

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: December 6, 2012

TO: Planning Commission

APPLICANT: Tracy Hrach
485 Hillsborough Street
Thousand Oaks, CA 91361

CASE NO.: 12-SPR-004

LOCATION: 5310 Colodny Drive
(A.P.N. 2055-007-053)

REQUEST: Request for approval of a Site Plan/Architectural Review to construct a 5-unit apartment complex.

ENVIRONMENTAL DETERMINATION: Exempt from CEQA per Section 15303 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Site Plan/Architectural Review Case No. 12-SPR-004, subject to conditions, based on the findings of the attached draft Resolution.

ZONING DESIGNATION: RH-25-OA-FC-EQ (High Density Residential - (maximum 25 units per acre) - Old Agoura Design Overlay - Freeway Corridor Overlay - Equestrian Overlay) zones.

GENERAL PLAN DESIGNATION: RH (Residential High Density)

I. BACKGROUND AND PROJECT DESCRIPTION

On April 3, 2003, the Planning Commission approved a request for construction of a four-unit apartment complex to be located on this 13,724 square foot (0.31 acres) vacant, infill lot at 5310 Colodny Drive, on the east side of Colodny Drive between Canwood Street and Driver Avenue (Case No. 01-SPR-008). The project consisted of one 4,315 square-foot (including the garages) duplex located at the western portion of the property and another duplex of 3,892 square feet in size located at the eastern portion of the property.

The Site Plan/Architectural Review was valid for a two year period (to April 3, 2005). As allowed by the Zoning Ordinance and the conditions of approval, the applicant requested and received a one (1) year administrative extension of the Site Plan/Architectural Review to April 3, 2006. The applicant did not obtain a building permit for the project and the entitlement expired. The applicant re-applied for a new Site Plan/Architectural Review for the same apartment project, and it was approved on May 18, 2006, by the Planning Commission. On January 17, 2008, the Planning Commission approved a Tentative Tract Map (TTM 69073) to subdivide the previously approved apartment buildings into four separate condominium units and a common open space lot. The applicant did not submit plans for a building permit and the entitlement expired. The property has remained vacant since that time and the subdivision map was never recorded.

The property has since been sold and the new owner/applicant, Tracy Hrach, desires to change the condominiums to apartments. The applicant is seeking approval of a Site Plan/Architectural Review to develop a five-unit, two-story apartment building with two-car attached garages. The size of the building would be 9,076 square feet with a footprint of 5,544 square feet or 40% of the parcel. Five floor plans are proposed that range from 1,139 square feet to 1,564 square feet of livable space. One unit includes three bedrooms and two bathrooms. The other units each include two bedrooms and two bathrooms. The design also includes a required 1,764 square foot common area at the rear of the building. The proposed five units will provide their own individual trash cans, thus no on-site trash enclosure is required on the property.

The property is rectangular in shape and is approximately 60 feet in width and 223 feet in depth, extending from Colodny Drive at the west to the Los Angeles County Flood Control Channel to the east of the property. The topography of the lot is relatively flat with a descending slope on the easterly portion of the site, resulting in an average slope of 7%. The property has a zoning designation of RH-25-OA-FC-EQ (High Density Residential - (maximum 25 units per acre) - Old Agoura Design Overlay - Freeway Corridor Overlay - Equestrian Overlay) District. An apartment complex is a permitted use within these zones. The project meets the development standards relative to setbacks, lot coverage, building height, landscape coverage, group open space, and required parking.

The following is a summary of the proposed development relative to the Zoning Ordinance development standards of the RH zone.

Pertinent Data

	<u>Proposed</u>	<u>Required/Allowed</u>
1. Lot Size	13,724 sq. ft. Non-conforming	17,500 sq. ft. min.
2. Lot Depth	223 ft.	100 feet min.
3. Lot Width	60.5 ft. existing	100 feet min.
4. Building Height	26.5 feet (2 stories)	35 ft. max. or Two-stories max, (excluding the garage)
5. Building Area		
Unit 1:		
First Floor	466 sq. ft.	N/A
<u>Second Floor</u>	<u>806 sq. ft.</u>	N/A
Total Livable	1,272 sq. ft.	N/A
<u>Garage</u>	<u>456 sq. ft.</u>	N/A
Total	1,728 sq. ft.	N/A
Unit 2:		
First Floor	396 sq. ft.	N/A
<u>Second Floor</u>	<u>1,168 sq. ft.</u>	N/A
Total Livable	1,564 sq. ft.	N/A
<u>Garage</u>	<u>433 sq. ft.</u>	N/A
Total	1,997 sq. ft.	N/A
Unit 3:		
First Floor	390 sq. ft.	N/A
<u>Second Floor</u>	<u>1,094 sq. ft.</u>	N/A
Total Livable	1,484 sq. ft.	N/A
<u>Garage</u>	<u>438 sq. ft.</u>	N/A
Total	1,922 sq. ft.	N/A
Unit 4:		
First Floor	340 sq. ft.	N/A
<u>Second Floor</u>	<u>799 sq. ft.</u>	N/A
Total Livable	1,139 sq. ft.	N/A
<u>Garage</u>	<u>459 sq. ft.</u>	N/A
Total	1,598 sq. ft.	N/A

Unit 5:		
First Floor	462 sq. ft.	N/A
<u>Second Floor</u>	<u>910 sq. ft.</u>	N/A
Total Livable	1,372 sq. ft.	N/A
<u>Garage</u>	<u>459 sq. ft.</u>	N/A
Total	1,831 sq. ft.	N/A
Total For All Units		
Living Space	6,831 sq. ft.	N/A
Garages	2,245 sq. ft.	N/A
6. Building Setbacks		
Front (West)	20 ft.	15 ft. min.
Rear (East)	58 ft.	10 ft. min.
Right Side (South)	10 ft.	7 ft. min.
Left Side (North)	7 ft.	7 ft. min.
7. Lot Coverage	40% (5,544 sq. ft.)	50% max. (6,862 sq. ft.)
8. Group Open Space	1,764 sq. ft. (353 sq. ft./unit)	1,500 sq. ft. min. (300 sq. ft./unit)
9. Parking	2 covered per unit plus 3 visitor parking spaces	2 covered per unit plus 2.5 total min. visitor parking spaces
10. Landscaping Coverage	25%	No minimum requirement
11. No. of Oak Trees	0 on-site	N/A

II. STAFF ANALYSIS

Site Plan

The proposed project would be situated between two existing multi-residential developments with additional multi-residential developments directly across the street and the Los Angeles County Flood Control Channel to the east of the property.

Despite the relatively small, non-conforming width and size of the lot, the proposed building meets the required setbacks for the zone. The proposed front yard setback will be 20 feet from the street property line. The side yard setbacks will provide the minimum setback of 7

feet and the rear yard setback will provide a 58-foot setback. Access to the site is to be taken from Chesebro Road.

The applicant had initially proposed a different site plan configuration that included three separate buildings consisting of 5 units. The applicant instead proposed the current plan that combined the three buildings into one building allowing for a larger group open space area within the rear (east) portion of the property. The applicant is also providing all the units in the building with individual private patios. The project will have a lot coverage of 25%, which is below the maximum 50% lot coverage allowed for this zone, as well as the lot coverage of existing developments on this street.

Density

The maximum density allowed in the RH-(25) zone is 25 units per acre. Based on the project being 0.31 acres in size, a maximum of 7 units could be developed on this property. However, the applicant is proposing to develop 5 units on the property, which is equivalent to a density of 16 units per acre.

On both sides of Colodny Drive are multi-family residential complexes. Directly south of the proposed project are two separate apartment complexes. One has ten units on a 12,458 square foot lot (equivalent to 34 units per acre) and the other apartment complex directly to the south has nine units on a 13,576 square foot parcel (equivalent to 29 units per acre). Across the street from the proposed project site are also three apartment complexes. Of these three complexes, only one, 26-unit complex is on a one-acre parcel. The other two 24-unit complexes are located on parcels that are slightly under one-acre in size. Most of these developments were approved by Los Angeles County prior to the City's incorporation and, on average, were granted greater density allowances than what the City Zoning Ordinance currently allows. The proposed density of this apartment development project is therefore lower than the density of the surrounding developments.

Group Open Space

Developments within the RH zone are required to provide at least 300 square feet of group usable/outdoor recreation open space per dwelling unit. In this instance, 1,500 square feet of group usable recreation space is required for the 5-unit complex. The applicant is proposing 1,746 square feet of recreational space, which equates to 392 square feet per unit (a 30.5 increase from what is required). The proposed amenities, which are located on the rear portion of the complex, include a barbeque area, seating areas, and grass area.

Architectural Review

The proposed exterior building materials consist of light cream colored stucco with off-white color doors, window trim and shutters. Multi-pane windows are proposed throughout with multi-colored stone veneer of earthtone colors placed on all four sides of the building. Multi-panel, roll-up garage doors are proposed along with off-white colored eave trim and exposed corbels. A hip roof of multi-colored concrete tiles is proposed with a building

height of 26.5 feet, which is under the 35-foot height requirement for the zone. The applicant has also proposed a decorative stamped concrete driveway entrance. The project would be compatible with the other multi-residential developments in the area. Visual simulations of the building are included in the staff report.

The Architectural Review Panel and staff support the design of the project, finding it to be compatible with the City's Architectural Design Standards and Guidelines, and the high quality of design expected throughout the City, including the Old Agoura neighborhood with the incorporation of the natural materials and earthtone colors. The project plans were given to the Old Agoura Homeowners Association, but staff has not received their comments to date.

Engineering

The sites natural grade varies from 926 feet in elevation at the front (west) property line to a 904-foot elevation at the rear (east) property line. The proposed building would have a finished floor elevation of 919 feet to 926 feet. The lot is relatively flat with a slope that descends 13 feet at the rear (east) portion of the property, east of the building. The site is proposed to sheet flow west to east. A bio-filtration is proposed at the rear (east) portion of the property to treat on-site drainage run-off.

Because this property is situated slightly lower than the property to the north, a retaining wall of approximately 160 feet in length is proposed along the north property line, not to exceed six feet in height, in compliance with the Zoning Code. The retaining walls proposed on the property will be split face block with brick cap.

An estimated over-excavation of 2,344 cubic yards and an estimated export of 397 cubic yards of soil will be required for grading of the site. The City's Geotechnical Consultant has reviewed the project soils report and grading plan and supports approval of both at this design review phase.

The City's Geotechnical Consultant has reviewed the geotechnical reports prepared for this project and recommends that the project be approved from a geotechnical perspective.

No tract map is required for an apartment complex, which remains on a single parcel.

Oak Trees and Landscaping

There is one valley oak located at the rear of the adjacent property to the north. The canopy of the valley oak extends over the northeasterly corner of the subject property. Based on the City Landscape and Oak Tree Consultant's analysis, she has concluded that the project can be accomplished as proposed with no direct impacts to the subject oak tree, and no Oak Tree Permit is required for the development.

There is no minimum requirement for landscape coverage in the RH zone. However, the applicant is proposing on-site landscape coverage of 25%, with landscape areas dispersed

primarily along the north, west and east ends of the property to assist in screening the building. Proposed landscaping includes shrubs, vines, and trees (California Pepper trees, Strawberry trees, and Evergreen Elm trees). Landscape planters are proposed on each side of the garage doors on the south elevation. The preliminary landscape plan that was submitted has been reviewed by the City's Landscape Consultant who finds it compatible with City Standards, subject to conditions of approval that are included within the attached draft Resolution.

Parking

The project meets the minimum parking requirements of providing two covered parking spaces for each unit, and 0.5 guest parking space for each unit. Each unit allows for the parking of two vehicles in the individual garages. A total of three guest parking spaces are provided on-site. Two of the three guest parking spaces are tucked beneath the second story of the building, and the third guest parking spaces (an ADA van accessible space) is located at the east end of the driveway.

The City's Zoning Ordinance requires that driveways be 20 feet wide when the driveway serves two or more dwellings, and that a minimum 26 foot backup area is provided for parking spaces. The applicant is proposing to share a driveway with the property to the south to ensure that the project maintains the minimum width requirement of 20 feet for a two-way residential driveway serving two or more units. This shared driveway will also provide the garages with 26 feet of back up area required by City Code. This will also help the property to the south due to its non-conforming 12-foot wide driveway.

Summary

Staff finds that the proposed project meets the development standards established by the Residential High Density zone and the project is designed and sited to be compatible with the neighborhood. Geotechnical and geological studies were completed to analyze the feasibility and impacts of the project. The proposed building design and materials are in keeping with the character of the neighborhood. Staff also finds the proposed project to be Categorically Exempt from the California Environmental Quality Act per Section 15303 (New Construction or Conversion of Small Structures). This exemption includes, but is not limited to, the construction of an apartment complex of fewer than seven units.

III. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Site Plan/Architectural Review Case No. 12-SPR-004, subject to conditions, based on the findings of the attached draft Resolution.

IV. ATTACHMENTS

- Exhibit A: Site Plan/Architectural Review Draft Resolution and Conditions
- Exhibit B: Vicinity Map
- Exhibit C: Visual Simulations of the Proposed Building
- Exhibit D: Reduced Photocopies of Project Plans

Case Planner: Renee Madrigal, Associate Planner

EXHIBIT A

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 11-SPR-004

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY
FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Tracy Hrach with respect to the real property located at 5310 Colodny Drive (Assessor's Parcel Number 2055-007-053), requesting the approval of a Site Plan/Architectural Review Case No. 12-SPR-004 to construct a 5-unit apartment complex. A public meeting was duly held on December 6, 2012, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California; and that notice of the time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. The Planning Commission finds, pursuant to Agoura Municipal Code Section 9677.5, that:

A. The proposed use, as conditioned, is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located. Apartment uses are permitted in the High Density Residential (RH) zone, Old Agoura Design Overlay, Freeway Overlay, and Equestrian Overlay zone. The proposed building will meet all minimum yard and open space requirements for the RH zone, thereby preserving light, air, privacy and open space for the surrounding properties. The project meets the height and lot coverage requirements as specified for the RH zone.

