



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: August 16, 2012

TO: Planning Commission

APPLICANT: Coastal Water Development, Inc., for Joseph Abudalu
207 N. Bowling Green Way
Los Angeles, CA 90049

CASE NO.: 06-CUP-019

LOCATION: 28303 Laura La Plante Drive (A.P.N. 2061-022-051)

REQUEST: Request for approval of a Conditional Use Permit to construct a 2,607 square foot, two-story residence and a 434 square foot, attached two-car garage.

ENVIRONMENTAL DETERMINATION: Categorically exempt from the California Environmental Quality Act (CEQA), per Section 15303 of the CEQA Guidelines (New Construction or Conversion of Small Structures)

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 06-CUP-019, subject to conditions, based on the findings of the attached draft Resolution.

ZONE DESIGNATION: RS-(2)-20,000-IH (Residential Single-Family – (2 units per acre maximum - 20,000 square foot minimum lot size- Indian Hills Design Overlay District)

GENERAL PLAN DESIGNATION: RS (Residential Single-Family)

I. PROJECT BACKGROUND AND DESCRIPTION

The applicant, Coastal Water Development, Inc., for Joseph Abudalu, is requesting approval of a Conditional Use Permit to construct a 2,607 square-foot, two-story, single-family residence and a 434 square-foot, two-car garage on a 23,960 square foot parcel.

The subject property consists of an hourglass-shaped vacant lot located on the north side of Laura La Plante Drive, west of Lewis Road, at 28303 Laura La Plante Drive, within the Residential Single-Family (RS) zone and the Indian Hills Design Overlay zone. The site's topography is generally level at the proposed pad area, with an approximate elevation slightly above Laura La Plante Drive, and a south-facing ascending slope in the northern half (rear) of the property. The slope has a ratio of approximately 2:1 and rises approximately 50 feet in elevation to the north (rear) property line, resulting in an average topographic slope for the entire lot of approximately 33%. Adjacent development consists of single-family residences on the adjacent properties to the west, east, north and across Laura La Plante Drive to the south.

The Zoning Ordinance requires the Planning Commission's review of all new single-family homes. Since the parcel has an average topographic slope that exceeds 10% (33.4%), the project is subject to the City Hillside Ordinance Standards and requires approval of a Conditional Use Permit application.

The proposed single-family residence is a permitted use in the Single Family Residential (RS) zone and the project would meet the required development standards, relative to lot coverage, height and building placement. Listed below are the proposed development data pertaining to the project:

Pertinent Data

	<u>Proposed</u>	<u>Allowed/ Required</u>
1. Lot Size	23,960 sq. ft.	20,000 sq. ft.
2. Lot Width	114 feet	90 feet
3. Lot Depth	345 feet	100 feet
4. Building Height	26 feet	35 feet max.
5. Building Size:		
First Floor	1,444 sq. ft.	N/A
Second Floor	1,163 sq. ft.	N/A
<u>Garage:</u>	<u>434 sq. ft</u>	<u>N/A</u>
Total	3,041 sq. ft	N/A
Porch/Balcony	165 sq. ft.	N/A
6. Lot Coverage	10.6%	35% max.

7. Building Setbacks:		
Front (south)	25 feet	25 feet min.
Rear (north)	216 feet	25 feet min.
Side (west)	11 feet 2 inches	10 feet min. (22 ft. combined)
Side (east)	10 feet 11 inches	10 feet min. (22 ft. combined)
6. Oak Trees	0	N/A
7. Average Topographic Slope	33.4%	N/A

II. STAFF ANALYSIS

Site Plan

The proposed 3,041 square foot residence is proposed to be located in the center of the lower, flat portion of the property that is adjacent to Laura La Plante Drive, and would have a finish floor elevation at 101 feet, which would be level with the average adjacent street (Laura La Plante Drive) elevation. The roof ridge (26 feet high) of the home would not be situated more than the maximum height of 15 feet above the rear (north) setback line, as required per the Hillside Ordinance. Access to the site is to be taken from Laura La Plante Drive. The 21-foot wide driveway access to the two (2) car garage, located at the front of the house, is provided from Laura La Plante Drive, with a circular driveway extending along the front of the property.

The Zoning Ordinance requires a minimum front and rear yard of 25 feet within the RS-20,000 zone. The house would be setback 25 feet from the front (south) property line, and 216 feet to the rear (north) property line. The required combined minimum setback of 22 feet is being met by the applicant proposing 11'2" feet for the left (west) side yard and 10'11" feet for the right (east) side yard.

The projects building coverage is 2,537 square feet, or 10.6% of the parcel, which is under the maximum 35% lot coverage allowed within the RS-20,000 zone.

In evaluating the compatibility of the design and the size of the structure with other Indian Hills properties, staff found that the proposed residence is similar in design with other two-story structures. The size of the neighboring homes, excluding garage space, varies from 1,216 to 3,593 square feet and most have two-stories. The most recent built custom homes in the Indian Hills includes a 3,593 home on Lewis Place on a 23,108 square foot parcel; a 2547 square foot home on a 13,129 square foot parcel located on Lewis Place; a 2,174 square foot home on a 5,619 square foot parcel; and a 2,518 square foot home on a 7,000 square foot parcel on Lewis Place. Thus, the applicant's 2,607 square foot home appears compatible with other homes recently approved in the

neighborhood, while also meeting the development standards of the zone. There are no floor area limitations for this neighborhood.

Hillside Development Standards

The project is subject to City Hillside Ordinance regulations applicable to hillside development which establishes development criteria within sensitive areas, such as hillside lots, that provide an atmosphere and character that the residents of Agoura Hills have expressed a desire to protect. Special regulations were established to protect hillside areas from incompatible development and preserve the natural terrain, quality environment, and aesthetic character while encouraging creative, innovative and safe residential development.

One such regulation of the Hillside Ordinance, Section 9652.13.B., includes a requirement for on-site open space preservation. The minimum amount of area to remain in undisturbed open space is related to the average slope of the property. The parcel has an average slope of 33.4%. Thus, the Hillside Ordinance requires that at least 92.5% of the existing lot remain in undisturbed open space, with the remaining 7.5% of the lot allowed for development. The maximum amount of development area, including the residence, garage, driveway and yard areas should not exceed 7.5% of the lot or 1,797 square feet which is not practical. The proposed footprint of the residence, excluding the driveway and yard areas, is 2,537 square feet, or 10.6%, which complies with the maximum allowed lot coverage for the RS zone.

However, in cases where it is not practical to meet the open space requirements of the Hillside Development Standards, as has been the case with several homes developed in the Indian Hills neighborhood, the Planning Commission reviews maximum allowable development on a case-by-case basis and has discretion regarding the amount of lot coverage based on elements such as the existing lot size and proposed building size, oak tree encroachment, and paving materials without the need for a Variance request. The required findings the Planning Commission must make to allow to exceed the Hillside Ordinance requirement are 1) that the parcel was lawfully created prior to the adoption of Hillside Ordinance in 1991; 2) that a change in ownership since the adoption of the Hillside Ordinance has not resulted in the parcel being merged with another parcel; 3) that a private septic system serving the site is for a lot greater than one acre in size; and 4) that a Conditional Use Permit is granted. The project, as proposed, meets these requirements. Staff finds that the 1,797 square foot (7.5%) maximum development area allowed under the hillside standards is not practical and that the proposed lot coverage of 2,537 square feet or 10.6% complies with the maximum 35% lot coverage allowed in the RS zone.

The natural terrain of the lot had been disturbed by past grading in association with tract grading in 1977, before the City's incorporation. At the time, six to ten feet of fill was placed on the building pad area. The ascending slope located in the northern (rear) portion of the site was left in its natural condition. Since the original grading in 1977, no additional grading or construction has occurred on the subject lot. Although the project exceeds the maximum amount of hillside development area, the applicant has attempted to minimize impacts by proposing a development with balanced grading and locating the

residence within the pre-graded pad area, thereby reducing the amount of overall grading on the site and reducing visual impacts as viewed from adjacent homes and Laura La Plante Drive. Given the topography of the lot and the layout of the existing graded pad area, the most prominent view of the proposed house will be from the south. The applicant designed the project to meet the hillside height requirement as well as all the development standards for the underlying zone.

Architectural Design

The proposed residence is a two-story design with an attached, single-story garage located on the west side of the residence. Exterior building materials consist of tan colored stucco with white trim and window ledges, and a brown "Cliffside" tile roof. Wood windows painted medium brown are proposed on the building along with stone veneer at the entry tower and on the base of the garage and columns of the residence. The front door will be of wood stain and the roll-up garage door will be of a white color to match the trim. The applicant also proposes wrought iron guardrails extending around the outer edge of the balcony at the rear (north) elevation, leading out from the master bedroom, and a decorative concrete driveway. Two-story homes are prevalent in the neighborhood as the typical width of a lot in Indian Hills often precludes expansive single-story floor plans.

The City Architectural Review Panel (ARP) and staff support the proposed design of the residence, finding it to be compatible with the city's Architectural Design Standards and Guidelines. As requested by the ARP for greater articulation and compatibility with the neighborhood, the applicant added stone veneer, detail around the windows, an arch window on the west elevation, height to the garage and moved the entry tower element further forward. The applicant also darkened the color of stucco and proposed decorative paving (stamped concrete) for the driveway area.

The overall height of the residence will be 26 feet, which meets the maximum building height of 35 feet allowed for in the RS zone, and is compatible with the established building heights in the neighborhood, as called for in the Architectural Standards and Guidelines for neighborhood compatibility.

Engineering

The Engineering Department has reviewed and conditionally approved the Grading Plan and will be requiring the applicant to improve the street (Laura La Plante Drive) along the property frontage. The improvements will include an inverted shoulder and rolled curb to line up with existing on upstream end, replace all asphalt and concrete pavement damaged during construction and widen Laura La Plante along property frontage to line up with existing improvements on both ends, construct new storm drain catch basin, replace old existing with new curb alignment and appropriate curb depression, and remove and replace existing deteriorated storm drain pipe through the lot and install a new 42" concrete pipe.

In order to connect to the existing pavement of Laura La Plante Drive, the applicant is proposing to extend the circular driveway to the rolled curb on the east side. Since approximately 17 feet will be in the right-of-way, an encroachment permit from the Public Works Department will be required. Final street plans and drainage plans will be subject to approval by the City Engineer prior to issuance of a building permit.

A total of 22 cubic yards of cut and fill will be required for balanced grading of the site. The quantity is under the threshold of the requirement for a Grading Permit, which is 50 cubic yards. The finished floor of the residence is proposed at an elevation of 101 feet, which is level with the average adjacent street (Laura La Plante Drive) elevation.

Wood fencing is proposed along the east property lines and wrought iron fencing is proposed along the west property line, and will not exceed six feet in height. The residence will be served by the public sewer system.

The City's Geotechnical Consultant has reviewed the geotechnical reports prepared for the project and recommends approval of the reports at this planning review stage. The City's Geotechnical Consultant's letter dated March 29, 2012, is attached for reference.

Landscape Review

The City Landscape Consultant has reviewed the preliminary landscape plan that was submitted. The City Consultant supports the preliminary plan, subject to compliance with the landscape recommendations included in conditions of approval that are included within the attached draft Resolution. The planting scheme is required to utilize native, drought tolerant plants, which comply with the City's Landscape Design Guidelines. The applicant is proposing to plant landscaping in all four yards to help screen the adjacent residences. No Oak trees are located on-site or in close proximity of the construction area.

Environmental Review

The project has been determined to be Categorically Exempt from the California Environmental Quality Act (CEQA) per Section 15303 of the CEQA guidelines (New Construction or Conversion of Small Structures). This exemption includes the construction of a single-family residence. A copy of the notice of exemption is attached.

III. RECOMMENDATIONS

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 06-CUP-019, subject to Conditions, based on the findings of the attached Draft Resolution.

IV. ATTACHMENTS

- Exhibit A: Draft Resolution and Conditions of Approval
- Exhibit B: Public Comment Letter
- Exhibit C: Colored Elevation of the Residence and Colors and Material Board
- Exhibit D: Reduced Plans
- Exhibit E: City Geotechnical Consultant's (GeoDynamics) Letter
- Exhibit F: Environmental Determination
- Exhibit G: Vicinity Map
- Exhibit H: Photographs of surroundings

Case Planner: Renee Madrigal, Associate Planner

EXHIBIT A

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF AGOURA HILLS APPROVING
CONDITIONAL USE PERMIT CASE NO. 06-CUP-019
FOR THE CONSTRUCTION OF A SINGLE-FAMILY
RESIDENCE AT 28303 LAURA LA PLANTE DRIVE

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY
FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Coastal Water Development, Inc. for Joseph Abudalu, with respect to the real property located at 28303 Laura La Plante Drive (Assessor's Parcel Number 2061-022-051), requesting the approval of a Conditional Use Permit Case No. 06-CUP-019 to construct a 2,607 square-foot, two-story, single-family residence and a 434 square foot garage. A public hearing was duly held on August 16, 2012, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California; and that notice of time, date and place and purpose of the aforesaid was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission of the aforesaid public hearing.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to the Agoura Hills Municipal Code Section 9673.2.E, that:

A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The proposed project is located within the Residential Single-Family zone and the Indian Hills Design Overlay District, which allows for the development of single-family residences. The City's minimum development standards have been met for the proposed two-story residence with regard to lot coverage, building setbacks, height, and architectural design standards and hillside development standards regarding height.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The project will contribute to the aesthetic value of the neighborhood as a whole. The proposed architecture and building materials, which include camel colored stucco with white trim and window ledges, and a brown tile roof, wood windows painted medium brown, stone veneer, and wrought iron guardrails, are compatible with the neighborhood. The project was reviewed by the City's Architectural Design Review Panel and was found to be in compliance with the City's Architectural Design Guidelines.

C. The proposed use, as conditioned, and the conditions under which the project will be operated or maintained will not be detrimental to the public health, safety or welfare, in that the proposed use will ensure adequate light, air and privacy, and open space to surrounding properties. The proposed two-story structure is situated in the flatter, lower portion of the on-site hillside slope, which will preserve the views and privacy of the surrounding properties. The project complies with the maximum allowable building height limitations of the hillside properties. Geological, geotechnical, and drainage studies, as well as landscape plans, have been provided and approved by the City's Consultants. Vehicular access to the property will be provided via Laura La Plante Drive. The applicant will be required to construct the project in full compliance with the City's Building Code. The site will be served by the public sewer system.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. The project meets the development standards of the underlying zone relative to the required building setback, height, and lot coverage, as well as the setback and height of the hillside development requirements. The lot was pre-graded, which has caused disturbance of the natural terrain of the property. Although the proposed developed area exceeds 7.5%, which means that the project does not comply with the 92.5% open space requirement pursuant to Municipal Code Section 9652.13.B, one residential dwelling unit shall be permitted on a parcel when the project complies with all of the necessary criteria. This property complies with the criteria in Section 9652.13.B, and thus, the project does not need to comply with the 92.5% open space limitation. In addition, the minimum setbacks and maximum lot coverage for the zone are met. Thus, the proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community in that the project will meet the minimum yard setback requirements for the RS zone. Placement of the building on this pre-graded lot will not negatively impact the view-shed of this property.

F. The proposed use, as conditioned, is consistent with the goals, objectives and policies of the General Plan by preserving the natural hillside, called for in the General Plan Land Use and Community Form Element, Goal LU-19.4.

Section 4. The Planning Commission finds, pursuant to Section 9652.15.A and B of the Agoura Hills Municipal Code, which establishes special regulations for hillside development areas, that:

A. The proposed project is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood mud flow, erosion hazards or other hazards. Per the City Geotechnical and Geological Consultant's directions, the project can be built with conditions to alleviate potential threats to life and property.

