



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: April 4, 2013

TO: Planning Commission

APPLICANT: Manny Montes for Jessica and Jason Bradley
4213 Beeman Avenue
Studio City, CA 91604

CASE NO.: 13-SPR-002

LOCATION: 5427 Colodny Drive
(A.P.N. 2055-013-015)

REQUEST: Request for approval of a Site Plan/Architectural Review to add a 1,145 square foot, single-story addition to a single-story residence, and an attached covered breezeway and 1,133 square-foot attached garage and recreation room.

ENVIRONMENTAL ANALYSIS: Exempt from CEQA per Section 15301 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Site Plan Architectural Review Case No. 13-SPR-002, subject to conditions, based on the findings of the attached draft Resolution.

ZONING DESIGNATION: RL-20,000-OA-EQ (Low Density Residential - 20,000 square feet minimum lot size - Old Agoura Design Overlay-Equestrian Overlay)

GENERAL PLAN DESIGNATION: RL (Low Density Residential)

I. PROJECT BACKGROUND AND PROJECT DESCRIPTION

The applicant, Manny Montes for property owners Jessica and Jason Bradley, is proposing to remodel an existing 1,848 square foot, single story, single-family residence with an attached 458 square foot garage. The house was built in 1962 before City

incorporation. The applicant intends to demolish the 458 square-foot two-car garage on the property and add 1,145 square-feet of living space to the main structure and add an attached covered breezeway connected to a new 1,133 square-foot three-car garage and recreation room. The proposal also includes adding 791 square feet of covered patios and porches.

The property is a relatively flat, one acre in size, and is located at 5427 Colodny Drive in the RL-20,000-OA-EQ (Low Density Residential - 20,000 square feet minimum lot size - Old Agoura Design Overlay-Equestrian Overlay) zone. There are developed, single-family residential properties to the north, south, and west, and Old Agoura Park across the street on Colodny Drive, to the east of the applicant's property.

The Zoning Ordinance requires that all additions in the RL zone that exceed 30% of the original floor area, or additions which result in a gross floor area of over 3,000 square feet, be reviewed and approved by the Planning Commission as a Site Plan/Architectural Review.

The existing residence and the proposed additions are permitted uses in the Low Density Residential (RL) zone and will meet the required development standards, relative to lot coverage, setbacks, and height. Listed below are the proposed development data pertaining to the project:

| Development Standards | Existing | Proposed | Allowed/ Required |
|--------------------------|----------------|----------------|-------------------|
| 1. Lot Size | 43,460 sq. ft. | 43,560 sq. ft. | 20,000 sq. ft. |
| 2. Building Size | | | |
| Residence | 1,848 sq. ft. | 2,993 sq. ft. | N/A |
| (E) Garage | 458 sq. ft. | Demolish | N/A |
| New Garage | N/A | 660 sq. ft. | N/A |
| New Recreation Room | N/A | 473 sq. ft. | N/A |
| Total | 2,306 sq. ft. | 4,126 sq. ft. | |
| New Patio/Porches | N/A | 791 sq. ft. | N/A |
| (E) Accessory Structures | 371 sq. ft. | 371 sq. ft. | N/A |
| 3. Hardscape | 2677 sq. ft. | 3738 sq. ft. | N/A |
| 4. Lot Coverage | 15% | 20.7% | 35% max. |

| Development Standards | Existing | Proposed | Allowed/ Required |
|--------------------------|----------|---------------|-------------------|
| 5. Height | 15 ft. | 17 ft. | 30 ft. max. |
| 6. Designated Horse Area | None | 1,500 sq. ft. | 1,500 sq. ft. |
| 7. Building Setbacks | | | |
| a. Front (east): | 50 ft. | 48 ft. | 25 ft. min. |
| b. Rear (west): | 218 ft. | 156 ft. | 25 ft. min. |
| c. Side (north): | 24 ft. | 21 ft. | 12 ft. |
| d. Side (south): | 23 ft. | 26 ft. | 12 ft. |

II. STAFF ANALYSIS

Site Plan

The existing house is single-story in design and is on a relatively flat lot located on the west side of Colodny Drive. The expansion of the residence will include construction of single-story additions on all sides of the structure within the buildable area of the lot. The proposed additions will allow for more living space which includes a playroom, office, laundry room, mud room, bathroom, dining room, foyer, and expansion of the master bedroom and bathroom to the main structure and, at the rear of the residence, a new recreation room and garage. Access to the proposed recreation room will be taken from a new attached breezeway between the house and recreation room. Also proposed is a new entryway with a covered porch and a covered patio at the rear of the house to replace the existing covered patio. In addition, the applicant will be installing a new lawn in the front yard.

The proposed lot coverage of this site, including the existing residence, the proposed additions, swimming pool, accessory structures and hardscape is 9,026 square feet, or 20.7% of the lot. The maximum allowable lot coverage for the RL zone is 35%. The proposed additions will not impact the equestrian use of the property to be located in the rear of the parcel.

The existing 24.5 foot side yard setback from the north property line will be decreased to 21 feet, to allow for the expansion of the existing master bedroom, and the existing 23 foot side yard setback from the south property line will be increased to 26 feet, to allow for a 20 foot wide driveway to access the new 3-car garage proposed at the rear of the residence. The

new building setbacks of 21 feet to the north and 26 feet to the south exceed the 12-foot side yard setback requirement of the zone. The addition will be 48 feet from the front east property line and will be setback 156 feet from the rear west property line, which exceeds the 25 foot minimum front and rear yard requirements for the zone. The single-story height of the residence is to increase 2 feet, from 15 feet to 17 feet without exceeding the maximum height of 30 feet allowed for the zone. The adjacent homes are single story and are similar in height.

The proposed addition areas will be at the same finished floor elevation as the existing residence, at the 918-foot elevation, which is slightly above the street level. Existing landscaping screens most of the existing residence. The applicant will not be proposing any new fencing/walls on the property.

A new designated area has been identified on the plans for a future equestrian use. The applicant has selected a 1,500 square foot area on the rear of the property. No horse trail improvements will be required for the proposed addition.

The City's Old Agoura Residential Design Guidelines recommend a maximum 5,271 square feet of floor area based on the size and topography of the lot. In this instance, the Floor Area Ratio included in the Old Agoura Residential Design Guidelines is 12% or 5,271 square feet. The applicant has proposed a floor area ratio of 9% or 4,126 square feet, which is below the recommended floor area ratio of 5,271 square feet. The square footage of the proposed project is within the average of the neighborhood.

Architectural Review

The property is located within the Old Agoura Overlay District. The intent of the Old Agoura Overlay is to preserve the semi-rural character of the community and to promote the natural environment with the utilization of natural materials. The architectural style and design of the residence will change, but will remain consistent with the Old Agoura Overlay District. The existing house is one-story in height and consists of tan colored stucco, white trim and white stone veneer with a composition shingle roof. The applicant has chosen a modern ranch style of architecture for the residence with off-white smooth stucco and cream and dark brown trim. New casement and sliding windows will be installed on the entire house. The proposed roofing material for the entire residence will consist of flat clay tiles. The proposed entry porch area will consist of stone pilasters and wooden columns and a new front door.

A letter from the Old Agoura Homeowner Association is attached. The applicant has addressed the issues raised in the letter by proposing a grasscrete driveway. A landscape plan is not required for this flat residential lot.

Engineering/Public Works Department Review

The Engineering Department has reviewed and conditionally approved the Grading Plan. Minor grading (30 cubic yards of cut, and fill soil) will be required for the proposed

construction. No street or horse trail improvements will be required for the proposed project. The parcel is connected to the public sewer system.

The concrete driveway to access the existing attached garage located at the front of the house is proposed to be replaced with a 20-foot wide, pervious grasscrete driveway consistent with the Old Agoura Design Guidelines, to be located along the southern property line to access the new attached three-car garage at the rear of the residence.

The project consists of additions to an existing single-family residence and is exempt from the California Environmental Quality Act (CEQA) Guidelines, per Section 15301 because the additions will not result in an increase of more than 10,000 square feet and the area in which the project is located is not environmentally sensitive.

Notices of the Planning Commission meeting regarding this project were sent to neighbors within 750 feet of the project site.

In conclusion, the proposed project is consistent with the development standards of the RL zone. The architectural style of the residence will be enhanced and the landscaping will be maintained and improved with new lawn in the front yard. The new additions will be built to the most updated building code requirements.

III. RECOMMENDATION

Based on the foregoing review and analysis, staff recommends that the Planning Commission adopt a motion to approve Site Plan/Architectural Review Case No. 13-SPR-002, subject to conditions, based on the findings of the attached draft Resolution.

IV. ATTACHMENTS:

- Exhibit A: Draft Resolution and Conditions of Approval
- Exhibit B: Old Agoura Homeowners Association Letter
- Exhibit C: Vicinity Map
- Exhibit D: Colored Elevations
- Exhibit E: Reduced Photocopies of the Project Plans
- Exhibit F: Photographs of the Site
- Exhibit G: Photographs Submitted by the Applicant

Case Planner: Renee Madrigal, Associate Planner

EXHIBIT A

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF AGOURA HILLS APPROVING SITE
PLAN/ARCHITECTURAL REVIEW CASE NO. 13-SPR-002

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY
FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Manny Montes, for property owners Jessica and Jason Bradley, with respect to the property located at 5427 Colodny Drive (Assessor's Parcel Number 2055-013-015), requesting approval of a Site Plan/Architectural Review (Case No. 13-SPR-002) to add a 1,145 square-foot, single-story addition to a single-story residence, and an attached covered breezeway and 1,153 square foot attached garage and recreation room. A public meeting was duly held on April 4, 2013, at 6:30 p.m. in the Council Chambers at City Hall, 30001 Ladyface Court, Agoura Hills, California; and that notice of time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public meeting.

Section 3. Based on the evidence presented at the public meeting, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to the Agoura Hills Municipal Code Sections 9677.5 (Site Plan Review) that:

A. The proposed use, as conditioned, is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located. The proposed residence and additions are permitted uses in the Low Density Residential (RL) zone. The additions would expand the existing single floor of the residence and would remain within the buildable area of the lot.

B. The proposed addition, as conditioned, will not be detrimental to the public health, safety, or general welfare. The property will be improved and maintained according to City Building Code standards and all building plans will be reviewed and approved by the City's Building and Safety Department. The placement of the single-story additions exceeds minimum yard setbacks and will be below the maximum allowable building height of 30 feet, thereby allowing for privacy, light, and air to adjacent structures and is compatible with the established building heights in the neighborhood as called for in the Architectural Design Standards and Guidelines for neighborhood compatibility. The parcel is connected to the public sewer system.

C. The proposed additions, as conditioned, will not conflict with the character and design of the buildings in the surrounding area in that the proposed exterior materials consisting of off-white stucco walls, cream and dark brown trim, stone veneer and a

brown tile roof would be compatible with the neighborhood and meets the requirements of the Old Agoura Design Overlay District and the Old Agoura Design Guidelines.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. The project is consistent with the development standards of the Low Density Residential (RL) and Old Agoura Design Overlay and Equestrian Design Overlay zones in that the project will meet the development requirements for the project by compliance with lot coverage, building height, and setback requirements.