B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare. Access to the site would be taken from Colodny Drive. The placement of the building within the property will allow for on-site vehicular and pedestrian circulation, while preserving light, air, and privacy of the surrounding properties and, in turn, will protect the general welfare of the neighboring community. The project will also comply with current building standards and regulations. The project will provide additional housing in accordance with the City's housing policies, including Goal No. 2 of the City's General Plan Housing Element.

C. The proposed use, as conditioned, will not conflict with the character and design of the buildings and open space in the surrounding area. The design of the building and exterior materials, which include stone veneer, corbels, and stucco, will be compatible with the rural theme of the Old Agoura Design Overlay District and will be compatible with the surrounding neighborhood.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. The project complies with the provisions of the High Density Residential zone, Freeway Overlay, Old Agoura Design Overlay, and the Equestrian Overlay zone in regards to use, on-site parking, lot coverage, building height, group open space and setbacks.

E. The proposed use, as conditioned, is consistent with the City's General Plan in that the apartments will contribute to the provision of a full range of housing types, locations, and densities to address the community's fair share of regional housing needs, and provide market support to economically sustain commercial land uses in Agoura Hills, as called for in the General Plan Land Use Policy LU-2.1.

F. The proposed use, as conditioned, preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The proposed apartment use is consistent with the multi-family apartment and condominium complexes on the same street. The project density of 5-units (16 units per acre) is below the maximum allowable density of 25 units per acre and is also below the prevailing density in the area.

Section 4. The Planning Commission finds, pursuant to Agoura Hills Zoning Municipal Code Section 9677.7(G), that:

A. The proposed use, as conditioned, is consistent with the design standards adopted by the City Council with the incorporation of earthtone colors and natural materials on the building.

B. As conditioned, the design and location of the proposed development and its relationship to existing developments and traffic in the vicinity thereof is such that it will increase the desirability of investment or occupation in the neighborhood. The proposed development will not unreasonably interfere with the use and enjoyment of existing or proposed residential developments in the vicinity, and will not create traffic hazards or congestion. Access to the site is via Colodny Drive. The driveway location will not interfere with neighboring developments or create traffic hazards. This shared driveway will also help the property to the south due to its existing non-conforming 12-foot driveway.

C. The proposed use, as conditioned, is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of the City. The proposed building design and materials are compatible with the rural theme of the Old Agoura Design Overlay District, and will be compatible with the surrounding neighborhood.

D. The design of the proposed development, as conditioned, provides a desirable environment for its occupants, as well as for the project's neighbors, and is aesthetically of good composition, materials, textures, and colors. The project is accessible for its occupants and group open space areas and amenities will be provided. The building

is also situated a sufficient distance from neighbors to provide for privacy, light, and air to its occupants.

E. The proposed use, as conditioned, complies with all applicable requirements of the district in which it is located and all other applicable requirements in that all development standards of the RH zone will be met, and the project will comply with City Building Code requirements.

F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare. The project is accessible from the street for motorists, pedestrians, and emergency access. The building is located a sufficient distance from the property lines to allow for adequate light, air, and open space. The project provides additional housing in accordance with the City's Housing Element, which will encourage the local economy.

Section 5. The project is a request for a five-unit apartment complex and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). As such, the project does not require adoption of an environmental impact report or negative declaration.

Section 6. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. 12-SPR-004, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

Section 7. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 6th day of December, 2012, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John O'Meara, Chairperson

ATTEST:

Mike Kamino, Secretary

CONDITIONS OF APPROVAL (Case No. 12-SPR-004)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of Approval of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits approved by the Planning Commission: Site Plan, Building Elevation Plans, Floor Plans, Roof Plan, Grading Plan, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance must be complied with unless set forth in the Permit.
8. A minimum of three guest parking spaces (including one handicap parking space), and two enclosed parking spaces for each unit, shall be provided on the subject property and handicap parking shall be provided within the complex. All guest parking spaces shall include wheel stops and the spaces shall be of standard sizes and pinstriped, in conformance to the City Parking Ordinance.
9. The applicant shall comply with all applicable Public Health Statutes, Ordinances and Regulations related to the disposal of sewage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and

Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless this permit is used within two (2) years from the date of City approval, this permit will expire. A written request for a one-year extension may be considered prior to the expiration date.
13. Unless otherwise specified in the Development Agreement for this project, the applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
14. Unless otherwise specified in the Development Agreement for this project, prior to the issuance of a Building Permit, the applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.20 per gross square foot for residential construction. Actual fees will be determined at the time of building permit issuance.
15. Unless otherwise specified in the Development Agreement for this project, the applicant shall pay to the City the applicable Fire District Development Fee prior to the issuance of Building Permits. The current rate is \$ 0.9296 per gross square foot of new floor area. Actual fees will be determined at the time of building permit issuance.
16. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
17. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
18. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of the approval

BUILDING AND SAFETY

19. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures shall meet the Very High Fire Hazard Severity Zone requirements as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code.
20. As part of the permitting process and prior to building permit issuance, two (2) complete sets of construction plans, including Architectural, Mechanical, Electrical, Plumbing, Green Building, Title 24 Energy Calculations, Structural Plans, and calculations shall be submitted, by the applicant to the Building and Safety Department for plan review and approval.
21. This project is required to meet the accessibility requirements per Chapter 11A of the California Building Code (latest edition).

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

General

22. Prior to permitting, applicant shall provide a preliminary title report not older than 30 days.
23. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
24. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of any permits, all improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
25. Prior to permitting, the applicant shall pay all applicable Transportation Impact Fees (TIF) to the Building and Safety Department.
26. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.

27. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
28. The grading plan shall show location(s) of all Oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
29. Prior to permitting, the applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original Mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
30. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
31. Prior to issuance of any permits from the Engineering Department, this project will require the applicant to obtain a permit from the Los Angeles County Flood Control District (LACFCD) and Las Virgenes Municipal Water District (LVMWD).
32. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at 818.597.7322 for approved City certification forms.
33. Any and all off-site work, such as the shared driveway along the south side shall require written permission from the affected property owners prior to beginning said work.

Public Improvements

34. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The applicant shall replace any damaged curb & gutter, replace any damaged AC pavement and repave utility trenches, construct a new Portland Cement Concrete driveway approach, replace any damaged sidewalk, install landscaping with irrigation in the parkway, install a new street light at location to be determined during plan check phase, install a sewer lateral on Colodny Drive and at the east end of the parcel, and all water appurtenances shall be per LVMWD standards.

SPECIFIC NOTES FOR IMPROVEMENTS LISTED ABOVE.

New concrete driveway shall match existing driveway on the south side, and unless waived by the Director of Planning and Community Development, all utilities existing and proposed shall be placed underground. If over-head utilities 66 KV or larger exist on or about the subject property, the applicant shall file an agreement to join any Assessment District subsequently created to underground said lines.

35. The existing street, Colodny Drive, being cut for new services or being finished with curb and gutter may require an asphalt concrete overlay, as determined by the Public Works Department upon field inspection.
36. No permanent structures shall be installed within public right-of-way unless approved by the Public Works Director first.
37. This property is within the LVMWD service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.

Sewer

38. A 10-inch sewer line is available for connection by this project in the existing LACFCD access road west of the concrete channel along the easterly property line. (Ref. Sewer Plan Dwg P.C. 9651). An 8-inch sewer line is also available for connection on Colodny Drive (Ref. Sewer Plan Dwg C02-0191-03). The final plans shall be reviewed and approved by City of Agoura Hills, Las Virgenes Municipal Water District and Los Angeles County Public Works Department.
39. Applicant shall use existing laterals, whenever provided, for connection to the public sewer system.
40. Applicant shall obtain approval from Los Angeles County Public Works Department for proposed sewer and drain laterals within the Flood Control Channel Easement. Applicant shall furnish saddle and coordinate with Los Angeles County Public Works for the installation of the saddle on existing sewer line.

Water

41. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and the City.

Drainage/Hydrology

42. A hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County

Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.

Stormwater Quality (NPDES)

43. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
44. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
45. Prior to issuance of Certificate of Occupancy, all remaining fees/ deposits required by the Engineering Department must be paid in full.
46. Prior to issuance of Certificate of Occupancy, all requirements including construction of improvements covered in condition number 13 must be completed to the satisfaction of the City Engineer.

47. Prior to issuance of Certificate of Occupancy, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.
48. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
49. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
50. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

OAK TREE CONDITIONS

51. The following notes shall be placed on all project plans, including but not limited to site, grading and landscape plans.
 - a. Prior to the mobilization, delivery of materials or the start of any work on the site, temporary chain link fencing shall be placed along the westerly and southerly edges of the protected zone of the valley oak in accordance with Appendix A, Section V.C.1.1 of the Zoning Code. The City Oak Tree Consultant shall approve the fencing location and installation prior to the start of any work. The purpose of the fencing is to prevent any encroachment within the protected zone of the oak tree.
 - b. No work is permitted within the fenced area. The fencing shall remain in place until permission to remove it is granted by the City Oak Tree Consultant.
 - c. No materials, equipment, vehicles, spoils, debris, etc. shall be placed or stored within the fenced area at any time.
 - d. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. All pruning operations shall be consistent with

ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.

- e. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.

LANDSCAPING CONDITIONS

52. The final landscape plan shall generally conform to the approved preliminary landscape plan, as prepared by Susan E. McEowen, dated August 10, 2012, revised October 26, 2012.
53. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements, subject to review by the City Landscape Consultant, and approved by the Director of Planning and Community Development.
 - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features, as applicable:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas

- Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
- h. The Planting Plan shall indicate the botanical name and size of each plant.
54. Plant symbols shall depict the size of the plants at maturity.
55. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
56. The landscape plans shall prominently display the following notes:
- a. All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
 - b. All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
 - c. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
57. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
58. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
59. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
- Design and static pressures
 - Point of connection
 - Backflow protection
 - Valves, piping, controllers, heads, quick couplers

- Gallon requirements for each valve
60. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
 61. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
 62. A complete Landscape Documentation package is required at the time of initial plan check submittal, prepared in accordance with Article IX, Section 9658.6 – Water Efficient Landscaping, contained in the Zoning Code.
 63. The site shall provide a minimum of three hundred (300) square feet of group usable outdoor developed open space per dwelling unit.
 64. A minimum of fifteen percent (15%) of the parking lot, including driveways and aisles, shall be landscaped, distributed evenly throughout the parking lot.
 65. Shade trees are generally required such that fifty percent (50%) of the parking lot, including driveways and aisles, shall be covered by tree canopies within fifteen (15) years after installation. The covered guest parking included within the proposed plans serves to mitigate the heat island effect so the design effectively meets the intent of the canopy coverage requirement.
 66. No plant materials considered invasive to riparian habitats or within the Santa Monica Mountains shall be used.
 67. The landscape design shall be naturalistic in style, emphasizing native oak trees per the design standards for the Freeway Corridor Overlay District.
 68. The landscape plan shall be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department prior to the issuance of building permits.
 69. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
 70. Poor landscape practices such as topping, hedging and “lollipoping” shall not be permitted and may require that plant materials be replaced with like size materials at the discretion of the City Landscape consultant.

FIRE DEPARTMENT CONDITIONS

71. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a building permit.

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

72. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
73. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
74. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

PLANNING CONDITIONS

75. The final design of all proposed retaining wall systems located on the site shall be submitted to the Planning and Community Development Director for review and approval prior to the issuance of grading permit.

76. All mechanical equipment shall be screened from public view from the adjacent street and surrounding properties to the satisfaction of the Director of Planning and Community Development.
77. On-site decorative paving shall be provided at the driveway entrance serving the site. The color, materials, and length of the decorative paving shall be subject to review by the Director of Planning and Community Development.
78. A pre-construction conference shall be held prior to the issuance of a grading permit with all construction personnel involved with the grading operations.

END

EXHIBIT B

SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 12-SPR-004
(A.P.N. 2055-007-053)