B. The proposed project is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project does not protrude above protected ridges and minimally blocks neighbors' views.

C. The proposed project can be provided with essential public services and is consistent with the objectives and policies of the general plan. All utility services will be brought to the parcel without interference to the existing infrastructure.

D. The proposed development will complement the community character and benefit current and future community residents. While the proposed floor plan is larger than the average home size in the community, the lot size is also one of the largest in the neighborhood and the architecture is designed in a manner that effectively reduces the overall mass of the structure so it appears consistent in scale to the neighboring homes.

Section 5. The project is a request for one single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures).

Section 6. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 06-CUP-019, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 16th day of August 2012, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John O'Meara, Chairperson

ATTEST:

Mike Kamino, Secretary

CONDITIONS OF APPROVAL (Case No. 12-CUP-019)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of Approval of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits approved by the Planning Commission: Site Plan, Building Elevation Plans, Floor Plans, Roof Plan, Grading Plan, and Landscape Plan.
4. All exterior colors and materials used in this project shall be in conformance with the colors and materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. The applicant shall comply with all applicable Public Health Statutes, Ordinances and Regulations related to the disposal of sewage.
11. All structures shall conform with the requirements of the Division of Building and Safety of the City of Agoura Hills.

12. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
13. Unless this permit is used within two (2) years from the date of City approval, this permit will expire. A written request for a one-year extension may be considered prior to the expiration date.
14. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
15. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.20 per square foot.
16. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
17. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.9296 per square foot of new floor area.
18. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
19. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
20. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

21. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at

least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.

22. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
23. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

BUILDING AND SAFETY CONDITIONS

24. The City Building Code requires all new residences to be protected by a residential fire sprinkler system. The residence shall comply with this requirement.
25. All new or replacement windows shall be tempered on at least one side of the dual pane, or a 20 minute rated, or glass block per Section 704A of the 2010 California Building Code.
26. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).
27. As part of the permitting process and prior to building permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Title 24 including Cool Roofing, Mechanical, Electrical, Plumbing, Energy Plans, Septic Tank plans shall be submitted to Building and Safety Department for plan review and approval.

28. This project will be subject to the 2010 California Building Code, 2010 Mechanical Code, 2010 California Plumbing Code, 2010 Electrical Code, 2010 Green Building Code and 2008 Energy Code.
29. The applicant shall submit to the Building and Safety Department a Soils Report prior to building permit issuance.
30. The location of Carbon Monoxide Detector in Master Bedroom shall meet code requirements per 2010 California Building Code Section 420.4.
31. Per AQMD Rule 445 only fireplaces fueled by gas (such as gas logs) may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted.

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

32. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
33. For all work within public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
34. Prior to permitting, the applicant shall pay a Transportation Impact Fee (TIF) in the amount of \$3,094 to the Building and Safety Department.
35. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
36. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals, water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.

37. The grading Plan shall show location(s) of all Oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
38. Prior to permitting, the applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original Mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
39. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
40. Prior to issuance of permits from the Engineering Department, this project will require the applicant to obtain a permit from Los Angeles County Flood Control District and Las Virgenes Municipal Water District.
41. Prior to permitting, the applicant shall dedicate or reserve the following public utility easement(s) and emergency access easement(s): Reserve 5' Wide Storm Drain Easement along property frontage on Laura La Plante Drive.
42. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at 818.597.7322 for approved City certification forms.
43. Prior to permitting, the applicant shall provide a preliminary title report not older than 30 days.
44. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The applicant shall construct inverted shoulder and rolled curb to line up with existing on upstream end, replace all AC pavement damaged during construction and widen Laura La Plane along property frontage to line up with existing improvements on both ends, construct new drive approach with rolled curb, install a new sewer service lateral, construct all water appurtenances per LVMWD standards, construct new storm drain catch basin, replace old existing with new curb alignment and appropriate curb depression, and remove and replace existing deteriorated storm drain CMP traversing through the lot and install new 42" Dia. Reinforced Concrete Pipe.

- SPECIFIC NOTES FOR IMPROVEMENTS LISTED ABOVE

The applicant shall demonstrate that the finish floor of all structures is 1 foot above the Base Flood Elevation, and that any work within the floodplain will not elevate the Base Flood Elevation by more than 1-foot.

45. The section of Laura La Plante Drive across entire property fronting the project site being cut for new services or being finished with curb and gutter, may require an asphalt concrete overlay.
46. This property is within the LVMWD service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
47. The applicant shall connect to the existing 8-inch sewer line in Laura La Plante Drive. (Ref. Sewer Plan Drawing No. C02-0227-02.)
48. The applicant shall use existing laterals, whenever provided, for connection to the public sewer system.
49. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City. Prior to issuance of a building permit, the applicant shall provide documentation from LVMWD that all improvement requirements have been met, including fee payment.
50. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
51. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - A. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - B. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - C. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and

- D. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
52. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
53. Prior to issuance of Certificate of Occupancy, all remaining fees/ deposits required by the Engineering Department must be paid in full.
54. Prior to issuance of Certificate of Occupancy, all requirements including construction of improvements covered in condition number 13 must be completed to the satisfaction of the City Engineer.
55. Prior to issuance of Certificate of Occupancy, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.
56. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
57. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
58. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

LANDSCAPING CONDITIONS

59. Prior to the approval of building permits, the applicant shall submit three (3) sets of plans for review by the City Landscape Consultant and approved by the Director of Planning and Community Development, meeting the following requirements.
- a. The plans shall substantially conform to the Plan prepared by Kerwee Landscape Architects dated August 22, 2011, received by the City of Agoura Hills May 24, 2012.
 - b. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - c. All plans shall be legible and clearly drawn.
 - d. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - e. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant. Plan should show the current date.
 - f. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - g. The project identification number shall be shown on each sheet.
 - h. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, rights-of-way, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings

60. The Planting Plan shall indicate the botanical name, common name, and size of each plant.
61. Plant symbols shall depict the size of the plants at maturity, and be drawn to scale. Spacing of trees and shrubs shall be adjusted to allow for optimum growth of each species.
62. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
63. The landscape plans show an area of existing vegetation to be preserved. The landscape plans shall indicate the protection measures to be taken such as chain link fencing, preventing parking and storage of materials in the area.
64. The landscape plans shall prominently display the following notes:
 - a. All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
 - b. All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
 - c. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
65. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
66. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and overspray on adjoining areas.
67. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - a. Design and static pressures
 - b. Point of connection
 - c. Backflow protection
 - d. Valves, piping, controllers, heads, quick couplers
 - e. Gallon requirements for each valve
68. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.

69. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
70. All plant material shall be considered compatible with Sunset Zone 18. A native and naturalistic planting scheme is recommended to preserve and enhance the native environmental context in which the development will occur.
71. The Landscape Plan must be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department prior to the issuance of building permits.
72. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
73. Poor landscape practices such as topping, hedging and “lollipoping” shall not be permitted and may require that plant materials be replaced with like-size materials at the discretion of the City Landscape consultant.
74. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.

FIRE DEPARTMENT CONDITIONS

75. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a building permit.

PLANNING CONDITIONS

76. A pre-construction conference shall be held prior to the issuance of a grading permit with all construction personnel involved with the grading operations. A procedure shall be established to handle any complaints received from the surrounding property owners or residents of the City during the grading and construction operations.
77. Any mechanical equipment shall be screened from public view from the adjacent roadways and surrounding properties to the satisfaction of the Director of Planning and Community Development.

78. Prior to the starting construction, the site shall be temporarily fenced and screened on all sides for the duration of the construction project. The height of the fence shall be six (6) feet and fence material shall be overlaid on the exterior with a dark, opaque vinyl screen, or other equivalent fencing and screening material as approved by the Director of Planning and Community Development. Temporary construction fencing and gates shall be maintained in good order at all times.

END

EXHIBIT B

Renee Madrigal

From: Dan Motta [Dan.Motta@raypak.com]
Sent: Thursday, August 02, 2012 1:01 PM
To: Mike Kamino
Cc: Becky Salan-Motta; vmpayne@cox.net
Subject: Case No. 06-CUP-019 / 28303 Laura LaPlante Drive...

Dear Mr. Kamino,

I have reviewed the "Notice of Public Hearing" in regard to case 06-CUP-019. As you may be aware from the occasions when I testify before the Planning Commissioners, my home is located at 28320 Laura LaPlante Drive. It is across the street and west of the proposed project in question by 2 properties. My home lies within 100 feet of the proposed project. The proposed project is visible from my master bedroom's balcony.

I will be very pleased to see the proposed project approved for construction as submitted, without any further modification or delay. I have no objection to the shape, size or configuration of the proposed home, nor do I have any issue with it's location relative to the street, setback or lot lines. I would be grateful if the Planning Commissioners would be kind enough to take this note into the record as testimony on behalf of the applicant when you and the Planning Commissioners meet on the 16th of August to hear the matter.

I will be on vacation from the 13th to the 20th, showing my sister Vivian Southern California during that week. If I can make it to the hearing, I will speak in favor of the project. If my schedule does not allow me to be present, I would be grateful if you would accept this Email in lieu of my appearance and enter it into the record.

If you have any questions or comments, please feel free to contact me anytime.

Kindest regards,

Dan

Dan J. Motta
28320 Laura LaPlante Drive
Agoura Hills, CA
91301

(805) 402-9964 Cell
(805) 278-5424 Office
danjmotta@yahoo.com
dmotta@raypak.com

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EXHIBIT C

BUILDING COLOR SAMPLE & MATERIAL BOARD
28303 Laura La Plante, Agoura Hills



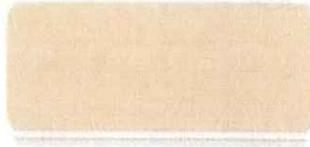
BUILDING COLOR SAMPLE & MATERIAL BOARD

28303 Laura La Plante, Agoura Hills

1) Building stucco color

“Behr”

Camel 350F-5



2) Roof Color

“MONIER LIFETILE”

Cliffside SKU: 1BECS3940



3) Accent color

“Natural stone veneers International INC.”

Virginia Ledgestone

Height: 1"-2"

Length: 4"-14"

Colors: Silver and Brown

Flats: 10 s/f Box, 180 s/f Crate

Corners: 10 l/f Box, 100 l/f Crate



4) Garage Door

“Amarr”

Olympus R-value 15.67



5) Wood windows

“TM Cobb”

Full 4-1/8" or 4-1/2" Jambs Sash is a Full 1-3/8" Thick

Weatherstripped with a Combination of Bulb and Compression Weatherseals

Solid One Piece Redwood Sill

Sill Pans to Protect Moisture Intrusion

Wide Selection of Exterior Trim Available in Pine, Fir or Pre-primed



BUILDING COLOR SAMPLE & MATERIAL BOARD

28303 Laura La Plante, Agoura Hills

6) Iron Railing

“Fortress Iron railing & fence systems”

Full 4-1/8" or 4-1/2" Jamb Sash is a Full 1-3/8" Thick
Square Pickets
100% Galvanized 5/8" Pickets
1 Basket, 2 Baskets, and Plain Pickets
31" for surface mount on top & bottom on 36" railing



7) Wood deck

“Correct Deck”

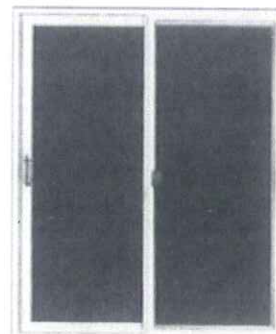
Stone washed Naturals Cedar



8) Tyco Vinyl Slider Doors

“TM Cobb”

Dual Glazed 7/8 Insulated Glass
Pre-Punched Nail Line Flange
4-5/8" Jamb width
Adjustable Tandem Rollers
Available in White or Sand Color
Reversible XO or OX
Aluminum Stiffener at pull rail
Energy Efficient
Tested to DP-50
Reversible Left or Right Slide



9) Entrance Door

“BORANO”

Lucca III



10) Drive way

“CONCRETE NETWORK.COM”

Skeel's Concrete Resurfacing

Stamped Concrete w/ 3' square
Ashlar Pattern Field.



EXHIBIT D

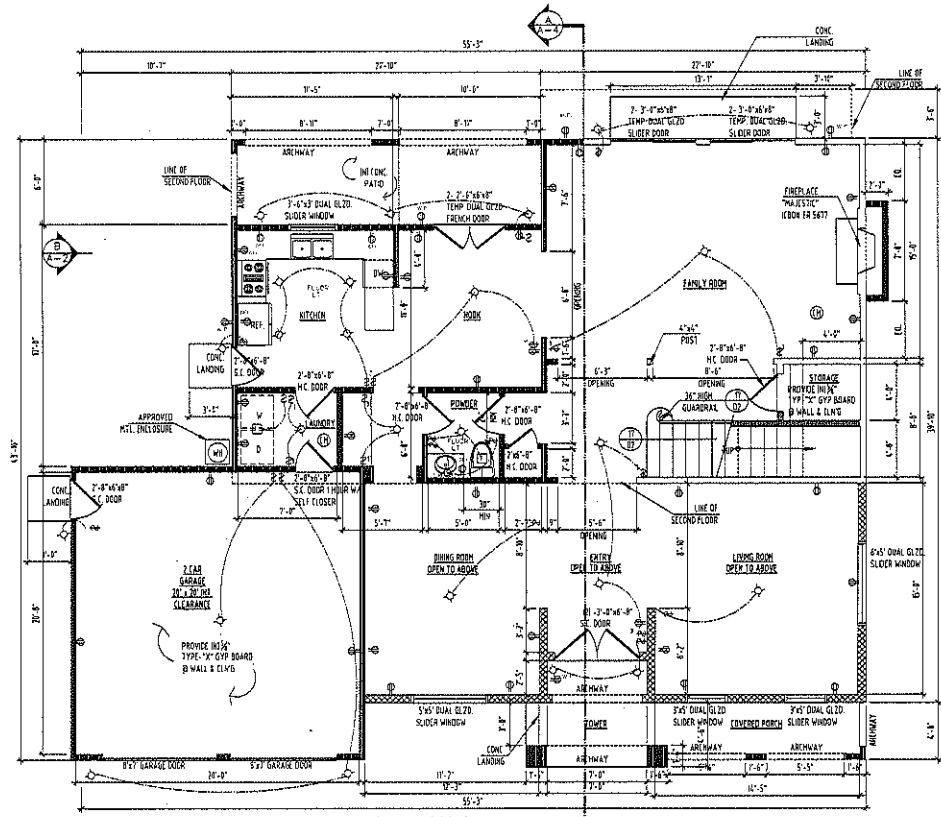
REVISIONS	BY
10-16-05	VD
11-14-05	MAUP
5-10-12	DE

COASTAL WATER DEVELOPMENT, INC.
 207 N BOWLING GREEN WAY
 LOS ANGELES, CA 90049
 (310) 980-6526 tcl

PROJ. ENGINEER

PROJECT CODE:
ABU - DALU RESIDENCE
 28303 LAURA LA PLAZA
 ANAHEIM HILLS, CA 91301

DRAWN	AA
CHECKED	VT
DATE	08/22/11
PLAT SCALE	AS NOTED
JOB NO.	
SHEET	
A-2	



- NOTES**
- 1- SMOKE DETECTOR: HARD WIRE W/ BATTERY BACK-UP AT NEW AREA. BATTERY OPERATED AT EXISTING AREA
 - 2- NEW TOILET TO BE LOW WATER CONSUMPTION 1.6 GALLONS PER FLUSH
 - 3- NEW SHOWER TO HAVE RAIN-RESISTANT WALL MATERIAL - 7'0" ABOVE
 - 4- SHOWER TO HAVE SHATTER RESISTANT GLASS ENCLOSURE
 - 5- ATTIL ACCESS THROUGH REAR DOOR
 - 6- CARBON MONOXIDE DETECTOR: AS REQUIRED BY THE CALIFORNIA BUILDING CODE (CBC)
- WALL LEGEND**
- NEW 2"x4" @ 16" O.C.
 - NEW 2"x4" @ 16" O.C. RE. EXIST. W/ BALLROOM FRAMING