E. The proposed use, as conditioned, is consistent with the goals, objectives and policies of the General Plan in that the project maintains the rustic character of Old Agoura and allows for keeping of horses on the property, as called for in the General Plan Land Use and Community Form Element, Goal LU-8.1.

F. The proposed use, as conditioned, preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The proposed exterior finishes to the existing single-family residence will consist of off-white stucco walls, cream and dark brown trim, stone veneer, and a brown tile roof that are consistent with the architecture of the surrounding area. The proposed room additions and covered patios/breezeways are logical expansions to the existing single-family residence and will be constructed in accordance with the development standards of the RL zone.

Section 4. Based on the evidence presented at the public meeting, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to the Agoura Hills Municipal Code Section 9677.7G (Architectural Review) that:

A. The proposed use, as conditioned, is consistent with the General Plan, and design standards adopted by the City Council. The project will maintain a distinguishing characteristic including the building form, scale, and massing and will maintain the semi-rural character of the Old Agoura residential neighborhood. Furthermore, the project will not impede on the open space areas suitable for horses.

B. As conditioned, the design and location of the proposed development and its relationship to existing developments and traffic in the vicinity thereof is such that it will increase the desirability of investment or occupation in the neighborhood. The proposed project will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity, and will not create traffic hazards or congestion. Access to the property will continue to be via Colodny Drive. The structure will remain a single-family residence like the adjacent properties.

C. The proposed use, as conditioned, is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of the City. The proposed exterior finishes to the existing single-family residence would consist of off-white stucco walls, cream and dark brown trim, stone veneer, and brown tile roof that are in keeping with the rustic style of homes in the Old Agoura neighborhood, and have exceeded the minimum development standards established by the Zoning Ordinance.

D. The design of the proposed development, as conditioned, provides a desirable environment for its occupants, as well as for the project's neighbors, and is aesthetically of good composition, materials, textures, and colors. The proposed exterior building materials and colors are compatible with the rustic colors and materials in the Old Agoura neighborhood and with the City Architectural Design Standards and Guidelines.

E. The proposed use, as conditioned, complies with all applicable requirements of the district in which it is located and all other applicable requirements. Single-family residential uses and expansion to single-family units are allowed in the Low Density Residential (RL) zone.

F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare. The property will be improved and maintained according to City Building Code standards and meets the minimum yard standards and building height standards of the RL zone.

Section 5. The proposed project is a request for a 1,145 square-foot addition to an existing single-family residence, and an attached breezeway and 1,133 square-foot attached garage and recreation room and is exempt from the California Environmental Quality Act, as defined in CEQA Guidelines, Section 15301 because the additions will not result in an increase of more than 10,000 square feet and the area in which the project is located is not environmentally sensitive.

Section 6. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. 13-SPR-002, subject to the attached conditions, with respect to the property described in Section I hereof.

PASSED, APPROVED, and ADOPTED this 4th day of April, 2013, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Michael Justice, Chairperson

ATTEST:

Mike Kamino, Secretary

CONDITIONS OF APPROVAL (Case No. 13-SPR-002)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of Approval of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits approved by the Planning Commission on April 4, 2013: Site Plan, Building Elevation Plans, Floor Plans, Roof Plan, and Grading Plans.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
8. No occupancy shall be granted for the addition until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and

Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless this permit is used within two (2) years from the date of City approval, Case No. 13-SPR-002 will expire. A written request for a one-year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.20 per square foot.
15. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.9296 per square foot of new floor area.
16. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
17. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

BUILDING AND SAFETY

18. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).
19. The applicant shall provide on the plans a 2% slope away from all new structures.
20. This project is subject to the 2010 California Residential Code, 2010 Mechanical Code, 2010 California Plumbing Code, 2010 Electrical Code, 2010 Green Building Code and 2008 Energy Code.
21. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Elevation Plans, Mechanical, Electrical, Plumbing, Energy and Structural Calculations shall be submitted to Building and Safety Department for plan review and approval.
22. The applicant shall submit to the Building and Safety Department a Soils Report prior to building permit issuance.

23. Fire Department review and approval shall be required for access.
24. Fire Sprinklers will be required for the entire building, existing and new per Agoura Hills Municipal Code (AHMC) Section 903.2.
25. The location of Smoke and Carbon Monoxide detectors shall be indicated on plans, which are required per 2010 Residential Code Section R314 and R315.
26. A building permit shall be obtained for the unpermitted 159 sq. ft. storage shed in the rear yard simultaneously or prior to the building permit for the new addition.

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

27. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
28. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of any permits, all improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
29. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
30. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
31. The grading Plan shall show location(s) of all Oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
32. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact

the Engineering Department at (818) 597-7322 for approved City certification forms.

33. Any and all off-site work, such as the drainage swale along the southern property line shall require written permission from the affected property owners prior to beginning said work.
34. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The applicant shall replace driveway approach.
35. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
36. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMP's;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge into the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicles washing and any other activities shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combinations of BMP's such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
37. Prior to building permits sign-off, all remaining fees/ deposits required by the Engineering Department must be paid in full.

38. Prior to building permits sign-off, all requirements including construction of improvements covered in condition number 8 must be completed to the satisfaction of the City Engineer.
39. Prior to building permits sign-off, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.
40. Prior to building permits sign-off, all monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.

FIRE DEPARTMENT CONDITIONS

41. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a building permit.

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

42. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
43. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall

provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

44. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

SPECIAL CONDITIONS

45. The vicinity map on the grading plan needs to show the correct location of the site.

END

EXHIBIT B

**Old Agoura Home Owners Association
Planning and Zoning Committee**

January 21, 2013

Attn: City of Agoura Hills Planning Dept.

Re: 5427 Colodny

The Planning and zoning committee from the Old Agoura Home Owners Association has visited the subject site and reviewed the plans dated 1/13/2013 by MJM Group.

The scope of work consist of enlarging the main residence, adding a separate 3 car garage and recreational room. The size of the proposed addition and new dwelling appear to be within the Old Agoura guide lines with respect to lot coverage, FAR, height and setbacks.

The existing gravel driveway from the front of the existing house to the existing horse area in the back, will service the new garage. We encourage these types of permeable driveways; they help reduces rain water runoff, and benefit our aquifers. They also add to the rural "tone" we wish to preserve.

The rear of the property has a nice area set aside for a horse facility, which is consistent with the General plan guide lines. We appreciate the preservation of this abundant area for future equestrian activities.

The front of the house has some nice wood "Craftsman like" features that will work nicely in the neighborhood. We would like to see the wood beam design over the new entry be continued over the existing dormers and gable in the front of the house. This will "tie this architectural feature" across the entire front elevation.

We would also like to see:

- 1- Plans for the new driveway, finish and color.
- 2- A landscape plan that promotes native plants.

Overall, the project has many nice features, the front, rear and side elevations have nice articulation and trims. We feel the improvements are conducive to the neighborhood and should be well received. We wish them well with the project and look forward to seeing the final details.

Thank you for the opportunity to comment on this project.

Thank you.