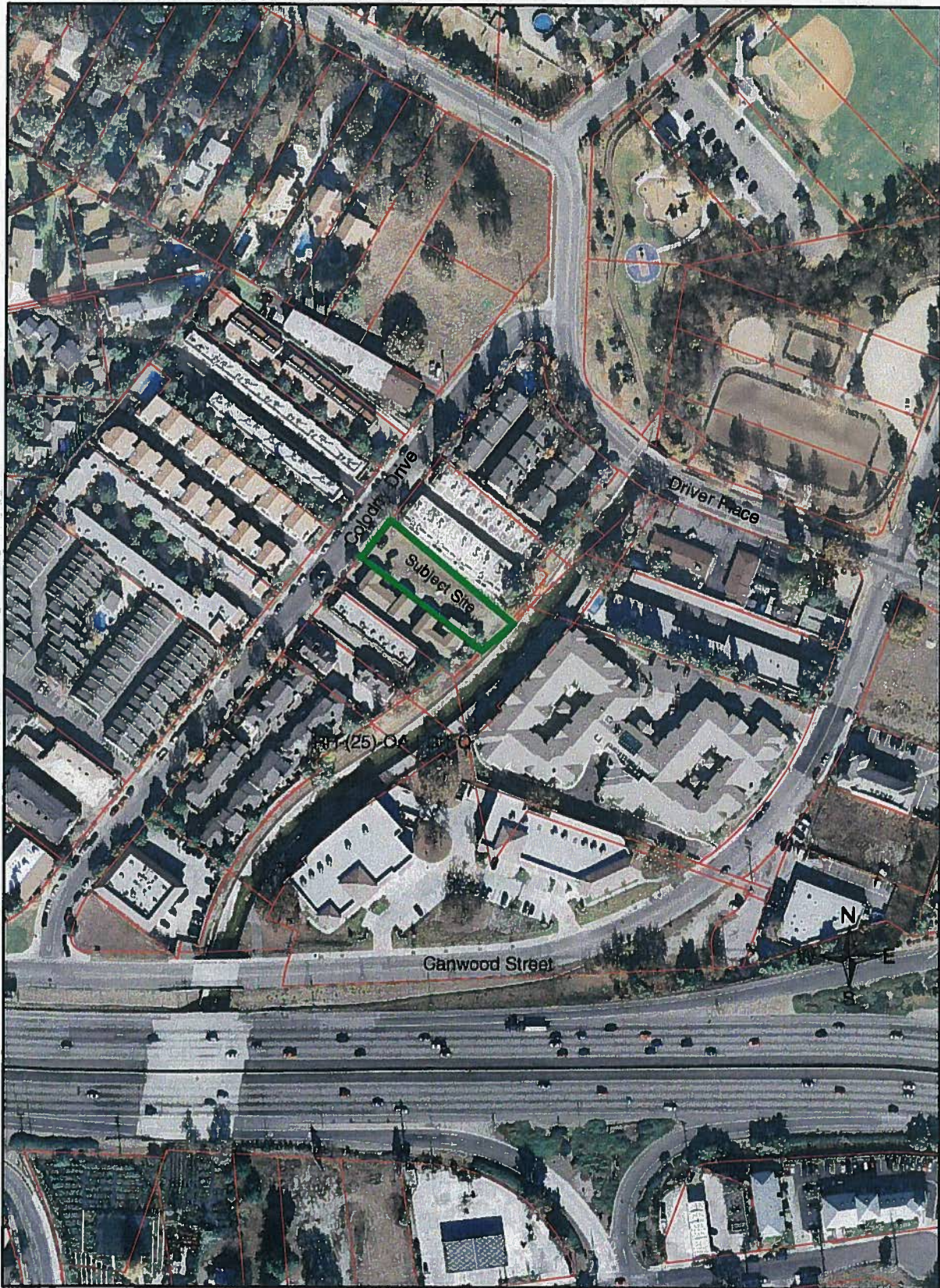


EXHIBIT C



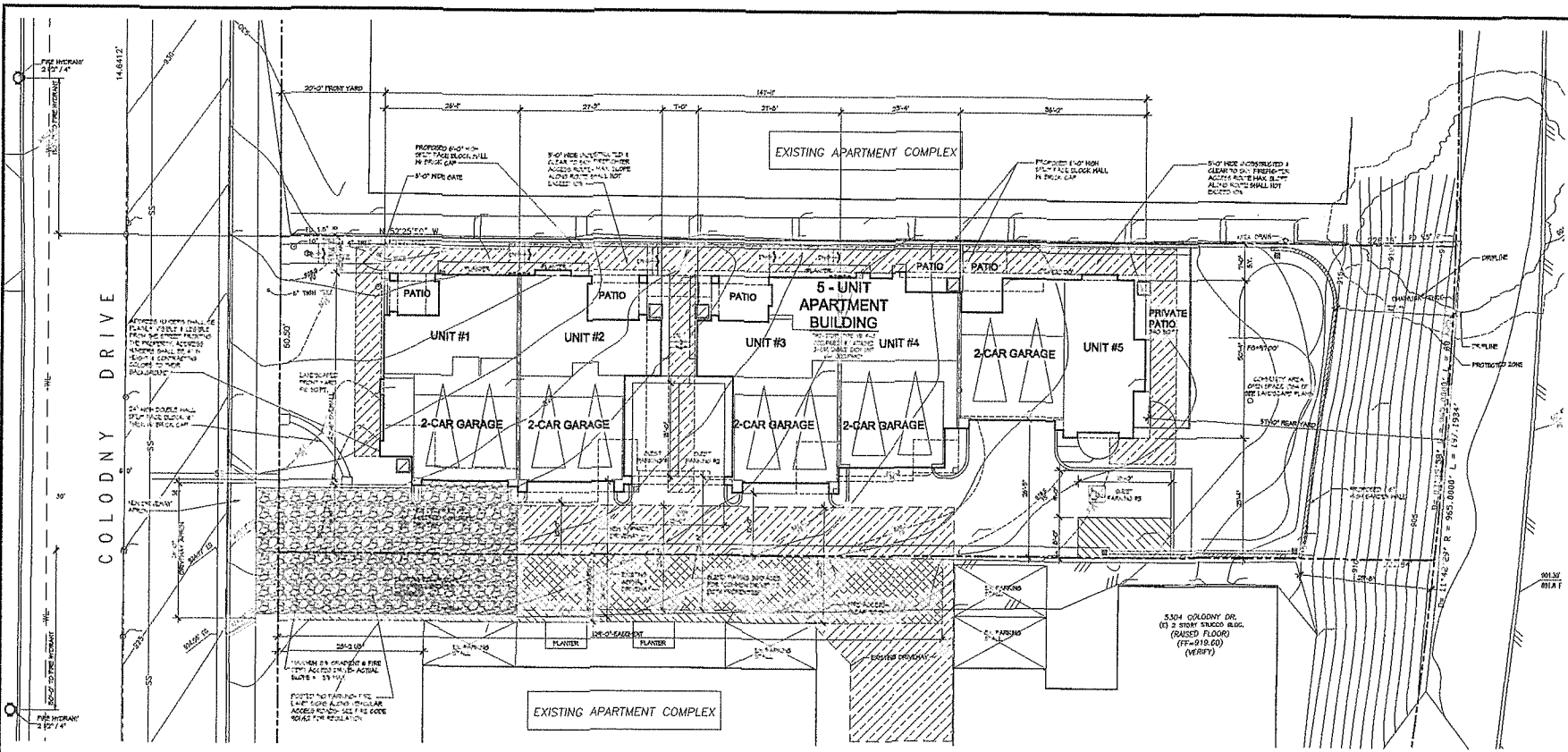


KEN STOCKTON ARCHITECTS, INC.





EXHIBIT D



INVEST MEST
488 HILLCROFT STREET
THOUSAND OAKS, CALIFORNIA 91320

COLONY APARTMENTS
5 UNIT APARTMENT COMPLEX
3910 COLONY DRIVE
THOUSAND OAKS, CALIFORNIA 91320

PROJECT NAME:
PROJECT NO.:

DATE: 07/20/2023
DRAWN BY: KEN STOCKTON
CHECKED BY: KEN STOCKTON
SCALE: 1/8" = 1'-0"

KEN STOCKTON
ARCHITECT
28500 N. MOON ROAD, FRESNO, CA 93720
(509) 251-1111 FAX: (509) 251-1104

SHEET NO. **A-1.0**

FIRE DEPARTMENT NOTES:

- BUILDING ACCESS SHALL BE PROVIDED AND MAINTAINED AS TO BE FULLY AVAILABLE TO PEOPLE FROM THE STREET THROUGH THE PROPERTY. THE WALKWAY SHALL BE A MINIMUM 4' HIGH, 3' WIDE AND 2' DEEP. FOR BUILDINGS WITH MORE THAN 30' FROM THE STREET, THE WALKWAY SHALL BE A MINIMUM 4' HIGH, 3' WIDE AND 2' DEEP. THE CODE SHALL BE FULLY SPRINKLERED.
- THE REQUIRED FLYING FOR PUBLIC FIRE DEPARTMENTS AT THIS LOCATION IS 30' BY 10' AT 20' INTERVALS FOR A DISTANCE OF 2 HUNDRED FEET AND 40' BY 10' AT 20' INTERVALS FOR THE REMAINDER OF THE DISTANCE.
- THE WALKWAY SHALL BE FULLY SPRINKLERED AND SHALL BE FULLY SPRINKLERED BY A 1/2" HOSE CONNECTION. THE WALKWAY SHALL BE FULLY SPRINKLERED BY A 1/2" HOSE CONNECTION. THE WALKWAY SHALL BE FULLY SPRINKLERED BY A 1/2" HOSE CONNECTION. THE WALKWAY SHALL BE FULLY SPRINKLERED BY A 1/2" HOSE CONNECTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE SUBMITTED FOR THIS BUILDING AND SHALL BE SUBMITTED TO THE PROVIDER PLAN CHECKER FOR REVIEW AND APPROVAL.
- EXISTING SHALL BE FULLY SPRINKLERED BY THE USE OF A KEY OR ANY OTHER MEANS OF IDENTIFICATION ON EXISTING BUILDING CODES.
- ALL EXISTING BUILDINGS SHALL BE FULLY SPRINKLERED BY THE USE OF A KEY OR ANY OTHER MEANS OF IDENTIFICATION ON EXISTING BUILDING CODES.
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PROJECT DATA:

BUILDING DESCRIPTION:
5 UNIT APARTMENT BUILDING - 2-STORY
FULLY SPRINKLERED BLDG.

CONSTRUCTION TYPE: VI

COUNTY: R-2 = 6,831 S.F.
EXEMPT: D-1 = 2,249 S.F.

FIRE SPRINKLERS: YES

BUILDING HEIGHT: 25'-0"

SETBACKS:
FROM (WEST) = 50'-0"
FROM (EAST) = 57'-10"
RIGHT SIDE (SOUTH) = 10'-0"
LEFT SIDE (NORTH) = 7'-0"

LOT COVERAGE:
LOT AREA = 13,724 S.F.
BLDG. FOOTPRINT = 3,544 S.F.
TOTAL COVERAGE = 3,544 S.F./13,724-LOT

OPEN SPACE:
1,784 S.F.

PARKING:
REQUIRED PARKING:
2 PER UNIT = 10 SPACES
2 PER GARAGE = 10 SPACES
TOTAL REQUIRED = 20 SPACES
PROPOSED PARKING:
2 2-CAR GARAGES = 10 SPACES
TOTAL PROVIDED = 10 SPACES

LANDSCAPING:
25%

LEGAL DESCRIPTION:

LOT 11 OF TRACT 8451
APN: 2008-007-003

BUILDING AREA:
1ST FLOOR = 3,544 S.F.
2ND FLOOR = 1,784 S.F.
TOTAL = 5,328 S.F.

UNIT 1:
FIRST FLOOR = 1,096 S.F.
SECOND FLOOR = 1,096 S.F.
TOTAL = 2,192 S.F.

UNIT 2:
FIRST FLOOR = 1,096 S.F.
SECOND FLOOR = 1,096 S.F.
TOTAL = 2,192 S.F.

UNIT 3:
FIRST FLOOR = 1,096 S.F.
SECOND FLOOR = 1,096 S.F.
TOTAL = 2,192 S.F.

UNIT 4:
FIRST FLOOR = 1,096 S.F.
SECOND FLOOR = 1,096 S.F.
TOTAL = 2,192 S.F.

UNIT 5:
FIRST FLOOR = 1,096 S.F.
SECOND FLOOR = 1,096 S.F.
TOTAL = 2,192 S.F.

SITE PLAN

REFER TO APPROVED GRADING AND DRAINAGE PLANS PREPARED BY LISTON & ASSOC. FOR ALL FINISHED GRADES & DRAINAGE DETAILS.

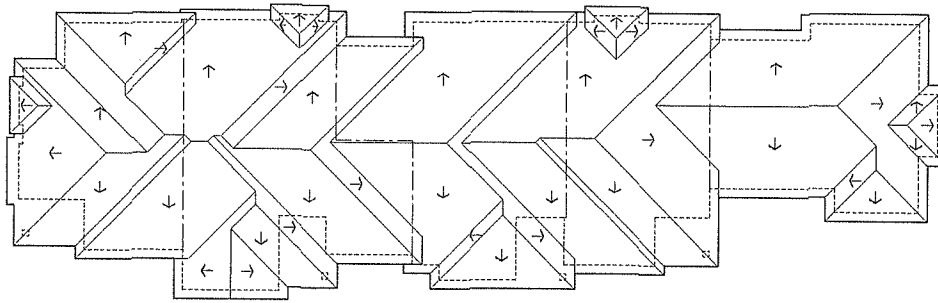
ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER @ A POINT OF DISCHARGE OF THE INLET OF AN APPROVED DRAINAGE DEVICE A MIN. OF 12" PLUS 5% OF THE DISTANCE FROM THE FOUNDATION TO THE GUTTER OF THE DRAINAGE DEVICE.

PROVIDE SEPARATE PERMITS FOR GRADING, RETAINING WALLS, ELECTRICAL, MECHANICAL, & PLUMBING.

