINYL CRACK ISOLATION BETWEEN FLOOR TILE AND CONCRETE SLAB ON GRADE PER APPROVED MATERIALS & TECHNIQUES SET FORTH BY THE TILE COUNCIL OF AMERICA/CEMENT TILE INSTITUTE (CTI).
3. ADDRESS NUMBERS SHALL BE FOUR INCHES (4") HIGH FINISHED IN CONTRASTING COLOR TO THEIR BACKGROUND. GRAYS OR GOLD NUMBERS SHALL NOT BE USED. (ADDRESS NUMBERS LOCATED ON CURBS ARE NOT ACCEPTABLE).
4. PERMANENT ADDRESS NUMBERS SHALL BE PROVIDED ON THE MAILBOX OR ON A PERMANENT SIGN OR POST ADJACENT TO THE DRIVEWAY ENTRANCE OF A FLAG LOT.

**PLUMBING NOTES:**

- FOR GREEN BUILDING STANDARDS, THE PLUMBING FOR GREEN AND PLUMBING FITTINGS SHALL BE THE FOLLOWING:
  - (A) WATER CLOSET - 1/2" GALLONS PER FLUSH
  - (B) BATHROOM/BEDROOM FIXTURES - 1.2 GPM @ 80 PSI
  - (C) LAVATORY FIXTURES - 1.2 GPM @ 80 PSI
  - (D) SINK FIXTURES - 1.2 GPM/FIX
- TRAPVENT THERMOSTATS OR MAT TO BE PROVIDED BY THE USE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES.
- HOME BISSER SHALL BE FITTED WITH A NON-REMOVABLE BACKFLOW DEVICE.
- FURNISHMENT ALL OF FINISH ACCESS PANEL TO BATHUB TRAP CONNECTION UNLESS PLUMBING IS PROVIDED WITHOUT BATH TRAP.
- ALL VERTICAL WASTE PIPING TO BE CAST IRON.
- ALL HOT AND COLD DOMESTIC WATER PIPING SHALL BE INSULATED.

**FLOORING LEGEND:**

- 1. TILE FLOORING (VARY STYLES & COLORS BY OWNER AND INTERIOR DESIGNER)
- 2. HARDWOOD (VARY STYLES & COLORS BY OWNER AND INTERIOR DESIGNER)
- 3. CARPET (VARY STYLES & COLORS BY OWNER AND INTERIOR DESIGNER)

**NOTE:**

- CONCRETE FLOORING FINISH MATERIAL WITH OWNER.
- CONCRETE FLOOR, BATH AND BLOOR SHALL LOCATIONS FOR BLOORING REQUIREMENTS.
- PROVIDE CONTROL JOINTS AT CONCRETE SLAB AS NOTED ON FINISHER'S DRAWINGS.

**SECOND FLOOR PLAN**

SECOND FLOOR LIVABLE SQUARE FOOTAGE: 1715 SQ. FT.  
COVERED BALCONY/TERRACE: 275 SQ. FT.  
BALCONIES: 156 SQ. FT.

AN AUTOMATIC FIRE EXTINGUISHING SYSTEM SHALL BE PROVIDED THROUGHOUT STRUCTURE IN ACCORDANCE WITH AGGOURY HILLS MUNICIPAL CODE 603.1 AND IN COMPLIANCE WITH LOS ANGELES COUNTY FIRE DEPARTMENT STANDARDS.





**ROOF NOTES:**

- 1. ATTIC VENTILATION: PROVIDE 1/4" MIN. ATTIC VENT. TYP. PER SQ. FT. AREA. AREA OF VENTILATION SHALL BE 1/80TH OF ATTIC AREA PROVIDED AT LEAST 80% OF THE TOTAL REQUIRED OPENING AREA IS TO BE DRAINED BY ABOVE DEVICES. VENT OPENING TO BE COVERED BY CORROSION-RESISTANT METAL WITH 1/8" DIA. CORNER OR 1/4" DIA. PROVIDE 2" DIA. 1/4" DIA. OF 3" DIA. VENTS IN ATTIC ROOF AREA FOR VENTS OF EACH OF 3 HYAC VENTS. ATTIC VENT GRILLS SHALL BE INSTALLED PERPENDICULAR TO HOUSE ELIAS PER DETAIL 10.
- 2. CONTRACTOR TO REVIEW LOCATIONS OF ATTIC VENTS AND IF DISSEMINATED FROM TO INSTALLATION.
- 3. PROVIDE 1/4" MIN. 2" TORUS-LONG WATERPROOFING UNDER CONCRETE AT CHIMNEY, RAINLINE CONDITIONS, UNDER TILE AT ROOFING PITCH OF 3:12 OR LESS.
- 4. ROOF DRAINAGE: DRAINAGE ALIGNED DOWNSTREAM FROM OTHER DOWNSTREAM DRAINAGE. DOWNSTREAM DRAINAGE SHALL BE PROVIDED TO COLLECT AND CONVEY WATER FROM THE ROOF DRAINAGE. DOWNSTREAM DRAINAGE SHALL BE PROVIDED TO COLLECT AND CONVEY WATER FROM THE ROOF DRAINAGE. DOWNSTREAM DRAINAGE SHALL BE PROVIDED TO COLLECT AND CONVEY WATER FROM THE ROOF DRAINAGE.
- 5. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH ROOF COLOR.
- 6. COORDINATE REQUIREMENTS FOR CONVENIENCE WATERPROOF ROOFING DETAILS ON SEPARATE DRAWING WITH OWNER.

**ROOF MATERIAL:**

CLARK W. TORUS-GLAZED TILE BY THE TILE (MCO 1935) 3/8" TOLD WOOD BLENDED 3/8" TORUS-GLAZED TILE. MULTILAYERED BRICKED OVER 1/4" ROOFING UNDERLAYER. VALLEY'S HEAVY PORTER AT FIELD TILE. PORTER HAVE FLUSH OVER LAYERS OF 1/4" TYP. VALLEY TILE WEIGHT NOT TO EXCEED 2 1/2".

**ROOF METAL:**

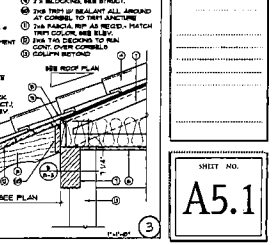
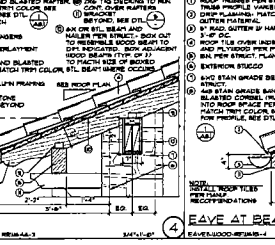
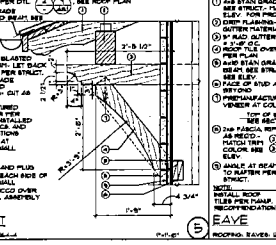
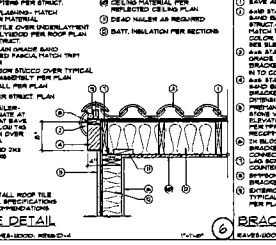
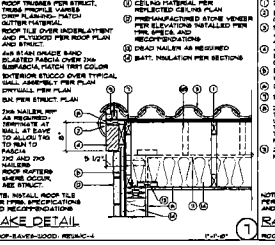
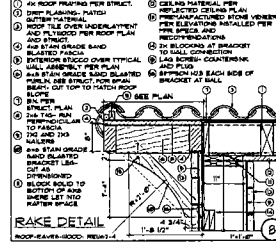
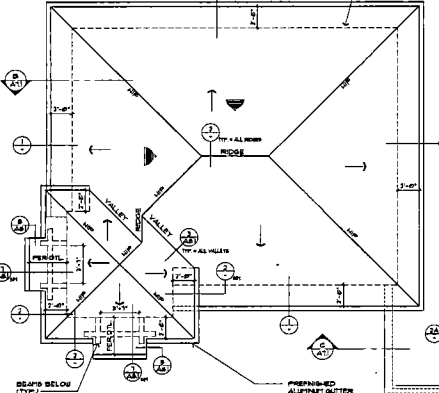
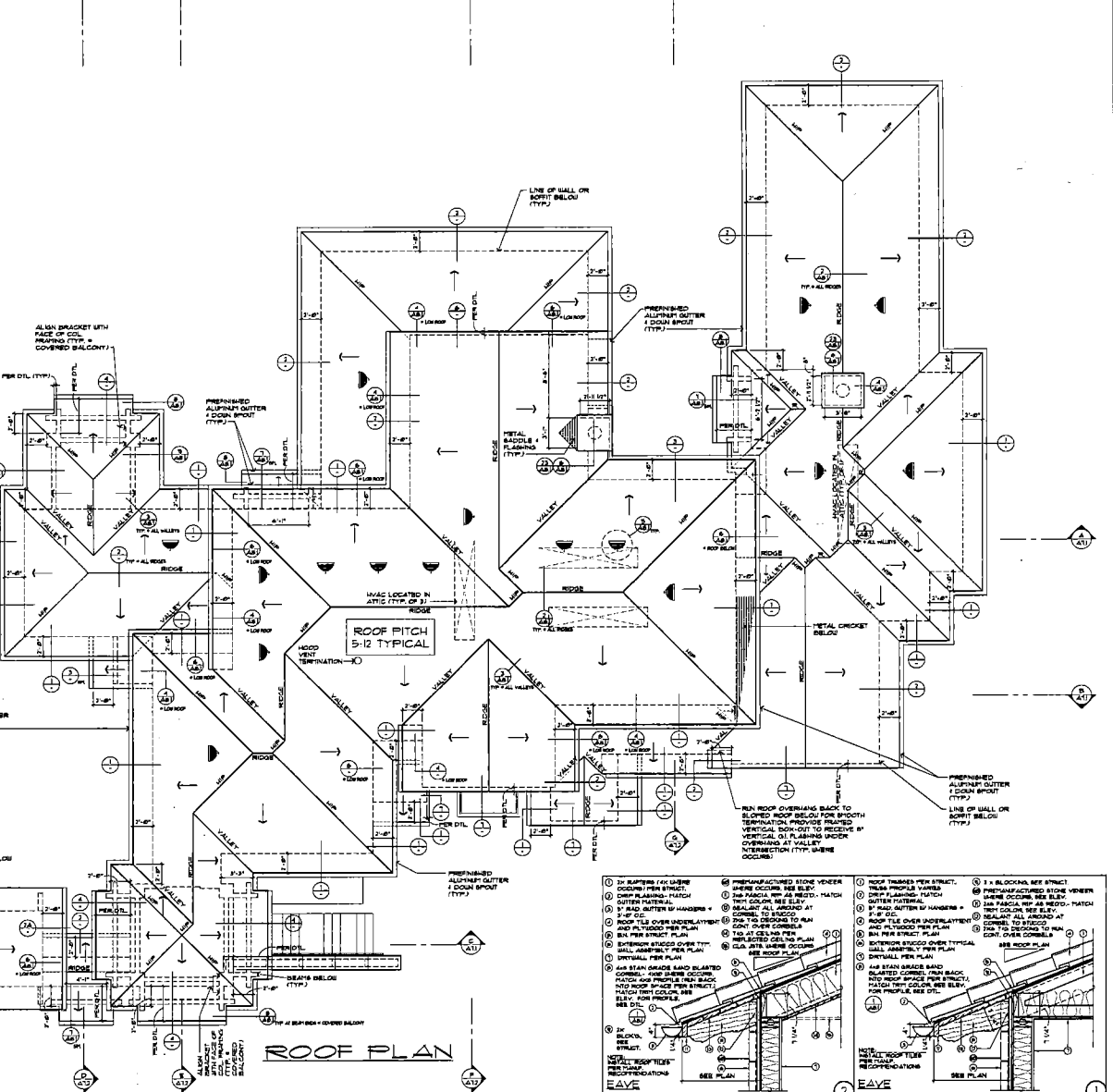
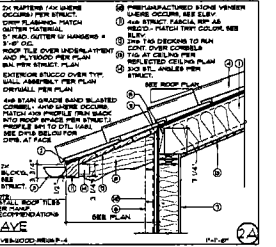
ALL ROOF METALS AND FLASHINGS TO BE PRE-FINISHED ALUMINUM UNLESS NOTED OTHERWISE.

**SPARK ARRESTOR NOTE:**

THE NET FREE AREA OF THE SPARK ARRESTOR SHALL NOT BE LESS THAN 80% OF THE NET FREE AREA OF THE CHIMNEY. THE SPARK ARRESTOR SCREEN SHALL BE INSTALLED AT THE TOP OF THE CHIMNEY. THE SPARK ARRESTOR SCREEN SHALL BE INSTALLED AT THE TOP OF THE CHIMNEY. THE SPARK ARRESTOR SCREEN SHALL BE INSTALLED AT THE TOP OF THE CHIMNEY.

**VENT CALCULATIONS:**

ATTIC AREA:	DET. GARAGE/DOOR/CHOP/TRAILER STOR.	70 SQ. FT.
REMOVED ROOF/VERMICE YARD:	340 SQ. FT.	
LOGGIA:	284 SQ. FT.	
MASTER BEDROOM/MASTER BATH:	90 SQ. FT.	
2ND FLOOR:	90 SQ. FT.	
NET FREE VENT AREA:	304 SQ. FT.	
REQUIRED ATTIC AREA:	304 SQ. FT.	
DET. GARAGE/DOOR/CHOP/TRAILER STOR.	70 SQ. FT.	
REMOVED ROOF/VERMICE YARD:	340 SQ. FT.	
LOGGIA:	284 SQ. FT.	
MASTER BEDROOM/MASTER BATH:	90 SQ. FT.	
2ND FLOOR:	90 SQ. FT.	
NO. OF ATTIC VENTS REQUIRED:	334/304 = 1.1 (1)	
DET. GARAGE/DOOR/CHOP/TRAILER STOR.	180/304 = .59 (1)	
REMOVED ROOF/VERMICE YARD:	124/304 = .41 (1)	
LOGGIA:	124/304 = .41 (1)	
MASTER BEDROOM/MASTER BATH:	124/304 = .41 (1)	
2ND FLOOR:	124/304 = .41 (1)	
ADDITIONAL VENTS REQUIRED FOR EACH HYAC:	1/3 (1)	
NET TOTAL VENTS REQUIRED:	181 (1)	
TOTAL VENTS PROVIDED:	181 (1)	



**arc DESIGN GROUP**  
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GUARANTEE OR REFUND  
800 444 4277

ENGINEER  
SDP  
15063 VENTURA BLVD.  
SUITE 203  
SHERMAN OAKS, CA  
91303  
TEL: 909 9871

OWNER:  
DAYAN  
PO BOX 5074  
SHERMAN OAKS, CA  
91303

**DAYAN RESIDENCE**  
15063 VENTURA BLVD.  
SUITE 203  
SHERMAN OAKS, CA  
91303  
TEL: 909 9871

PROJECT:  
**DAYAN RESIDENCE**  
15063 VENTURA BLVD.  
SUITE 203  
SHERMAN OAKS, CA  
91303  
TEL: 909 9871

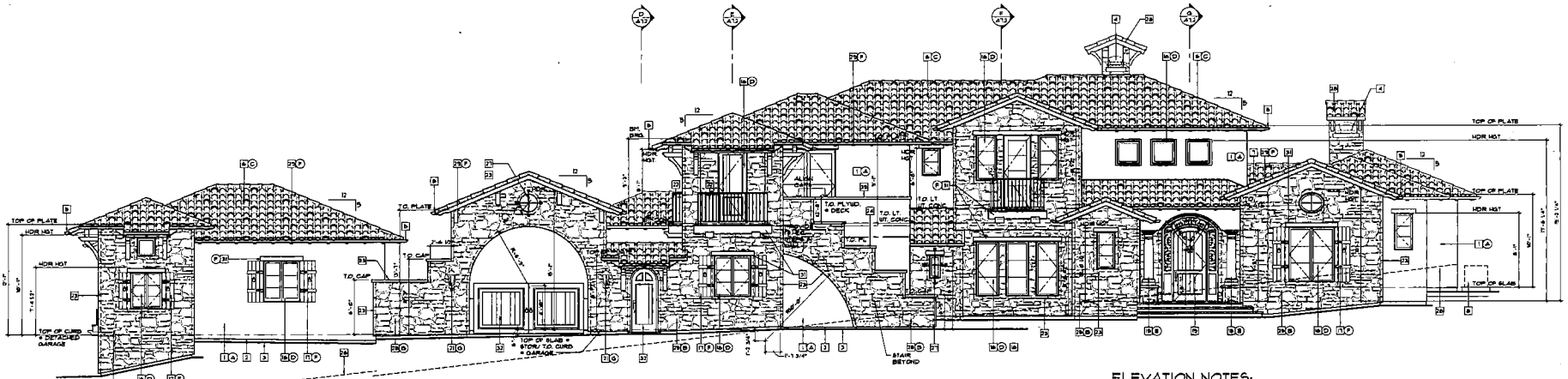
ARCHITECT:  
**DAYAN RESIDENCE**  
15063 VENTURA BLVD.  
SUITE 203  
SHERMAN OAKS, CA  
91303  
TEL: 909 9871

SCALE: 1/8" = 1'-0"

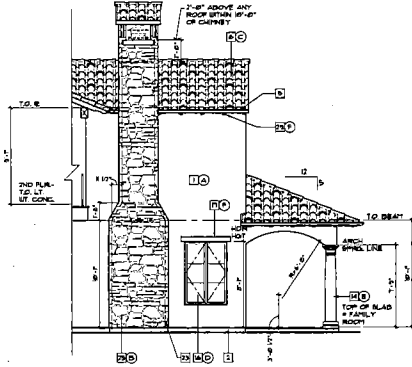
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REVISIONS:

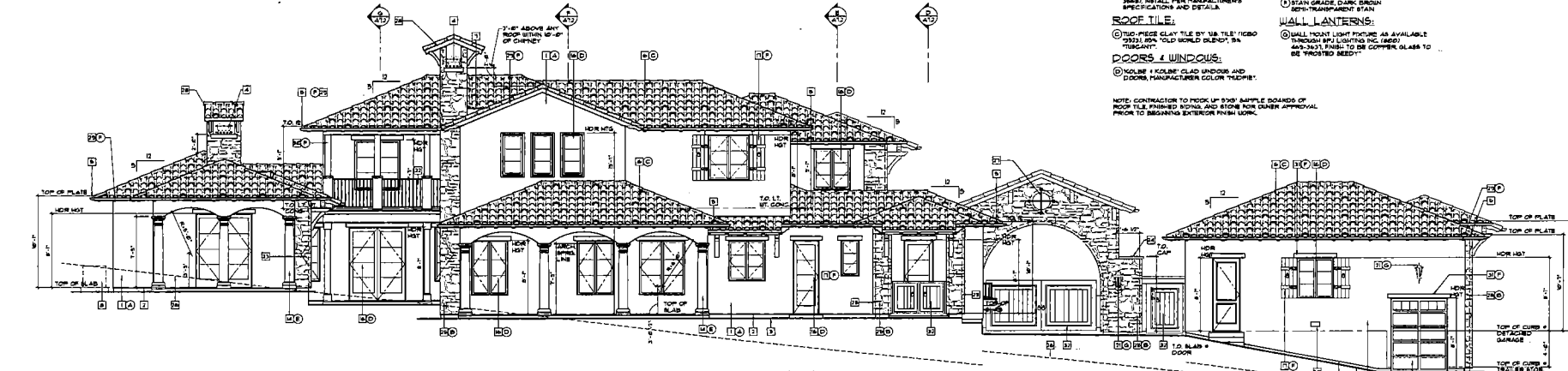
SHEET NO. **A5.1**



FRONT ELEVATION



PARTIAL RIGHT FAMILY ROOM ELEVATION



REAR ELEVATION

ELEVATION NOTES:

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>1) COLORED FINERAL PLASTER FINISH PER MATERIALS &amp; COLORS ARE TO BE APPLIED TO 1/2" THICK INSULATED BRICK OVER TWO LAYERS OF GRADE 50 FELT PAPER TYP.</li> <li>2) ALL STUCCO SHIP SKINDED TYPICAL.</li> <li>3) APPROXIMATE FINISH GRADE.</li> <li>4) APPROVED SPARK ARRESTOR TYPICAL (PER PLAN).</li> <li>5) PREFINISHED METAL GUTTER AND DOWNSPUT. SEE ROOF PLAN (COLOR TO MATCH FASCIA COLOR) OVER 7/8" STAIN GRADE FASCIA TYPICAL.</li> <li>6) TILE ROOFING OVER UNDERLAYMENT PER ROOF PLAN.</li> <li>7) MULT-UP CRICKET, SEE ROOF PLAN.</li> <li>8) A/C CONDENSER LOCATION.</li> <li>9) MAIN ELECTRICAL PANEL.</li> <li>10) TELEPHONE CABINET.</li> <li>11) CABLE TV.</li> <li>12) GAS METER.</li> <li>13) PRESSURE RELIEF VALVE.</li> <li>14) 1 1/2" TALL x 1 1/2" DIA TUBULAR COLUMN w/ 1/2" NO BARS &amp; CAPITAL.</li> <li>15) 1/2" TALL x 1 1/2" DIA TUBULAR COLUMN w/ 1/2" NO BARS &amp; CAPITAL.</li> <li>16) 3/4" TALL x 1 1/2" DIA TUBULAR COLUMN w/ 1/2" NO BARS &amp; CAPITAL.</li> <li>17) WOOD SHAKERS, SEE RELATED DETAIL.</li> <li>18) INSULATED PANEL ROLL-UP GARAGE DOOR, SEE SCHEDULE.</li> <li>19) CUSTOM DRIFT DOORS, SEE SCHEDULE.</li> <li>20) RAINWATER GUTTERS AS REQUIRED BY CODE.</li> </ul> | <ul style="list-style-type: none"> <li>21) EXTERIOR LIGHTING FIXTURE AS SELECTED BY OWNER.</li> <li>22) DECORATIVE METAL QUADRANT/MANUAL PER RELATED DETAIL, AND AS NOTED ON PLAN.</li> <li>23) LINE OF FRAPING BEYOND.</li> <li>24) PREFABRICATED STONE VENEER CAP (1/2" x 1 1/4" x 3/4" CAP STONE TO MATCH LANDSCAPING STONE AT OUTER CORNER) OVER WATERPROOF MEMBRANE OVER FRAMED WALL AND DOWN FACE OF SILL ON EITHER SIDE AT FIN. OF 1/2" FROM TO STUCCO AND STONE ATTACHMENT.</li> <li>25) PREFABRICATED STONE VENEER INSTALLED PER PFA'S SPECS AND DETAILS.</li> <li>26) APPROXIMATE EXISTING GRADE.</li> <li>27) DECORATIVE UPGRADE IRON.</li> <li>28) MULT-UP GUTTER/BROW, SEE RELATED DETAIL.</li> <li>29) FOR STAIN GRADE BASE ELATED WOOD CORNERS/HUFFERS (WHERE OCCUR) AND GABLED END FASCIA BOARDS, SEE RELATED DETAIL SPACING AT FIN. AS REQUIRED TO MATCH AN APPROXIMATELY 3/4" O.C. SPACING, SPACING TO BE EQUAL AT EACH END.</li> <li>30) 2x8 STAIN GRADE COLUMNS, SEE STRUCT.</li> <li>31) STAIN GRADE BASE ELATED WOOD TRIM PER RELATED DETAILS.</li> <li>32) CUSTOM WOOD GATES.</li> <li>33) WOOD FRAMED WALL CAP AS AVAILABLE THROUGH STONE MANUFACTURER. PROVIDE CONT. WATERPROOF MEMBRANE OVER FRAMED WALL AND DOWN FACE OF SILL ON EITHER SIDE AT FIN. OF 1/2" FROM TO STUCCO AND STONE ATTACHMENT.</li> <li>34) WOOD FRAMED WALL CAP AS AVAILABLE THROUGH STONE MANUFACTURER. PROVIDE CONT. WATERPROOF MEMBRANE OVER FRAMED WALL AND DOWN FACE OF SILL ON EITHER SIDE AT FIN. OF 1/2" FROM TO STUCCO AND STONE ATTACHMENT.</li> <li>35) EXTERIOR PLASTER WALL CAP. PROVIDE CONT. WATERPROOF MEMBRANE OVER FRAMED WALL AND DOWN FACE OF SILL ON EITHER SIDE AT FIN. OF 1/2" FROM TO STUCCO.</li> </ul> |
|--|---|

MATERIALS & COLORS:

- |  |  |
|--|--|
| <p><b>EXTERIOR WALLS:</b></p> <ul style="list-style-type: none"> <li>1) COLORED FINERAL PLASTER w/ HOTTED FLOAT FINISH, PRIMER PAINT, ROUGH VENEER.</li> <li>2) PREFABRICATED STONE BY ELDMORADO STONE VENEER FIELD LEGGE (1/2" x 3/4" x 1 1/4") PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.</li> </ul> <p><b>ROOF TILE:</b></p> <ul style="list-style-type: none"> <li>1) TWO-PIECE CLAY TILE BY "USA TILE" (7000 SERIES) (1/2" x 12" x 12") (12" x 12" x 12") IN "TUBULAR" TYP.</li> </ul> <p><b>DOORS &amp; WINDOWS:</b></p> <ul style="list-style-type: none"> <li>1) VINYL &amp; COLORED GLAZ LINDERS AND DOORS, MANUFACTURER COLOR "TELEPH".</li> </ul> | <p><b>PRE-CAST ELEMENTS:</b></p> <ul style="list-style-type: none"> <li>1) CONCRETE DESIGN, INC. (CDU) (SEE PLAN) COMPONENT AS INDICATED, COLOR "TRUSS".</li> </ul> <p><b>SHUTTERS/MISC. TRIM:</b></p> <ul style="list-style-type: none"> <li>1) STAIN GRADE DARK BROWN SEMI-TRANSPARENT STAIN.</li> </ul> <p><b>WALL LANTERNS:</b></p> <ul style="list-style-type: none"> <li>1) WALL MOUNT LIGHT FIXTURE AS AVAILABLE THROUGH LIGHTING INC. (LECO) (400-2631) FINISH TO BE COPPER GLASS TO BE FINISHED NEUTRAL.</li> </ul> |
|--|--|

NOTE: CONTRACTOR TO PICK UP 5/8" SHIP LAP BOARDS OF ROOF TILE, FINERAL STONE, AND STONE FOR OWNER APPROVAL PRIOR TO BEGINNING EXTERIOR FINISH WORK.

**arc DESIGN GROUP**  
 1000 PAGES COMPLETE  
 5000+ HOURS  
 1000+ CLIENTS  
 1000+ PROJECTS

ENGINEER  
 537  
 15033 VENTURA BLVD.  
 SUITE 225  
 SHERMAN OAKS, CA  
 91309  
 818 705 9811

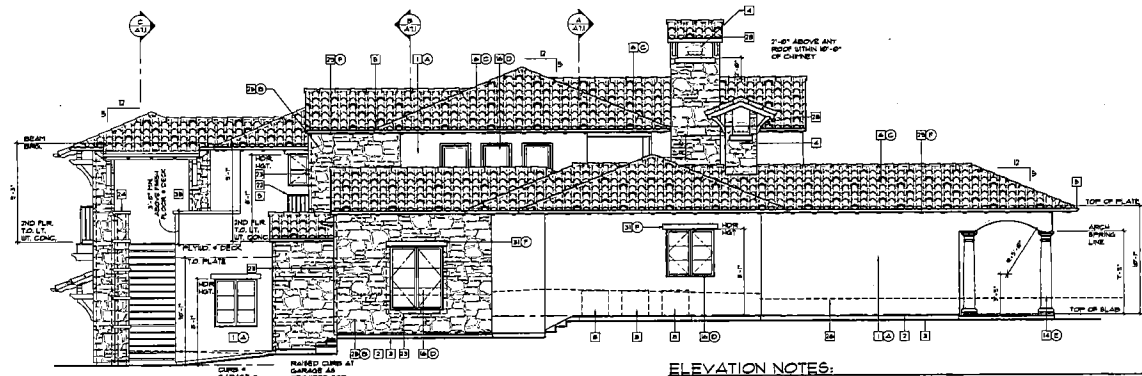
OWNER  
 DAYAN  
 70 BOX 10318  
 ENCINO, CA  
 91436

**DAYAN RESIDENCE**  
 28000 BARKERS BLVD.  
 AGOURA HILLS, CA 91301  
 LOT 2, PARCEL 98  
 A/E/N: 2005/02/09/06

PROJECT  
**EXTERIOR ELEVATIONS**

SHEET TITLE  
 DRAWING CALL  
 1/4" = 1'-0"  
 DATE  
 08/17/2011  
 REVISIONS

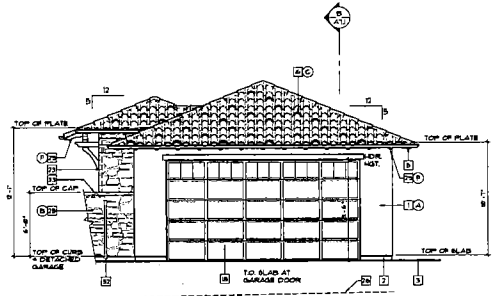
SHEET NO.  
**A6.1**



**RIGHT ELEVATION**

**ELEVATION NOTES:**

- 1 COLORED MINERAL FILLER FINISH PER MATERIALS & COLORS SPEC'S APPLIED TO 1/2" THICK SMOOTH STUCCO OVER 1/2" LATHERS OF GRADE TO FELT PAPER TYP.
- 2 01 STUCCO DRIP SCROED TYPICAL
- 3 APPROPRIATE FINISH GRADE
- 4 APPROVED SPARK ARRESTOR TYPICAL (PER PLAN)
- 5 PREFABRICATED METAL GUTTER AND DOWNSPUT. SEE ROOF PLAN FOR COLOR TO MATCH HAZGA COLOR OVER IN STAIN GRADE PAVING.
- 6 TILE ROOFING OVER UNDERLATHMENT PER ROOF PLAN
- 7 BUILT-UP CRACKS. SEE ROOF PLAN
- 8 AC CONDENSER LOCATION
- 9 MAIN ELECTRICAL PANEL
- 10 TELEPHONE CABINET
- 11 CABLE TV
- 12 GAS PIPING
- 13 PRESSURE RELIEF VALVE
- 14 1/2" TALL 4" DIA TUBULAR COLUMN W/ 8" SQ BASE & CAPITAL
- 15 BUILT-UP 1/2" DIA TUBULAR COLUMN W/ 8" SQ BASE & CAPITAL
- 16 CLAD WINDOWS/DOORS. SEE SCHEDULE
- 17 WOOD MATERIALS. SEE RELATED DETAIL
- 18 INSULATED PANEL ROLL-UP GARAGE DOOR. SEE SCHEDULE
- 19 CUSTOM ENTRY DOORS. SEE SCHEDULE
- 20 FURNISH/INSTALL GARAGE VENTING AS REQUIRED BY CODE
- 21 EXTERIOR LIGHTING FIXTURE AS SELECTED BY OWNER
- 22 DECORATIVE METAL GUARDRAIL/HANDRAIL PER RELATED DETAIL AND AS NOTED ON PLAN
- 23 LINE OF FINISHING BEYOND
- 24 PREFABRICATED STONE VENEER CAP (MIN. 2" THK GAP STONE TO MATCH LANDSCAPING STONE AT DOWN SPOT ON OVER WATERPROOF MEMBRANE OVER REAR WALL AND DOWN FACE OF WALL ON EITHER SIDE A MIN. OF 1" PRIOR TO STUCCO AND STONE ATTACHMENT
- 25 PREFABRICATED STONE VENEER INSTALLED PER FINES SPEC'S AND DETAILS
- 26 APPROXIMATE EXISTING GRADE
- 27 DECORATIVE SMOOTH IRON
- 28 BUILT-UP CHIMNEY SHAWDOW. SEE RELATED DETAIL
- 29 400 8" STAIN GRADE SAND BLASTED WOOD CORNERS (FRAMERS SHAWDOW CORNER) AND GABLED END PARCHA BOARDER. SEE RELATED DETAIL. ADJUST SPACING AT RIMS AS REQUIRED TO MAINTAIN APPROXIMATELY 7/8" G.C. SPACING. APPROACH TO BE EQUAL AT EACH RIM
- 30 400 8" STAIN GRADE COLUMNS. SEE STRUCT.
- 31 8" STAIN GRADE SAND BLASTED WOOD TRIM PER RELATED DETAILS
- 32 CUSTOM WOOD GATES
- 33 1/2" SIDE PEARED WALL CAP AS AVAILABLE THROUGH STONE MANUFACTURER. PROVIDE CONT. WATERPROOF MEMBRANE OVER FRAMED WALL AND DOWN FACE OF WALL ON EITHER SIDE A MIN. OF 1" PRIOR TO STUCCO AND STONE ATTACHMENT
- 34 1/2" SIDE PEARED WALL CAP AS AVAILABLE THROUGH STONE MANUFACTURER. PROVIDE CONT. WATERPROOF MEMBRANE OVER 1/2" PRIOR TO STUCCO AND STONE ATTACHMENT
- 35 EXTERIOR PLASTER WALL CAP. PROVIDE CONT. WATERPROOF MEMBRANE OVER PREFERRED WALL AND DOWN FACE OF WALL ON EITHER SIDE A MIN. OF 1" PRIOR TO STUCCO

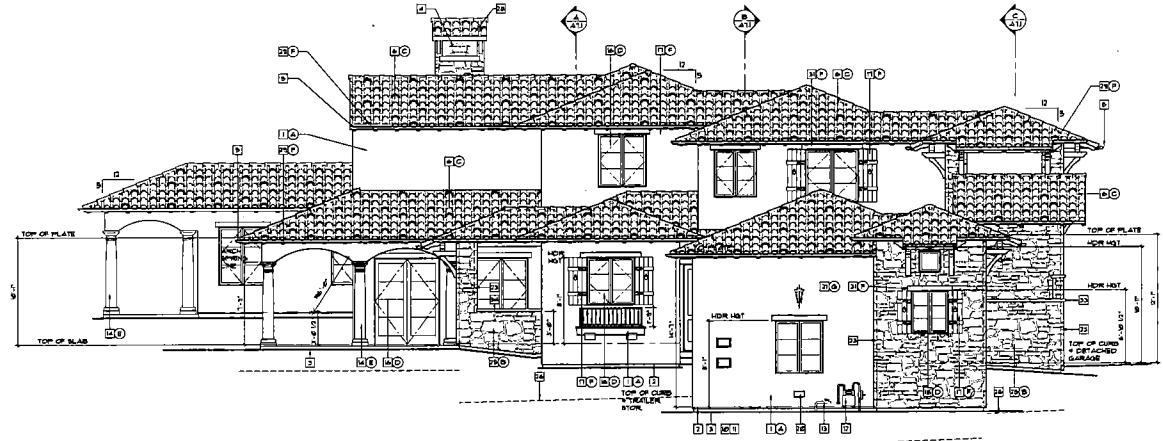


**RIGHT ELEVATION @ DETACHED GARAGE**

**MATERIALS & COLORS:**

- EXTERIOR WALLS:**
- 1 COLORED MINERAL FILLER IN PORTLAND FLUAT FINISH. PRAISE PAINT "BRIGHT" (HARBOR SHAWD)
  - 2 PREFABRICATED STONE BY ELBORADO STONE. "MOUNTAIN FIELD LEDGE, TIGER D. PER SHEET INSTALL PER MANUFACTURER'S SPECIFICATIONS AND DETAILS
- PRE-CAST ELEMENTS:**
- 1 CONCRETE DESIGN NO. 10204
  - 2 PRE-CAST COMPONENT AS INDICATED. COLOR "TUSOCK"
- SHUTTERS/MISC. TRIM:**
- 1 STAIN GRADE DARK BROWN BENE-TRANSPARENT STAIN
- ROOF TILE:**
- 1 TERRAZZO LIGHT TILE BY US TILE (SERVO 1833). 20" X 10" (OLD WORLD BLEND). 3/8" TERRAZZO
- DOORS & WINDOWS:**
- 1 KOLBE & KOLBE CLAD WINDOWS AND DOORS. MANUFACTURER COLOR "WEDGIE"
- WALL LANTERNS:**
- 1 SMALL FRONT LIGHT FIXTURE AS AVAILABLE THROUGH SFL LIGHTING INC. (1800) 749-0821. TRIM TO BE COPPER GLASS TO BE "FRACED BEED"

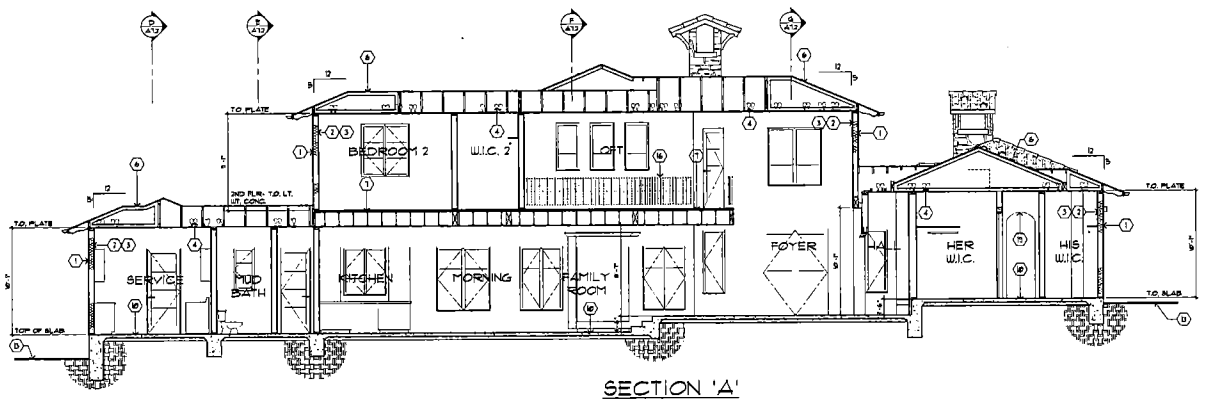
NOTE: CONTRACTOR TO HOOK UP 2X6" RAFTER BOARDS OF ROOF TILE FINISH. SIDING AND STONE FOR OWNER APPROVAL PRIOR TO BEGINNING EXTERIOR FINISH WORK.