FIRST FLOOR PLAN
 1/4"=1'-0"

REVISIONS	BY
10-18-05	VO
11-16-05	BAV/P
5-10-12	DE

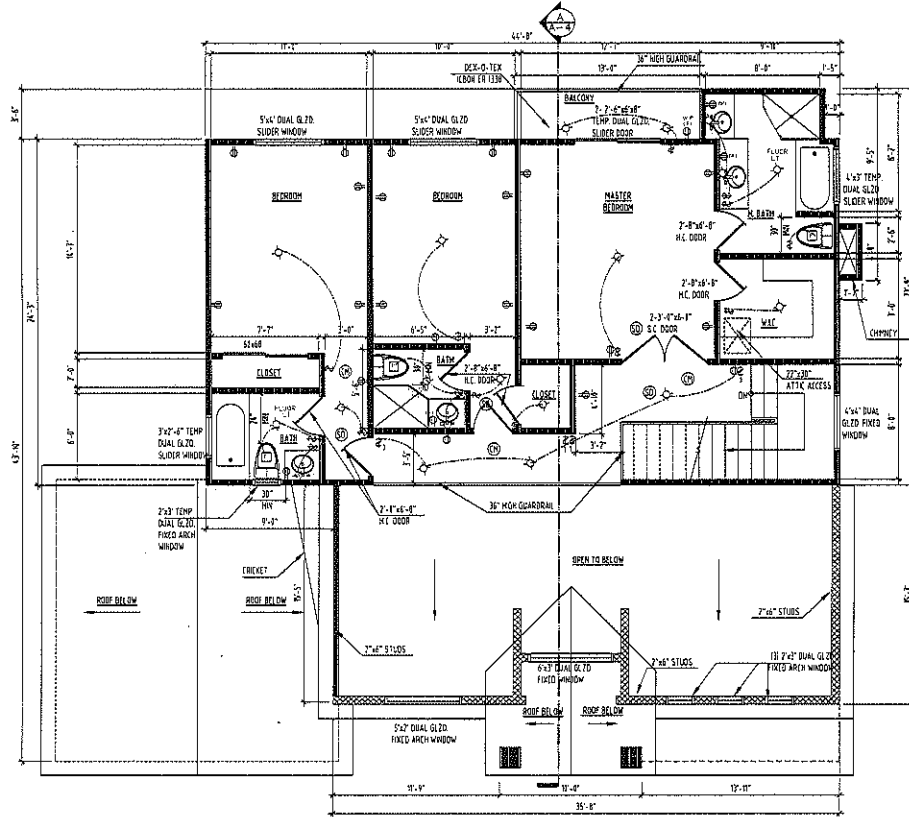
COASTAL WATER DEVELOPMENT, INC.
 207 N.BOWLING GREEN WAY
 LOS ANGELES, CA 90049
 (310) 980-6526 (e)

PROJ. ENGINEER

A PROJECTOR:
ABU - DALU RESIDENCE
 28303 LARBA LA PLANE
 ANGELES HILLS, CA 91101

DRAWN	AA
CHECKED	VE
DATE	05/28/11
PROJECT	AS NOTED
JOB NO.	

SHEET
A-3

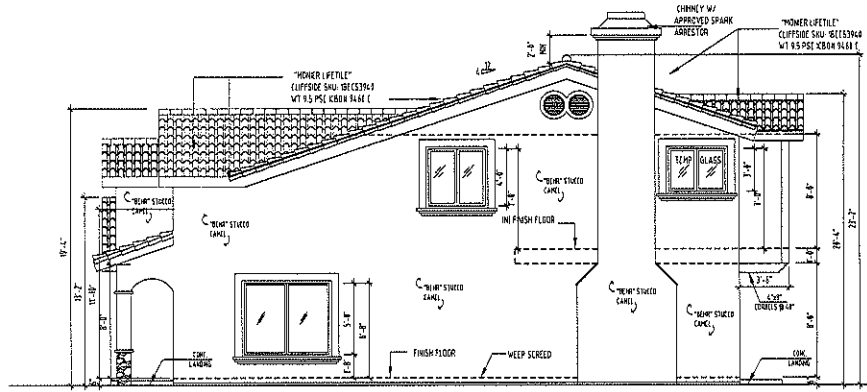


- NOTES**
- 1- SMOKE DETECTOR-HAND WHEELED BATTERY BACK-UP AT NEW AREA. BATTERY OPERATED AT EXISTING AREA.
 - 2- NEW TOILET TO BE LOW WATER CONSUMPTION 1.6 GALLONS PER FLUSH
 - 3- NEW SHOWER TO HAVE NON-ASSURANT WALL MATERIAL-10" ABOVE
 - 4- DRAWING TO HAVE SHATTER RESISTANT GLASS ENCLOSURE AT H.C. ACCESS THROUGH EX. ROOF
 - 5- CARBON MONOXIDE DETECTOR-AS REQUIRED BY 2010 CALIFORNIA BUILDING CODE (CBC)

- W.A.L. LEGEND**
- NEW 2"x4" @ 16" O.C.
 - NEW 2"x6" @ 8" O.C. FULL HT. BALLOON FRAME

SECOND FLOOR PLAN
 1/4"=1'-0"

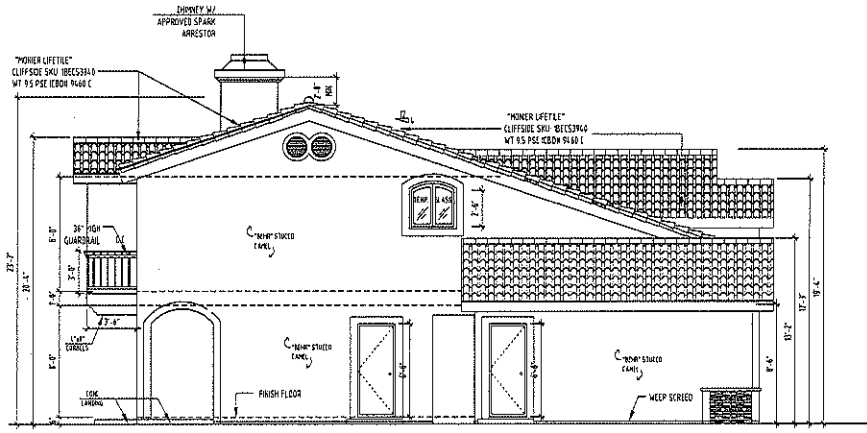
REVISIONS	BY
10-18-05	VD
11-14-06	NAVP
5-10-12	DE



RIGHT SIDE ELEVATION

1/4"=1'-0"

(A)



LEFT SIDE ELEVATION

1/4"=1'-0"

(B)

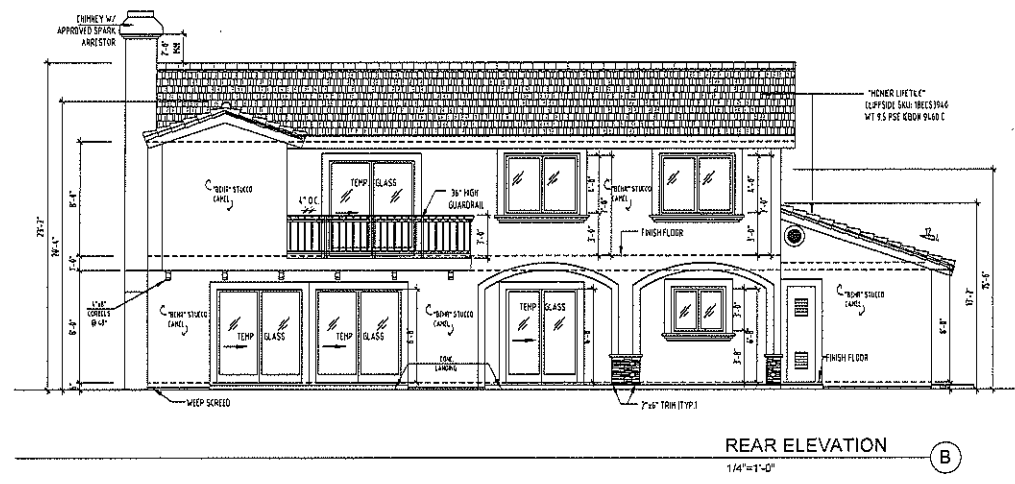
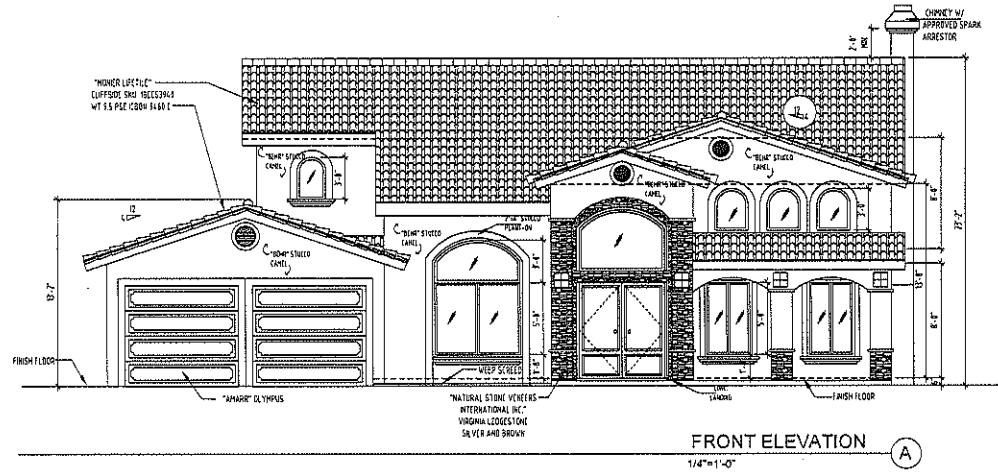
COASTAL WATER DEVELOPMENT, INC.
 2077 NIBOWLING GREEN WAY
 LOS ANGELES, CA 90049
 (310) 980-6526 (e)

PROJ. ENGINEER

PROJECT FOR:
ABU - DALU RESIDENCE
 2833 LAURA LA PLANTE DR., AGOURA HILLS, CA 91301

DRAWN	AA
CHECKED	VT
DATE	08/20/13
PLOT/SCALE	AS NOTED
JOB NO.	
SHEET	
A-4	

REVISIONS	BY
10-18-05	VD
11-14-05	MAJ/P
5-10-12	DE



COASTAL WATER DEVELOPMENT, INC.
207 N BOWLING GREEN WAY
LOS ANGELES, CA 90049
(310) 980-6526 ext

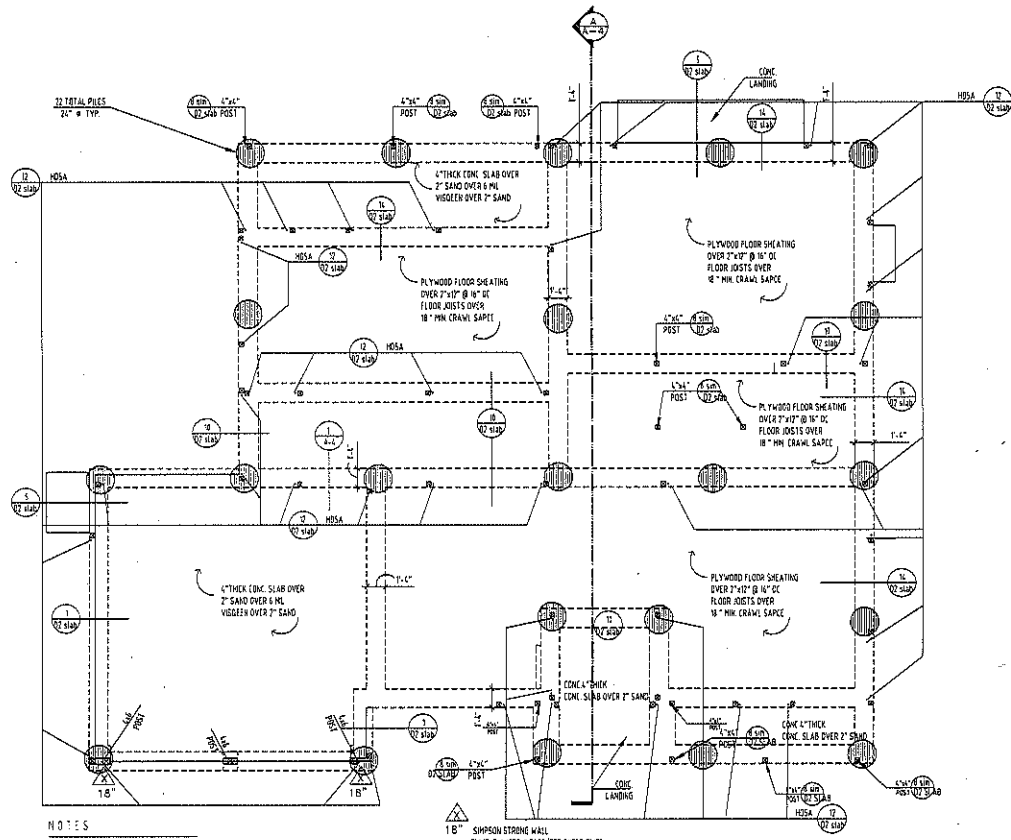
PROJ. ENGINEER

PROJECT FOR:
ABU - DALU RESIDENCE
28303 LAURA LA PLANTE
AUCUBA HILLS, CA 91301

DRAWN	AS
CHECKED	ST
DATE	08/20/11
PROJECT	AS NOTED
JOB NO.	
SHEET	

A-5

REVISIONS	BY
10-16-05	VD
11-14-06	MAVP
5-10-12	DE



- NOTES**
- 1- 20 CONCRETE 4" THICK CONCRETE SLAB OVER 2" SAND OVER 6 MIL VEGGIE OVER 2" SAND
 - 2- NEW EXTERIOR & INTERIOR GRADE READY MIX 3" MIN. INTO UNDISTURBED SOIL W/ 3-15 BARS CONT. TOP & BOTTOM
 - 3- SOIL PLATE TO BE 24" PIP W/ 3" MIN. A & B @ 4" OC
 - 4- ALL 2" X 4" OR 4" X 4" BARS
 - 5- FOUNDATION PILLS SHALL BE PRESSURE TREATED OR FOUNDATION GRATE REINFORCED
 - 6- 22 TOTAL HI PILES, 24" Ø TYP. ENGAGEMENT PER SOIL REPORT

FOUNDATION PLAN
1/4" = 1'-0"