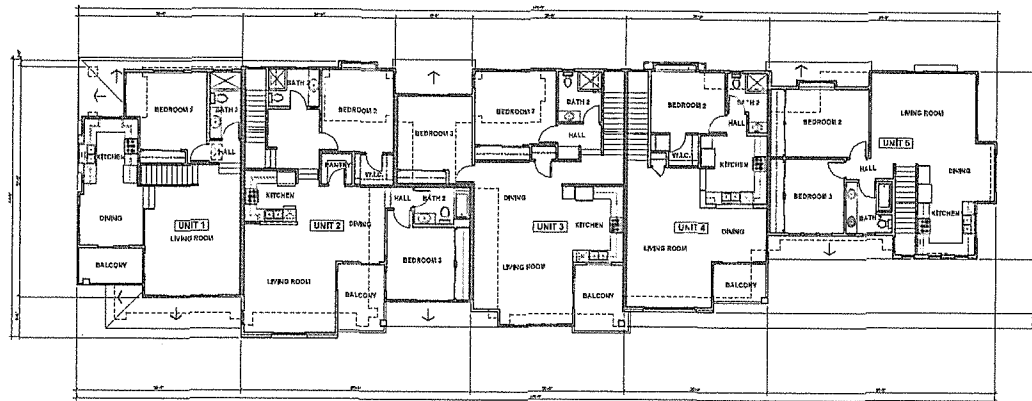
VICINITY MAP



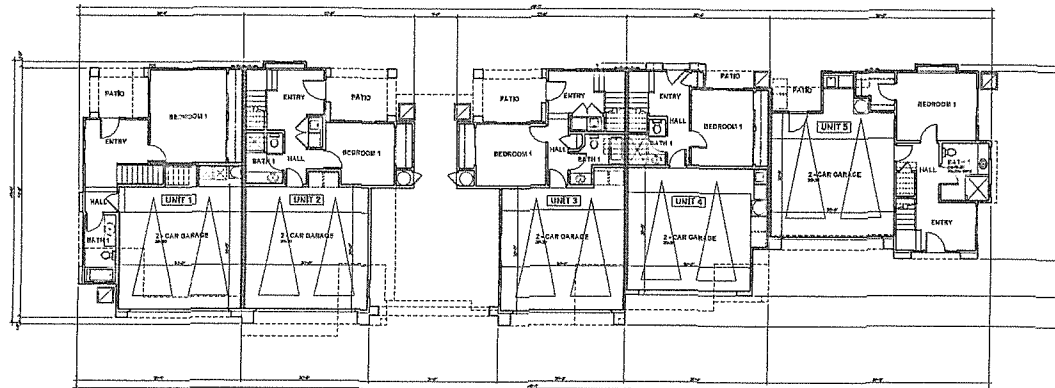
NOT FOR CONSTRUCTION



ROOF PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

INVEST MEST
489 HILLSBOROUGH STREET
THOUSAND OAKS, CALIFORNIA 91321

PROJECT NAME
COLONY APARTMENTS
5 UNIT APARTMENT COMPLEX
3500 CALAHOY DRIVE
COSTA MESA, CALIFORNIA 92626

FLOOR PLANS, ROOF PLAN

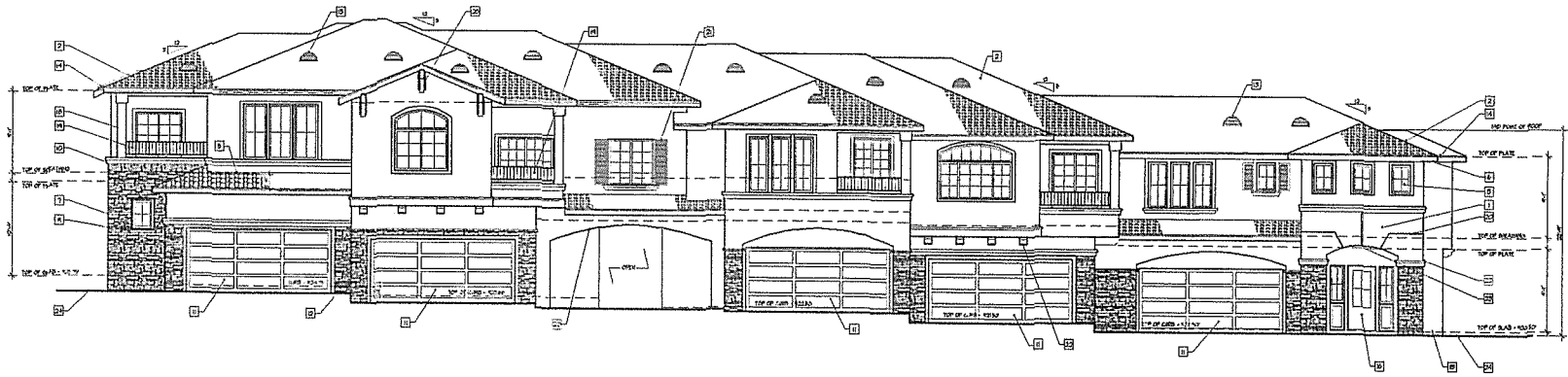
DRAWN BY: [blank]
DATE: 05/07/12
PLANNING: [blank]
PERMIT: [blank]

KEN STOCKTON
ARCHITECT
2100 N. ASPEN ROAD, STE 204, COSTA MESA, CA 92626
TEL: 714-448-7100 FAX: 714-448-7104

SHEET NO.

A-2.0

NOT FOR CONSTRUCTION



SOUTH ELEVATION - DRIVEWAY

SCALE 3/8"=1'-0"

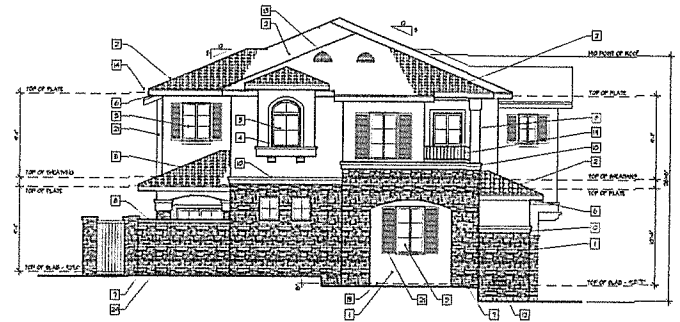
ELEVATION KEY NOTES

- 1 EXTERIOR STUCCO OVER APPROVED METAL LATH AND PAPER PROVIDED 3 LAYERS OF GRADE D PAPER & PLYWOOD SHEAR WALLS.
- 2 CONCRETE SPANISH TILE ROOFING, CLASS 'A' MINIMUM
- 3 ALUMINUM FRM CD, DUAL GLAZED WINDOWS - TYPICAL.
- 4 DECORATIVE FOAM DOOR AND HIDDEN TRIM W/ STUCCO COLOR COAT FINISH.
- 5 METAL FLASHING AND COUNTER FLASHING @ ROOF TO WALL CONDITION.
- 6 STUCCO FINISHED FASCIA AND OVERHANG - TYPICAL.
- 7 'CORONADO' STAKE STORE VENEER.
- 8 'CORONADO' STONE CAP.
- 9 'CORONADO' STONE SILL.
- 10 DECORATIVE FOAM HOLDING WITH STUCCO COLOR COAT FINISH.
- 11 OVERHEAD GARAGE DOOR WITH DECORATIVE PANELS.
- 12 1/2" X 6" GA SCREENED EXHAUST VENTS.
- 13 1/2" ROUNO GA. LOUVERED AND SCREENED DOWNER VENTS.
- 14 SEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS AS REQUIRED.
- 15 6GA. METAL KICK BLOCK @ FOUNDATION PLATE LINE - 4" ABOVE GRADE 2" ABOVE FINISH MINIMUM.
- 16 DECORATIVE ENTRY DOOR.
- 17 6" CONCRETE BLOCK PATIO HALL W/ BRICK CAP AND STUCCO FINISH.
- 18 HOOD FRAMED COLUMN W/ EXTERIOR STUCCO FINISH.
- 19 ALL GUARDRAIL OVER HOOD FRAMED HALL WITH STUCCO FINISH - 42" HIGH MINIMUM - LESS THAN 4' DETICED INTERMEDIATE RAILE.
- 20 1" WIDE GA. METAL BRUCCO SOREED - VERIFY LOCATION.
- 21 PREFABRICATED DECORATIVE BRITERS - VERIFY SIZE.
- 22 DECORATIVE FOAM CORBEL W/ STUCCO COLOR COAT FINISH.
- 23 HOOD FRAMED ARCH W/ STUCCO FINISH.
- 24 LINE OF FINISHED GRADE.
- 25 DECORATIVE HOOD CORBEL.



EAST ELEVATION - REAR

SCALE 3/8"=1'-0"



WEST ELEVATION - FRONT

SCALE 3/8"=1'-0"



NORTH ELEVATION - SIDE YARD

SCALE 3/8"=1'-0"

INVEST NEST
485 HILLCROSSLANE STREET
THOUSAND OAKS, CALIFORNIA 91361

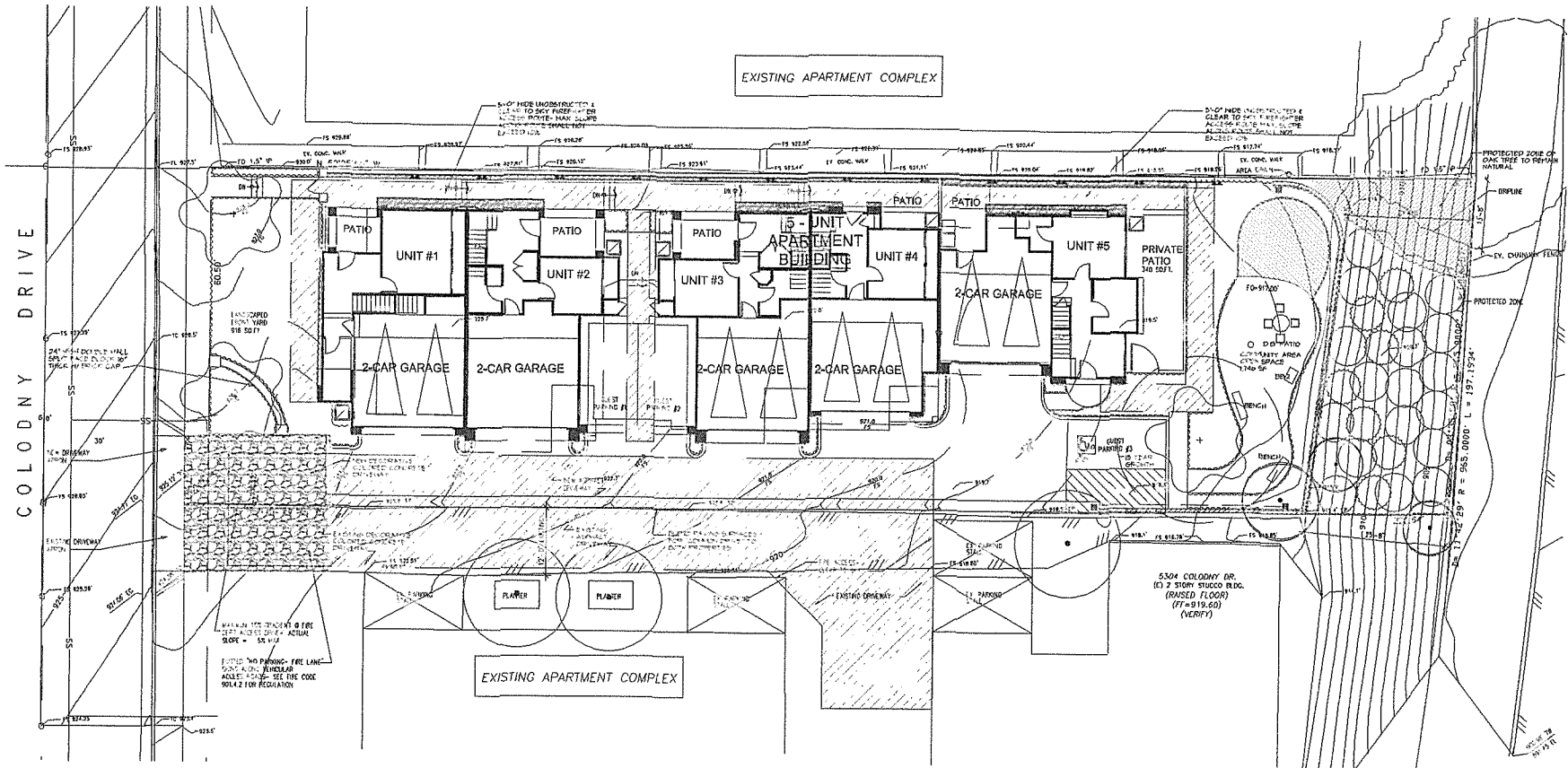
COLONY APARTMENTS
5 UNIT APARTMENT COMPLEX
5300 COLONY DRIVE
CLOVIS, CALIFORNIA 95321

EXTERIOR ELEVATIONS	REVISIONS
DRWING: DT	
DATE: 08/07/22	
PLAN OR:	
PRINT:	

KEN STOCKTON
ARCHITECT
20000 N. ARDEN ROAD, SUITE 100, CALIFORNIA, CA 91320
951-222-8400 FAX: 951-222-8401

SHEET NO:
A-3.0

NOT FOR CONSTRUCTION



DESIGNED BY
SUSAN E. McEOWEN
 LANDSCAPE ARCHITECT 2174
 A CALIFORNIA CREDENTIAL
 3297 BIG OAK LEASE
 THOUSAND OAKS, CA 91324
 818.476.8484 or 818.476.8492
 EMAIL: susan@mcowen.com

OWNER:
INVEST WEST
 485 HILLSBOROUGH STREET
 THOUSAND OAKS, CA
 91361

PROJECT:
COLODNY APARTMENTS
 5 UNIT APARTMENT BUILDING
 5310 COLODNY DRIVE
 AGOURA HILLS, CA 91301.