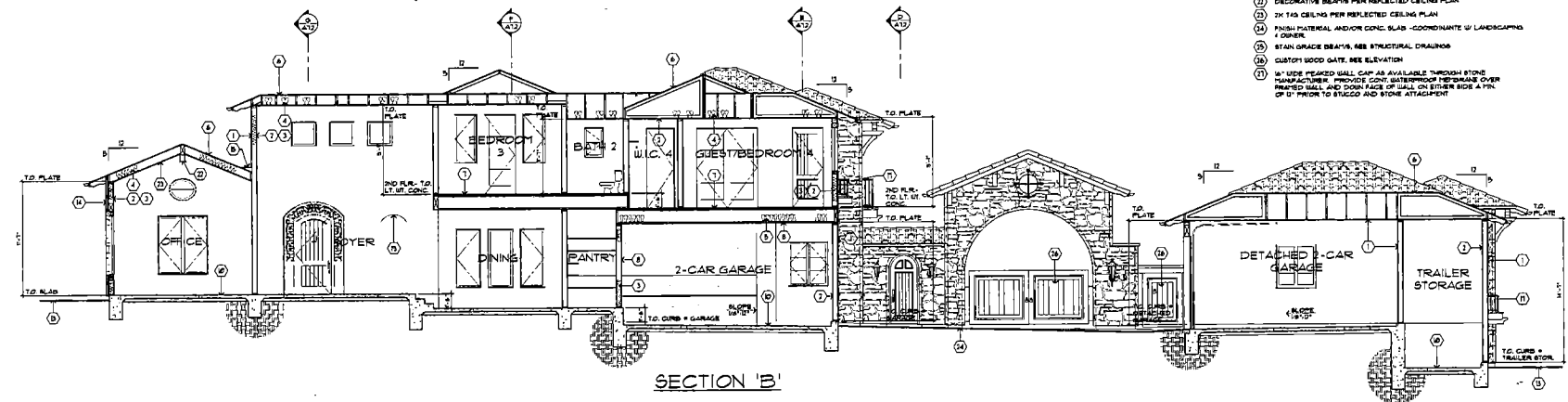
**LEFT ELEVATION**

**SECTION NOTES:**

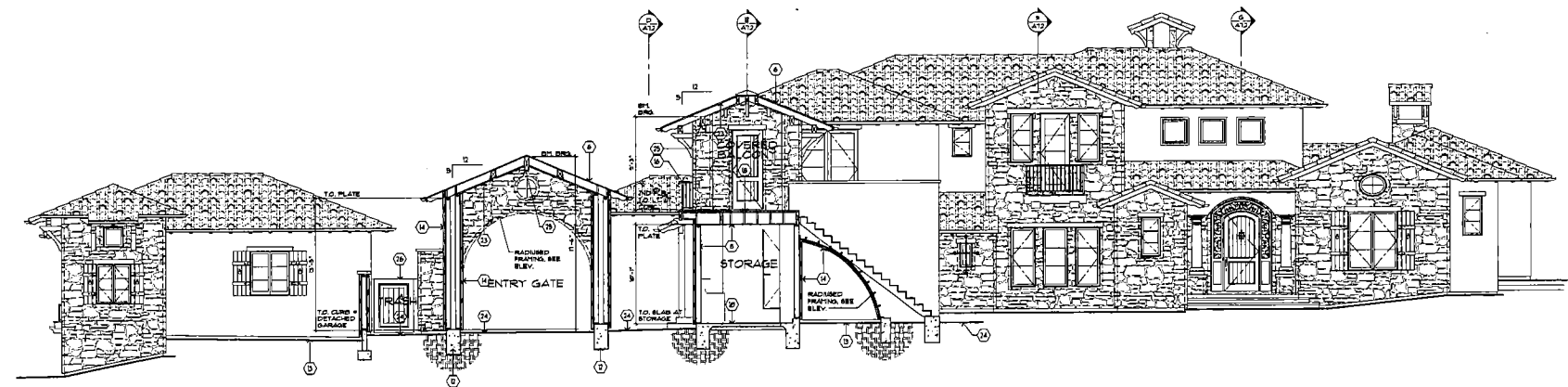
- 1) 1/4" INCH STUCCO PER ELEVATION OVER TWO LAYERS OF GRADE D' FELT PAPER OVER PLYWOOD SHEATHING AND FRAPING PER STRICT DRAINAGE, (TYP)
- 2) DRYTALL PER PLAN (TYP)
- 3) R-10 INSULATION TYP - ALL EXTERIOR WALLS AND WHERE INDICATED
- 4) R-10 INSULATION TYP
- 5) R-10 INSULATION + GARAGE CLG / FLOOR AREA
- 6) TYPICAL ROOFING MATERIAL OVER UNDERLAYMENT (SEE ROOF PLAN) OVER PLYWOOD SHEATHING AND ROOF FRAPING OR OVERFRAPING (SEE STRICT DRAINAGE)
- 7) 1/2" LIGHT WEIGHT CONCRETE OVER PLYWOOD FLOOR DECK OVER FLOOR FRAPING PER STRICT
- 8) 1/4" GARAGE / HOVER SLAB + CEILING LID - 1/4" RATED FIRE WALL, FURNISH / INSTALL (1) LAYER OF 5/8" TYPE 'X' GYP. BRD. AT WALLS FULL HEIGHT TO CEILING, FURNISH / INSTALL (2) LAYERS OF 5/8" TYPE 'X' GYP. BRD. AT ENTIRE GARAGE CEILING.
- 9) USABLE AREA UNDER STAIR - FURNISH 5/8" TYPE 'X' DRYTALL - ALL WALLS + ENTIRE CEILING LID FOUNDATION PER STRUCTURAL DRAWINGS
- 10) RUMMED DOWN CEILING OR ROOF WITH 3/4" FRAPING, SEE REFLECTED CEILING PLAN
- 11) GRADE / TIE BEAM PER STRUCTURAL
- 12) APPROXIMATE FINISHED GRADE
- 13) PREMANUFACTURED STONE VENER (SEE ELEV.) OVER 1/4" BATTING SHEET STUCCO ISOLATION COAT METAL LATH, WEATHER RESISTIVE BARRIER, PLYWOOD SHEATHING AND 3/4" FRAPING (SEE STRICT)
- 14) GULL-TAP ROOF CHECKOUT
- 15) QUANTITIES / MATERIAL - SEE PLAN NOTES FOR ADDITIONAL INFORMATION
- 16) DECORATIVE RAILINGS PER ELEVATION
- 17) FINISHED MATERIAL OVER HOVER SLAB AND GOLF POLY COATING FURN. AND MTL OVER WOOD FRAPING PER STRICT AND CONT. UP PERIMETER WALLS 1/4" IN. DO NOT PERMITS WATERPROOFING WITH ANY JOINTS OR OTHER FINISH WORK OR FINISH ACCESSORIES
- 18) RADIUMS OPENING, SEE REFLECTED CEILING PLAN
- 19) PRECAST CONCRETE COLUMNS, SEE ELEV. FOR DIMENSIONS / PRECAST CAPITALS AND BASES (SEE RELATED DETAIL FOR ADDITIONAL DIMENSIONS)
- 20) SUB-TYPE 'X' DRYTALL
- 21) DECORATIVE BEAMS PER REFLECTED CEILING PLAN
- 22) 3/4" TAG CEILING PER REFLECTED CEILING PLAN
- 23) FINISH MATERIAL AND/OR CONC. SLAB - COORDINATE W/ LANDSCAPING DESIGNER
- 24) STAIN GRADE DETAILS, SEE STRUCTURAL DRAWINGS
- 25) CUSTOM WOOD GATE, SEE ELEVATION
- 26) 1/4" WIDE PEAKED GULL CAP AS AVAILABLE THROUGH STONE MANUFACTURER - PROVIDE CONT. WATERPROOF MEMBRANE OVER PEAKED WALL AND DOWN FACE OF WALL ON OTHER SIDE A MIN. OF 1" PRIOR TO STUCCO AND STONE ATTACHMENT



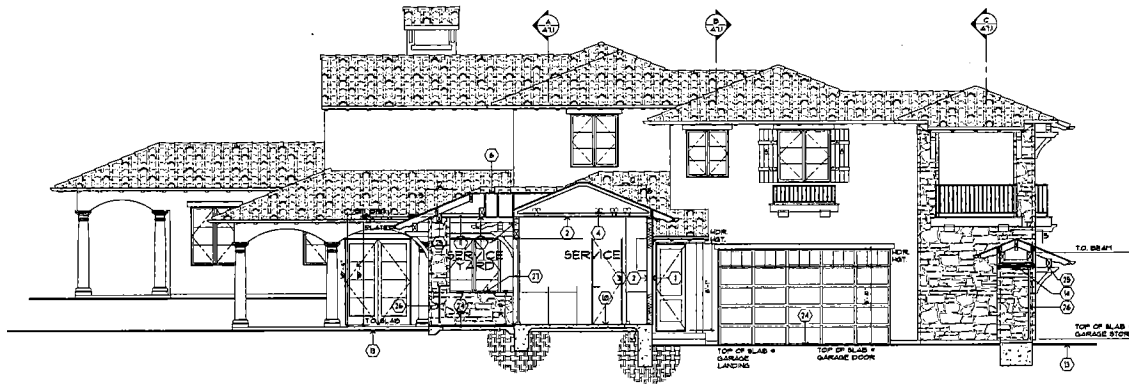
**SECTION 'A'**



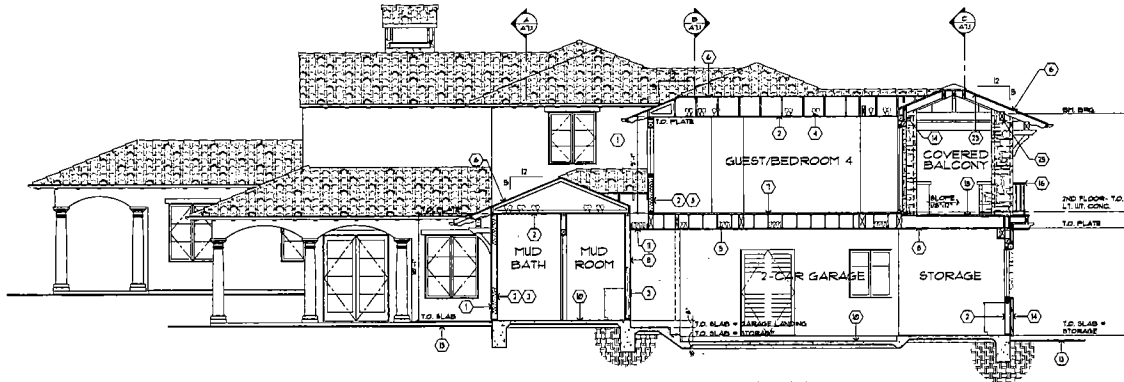
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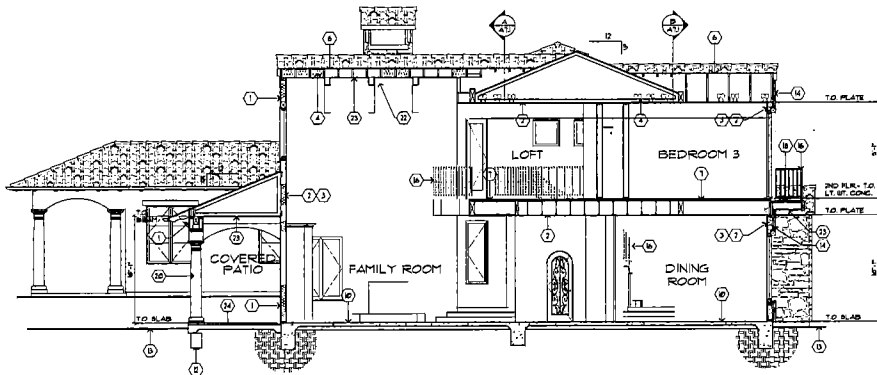
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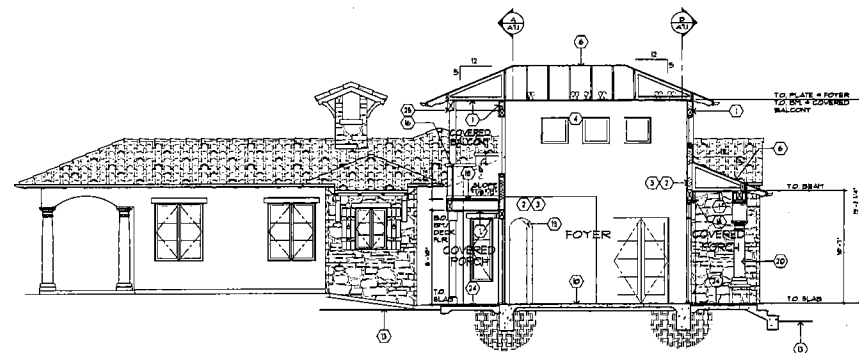
SECTION 'D'



SECTION 'E'



SECTION 'F'



SECTION 'G'

SECTION NOTES:

- 1) 1/4" THK BRUCCO PER ELEVATION OVER TWO LAYERS OF GRADE 3" FELT PAPER OVER PLUWOOD SHEATHING AND FINISHING PER STRUCT DRAWINGS (777), DRYWALL PER PLAN (777)
- 2) R-13 INSULATION TYP. - ALL EXTERIOR WALLS AND USERS INDICATED
- 3) R-13 INSULATION TYP.
- 4) R-13 INSULATION - GARAGE CLS. / FLOOR AREA
- 5) TYPICAL ROOFING MATERIAL OVER UNDERLAYMENT (SEE ROOF PLAN) OVER PLUWOOD SHEATHING AND ROOF FRAMING OR OVERFRAMING (SEE STRUCT DRAWINGS)
- 6) 1/2" LIGHT WEIGHT CONCRETE OVER PLUWOOD FLOOR DECK OVER FLOOR FRAMING PER STRUCT
- 7) 1/4" GARAGE 1" HOUSE WALL 1" CEILING LID. 1/4" RATED FIRE SMALL FINISH / INSTALL 1/2" LAYER OF 3/4" TYPE 3/4" GYP BOARD AT WALLS FULL HEIGHT TO CEILING. PLUMB / INSTALL 1/2" LAYERS OF 3/4" TYPE 3/4" GYP BOARD AT ENTIRE GARAGE CEILING.
- 8) USABLE AREA UNDER STAIR: 1 LAYER 3/4" TYPE 3/4" DRYWALL - ALL WALLS - 1 ENTIRE CEILING LID FOUNDATION PER STRUCTURAL DRAWINGS
- 9) FINISH DOWN CEILING OR BOPFIT WITH 2X WALLING. SEE REFLECTED CEILING PLAN.
- 10) GRADE 1/8" BEEP PER STRUCTURAL
- 11) APPROXIMATE FINISHED GRADE
- 12) PREMANUFACTURED STONE VENEER (SEE ELEV.) OVER FORMER SETTING BED. BRUCCO SCRATCH COAT, METAL LATH. WEATHER RESISTIVE BARRIER, PLUWOOD SHEATHING AND 2X FINISHING (SEE STRUCT)
- 13) BUILT-UP ROOF CRACKET
- 14) QUANTITIES - HANDWRITEN - SEE PLAN NOTES FOR ADDITIONAL INFORMATION
- 15) DECORATIVE RAILING PER ELEVATION
- 16) FINISH MATERIAL OVER FORMER BEG AND CONT. POLY. COATING ORN. SET FILL OVER WOOD FRAMING PER STRUCT. AND CONT. UP PERIPHERY WALLS PER 3/4". DO NOT PENETRATE WATERPROOFING WITH ANY ANCHORS OR OTHER FINISH WORK OR FINISH ACCESSORIES.
- 17) RADIUSED OPENING. SEE REFLECTED CEILING PLAN
- 18) PRECAST CONCRETE COLUMNS (SEE ELEV. FOR DIMENSION) UP PRECAST CAPITALS AND BASES (SEE RELATED DETAIL FOR ADDITIONAL DIMENSIONS) 3/4" TYPE 3/4" DRYWALL
- 19) DECORATIVE BEAMS PER REFLECTED CEILING PLAN
- 20) 2X 10 CEILING PER REFLECTED CEILING PLAN
- 21) FINISH MATERIAL AND/OR CONC. SLAB - COORDINATE W/ LANDSCAPING 1" CONCR.
- 22) STAIR GRADE BEAMS. SEE STRUCTURAL DRAWINGS
- 23) CUSTOM WOOD SATE. SEE ELEVATION
- 24) 1/4" WIDE PEAKED WALL CAP AS AVAILABLE THROUGH STONE MANUFACTURER. PROVIDE CONT. WATERPROOF MEMBRANE OVER GRADED WALL AND DOWN FACE OF WALL ON EITHER SIDE A MIN. OF 2" PRIOR TO BRUCCO AND STONE ATTACHMENT

**arc**  
DESIGN GROUP  
ARCHITECTS  
INTERIORS

100 PIERCE GARDNER  
SUITE 200  
GARLAND, CA 94533  
925-454-4272

ENGINEER:  
SDP  
15053 VENTURA BLVD.  
SUITE 200  
SHERMAN OAKS, CA  
91303  
818-703-9872

OWNER:  
DAYAN  
PO BOX 205594  
INDIHO, CA  
9424

**DAYAN RESIDENCE**

15053 VENTURA BLVD  
SUITE 200  
SHERMAN OAKS, CA 91303  
ALPH: 2055-031-018

PRODUCT: SECTIONS

SHEET TITLE: SECTIONS

DRAWING SCALE: 1/4" = 1'-0"

DATE: MAY 21, 2013

REVISIONS:

SHEET NO. **A7.2**

**GRADING NOTES**

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 1 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE COMPLIANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
  - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
  - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THIS REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
  - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBURRANS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKGRADINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICED ON AN AS-BUILT GEOLOGIC MAP.
  - A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:30 AM TO 7:30 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION NODES OF THE SUPPORTING SOILS. IF THE EXPANSION NODES IS GREATER THAN 1/8", FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.

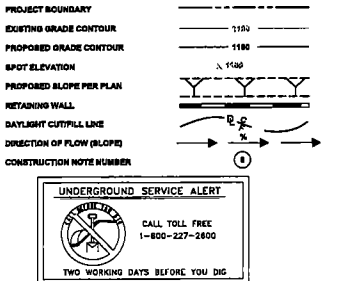
**INSPECTION NOTES**

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENTS AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS AT THE FOLLOWING STAGES OF WORK:

- WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCRAPED, BENCHMARK, OR OTHERWISE PREPARED FOR FILL, FILL SHALL NOT HAVE BEEN PLACED PRIOR TO THIS INSPECTION.
- ROUGH WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TRENCHES, SWALES AND BERMS INSTALLED AT THE TOP OF SLOPE, AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
- FINAL WHEN GRADING HAS BEEN COMPLETED; ALL DRAINAGE DEVICES INSTALLED; SLOPE INSTALLED AND THE RECORD DRAWINGS (AS-BUILT PLANS), REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED.

ALL REQUIRED REPORTS AND STATEMENTS TO THE BUILDING AND SAFETY DEPARTMENTS SHALL BE PREPARED IN ACCORDANCE WITH SECTIONS 1028 AND 7921 OF THE BUILDING CODE.

**LEGEND AND SYMBOLS**



**PUBLIC UTILITIES / SERVICES**

- WATER:** LAS VIRGENES MUNICIPAL WATER DISTRICT  
308 FOOTBALL DRIVE  
CALABASAS, CA 91382  
(818) 888-4113
- ELECTRICAL:** SOUTHERN CALIFORNIA Edison  
308 FOOTBALL DRIVE  
THOUSAND OAKS, CA 91321  
(805) 484-7619
- TELEPHONE:** BRC (PAC BELL)  
1651 RAYNER STREET, #115  
VAN NUYS, CA 91411  
(818) 373-8888
- GAZ:** SOUTHERN CALIFORNIA GAS  
846 GARDALE AVENUE  
CHATELAINVILLE, CA 91313  
(818) 791-3234
- SEWER:** LA COUNTY, DEPT. OF PUBLIC WORKS  
SEWER MAINTENANCE DIVISION  
1005 S. FREMONT AVENUE, BLDG. 40 EAST  
ALHAMBRA, CA 91803  
(626) 388-3333
- CABLE:** TIME WARNER CABLE  
487 LAS VIRGENES RD  
CALABASAS, CA 91382  
(818) 888-4243
- CABLE:** CHARTER COMMUNICATIONS  
346 COMBOSCKEY ROAD  
MILPITAS, CA 95035  
(408) 984-9110
- CALTRANS:** CALTRANS  
5461 REDSEA BOULEVARD  
TAYLOR, CA 95128  
(408) 388-4423

**PUBLIC IMPROVEMENT NOTES**

- AN ENCROACHMENT PERMIT IS REQUIRED OF ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY (ROW). ALL APPLICABLE FEES MUST BE PAID AND INSPECTORS POSTED PRIOR TO ISSUANCE OF PERMIT. ALL WORK INVOLVING STREET IMPROVEMENTS REQUIRE APPROVAL FROM THE PUBLIC WORKS DIRECTOR. APPLICANTS SHALL ALLOW 48 HOURS ADVANCE NOTICE TO THE DEPARTMENT OF PUBLIC WORKS TO SCHEDULE ALL INSPECTIONS.
- CONTRACTORS SHALL TELEPHONE UNDERGROUND SERVICE ALERT (USA) 1-888-423-4334 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
- REQUIREMENTS FOR STREET STRUCTURAL SECTION TO BE DETERMINED BY SOIL ANALYSIS AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF BASE MATERIALS.
- WATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH LAS VIRGENES MUNICIPAL WATER DISTRICT WORKS MANUAL.
- SEPARATION OF WATER AND WASTEWATER LINES SHALL BE IN ACCORDANCE WITH LAS VIRGENES MUNICIPAL WATER DISTRICT.
- PRIOR TO CONNECTION TO WATER AND SEWER MAINS IN THE PUBLIC RIGHT-OF-WAY, APPLICANT SHALL PROVIDE DOCUMENTATION FROM LAS VIRGENES MUNICIPAL WATER DISTRICT TO THE CITY STATING THAT ALL CONNECTION FEES HAVE BEEN PAID.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS.

**OKAK TREE NOTES**

- APPLICANT MUST CONTACT CITY OKAK TREE CONSULTANT, (818) 887-2850, TO OBTAIN PROJECT SPECIFIC "OKAK TREE NOTES".
- FOR OKAK TREES EXISTING ON OR OFF-SITE OR IMMEDIATELY ADJACENT (WITHIN 100 FEET OF THE PROJECT BOUNDARIES) THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT PRIOR TO ANY WORK THAT FENCING AROUND OKAK TREES PROTECTIVE ZONES SHALL BE PROVIDED, AND ALL CLEARING AND GRUBBING OF EXISTING MATTER AND REMOVAL OF DEBRIS AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AS STIPULATED UNDER THE OKAK TREE PERMIT. BEFORE THE APPROVAL TO PROCEED WITH THE GRADING WILL BE ISSUED, AFTER NOTIFICATION THAT THIS STAGE HAS BEEN COMPLETED, THE SITE WILL BE INSPECTED BY THE CITY OKAK TREE ADMINISTRATOR. WHEN APPROVED, THE APPROVAL TO PROCEED WILL BE ISSUED IN WRITING BY THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT.
- ALL OKAK TREE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS TREE ORDINANCE AND OKAK TREE PRESERVATION AND PROTECTION GUIDELINES.
- UNDER NO CIRCUMSTANCES SHALL ANY WORK BE DONE WITHIN THE PROTECTED ZONE OF ANY OKAK TREE, WITHOUT OBTAINING AN OKAK TREE ENCROACHMENT PERMIT AND 48 HOURS ADVANCE NOTICE TO THE CITY FURTHERMORE, NO PROTECTIVE FENCING SHALL BE RELOCATED OR MOVED WITHOUT CITY APPROVAL.