Phil Ramuno
Daniel Farkash
Mike Colabella

EXHIBIT C

SITE PLAN/ARCHITECTURAL REVIEW
CASE NO. 13-SPR-002

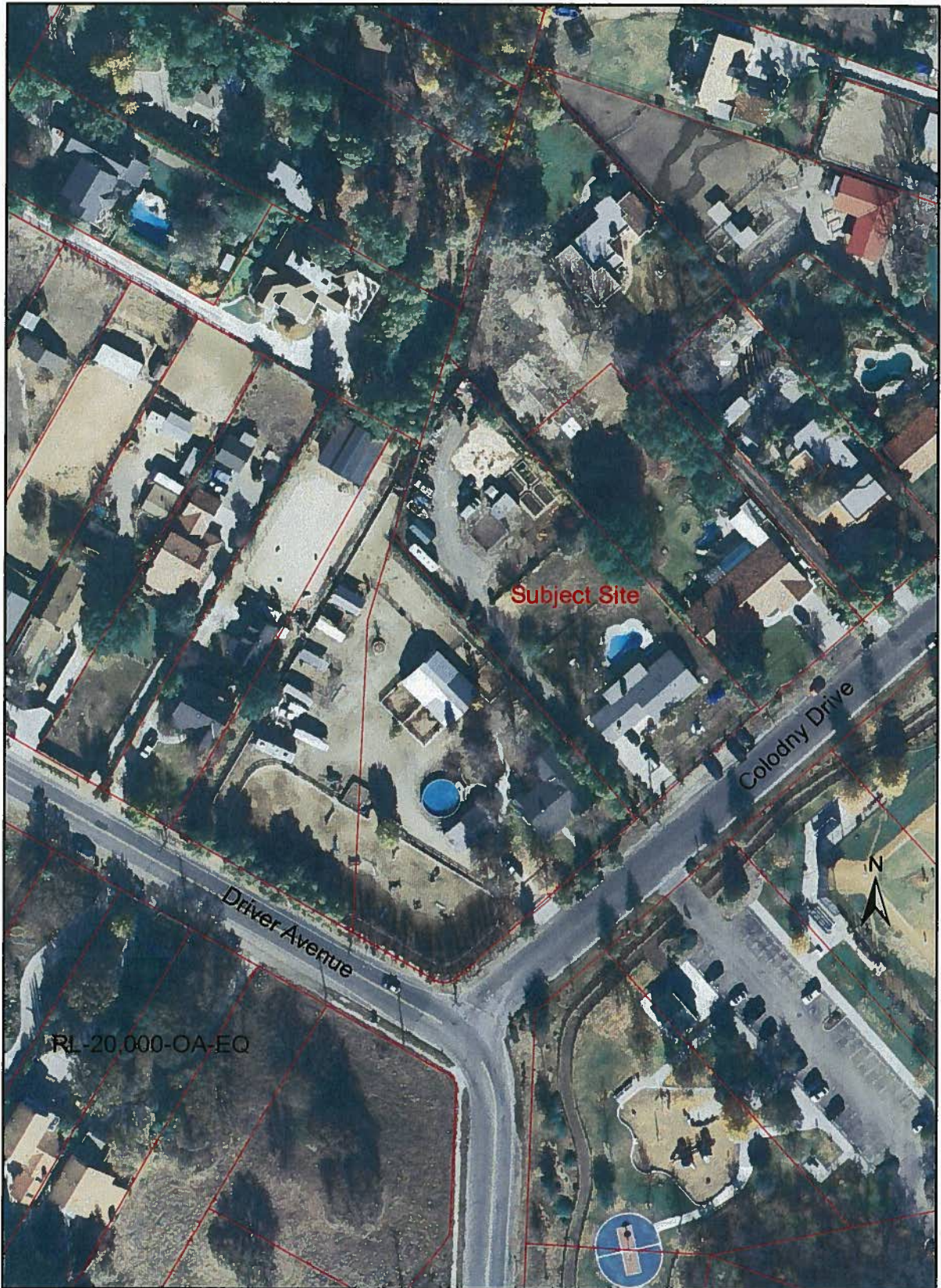
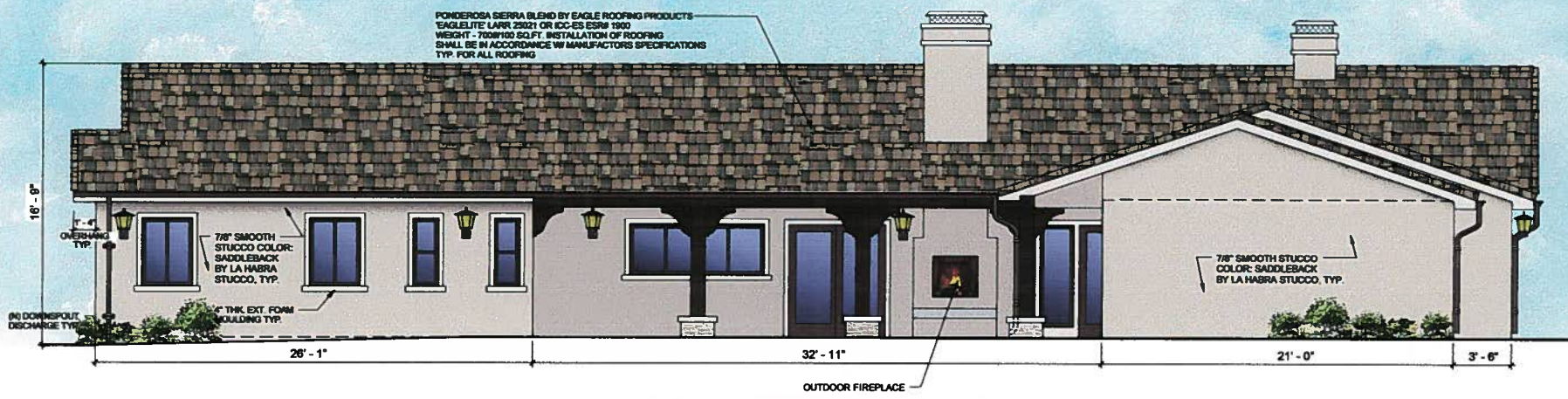
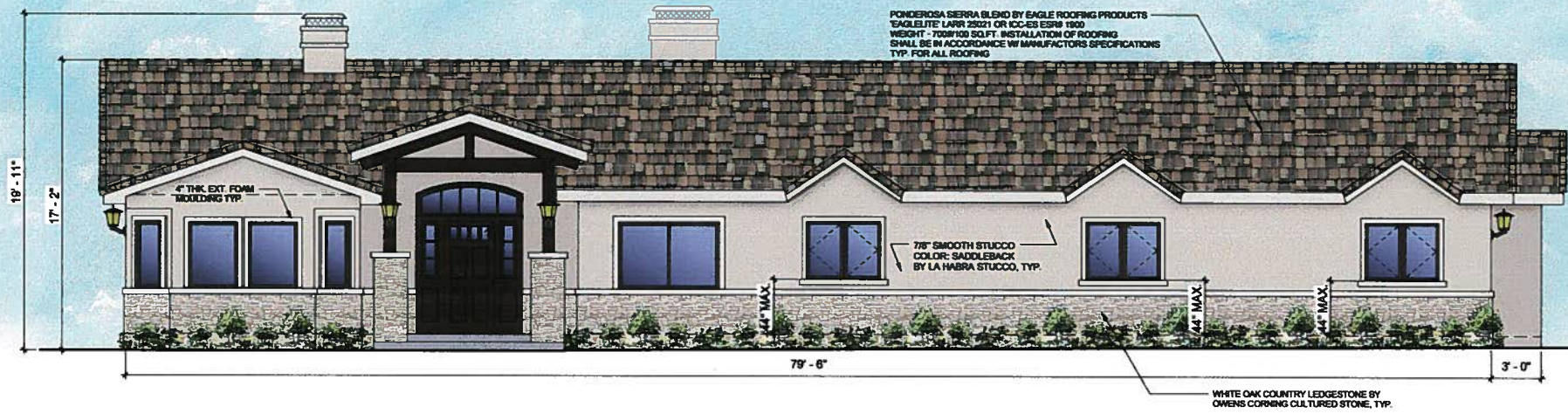
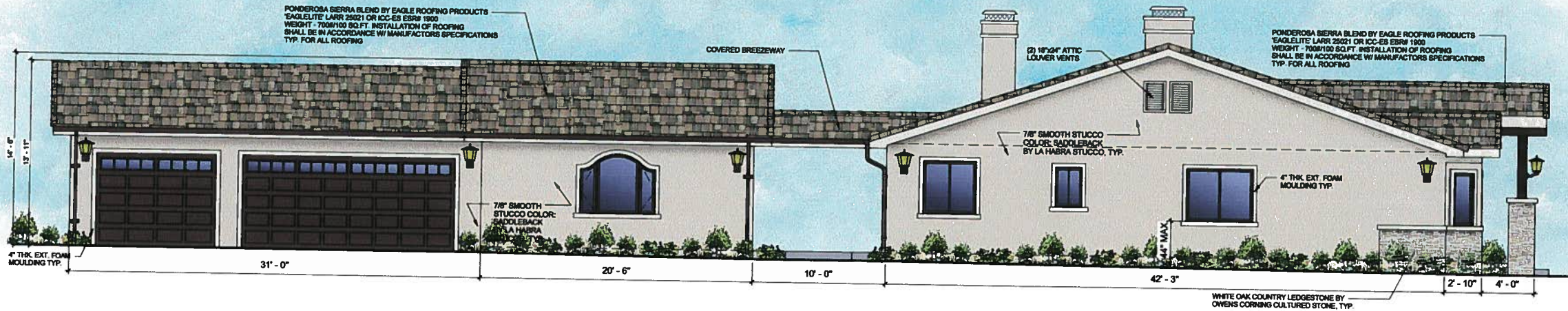


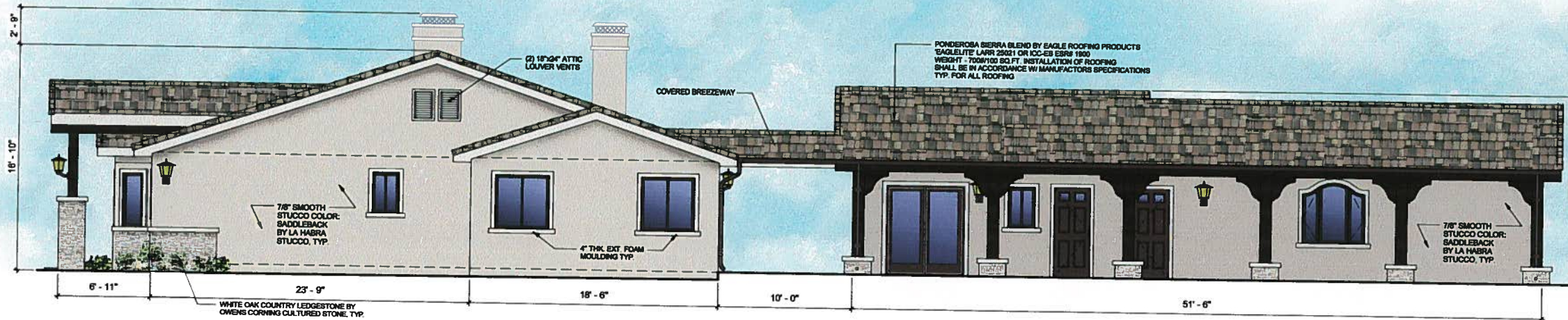
EXHIBIT D



**SOUTH-WEST ELEVATION
(REAR)**



SOUTH-EAST ELEVATION



NORTH-WEST ELEVATION

5427 COLODNY DR. AGOURA HILLS, CA 91301

EXHIBIT E

BRADLEY RESIDENCE

5427 COLODNY DR. AGOURA HILLS, CA 91301

PROJECT SUMMARY

| EXISTING SINGLE FAMILY RESIDENCE | |
|---|---|
| DESCRIPTION | SQUARE FOOTAGE |
| (D) RESIDENCE AREA 1ST FLOOR | 1,848 SQ.FT. |
| (D) ATTACHED 2 CAR GARAGE | 458 SQ.FT. |
| TOTAL (D) RESIDENCE, AND GARAGE | 2,306 SQ.FT. |
| PROPOSED DEMO | |
| DEM0 ATTACHED 2 CAR GARAGE | 458 SQ.FT. |
| PROPOSED ADDITION SINGLE FAMILY RESIDENCE | |
| (P) ADDITION AREA (MAIN HOUSE) | 1,145 SQ.FT. |
| (P) ADDITION AREA (GARAGE & REC. ROOM) | 1,133 SQ.FT. |
| TOTAL (E) + (P) RESIDENCE AREA + (P) GARAGE & REC. ROOM | 1,848 SF. + 1,145 SF. + 1,133 SF. = 4,126 SF. |
| PROPOSED PATIO & PORCHES | |
| (P) FRONT COVERED PORCH | 151 SQ.FT. |
| (P) REAR COVERED PATIO | 640 SQ.FT. |

PROJECT DESCRIPTION

| | |
|--|--------------------------|
| USE: | SINGLE-FAMILY RESIDENCE |
| OCCUPANCY: | GROUP R - DIVISION 3 / U |
| ZONING: | RL-20000-CA-EQ |
| TYPE OF CONSTRUCTION: | TYPE V-B |
| LOT SIZE: | 43,560 SQ.FT. |
| BUILDING HEIGHT: | 17'-2" FT. |
| LOT COVERAGE (STRUCTURES): | 4,126 / 43,560 = 9.5% |
| LOT COVERAGE (STRUCTURES + HARDSCAPE): | 9,026 / 43,560 = 20.7% |

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 LOT 24, IN BLOCK 9 OF TRACT NO. 8451, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGES 79 THROUGH 90, INCLUSIVE OF SAUS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR NUMBER - 2055-013-015

SCOPE OF WORK

- Enlarge Master Bedroom & Master Bathroom
- Add New Dining room, Playroom, Office, Laundry, 1/2 Bath & Mud Room
- Enlarge Living room into a Great room
- Change existing shingle roof to tile roof
- Add New 3 Car Garage and Recreation Room w/ Bathroom

SHEET INDEX

| Sheet No. | Sheet Name |
|-----------|--|
| A1 | TITLE SHEET / GENERAL NOTES |
| A2 | EXISTING & PROPOSED SITE PLAN |
| A3 | EXHIBITS PER CODE PLAN |
| A4 | PROPOSED FLOOR PLAN (GARAGE & RECREATION) |
| A5 | PROPOSED FLOOR PLAN (MAIN HOUSE) & ELEVATION & SECTION |
| A6 | EXHIBITS & LEGAL DESCRIPTION |
| A7 | EXHIBITS & PROPOSED ROOF PLAN |

CONSULTANTS

| APPLICANT | STRUCTURAL ENGINEER |
|--|--|
| MANNY MONTES MJM DESIGN GROUP 4121 PURCELL DR. LOS ANGELES, CA (323) 253-0506 | WILLY TSAI WILLY TSAI & ASSOC., INC. 236 S. ATLANTIC BLVD. ALHAMBRA, CA (626) 281-5726 |
| CIVIL ENGINEER | |
| JOHN VLASSIS KIMLEY-HORN AND ASSOC. 6800 OWENSOUTH AVE. STE. 410, CANOGA PARK, CA (818) 227-2790 | |

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 REMODELS
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| NO. | REV. | DATE |
|-----|------|------|
| | | |
| | | |

PROJECT SHEET:

**JASON & JESSICA
 BRADLEY**
 5427 COLODNY DR.
 AGOURA HILLS, CA 91301
 TEL. (818) 335-8229

TITLE SHEET / GENERAL NOTES

PROJECT MANUAL:

BRADLEY RESIDENCE
 5427 COLODNY DR.
 AGOURA HILLS, CA. 91301



DESIGNED BY: M.M.