SHEET TITLE:
**PRELIMINARY
 LANDSCAPE**

L-P

TREE LEGEND

SYMBOL	BOTANIC NAME-COMMON NAME QUANTITY AND SIZE
(Circle with dot)	3" - 6" CALIBER SCAMUS HOLE CALLIPHYLLA PEPPER 10-12" H
(Star shape)	ARJUNUS HAINA BUCKWHEAT TREE 3" - 24" INCH BOX LOW
(Circle with dot)	3" - 2" CALIBER LEAFY PAVYOLIA TO 10" H

ALL TREES WITHIN 5' OF PAVING TO RECEIVE A 24" ROOT BARRIER DEVICE

SHRUB & VINE LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	QTY	INCHES
(Circle with dot)	ARJUNUS HAINA	BUCKWHEAT TREE	3"	10	LOW
(Circle with dot)	CALLIPHYLLA PEPPER	CALLIPHYLLA PEPPER	3"	10	LOW
(Circle with dot)	CALLIPHYLLA PEPPER	CALLIPHYLLA PEPPER	3"	10	LOW
(Circle with dot)	CALLIPHYLLA PEPPER	CALLIPHYLLA PEPPER	3"	10	LOW
(Circle with dot)	CALLIPHYLLA PEPPER	CALLIPHYLLA PEPPER	3"	10	LOW
(Circle with dot)	CALLIPHYLLA PEPPER	CALLIPHYLLA PEPPER	3"	10	LOW
(Circle with dot)	CALLIPHYLLA PEPPER	CALLIPHYLLA PEPPER	3"	10	LOW
(Circle with dot)	CALLIPHYLLA PEPPER	CALLIPHYLLA PEPPER	3"	10	LOW
(Circle with dot)	CALLIPHYLLA PEPPER	CALLIPHYLLA PEPPER	3"	10	LOW
(Circle with dot)	CALLIPHYLLA PEPPER	CALLIPHYLLA PEPPER	3"	10	LOW

QUANTITIES ARE FOR REFERENCE ONLY - CONTRACTOR TO PROVIDE ALL PLANT MATERIAL ON PLAN

NOTE: 3" PLANTER IN ALL PLANTERS

LAWN SUBSTITUTE & GROUNDCOVERS

SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	QTY	INCHES
(Stippled)	BUCKWHEAT TREE	BUCKWHEAT TREE	3"	10	LOW
(Stippled)	BUCKWHEAT TREE	BUCKWHEAT TREE	3"	10	LOW
(Stippled)	BUCKWHEAT TREE	BUCKWHEAT TREE	3"	10	LOW
(Stippled)	BUCKWHEAT TREE	BUCKWHEAT TREE	3"	10	LOW
(Stippled)	BUCKWHEAT TREE	BUCKWHEAT TREE	3"	10	LOW
(Stippled)	BUCKWHEAT TREE	BUCKWHEAT TREE	3"	10	LOW
(Stippled)	BUCKWHEAT TREE	BUCKWHEAT TREE	3"	10	LOW
(Stippled)	BUCKWHEAT TREE	BUCKWHEAT TREE	3"	10	LOW
(Stippled)	BUCKWHEAT TREE	BUCKWHEAT TREE	3"	10	LOW
(Stippled)	BUCKWHEAT TREE	BUCKWHEAT TREE	3"	10	LOW

SETBACKS:
 FRONT (60' 0") - 20'-0"
 REAR (30' 0") - 5'-0"
 RIGHT SIDE (SOUTH) - 10'-0"
 LEFT SIDE (NORTH) - 7'-0"

LOT COVERAGE:
 LOT AREA: 11,241 SF
 2 PER UNIT = 10 SPACES
 2 PER UNIT = 10 SPACES
 TOTAL COVERAGE = 42.2% (57,715.724-35%)

OPEN SPACE:
 1,700 SF

PARKING:
 REQUIRED PARKING:
 2 PER UNIT = 10 SPACES
 PROVIDED PARKING = 10 SPACES
 TOTAL SPACES = 10 SPACES
 TOTAL PROVIDED = 10 SPACES (1 PROVIDED)

LANDSCAPING:
 25%

LEGAL DESCRIPTION:
 LOT 11 OF TRACT 2451
 APR. 2055-007-023

NOTES:
 1. ALL PLANT MATERIAL SHALL BE DELIVERED TO THE MOST NEARLY 20' x 10' OF AREA 2451 - AREA 2451 CONTAINED FOR REFERENCE ONLY.

2. WORK TO BE DONE UNDER AN INSTRUMENT OF THE LANDSCAPE ARCHITECT SHALL BE DONE IN ACCORDANCE WITH THE INSTRUMENT OF LANDSCAPE ARCHITECTURE IN COMPLIANCE WITH THE APPROVED LANDSCAPE PLAN.

3. PLANTING AND IRRIGATION TO COMPLY WITH ALL CITY OF AGOURA MUNICIPAL CODES AND ORDINANCES.

PARKING LOT SHADING CALCULATED BY YEAR GROWTH

6000' TRACKING 14' x 2' x 300 SQFT, 100% COVERED
 6000' TRACKING 3' x 30' SQFT, 50% COVERED = 50% COVERED

PRELIMINARY LANDSCAPE PLAN
 SCALE: 1/8" = 1'-0"



8510 COLODNY

GRADING NOTES

- 1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
2. A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROVED CITY STAFF.
3. ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
4. ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
5. ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
6. THE PERMITTEE SHALL EMPLOY REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
7. REPORTS REQUIRED:
1. ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
2. FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, WITH A MAP THAT ALL DRAINAGE, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE FLOOD PLANNING AND FLOOD PROTECTION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
3. AN AS-BUILT COLOR REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE REGISTERED CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LEVELS OF ALL LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBURDANS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKSLOPES AND CUTSLOPES. GEOTECHNICAL CONDITIONS EXPLORED DURING GRAZING MUST BE DEPICTED ON AN AS-BUILT COLOR REPORT.
4. A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
10. ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, FIVE-DAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.
11. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
12. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOIL. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.

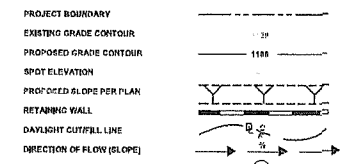
INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS AT THE FOLLOWING STAGES OF WORK:

- 1. WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN STRIPPED, BURNED, OR OTHERWISE PREPARED FOR FILL, FILL SHALL NOT HAVE BEEN PLACED PRIOR TO THIS INSPECTION.
2. ROUGH: WHEN APPROPRIATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TERRACES, STAIRS AND BERMS INSTALLED AT THE TOP OF SLOPES; AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
3. FINAL: WHEN GRADING HAS BEEN COMPLETED; ALL DRAINAGE DEVICES INSTALLED; SLOPE INSTALLED AND THE RECORD DRAWINGS (AS-BUILT PLANS), REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED.

ALL REQUIRED REPORTS AND STATEMENTS TO THE BUILDING AND SAFETY DEPARTMENT SHALL BE FORWARDED IN ACCORDANCE WITH SECTIONS 7056 AND 7031 OF THE BUILDING CODE.

LEGEND AND SYMBOLS



UNDERGROUND SERVICE ALERT logo with text: CALL TOLL FREE 1-800-227-2600. TWO WORKING DAYS BEFORE YOU DIG.

LEGAL DESCRIPTION:

LOT 11 OF BLOCK NO. 144 IN THE CITY OF AGOURA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP RECORDED BY BOOK 104, PAGE 84, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK:

MARKED BY SIGNAL IN CENTER OF RT. SW COR. CHESTER RD. & DY 2219 (1999) DRIVER AVE 27 FT. 8 & 22 FT. 10 TO CA. PT. APN: 2055-007-053

PUBLIC UTILITIES / SERVICES

- WATER: LAS VIRGENES MUNICIPAL WATER DISTRICT 4123 LAS VIRGENE'S ROAD CALABASAS, CA 91307 (818) 354-1116
ELECTRICAL: SOUTHERN CALIFORNIA Edison 5318 FOOTBALL DRIVE 7145 LAUREL GATE, CA 91341 (714) 494-9100
TELEPHONE: BGC (PAC BELL) 6121 HAYWATER STREET, #115 VAN NUYS, CA 91406 (818) 374-6119
GAS: SOUTHERN CALIFORNIA GAS 6488 OAKDALE AVENUE CHATSWORTH, CA 91311 (818) 794-5754
SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS SEWER MAINTENANCE DIVISION 1000 S. FRESHWATER AVENUE, BLDG. AS EAST ALHAMBRA, CA 91803 (626) 563-7000
CABLE: ADELPHA 310 TELLER ROAD NEWBURY PARK, CA 91365 (818) 375-8211
CABLE: CHARTER COMMUNICATIONS 3888 CROSSCREEK ROAD RAINBOW, CA 92658 (510) 458-0816
CABLE: CALTRANS 588 HEREDIA BOULEVARD TARCANA, CA 91359 (651) 386-4206

PUBLIC UTILITIES NOTES

- 1. AN ENCROACHMENT PERMIT IS REQUIRED OF ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY ROWS. ALL APPLICABLE FEES MUST BE PAID AND SECURED PRIOR TO INSTALLATION OF PERMIT. ALL WORK INVOLVING STREET IMPROVEMENTS REQUIRE APPROVAL FROM THE PUBLIC WORKS DEPARTMENT. APPLICANTS SHALL ALLOW 48 HOURS ADVANCE NOTICE TO THE DEPARTMENT OF PUBLIC WORKS TO SCHEDULE ALL INSPECTIONS.
2. CONTRACTORS SHALL TELEPHONE UNDERGROUND SERVICE ALERT (818) 488-4211 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
3. REQUIREMENTS FOR STREET STRUCTURAL SECTION TO BE DETERMINED BY SOIL ANALYSES AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF BASE MATERIALS.
4. WATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH LAS VIRGENES MUNICIPAL WATER DISTRICT WORKS MANUAL.
5. SEPARATION OF WATER AND WASTEWATER LINES SHALL BE IN ACCORDANCE WITH LAS VIRGENES MUNICIPAL WATER DISTRICT.
6. PRIOR TO CONNECTION TO WATER AND SEWER MAINS IN THE PUBLIC RIGHT-OF-WAY, APPLICANT SHALL PROVIDE DOCUMENTATION FROM LAS VIRGENES MUNICIPAL WATER DISTRICT TO THE CITY STATING THAT ALL CONNECTION FEES HAVE BEEN PAID.
7. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITY LINES SHOWN ON THEIR DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS.

OAK TREE NOTES

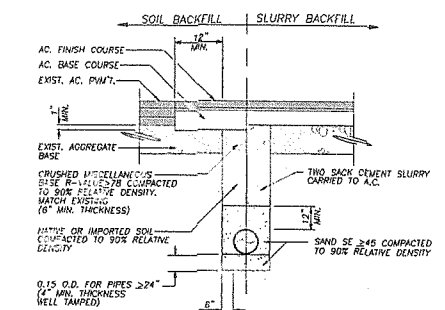
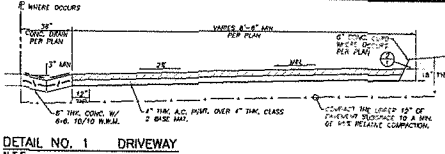
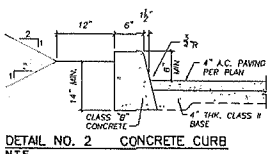
- 1. APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 387-3156, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES".
2. FOR OAK TREES EXISTING ON OR OFF-SITE OR IMMEDIATELY ADJACENT WITHIN 100 FEET OF THE PROJECT BOUNDARY, THE CONTRACTOR SHALL AFFIX A "TAG" WITH THE DEPARTMENT OF PLANNING AND COMMUNITY DEPT. TAG TO ANY WORK THAT IS BEING DONE AROUND OAK TREES. PROTECTIVE ZONES SHALL BE PROPOSED, AND ALL CLEARING AND CURBS OF OBSTRUCTIVE MATERIALS AND REMOVAL OF DEBRIS AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AS SUBSTITUTION UNDER THE PROTECTIVE ZONE. BEFORE THE APPROVAL TO PROCEED WITH THE GRADING WILL BE ISSUED, AFTER NOTIFICATION THAT THIS STAGE HAS BEEN COMPLETED, THE SITE WILL BE INSPECTED BY THE CITY OAK TREE ADVISOR. WHEN APPROVED, THE APPROVAL TO PROCEED WILL BE ISSUED IN WRITING BY THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT.
3. ALL OAK TREE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS TREE ORDINANCE AND OAK TREE PRESERVATION AND PROTECTION GUIDELINES.
4. UNDER NO CIRCUMSTANCES SHALL ANY WORK BE DONE WITHIN THE PROTECTED ZONE OF ANY OAK TREE, WITHOUT OBTAINING AN OAK TREE ENCROACHMENT PERMIT AND 48 HOURS ADVANCE NOTICE TO THE CITY ENGINEER. THE PROTECTIVE ZONE SHALL BE RELOCATED OR MOVED WITHOUT CITY APPROVAL.

SURVEY ABBREVIATIONS

- AC - ASPHALT CONCRETE
BF - BOTTOM OF FOOTING
CB - CATCH BASIN
CF - CURB FACE
C - CENTERLINE
CL - CHAIN LINK FENCE
CO - CLEAR CUT
DB - DRYING BASIN
DS - DAYLIGHT
EG - EDGE OF GUTTER
EP - SET-OUT OF PAVEMENT
FF - FINISHED FLOOR
FG - FINISHED GRADE
FH - FREE HYDRANT
FL - FLOWLINE
FS - FINISH SURFACE
HC NP - HANDICAP RAMP
HP - HIGH POINT
HO - NATURAL GROUND
HS - SANITARY SEWER
ITR - NOT TO SCALE
PL - PROPERTY LINE
CLF - CHAIN LINK FENCE
RDNH - ROTON DRAIN MANHOLE
DB - DRYING BASIN
DS - DAYLIGHT
EG - EDGE OF GUTTER
EP - SET-OUT OF PAVEMENT
FF - FINISHED FLOOR
FG - FINISHED GRADE
FH - FREE HYDRANT
FL - FLOWLINE
FS - FINISH SURFACE
HC NP - HANDICAP RAMP

STORMWATER POLLUTION NOTES

- 1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE REVIEWED AND STAMPED BY A STATE-REGISTERED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF SOLID POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.
2. A SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 15TH.
3. IF THE PROPERTY OWNER RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHER WISE DIRECTED BY THE CITY ENGINEER.
4. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, GULLES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND.
5. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCE OF WIND OR WATER.
6. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LABELING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
7. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
8. TRASH AND CONSTRUCTION-RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
9. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE ESTABLISHED SO AS TO MINIMIZE TRACKING FROM BEING DEPOSITED TO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DISPOSITIONS MUST BE CLEANED IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
10. ANY SLOPES WITH DISTURBED SOILS OR DENUDED VEGETATION MUST BE STABILIZED SO AS TO MINIMIZE EROSION BY WIND AND WATER.
11. EXCEPT AS OTHERWISE DIRECTED BY THE CITY INSPECTOR, ALL DRAINAGE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY IS 40%, AND MAINTAINED DURING THE RAINY SEASON (NOVEMBER 1ST THROUGH APRIL 15TH) OF THE SUCCESSFUL YEAR FOR EACH YEAR THE GRADING REMAINS INCOMPLETE. REFER TO SITE-SPECIFIC WET-WEATHER EROSION-CONTROL PLAN.
12. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.



- NOTES:
1. AC BASE COURSE SHALL BE TYPE III B3-AR-4000. AC FINISH COURSE SHALL BE TYPE III C2-AR-4000.
2. FINAL AC FINISH COURSE (CAP) SHALL BE A MINIMUM OF 1-1/2" THICK.
3. COMPACTION TESTING IS REQUIRED FOR ALL NATIVE/IMPORTED SOILS.

INDEX OF DRAWINGS table with columns SHEET NO. and DESCRIPTION. Includes entries for COVER SHEET, GRADING & DRAINAGE PLAN, DETAIL SHEET, RETAINING WALL DETAIL SHEET, EROSION CONTROL COVER SHEET, EROSION CONTROL PLAN SHEET, and EROSION CONTROL ATTACHMENTS.