**ABBREVIATIONS**

- |                         |                           |
|-------------------------|---------------------------|
| AC - ASPHALTIC CONCRETE | HP - HIGH POINT           |
| BF - BOTTOM OF FOOTING  | IN - INVERT               |
| CB - CATCH BASIN        | NO - NATURAL GROUND       |
| CF - CURB FACE          | NTS - NOT TO SCALE        |
| E - CENTERLINE          | PL - PROPERTY LINE        |
| CL - CHAIN LINK FENCE   | POB - POINT OF BEGINNING  |
| CO - CLEAN OUT          | SDM - STORM DRAIN MANHOLE |
| DB - DEBRIS BARRI       | SMH - SEWER MANHOLE       |
| DL - DAYLIGHT           | SB - SANITARY SEWER       |
| EG - EDGE OF CUTTING    | TS - TOP OF BENCH         |
| EP - EDGE OF PAVEMENT   | TT - TOP OF CURB          |
| FF - FINISHED FLOOR     | TT - TOP OF FOOTING       |
| FG - FINISHED GRADE     | TO - TOP OF GRADE         |
| PH - PIPE HYDRANT       | TW - TOP OF WALL          |
| PL - PLUMBLINE          | TY - TYPICAL              |
| PF - FINISH SURFACE     | WW - WATER WETTER         |
| HC - HANDICAP RAMP      | WV - WATER VALVE          |

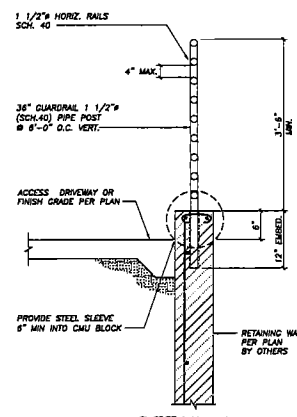
**LEGAL DESCRIPTION**

LOT 2, ABBREVIATED DESCRIPTION: LOT 2, CITY RECORD/CLUSTER: 02/22189 P 4 221-12-13 LOT 2 CITY/MUN/IMP. RECORD/CLUSTER: 02/22189 APC: 2033-023-098



**STORMWATER POLLUTION NOTES**

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN (SWPPP)" AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF CHARGE POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPict THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNERS RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.
- ERODIBLE SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTACT THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSED BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO MINIM SEDIMENTS FROM BEING DISPERSED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DISPERSIONS MUST BE SWEEP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENuded VEGETATION MUST BE STABILIZED SO AS TO MINIM EROSION BY WIND AND WATER.
- EXCEPT AS OTHERWISE DIRECTED BY THE CITY INSPECTOR, ALL DRAINAGE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY IS 40% AND HIGHLIGHTED DURING THE RAINY SEASON (NOVEMBER 1ST THROUGH APRIL 15TH OF THE SUCCEEDING YEAR) FOR EACH YEAR THE GRADING REMAINS INCOMPLETE. REFER TO SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN".
- CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.



**ADDITIONAL NOTES**

- ALL RETAINING WALL EXCAVATIONS SHALL BE REVIEWED BY THE PROJECT ENGINEERING GEOLOGIST FOR THE PRESENCE OF ADVERSELY ORIENTED JOINT SURFACES. ADVERSE SURFACES SHALL BE EVALUATED AND SUPPORTED IN ACCORDANCE WITH RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER.
- ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED, IN WRITING, BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO REINFORCEMENT OF REINFORCING STEEL.
- AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE THE RESULTS OF ALL COMPACTION TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBURRANS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKGRADINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICED ON AN AS-BUILT GEOLOGIC MAP.

**NOTE TO CONTRACTOR**

- CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
- NOTES:**
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL-OSHA REGULATIONS.
  - AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBURRANS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKGRADINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICED ON AN AS-BUILT GEOLOGIC MAP.
  - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL-OSHA REGULATIONS.
  - ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF REINFORCING STEEL.
  - PROVIDE HANDRAILS FOR THE STAIRS WITH 4 OR MORE RISERS, PER ARCHITECTURE & LANDSCAPE ARCHITECTURAL DWGS.
  - CONTRACTOR TO FIELD VERIFY ALL UTILITY CONNECTIONS PRIOR TO CONSTRUCTION.

ARCHITECT:  
ARC DESIGN GROUP INC.  
1000 PASCO DRIVE SUITE 239  
CANAVERA, CA 93010  
(805) 484-4277

TOPOGRAPHIC SURVEY SUPPLIED BY:

**PEAK SURVEYS, INC.**  
CIVIL ENGINEERING & LAND SURVEYING  
2488 TOWNSCAPE RD. #1414 D  
WESTLAKE VILLAGE CA 91361  
(805) 497-0102 (818) 889-3679

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	OVERALL SITE PLAN
3	GRADING & DRAINAGE PLAN
4	GROSS SECTION / DETAIL SHEET
5	WET WEATHER EROSION CONTROL COVER SHEET
6	WET WEATHER EROSION CONTROL PLAN
7	ATTACHMENTS

ESTIMATED EARTHWORK QUANTITIES			
ESTIMATED CUT:	1687 CY	ESTIMATED EXPORT:	0 CY
ESTIMATED FILL:	2888 CY	ESTIMATED IMPORT:	171 CY
ESTIMATED OVER-EXCAVATION:	588 CY		

BENCHMARK:			
DESCRIPTION:	BM NO.	IN. Y. BESS.	ELEVATION: 88.44 SURVEY DATE: 1988

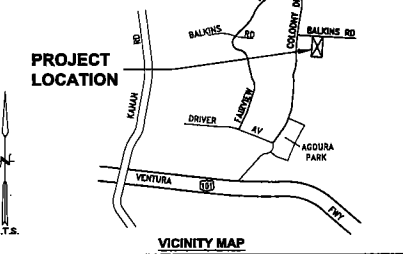
**RECORD DRAWING STATEMENT**

I, THE UNDERSIGNED, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND ORIGINAL CONTRACTOR, THAT THE WORK ON SHEET NO. 1, THROUGH 7, MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

REGISTERED CIVIL ENGINEER	DATE	RCE NO.	EXP. DATE
37438			

SOILS APPROVAL			
THIS PLAN HAS BEEN REVIEWED, AND IS IN COMPLIANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED 02-13-2014 01-28-15			
REGISTERED GEOLOGIST	DATE	RCE NO.	EXP. DATE
REGISTERED GEOTECHNICAL ENGINEER	DATE	RCE NO.	EXP. DATE

OWNER	
NAME:	OFER DAYAN
ADDRESS:	P.O. BOX 28304 ENCINO, CA 91428
REPRESENTATIVE:	BRIAN @ ARC DESIGN GROUP
TELEPHONE:	(805) 484-4277
CIVIL ENGINEER	
NAME:	LIN-CHUAN & ASSOC.
ADDRESS:	881 RANCHO ROAD, THOUSAND OAKS, CA 91320
REPRESENTATIVE:	ERICK MASON
TELEPHONE:	(805) 794-5809
GEOTECHNICAL ENGINEER	
NAME:	ROWEN HOLLINGSWORTH
ADDRESS:	31128 VIA COLMAR, SUITE 107 WESTLAKE VILLAGE, CA 91361
REPRESENTATIVE:	ROBERT A. HOLLINGSWORTH
TELEPHONE:	(818) 889-0864

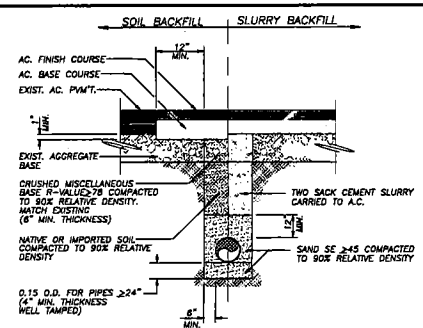
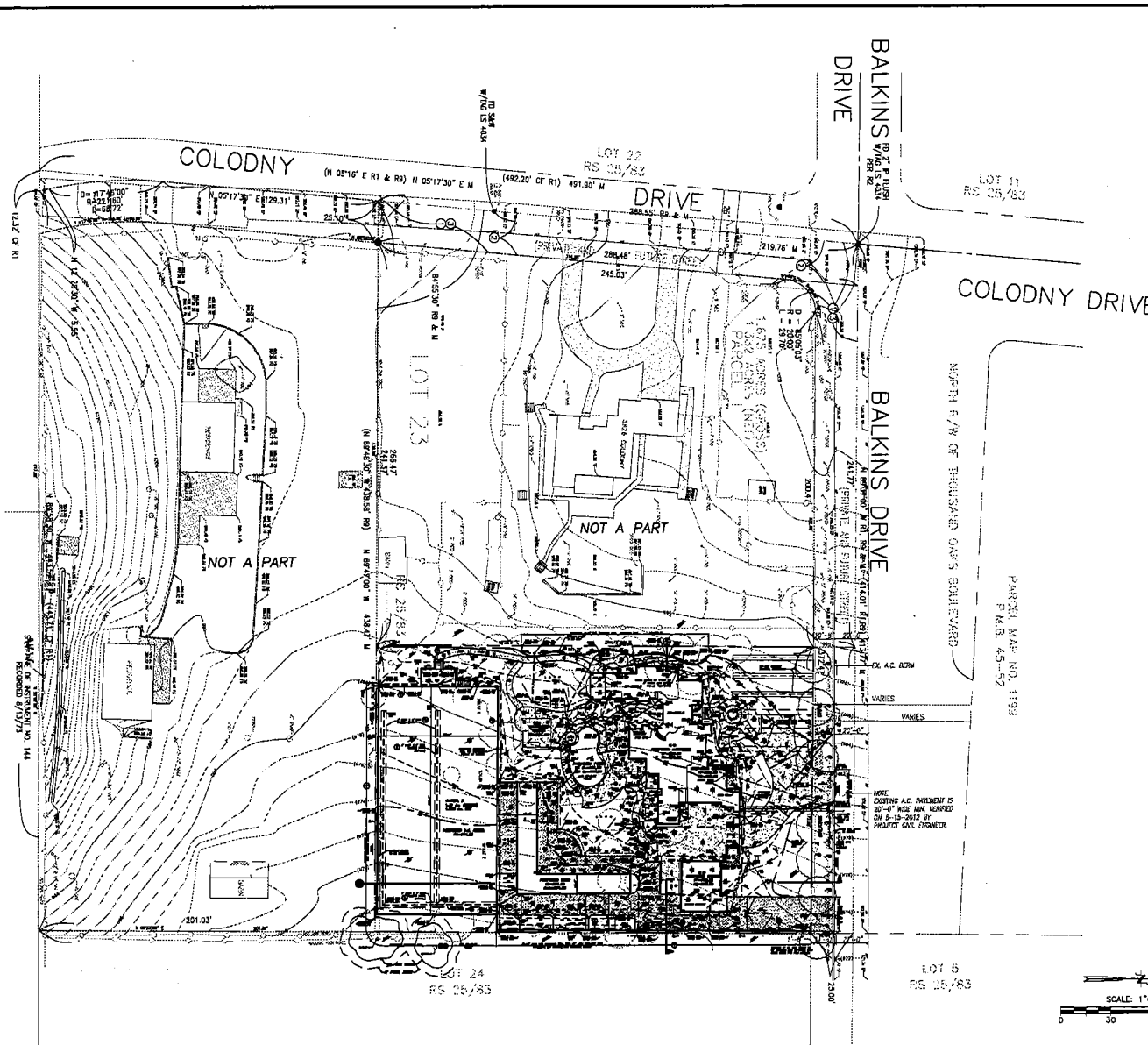


**VICINITY MAP**

**COVER SHEET**  
LOT 2, PARCEL 98  
28080 BALKINS DRIVE  
AGOURA HILLS, C.A.

REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	PROJECT ENGINEER	RCE	DATE	REVIEWED BY	DATE	CITY ENGINEER	DATE	88885 RCE NO.	08-30-12 EXP DATE

CITY OF AGOURA HILLS APPROVAL	
PROJECT NO.	12-SFR-003
SHEET	1 OF 7



- NOTES:
1. A.C. BASE COURSE SHALL BE TYPE II 83-AR-4000. A.C. FINISH COURSE SHALL BE TYPE II C2-AR-4000.
  2. FINAL A.C. FINISH COURSE (CAP) SHALL BE A MINIMUM OF 1-1/2" THICK.
  3. COMPACTION TESTING IS REQUIRED FOR ALL NATIVE/IMPORTED SOILS.

**PAVEMENT & TRENCH DETAIL**  
NOT TO SCALE

**NOTE TO CONTRACTOR**

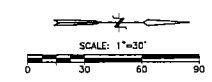
CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

**NOTES:**

1. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REQUIREMENTS.
2. AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THE REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS AS WELL AS A MAP DEPICTING THE LIMITS OF ALL LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REGIONAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOW LINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKFILLS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
3. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
4. ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF REINFORCING STEEL.

**ABBREVIATIONS**

- |      |                  |     |                       |
|------|------------------|-----|-----------------------|
| ASPH | ASPHALT          | FL  | FLOW LINE             |
| BF   | BOARD FENCE      | FP  | FLOW PIPE             |
| CLF  | CHAIN LINK FENCE | L&T | LEAD AND TAG          |
| CLR  | CLEAR            | MA  | MAIL AND TAG          |
| CIRC | CIRCULAR         | OS  | OVER STREET           |
| DWH  | DRAINAGE         | RF  | REINFORCED IRON FENCE |
| EP   | EDGE OF PAVEMENT |     |                       |



PREPARED BY:  
LIW CHUAN YEH & ASSOCIATES  
831 RANCHO ROAD  
THOUSAND OAKS, CA 91321  
(805) 794-3358

CITY OF AGOURA HILLS APPROVAL



**OVERALL SITE PLAN**  
LOT 2, PARCEL 98  
28080 BALKINS DRIVE  
AGOURA HILLS, CA

REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

PROJECT ENGINEER 37438 RCE DATE

REVIEWED BY DATE

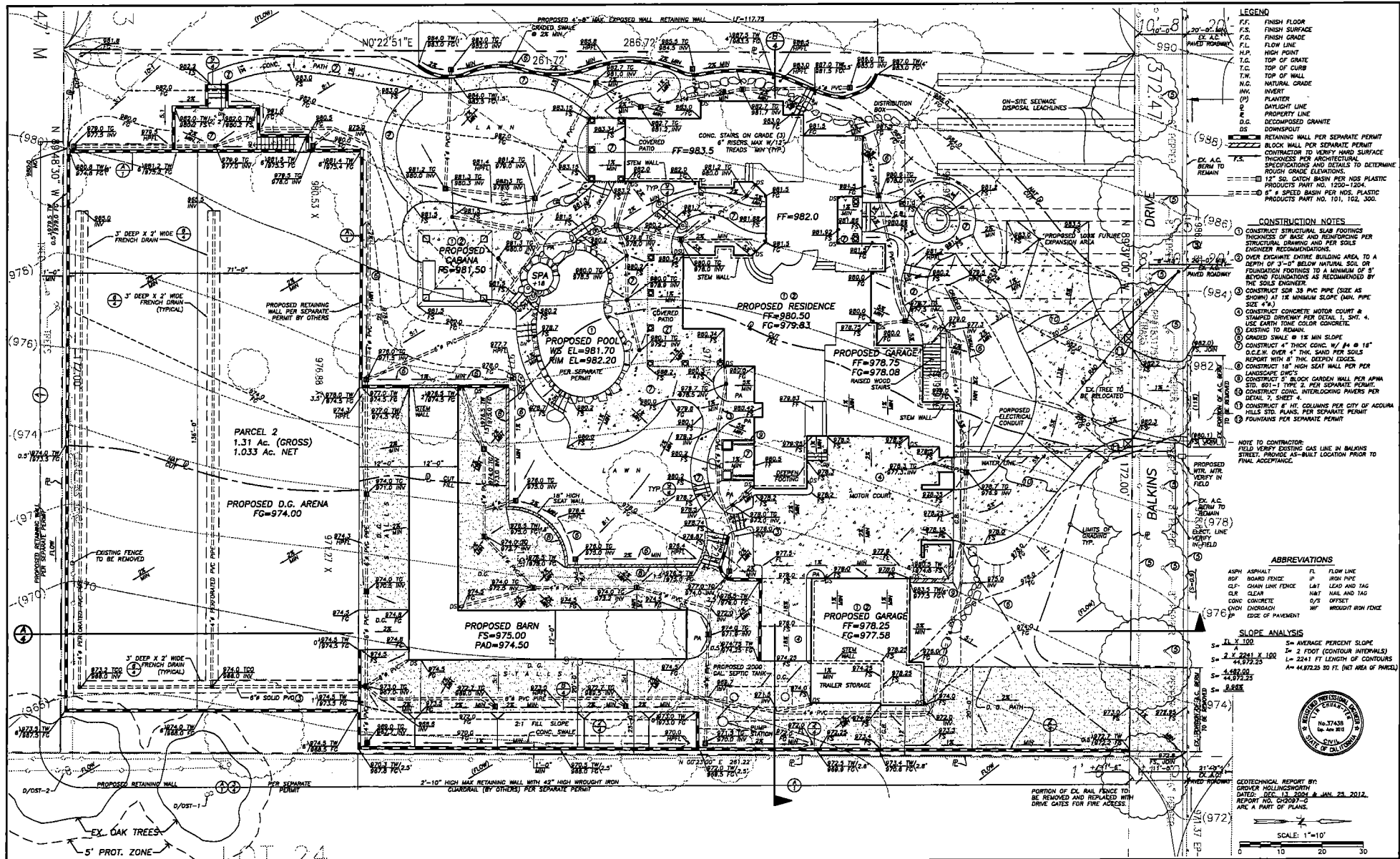
RAMIRO ADEVA III CITY ENGINEER DATE

6885 08-30-12 RCE NO. EXP DATE

PROJECT NO. 12-SPR-509

CITY OF AGOURA HILLS DWG. NO. SHEET 2 OF 7





- LEGEND**
- F.F. FINISH FLOOR
  - F.S. FINISH SURFACE
  - F.L. FINISH GRADE
  - F.L. FLOW LINE
  - H.P. HIGH POINT
  - T.O. TOP OF CURB
  - T.O. TOP OF WALL
  - N.G. NATURAL GRADE
  - INVERT
  - PLANTER
  - DAYLIGHT LINE
  - PROPERTY LINE
  - D.S. DISCOMPOSED GRANITE
  - DOWNSPOUT
  - RETAINING WALL PER SEPARATE PERMIT
  - BLOCK WALL PER SEPARATE PERMIT
  - CONTRACTOR TO VERIFY HARD SURFACE THICKNESS PER ARCHITECTURAL SPECIFICATIONS AND DETAILS TO DETERMINE ROUGH GRADE ELEVATIONS.
  - EX. A.C. BEAM TO REMAIN

- CONSTRUCTION NOTES**
1. CONSTRUCT FINISH FLOOR SLAB FOOTINGS THICKNESS OF BASE AND REINFORCING PER STRUCTURAL DRAWING AND PER SOILS ENGINEER RECOMMENDATIONS.
  2. OVER EXCAVATE ENTIRE BUILDING AREA TO A DEPTH OF 3'-0" BELOW NATURAL SOIL OR FOUNDATION FOOTINGS TO A MINIMUM OF 8" BEYOND FOUNDATIONS AS RECOMMENDED BY THE SOILS ENGINEER.
  3. CONSTRUCT 30# 33 PVC PIPE (SIZE AS SHOWN) AT 1% MINIMUM SLOPE (MIN. PIPE SIZE).
  4. CONSTRUCT CONCRETE MOTOR COURT & STAMPED DRIVEWAY PER DETAIL 1, SHEET 4. USE EXISTING TOILE COLOR CONCRETE.
  5. EXISTING TO ROADWAY.
  6. GRADED SLOPE @ 1% MIN SLOPE.
  7. CONSTRUCT 4" THICK CONC. W/ #4 @ 18" O.C. OVER 4" THK SAND PER SOILS. REPORT WITH 8" THK DEEPEN EDGES.
  8. CONSTRUCT 18" HIGH SEAT WALL PER PER LANDSCAPE DETAIL.
  9. CONSTRUCT 5" BLOCK GARDEN WALL PER APHA STD. 801-1 TYPE 2. PER SEPARATE PERMIT.
  10. CONSTRUCT CONC. INTERLOCKING PAVERS PER DETAIL 7, SHEET 4.
  11. CONSTRUCT 8" HT. COLUMNS PER CITY OF AGOURA HILLS STD. PLANS. PER SEPARATE PERMIT.
  12. FOUNDATIONS PER SEPARATE PERMIT.