DATE: 1/13/2013

PROJECT NO.: 1225

SHEET: **A1**

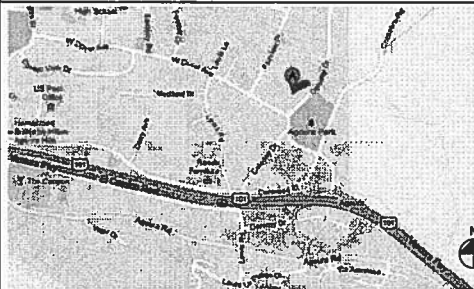
GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH THE 2010 CALIFORNIA BUILDING CODE, 2010 CALIFORNIA ELECTRICAL CODE, 2010 CALIFORNIA PLUMBING CODE, 2010 CALIFORNIA MECHANICAL CODE, 2010 GREEN BUILDING CODE, AND 2008 ENERGY CODE
- SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL, AND PLUMBING.
- ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THE SITE PLAN.
- A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA AND SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING.
- WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
- TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE.
- WHEN REQUIRED BY THE BUILDING OFFICIAL, PROPERTY LINES SHALL BE ESTABLISHED IN THE FIELD BY A LICENSED SURVEYOR.
- PROVIDE TWO (2) PERCENT MINIMUM POSITIVE DRAINAGE AWAY FROM PROPOSED STRUCTURES.
- THE CONTRACTOR SHALL VISIT THE PROJECT AREAS AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. HE SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT. HE SHALL NOTIFY THE CITY OF ANY CONDITIONS REQUIRING CORRECTION OR MODIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL WORK ON THE SITE.
- ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. DIMENSIONS SHALL BE VERIFIED IN THE FIELD PROCEEDING WITH THE WORK. THE CONSTRUCTION MANAGER SHALL BE NOTIFIED OF ANY CORRECTIONS REQUIRED.
- THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR COMPLETE AND PROPER EXECUTION OF THE WORK.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FURNISH ALL LABOR, EQUIPMENT, AND MATERIALS; AND PERFORM ALL WORK NECESSARY, INDICATED, REASONABLY INFERRED OR REQUIRED BY ANY CODE WITH JURISDICTION. ALL CONTRACTORS SHALL COMPLETE THEIR SCOPE OR WORK FOR A COMPLETE AND PROPERLY FINISHED JOB.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK, AND AT THE COMPLETION OF THE WORKDAY, CONTRACTOR SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE PROJECT AREA, AND ALL THEIR TOOLS, AND SURPLUS MATERIALS AND SHALL LEAVE THE JOB BROOM CLEAN.
- THE PROJECT SITE SHALL BE KEPT NEAT AND ORDERLY. TRASH AND DEBRIS GENERATED BY CONSTRUCTION OPERATIONS SHALL BE REMOVED FROM THE PROJECT SITE ON A REGULAR BASIS.
- THE CONTRACTOR SHALL PROVIDE PROPER ANCHORAGE OF ALL EQUIPMENT AND ASSEMBLIES SHOWN HEREIN IN ACCORDANCE WITH TRADE AND INDUSTRY STANDARDS AND ALL GOVERNING CODES AND ORDINANCES.
- WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF PRACTICE FOR EACH TRADE.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES AND PROTECT THEM FROM DAMAGE AS REQUIRED.
- ALL DISSIMILAR METALS SHALL BE SUFFICIENTLY ISOLATED FROM EACH OTHER TO PREVENT GALVANIC ACTION.

MATERIALS & SYMBOLS LEGEND

| | | | |
|--|---------------------|--|---------------------|
| | LAWN | | SECTION |
| | PAVED STONE | | DETAIL |
| | COMPOSITION SHINGLE | | ELEVATIONS |
| | CERAMIC TILE | | ROOM NUMBER |
| | EARTH | | WINDOW NUMBER |
| | CRUSHED ROCK | | DOOR NUMBER |
| | SAND OR PLASTER | | GRID LINES |
| | CONCRETE | | DIMENSION REFERENCE |
| | METAL / STEEL | | NORTH ARROW |
| | FINISHED WOOD | | KEYNOTE |
| | WOOD FRAMING | | KEYNOTE NUMBER |
| | WOOD FRAMING | | REVISION |
| | PLYWOOD | | REVISION NUMBER |
| | BATT INSULATION | | |
| | GLASS | | |
| | FOAM | | |

VICINITY MAP



ABBREVIATIONS

| | | | | | |
|---|---------|--------|-------------------|----------|-------------------|
| A | Asst | F.C.C. | Fire Station/Chk. | PROCT | Pro-Cast |
| B | Blocked | F.C.C. | Fire Hose Cabinet | PL | Plum |
| C | Car | F.P. | Finish Floor | P.L.A.M. | Plastic Laminates |
| D | Drain | F.L. | Flare | PLWD. | Plaster |
| E | Drain | F.L. | Flare | PLWD. | Plaster |
| F | Drain | F.L. | Flare | PLWD. | Plaster |
| G | Drain | F.L. | Flare | PLWD. | Plaster |
| H | Drain | F.L. | Flare | PLWD. | Plaster |
| I | Drain | F.L. | Flare | PLWD. | Plaster |
| J | Drain | F.L. | Flare | PLWD. | Plaster |
| K | Drain | F.L. | Flare | PLWD. | Plaster |
| L | Drain | F.L. | Flare | PLWD. | Plaster |
| M | Drain | F.L. | Flare | PLWD. | Plaster |
| N | Drain | F.L. | Flare | PLWD. | Plaster |
| O | Drain | F.L. | Flare | PLWD. | Plaster |
| P | Drain | F.L. | Flare | PLWD. | Plaster |
| Q | Drain | F.L. | Flare | PLWD. | Plaster |
| R | Drain | F.L. | Flare | PLWD. | Plaster |
| S | Drain | F.L. | Flare | PLWD. | Plaster |
| T | Drain | F.L. | Flare | PLWD. | Plaster |
| U | Drain | F.L. | Flare | PLWD. | Plaster |
| V | Drain | F.L. | Flare | PLWD. | Plaster |
| W | Drain | F.L. | Flare | PLWD. | Plaster |
| X | Drain | F.L. | Flare | PLWD. | Plaster |
| Y | Drain | F.L. | Flare | PLWD. | Plaster |
| Z | Drain | F.L. | Flare | PLWD. | Plaster |

PARKING

NUMBER OF PARKING SPACES REQUIRED - 2 COVERED PARKING SPACES

NUMBER OF PARKING SPACES PROVIDED - 3 COVERED PARKING SPACES

OLD AGOURA CALCS.

| STRUCTURES | | |
|--------------------------------------|------------------|----------------------|
| DESCRIPTION | SQUARE FOOTAGE | |
| MAIN HOUSE | 2,993 SQ.FT. | TOTAL - 4,917 SQ.FT. |
| GARAGE & REC RM. | 1,133 SQ.FT. | |
| REAR PATIO | 640 SQ.FT. | |
| FRONT PORCH | 151 SQ.FT. PORCH | |
| EXEMPTIONS | | |
| DESCRIPTION | SQUARE FOOTAGE | |
| GARAGE UNDER 600 SF | 660 SQ.FT. | TOTAL - 811 SQ.FT. |
| FRONT PORCH | 151 SQ.FT. | |
| MAXIMUM FAR ALLOWED - 5271.18 SQ.FT. | | |
| FAR PROVIDED - 4,106 SQ.FT. | | |

| NO. | REV. DATE |
|-----|-----------|
| | |
| | |

PROJECT OFFICE:
**JASON & JESSICA
BRADLEY**
5427 COLODNY DR.
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TEL: (818) 335-8229