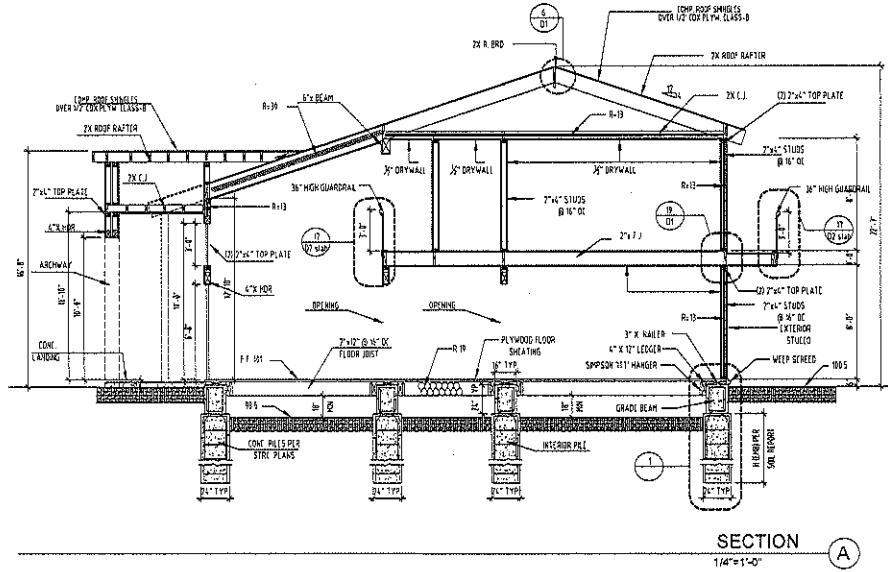
COASTAL WATER DEVELOPMENT, INC.
207 N. BOWLING GREEN WAY
LOS ANGELES, CA 90049
(310) 980-6326 tel

PROJ. ENGINEER

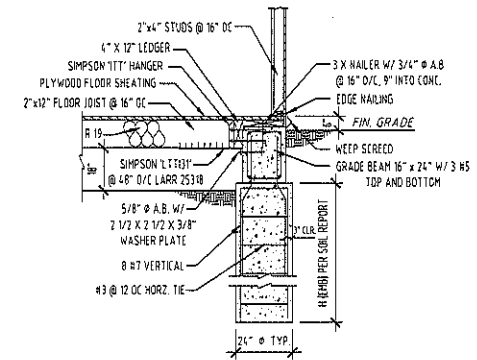
A PROJECT FOR:
ABU - DALU RESIDENCE
28303 LAURA LA PLAZA
AQUINA HILLS, CA 91301

DRAWN	ASL
CHECKED	YL
DATE	08/27/11
PROJECT NO.	AS FUTURE
SHEET NO.	
SHEET	
A-6	

REVISIONS	BY
10-18-05	VD
11-14-05	MAD/P
5-18-12	RE



SECTION A
1/4"=1'-0"



SECTION 1
1/2"=1'-0"

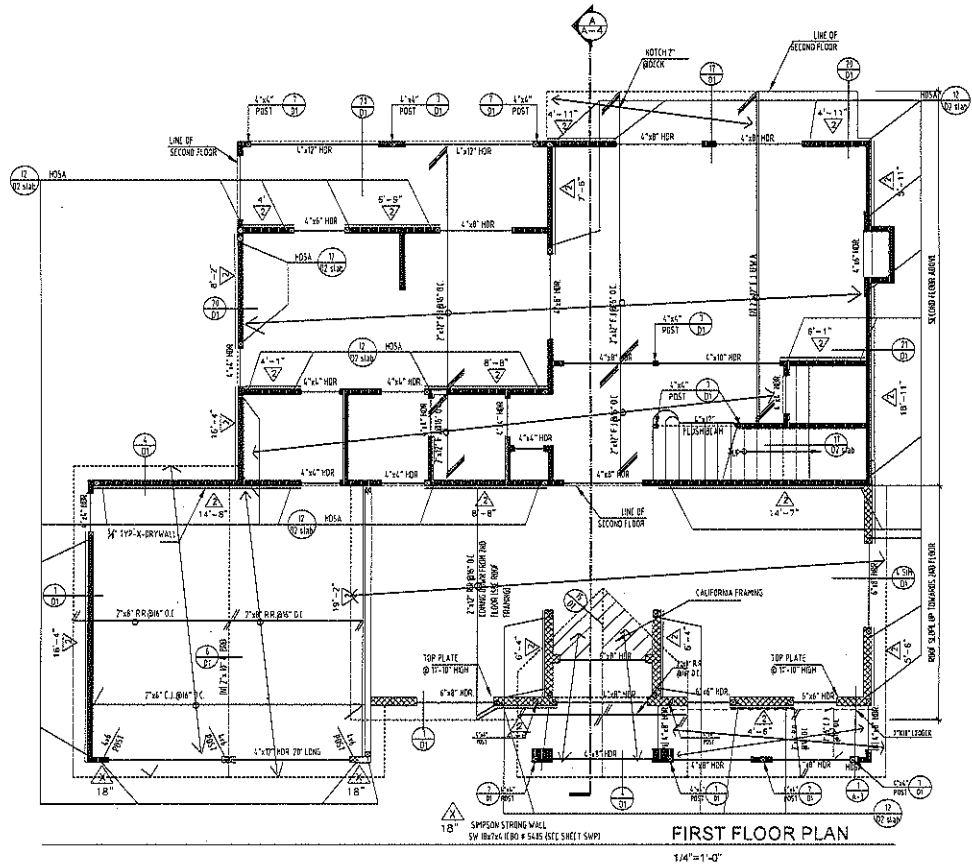
COASTAL WATER DEVELOPMENT, INC.
207 N BOWLING GREEN WAY
LOS ANGELES, CA 90049
(310) 990-6526 tel

PROJ. ENGINEER

PROJECTOR:
ABU - DALU RESIDENCE
28303 LARRA LA PLANTE
AUGUBA HILLS, CA 91301

DATE	
CHECKED	
DATE	
DESIGNED	
PLOT SCALE	AS NOTED
JOB NO.	

SHEET
A-7



FIRST FLOOR PLAN

1/4" = 1'-0"

REVISIONS	BY
10-18-05	VD
11-14-05	MAVP
5-10-12	DE

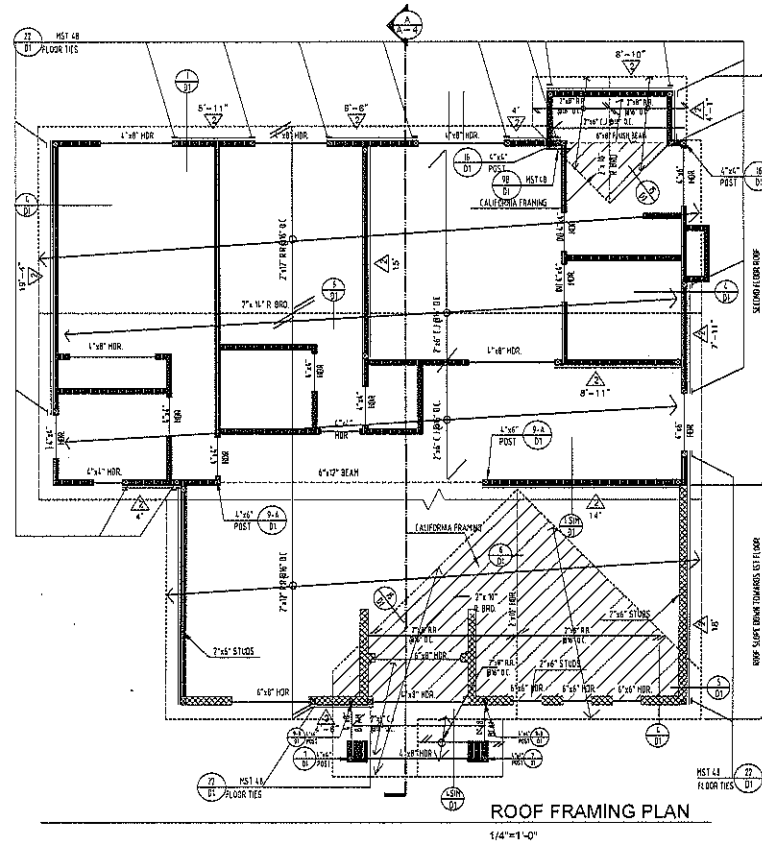
COASTAL WATER DEVELOPMENT, INC.
 207 N. BOWLING GREEN WAY
 LOS ANGELES, CA 90049
 (310) 980-6526 ext

PROJ. ENGINEER

PROJECT FOR:
ABU - DALU RESIDENCE
 28303 LAURA LA PLANTE
 AUGURIN HILLS, CA 91301

DESIGN	AA
CHECKED	YL
DATE	09/20/11
TITLE SCALE	AS NOTED
100%	

SHEET
A-8



ROOF FRAMING PLAN

1/4" = 1'-0"

REVISIONS	BY
10-16-05	VD
11-14-05	HAVP
5-10-12	DE

COASTAL WATER DEVELOPMENT, INC.
 207 N BOWLING GREEN WAY
 LOS ANGELES, CA 90049
 (310) 990-6526 ext

PROJ. ENGINEER

PROJECT FOR:
ABU - DALU RESIDENCE
 28303 LAURA LA PLANTE
 AUGORA HILLS, CA 91301

DRAWN	AA
CHECKED	VT
DATE	08/23/11
PLOT SCALE	AS NOTED
JOB NO.	

SHEET
A-9

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
- AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL NOTIONS, REMOVAL LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKFILLS AND OUTLETS. GEOLOGIC CONDITIONS OBSERVED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
- TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

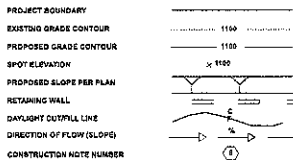
INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS

ABBREVIATIONS

- | | |
|-------------------------|---------------------------|
| AC - ASPHALTIC CONCRETE | NO - NATURAL GROUND |
| BF - BOTTOM OF FOOTING | NTE - NOT TO SCALE |
| CB - CATCH BASIN | PL - PROPERTY LINE |
| CF - CURB FACE | PBR - POINT OF BEGINNING |
| C - CENTERLINE | SDM - STORM DRAIN MANHOLE |
| CLF - CHAIN LINK FENCE | SSM - SEWER MANHOLE |
| CO - CLEAN OUT | SS - SANITARY SEWER |
| CS - CURB SIDE | TB - TOP OF BEAM |
| DL - DAYLIGHT | TC - TOP OF CURB |
| EG - EDGE OF GUTTER | TF - TOP OF FOOTING |
| EP - EDGE OF PAVEMENT | TO - TOP OF GRADE |
| FF - FINISHED FLOOR | TW - TOP OF WALL |
| FG - FINISHED GRADE | TY - TYPICAL |
| FI - FIRE HYDRANT | WM - WATER METER |
| FL - FLOWLINE | WV - WATER VALVE |
| FS - FINISH SURFACE | |
| HC - HANDICAP RAMP | |
| HF - HIGH POINT | |
| INV - INVERT | |

LEGEND AND SYMBOLS



PUBLIC UTILITIES / SERVICES

- WATER:** LAS VIRGENES MUNICIPAL WATER DISTRICT
4322 LAS VIRGENES ROAD
CALABAZAS, CA 91302
(714) 384-4110
- ELECTRICAL:** SOUTHERN CALIFORNIA Edison
2265 FORTWELL DRIVE
THOUSAND OAKS, CA 91321
(805) 460-7111
- TELEPHONE:** SBC PAC BELL
1621 RAYNER STREET #15
VAN NUYS, CA 91412
(818) 272-6440
- OAS:** SOUTHERN CALIFORNIA GAS
3400 DAKDALE AVENUE
CHATEAUVILLE, CA 91514
(626) 793-2274
- SEWER:** LA COUNTY DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
100 S. FERNBURY AVENUE, BLDG. 45 EAST
ALHAMBRA, CA 91803
(626) 263-2259
- CABLE:** ADTELPHIA
2232 TULLER ROAD
NEWBURY PARK, CA 91320
(805) 274-3171
- CABLE:** CHARTER COMMUNICATIONS
3146 CROSSCREEK ROAD
MALIBU, CA 91030
(310) 424-9110
- CALTRANS:** CALTRANS
5890 REBECA BOULEVARD
TARZANA, CA 91356
(818) 284-1424



STORMWATER POLLUTION NOTES

APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE REVIEWED AND APPROVED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ON-SITE POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.

A SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.

IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE APPROVED.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 997-7250, TO OBTAIN PROJECT-SPECIFIC "OAK TREE NOTES."

LEGAL DESCRIPTION

LOT 2, PARCEL MAP 18538

APN 2061-022-051

PREPARED BY:
Charles Hefner Architect
28378 Roadside Dr.
Agoura Hills, CA 91301

1-16-12

PROJECT ENGINEER

DATE

DATE

CITY OF AGOURA HILLS APPROVAL

RAMIRO ADELA
CITY ENGINEER

8666

DATE

03/20/12

EXP. DATE

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
C-1	Notes, Index, Project Info
C-2	Site Plan/Drainage Plan, Details
C-3	Hydrology Study
C-4	Open Channel Flow, Final
C-5	Storm Drain Details
C-6	Site Access Details

ESTIMATED EARTHWORK QUANTITIES

FINE ROAD GRADING ONLY: 22 CY ESTIMATED EXPORT: 0 CY
ESTIMATED FILL: 32 CY ESTIMATED IMPORT: 0 CY
ESTIMATED OVER-CAPACITATION: 0 CY
OH - DIMENSIONAL VOLUMES IN RELATION TO ALL NATTO UNBUILT SOIL

BENCHMARK:

DESCRIPTION: BM NO. ELEVATION SURVEY DATE:

RECORD DRAWING STATEMENT

I, _____ HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. _____ THROUGH _____ HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

REGISTERED CIVIL ENGINEER DATE REG. NO. EXPI. DATE

SOILS APPROVAL

THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT DATED 02/25/12

Soil Analysis REGISTERED GEOLOGIST DATE 2/14 12/31/15 EXP. DATE
Site Soil REGISTERED GEOLOGIST DATE 02/28/12 03/01/15 EXP. DATE

OWNER

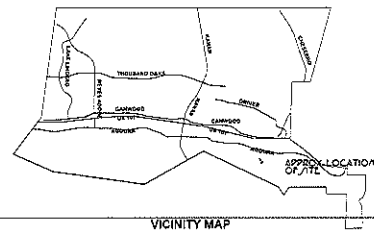
NAME: Dr. Joseph Abu-Dalu
ADDRESS: 4054 Madry Place Encino, CA 91416
REPRESENTATIVE: Dr. Abu-Dalu
TELEPHONE: 818-497-7746

CIVIL ENGINEER

NAME: Charles Hefner Architect
ADDRESS: 28378 Roadside Dr. Agoura Hills, CA 91301
REPRESENTATIVE: CH
TELEPHONE: 818-220-7443

GEOTECHNICAL ENGINEER

NAME: DSO SYSTEMS, INC.
ADDRESS: 1644 Honey Blvd., 2nd Floor Glendale, CA 91201-6180
REPRESENTATIVE: Scott Fishburn
TELEPHONE: 818-500-6332



GRADING

SHEET 2 of 2

CITY OF AGOURA HILLS DWS. NO.