**NOTE TO CONTRACTOR:**  
FIELD VERIFY EXISTING GAS LINE IN BALKINS STREET. PROVIDE EXISTING GAS VALVE LOCATION PRIOR TO FINAL ACCEPTANCE.

PROPOSED WTR. MTR. VERIFY IN FIELD.

EX. A.C. BEAM TO REMAIN.

EXIST. LINE VERIFY IN FIELD.

- ABBREVIATIONS**
- ASPH ASPHALT
  - BDP BOARD FENCE
  - CLP CHAIN LINK FENCE
  - CLR CLEAR
  - CONC CONCRETE
  - ENR ENHANCEMENT
  - EDGE OF PAVEMENT
  - FL FLOW LINE
  - IP IRON PIPE
  - LAT LEAD AND TAG
  - N&T NAIL AND TAG
  - O/S OFFSET
  - WF WROUGHT IRON FENCE

**SLOPE ANALYSIS**

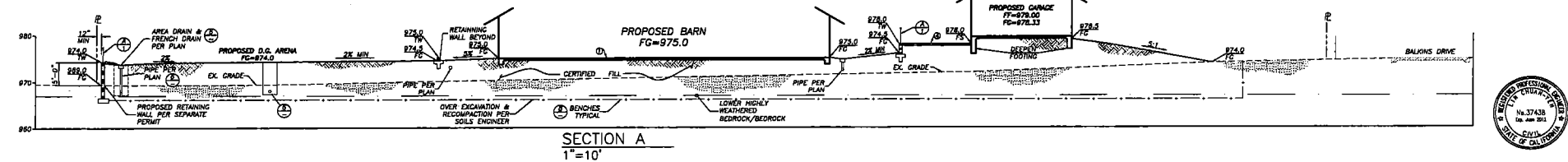
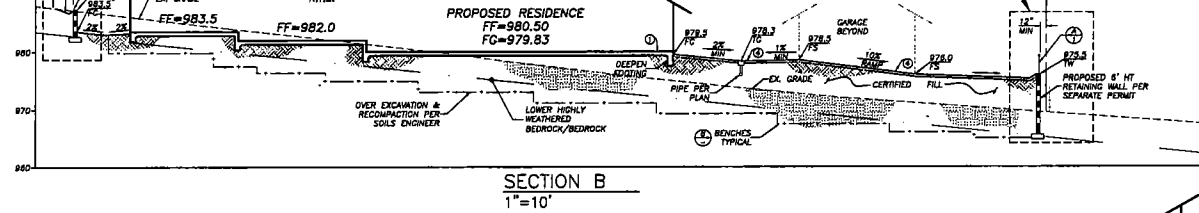
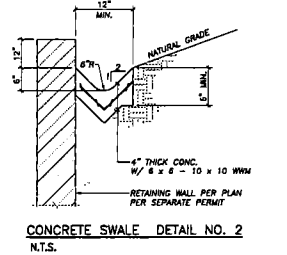
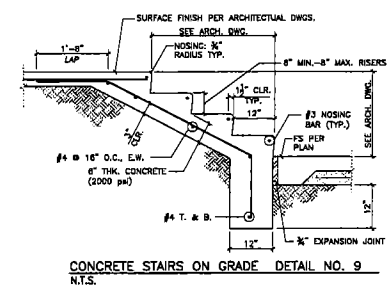
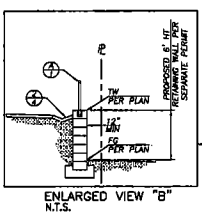
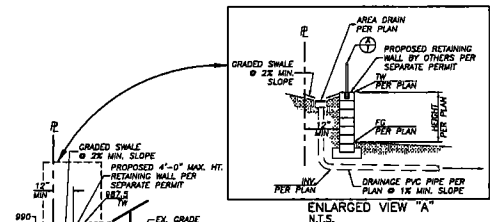
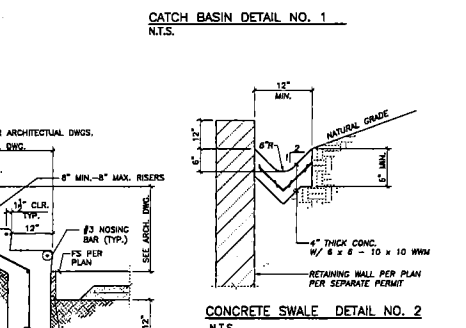
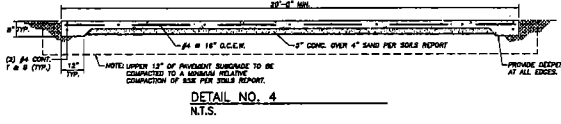
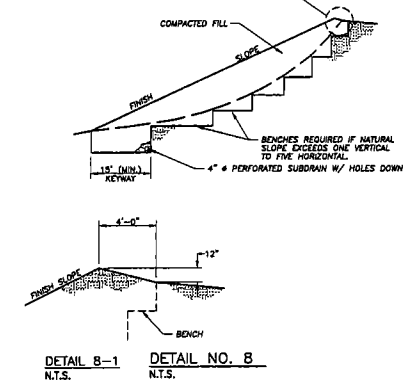
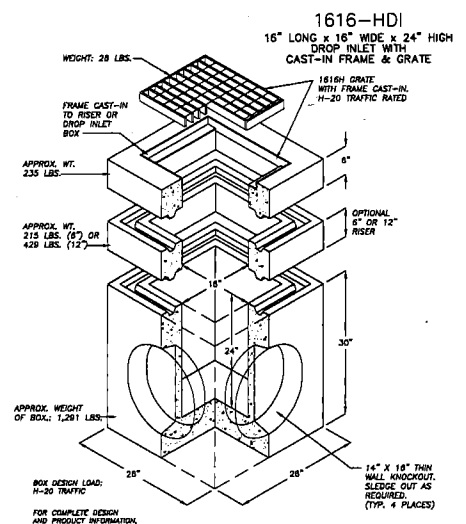
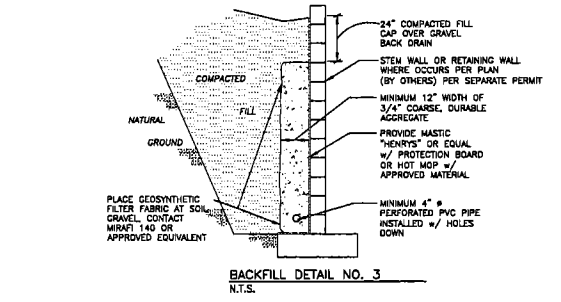
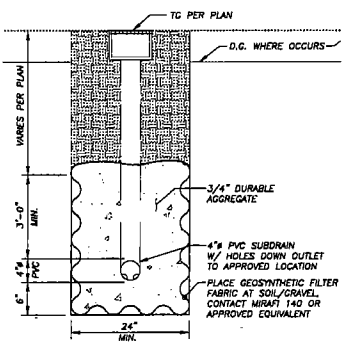
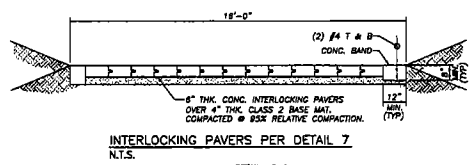
S = 1% X 100 = 2.2' 2.241' X 100 = 44.97225'  
 L = 2241' FT LENGTH OF CONTOUR  
 A = 44.97225' 30' FT. (NET AREA OF PARCEL)  
 S = 8.89%



**GEOTECHNICAL REPORT BY:**  
 CHEN HOLLAND INC.  
 DATED: DEC 13, 2008 & JAN. 23, 2012.  
 REPORT NO. G02007  
 IS A PART OF PLANS.

SCALE: 1"=10'

REV		SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	CITY OF AGOURA HILLS APPROVAL				<b>GRADING AND DRAINAGE PLAN</b> LOT 2, PARCEL 2 28080 BALKINS DRIVE AGOURA HILLS, CA	PROJECT NO. 12-SPR-003 SHEET 3 OF 7
PREPARED BY:		LIN QIAN YEH & ASSOCIATES 831 RANCHO ROAD THOUSAND OAKS, CA 91381 (805) 794-3559			PROJECT ENGINEER	RCE	DATE	REVIEWED BY			



PREPARED BY: <b>LIN CHUAN YEH &amp; ASSOCIATES</b> 851 RANCHO ROAD THOUSAND OAKS, CA. 91351 (805) 754-2559					CITY OF AGOURA HILLS APPROVAL PROJECT ENGINEER: <b>37438</b> RCE DATE: _____ REVIEWED BY: _____ DATE: _____ RAMIRO ADEVA III CITY ENGINEER DATE: _____							<b>CROSS SECTIONS AND DETAILS</b> LOT 2, PARCEL 98 26080 BALKINS DRIVE AGOURA HILLS, C.A. PROJECT NO. 12-SPR-003 SHEET 4 OF 7		
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE										

**WET WEATHER EROSION CONTROL PLAN (WWCEP) GENERAL NOTES:**

- IN CASE OF EMERGENCY, CALL OFFER DAYTON
- A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THERE ARE NO LONGER REQUIRED.
- GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DRAINAGE OPERATIONS.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
- DESTABILIZING BASINS MAY NOT BE REMOVED OR MADE IMPERMEABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NONSTORM WATER FROM THE PROJECT SITES AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY FORCES OF WIND OR RAIN.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND MUST BE KEPT IN THE KEYS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. OILS AND FUELS ARE TO BE KEPT IN CONTAINERS OF PROTECTED OR IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETURN CONCRETE WASTE ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMP'S ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF 0.25 INCHES OR GREATER OF PROTECTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECK LIST AND REPORT SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
- TRASH AND CONSTRUCTION-RELATED SOILED WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISTURB BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- AS THE ARCHITECT/ENGINEER OF RECORDS, I HAVE SELECTED APPROPRIATE BMP'S TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITY.

CIVIL ENGINEERS/ARCHITECTS SIGNATURE DATE

THE FOLLOWING NOTES MUST BE ON THE PLAN (OR SUBMITTED AS A SEPARATE DOCUMENT - PER PLAN APPROVAL).

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS TO CONTROL STORM WATER POLLUTIONS FROM SEDIMENT, EROSION AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS. I, OR MY REPRESENTATIVE, CONTRACTOR, DEVELOPER, OR ENGINEER WILL MAKE CERTAIN THAT ALL BMP SHOWN ON THIS PLAN WILL BE FULLY IMPLEMENTED, AND ALL EROSION CONTROL DEVICES WILL BE KEPT CLEAN AND FUNCTIONING. PERIODIC INSPECTIONS OF THE BMP'S WILL BE CONDUCTED AND A CURRENT LOG, SPECIFYING THE DATE, NATURE OF THE INSPECTION AND ANY REMEDIAL MEASURES, WILL BE KEPT AT THE CONSTRUCTION SITE AT ALL TIMES AND WILL BE AVAILABLE FOR THE REVIEW BY THE BUILDING OFFICIAL.

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED, AND I OBTAIN THE PERMISSION OF SUPERVISION AND AGREEMENTS WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL, PROPERLY TRAINED AND EVALUATED, ARE RESPONSIBLE TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION IS TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT SUBMITTING FALSE AND/OR INADEQUATE INFORMATION, FAILING TO UPDATE THE LOCAL SWPPP TO REFLECT CURRENT CONDITIONS, OR FAILING TO PROPERLY AND/OR ADEQUATELY IMPLEMENT THE LOCAL SWPPP MAY RESULT IN REVOCATION OF GRADING AND/OR OTHER PERMITS OR OTHER SANCTIONS PROVIDED BY LAW.

OWNER OR AUTHORIZED REPRESENTATIVE (PERMITS) DATE

**ADDITIONAL GENERAL NOTES**

- TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR REMOVED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
- WHEN THE INSPECTOR SO DIRECTS, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
- VELOCITY CHECK DAMS SHALL BE PROVIDED ACROSS THE OUTLETS OF ALL LOTS DRAINING INTO STREET.
- ALL FILLS SHALL BE GRADED TO PROMOTE DRAINAGE AWAY FROM THE EDGE OF THE FILL.
- STANDBY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORM.
- ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM BOTTOM TO TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING DOWNWARD. TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAGS BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:

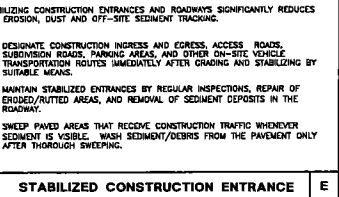
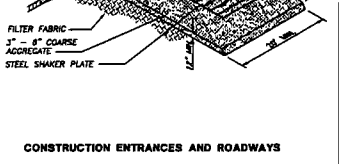
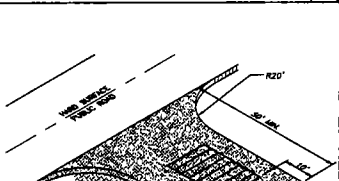
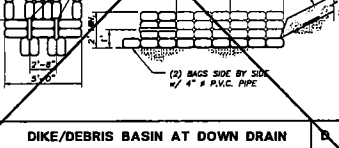
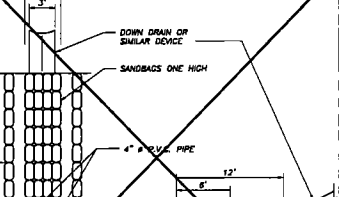
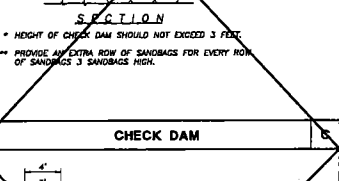
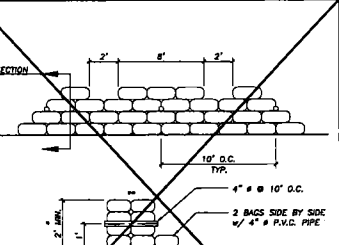
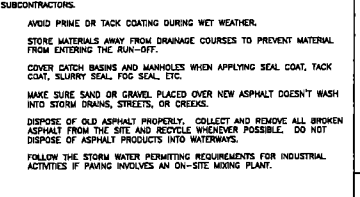
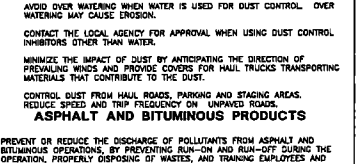
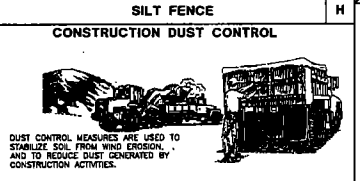
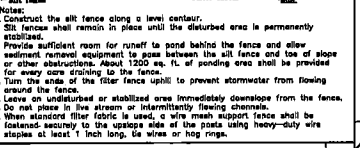
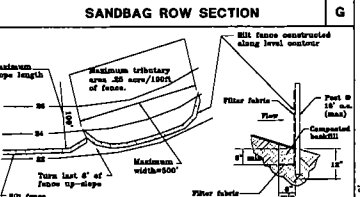
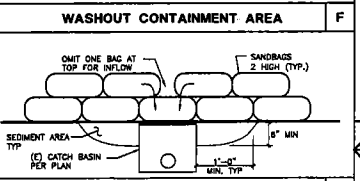
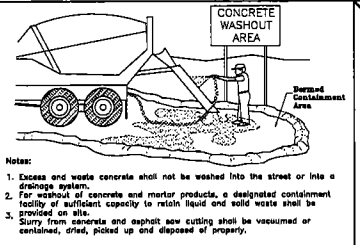
GRADE OF THE STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET

GRADE OF CHANNEL	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET

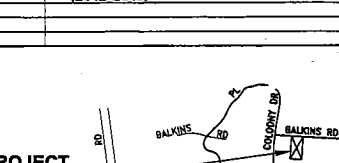
- AFTER SEWER AND UTILITY TRENCHES ARE BACK FILLED AND COMPACTED, THE CHANNEL OVER SUCH TRENCHES SHALL BE POUNDED SLIGHTLY TO PREVENT CHANGING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT IN THE CENTERLINE OF A CROWNED STREET.
- EXCEPT WHEN THE INSPECTOR DIRECTS OTHERWISE, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS FORECAST, AND SHALL BE MAINTAINED DURING THE RAINY SEASON FROM OCTOBER 1 TO APRIL 15.
- BRUSH AND GRASS COVER MAY NOT BE REMOVED MORE THAN 10 FEET ABOVE FILLS DURING DECEMBER 1 AND APRIL 15.
- ALL CUT & FILL SLOPES SHALL BE COVERED WITH 10 MIL PLASTIC SHEETING TO BE HELD IN PLACE WITH SANDBAGS (UNLESS PLANTED OR HYDROSEDED).
- ENOUGH SANDBAGS WILL BE STOCKPILED ON-SITE TO REPLACE THIS PLAN AS SHOWN PER PLAN. THOSE SANDBAGS SHOWN ON THIS PLAN THAT DO NOT IMPROVE GRADING WORK BEING DONE, WILL BE PLACED PER PLAN AND AS REQUIRED BY THE INSPECTORS (PUBLIC WORKS OR BUILDING & SAFETY) IN THE FIELD.

- EROSION CONTROL**
- EC1-SCHEDULING
  - EC2-PRESERVATION OF EXISTING VEGETATION
  - EC3-HYDRAULIC MULCH
  - EC4-HYDROSEEDING
  - EC5-SOIL BINDER
  - EC6-STRAW MULCH
  - EC7-GEOTEXTILES & MATS
  - EC8-WOOD MULCHING
  - EC9-EARTH DICES AND DRAINAGE SWALES
  - EC10-VELOCITY DISSIPATION DEVICES
  - EC11-SLOPE GRASS
  - EC12-STREAMBANK STABILIZATION
  - EC13-POLYPROPYLENE
- TEMPORARY SEDIMENT CONTROL**
- SE1-SILT FENCE
  - SE2-SEDIMENT BASIN
  - SE3-SEDIMENT TRAP
  - SE4-CHECK DAM
  - SE5-FIBER ROLLS
  - SE6-GRAVED BAG BERM
  - SE7-STREET SWEEPING AND VACUUMING
  - SE8-SANDBAG BARRIER
  - SE10-STORM DRAIN INLET PROTECTION
- WIND EROSION CONTROL**
- WE1-WIND EROSION CONTROL
- EQUIPMENT TRACKING CONTROL**
- TC1-STABILIZED CONSTRUCTION ENTRANCE EXIT
  - TC2-STABILIZED CONSTRUCTION ROADWAY
  - TC3-ENTRANCE/OUTLET TIRE WASH
- NON-STORED WATER MANAGEMENT**
- NS1-WATER CONSERVATION PRACTICES
  - NS2-DEWATERING OPERATIONS
  - NS3-PAVING AND CURB OPERATIONS
  - NS4-TEMPORARY STREAM CROSSING
  - NS5-GLASS WATER REDUCER
  - NS6-ALLOTT CONNECTION/DISCHARGE
  - NS7-PORTABLE WATER TREATMENT
  - NS8-VEHICLE AND EQUIPMENT CLEANING
  - NS9-VEHICLE AND EQUIPMENT FUELING
  - NS10-VEHICLE AND EQUIPMENT MAINTENANCE
  - NS11-FUEL DRIVING OPERATIONS
  - NS12-CONCRETE CURING
  - NS13-CONCRETE FINISHING
  - NS14-CONCRETE CURING WATER USE
  - NS15-DEMULSION ADJACENT TO WATER USE
  - NS16-TEMPERATURE CONTROL
- WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL**
- WM1-MATERIAL DELIVERY AND STORAGE
  - WM2-SPILL PREVENTION AND CONTROL
  - WM3-STOCKPILE MANAGEMENT
  - WM4-SOLID WASTE MANAGEMENT
  - WM5-HAZARDOUS WASTE MANAGEMENT
  - WM6-CONTAMINATION SOIL MANAGEMENT
  - WM7-CONCRETE WASTE MANAGEMENT
  - WM8-SANITARY/SEPTIC WASTE MANAGEMENT
  - WM10-LIQUID WASTE MANAGEMENT



**INDEX OF SHEETS**

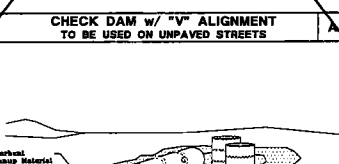
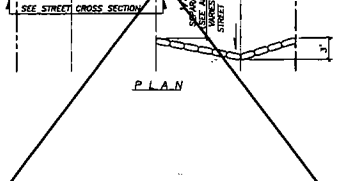
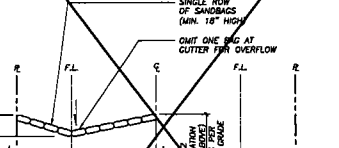
SHT.	DESCRIPTION
SHT. 5	COVER SHEET
SHT. 6	SWPCP/WWCEP
SHT. 7	ATTACHMENTS (2012-2013)



**CHECK DAM ROWS**

STREET GRADE	SEPARATION
< 5%	100' O.C.
5% - 10%	50' O.C.
> 10%	25' O.C.