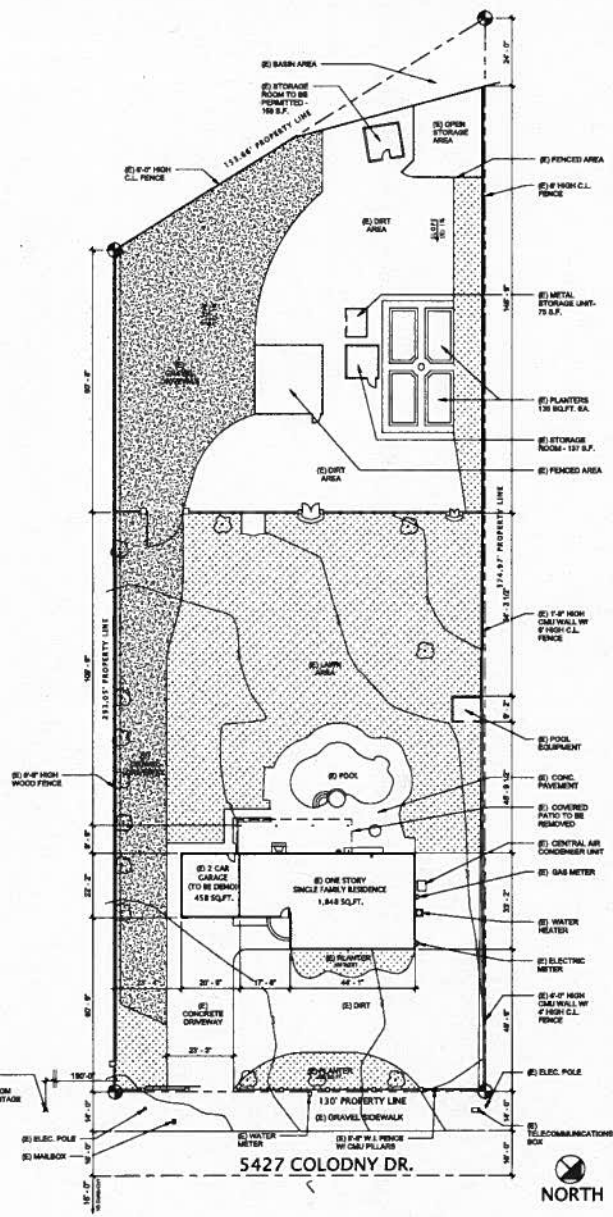
TITLE SHEET:
**EXISTING &
PROPOSED SITE
PLAN**

PROJECT NAME:
**BRADLEY
RESIDENCE**
5427 COLODNY DR.
AGOURA HILLS, CA. 91301



DRAWN BY:
M.J.M.
DATE:
1/13/2013
PROJECT NO.
1225
SHEET

A2



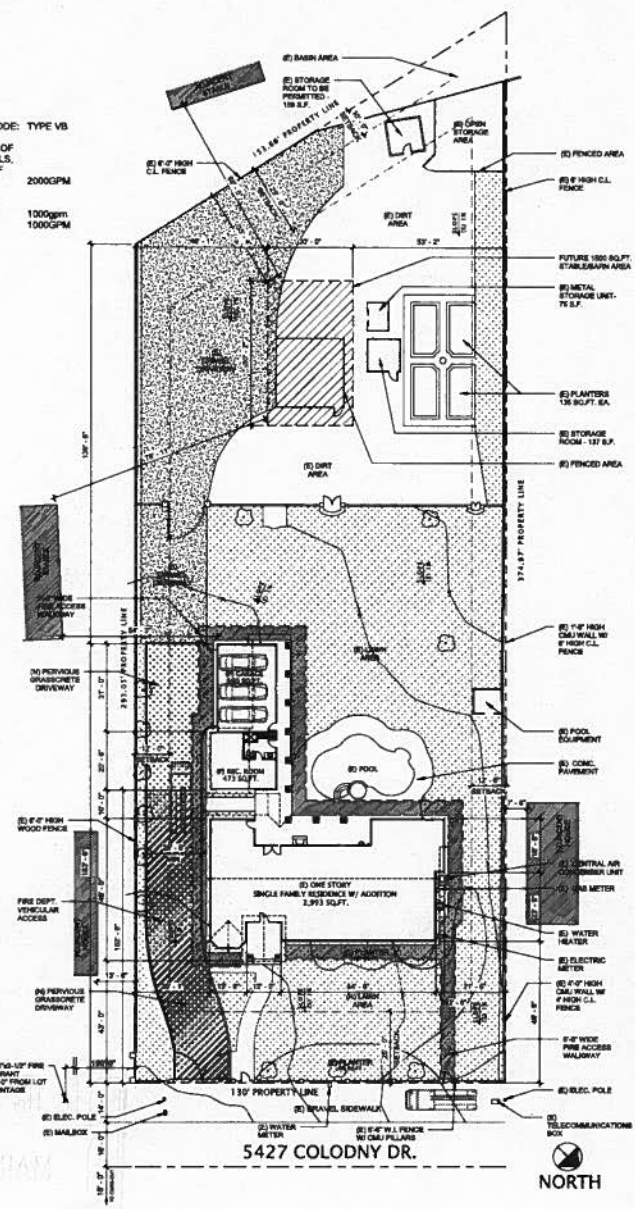
EXISTING SITE PLAN

SCALE 1" = 20'-0" 2

FIRE DEPT. NOTE:
ENTIRE HOUSE TO BE SPRINKLERED
WITH A 13R SPRINKLER SYSTEM

FIRE DEPT. CALC.:
THE REQUIRED FIRE FLOW IS BASED ON THE
FOLLOWING CALCULATION:

TYPE OF CONSTRUCTION PER THE BUILDING CODE: TYPE VB
FIRE FLOW BASED ON THE TOTAL FLOOR AREA OF
ALL FLOOR LEVELS WITHIN THE EXTERIOR WALLS,
AND UNDER THE HORIZONTAL PROJECTIONS OF
THE ROOF OF THE BUILDING.
2000GPM
REDUCTION FOR FIRE SPRINKLERS (MAX. 50%)
1000gpm
13R SYSTEM OR GREATER:
1000GPM
TOTAL FIRE FLOW REQUIRED



PROPOSED SITE PLAN

SCALE 1" = 20'-0" 1

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| NO. | REV. | DATE |
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| | | |

PROPERTY OWNER:
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AGOURA HILLS, CA 91301
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TITLE SHEET:
**EXISTING FLOOR
PLAN**

PROJECT NAME:
**BRADLEY
RESIDENCE**
5427 COLONY DR.
AGOURA HILLS, CA. 91301

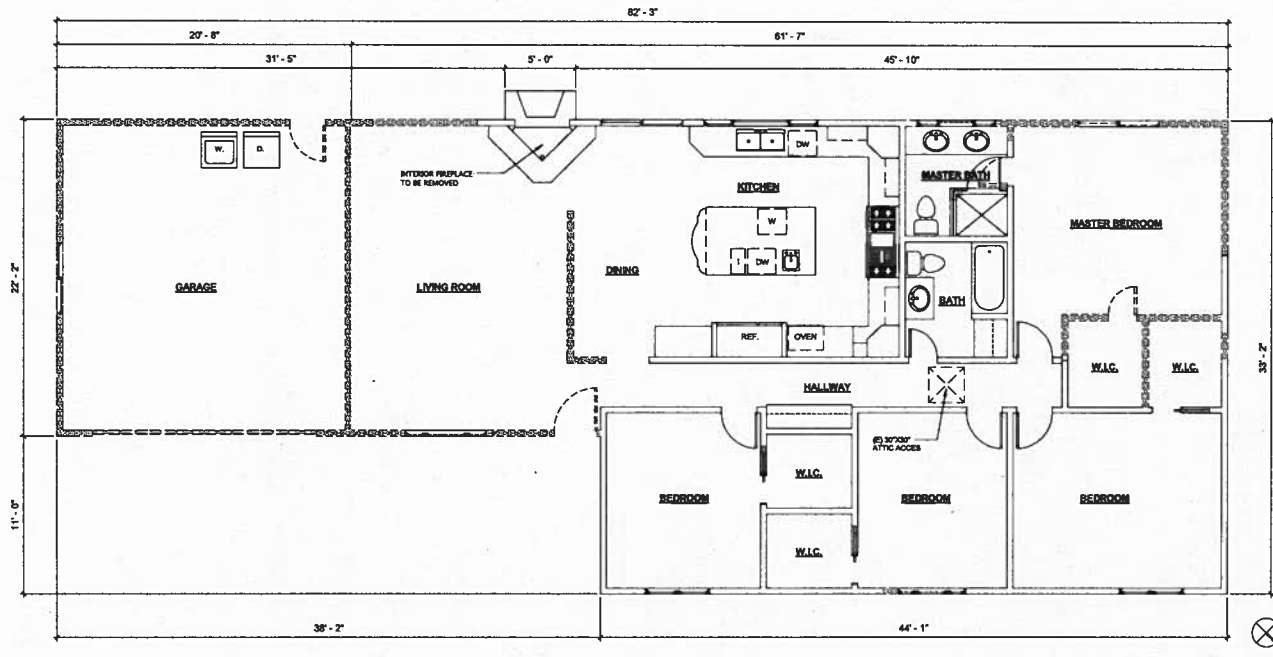


| | |
|----------------|-----------|
| DESIGNED BY: | M.M. |
| DATE DESIGNED: | 1/13/2013 |
| PROJECT NO.: | 1225 |
| SHEET NO.: | A3 |

SCALE 1/4" = 1'-0" 1

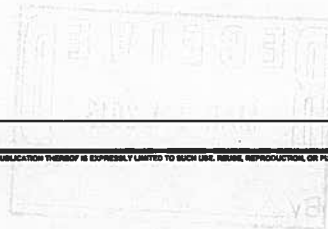
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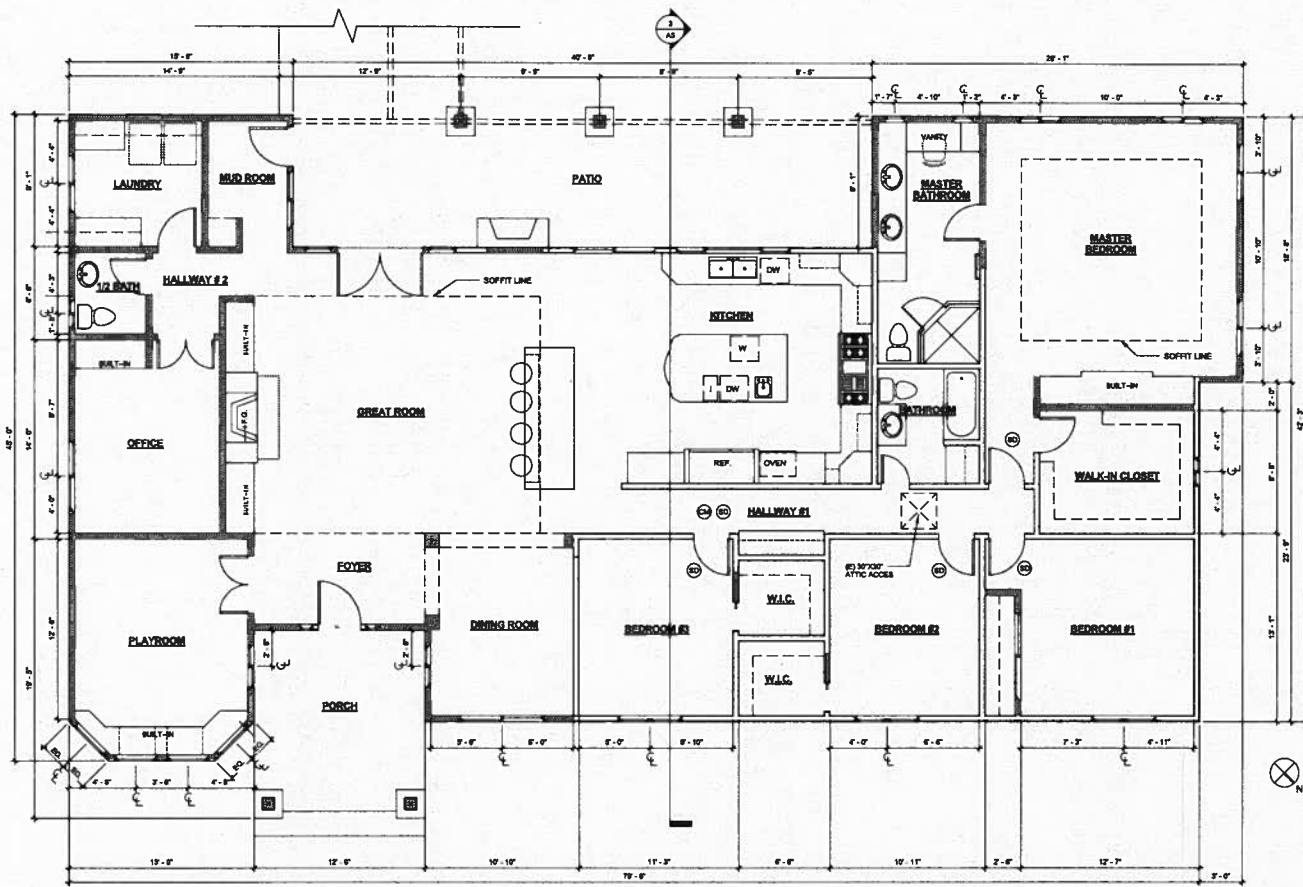
| | |
|--|----------------------------|
| | EXISTING WALL TO REMAIN |
| | STUD WALL TO BE DEMOLISHED |
| | DEMO DOORS/WINDOWS |



EXISTING FLOOR PLAN

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HATCH LEGEND

| | |
|--|-------------------------|
| | NEW 204 STEEL CONST. |
| | EXISTING WALL TO REMAIN |

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TITLE SHEET:
 PROPOSED FLOOR
 PLAN (MAIN HOUSE)

PROJECT NAME:
 BRADLEY
 RESIDENCE
 5427 COLONY DR.
 AGOURA HILLS, CA. 91301



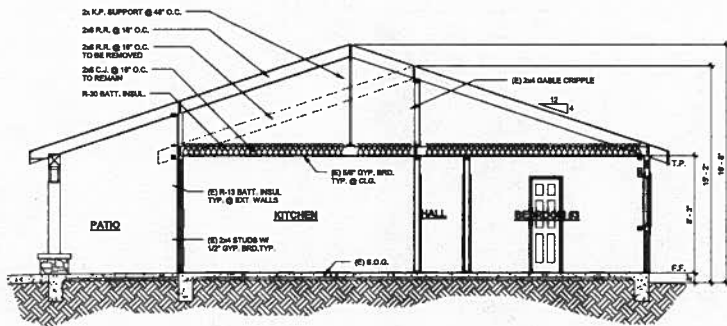
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| DESIGN DRAWN BY: GSSD |
| M.M. |
| DESIGN DATE: 1/13/2013 |
| 1/13/2013 |
| 1225 |