REVISIONS

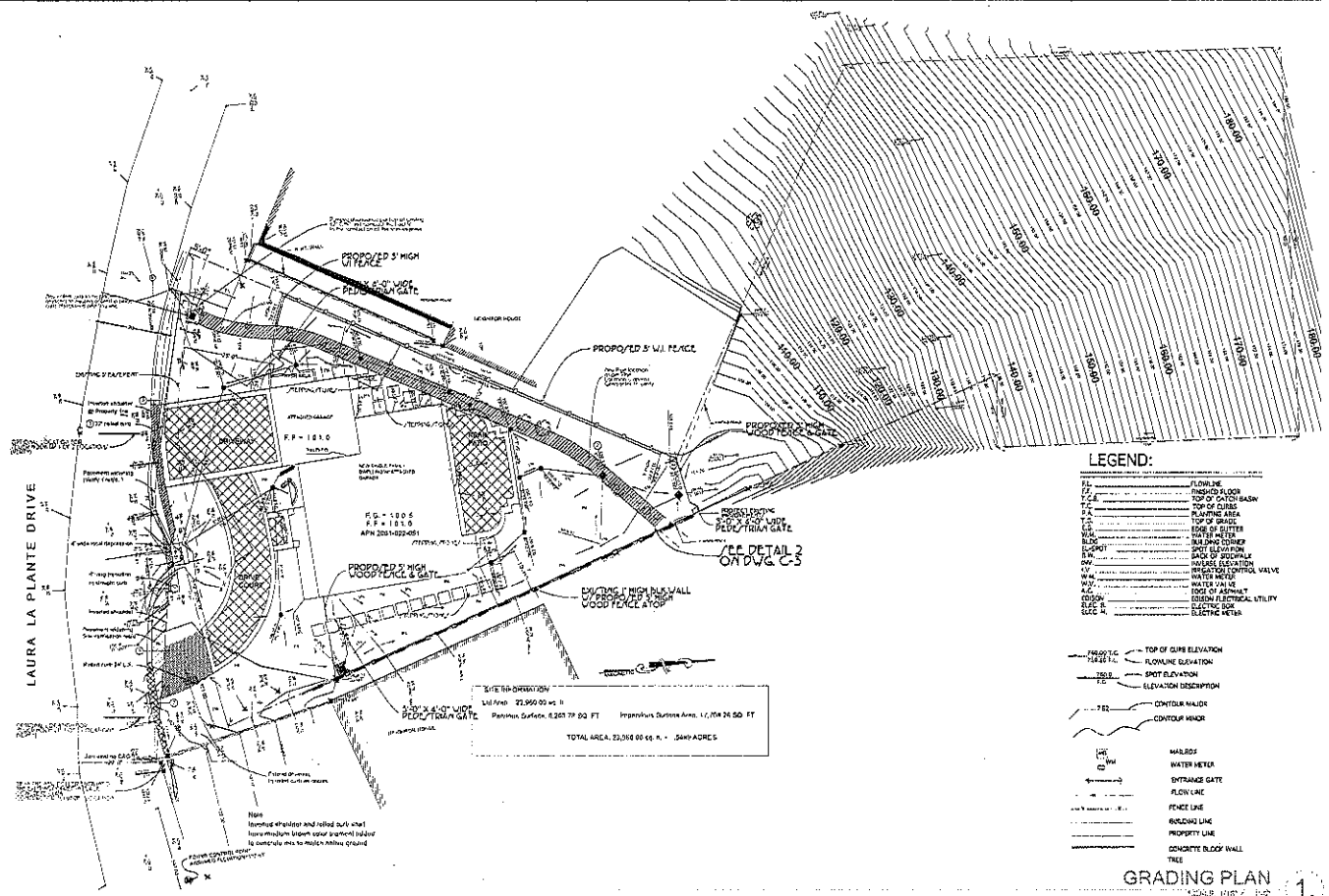
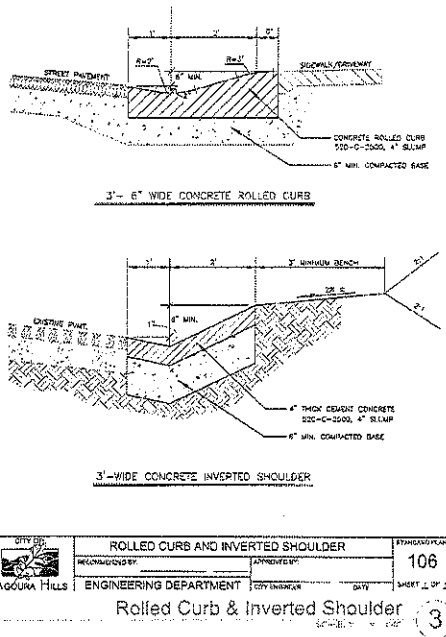
Charles Hefner Architect, Inc.
Architecture/Renderings
28378 Roadside Dr.
Agoura Hills, CA 91301
TEL: (818) 220-7443
FAX: (818) 220-9130

Drainage Grading Plan
Drainage & Grading Plan for:
Dr. & Mrs. Joseph Abu-Dalu @
28303 Laura La Plante
Agoura Hills, CA 91301

Date: 11-21-11
Job No: 0211-2
Drawn by: CH

Scale: 1/16" = 1'-0"
Sheet No:

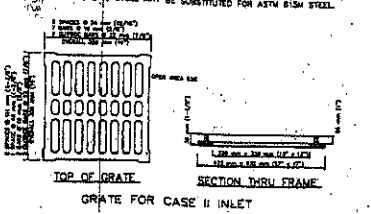
G-1
of 2 sheets



LEGEND:

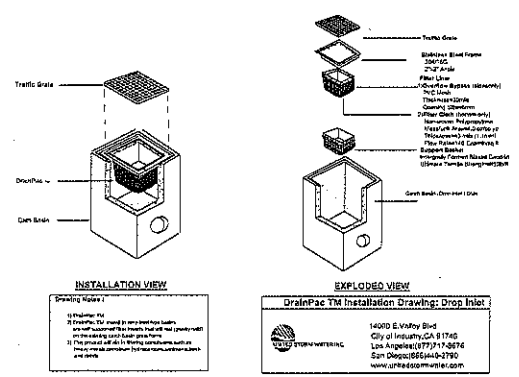
(---)	FLOWLINE
(---)	FINISHED FLOOR
(---)	TOP OF DITCH BASIN
(---)	TOP OF GRADE
(---)	PLANNING AREA
(---)	EDGE OF DITCH
(---)	EDGE OF BARRIER
(---)	BLIND PIPE CORNER
(---)	PIPE ENTRANCE
(---)	BACK OF SIDEWALK
(---)	NO. 4 CURB
(---)	WATER LINE
(---)	WATER VALVE
(---)	STOP VALVE
(---)	TOP OF ASPHALT
(---)	CONCRETE ELECTRICAL UTILITY
(---)	ELECTRIC POLE
(---)	ELECTRIC WIRE
(---)	TOP OF CURB ELEVATION
(---)	FLOWLINE SLOPE
(---)	SPOT ELEVATION
(---)	ELEVATION DESCRIPTION
(---)	CONTOUR WAIVER
(---)	CONTOUR WAIVER
(---)	WATERS
(---)	WATER METER
(---)	ENTRANCE GATE
(---)	FLOW LINE
(---)	FENCE LINE
(---)	BOUNDARY LINE
(---)	PROPERTY LINE
(---)	CONCRETE BLOCK WALL
(---)	TREE

- NOTES**
- IF THE TOP OF SLOPE IS ALLOWED WITHIN THE R/W, CASE I BELIEFS AT THE TIME THE DRAWING IS SUBMITTED.
 - FOR OPEN DITCH (CASE II) THE 800 mm (24") EXTENSION BEYOND THE R/W LINE IS NOT REQUIRED UNLESS BACK OF WALK IS 600 mm (24") OR MORE FROM THE R/W LINE. HOWEVER, PIPE SHALL EXTEND TO R/W LINE.
 - TOP OF INLET STRUCTURE (CASE I AND II) TO BE FLUSH WITH ADJACENT SURFACE WHERE PRACTICAL.
 - CONSTRUCT P.C.C. WALK WHEN SPECIFIED ON PLAN. THE CONTRACT PRICE FOR P.C.C. WALK (IF WALK IS TO BE CONSTRUCTED) SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS.
 - THE EQUALS NUMBER OF PIPES (MINIMUM OF THREE) AS SPECIFIED ON PLAN.
 - INLET CASE TO BE SPECIFIED ON IMPROVEMENT OR GRADING PLAN.
 - ANGLE A EQUALS 90° UNLESS OTHERWISE SPECIFIED.
 - TYPE, DIMENSIONS AND ELEVATIONS OF P.C.C. CURB AND OUTLET FOR IMPROVEMENT PLAN.
 - UNLESS OTHERWISE SPECIFIED, FRAME AND GRATE FOR CASE II INLET SHALL BE GALVANIZED CAST IRON. HEIGHT OF FRAME AND GRATE SHALL BE 180 mm (7 1/8").
 - AT LOCATIONS WITH LESS THAN 200 mm (8") CURB FACE, USE 150mm-WIDE (6") 200 mm (8") BEYOND THE EDGE OF CAST IRON PIPES.
 - DIMENSIONS SHOWN ON THIS PLAN FOR METRIC AND ENGLISH UNITS ARE NOT EXACTLY EQUAL. VALUES IN METRIC UNITS ARE USED. ALL VALUES USED FOR CONSTRUCTION SHALL BE METRIC VALUES. IF ENGLISH UNITS ARE USED, ALL VALUES USED FOR CONSTRUCTION SHALL BE ENGLISH VALUES. HOWEVER, ASTM A575 REINFORCING STEEL MAY BE SUBSTITUTED FOR ASTM A513 STEEL.



CURB DRAIN
 STANDARD SPECIFICATIONS
 150-2
 SHEET 2 OF 2

CURB DRAIN DETAIL NOTES
 SCALE: 1/8" = 1'-0"



INSTALLATION VIEW
 1) The grate shall be installed in accordance with the manufacturer's instructions.
 2) The grate shall be installed in a concrete curb or wall.
 3) The grate shall be installed in a concrete curb or wall.
 4) The grate shall be installed in a concrete curb or wall.

DRAINPAC™ INSTALLATION DRAWING: Drop Inlet
 1405 S. Valley Blvd.
 City of Industry, CA 91746
 Los Angeles: (818) 777-7276
 San Diego: (619) 554-2700
 www.drainpac.com

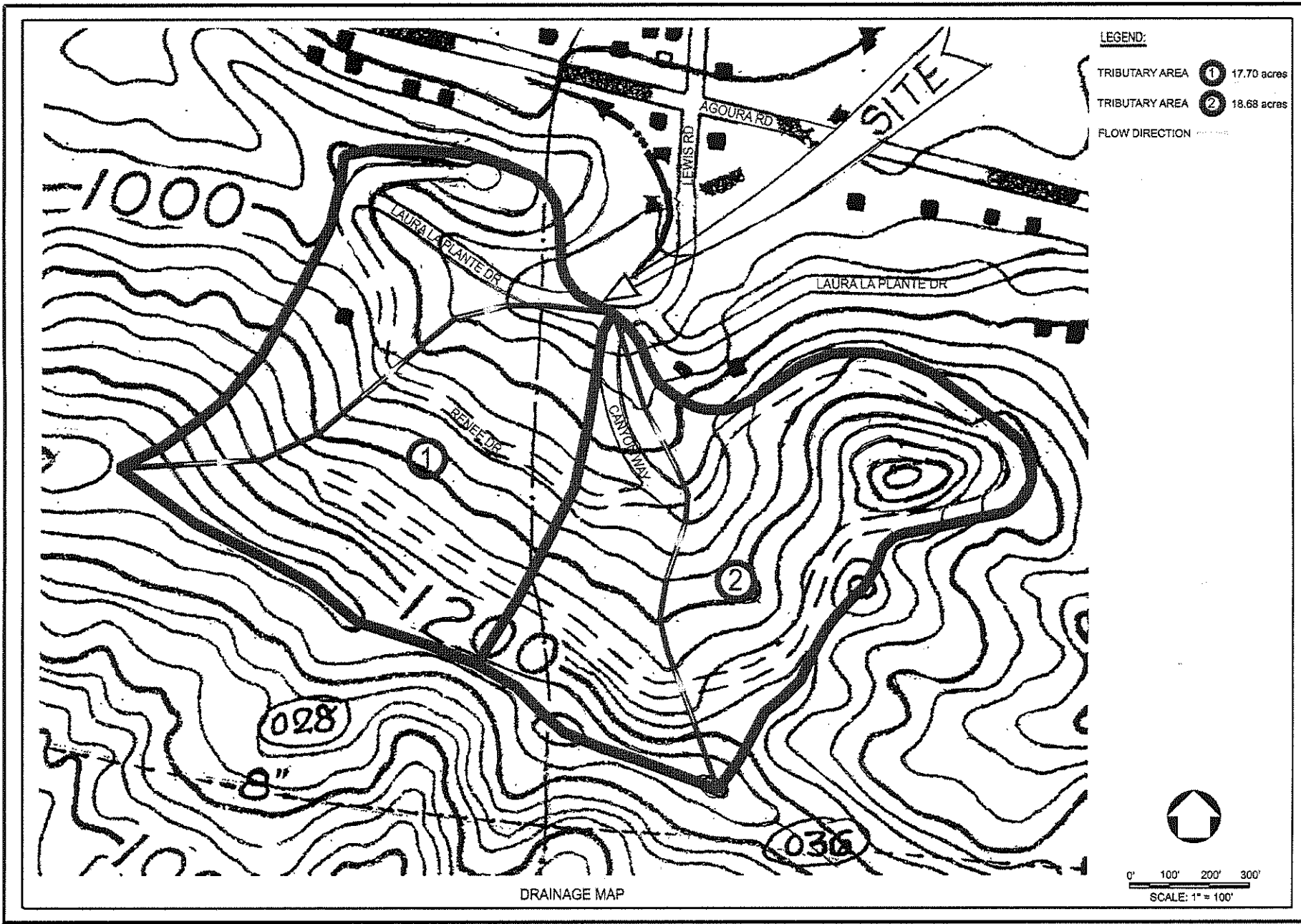
DRAINPAC DROP CATCH BASIN DET.
 SCALE: 1/8" = 1'-0"



Charles Hefner Architect, Inc.
 Architecture, Rendering
 28378 Roadside Dr.
 Agoura Hills, CA 91301
 Tel: (818) 236-7440
 Fax: (818) 236-4138

Drainage Grading Plan
Drainage & Grading Plan for:
Dr. & Mrs. Joseph Abu-Duh @
28303 Laura La Plante
Agoura Hills, CA. 91301

Sheet Title: Drainage Grading Plan
Job Title:
Date: 11-21-11
Job No: 0211-2
Drawn by: CH
Scale: 1/16" = 1'-0"
Sheet No:
G-2
 of sheets



LEGEND:

TRIBUTARY AREA ① 17.70 acres

TRIBUTARY AREA ② 18.68 acres

FLOW DIRECTION

REVISIONS	DATE	BY

PREPARED BY:
 JIMMY TODOROV
 PLS. LISTED CIVIL ENGINEER
 18000 WILSON AVENUE
 SUITE 100
 WEST FORT WORTH, TEXAS 76116
 TEL: (817) 336-1100