**SINGLE ROW OF SANDBAGS (MIN. 18" HIGH)**



- Notes:**
- Fueling shall be performed in a designated area, away from drainage courses.
  - Appropriate cleanup material shall be on site and used immediately in the event of a spill.

**REVISIONS**

NO.	DESCRIPTION	DATE

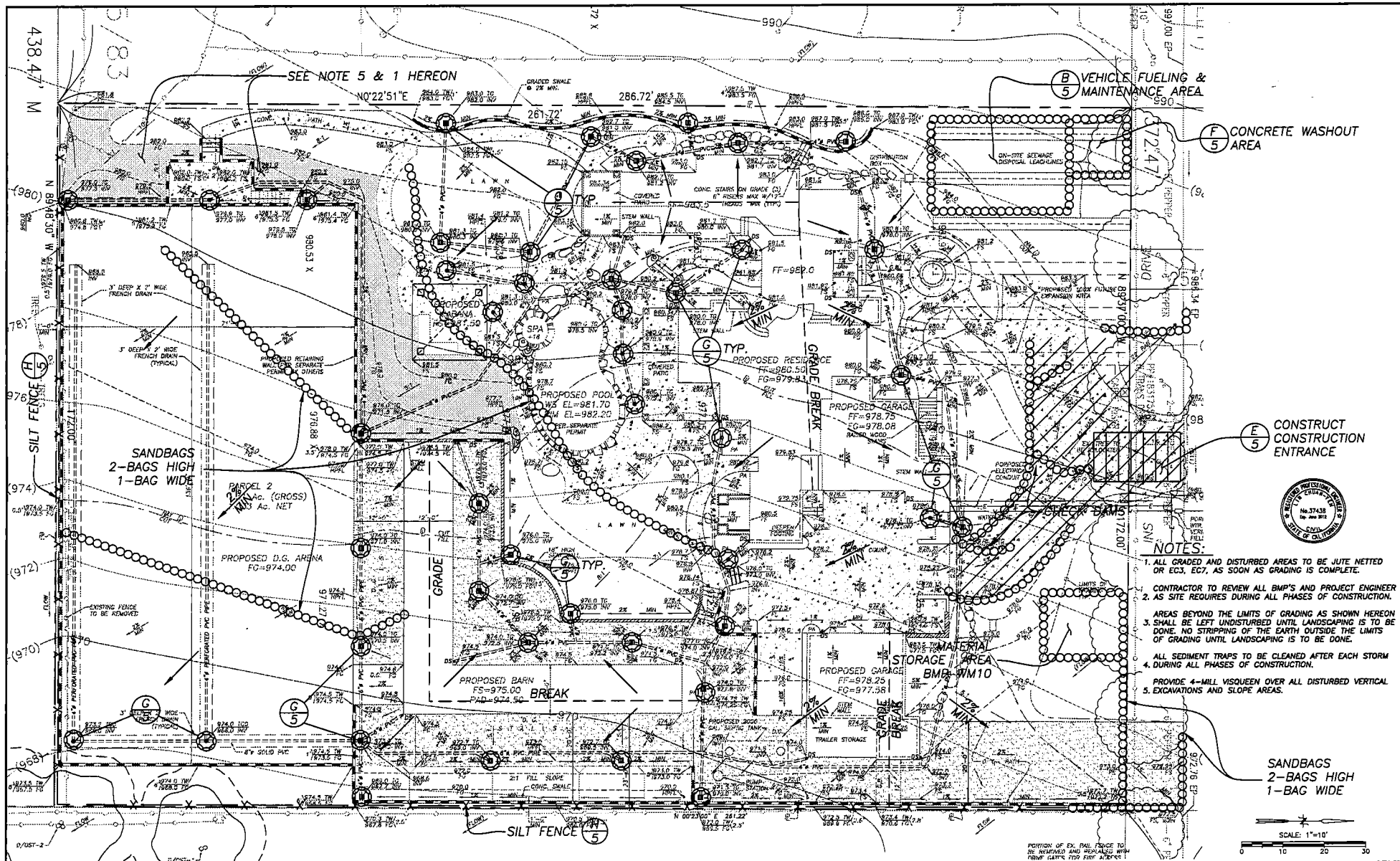


**LIN CHUAN YEH & ASSOCIATES**  
 851 RANCHO ROAD  
 THOUSAND OAKS, CA. 91361  
 (805) 794-3559

**LOT 2, PARCEL 98**  
 28080 BALKINS DRIVE  
 ACQUORA HILLS, CA.

**SWPCP & WWCEP WET WEATHER EROSION CONTROL PLAN**

DATE: 09-07-07  
 SCALE: N.T.S.  
 DRAWN: DR  
 JOB: 037-05  
 SHEET: 5  
 OF 7 SHEETS



- NOTES:**
1. ALL GRADED AND DISTURBED AREAS TO BE JUTE NETTED OR EOC3, EOT, AS SOON AS GRADING IS COMPLETE.
  2. AS SITE REQUIRES DURING ALL PHASES OF CONSTRUCTION CONTRACTOR TO REVIEW ALL BMP'S AND PROJECT ENGINEER.
  3. AREAS BEYOND THE LIMITS OF GRADING AS SHOWN HEREON SHALL BE LEFT UNDISTURBED UNTIL LANDSCAPING IS TO BE DONE. NO STRIPPING OF THE EARTH OUTSIDE THE LIMITS OF GRADING UNTIL LANDSCAPING IS TO BE DONE.
  4. ALL SEDIMENT TRAPS TO BE CLEANED AFTER EACH STORM DURING ALL PHASES OF CONSTRUCTION.
  5. PROVIDE 4-MILL VISQUEEN OVER ALL DISTURBED VERTICAL EXCAVATIONS AND SLOPE AREAS.



SANDBAGS  
2-BAGS HIGH  
1-BAG WIDE

SCALE: 1"=10'

0 10 20 30

PREPARED BY: LIN CHUAN YEH & ASSOCIATES 851 RANCHO ROAD THOUSAND OAKS, CA 91321 (805) 784-3358				CITY OF AGOURA HILLS APPROVAL						<b>EROSION CONTROL PLAN</b> LOT 2, PARCEL 98 28080 BALKINS DRIVE AGOURA HILLS, C.A.					
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	PROJECT ENGINEER	RCE	DATE	REVIEWED BY	DATE	RAMIRO ADEVA III CITY ENGINEER	DATE	8985 RCE NO.	08-30-12 EXP DATE	PROJECT NO. 12-SPR-001	SHEET 8 OF 7

DEPARTMENT OF BUILDING AND SAFETY

CITY OF AGOURA HILLS  
STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM  
EFFECTIVE AUGUST 3, 1999

PRIORITY PROJECTS

THIS HANDBOOK IS TO PROVIDE ASSISTANCE FOR APPLICANTS TO COMPLY WITH THE CITY'S STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM FOR PROJECTS CLASSIFIED AS PRIORITY PROJECTS. PROJECTS DEEMED TO BE CLASSIFIED AS PRIORITY PROJECTS ARE:

- SITES OF GREATER THAN TWO ACRES BUT LESS THAN FIVE ACRES OF DISTURBED SOIL;
- ADJOINING OR LOCATED IN ENVIRONMENTAL SENSITIVE AREAS; OR
- LOCATED IN DESIGNATED HILLSIDE AREAS.

THE REQUIREMENT TO IMPLEMENT A STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM IS BASED UPON THE PRIMARY OBJECTIVES SET FORTH IN THE 1987 AMENDMENTS OF FEDERAL CLEAN WATER ACT. UNDER THE FEDERAL CLEAN WATER ACT, EACH MUNICIPALITY THROUGHOUT THE NATION WHICH DISCHARGE ITS STORM DRAIN SYSTEM INTO THE WATERS OF THE UNITED STATES IS REQUIRED TO OBTAIN A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. THE CURRENT NPDES PERMIT ISSUED TO LOS ANGELES COUNTY AND 85 CITIES (INCLUDING THE CITY OF LOS ANGELES) BY THE LOS ANGELES REGIONAL WATER QUALITY CONTROL BOARD ON JULY 15, 1998 CONTAIN A REQUIREMENT FOR THE COUNTY AND 85 CITIES TO DEVELOP AND IMPLEMENT A DEVELOPMENT CONSTRUCTION ACTIVITIES FROM ENTERING THE STORM DRAIN SYSTEM.

REQUIREMENTS  
I. LOCAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP)  
PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT, APPLICANTS MUST PREPARE AND SUBMIT A LOCAL STORM WATER POLLUTION PREVENTION PLAN. THE LOCAL SWPPP IS TO SHOW ALL BEST MANAGEMENT PRACTICES (BMPs) NECESSARY TO CONTROL AND PREVENT DISCHARGE OF POLLUTANTS, GENERATED BY THE CONSTRUCTION ACTIVITIES SPECIFIC TO EACH SITE, INTO THE STORM DRAIN SYSTEM. A COPY OF THE LOCAL SWPPP SHALL BE ATTACHED TO THE FIELD SET OF PLANS AND KEPT ON THE PROJECT SITE AT ALL TIMES AFTER THE START OF CONSTRUCTION.

WHEN PREPARING A LOCAL SWPPP, THE PREPARER SHOULD ASSESS SITE CONDITIONS, IDENTIFY CONSTRUCTION ACTIVITIES WITH THE POTENTIAL TO CAUSE STORM WATER POLLUTION, AND THEN IDENTIFY BMPs THAT WILL BEST SUIT THE CONSTRUCTION ACTIVITIES. A LISTING BMPs IS CONTAINED IN THE "DEVELOPMENT BEST MANAGEMENT PRACTICES HANDBOOK, PART A CONSTRUCTION ACTIVITIES" PUBLISHED BY THE STORMWATER MANAGEMENT DIVISION.

THE LOCAL SWPPP SHALL CONTAIN THE FOLLOWING:

- THE ADDRESS OF THE PROJECT;
- A BRIEF DESCRIPTION OF THE PROJECT;
- THE OWNER/DEVELOPER'S NAME, ADDRESS, PHONE NUMBER, AND CONTACT PERSON(S);
- CONTRACTOR'S NAME, ADDRESS, PHONE NUMBER, AND CONTACT PERSON(S), IF AVAILABLE AT ISSUANCE OF PERMIT;
- A LIST OF MAJOR CONSTRUCTION MATERIALS, WASTE, AND ACTIVITIES AT THE PROJECT SITE;
- A SITE PLAN (A CONSTRUCTION OR SITE PLAN MAY BE USED) WITH THE FOLLOWING:
  - THE PROJECT BOUNDARY AND/OR LIMITS OF GRADING.
  - THE FOOTPRINT OF EXISTING AND PROPOSED BUILDING(S) OR STRUCTURE(S).
  - SPECIFIC LOCATIONS WHERE CONSTRUCTION MATERIALS, VEHICLES, AND EQUIPMENT WILL BE STORED, USED, MAINTAINED, AND DISPOSED, ALONG WITH LOCATIONS OF STRUCTURAL MEASURES THAT WILL BE USED TO CONTAIN THESE MATERIALS ON-SITE.
  - EXISTING AND FINISH GRADES OF THE SITE.
  - THE LOCATION(S) WHERE RUNOFF FROM THE SITE MAY ENTER STORM DRAIN(S), CHANNELS, AND/OR RECEIVING WATER(S).
  - A LISTING OF BMPs SELECTED.
  - LOCATION(S) OF SELECTED BMPs WHERE APPROPRIATE.

II. ATTACHMENTS TO LOCAL SWPPP

- CERTIFICATION--PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT, A CERTIFICATION SIGNED BY THE OWNER OR AUTHORIZED AGENT OF THE OWNER MUST BE SUBMITTED. SUCH CERTIFICATION SHALL STATE THAT THE LOCAL SWPPP SHALL BE IMPLEMENTED YEAR-ROUND, THE SIGNED CERTIFICATION SHALL BE ATTACHED TO THE APPROVED SWPPP. (ATTACHMENT 1)
- GENERAL NOTES (ATTACHMENT 2)
- SELF INSPECTION--TO ENSURE THAT BMPs ARE PROPERLY IMPLEMENTED AND FUNCTION EFFECTIVELY, AND TO IDENTIFY MAINTENANCE AND REPAIR NEEDS, INSPECTION BY THE DEVELOPERS OR CONTRACTORS IS REQUIRED. SUCH INSPECTIONS SHALL BE RECORDED ON THE ATTACHED FORM AND MADE AVAILABLE TO CITY INSPECTORS WHEN REQUESTED. (ATTACHMENT 3)
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED IN TO THE PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.

AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORMWATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME: ERICK MASON  
(OWNER OR AUTHORIZED AGENT OF THE OWNER)

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
(OWNER OR AUTHORIZED AGENT OF THE OWNER)

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM  
ON SITE SELF-INSPECTION CHECKLIST

TO BE ATTACHED TO THE LOCAL SWPPP

INSPECTED BY: \_\_\_\_\_

PROJECT ADDRESS: 28080 BALKINS DRIVE

CONTRACTOR: \_\_\_\_\_

DATE: \_\_\_\_\_

CHECK "YES" OR "NO" OR "N/A" IF NOT APPLICABLE

YES NO N/A

- \_\_\_\_\_ 1. HAS THERE BEEN AN ABSENCE OF RAIN SINCE THE LAST INSPECTION?
- \_\_\_\_\_ 2. ARE ALL SEDIMENT BARRIERS (E.G., SANDBAGS, STRAW BALES, AND SILT FENCES) IN PLACE ACCORDANCE WITH THE LOCAL SWPPP OR WNECP AND ARE THEY FUNCTIONING PROPERLY?
- \_\_\_\_\_ 3. IF PRESENT, ARE ALL EXPOSED SLOPES PROTECTED FROM EROSION THROUGH THE IMPLEMENTATION OF ACCEPTABLE SOIL STABILIZATION PRACTICES?
- \_\_\_\_\_ 4. IF PRESENT, ARE ALL SEDIMENT TRAPS BASICS INSTALLED AND FUNCTIONING PROPERLY? (IF APPLICABLE)
- \_\_\_\_\_ 5. ARE ALL MATERIAL HANDLING AND STORAGE AREAS REASONABLY CLEAN AND FREE OF SPILLS, LEAKS, OR OTHER DELETERIOUS MATERIALS?
- \_\_\_\_\_ 6. ARE ALL EQUIPMENT STORAGE AND MAINTENANCE AREA REASONABLY CLEAN AND FREE OF SPILLS, LEAKS OR ANY OTHER DELETERIOUS MATERIALS?
- \_\_\_\_\_ 7. ARE ALL MATERIALS AND EQUIPMENT PROPERLY COVERED?
- \_\_\_\_\_ 8. ARE ALL EXTERNAL DISCHARGE POINTS (I.E., OUTFALLS) REASONABLY FREE OF ANY NOTICEABLE POLLUTANT DISCHARGES?
- \_\_\_\_\_ 9. ARE ALL INTERNAL DISCHARGE POINTS (I.E., STORM DRAIN INLETS) PROVIDED WITH INLET PROTECTION?
- \_\_\_\_\_ 10. ARE ALL EXTERNAL DISCHARGE POINTS REASONABLY FREE OF ANY SIGNIFICANT EROSION OR SEDIMENT TRANSPORT?
- \_\_\_\_\_ 11. ARE ALL BMPs IDENTIFIED ON THE PLAN INSTALLED IN THE PROPER LOCATION AND ACCORDING TO THE SPECIFICATIONS FOR THE PLAN?
- \_\_\_\_\_ 12. ARE ALL STRUCTURAL CONTROL PRACTICES IN GOOD REPAIR AND MAINTAINED IN FUNCTIONING ORDER?
- \_\_\_\_\_ 13. ARE ALL ON-SITE TRAFFIC ROUTES, PARKING, AND STORAGE OF EQUIPMENT AND SUPPLIES RESTRICTED TO AREAS DESIGNATED IN THE PLAN FOR THOSE USES?
- \_\_\_\_\_ 14. ARE ALL LOCATIONS OF TEMPORARY SOIL STOCKPILES OR CONSTRUCTION MATERIALS IN APPROVED AREAS?
- \_\_\_\_\_ 15. ARE ALL SEEDED OR LANDSCAPED AREAS PROPERLY MAINTAINED?
- \_\_\_\_\_ 16. ARE SEDIMENT TREATMENT CONTROLS IN PLACE AT DISCHARGE POINTS FROM THE SITE?
- \_\_\_\_\_ 17. ARE SLOPES FREE OF SIGNIFICANT EROSION?
- \_\_\_\_\_ 18. ARE ALL POINTS OF INGRESS AND EGRESS FROM THE SITE PROVIDED WITH STABILIZED CONSTRUCTION ENTRANCES?
- \_\_\_\_\_ 19. IS SEDIMENT, DEBRIS, OR MUD BEING CLEANED FROM PUBLIC ROADS AT INTERSECTIONS WITH SITE ACCESS ROADS?
- \_\_\_\_\_ 20. DOES THE PLAN REFLECT CURRENT SITE CONDITIONS?

INSPECTION LOG

THE SITE SHALL BE INSPECTED BEFORE AND AFTER STORM EVENTS WITH 0.25 INCHES OR GREATER OF ACTUAL PRECIPITATION PREDICTED WITH A PROBABILITY OF 40% OR GREATER AND DOCUMENTED ON THE CONSTRUCTION SITE INSPECTION CHECKLIST. INCIDENTS OF NON-COMPLIANCE MUST BE REPORTED TO THE ENGINEER.

DATE	INSPECTOR	TYPE OF INSPECTION			OBSERVATIONS
		ROUTINE	PRE-STORM	POST-STORM	

JOB ADDRESS: 28080 BALKINS DRIVE PERMIT #: \_\_\_\_\_

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM  
PRIORITY PROJECTS  
CERTIFICATION STATEMENT

AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THE APPROXIMATE BMP'S WILL BE IMPLEMENTED IS EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT CONTRACTOR IS AWARE THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: ERICK MASON  
(OWNER OR AUTHORIZED AGENT OF THE OWNER)

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
(OWNER OR AUTHORIZED AGENT OF THE OWNER)

LOCAL SWPPP BMP SELECTION WORKSHEET

BMP DESCRIPTION	WILL BMP BE USED?		COMMENTS
	YES	NO	
<b>SITE PLANNING CONSIDERATIONS</b>			
SCHEDULING	EC1	<input checked="" type="checkbox"/>	
PRESERVING OF EXISTING VEGETATION	EC2	<input checked="" type="checkbox"/>	N/A, ALL VEGETATION REMOVED TO BE REPLACED WITH NEW PLANTING & SOIL
<b>CONSTRUCTION PRACTICES</b>			
DEWATERING OPERATIONS	NS2	<input checked="" type="checkbox"/>	NOT REQUIRED BY SOILS ENGINEER
PAVING OPERATIONS	NS3	<input checked="" type="checkbox"/>	
STRUCTURE CONSTRUCTION & PAINT	NS4	<input checked="" type="checkbox"/>	
DUST CONTROL	NS5	<input checked="" type="checkbox"/>	
<b>VEHICLE &amp; EQUIPMENT MANAGEMENT</b>			
VEHICLE & EQUIP. CLEANING	NS9	<input checked="" type="checkbox"/>	
VEHICLE & EQUIP. FUELING	NS9	<input checked="" type="checkbox"/>	
VEHICLE & EQUIP. MAINTENANCE	NS10	<input checked="" type="checkbox"/>	
<b>TRACKING CONTROL</b>			
STABILIZED CONSTRUCTION ENTRANCE	TC1	<input checked="" type="checkbox"/>	
<b>CONTRACTOR TRAINING</b>			
EMPLOYEE/SUBCONTRACTOR TRNG.	CT1	<input checked="" type="checkbox"/>	
<b>MATERIAL MANAGEMENT</b>			
MATERIAL DELIVERY AND STORAGE	WM10	<input checked="" type="checkbox"/>	
MATERIAL USE	WM11	<input checked="" type="checkbox"/>	
SPILL PREVENTION AND CONTROL	WM12	<input checked="" type="checkbox"/>	
<b>WASTE MANAGEMENT</b>			
SOLID WASTE MANAGEMENT	WM20	<input checked="" type="checkbox"/>	
HAZARDOUS WASTE MANAGEMENT	WM21	<input checked="" type="checkbox"/>	
CONTAMINATED SOIL MANAGEMENT	WM22	<input checked="" type="checkbox"/>	
CONCRETE WASTE MANAGEMENT	WM23	<input checked="" type="checkbox"/>	
SANITARY/SEPTIC WASTE MANAGEMENT	WM24	<input checked="" type="checkbox"/>	

JOB ADDRESS: 28080 BALKINS DRIVE PERMIT #: \_\_\_\_\_

DEPARTMENT OF BUILDING AND SAFETY  
MINIMUM REQUIREMENTS FOR CONSTRUCTION PROJECTS/  
CERTIFICATION STATEMENT

THE FOLLOWING IS INTENDED AS AN ATTACHMENT TO THE CONSTRUCTION/GRADING PLANS AND REPRESENT THE MINIMUM STANDARDS OF GOOD HOUSEKEEPING WHICH MUST BE IMPLEMENTED ON ALL SITES CLASSIFIED AS DEVELOPMENT CONSTRUCTION PROJECTS.