A4

PROPOSED FLOOR PLAN (MAIN HOUSE)

SCALE 1/4" = 1'-0" 1

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SECTION

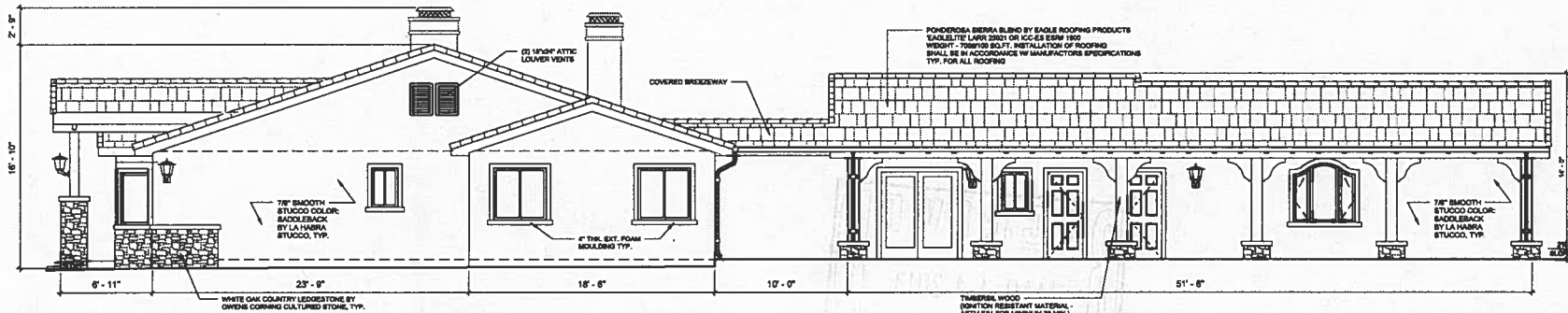
SCALE 1/4" = 1'-0"

3

PROPOSED FLOOR PLAN (GARAGE)

SCALE 1/4" = 1'-0"

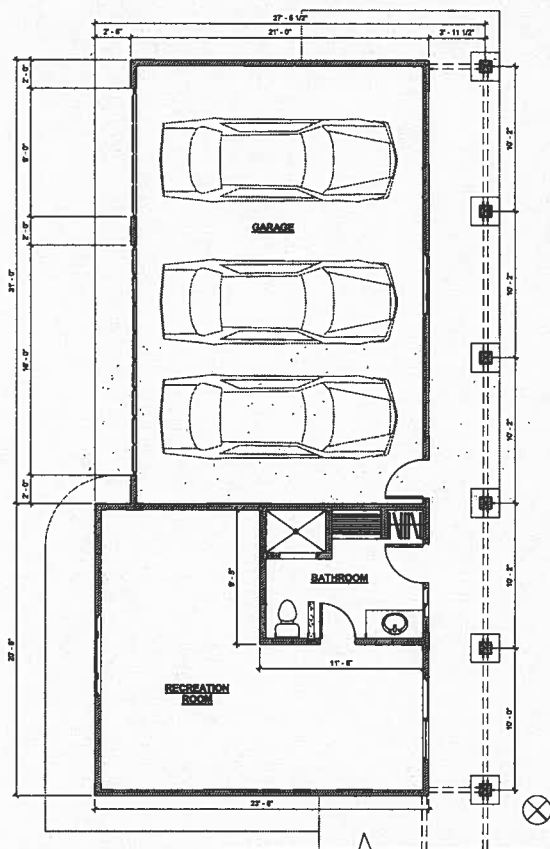
1



NORTH-WEST ELEVATION

SCALE 1/4" = 1'-0"

2



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| NO. | REV. | DATE |
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PROPERTY OWNER INFORMATION:
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TITLE SHEET:
PROPOSED FLOOR PLAN (GARAGE) & ELEVATION & SECTION

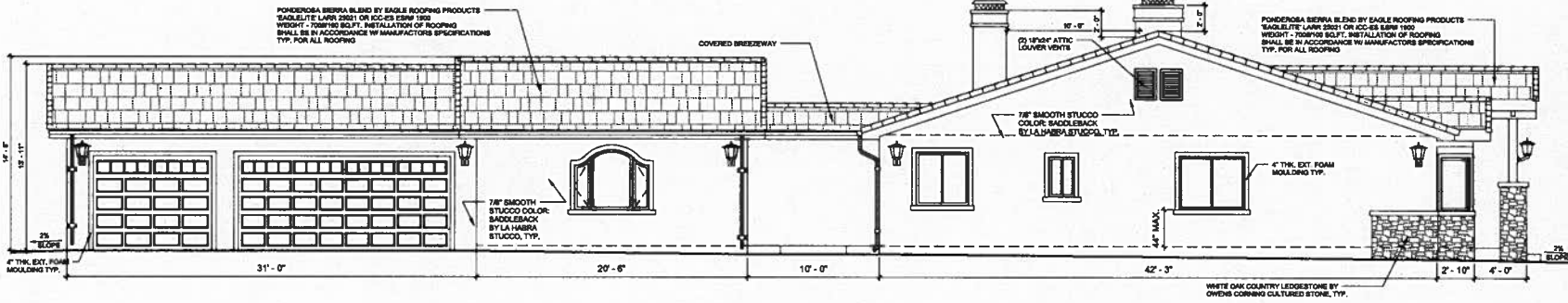
BRADLEY RESIDENCE
3427 COLONY DR.
AGOURA HILLS, CA. 91301



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| DESIGN DRAWN BY: JMM |
| Author |
| DATE: 08/08/2013 |
| 1/13/2013 |
| PROJECT NO.: 1225 |
| SHEET |

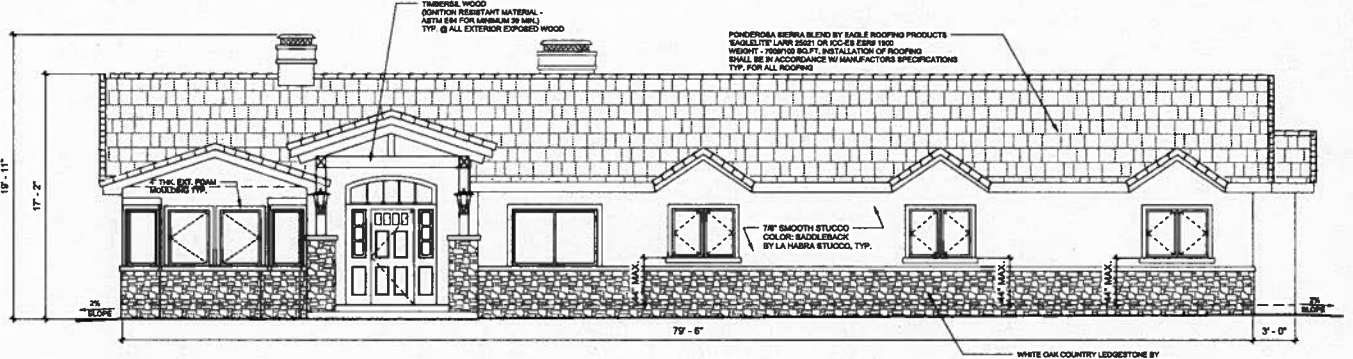
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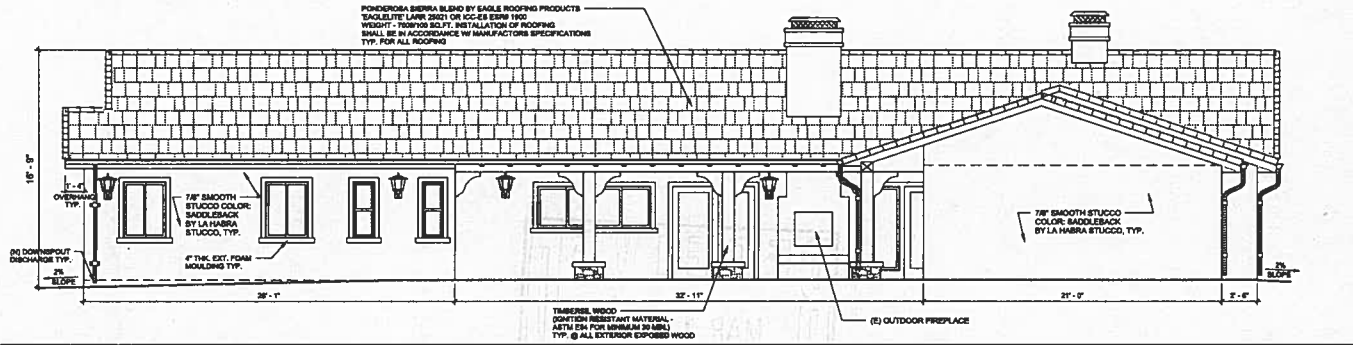
SOUTH-EAST ELEVATION

SCALE 1/4" = 1'-0" 1



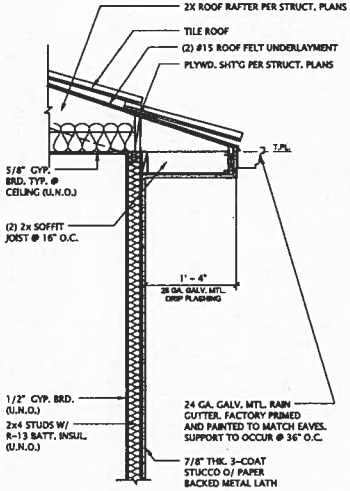
NORTH-EAST ELEVATION

SCALE 1/4" = 1'-0" 3



SOUTH-WEST ELEVATION

SCALE 1/4" = 1'-0" 4



EAVE DETAIL

SCALE 3/4" = 1'-0" 4

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PROJECT OWNER:
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 AGOURA HILLS, CA 91301
 TEL. (818) 335-8229