ESTIMATED EARTHWORK QUANTITIES table with columns ESTIMATED CUT, ESTIMATED FILL, ESTIMATED OVER-EXCAVATION, ESTIMATED EXPORT, ESTIMATED IMPORT, and SHRINKAGE.

BENCHMARK table with columns DESCRIPTION, B.M. NO., ELEVATION, and SURVEY DATE.

RECORD DRAWING STATEMENT and SOILS APPROVAL section. Includes text: I, LEONARD LESTON, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NO. 1 THROUGH 10, MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

CIVIL ENGINEER and GEOTECHNICAL ENGINEER information. Includes names, addresses, and phone numbers for INVEST WEST, LLC and LEONARD LESTON. Also includes a map showing the SUBJECT LOCATION on a street grid.

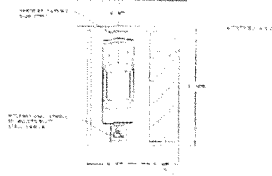
Approval table with columns REV, SYMBOL, DESCRIPTION OF CHANGE, RCE, DATE, PROJECT ENGINEER, and DATE. Includes signature of LC ENGINEERING GROUP, INC.

CITY OF AGOURA HILLS APPROVAL section with columns CITY ENGINEER, DATE, RCE NO., and EXP. DATE.

GRADING AND DRAINAGE PLAN title block. Includes project name, address, city, and sheet information.

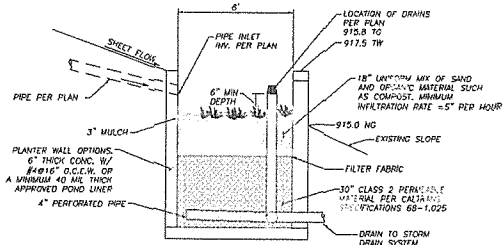
4. SINGLE PARKING SPACE DESIGN

- 1. 15' minimum length (see note 1) (1520 A) x 6'0" Fig. 23
- 2. 15' minimum width (see note 2) (1520 A) x 6'0" Fig. 23
- 3. Minimum 11' x 5' (see note 3) (1520 A) x 6'0" Fig. 23
- 4. Depth of the parking space shall be 15'0" to 16'0" (see note 4) (1520 A) x 6'0" Fig. 23
- 5. Depth of the parking space shall be 15'0" to 16'0" (see note 5) (1520 A) x 6'0" Fig. 23

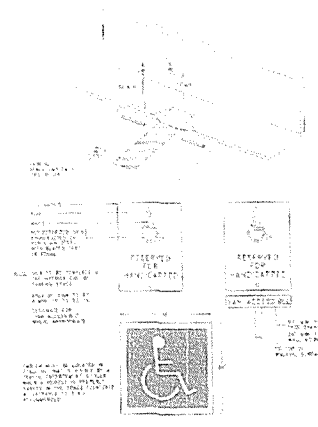


- GENERAL DESIGN PARKING SPACE NOTES:
1. Location of parking spaces shall be determined by the engineer.
 2. The number of parking spaces shall be determined by the engineer.
 3. The location of parking spaces shall be determined by the engineer.
 4. The location of parking spaces shall be determined by the engineer.
 5. The location of parking spaces shall be determined by the engineer.
 6. The location of parking spaces shall be determined by the engineer.
 7. The location of parking spaces shall be determined by the engineer.

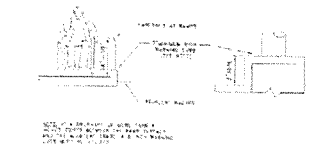
DETAIL 7
N.T.S.



DETAIL 2: BIO-FILTRATION AREA
N.T.S.

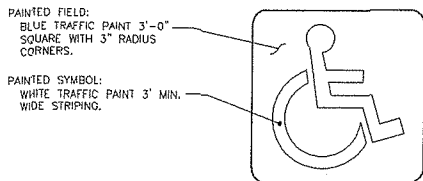


DETAIL 4
N.T.S.

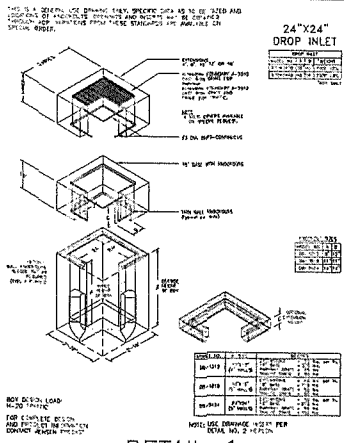


DETAIL 5
N.T.S.

INTERNATIONAL SYMBOL OF ACCESSIBILITY



DETAIL 6
N.T.S.



DETAIL 1
N.T.S.

PREPARED BY:
LC ENGINEERING GROUP, INC.

CITY OF AGOURA HILLS APPROVAL:

PROJECT ENGINEER: _____ DATE: _____

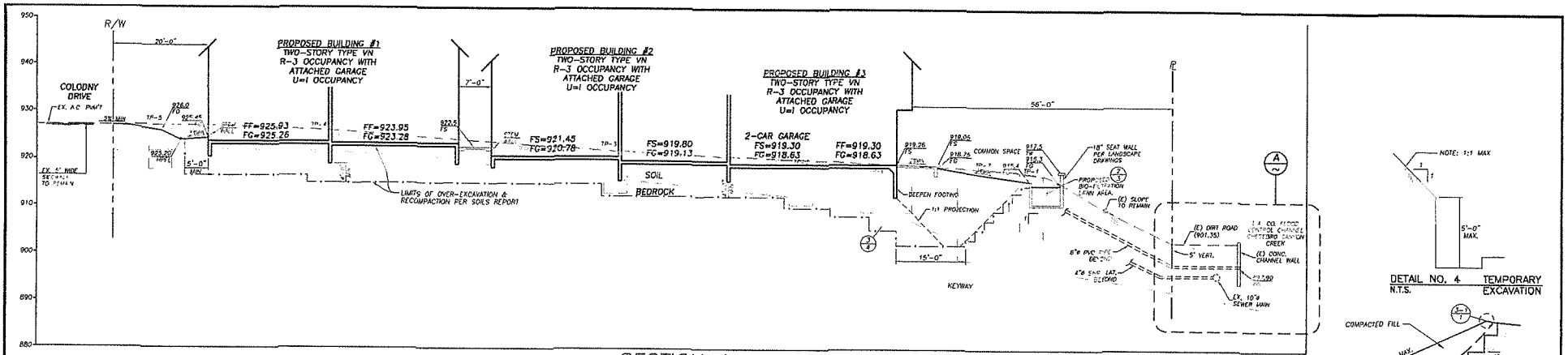
REVIEWED BY: _____ DATE: _____

CITY ENGINEER: _____ DATE: _____

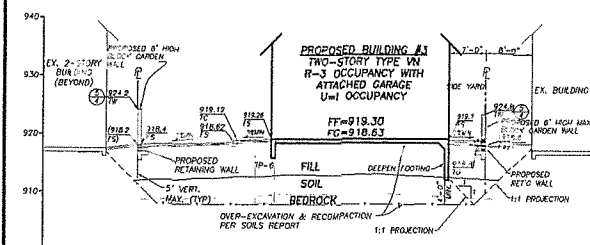


DETAILS
INVEST WEST, LLC
5310 COLODNY DRIVE
AGOURA HILLS, CA. 91301

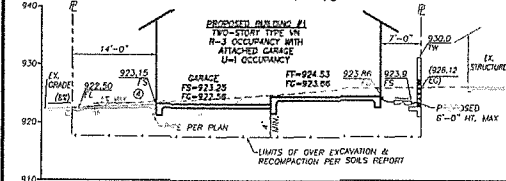
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE



SECTION A
1"=10'



SECTION B
1"=10'



SECTION C
1"=10'

SECTION #2 - MASONRY NOTES

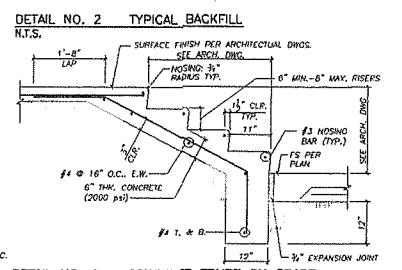
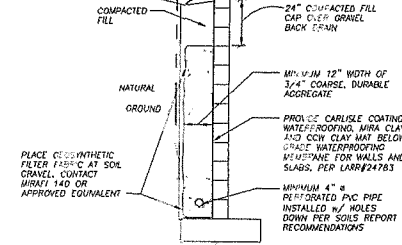
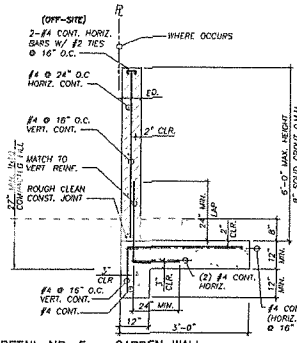
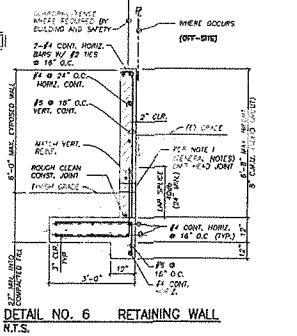
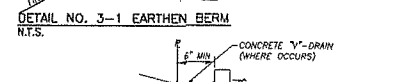
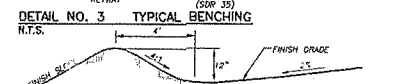
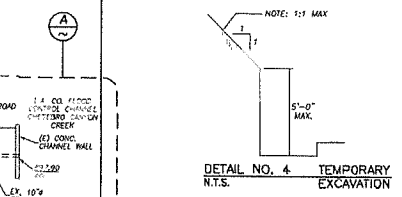
- AGGREGATE FOR MORTAR SHALL CONFORM TO ASTM C 144.
- CEMENT SHALL CONFORM TO THE SPECIFICATION FOR PORTLAND CEMENT ASTM C 150, TYPE I OR TYPE II, LOW ALKALI.
- MASONRY CEMENTS OR PLASTIC CEMENTS ARE NOT PERMITTED.
- WATER USED IN MORTAR AND GROUT SHALL BE CLEAN POTABLE WATER.
- NO AIR CURERS SHALL BE USED IN MORTAR OR GROUT, EXCEPT BY SPECIFIC CONSENT OF THE ENGINEER AND THE LOCAL BUILDING DEPARTMENT.
- MORTAR SHALL BE TYPE S CONSISTING OF 1 PART PORTLAND CEMENT, 3 PARTS LIME PUTTY, AND NO MORE THAN 3 TIMES THE VOLUME OF CEMENT AND LIME OF DAMP LOOSE SAND.
- HYDRATED LIME SHALL CONFORM TO ASTM C 207, TYPE B.
- AGGREGATE FOR MASONRY GROUT SHALL CONFORM TO ASTM C 404.
- GROUT SHALL BE GRADE GROUT CONSISTING OF 1 PART PORTLAND CEMENT, 3 PARTS #4 GRAVEL, NOT MORE THAN A PART OF LIME IS PERMITTED. GROUT SHALL OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS. FURTHER TESTING BY SPECIFIC BY THE BUILDING OFFICIAL.
- GROUT SHALL BE COMPENSATED BY MECHANICAL VIBRATION DURING PLACEMENT TO PREVENT A LOSS OF PLASTICITY IN GROUT OCCURS IN A MANNER TO FILL ALL THE SPACES IN THE MASONRY.
- REINFORCING SHALL BE PROVIDED THROUGH CONCRETE PER PLAN TO BE USED BY THE CONTRACTOR AND SHALL BE INSTALLED BEFORE IT SETS AND NOT BE SETTING 300 BAR DIAMETERS. THE CLEAR SPACING BETWEEN THE REINFORCE OF A BAR AND ANY OTHER BAR OF A MASONRY UNIT SHALL NOT BE LESS THAN 1 INCH FOR CONCRETE GROUT.
- CONCRETE BLOCK UNITS SHALL BE GRADE "N-3" CONFORMING TO THE ASTM SPECIFICATION FOR 160 P.S.I. BEARING MASONRY UNITS. TYPE OF BLOCK TO BE DETERMINED BY ARCHITECT.
- IF ALL BLOCKS SHALL BE SET IN A MANNER TO BE LIMITED TO 6" OF INSPECTED CLEAR-OUTS GROUT LEFT SHALL NOT EXCEED 6" UNLESS IT CAN BE DEMONSTRATED THE GROUT CAN BE FILLED PROPERLY AND WHEN APPROVED BY THE BUILDING OFFICIAL.
- GROUT THICKNESS FOR MASONRY BLOCK UNITS SHALL NOT BE LESS THAN 1" BETWEEN PARALLEL BARS AND NOT LESS THAN 1" BETWEEN THE BLOCK AND REINFORCING STEEL.
- MASONRY UNITS SHALL BE LAID OUT IN A RUNNING BOND AND SHOULD NOT BE SETTED UNLESS OTHERWISE APPROVED.
- THE CONTRACTOR SHALL TAKE APPROPRIATE PRECAUTIONS FOR MIXING, PLACING, AND CURING OF MASONRY.
- IN THE EVENT OF SENSITIVE COMPRESSIVE STRENGTH (Fm = 1500 PSI) IS BASED ON A COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNIT Fm = 1000 PSI MINIMUM.
- THE INITIAL BED JOINT THICKNESS SHALL NOT BE LESS THAN 1" OR MORE THAN 1". THE SUBSEQUENT BED JOINTS SHALL NOT BE LESS THAN 1" OR MORE THAN 1" THICK.
- ALL HEAD AND BED JOINTS SHALL BE FILLED COMPLETELY WITH MORTAR FOR A DISTANCE IN FROM THE FACE OF THE UNIT NOT LESS THAN THE THICKNESS OF A BED.
- SPLICES IN MASONRY, MIN 60 BAR DIA. OR 24 INCH, WHICHEVER ONE IS GREATER.