DEVELOPMENT CONSTRUCTION PROJECTS ARE DEFINED AS PROJECTS WHERE THERE IS LESS THAN TWO ACRES OF DISTURBED SOIL, NOT LOCATED IN DESIGNATED HILLSIDE AREAS, AND NOT ON OR ADJACENT TO AN ENVIRONMENTAL SENSITIVE AREA. NOTE: A PROJECT IN A DESIGNATED HILLSIDE AREA WITH LESS THAN TWO ACRES OF DISTURBED SOIL AND NOT IN OR ADJACENT TO AN ENVIRONMENTAL SENSITIVE AREA, MAY BE CLASSIFIED AS A DEVELOPMENT CONSTRUCTION PROJECT IF THE GRADING PRE-INSPECTION (GPI) IS NOT REQUIRED OR THE ENTIRE LOT HAS A SLOPE OF TEN PERCENT OR LESS.

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ONSITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ONSITE UNTIL THEY CAN BE DISPOSED OF AS SOILD WASTE.
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.



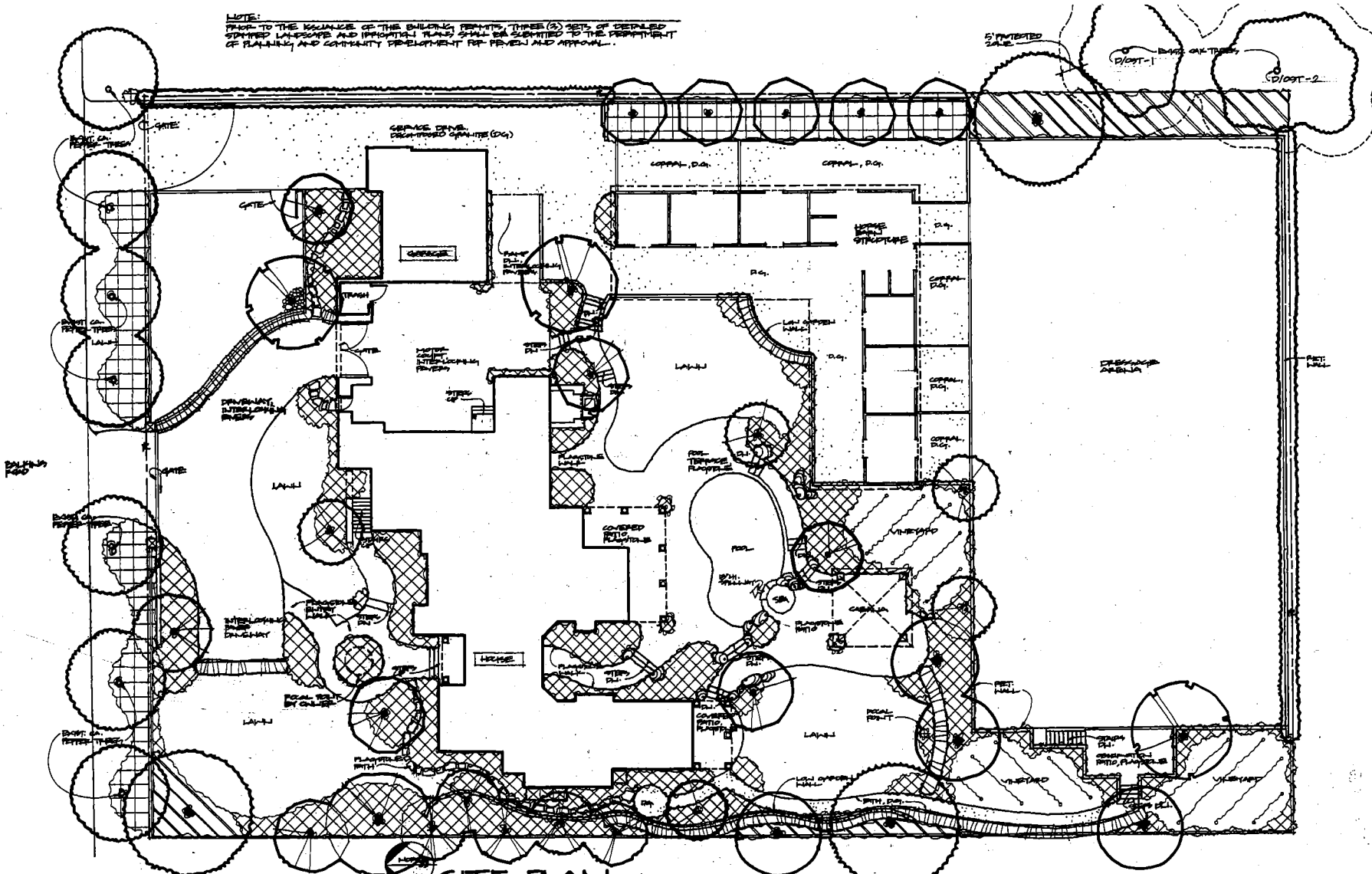
#	REVISIONS	DATE

GRADING PLAN PREPARED BY:  
LIN CHUAN YEH & ASSOCIATES  
851 RANCHO ROAD  
THOUSAND OAKS, CA. 91361  
(805) 794-3559

REGISTERED ENGINEER NO. 37438 DATE \_\_\_\_\_

CITY OF AGOURA HILLS	
ATTACHMENTS	
LOT 2, PARCEL 98	
28080 BALKINS DRIVE, AGOURA HILLS, C.A.	
DRAWN BY / DATE	CHECKED BY / DATE
LY	LY
SHEET 7 OF 7	

NOTE:  
 IN ACCORDANCE WITH THE BUILDING PERMITS, THREE (3) SETS OF DETAILED  
 SITE PLAN, LANDSCAPE AND IRRIGATION PLAN, SUBMITTED TO THE PERMITTING  
 OF BUILDING AND CONSTRUCTION DEPARTMENT FOR REVIEW AND APPROVAL.



**PLANT KEY:**

- |  |   |  |  |  |   |  |  |
|--|---|--|--|--|---|--|--|
|  | APICATUS ONEDO COMPACTA, MULTI, 24" BOX<br>DWAFF STAMBEREY TREE (5) |  | OLEA EUROPEA, 36" BOX<br>OLIVE (4)                 |  | CITRUS PINEAPPLE TREE GREEN, 24" BOX<br>EVERGREEN PLM (1) |  | LIQUIDUM JAPONICA 'TESKANUM' / FINNET, 30 GAL, 1' D.C.                         |
|  | FRAXIA SELLANIANA, MULTI, 18 GAL<br>PLUMBAGE OLIVE (3)              |  | PISTIA PALMARIUM, 24" BOX<br>EVERGREEN PLM (5)     |  | FRUIT TREE, 15 GAL<br>TO BE SELECTED (5)                  |  | FRAXIA CAROLINIANA 'BRIGHT N TIGHT' / CAROLINA LABEL<br>SHRUB, 15 GAL, 1' D.C. |
|  | JACARANDA MINIFOLIA, 24" BOX<br>JACARANDA (3)                       |  | QUERCUS AGROPHILA, 36" BOX<br>CENTRAL LAKE OAK (3) |  |   |  | BRONZE OLEA EUROPEA / KAMEL CRESCENT, 10 GAL, 1' D.C.                          |
|  |   |  |  |  |   |  | BRONZE OLEA EUROPEA / KAMEL CRESCENT, 10 GAL, 1' D.C.                          |
|  |   |  |  |  |   |  | FRAXIA CAROLINIANA 'BRIGHT N TIGHT' / CAROLINA LABEL<br>SHRUB, 15 GAL, 1' D.C. |
|  |   |  |  |  |   |  | FRAXIA CAROLINIANA 'BRIGHT N TIGHT' / CAROLINA LABEL<br>SHRUB, 15 GAL, 1' D.C. |

**MILLIKIN**  
**TURNER-LANDSCAPE ARCHITECTURE**  
 P.O. BOX 2224  
 PALMDALE, CALIFORNIA 93528  
 910.454.8902

**DEKAY**  
**RESIDENCE**  
 20400 BULLHORN DRIVE, ANAHEIM HILLS,  
 CA 92804  
 L.P.L. # 1555-1989-008

**LANDSCAPE PLAN**  
 SCALE: AS NOTED

DATEWAY 6/12  
 REVISIONS:  
 DATE:  
 8/27/12

**LI**



**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 12-SPR-003 AND  
OAK TREE PERMIT CASE NO. 12-OTP-007**

**FOR THE PROPERTY LOCATED AT  
28080 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT D**

**GEODYNAMICS LETTER OF RECOMMENDATION**

Date: March 29, 2012  
GDI #: 12.00103.0131

## CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Renee Madrigal

Project Location: 28080 Balkins Drive, Agoura Hills, California.

Building & Safety #: 12-SPR-003 & 12-OTP-007

Geotechnical Report: Grover Hollingsworth and Associates, Inc. (2012), "Geologic and Soils Engineering Update and Plan Review Letter, Proposed Residence, Swimming Pool, Dressage Arena, Retaining Walls and Stables, Portion of Lot 23, Parcel Map R.S. 25-83, Balkins Drive, Los Angeles (sic), California," GH15432-G, dated January 25, 2012.

References: See attached list.

Plans: Arc Design Group, Inc. (2012), "Architectural Drawings, Dayan Residence, 28080 Balkins Drive, Agoura Hills, California, 91301, Sheets A1.1, A1.1a, A2.1, A2.2, A3.1, A5.1, A6.1, A6.2, A7.1, and A7.2," Dated February 22, 2012.  
Lin Chuan Yeh & Associates (2007), "Development Plans, Lot 2, P M 322-12-13, 28080 Balkins Drive, Agoura Hills, CA, Sheets 1 through 7," Printing Date: July 2007.

Previous Reviews: May 20, 2005 and June 15, 2005 (by BYA).

### FINDINGS

Geotechnical Report

- Acceptable as Presented with a Condition  
 Response Required

### REMARKS

Grover Hollingsworth and Associates, Inc. (GHA; consultant) provided the above-referenced update report for the proposed development at the site located at 28080 Balkins Drive, City of Agoura Hills, California. The proposed development includes the construction of a single-family residence, swimming pool, dressage arena, retaining walls, and stable. The update report indicates that there are no significant changes to the proposed development or geotechnical conditions at the site relative to documents in the referenced reports and plans in attached list of references. Bing Yen & Associates, Inc. (BYA), the former geotechnical reviewers for the City reviewed the previously prepared geotechnical reports for the site (see attached list of references) and approved the project in a review letter dated June 15, 2005.

The City of Agoura Hills – Planning Department reviewed the update report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon the City's review, we recommend approval of Case No. 12-SPR-003/12-OTP-007 provided the following condition of approval is complied with. Plan-Check comments should be addressed in Building & Safety Plan Check. A separate geotechnical submittal is not required for plan-check comments.

### Condition of Approval

If any on-site infiltration system is proposed to be installed at the site (for compliance with the MS4 requirements), the consultant should perform all necessary testing for the design of the infiltration system. The



locations of on-site infiltration areas should be delineated on the plans, and the consultant should evaluate the potential for adverse impact on the proposed development (and adjacent development if necessary) due to the proposed on-site infiltration system. Additional mitigation measures should be recommended as necessary.

#### **Plan-Check Comments**

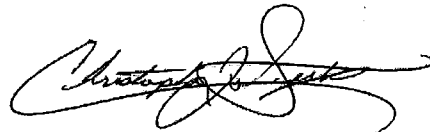
1. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The following note must appear on the grading and foundation plans: *"All retaining wall excavations shall be reviewed by the project engineering geologist for the presence of adversely oriented joint surfaces. Adverse surfaces shall be evaluated and supported in accordance with recommendations of the project geotechnical engineer."*
3. The grading plan should include the limits and depths of overexcavation for the swimming pool, the road and flatwork areas as recommended by the Consultant.
4. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
5. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
6. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
7. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
8. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
9. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,  
GeoDynamics, INC.

*Ali A. Haq*

Ali Abdel-Haq  
Geotechnical Engineering Reviewer  
GE 2308 (exp. 12/31/13)



Christopher J. Sexton  
Engineering Geologic Reviewer  
CEG 1441 (exp. 11/30/12)

## **REFERENCES**

### **Geotechnical Reports**

Grover Hollingsworth and Associates, Inc. (2005), "Response to Geotechnical Review Sheet, Portion of Lot 23, Parcel Map R.S. 25-83, Balkins Drive, Agoura Hills, California," GH12097-G, dated June 9, 2005.

Grover Hollingsworth and Associates, Inc. (2004), "Geologic and Soils Engineering Update and Plan Review, Proposed Residence, Swimming Pool, Dressage Arena, Retaining Walls and Stables, Portion of Lot 23, Parcel Map R.S. 25-83, Balkins Drive, Agoura Hills, California," GH12097-G, dated December 13, 2004.

### **Plans:**

Arc Design Group, Inc. (2005), "Architectural Drawings, Ewing Residence, 28080 Balkins Drive, Agoura Hills, California," Sheets A1.1 (20-scale), A6.1, and A6.2 (4-Scale), March 30, 2005.



**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 12-SPR-003 AND  
OAK TREE PERMIT CASE NO. 12-OTP-007**

**FOR THE PROPERTY LOCATED AT  
28080 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT E**

**ENVIRONMENTAL DETERMINATION**

## Notice of Exemption

To: [ ] Office of Planning and Research  
1400 Tenth Street, Room 121  
Sacramento, Ca 95814

From: City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, CA 91301

[ ] County Clerk  
County of Los Angeles  
Los Angeles County Clerk  
12400 E. Imperial Hwy.  
Norwalk, CA 90659

**Project Title:** Dayan Single-Family Residence (Case Nos. 12-SPR-003 and 12-OTP-007)

**Project Location-Specific:** 28080 Balkins Drive (APN 2055-023-098)

**Project Location-City:** City of Agoura Hills

**Project Location-County:** Los Angeles

**Description of Nature, Purpose, and Beneficiaries of Project:** The 1.03-acre project is currently vacant. A 4,037 square foot, two-story, single-family home is proposed along with a 701 square-foot attached two-car garage and a 768 square foot detached two-car garage/storage/workshop. The request is for a Site Plan Review.

**Name of Public Agency Approving Project:** City of Agoura Hills

**Name of Person or Agency Carrying Out Project:** ARC Design Group, Inc.

**Exempt Status:** (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
- Emergency Project (14 Cal Code of Regs. Sec. 15269(b),(c), (d) and (e)). State subsection letter
- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3. New Construction or Conversion of Small Structures
- No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

**Reasons why project is exempt:** The project consists of the construction of one single-family residence, and associated garages. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state designated scenic highway area; 3) a hazardous waste site; or 4) an historical resource area.

**Lead Agency Contact Person:** Renee Madrigal, Associate Planner, City of Agoura Hills

**Area Code/Telephone/Extension:** (818) 597-7339

Signature: Renee Madrigal Date: 4/3/12 Title: Associate Planner



**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 12-SPR-003 AND  
OAK TREE PERMIT CASE NO. 12-OTP-007**

**FOR THE PROPERTY LOCATED AT  
28080 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT F**

**VICINITY MAP**

SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 12-SPR-003  
AND OAK TREE PERMIT CASE NO. 12-OTP-007  
(A.P.N. 2055-023-098 - Dayan)





**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 12-SPR-003 AND  
OAK TREE PERMIT CASE NO. 12-OTP-007**

**FOR THE PROPERTY LOCATED AT  
28080 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT G**

**PHOTOGRAPHS OF THE SURROUNDINGS**

BALKING DRIVE

77' (PRIVATE AND FUTURE STREET)

200.47' 372.68' 372.47' 172.00' 172.00' 25.00'

200.47

372.47

25.00

NOT A PART

NOT A PART

PARCEL 2  
1.131 ACRES (GROSS)  
1.033 ACRES (NET)

N0°22'51"E 286.72'

261.72'

BARN  
RS 25/83

N 89°47'00" W 438.47' M

N 43°58'58" R9

6

7

8

5

B

9

10

11

A

2

1

4

OVER HANG  
BARN

LOT 24  
RS 25/83

SITE PHOTO KEY PLAN

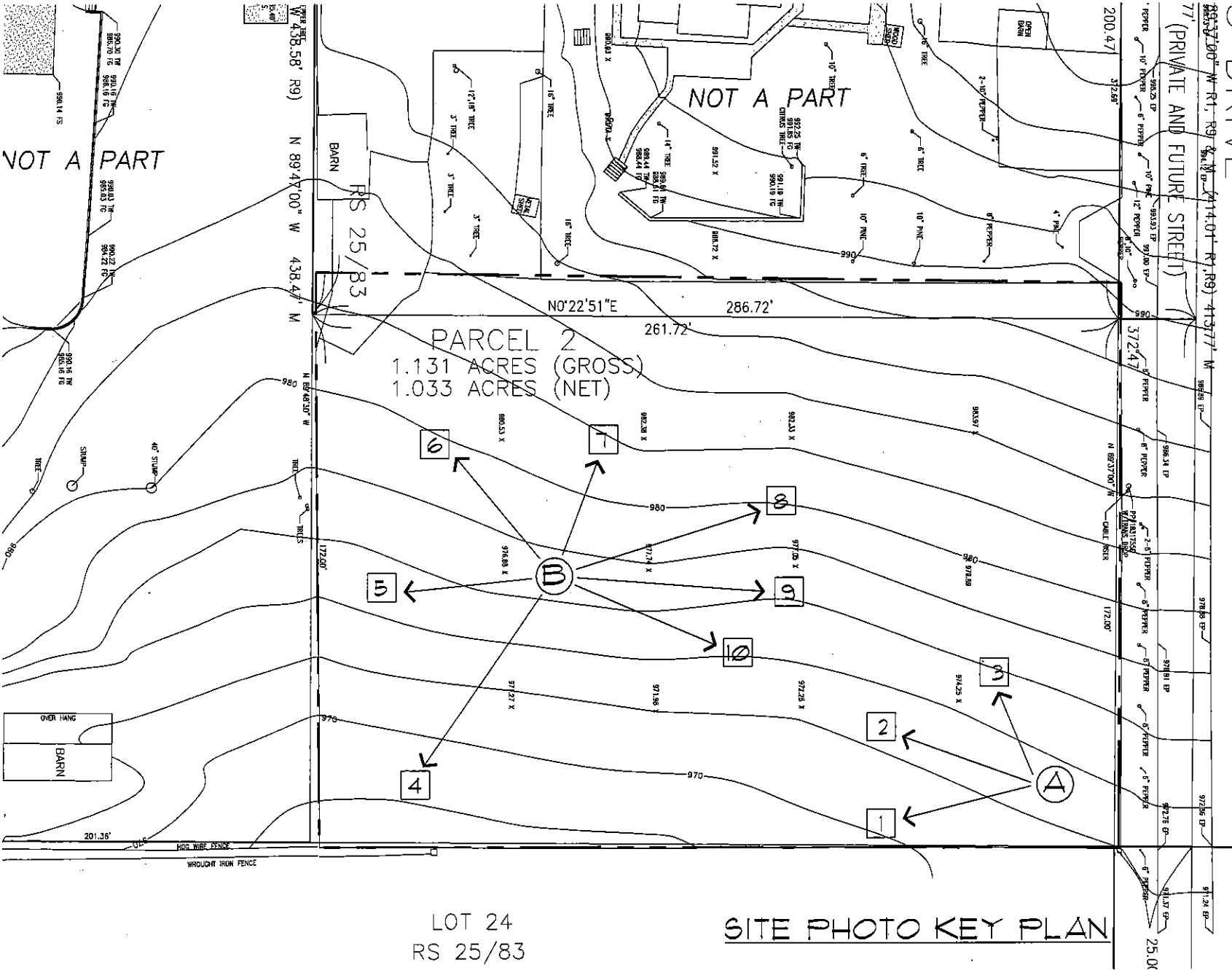






Photo 1 A



Photo 2 **A**



Photo 3 A



Photo 4 B



Photo 5 B



Photo 6 B



Photo 7 **B**



Photo 8 B





Photo 9 B



Photo 10 **B**



**SITE PLAN/ARCHITECTURAL REVIEW  
CASE NO. 12-SPR-003 AND  
OAK TREE PERMIT CASE NO. 12-OTP-007**

**FOR THE PROPERTY LOCATED AT  
28080 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT H**

**OAK TREE REPORT**



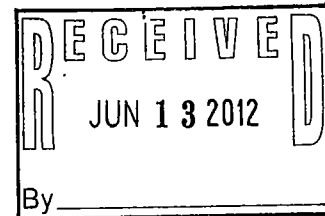
Richard W. Campbell  
 ASLA BSLA  
 Landscape Architect  
 Calif. #1099 - Nov. #14  
 (805) 575-1010  
 P.O. Box 6192  
 Thousand Oaks, Calif. 91320

# OAK TREE REPORT

DAYAN RESIDENCE

January 30, 2012 (rev. 5-30-12)

Ofer Dayan  
 28080 Balkins Drive  
 Agoura Hills, California 91301  
 Attn.: Ofer



**SUBJECT SITE:**

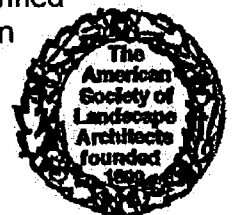
**DAYAN RESIDENCE**  
**28080 BALKINS DRIVE IN, THE "OLD AGOURA" AREA**  
**OF THE CITY OF AGOURA HILLS**

**GENERAL STATEMENT:**

On January 28, 2012, an Oak Tree "survey" was conducted at the Subject Site. A ground level field inventory and external details (caliper size, physical and aesthetic character) were recorded, based upon the existing conditions. Two (2) off-site Oak Trees (D/OST-1 and D/OST-2) were "surveyed" and evaluated for their recent present condition based on the Owner's concern for the Tree's general health and any potential impacts from the proposed site clearing, grading and construction activities for a Dressage Arena at a proposed new residential compound. The Oak Trees evaluated are fast growing young *Quercus agrifolia* (Coast Live Oak), located along the easterly property line, near the southeast corner of the property. No other Oak Trees were observed on or near the Site, within the 250' "reporting area". These Oak Trees are adjacent to tubular metal, chain link security fences and a proposed new "split rail" fence so that clearance pruning is needed for the proposed site clearing, grading and construction activities of the proposed new Dressage Arena. For identification purposes, each of the trees has been "tagged" with an aluminum flag at 52" above grade (d.b.h.) with its corresponding report number (D/OST-1 and D/OST-2) on the northerly side of the Tree. The results of the "survey" are shown on the attached Tree Evaluation Forms, Oak Tree Map and as outlined herein.