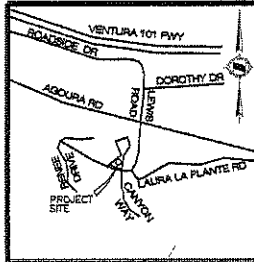


CLIENT: JOSEPH ABUDALU
 4408 MEDLEY PL
 ENCINO, CA 91316
 TEL: (818) 986-7745

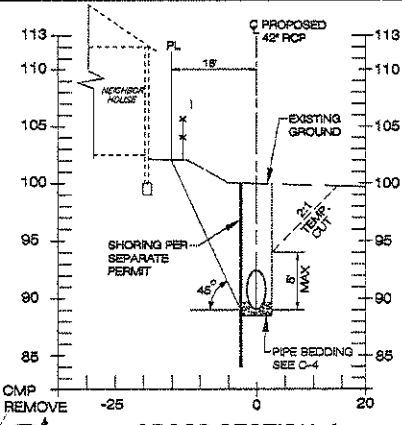
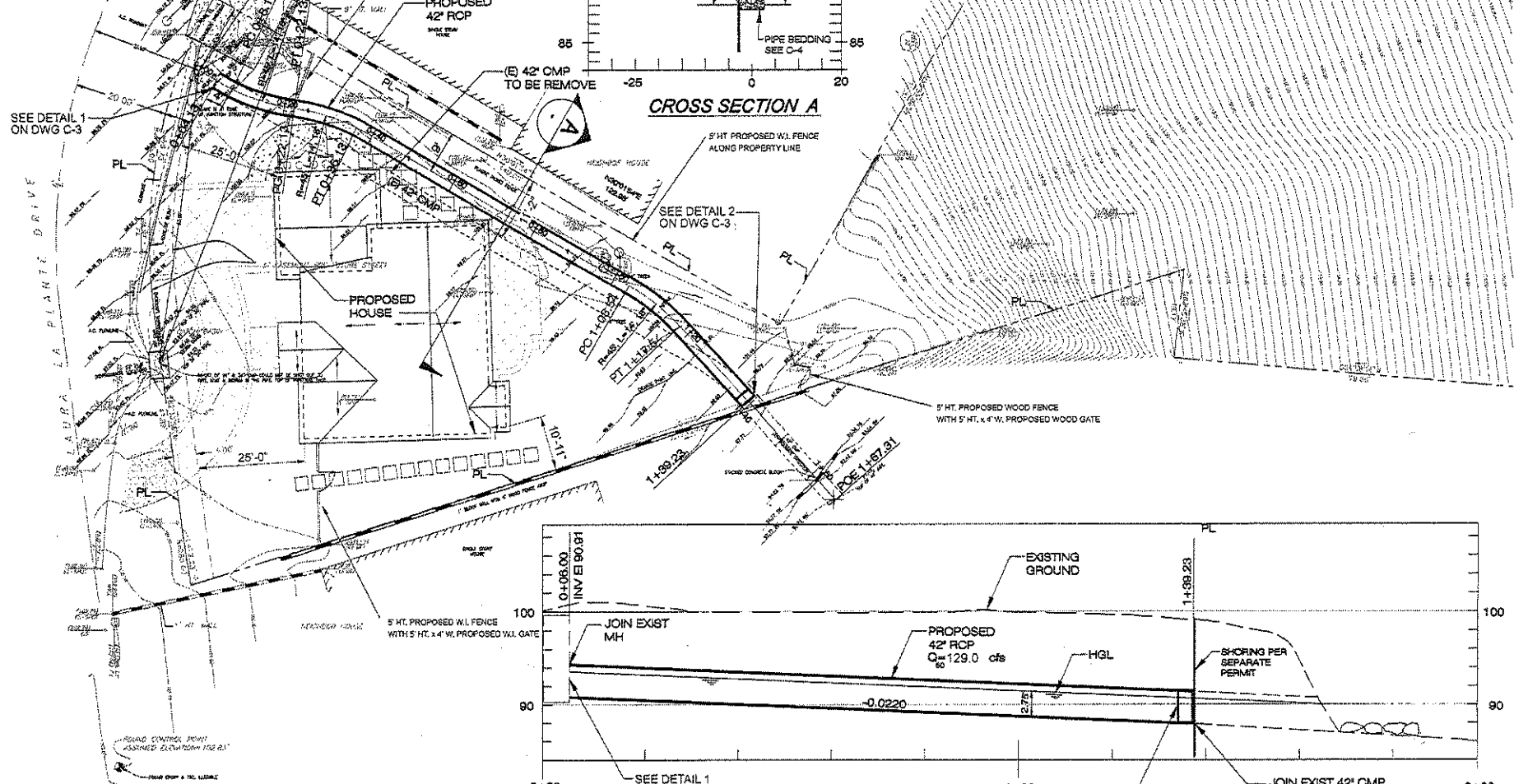
HYDROLOGY STUDY
 100% DEVELOPMENTAL
 28303 LAURA LA PLANTE DR.
 AGOURA HILLS, CA 91301

DATE: 10.12.2010
 SCALE: 1" = 100'
 DRAWN: JT
 CHECKED: JT
 JOB NO.: 26
 SHEET NO.:

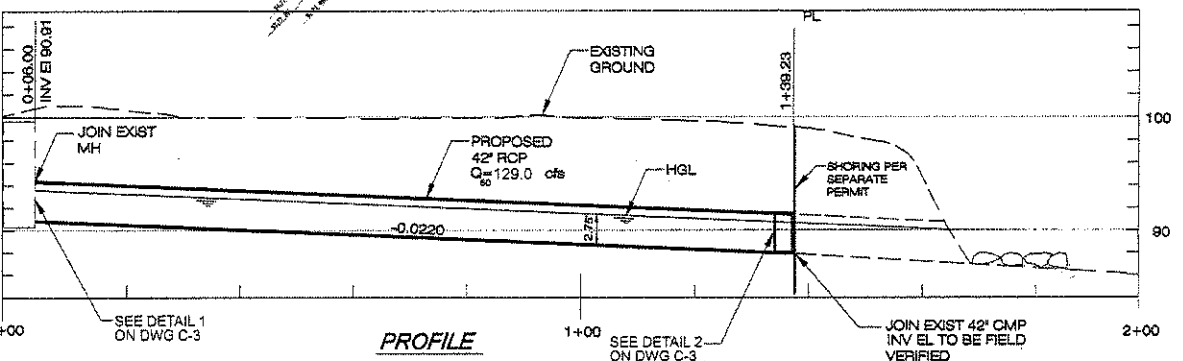
C-1



VICINITY MAP
N.T.S.



CROSS SECTION A



PROFILE

SURVEYOR: Mark R. Davidson, PLS 7852
 13415 Tyler Street, Sherman, CA 91343
 Survey Office: 91343 CA 91300
 (818) 333-2848 1 (209) 337-4004
 Fax: (818) 333-0330
 E-mail: markdavidson@mrdsurvey.com
 www.mrdsurvey.com

REVISIONS	
DATE	BY

PREPARED BY:
JINMAY TOLBOROV
 REGISTERED CIVIL ENGINEER
 14800 S. BAYVIEW BLVD.
 SUITE 100
 WEST HOLLWOOD, CALIFORNIA 90240
 CAL. REG. NO. 64704 JTD

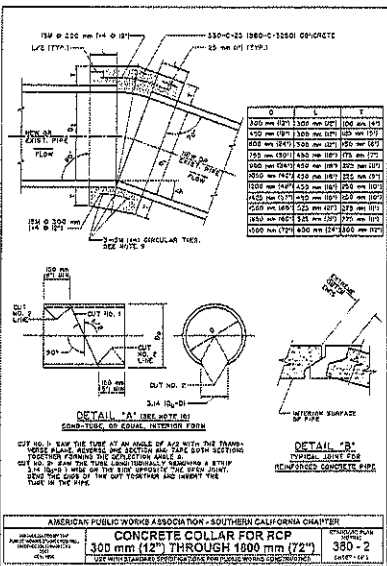


CLIENT: **JOSEPH ABUDALI**
 4408 MEDLEY PL
 ENCINO, CA 91316
 TEL: (818) 898-7746

PLAN AND PROFILE
 FOR THE PROPERTY AT:
28303 LAURA La PLANTE DR.
AGOURA HILLS, CA 91301

DATE: 10.12.2010
 SCALE: 1"=10'
 DRAWN: JT
 CHECKED: JT
 JOB NO.: 98

SHEET NO.: **C-2**



NOTES

- A CONCRETE COLLAR IS REQUIRED WHERE THE CHANGE IN GRADE EXCEEDS 10 PERCENT.
- FOR CURVE JOINTS (SEE DETAIL B SHEET II) IF THE EXTREME ENDS OF THE PIPE LEAVE A CLEAR SPACE THAT IS GREATER THAN 20 mm (3/16") BUT IS LESS THAN 50 mm (2") CONCRETE CLOSER IS REQUIRED IN ACCORDANCE WITH SUBSECTION 503-4.4 OF THE SPEC.
- IF THE EXTREME ENDS OF THE PIPE LEAVE A CLEAR SPACE THAT IS EQUAL TO OR GREATER THAN 75 mm (3") BUT IS LESS THAN 150 mm (6") A CONCRETE COLLAR IS REQUIRED. IF THE CLEAR SPACE IS GREATER THAN 150 mm (6") A TRANSITION STRUCTURE IS REQUIRED.
- CONCRETE COLLAR SHALL NOT BE USED FOR A SIZE CHANGE ON THE MAIN LINE.
- CONNECTION PIPES
 - PIPES OF DIFFERENT DIAMETERS ARE JOINED WITH A CONCRETE COLLAR. THIS SHALL BE THOSE OF THE LARGER SIZE TO THE POINT OF DISCOVERY OF THE CURVE OR INVERTS AND WHEN IT IS GREATER THAN 50 mm (2").
 - FOR PIPE LARGER THAN 1800 mm (72") SPECIAL COLLAR DETAILS ARE REQUIRED.
 - FOR PIPE SIZE NOT LISTED USE NEXT SIZE LARGER.
 - REINFORCEMENT SHALL CONFORM TO ASTM A 616 (A 813 GRADE 300300).
- WHERE REINFORCING IS REQUIRED THE DIAMETER OF THE CIRCULAR TIE SHALL BE EQUAL TO OR GREATER THAN 12 mm (1/2").
- REINFORCING SHALL BE LECO WHERE THE PIPE DIAMETER IS GREATER THAN 300 mm (12") AND IS IN PIPES WHERE THE SPACES BETWEEN THE PIPE ENDS EXCEED 75 mm (3").

CIRCULAR PIPE DIAMETER	NO. OF REINFORCING TIES
300 mm (12") OR LESS	3
450 mm (18") TO 750 mm (30")	3
900 mm (36") TO 1200 mm (48")	4
1350 mm (54") TO 1800 mm (72")	5

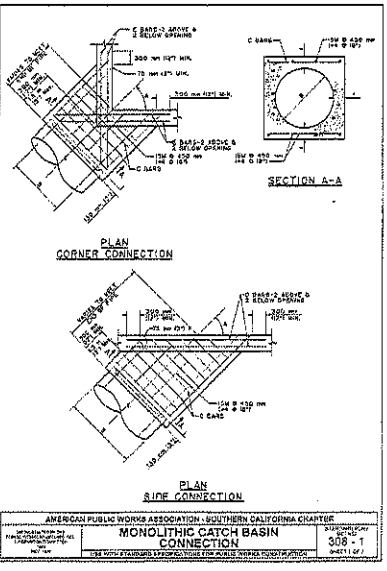
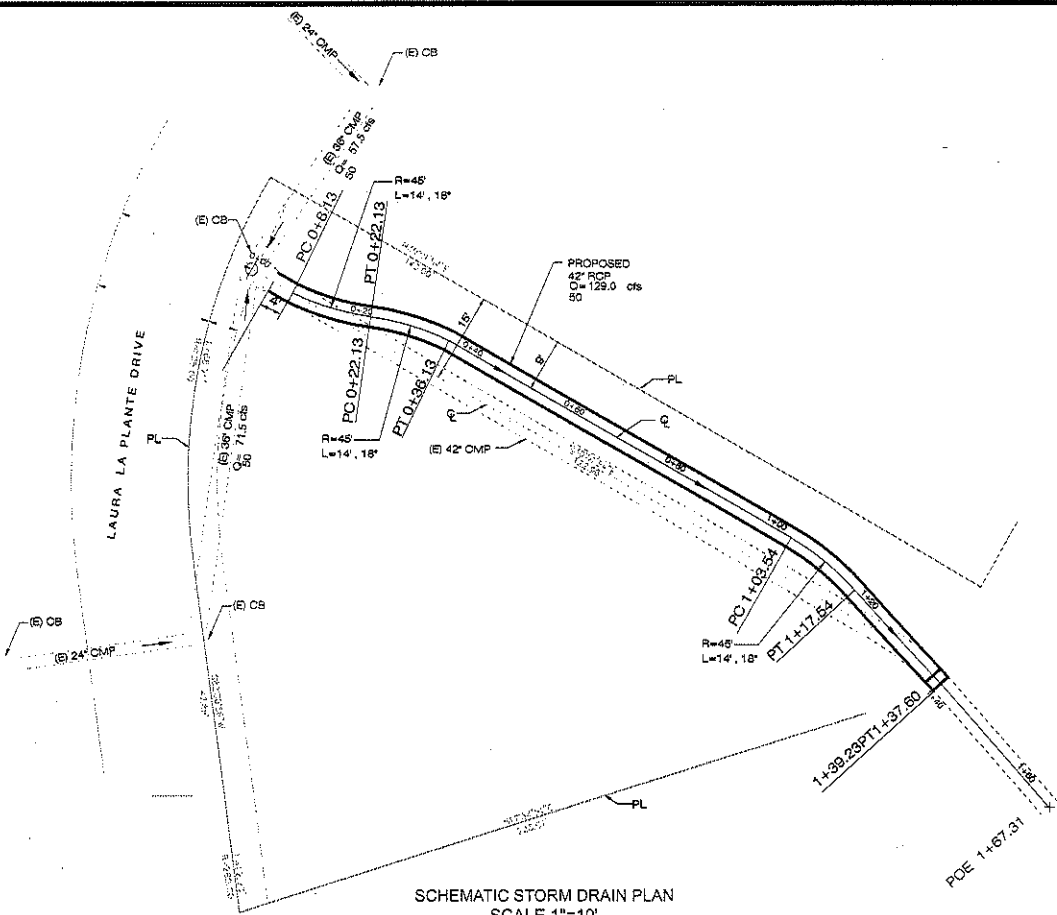
WHERE THE SPACE BETWEEN PIPE ENDS EXCEEDS 75 mm (3"), THE NUMBER OF CIRCULAR TIES SHALL BE INCREASED TO MAINTAIN AN APPROXIMATE SPACING OF 150 mm (6") O.C.

WHERE THE SPACE IS 150 mm (6") OR LESS OR DIAMETER AN EXTERIOR TYPICAL JOINT SHALL BE USED. THIS SHALL BE 150 mm (6") TO 150 mm (6") LEFT IN PLACE (SEE DETAIL A) WHERE THE PIPE IS 900 mm (36") OR LARGER A RINGWALL IS REQUIRED. THE RINGWALL SHALL BE 150 mm (6") OR THE EXTERIOR JOINT SHALL BE COMPLETELY FILLED WITH MORTAR AND LEFT IN PLACE.

II. DIMENSIONS SHOWN ON THIS PLAN FOR METRIC AND ENGLISH UNITS SHALL BE EXACTLY EQUAL. IF THE METRIC VALUES ARE NOT EXACTLY EQUALS USED FOR CONSTRUCTION SHALL BE METRIC VALUES, EXCEPT REINFORCING BAR SIZES IN ENGLISH UNITS. REINFORCING BAR SIZES IN METRIC UNITS SHALL BE ROUNDED UP FOR CONSTRUCTION SHALL BE ENGLISH UNITS.