SECTION #4 - CONCRETE NOTES

- CONCRETE FOR SLABS, BEAMS AND PILES SHALL MEET MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 28 DAYS U.L.O. ALL CONCRETE FOR THE STRUCTURE SHALL HAVE MINIMUM Fc OF 4000 PSI @ 28 DAYS U.L.O.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 OR ASTM A706, GRADE 60 WHEN SPECIFIED THE U.L.O.
- CEMENT SHALL BE TYPE II, LOW ALKALI, CONFORMING TO ASTM C 150.
- AGGREGATE FOR CONCRETE SHALL CONFORM TO ASTM C 33, COARSE AGGREGATE SHALL BE "HEAVY MEDIA" FRACTION. FINE AGGREGATE SHALL BE PAVED CONCRETE SAND.
- MINIMUM COVERAGES FOR REINFORCING SHALL BE AS FOLLOWS:
CAST AGAINST AND PERMANENTLY EXPOSED TO ENVIRONMENT SHALL BE AS DIRECTED BY THE STRUCTURAL ENGINEER.
INTERIOR WALLS, SLABS, AND JOINTS - 1 1/2"
INTERIOR BEAMS, GIRDERS, AND COLUMNS - 1-1/2"
- LOCATION OF REINFORCING FOR PILES AND FOR PILES INSTALLED TO BE CAST IN CONCRETE FOR WHICH NO SYSTEMS CHECKS ARE SHOWN SHALL BE SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER. DETAILS OF SUCH REINFORCING SHALL BE AS DIRECTED BY THE STRUCTURAL ENGINEER.
- IF THE CONTRACTOR DESIRES TO HAVE ANY CONSTRUCTION METHOD OTHER THAN THOSE SHOWN, HE SHALL SUBMIT THE DETAILS OF SUCH METHOD TO THE STRUCTURAL ENGINEER FOR APPROVAL.
- ALL ANCHOR BOLT, REINFORCING SHALL BE PLACED, INSERTED, ETC. SHALL BE WELL SETTED IN POSITION FROM TO POLISH CONCRETE.
- CONCRETE SHALL CONTAIN A MINIMUM OF 6% SLAGS OF CEMENT PER CUBIC YARD AND SHALL HAVE A SLUMP NO GREATER THAN 6". MAXIMUM AGGREGATE SIZE SHALL BE LIMITED TO 3/4" FOR ALL CONCRETE. ALL CONCRETE SHALL BE PLACED BY THE STRUCTURAL ENGINEER. ALL CONCRETE SHALL BE PLACED BY THE STRUCTURAL ENGINEER. ALL CONCRETE SHALL BE PLACED BY THE STRUCTURAL ENGINEER. ALL CONCRETE SHALL BE PLACED BY THE STRUCTURAL ENGINEER.
- ALL CONCRETE SHALL BE VIBRATED AS IT IS BEING PLACED WITH ELECTRICALLY OPERATED VIBRATION EQUIPMENT.
- CONCRETE CYLINDERS SHALL BE MADE AND TESTED A MINIMUM OF TWO (2) SETS SHALL BE TAKEN OF CONCRETE FOUNDATION AND TWO (2) SETS OF CONCRETE IN INTERIOR SLABS ON GRADE. EACH SET SHALL CONSIST OF THREE (3) CYLINDERS. ONE SHALL BE TESTED AT 28 DAYS (28 DAY), THE OTHER SHALL BE TESTED AT TWENTY-EIGHT (28) DAYS, AND THE LAST CYLINDER SHALL BE A HOLD.
- ALL CONCRETE SHALL BE READY-MIXED, AND SHALL BE MADE AND DELIVERED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN STANDARD SPECIFICATION CM-11 OF THE ASTM.
- BAR SPLICES IN CONCRETE SHALL BE LAID OUT PER STANDARD DETAIL ON SHEET S-2 AND MAY BE WELDED TOGETHER UNLESS OTHERWISE NOTED ON THE PLANS.
- WHERE "MASONRY NOTES" CONFLICT WITH "CONCRETE NOTES" (WHEN APPLICABLE), THE MASONRY NOTES OVERRIDE THE CONCRETE NOTES.

SECTION #1 - REINFORCING STEEL

- ALL REINFORCING STEEL SHALL BE PLACED IN COMPLIANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 308), AND THE MANUAL FOR STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION BY C.R.S.I.
- REINFORCING BARS SHALL CONFORM TO THE FOLLOWING ASTM A 615 GRADE 60 & WELDER ARE WHERE SPECIFIED.
- WELDING OF REINFORCING SHALL BE WITH EPOXY LOW HYDROGEN ELECTRODES IN COMPLIANCE WITH THE RECOMMENDATIONS FOR WELDING REINFORCING STEEL, INC. - SEE AMERICAN WELDING SOCIETY, AWS D14 (LATEST EDITION).
- ALL REINFORCING BARS SHALL BE BENT (180 DEGREE) PARTIALLY ENCASED IN CONCRETE SHALL NOT BE FIELD BENT EXCEPT AS SHOWN ON THE PLANS OR PERMITTED BY THE BUILDING OFFICIAL.
- SPLICES IN CONCRETE/MASONRY: MINIMUM OF 60 BAR DIAMETERS OR 24 INCH, WHICHEVER IS GREATER, U.L.O.
- CONCRETE PROTECTION FOR REINFORCING: REINFORCING STEEL SHALL HAVE THE FOLLOWING MINIMUM CONCRETE COVERAGE (EXCEPT AS NOTED ON STRUCTURAL DRAWING):
A. CONCRETE CAST AGAINST FORMS - 3 INCHES
B. CONCRETE EXPOSED TO WEATHER - 1 1/2 INCHES
C. 1 1/2 INCHES
D. 1 1/2 INCHES
E. 1 1/2 INCHES



PREPARED BY: **LC ENGINEERING GROUP, INC.** CITY OF AGOURA HILLS APPROVAL

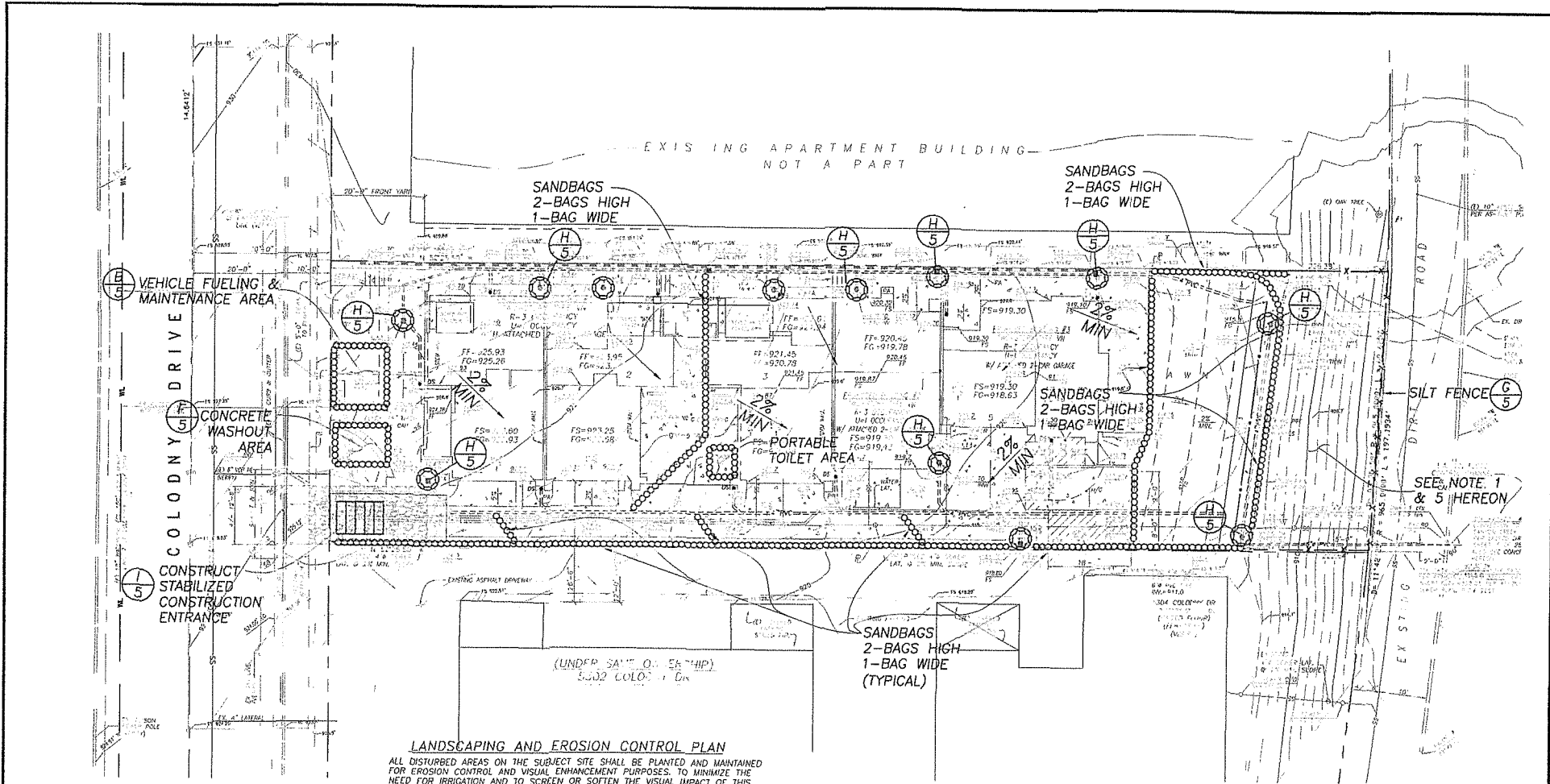
PROJECT ENGINEER: _____ DATE: _____ CITY ENGINEER: _____ DATE: _____

REVIEWED BY: _____ DATE: _____ PROJECT NO.: _____ EXP. DATE: _____

AGOURA HILLS

RETAINING WALL DETAILS
INVEST WEST, LLC
5310 COLDONY DRIVE
AGOURA HILLS, CA. 91301

PROJECT NO. _____ SHEET 4 OF 7



LANDSCAPING AND EROSION CONTROL PLAN

ALL DISTURBED AREAS ON THE SUBJECT SITE SHALL BE PLANTED AND MAINTAINED FOR EROSION CONTROL AND VISUAL ENHANCEMENT PURPOSES. TO MINIMIZE THE NEED FOR IRRIGATION AND TO SCREEN OR SOFTEN THE VISUAL IMPACT OF THIS DEVELOPMENT ALL LANDSCAPING SHALL CONSIST PRIMARILY OF NATIVE DROUGHT RESISTANT PLANTS AS LISTED BY THE CALIFORNIA NATIVE PLANT SOCIETY, LOS ANGELES - SANTA MONICA MOUNTAINS CHAPTER, IN THEIR DOCUMENT ENTITLED: RECOMMENDED NATIVE PLANT SPECIES FOR LANDSCAPING IN THE SANTA MONICA MOUNTAINS, DATED OCTOBER 4, 1994. INVASIVE NON-INDIGENOUS PLANT SPECIES WHICH TEND TO SUPPLANT NATIVE SPECIES SHALL NOT BE USED.

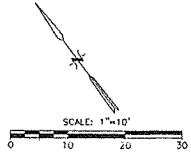
ALL PAST CUT AND FILL SLOPES SHALL BE STABILIZED WITH PLANTING AT THE COMPLETION OF CONSTRUCTION. PLANTING SHOULD BE OF NATIVE PLANT SPECIES INDIGENOUS TO THE SANTA MONICA MOUNTAINS USING ACCEPTED PLANTING PROCEDURES CONSISTENT WITH FIRE SAFETY REQUIREMENTS. SUCH PLANTING SHALL BE ADEQUATE TO PROVIDE NINETY PERCENT COVERAGE WITHIN TWO YEARS AND SHALL BE REPEATED IF NECESSARY TO PROVIDE SUCH COVERAGE.

SHOULD CONSTRUCTION TAKE PLACE DURING THE RAINY SEASON (NOVEMBER 1 THROUGH MARCH 31), SEDIMENT BASINS (INCLUDING DEBRIS, DESILTING BASINS, OR SILT TRAPS) SHALL BE REQUIRED ON THE PROJECT SITE PRIOR TO OR CONCURRENT WITH THE INITIAL SITE PREPARATION AND MAINTAINED THROUGH THE DEVELOPMENT PROCESS TO MINIMIZE SEDIMENT FROM RUNOFF WATERS DURING CONSTRUCTION. ALL SEDIMENT SHOULD BE RETAINED ON-SITE UNLESS REMOVED TO AN APPROPRIATE APPROVED DISPOSAL LOCATION.

NOTES:

1. ALL GRADED AND DISTURBED AREAS TO BE JUSTE NETTED OR PER EC3, EC4, & EC7, AS SOON AS GRADING IS COMPLETE.
2. CONTRACTOR TO REVIEW ALL BMP'S AND PROJECT ENGINEER AS SITE REQUIRES DURING ALL PHASES OF CONSTRUCTION.
3. AREAS BEYOND THE LIMITS OF GRADING AS SHOWN HEREON SHALL BE LEFT UNDISTURBED UNTIL LANDSCAPING IS TO BE DONE. NO STRIPPING OF THE EARTH OUTSIDE THE LIMITS OF GRADING UNTIL LANDSCAPING IS TO BE DONE.
4. ALL SEDIMENT TRAPS TO BE CLEANED AFTER EACH STORM DURING ALL PHASES OF CONSTRUCTION.
5. PROVIDE 4-MILL VISQUEEN OVER ALL DISTURBED VERTICAL EXCAVATIONS AND SLOPE AREAS.