**PURPOSE AND SCOPE OF CITY ORDINANCE**

The purpose and scope of this report, in accordance with the City of Agoura Hills Zoning Ordinance #9657 and #9657.5, Appendix A, Oak Tree Preservation Guidelines, is to identify native and "planted" Oak Tree species and evaluate their present condition. A report on impacts and proposed encroachment and mitigation measures; is required, for an Oak Tree Permit submittal to the City of Agoura Hills Department of Planning and Community Development, if any work is planned to take place in or within the "Protected Zone" of any *Quercus* genus two (2") inches in diameter and over @ 42" above grade.



## SITE CONDITIONS

The Site of this Oak Tree is located at 28080 Balkins Drive, in the "Old Agoura" area of the City of Agoura Hills. The site, at the location of the **two off-site-adjacent** Oak Trees, is relatively flat, adjacent to tubular and chain link security fences, along the easterly boundary, near the southeast corner of the property. There are two developed residential properties to the east, one to the south, one to the west and also across Balkins Drive to the north. The Site is covered with "disc harrowed" native and volunteer grasses and broadleaf vegetation. The property is completely fenced and gated, with access from Balkins Drive.

Oak Tree D/OST-1 is a young native Coast Live Oak Tree located +6' east of the neighbor's tubular fence and approximately four feet six inches foot (4'-6") south of the adjoining neighbors' common property line stucco wall. Proposed site clearing, grading and construction activities for a Dressage Arena and a new "**Split rail**" fence at a proposed new residential compound will, encroaching into the "Protected Zone" of this Oak Tree and some clearance pruning will be required.

Oak Tree D/OST-2 is a young native Coast Live Oak Tree located on the west side of neighbor's tubular fence and appears to be slightly north of the southerly boundary of the Dayan property. Proposed site clearing, grading and construction activities for a Dressage Arena and a new "**Split rail**" fence at a proposed new residential compound, will encroaching into the "Protected Zone" of this Oak Tree and some clearance pruning will be required.

## WORK PROCEDURES (AS APPLICABLE)

All applicable work (construction/maintenance activity) around existing Oak Tree(s) shall follow this work procedure program. This program has been developed to minimize the impacts to each Tree and protect them from unscheduled damage and unauthorized treatment.

1. All work within the Oak Tree aerial/root zone, Protected Zone, shall be observed by the Oak Tree Preservation Specialist.
2. The extent of all new construction work affecting Oak Trees shall be staked, where applicable, by field survey and reviewed with the Oak Tree Preservation Specialist.
3. Any approved pruning shall be done by a qualified Tree Trimmer, and observed by the Oak Tree Preservation Specialist.
4. Hand dig vertical trenches or fence post(s) at the final cut line to final grade and "bridge-over," move footing/fence post(s) or cleanly cut any and all roots encountered and seal with approved tree sealer (This procedure will protect the root system from unnecessary damage by power tools or excavation equipment).
5. All footings for wall construction shall be designed to "L" in an outward direction away from the Tree so as to provide minimal impact. Any excavation in the 'root zone' of an Oak Tree shall be filled backfilled with amended soil or imported topsoil, as approved by the Oak Tree Preservation Specialist.

to any work on-site and shall have four (4) "warning signs" located equidistant from each other around each Tree of group of Trees. For groves of Oak Trees, the "warning signs" must be no further than fifty feet (50') apart around the grove.

The "warning signs" must be two feet (2') square and contain the following language:

**WARNING**  
**THIS FENCE SHALL NOT BE**  
**REMOVED OR RELOCATED WITHOUT**  
**THE WRITTEN AUTHORIZATION FROM**  
**THE CITY OF AGOURA HILLS**  
**DEPARTMENT OF PLANNING AND**  
**COMMUNITY DEVELOPMENT**

7. No further work within the aerial/root zone, Protected Zone, shall be done beyond that which was approved/permited, without obtaining written approval prior to proceeding.
8. The area within the chain link fence shall not be used for material or equipment storage or parking at any time.
9. No chemicals or herbicides shall be applied within 100' of an Oak Tree's aerial/root zone, Protected Zone.
10. Copies of the following shall be maintained on the site during any work to or around the Oak Tree, as applicable:

OAK TREE REPORT  
OAK TREE PERMIT  
ENGINEERING PLANS  
PROJECT CONDITIONS  
INSPECTION TICKET  
OAK TREE ORDINANCE #9657  
OAK TREE ORDINANCE #9657.5  
APPROVED SITE PLAN

11. Oak Tree preservation devices, such as ventilation systems, tree wells, drain lines, special paving and branch cabling, if called for by the Oak Tree Preservation Specialist, shall be installed prior to completion of grading and prior to the construction phase.

12. A utilities trenching pathway plan must be submitted prior to completion of grading and prior to start of construction phase in order to avoid unnecessary damage to Tree root systems. The plan

13. In areas where Oak Trees are in or adjacent to walkways or parking areas, pervious pavers shall be employed to mitigate the effects of root air-space reduction, as approved.

14. Oak Tree removals shall be replaced as follows:

Commercial properties — For dead or hazardous Trees, one (1) thirty-six inch (36") Box Oak Tree shall be planted in site for each unhealthy Oak Tree approved for removal. For healthy Trees, two (2) twenty-four inch (24") Box and one (1) thirty-six inch (36") Box specimen Oak Trees shall be planted on site for each healthy Oak Tree approved for removal. For Landmark Trees (forty-eight inches (48") in diameter and larger), a nursery grown Oak Tree of equivalent diameter to the Tree removed or two (2) nursery container grown sixty inch (60") Box Oak Trees shall be planted on site for each healthy Oak Tree approved for removal.

Residential properties — For dead or hazardous Trees, one (1) thirty-six inch (36") Box Oak Tree shall be planted in site for each unhealthy Oak Tree approved for removal. However, in cases where houses currently exist on the property, the requirement for replacement shall be one (1) fifteen gallon Oak Tree to be planted on site for each unhealthy Tree approved for removal. For healthy Trees, two (2) twenty-four inch (24") Box and one (1) thirty-six inch (36") Box specimen Oak Trees shall be planted on site for each healthy Oak Tree approved for removal. For Landmark Trees (forty-eight inches (48") in diameter or larger), one (1) nursery container grown sixty inch (60") Box Oak Tree shall be planted on site for each healthy Oak Tree approved for removal.

In cases of Oak Trees which are candidate for transplant, a refundable cash deposit in the amount equal to the cost of purchasing, planting and guaranteeing an equivalent nursery grown Oak Tree specimen, shall be made with the City. The deposit will be refunded after twelve (12) months if, in the opinion of the City's Oak Tree Consultant, the transplanted Tree has survived and is considered to be in good health. Should the Tree be in marginal health or physical condition, the deposit will be retained for an additional twelve (12) months. At the end of the second twelve month period, should the Tree continue to be in a marginal or poor health condition, then the Tree shall be removed and replaced with an equivalent sizes nursery grown Oak Tree and the deposit will be retained for at least an additional twelve (12) months.

15. Whenever any construction work is being performed contrary to the provisions of the Oak Tree Permit/Ordinance, a City Inspector may issue a written notice to the responsible party, to stop work on a project on which the violation occurred or upon which danger exists. The "Stop Work Order" will state the nature of the violation or danger and no work may proceed until the violation has been rectified and approved by the code enforcement officer or City Oak Tree Consultant.

During any construction and/or treatment, Tree work and impacts must be monitored to further

## **PROTECTION**

To preserve Oak Trees in a construction area, a five (5') foot high chain link fence must be installed at a continuous "clear" dimension of five (5') feet beyond the dripline, minimum fifteen (15') feet from the trunk, prior to any clearing, grubbing, demolition, construction and/or treatment, in order to protect the sensitive "Z.O.N.E." during all work operations. The Oak Tree Preservation Specialist must "function" as the fence for any work necessary within the Z.O.N.E. fenced area, while directing or observing work in and near any Oak Tree.

Z.O.N.E = "Zone Of Nutraire Endemic" (the area of natural or amended planting medium which may extend to or beyond the dripline of a native Tree). An Oak Tree care and maintenance guideline, as provided by the City of Agoura Hills, should be followed, as well as regular monitoring throughout each Tree's life cycle, by a qualified Oak Tree Preservation Specialist.

## **EVALUATION CRITERIA**

In evaluating Oak Trees, as with any other trees, the reporting format records the external observation of the Trees at the time of the "survey", including sizes of trunk by diameter at breast height (d.b.h.), or 4'-6" (52") above grade, spread of the branching system to the outer dripline, approximate height of the Tree, surface observation of the Tree's conditions and other pertinent information. The rating designation assigns health and aesthetic values for each Tree. Ratings from "A" to "F" are used, with "A" as the indicator of a tree exhibiting the best condition of the species in the area, and the lower letters indicating lesser values. The "B" value represents an above average condition for the species. The "C" value represents an average condition for the species. The "D" value represents a below average condition for the species. And, the "F" value rating means that the tree is a candidate for removal for health or hazard reasons. Plus (+) and minus (-) sub-values are assigned where a clear letter designation is not appropriate. The letter "E" is not used in order to avoid confusion with the term "excellent."

## **CARE AND SAFETY**

It must be noted that the Trees referred to in this report are living organisms, and therefore are subject to change. And since internal, crown or subsurface systems were not investigated, no warranties, neither expressed nor implied are made that these Trees will be in any condition other than as observed and reported herein, beyond the date of the inventory walk-thru ("survey"). Information for the care and maintenance of Oak Trees is available from the City for use in providing guidelines for the "on-going" maintenance of Oak Trees. The preferred maintenance procedure used in caring for native Oak Trees is to leave them in their "natural" state and to promote and encourage proper vigor within the Tree's own living systems. In this way, the Tree's natural defenses are better able to ward-off pests and diseases.

## **MAINTENANCE PROCEDURES**

According to the "City" Oak Tree Ordinance #9657 and #9657.5 all work, should it be necessary within the "Protected Zone" (that area enclosed by a line five (5') feet beyond the "dripline" of the Oak



following (refer to the Tree Evaluation Form and Oak Tree Map for graphics and additional notes):

## GENERAL

### D/OST-1

#### CONDITON:

Oak Tree D/OST-1 is a fast growing healthy specimen with its canopy overhanging the proposed site clearing, grading and construction activities, **including a new "split rail" fence**, for a Dressage Arena at a proposed new residential compound.

#### TREATMENT AND/OR MITIGATION:

Oak Tree D/OST-1 will require clearance pruning for the proposed site clearing, grading and construction activities, **including a new "split rail" fence**, for a Dressage Arena at a proposed new residential compound. The Oak Tree Preservation Specialist is to monitor all demolition, grading and construction activities.

### D/OST-2

#### CONDITON:

Oak Tree D/OST-12 is a fast growing healthy specimen with its canopy overhanging the proposed site clearing, grading and construction activities, **including a new "split rail" fence**, for a Dressage Arena at a proposed new residential compound.

#### TREATMENT AND/OR MITIGATION:

Oak Tree D/OST-2 will require clearance pruning for the proposed site clearing, grading and construction activities, **including a new "split rail" fence**, for a Dressage Arena at a proposed new residential compound. The Oak Tree Preservation Specialist is to monitor all demolition, grading and construction activities.

## SUMMARY EVALUATIONS:

### TREE D/OST-1 (*Quercus agrifolia*)

Trunk diameter is 10" and 4"; spread 22'-27', height  $\pm$ 24', health A, aesthetic conformity A. The general conditions observed regarding this Oak Tree include branches on a stucco wall, on tubular metal, a **proposed new "split rail" fence**, chain link fences and on the ground.

### TREE D/OST-2 (*Quercus agrifolia*)

Trunk diameter is 12 $\frac{1}{4}$ ", 10" and 4"; spread 24'-33', height  $\pm$ 40', health A, aesthetic conformity

It is our recommendation that the following treatment(s) be implemented at this time:

Prune westerly branching of Oak Tree D/OST-1 for fence, construction and Dressage Arena use clearance to  $\pm 6'$  above grade. Estimated canopy removal = not greater than 5%. Although no encroachment into the dripline is expected from the Dressage Arena retaining wall construction, some excavation is planned at the westerly edge of the "Protected Zone", and therefore, monitoring of the work must be observed and directed by the Oak Tree Specialist. Estimated root zone removal = 0% to 3%. Should any significant roots be encountered when hand-digging for the proposed "split rail" fence posts, then the relocation of fence posts takes precedence over root removal.

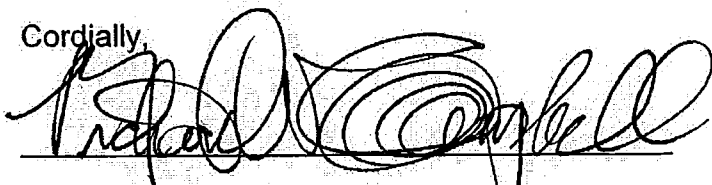
Prune northwesterly branching of Oak Tree D/OST-2 for fence, construction and Dressage Arena use clearance to  $\pm 6'$  above grade. Estimated canopy removal = not greater than 10%. Although no encroachment into the dripline is expected from the Dressage Arena retaining wall construction, some excavation is planned at the westerly edge of the "Protected Zone", and therefore, monitoring of the work must be observed and directed by the Oak Tree Specialist. Estimated root zone removal = 0% to 10%. Should any significant roots be encountered when hand-digging for the proposed "split rail" fence posts, then the relocation of fence posts takes precedence over root removal.

Final determination of treatment(s) will be as directed in the field by the Oak Tree Preservation specialist. In addition to these procedures, a periodic (at least quarterly) monitoring for declining branching systems is recommended.

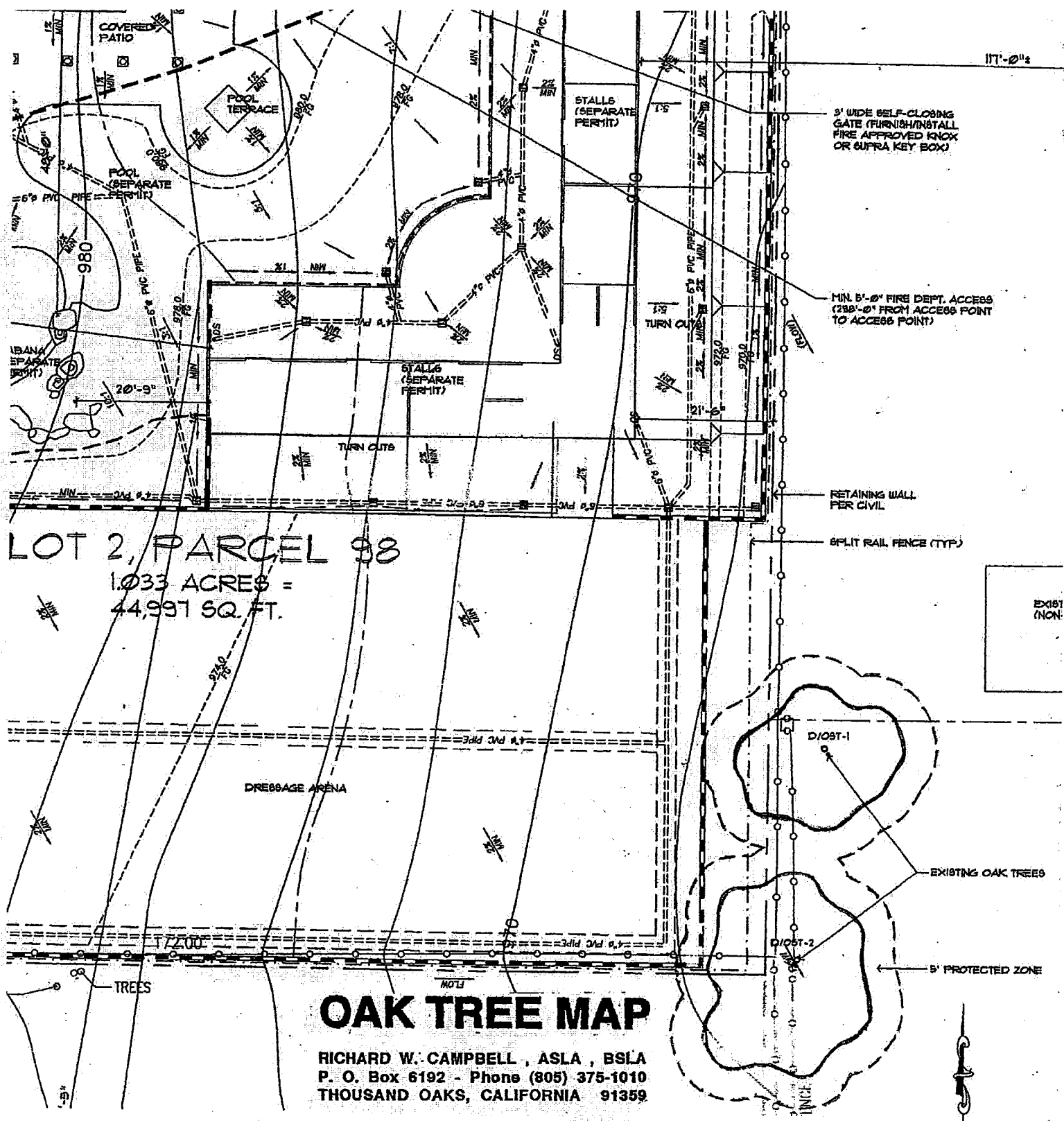
Please review this report, the attached Oak Tree Map and Tree Evaluation Forms, and return your questions and/or comments to:

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Cordially,



Richard W. Campbell, A.S.L.A., B.S.L.A.  
Landscape Architect and Tree Preservation Specialist  
California License # 1099, Nevada License # 14



**LOT 2, PARCEL 98**  
 1.033 ACRES =  
 44,997 SQ. FT.

# OAK TREE MAP

RICHARD W. CAMPBELL, ASLA, BSLA  
 P. O. Box 6192 - Phone (805) 375-1010  
 THOUSAND OAKS, CALIFORNIA 91359

## ENLARGED SITE PLAN

**DAYAN RESIDENCE**  
 28080 BALKINS DRIVE  
 AGOURA HILLS, CALIFORNIA

**SCALE: 1" = 20'**