PIPE DIAMETER	CIRCULAR TIE	NO. OF TIES
300 mm (12") OR LESS	3	3
450 mm (18") TO 750 mm (30")	3	3
900 mm (36") TO 1200 mm (48")	4	4
1350 mm (54") TO 1800 mm (72")	5	5

AMERICAN PUBLIC WORKS ASSOCIATION - SOUTHERN CALIFORNIA CHAPTER
 CONCRETE COLLAR FOR RCP
 300 mm (12") THROUGH 1800 mm (72")
 380-2



NOTES

- REINFORCING STEEL SHALL BE 40 mm (1 1/2") CLEAR FROM FACE OF CONCRETE UNLESS OTHERWISE SHOWN.
- REINFORCING STEEL FOR INSIDE FACE OF CATCH BASIN SHALL BE CUT AT CENTER OF OPENING AND IDENTIFIED INTO WALLS OF MONOLITHIC CATCH BASIN CONNECTION. REINFORCING STEEL FOR OUTSIDE FACE OF CATCH BASIN SHALL BE CUT 50 mm (2") CLEAR OF OPENING.
- CONNECTION SHALL BE PLACED MONOLITHIC WITH CATCH BASIN. THE HOUNDED SIDE OF OUTLET SHALL BE CONSTRUCTED BY PLACING CONCRETE WITH THE SAME CLASS OF CONCRETE AS THE CATCH BASIN AGAINST A CURVED FORM WITH A RADIUS OF 75 mm (3").
- CONNECTIONS SHALL BE CONSTRUCTED WHEN
 - PIPES INLET OR OUTLET THROUGH CORNER OF CATCH BASIN
 - ANGLE FOR PIPED THROUGH 750 mm (30") IN DIAMETER IS LESS THAN 20 DEGREES OR GREATER THAN 80 DEGREES.
- DIMENSIONS SHOWN ON THIS PLAN FOR METRIC AND ENGLISH UNITS ARE NOT EXACTLY EQUAL VALUES. IF METRIC VALUES ARE USED, ALL VALUES USED FOR CONSTRUCTION SHALL BE METRIC VALUES, EXCEPT REINFORCING BAR SIZES IN ENGLISH UNITS. REINFORCING BAR SIZES IN METRIC UNITS SHALL BE ROUNDED UP FOR CONSTRUCTION SHALL BE ENGLISH UNITS.

STRUCTURAL DATA		PIPE DIAMETER		CONCRETE CLASS	
P	F	C	ONE	TWO	THREE
300 mm (12")	300 mm (12")	300 mm (12")	300 mm (12")	300 mm (12")	300 mm (12")
450 mm (18")	450 mm (18")	450 mm (18")	450 mm (18")	450 mm (18")	450 mm (18")
600 mm (24")	600 mm (24")	600 mm (24")	600 mm (24")	600 mm (24")	600 mm (24")
750 mm (30")	750 mm (30")	750 mm (30")	750 mm (30")	750 mm (30")	750 mm (30")
900 mm (36")	900 mm (36")	900 mm (36")	900 mm (36")	900 mm (36")	900 mm (36")
1050 mm (42")	1050 mm (42")	1050 mm (42")	1050 mm (42")	1050 mm (42")	1050 mm (42")
1200 mm (48")	1200 mm (48")	1200 mm (48")	1200 mm (48")	1200 mm (48")	1200 mm (48")
1350 mm (54")	1350 mm (54")	1350 mm (54")	1350 mm (54")	1350 mm (54")	1350 mm (54")
1500 mm (60")	1500 mm (60")	1500 mm (60")	1500 mm (60")	1500 mm (60")	1500 mm (60")
1650 mm (66")	1650 mm (66")	1650 mm (66")	1650 mm (66")	1650 mm (66")	1650 mm (66")
1800 mm (72")	1800 mm (72")	1800 mm (72")	1800 mm (72")	1800 mm (72")	1800 mm (72")

AMERICAN PUBLIC WORKS ASSOCIATION - SOUTHERN CALIFORNIA CHAPTER
 MONOLITHIC CATCH BASIN CONNECTION
 308-1

PIPE CHARACTERISTICS		PIPE CHARACTERISTICS						SOIL BEARING CAPACITY			
PIPE SIZE (in)	PIPE SIZE (mm)	CONCRETE CLASS	CONCRETE CLASS	CONCRETE CLASS	CONCRETE CLASS	CONCRETE CLASS	CONCRETE CLASS	CONCRETE CLASS	CONCRETE CLASS	CONCRETE CLASS	CONCRETE CLASS
12	300	30	30	30	30	30	30	30	30	30	30
15	375	35	35	35	35	35	35	35	35	35	35
18	450	40	40	40	40	40	40	40	40	40	40
21	525	45	45	45	45	45	45	45	45	45	45
24	600	50	50	50	50	50	50	50	50	50	50
27	675	55	55	55	55	55	55	55	55	55	55
30	750	60	60	60	60	60	60	60	60	60	60

REVISIONS

NO.	DATE	BY	DESCRIPTION

PREPARED BY: JIMMY TOODROY
 REGISTERED CIVIL ENGINEER
 16450 WILLOW GARDEN DRIVE, SUITE 202
 TULSA, OKLAHOMA 74116

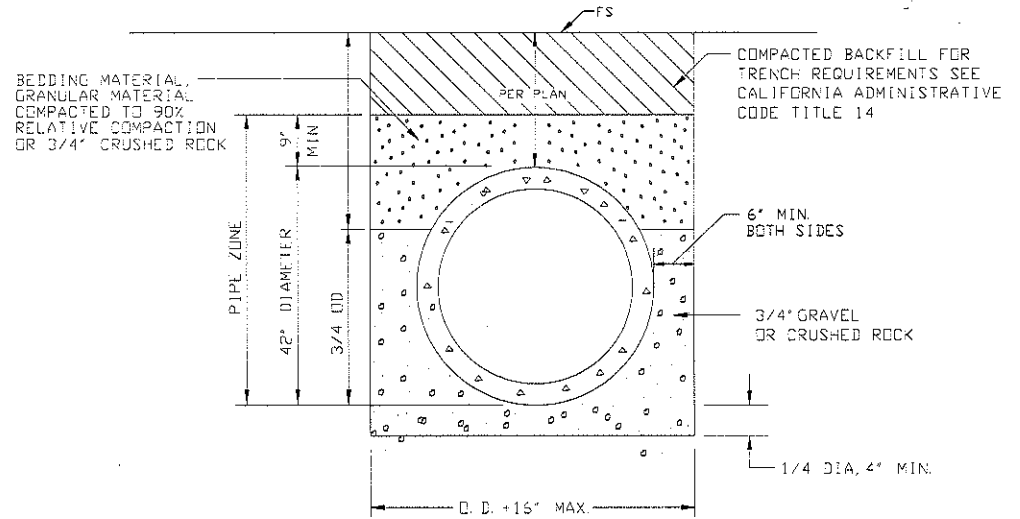
CLIENT: JOSEPH ABU-DALU
 4408 MEDLEY PL
 ENCINO, CA 91316
 TEL: (916) 996-7745

DRAINAGE DETAILS

28303 LAURA LA PLANTE DR.
 AGOURA HILLS, CA 91301

DATE: 10.12.2010
 SCALE: AS NOTED
 DRAWN: JT
 CHECKED: JT
 JOB NO.: 36
 SHEET NO.: 3

C - 3



NOTES

1. SOILS ENGINEER TO CERTIFY COMPACTION PRIOR TO REPAVING TRENCH.
2. BEDDING SHALL BE HAND TAMPED TO 90% RELATIVE COMPACTION MIN. TO THE TOP OF THE PIPE ZONE DURING PIPE INSTALLATION.
3. ALL EXCAVATIONS AND TRENCHES SHALL BE PROTECTED IN ACCORDANCE WITH THE CALIFORNIA DEPT. OF INDUSTRIAL RELATIONS (CAL/OSHA) CODE OF REGULATIONS TITLE 8, SUBCHAPTER 4 CONSTRUCTION SAFETY ORDERS.

PIPE BEDDING DETAILS

REVISIONS	
DATE	BY

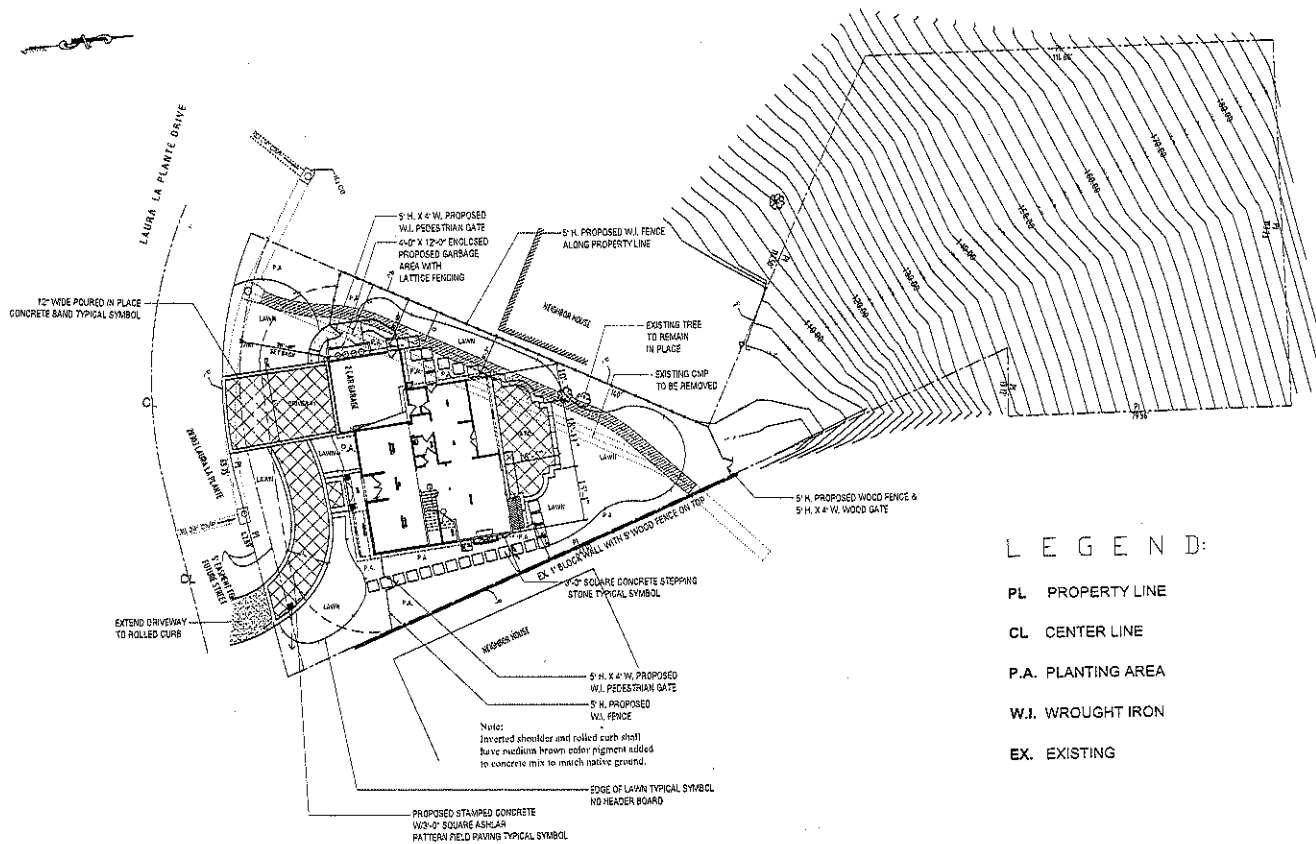
PREPARED BY:
 JIMMY TODOROV
 REGISTERED CIVIL ENGINEER
 No. 42865 Exp. 06/30/2016
 WEST HOLLYWOOD, CALIFORNIA 90240
 Tel: 424.201.9710



CLIENT: JOSEPH ABU DALU
 4409 MEDLEY PL
 ENCINO, CA 91316
 TEL: (818) 996-7745

PIPE BEDDING DETAILS
 FOR THE PROPERTY AT:
 28303 LAURA LA PLANTE DR.
 AGURA HILLS, CA 91301

DATE:	10.12.2016
SCALE:	AS NOTED
DRAWN:	JT
CHECKED:	JT
JOB NO.:	38
SHEET NO.:	



REVISIONS

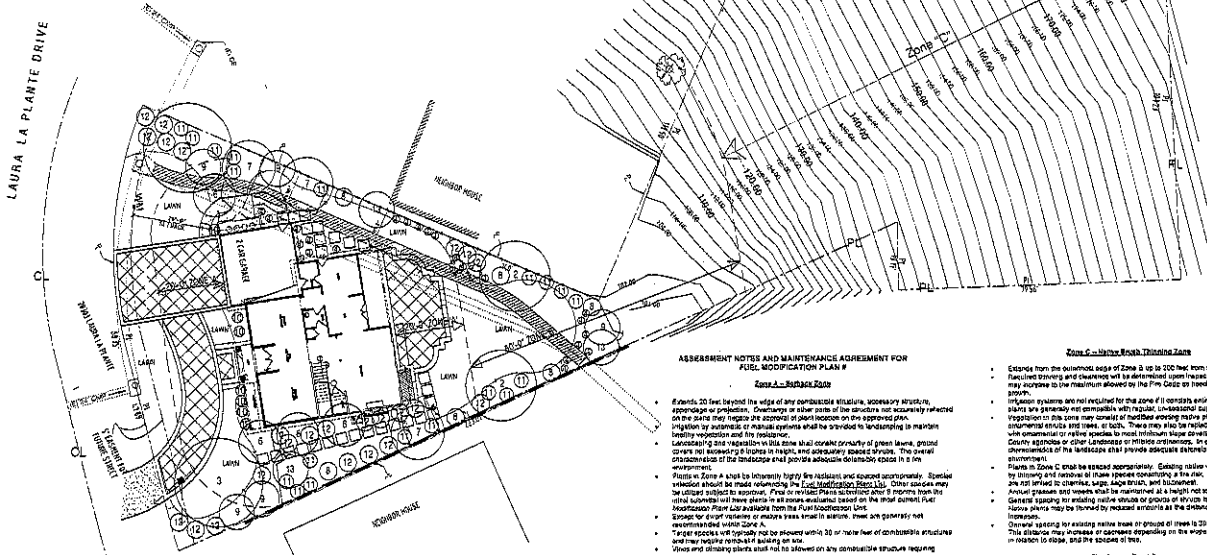
KERWEEZ LANDSCAPE ARCHITECTS
 Los Angeles office:
 800 N. Fairfax Ave., Suite #206, Los Angeles, CA 90046
 Phone: (323) 852-1177, Fax: (323) 852-0777
 E-mail: natashadesign@kabcglobal.net

LAYOUT & STAKING PLAN
 OWNER: DR. ABU-DALU
 ADDRESS: 28303 LAURA LA PLANTE
 AGOURA HILLS, CA 91301

DRAWN	A.N.
CHECKED	N.L.S.
DATE	8/22/11
SCALE	1/16" = 1'-0"
JOB NO.	
SHEET	L1.0
OF 1 SHEETS	

SYMBOL	DESCRIPTION	SIZE	QTY
2	GEIGERA PARVIFLORA AUSTRALIAN WILLOW	24" BOX	3
3	PRUNUS CERASIFERA 'ATROPURPUREA' PURPLE LEAF PLUM	15 GAL	2
6	SALVIA OFFICINALIS GARDEN SAGE	5 GAL	28
8	CYATHEA COOPERI AUSTRALIAN TREE FERN	5 GAL	4
7	ERIOBOTRYA DEFLEXA BRONZE CLOUAT	15 GAL	7
8	MAHONIA AQUIFOLIUM OREGON GRAPE	5 GAL	7

SYMBOL	DESCRIPTION	SIZE	QTY
5	ABUTILON HYBRID YELLOW 2 CHINESE BELLFLOWER RED-2	5 GAL	4
9	AMIGDANTHOS FLAVIDUS KANGAROO RAW	5 GAL	9
11	NANDINA DOMESTICA HEAVENLY BAMBOO	5 GAL	22
12	PHORMIUM TENAX 'ATROPURPUREUM COMPACTUM' MOUNTAIN FLAX	5 GAL	26
13	LAGESTROEMIA INDICA GRAPE MYRTLE	15 GAL	3



ZONE C 100FT.-200FT. FROM RESIDENCE OR FLAMMABLE STRUCTURES - SEE 'ASSESSMENT FOR FUEL MODIFICATION PLAN' NOTES-SHEET L-2.0.