SURVEY PREPARED BY:
STEVE OPDRAH SURVEYING
208 DIVIDEN STREET
THOUSAND OAKS, CA. 91360
OFFICE: (805)495-6438



PREPARED BY: LC ENGINEERING GROUP, INC. <small>REGISTERED PROFESSIONAL ENGINEERS - CIVIL</small>				CITY OF AGOURA HILLS APPROVAL _____ DATE _____ CITY ENGINEER					EROSION CONTROL PLAN MONTAGE DEVELOPMENT 5310 COLODNY DRIVE AGOURA HILLS, CA. 91301 PROJECT NO. _____ SHEET 6 OF 7	
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	PROJECT ENGINEER	DATE	RECEIVED BY			DATE

DEPARTMENT OF BUILDING AND SAFETY

CITY OF AGOURA HILLS
STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM
EFFECTIVE AUGUST 3, 1999

PRIORITY PROJECTS

THIS HANDOUT IS TO PROVIDE ASSISTANCE FOR APPLICANTS TO COMPLY WITH THE CITY'S STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM FOR PROJECTS CLASSIFIED AS PRIORITY PROJECTS. PROJECTS DEEMED TO BE CLASSIFIED AS PRIORITY PROJECTS ARE:

- SITES OF GREATER THAN TWO ACRES BUT LESS THAN FIVE ACRES OF DISTURBED SOIL;
ADJOINING OR LOCATED IN ENVIRONMENTAL SENSITIVE AREAS; OR
LOCATED IN DESIGNATED HILLSIDE AREAS.

THE REQUIREMENT TO IMPLEMENT A STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM IS BASED UPON THE PRIMARY OBJECTIVES SET FORTH IN THE 1987 AMENDMENTS OF FEDERAL CLEAN WATER ACT, UNDER THE FEDERAL CLEAN WATER ACT, EACH MUNICIPALITY THROUGHOUT THE NATION WHICH DISCHARGE ITS STORM DRAIN SYSTEM INTO THE WATERS OF THE UNITED STATES IS REQUIRED TO OBTAIN A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT, THE CURRENT NPDES PERMIT ISSUED TO LOS ANGELES COUNTY AND 85 CITIES (INCLUDING THE CITY OF LOS ANGELES) BY THE LOS ANGELES COUNTY WATER QUALITY CONTROL BOARD ON JULY 15, 1996 CONTAIN A REQUIREMENT FOR THE COUNTY AND 85 CITIES TO DEVELOP AND IMPLEMENT A DEVELOPMENT CONSTRUCTION ACTIVITIES FROM ENTERING THE STORM DRAIN SYSTEM.

REQUIREMENTS
I. LOCAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT, APPLICANTS MUST PREPARE AND SUBMIT A LOCAL STORM WATER POLLUTION PREVENTION PLAN. THE LOCAL SWPPP IS TO SHOW ALL BEST MANAGEMENT PRACTICES (BMPs) NECESSARY TO CONTROL AND PREVENT DISCHARGE OF CONTAMINANTS GENERATED BY THE CONSTRUCTION ACTIVITIES SPECIFIC TO EACH SITE, INTO THE STORM DRAIN SYSTEM. A COPY OF THE LOCAL SWPPP SHALL BE ATTACHED TO THE FIELD SET OF PLANS AND KEPT ON THE PROJECT SITE AT ALL TIMES AFTER THE START OF CONSTRUCTION.

WHEN PREPARING A LOCAL SWPPP, THE PREPARER SHOULD ASSESS SITE CONDITIONS, IDENTIFY CONSTRUCTION ACTIVITIES WITH THE POTENTIAL TO CAUSE STORM WATER POLLUTION, AND THEN IDENTIFY BMPs THAT WILL BEST SUIT THE CONSTRUCTION ACTIVITIES. A LISTING BMPs IS CONTAINED IN THE "DEVELOPMENT BEST MANAGEMENT PRACTICES HANDBOOK, PART A CONSTRUCTION ACTIVITIES" PUBLISHED BY THE STORMWATER MANAGEMENT DIVISION.

THE LOCAL SWPPP SHALL CONTAIN THE FOLLOWING:

- A BRIEF DESCRIPTION OF THE PROJECT;
THE OWNER/DEVELOPER'S NAME, ADDRESS, PHONE NUMBER, AND CONTACT PERSON(S);
CONTRACTOR'S NAME, ADDRESS, PHONE NUMBER, AND CONTACT PERSON(S), IF AVAILABLE AT ISSUANCE OF PERMIT;
A LIST OF MAJOR CONSTRUCTION MATERIALS, WASTE, AND ACTIVITIES AT THE PROJECT SITE;
A SITE PLAN (A CONSTRUCTION OR SITE PLAN MAY BE USED) WITH THE FOLLOWING:
THE PROJECT BOUNDARY AND/OR LIMITS OF GRADING;
THE FOOTPRINT OF EXISTING AND PROPOSED BUILDING(S) OR STRUCTURE(S);
SPECIFIC LOCATIONS WHERE CONSTRUCTION MATERIALS, VEHICLES, AND EQUIPMENT WILL BE STORED, USED, MAINTAINED, AND DISPOSED, ALONG WITH LOCATIONS OF STRUCTURAL MEASURES THAT WILL BE USED TO CONTAIN THESE MATERIALS ON-SITE;
EXISTING AND FINISH GRADES OF THE SITE;
THE LOCATION(S) WHERE RUNOFF FROM THE SITE MAY ENTER STORM DRAIN(S), CHANNELS, AND/OR RECEIVING WATER(S);
A LISTING OF BMPs SELECTED;
LOCATION(S) OF SELECTED BMPs WHERE APPROPRIATE.

II. ATTACHMENTS TO LOCAL SWPPP

- CERTIFICATION-PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT, A CERTIFICATION SIGNED BY THE OWNER OR AUTHORIZED AGENT OF THE OWNER MUST BE SUBMITTED. SUCH CERTIFICATION SHALL STATE THAT THE LOCAL SWPPP SHALL BE IMPLEMENTED YEAR-ROUND, THE SIGNED CERTIFICATION SHALL BE ATTACHED TO THE APPROVED SWPPP. (ATTACHMENT 1)
GENERAL NOTES (ATTACHMENT 2)
SELF INSPECTION-TO ENSURE THAT BMPs ARE PROPERLY IMPLEMENTED AND FUNCTION EFFECTIVELY, AND TO IDENTIFY MAINTENANCE AND REPAIR NEEDS, INSPECTION BY THE DEVELOPERS OR CONTRACTORS IS REQUIRED. SUCH INSPECTIONS SHALL BE RECORDED ON THE ATTACHED FORM AND MADE AVAILABLE TO CITY INSPECTORS WHEN REQUESTED. (ATTACHMENT 3)
SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED IN TO THE PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.

AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORMWATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME: (OWNER OR AUTHORIZED AGENT OF THE OWNER)

SIGNATURE: (OWNER OR AUTHORIZED AGENT OF THE OWNER) DATE:

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM
ON SITE SELF-INSPECTION CHECKLIST

TO BE ATTACHED TO THE LOCAL SWPPP

INSPECTED BY:

PROJECT ADDRESS: 5310 COLODNY DRIVE

CONTRACTOR:

DATE:

CHECK "YES" OR "NO" OR "N/A" IF NOT APPLICABLE

YES NO N/A

- 1. HAS THERE BEEN AN ABSENCE OF RAIN SINCE THE LAST INSPECTION?
2. ARE ALL SEDIMENT BARRIERS (E.G., SANDBAGS, STRAW BALES, AND SILT FENCES) IN PLACE ACCORDANCE WITH THE LOCAL SWPPP OR WWEEP AND ARE THEY FUNCTIONING PROPERLY?
3. IF PRESENT, ARE ALL EXPOSED SLOPES PROTECTED FROM EROSION THROUGH THE IMPLEMENTATION OF ACCEPTABLE SOIL SOIL STABILIZATION PRACTICES?
4. IF PRESENT, ARE ALL SEDIMENT TRAPS BASICS INSTALLED AND FUNCTIONING PROPERLY? (IF APPLICABLE)
5. ARE ALL MATERIAL HANDLING AND STORAGE AREAS REASONABLY CLEAN AND FREE OF SPILLS, LEAKS, OR OTHER DELETERIOUS MATERIALS?
6. ARE ALL EQUIPMENT STORAGE AND MAINTENANCE AREA REASONABLY CLEAN AND FREE OF SPILLS, LEAKS OR ANY OTHER DELETERIOUS MATERIALS?
7. ARE ALL MATERIALS AND EQUIPMENT PROPERLY COVERED?
8. ARE ALL EXTERNAL DISCHARGE POINTS (I.E., OUTFALLS) REASONABLY FREE OF ANY NOTICEABLE POLLUTANT DISCHARGES?
9. ARE ALL INTERNAL DISCHARGE POINTS (I.E., STORM DRAIN INLETS) PROVIDED WITH INLET PROTECTION?
10. ARE ALL EXTERNAL DISCHARGE POINTS REASONABLY FREE OF ANY SIGNIFICANT EROSION OR SEDIMENT TRANSPORT?
11. ARE ALL BMPs IDENTIFIED ON THE PLAN INSTALLED IN THE PROPER LOCATION AND ACCORDING TO THE SPECIFICATIONS FOR THE PLAN?
12. ARE ALL STRUCTURAL CONTROL PRACTICES IN GOOD REPAIR AND MAINTAINED IN FUNCTIONING ORDER?
13. ARE ALL ON-SITE TRAFFIC ROUTES, PARKING, AND STORAGE OF EQUIPMENT AND SUPPLIES RESTRICTED TO AREAS DESIGNATED IN THE PLAN FOR THOSE USES?
14. ARE ALL LOCATIONS OF TEMPORARY SOIL STOCKPILES OR CONSTRUCTION MATERIALS IN APPROVED AREAS?
15. ARE ALL SEEDED OR LANDSCAPED AREAS PROPERLY MAINTAINED?
16. ARE SEDIMENT TREATMENT CONTROLS IN PLACE AT DISCHARGE POINTS FROM THE SITE?
17. ARE SLOPES FREE OF SIGNIFICANT EROSION?
18. ARE ALL POINTS OF INGRESS AND EGRESS FROM THE SITE PROVIDED WITH STABILIZED CONSTRUCTION ENTRANCES?
19. IS SEDIMENT, DEBRIS, OR MUD BEING CLEANED FROM PUBLIC ROADS AT INTERSECTIONS WITH SITE ACCESS ROADS?
20. DOES THE PLAN REFLECT CURRENT SITE CONDITIONS?

IF YOU ANSWERED "NO" TO ANY OF THE QUESTIONS ON THE PREVIOUS PAGE EXCEPT NUMBER 1, DESCRIBE ANY CORRECTIVE ACTION(S) ON THE BACK OF THIS SHEET THAT MUST BE TAKEN TO REMEDY THE PROBLEM AND WHEN THE CORRECTIVE ACTIONS IS TO BE COMPLETED.

INSPECTION LOG

THE SITE SHALL BE INSPECTED BEFORE AND AFTER STORM EVENTS WITH 0.5 INCHES OR GREATER OF ACTUAL PRECIPITATION PREDICTED WITH A PROBABILITY OF 40% OR GREATER AND DOCUMENTED ON THE CONSTRUCTION SITE INSPECTION CHECKLIST. INCIDENTS OF NON-COMPLIANCE MUST BE REPORTED TO THE ENGINEER.

Table with columns: DATE, INSPECTOR, TYPE OF INSPECTION (ROUTINE, PRE-STORM, POST-STORM), OBSERVATIONS

JOB ADDRESS: 5310 COLODNY DRIVE PERMIT #:

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM

PRIORITY PROJECTS

CERTIFICATION STATEMENT

AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THE APPROXIMATE BMP'S WILL BE IMPLEMENTED AS EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT CONTRACTOR IS AWARE THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS, THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: (OWNER OR AUTHORIZED AGENT OF THE OWNER)

SIGNATURE: (OWNER OR AUTHORIZED AGENT OF THE OWNER) DATE:

LOCAL SWPPP BMP SELECTION WORKSHEET

Table with columns: BMP DESCRIPTION, WILL BMP BE USED? (YES, NO), COMMENTS. Rows include SCHEDULING, PRESERVING OF EXISTING VEGETATION, CONSTRUCTION PRACTICES, VEHICLE & EQUIPMENT MANAGEMENT, TRACKING CONTROL, MATERIAL MANAGEMENT, WASTE MANAGEMENT.

JOB ADDRESS: 5310 COLODNY DRIVE PERMIT #:

DEPARTMENT OF BUILDING AND SAFETY

MINIMUM REQUIREMENTS FOR CONSTRUCTION PROJECTS/ CERTIFICATION STATEMENT

THE FOLLOWING IS INTENDED AS AN ATTACHMENT TO THE CONSTRUCTION/GRADING PLANS AND REPRESENT THE MINIMUM STANDARDS OF GOOD HOUSEKEEPING WHICH MUST BE IMPLEMENTED ON ALL SITES CLASSIFIED AS DEVELOPMENT CONSTRUCTION PROJECTS.

DEVELOPMENT CONSTRUCTION PROJECTS ARE DEFINED AS PROJECTS WHERE THERE IS LESS THAN TWO ACRES OF DISTURBED SOIL, NOT LOCATED IN DESIGNATED HILLSIDE AREAS, AND NOT ON OR ADJACENT TO AN ENVIRONMENTAL SENSITIVE AREA. NOTE: A PROJECT IN A DESIGNATED HILLSIDE AREA WITH LESS THAN TWO ACRES OF DISTURBED SOIL AND NOT IN OR ADJACENT TO AN ENVIRONMENTAL SENSITIVE AREA, MAY BE CLASSIFIED AS A DEVELOPMENT CONSTRUCTION PROJECT IF THE GRADING, PRE-INSPECTION (GPI) IS NOT REQUIRED OR THE ENTIRE LOT HAS A SLOPE OF TEN PERCENT OR LESS.

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND.
STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.



Approval table with columns: PREPARED BY (LC ENGINEERING GROUP, INC.), CITY OF AGOURA HILLS APPROVAL, PROJECT ENGINEER, DATE, REVIEWED BY, DATE, RECEIVED, EXP. DATE.



ATTACHMENTS
MONTAGE DEVELOPMENT
5310 COLODNY DRIVE
AGOURA HILLS, CA. 91301