DATE SHEET:
**ELEVATIONS & EAVE
 DETAIL**

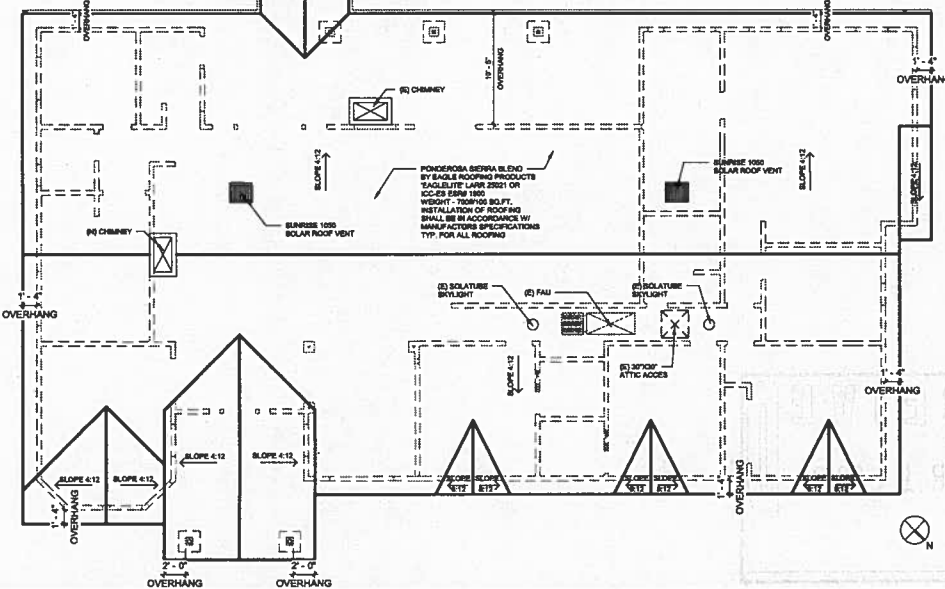
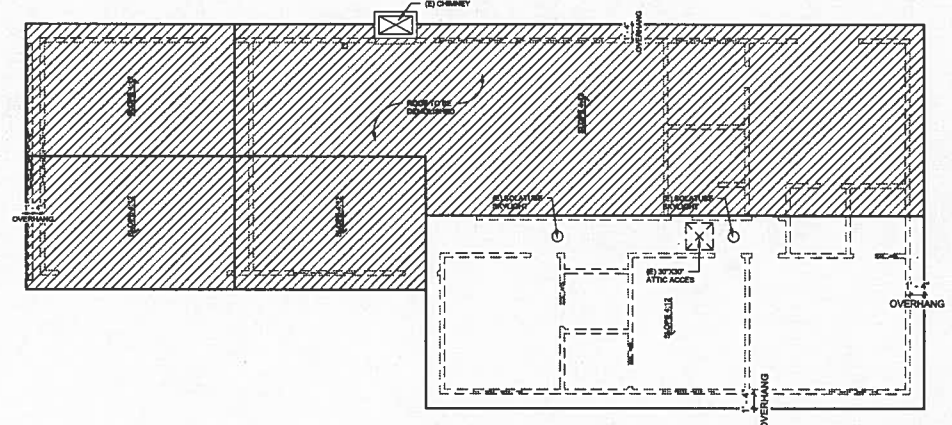
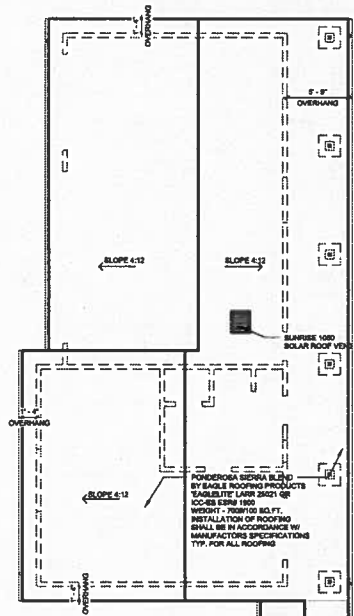
PROJECT NAME:
**BRADLEY
 RESIDENCE**
 5427 COLONY DR.
 AGOURA HILLS, CA. 91301



| | |
|-------------------------|-----------|
| DESIGN DRAWN BY/ISSUED: | MJM |
| ISSUE DATE: | 1/13/2013 |
| PROJECT NO.: | 1225 |
| ISSUE SHEET: | |

A6

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EXISTING ROOF PLAN

SCALE 3/16" = 1'-0" 1

SCALE 3/16" = 1'-0" 2

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NO. 1 READY, DATED

| |
|--|
| |
| |
| |
| |

PROPERTY OWNER:
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TEL. (818) 335-8229

EXISTING &
PROPOSED ROOF
PLAN

PROJECT NAME:
**BRADLEY
RESIDENCE**
5427 COLODNY DR.
AGOURA HILLS, CA. 91301



SCALE DRAWN BY: M.M.
DATE: 1/13/2013
PROJECT NO.: 1225
SHEET NO.:

A7

PROPOSED ROOF PLAN

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GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 6 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT, PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT, PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND PRESERVATION SYSTEMS HAVE BEEN INSTALLED IN COMPLIANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPLETION TESTS, AS WELL AS A SOIL INSPECTION OF THE LIMITS OF FILL, LOCATIONS OF ALL REMOVED TESTS, OUTLET AND ELEVATIONS OF ALL REMOVED BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINAGE AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- A COPY OF THIS GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE COMPLETED TO THE HOURS OF 7:30 AM TO 7:30 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

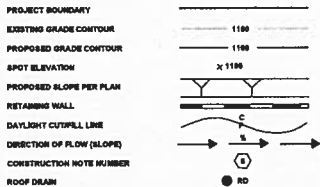
INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

ABBREVIATIONS

- | | |
|------------------------|----------------------------|
| AC - ASPHALT CONCRETE | NO - NATURAL GROUND |
| BF - BOTTOM OF FOOTING | HTS - HOT TO SCALE |
| CB - CATCH BASIN | PL - PROPERTY LINE |
| CF - CURB FACE | POB - POINT OF BEGINNING |
| C - CENTERLINE | SDRM - STORM DRAIN MANHOLE |
| CO - CHAIN LINK FENCE | SRM - SEWER MANHOLE |
| DA - DEBRIS BASIN | SB - SANITARY SEWER |
| DL - DAYLIGHT | TS - TOP OF SEWER |
| ED - EDGE OF CUTTING | TC - TOP OF CURB |
| EP - EDGE OF PAVEMENT | TP - TOP OF FOOTING |
| FP - FINISHED FLOOR | TT - TOP OF GRADE |
| FG - FINISHED GRADE | TW - TOP OF WALL |
| FI - FIRE HYDRANT | TYP - TYPICAL |
| FL - FLOWLINE | WM - WATER METER |
| FB - FRESH SURFACE | WV - WATER VALVE |
| HC RSP - HANDICAP RAMP | |
| HP - HIGH POINT | |
| HW - HWY | |

LEGEND AND SYMBOLS



PUBLIC UTILITIES / SERVICES

- WATER: LAS VIRGENES MUNICIPAL WATER DISTRICT
4222 LAS VIRGENES ROAD
CALABASAS, CA 91302
(818) 896-4110
- ELECTRICAL: SOUTHERN CALIFORNIA Edison
2889 FOOTBALL DRIVE
THOUSAND OAKS, CA 91321
(805) 484-7918
- TELEPHONE: SBC (PAC BELL)
1821 RAYMER STREET, #118
VAN NUYS, CA 91406
(818) 373-8889
- GAZ: SOUTHERN CALIFORNIA GAS
8406 OAKDALE AVENUE
CHATEWORTH, CA 91313
(818) 793-4238
- SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1808 S. FREMONT AVENUE, BLDG 89 EAST
ALHAMBRA, CA 91803
(626) 350-3328
- CABLE: ADDELPHIA
2323 TELLER ROAD
NEWBURGH PARK, CA 91320
(805) 378-6513
- CABLE: CHARTER COMMUNICATIONS
3808 CROSSCREEK ROAD
MALLARD, CA 90088
(310) 464-0618
- CALTRANS: CALTRANS
8989 REDBIRD BOULEVARD
TAYLOR, CA 91788
(909) 398-1438



STORMWATER POLLUTION NOTES

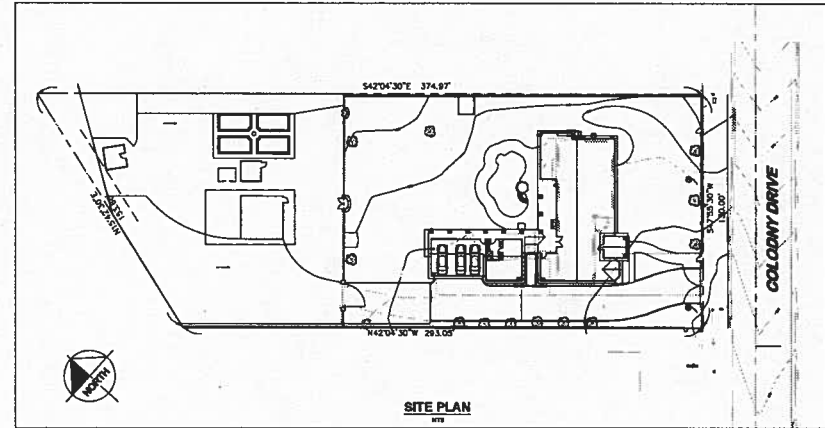
- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE BORROWED AND ADAPTED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF GERMITS POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DETECT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER RESIDS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 647-7339, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."

LEGAL DESCRIPTION

LOT 34 IN BLOCK 5 OF TRACT NO. 8451, M.S. 194-7066



BASIS OF BEARING:

THE BEARING R 47°34'34" IN THE WESTERLY LINE OF COLONY DRIVE AS SHOWN ON THE MAP OF TRACT NO. 8451, M.S. 194-7066, PAGES 79 THROUGH 86, INCLUSIVE, OF MAPS, RECORDS OF THE COUNTY OF LOS ANGELES WAS TAKEN AS THE BASIS OF BEARINGS OF THE MAP.

INDEX OF DRAWINGS

| SHEET NO. | DESCRIPTION |
|-----------|-------------|
| | |
| | |
| | |

ESTIMATED EARTHWORK QUANTITIES

| | | | |
|----------------------------|--------|-------------------|--------|
| ESTIMATED CUT: | ___ M | ESTIMATED EXPORT: | ___ CY |
| ESTIMATED FILL: | ___ M | ESTIMATED IMPORT: | ___ CY |
| ESTIMATED OVER-EXCAVATION: | ___ CY | | |

BENCHMARK:

DESCRIPTION: BM NO. 1489
ELEVATION: 112.78 FEET
SURVEY DATE: 02/28/93
LAT 19 CTN OF CONC HOME @ NE CORNER
CHESBRO DR & PALM CORDADO CVN RD 1183M
(147) E & 98 (07) ADJ CL INT

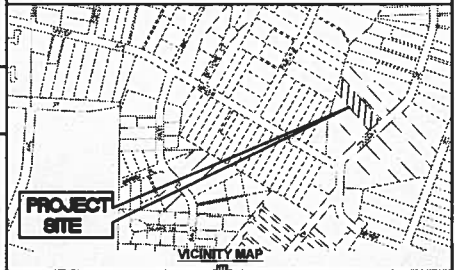
RECORD DRAWING STATEMENT

I, _____, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK OF SHEET NO. _____ THROUGH _____ HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