ZONE B 20FT.-100FT. FROM RESIDENCE OR FLAMMABLE STRUCTURES - SEE 'ASSESSMENT FOR FUEL MODIFICATION PLAN' NOTES-SHEET L-2.0.

ZONE A 0FT.-20FT. FROM RESIDENCE OR FLAMMABLE STRUCTURES - SEE 'ASSESSMENT FOR FUEL MODIFICATION PLAN' NOTES-SHEET L-2.0.

ASSESSMENT NOTES AND MAINTENANCE AGREEMENT FOR FUEL MODIFICATION PLAN #

- Zone A - 0-20 Feet Zone**
- Extends 20 feet beyond the edge of any combustible structure, accessory structure, appurtenant structure, driveway or other site of the structure not accurately reflected on the plans that require the assessment of fuel load on the approved plan. Irrigation by automatic or manual systems shall be provided to landscaping to maintain healthy vegetation and the residence.
 - Landscaping and vegetation shall ensure that coverage structure of green lawn, ground covers and succulent plants in height, and secondary ground covers. The overall ground cover of the landscape shall provide adequate defensible space in a fire environment.
 - Plants in Zone A shall be inherently fire resistant and spaced appropriately. Species selected should be listed on the Fuel Modification Plan List. Other species may be planted subject to approval. Fire or resistant plants authorized after 8 months from the date submitted to the Fire Code are those listed on the most current Fuel Modification Plan List available from the Fuel Modification Unit.
 - Spacing for shrub and small trees shall be as follows: trees are generally well recommended in Zone A.
 - Tree spacing shall generally not be spaced within 20' or half-width of combustible structure area may require removal of existing trees.
 - Trees and shrubs shall not be allowed on any combustible structure requiring review.

- Zone B - 20-100 Feet Zone**
- Extends from the outermost edge of Zone A to 100 feet from structure.
 - Height of structure or material within the height is provided to landscaping to prevent "canyon" vegetation and fire resistance.
 - Landscaping and vegetation shall ensure that coverage structure of green lawn, ground covers and secondary ground covers.
 - Trees in Zone B shall be 10' from the structure edge or maintained at a height not to exceed 10 feet. A Zone B tree shall be maintained within 20 feet of a structure and 18 inches from the structure in Zone B of a fire area. The trunk circumference of the structure shall provide adequate defensible space in a fire environment. Resident trees plants may be retained to remain. Primary maintenance for existing defensible space shall be provided and watering shall be maintained at a minimum once weekly. Spacing between plants shall be maintained to the maximum extent appropriate. Spacing between plants shall be maintained to the Fuel Modification Plan List. Other species may be planted subject to approval.
 - Coverage of the Zone B area shall be maintained to the maximum extent appropriate. Irrigation by automatic or manual systems shall be provided to landscaping to maintain healthy vegetation and the residence.
 - Landscaping and vegetation shall ensure that coverage structure of green lawn, ground covers and secondary ground covers. The overall ground cover of the landscape shall provide adequate defensible space in a fire environment.
 - Plants in Zone B shall be inherently fire resistant and spaced appropriately. Species selected should be listed on the Fuel Modification Plan List. Other species may be planted subject to approval. Fire or resistant plants authorized after 8 months from the date submitted to the Fire Code are those listed on the most current Fuel Modification Plan List available from the Fuel Modification Unit.
 - Spacing for shrub and small trees shall be as follows: trees are generally well recommended in Zone B.
 - Tree spacing shall generally not be spaced within 20' or half-width of combustible structure area may require removal of existing trees.
 - Trees and shrubs shall not be allowed on any combustible structure requiring review.

- Zone C - 100-200 Feet Zone**
- Extends from the outermost edge of Zone B to 200 feet from structure.
 - Height of structure or material within the height is provided to landscaping to prevent "canyon" vegetation and fire resistance.
 - Landscaping and vegetation shall ensure that coverage structure of green lawn, ground covers and secondary ground covers.
 - Trees in Zone C shall be 10' from the structure edge or maintained at a height not to exceed 10 feet. A Zone C tree shall be maintained within 20 feet of a structure and 18 inches from the structure in Zone C of a fire area. The trunk circumference of the structure shall provide adequate defensible space in a fire environment. Resident trees plants may be retained to remain. Primary maintenance for existing defensible space shall be provided and watering shall be maintained at a minimum once weekly. Spacing between plants shall be maintained to the maximum extent appropriate. Spacing between plants shall be maintained to the Fuel Modification Plan List. Other species may be planted subject to approval.
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 - Trees and shrubs shall not be allowed on any combustible structure requiring review.

- Accumulated plant litter and dead wood shall be removed. Debris and trimmings produced by pruning and pruning should be removed from the site or chipped and evenly dispersed in the same area to a maximum depth of 2 inches.
- All invasive species and their parts should be removed from the site.
- Normal and excessive irrigation systems shall be maintained to appropriate height and programming. Effectiveness should be regularly evaluated to avoid over or under-watering. Compliance with the Fire Code is a year-round responsibility. Inspections will occur following issuance by the Fire Department. Annual inspections for brush clearance code requirements are conducted following the initial drying of grasses and tree limbs, between the months of April and June depending on geographic region. Inspection for compliance with an approved Fuel Modification Plan may occur at any time of year.
- Brush Clearance Enforcement based on adjacent properties should be directed to the County of Los Angeles Fire Department's Brush Clearance Unit at (818) 903-3272.
- All future changes shall be in accordance with the County of Los Angeles Fire Department's Fuel Modification Guidelines and approved area to inspection. Changes to the approved plan which require an additional fuel review will incur a plan review fee.
- Questions regarding landscape pruning and maintenance with regard to fire safety should be directed to the Fire Department's Fuel Modification Unit at (818) 906-3225.

Long Term Maintenance Agreement

The property owner(s) agree to be responsible for the long-term maintenance of the Fuel Modification plan as described herein. A General Maintenance Agreement regarding the Fuel Modification Plan may be obtained on the property by CDFFE approval, prior to occupancy permit. Verification of Fuel Modification requirements is to be made upon time to time, including changes to the Fuel Modification Plan may be submitted to the Fuel Modification Unit for approval, prior to implementation. Plans will be reviewed based on the current plan. Fuel Modification will be performed by the Fire Department to ensure compliance with the approved plan. Failure to comply with the Fuel Modification Plan requirements may result in an administrative fine of at least \$500 per violation, as well as possible fines, assessments, and legal action. Violations may also be considered as the owner agreement with the local jurisdiction on the property that will be the subject of an Abatement Enforcement Code of Law.

Name (Print)	Signature	Date
Name (Print)	Signature	Date

- REVISIONS**
- Routine maintenance shall be regularly performed in all zones. Requirements include but are not limited to:
 - Pruning or thinning of undesirable combustible vegetation and removal of dead or dying branches to meet minimum plant clearance requirements.
 - Pruning and thinning to reduce the overall fuel load and continuity of fuels.
 - Fuel loads shall be reduced by pruning overhanging limbs and removing limbs to 10' of tree height, and if the tree is dead or dying, remove the tree to help prevent the tree spreading and cause maintenance issues. Trees with unhealthy plants should be removed or dead limbs removed to the height of the spreading vegetation or up to a height of 10 feet, whichever is less, to help prevent the tree spreading upward in the crown.

NO.	DATE	DESCRIPTION

KERWEE LANDSCAPE ARCHITECTS
 Los Angeles office:
 8600 N. Fairfax Ave., Suite #200, Los Angeles, CA 90046
 Phone: (323) 852-1177, Fax: (323) 852-0777
 E-mail: klandsc@kerwee.com

FUEL MODIFICATION / PLANTING PLAN

OWNER: DR. ABU-DALU
ADDRESS: 28303 LAURA LA PLANTE
 AGOURA HILLS, CA 91301

DR. ABU-DALU
 N.E.
 8/22/11
 1/8" = 1'-0"
 10% N.P.
L2.0
 OF 2 SHEETS

EXHIBIT E

Date: March 25, 2008
GDI #: 06.00103.0148

CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Renee Madrigal

Project Location: 28303 Laura La Plante Drive, Agoura Hills, California.

Planning Case #: 86-CUP-019 (Abu-Dalu)

Building & Safety #: None

Geotechnical Report: GeoSystems, Inc. (2008), "Response to City of Agoura Hills Geotechnical Review Sheet, Lot 2, Parcel Map 18538, 28303 Laura La Plante Drive, Agoura Hills, California; Planning Case # 86-CUP-019 (Abu-Dalu)" GS98-517-6, dated February 27, 2008.

GeoSystems, Inc. (2007), "Updated Soils and Engineering-Geologic Report for Proposed Single-Family Residence, Lot 2, Parcel Map 18538, 28303 Laura La Plante Drive, Agoura Hills, California," GS98-517-5, dated November 19, 2007.

GeoSystems, Inc. (2006), "Updated Soils and Engineering-Geologic Investigation of Proposed Residence and Swimming Pool, Lot 2, Parcel Map 18538, 28303 Laura La Plante Drive, Agoura Hills, California," GS98-517-4, dated May 5, 2006.

Plans: Kerwee/Landscape Architects (2006), Landscaping and Irrigation Plans, Sheets L1, L2, LI-01 and LI-02, Scale: 1"=10', Dated: 05-05-06.

Studio Design Inc. (2005), "Residence Addition, Abudalu Residence, 28303 Laura La Plante Drive, Agoura Hills, California, 91301" Sheets A-1 through A-3, Various Scales, Dated October 11, 2005.

Previous Reviews: October 23, 2006 and December 31, 2006

FINDINGS

Planning/Feasibility Issues

Acceptable as Presented

Response Required

Geotechnical Report

Acceptable as Presented

Response Required

REMARKS

GeoSystems, Inc. (GS; consultant) provided a response to the geotechnical review letter by the City of Agoura hills dated December 31, 2006 regarding the proposed development at the site located at 28303 Laura La Plante Drive, City of Agoura Hills, California. The proposed development includes the construction of a single-family residence.

The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon a review, referenced reports are acceptable as presented with regard to planning and feasibility issues. We recommend the Planning Commission consider approval of Case No. 86-CUP-019 (Abu-Dalu). The consultant, however, should respond to the following report review comments prior to Building Plan Check approval. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments

Report Review Comments

1. Page 6 of the report Foundation Engineering Company (FEC) dated June 1, 1987 provides a description of the storm drain that extends below the property as follows:

"Since placement of the fill in 1977, a storm drain has been placed through the lot. The inlet lies adjacent to Laura La Plante Drive, nearly centered along the south property line. The subsurface pipe, measuring roughly 3 feet in diameter travels toward the west, apparently through the setback area between the street and the property limits. Approximately 10 feet from the western property line the pipe turns north, trending parallel to the property line. The pipe outlet can be seen just beyond the northernmost property corner. The pipe lies at a depth of 8± feet (on center), and is covered by recompacted fill which appears to be dense."

Based on existing grades at the site, this description implies that the storm drain flows uphill. It is not clear from the description whether "just beyond the northernmost property corner" refers to a position 50 feet above Laura La Plante Drive, or a location near the north end of the triangular pad that comprises the lower half of the lot. Discussions of drainage patterns provided on Page 4 of the FEC report suggest the possibility that a natural drainage previously existed at the rear of the level building area on the site. Since the north end of the pipe is indicated in the description as an "outlet" it suggests that a natural drainage and the storm drain outlet may have been buried since the description was written. The consultant should further discuss any information regarding the existing storm drain, the locations and conditions of known inlets and outlets, and should provide recommendations regarding preservation of the "inlet" and "outlet" structures. If the outlet for the pipe has been buried, the consultant should discuss the potential for adverse effects to the proposed development (if any) should the pipe fill with water from runoff on Laura La Plante Drive.

Note: The consultant responds to this comment by providing an underground utility location report dated December 12, 2006. The report verifies that a 36-inch corrugated steel storm drain is present along Laura La Plante Drive as described in the FEC report, and indicates that the visible section of the drain is about ½-filled with mud. Attempts were made to trace the drain using remote-sensing techniques (EM Locating Method). This method failed to identify a lateral extending north from Laura La Plante to the north edge of the building pad as described by FEC. Given the detailed description of the system provided by FEC, particularly the discussion of an outlet structure at the north edge of the pad, the fact that a 36-inch corrugated pipe was encountered in T-5 by FEC, and the lack of any record that the lateral was removed, a geophysical survey alone is not sufficient to demonstrate that the lateral is not present. Determining whether a storm drain lateral is present is important for several reasons: 1) If the lateral is intended to control runoff from Laura La Plante Drive, but the outlet is plugged, then the surface drainage may not be functioning as designed; 2) a plugged outlet that causes the pipe to fill with water may result in persistent moisture on the subject property; 3) perforating the storm drain with a pile excavation (whether plugged or otherwise) will complicate construction. The consultant should provide some more positive assessment of the location of the storm drain pipe discussed in the FEC report and encountered by FEC in T-5.

2. The civil engineer for the project should determine the location of the storm drain and whether any other utilities may be present below the proposed construction. The locations of all utilities should be clearly shown on the plan view of the pile detail of the future building plans.

Note: Indications in previous reports are that the storm drain inlet at Laura La Plante Drain discharged to an outlet at the north end of the subject site that may now be buried and non-functional. As noted previously, the project civil engineer should determine the location of all existing utilities on the property. Further the civil engineer should determine the discharge location for the storm drain inlet along Laura La Plante Drive, and evaluate the potential for flooding on the property if the storm drain inlet along Laura La Plante Drive does not function as designed.

Plan-Check Comments

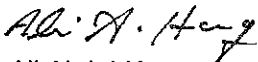
1. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.

2. The following note must appear on the grading and foundation plans: *"All retaining wall excavations shall be reviewed by the project engineering geologist for the presence of adversely oriented joint surfaces. Adverse surfaces shall be evaluated and supported in accordance with recommendations of the project geotechnical engineer."*
3. The grading plan should include the limits and depths of overexcavation for the swimming pool, the road and flatwork areas as recommended by the Consultant.
4. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
5. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
6. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
7. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
8. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

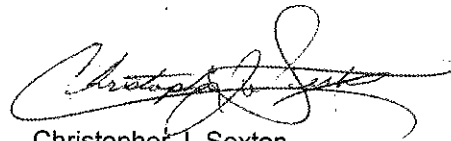
If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

GeoDynamics, INC.



Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/09)



Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/08)

EXHIBIT F

Notice of Exemption

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 90659

Project Title: Abudalu Single Family Residence

Project Location-Specific: 28303 Laura La Plante Drive

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: The project involves the construction of a 3,230 square foot single family home, with a 400 square-foot attached garage. The project site is a 23,090 square foot lot. The request is for a Conditional Use Permit.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: Joseph Abudalu/Studio By Design

Exempt Status: (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
 Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
 Emergency Project (14 Cal Code of Regs. Sec. 15269(b),(c), (d) and (e)). State subsection letter
 Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
 Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3. New Construction or Conversion of Small Structures
 No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

Reasons why project is exempt: The project consists of the construction of one single family home. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state scenic highway area; 3) a hazardous waste site; or 4) a historical resource area.

Lead Agency Contact Person: Allison Cook, Senior Planner, City of Agoura Hills

Area Code/Telephone/Extension: (818) 597-7310

Signature: Allison Cook

Date: 10-6-06

Title: Senior Planner

EXHIBIT G

CONDITIONAL USE PERMIT CASE NO 06-CUP-019
(A.P.N. 2061-022-051)



EXHIBIT H