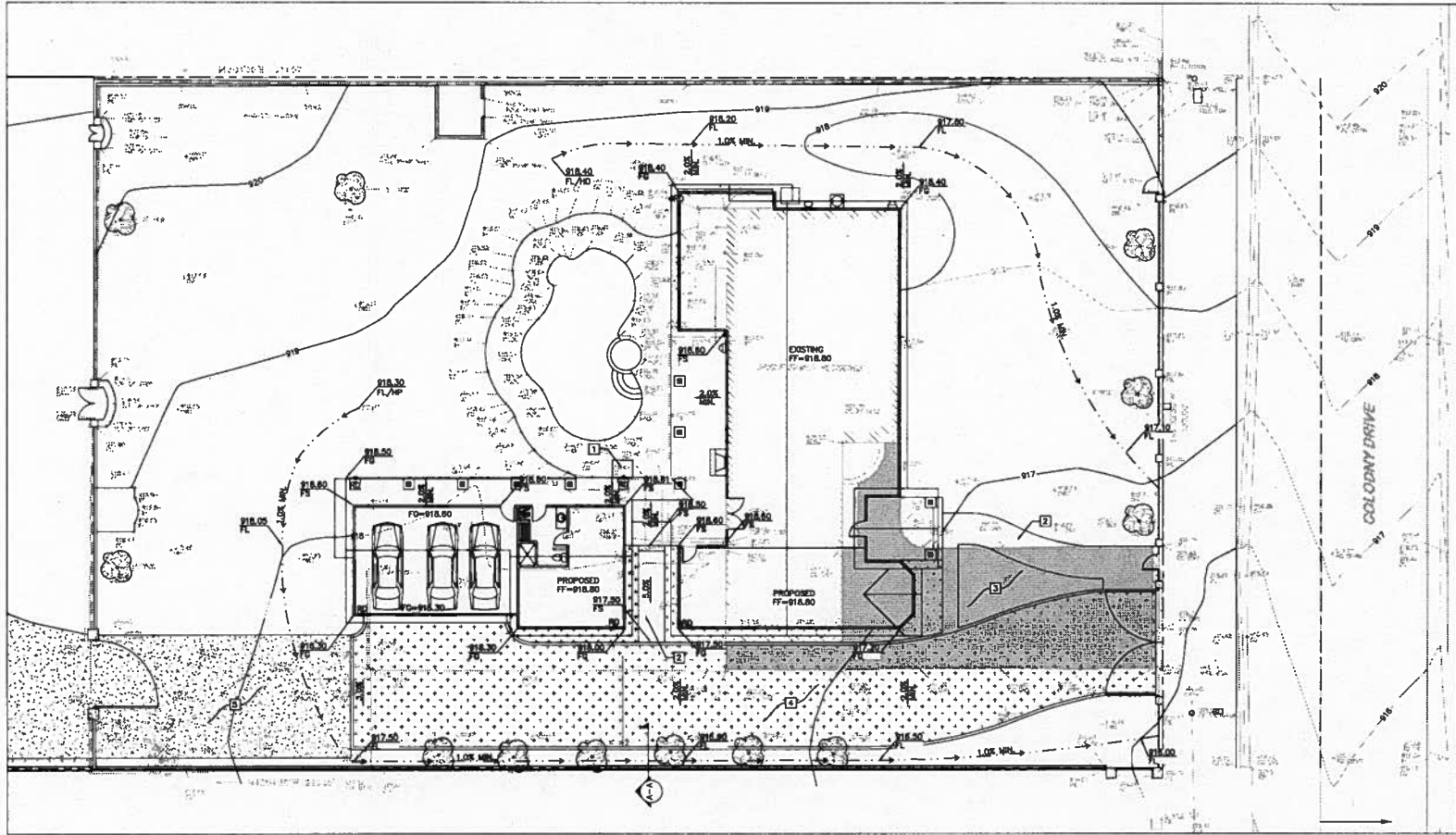
REGISTERED CIVIL ENGINEER DATE RCR NO. EXP. DATE

OWNER
NAME: JESSICA BRADLEY
ADDRESS: 6417 COLONY DRIVE, AGOURA HILLS, CA 91301
TELEPHONE: 818-234-2229

CIVIL ENGINEER
NAME: KIMLEY-HORN AND ASSOC.
ADDRESS: 8800 OWENSBOUTH AVENUE, SUITE 416, CANOGA PARK, CA 91303
REPRESENTATIVE: JOHN VALASSIS
TELEPHONE: 818-227-0796

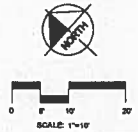
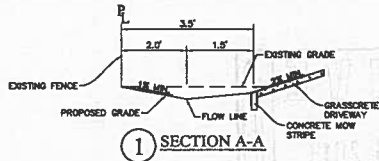


| | | | | | | | | | | | | | | | | | | |
|------------|--------|-----------------------|----------|------|--------------|-------------------------------|--|------------------|------|--------------|------|-------------------------------|------|-----------------|--------------------|--------------|-------------|--------------|
| REVISION # | BY/MDL | DESCRIPTION OF CHANGE | APPROVED | DATE | PREPARED BY: | CITY OF AGOURA HILLS APPROVAL | | PROJECT ENGINEER | DATE | REVIEWED BY: | DATE | RAMIRO ADEVA CITY ENGINEER | DATE | 6885 RCR NO. | 9/20/4 EXP DATE | AGOURA HILLS | COVER SHEET | SHEET 1 OF 3 |
|------------|--------|-----------------------|----------|------|--------------|-------------------------------|--|------------------|------|--------------|------|-------------------------------|------|-----------------|--------------------|--------------|-------------|--------------|



LEGEND:

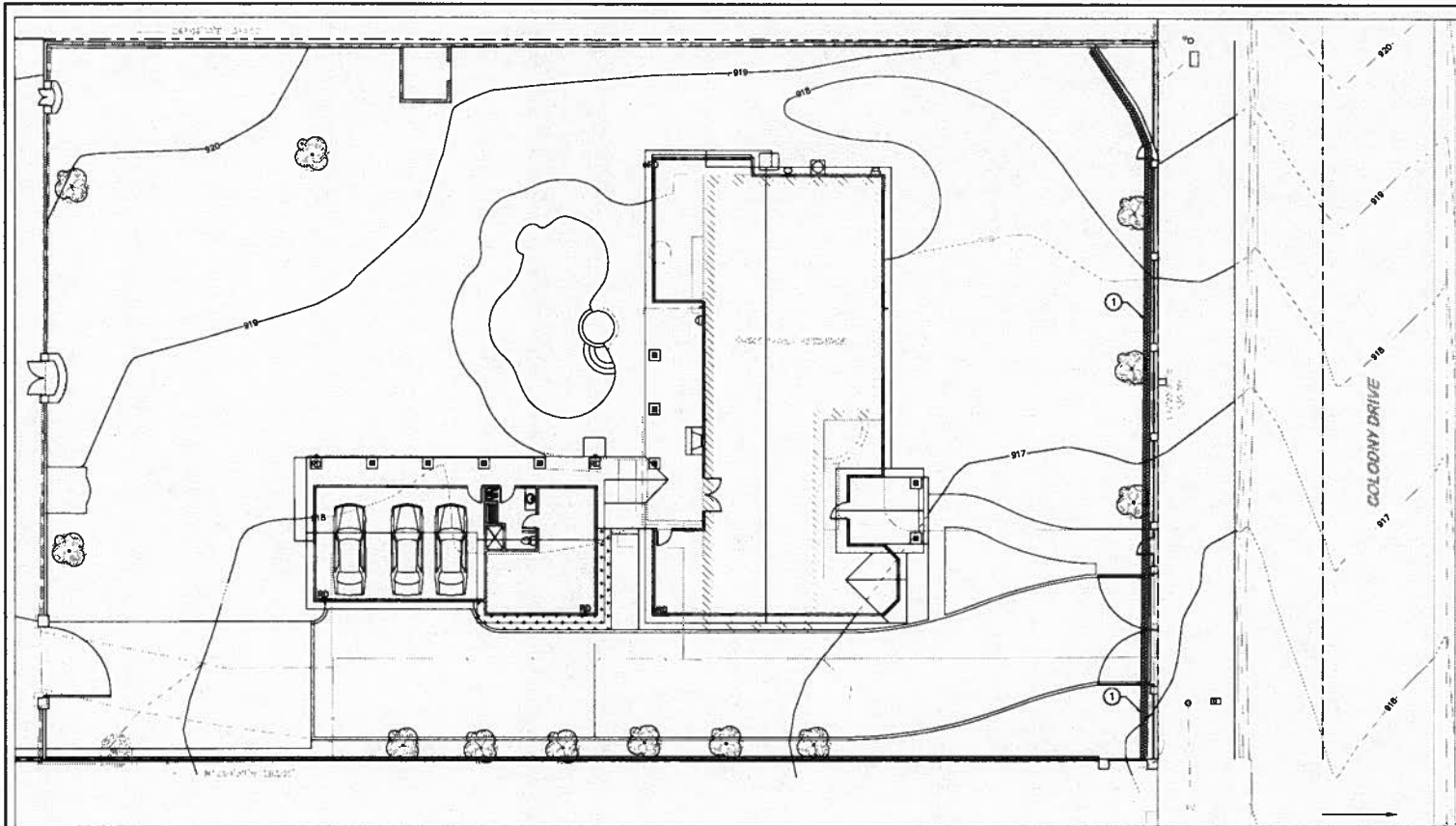
- 1 FREESTANDING PLANTER BOX TO BE PROVIDED AT ROOF DOWNSPOUT
- 2 CONCRETE WALKWAY
- 3 EXISTING CONCRETE DRIVEWAY TO BE REMOVED
- 4 PROPOSED PERVIOUS GRASSCRETE DRIVEWAY OR EQUIVALENT
- 5 EXISTING GRAVEL




| | | | | | | | | | | | |
|------------|--------|-----------------------|----------|------------------|------|-------------------------------|------|-------------------------------|------|------------------|--------------------|
| | | | | PREPARED BY: | | CITY OF AGOURA HILLS APPROVAL | | | | | |
| | | | | PROJECT ENGINEER | DATE | REVIEWED BY | DATE | RAMIRO ADEVA CITY ENGINEER | DATE | 68885 RCE NO. | 930014 EXP DATE |
| REVISION # | SYMBOL | DESCRIPTION OF CHANGE | APPROVED | DATE | | | | | | | |



GRADING PLAN

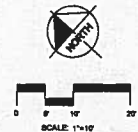
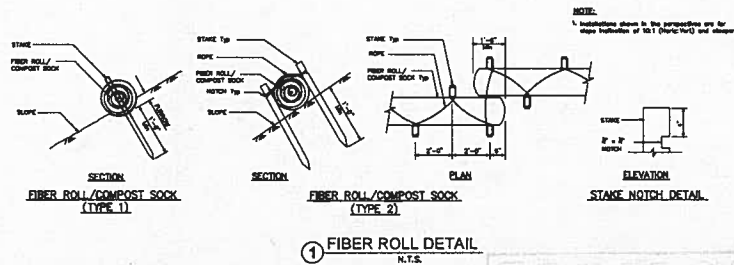


LEGEND:

 FIBER ROLL/
COMPOST SOCK

KEY NOTES:

- ① INSTALL FIBER ROLL/COMPOST SOCK PER DETAIL 1 HEREON.



| REVISION # | SYMBOL | DESCRIPTION OF CHANGE | APPROVED | DATE | PREPARED BY: | CITY OF AGOURA HILLS APPROVAL | DATE | DATE | DATE | DATE | DATE | DATE | DATE | DATE | DATE | DATE | DATE | DATE |
|------------|--------|-----------------------|----------|------|--------------|-------------------------------|------|------|------|------|------|------|------|------|------|------|------|------|
| | | | | | | | | | | | | | | | | | | |



EROSION CONTROL PLAN
SHEET 3 OF 3

EXHIBIT F



Front of House



Front of House

5427 Colindru Drive



Rear yard looking toward house



Rear yard looking toward rear yard.

5427 Colodny Drive



Looking toward south Property Line



Looking toward north property line

5427 Colodny Drive

EXHIBIT G



