



**DEPARTMENT OF PLANNING AND
COMMUNITY DEVELOPMENT**

ACTION DATE: May 2, 2013

TO: Planning Commission

APPLICANT: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

CASE NOS.: 13-VAR-002; 13-CUP-002; and 13-OTP-005

LOCATION: 29900 Ladyface Court (APN 2061-005-915)

REQUEST: Request for the Planning Commission to approve a Conditional Use Permit to renovate and add 12,978 square feet to a former temple and associated school facility for use as the City of Agoura Hills Recreation Center, a Variance from Zoning Ordinance Section 9606.2.D to construct a 10-foot high retaining wall, and an Oak Tree Permit to encroach within the protected zone of three (3) oak trees for the proposed construction; and to adopt a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program.

**ENVIRONMENTAL
ANALYSIS:** Mitigated Negative Declaration

RECOMMENDATION: Staff recommends that the Planning Commission adopt the draft resolutions prepared by staff to adopt the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program prepared for the project; and approve Variance Case No. 13-VAR-002; Conditional Use Permit Case No. 13-CUP-002; and Oak Tree Permit Case No. 13-OTP-005.

ZONING DESIGNATION: PD (Planned Development – Ladyface Mountain Specific Plan)

**GENERAL PLAN
DESIGNATION:** PD (Planned Development District)

I. BACKGROUND AND PROJECT DESCRIPTION

In 1998, Temple Beth Haverim obtained approval of a Conditional Use Permit and subsequently constructed their Temple facility on a 5.29 acre parcel at 29900 Ladyface Court. The hillside lot is located in the Ladyface Mountain Specific Plan area, within the Planned Development zone. Temple Beth Haverim occupied a 12,325 square foot administration/classroom/multi-use building, and 3,740 square foot pre-fabricated, one-story classroom building. Since that time, a number of modifications were approved for the site, including additional square footage, extension for construction, temporary buildings (including a 3,580 square foot, pre-fabricated temporary tent structure used for the sanctuary), a building height variance that was not implemented, and a Specific Plan amendment and Conditional Use Permit that allowed Conejo Jewish Day School to operate as a secondary use on the property. The temporary sanctuary structure was subsequently removed from the property.

With the ground lease set to expire in 2014 on the existing City Recreation Center on Thousand Oaks Boulevard, the City Council, in November of 2007, authorized a site feasibility study for a new City Recreation Center. During the feasibility study and through a community workshop, residents emphasized the need for senior, teens and cultural arts services and suggested the City purchase an existing building that would provide the necessary facility to house all of the components of the Recreation Center. The City Council took these recommendations and purchased the former Temple Beth Haverim site in June of 2011. The City Council found this particular property's location to serve as an excellent opportunity for the City. Its development would complete the creation of a true Civic Center, comprised of the Agoura Hills City Hall, Library and the new Recreation Center. However, rehabilitation of the property is necessary as it is not in "move in" condition.

The architectural firm of Roesling Nakamura Terada Architects (RNT) was retained to provide architectural and design services for the new Recreation Center. A series of community workshops and design camps were held in October of 2011 to assist in providing a master plan that assessed the needs and desires of various community user groups. A two-day design camp at the new site was held in November of 2011, which allowed community members a chance to walk the facility and offer input directly to the design team. After careful consideration of community and staff input, RNT prepared three schematic master plan designs that were presented to the City Council in February of 2012. The City Council viewed the plans and provided feedback on a preferred schematic design and provided direction on the general layout of the facility, and insured that the public comments had been incorporated.

In October of 2012, the City Council viewed the selected master design plan that included more defined details of the buildings and materials to be used, as well as the landscape and elevation views and outdoor features. The City Council accepted the master plan layout and gave direction to the design team to prepare the final design plans. The plans presented to the Planning Commission at this time reflect the direction provided by the City Council. In addition, the City Council Community Services Committee reviewed the master plan design and recommended approval.

The proposed project includes new building construction and adaptive re-use of the existing site facilities for the City's Recreation Center, which would serve as the community center for the City. The Recreation Center would house classrooms, meeting rooms, a community dining room, large multi-purpose rooms, and Recreation Center administrative offices. Recreation/community centers are an allowed use with the Ladyface Mountain Specific Plan area. However, construction within the Specific Plan area requires approval of a Conditional Use Permit.

The Recreation Center would consist of a building complex of 25,330 square feet to be phased. In total, 4,219 square feet of existing buildings would be demolished. These consist of the prefabricated buildings and accessory buildings and rooms on the fringes of the main structure. The project includes the interior and exterior renovation of 12,081 square feet of buildings. The exterior renovations include building resurfacing, fenestration and roofing. Portions of the existing building would remain as is – 2,916 square feet – in Phase I/II. In Phase III, 1,925 square feet would be demolished (the second of the two pre-fabricated buildings). Therefore, ultimately, only 271 square feet would remain as is; this area consists of a small utility building at the northern edge of the site. The new building heights would range from 18.5 feet to 33 feet. Portions of the existing building are 35 feet in height.

The project would be phased as follows:

Phase I/II

Building	
Demolish:	2,294
Existing to renovate:	12,081
Existing to remain w/o renovation:	2,196
New:	8,701
<i>Total</i>	22,978

Phase III

Building	
Demolish:	1,925
New:	4,277
<i>Total</i>	2,352

The construction of Phase I/II is expected to begin in the latter part of 2013 and take one year to complete. Phase III will commence as funding becomes available, estimated to occur in the next five years.

II. STAFF ANALYSIS

A. Site Plan

The property is accessed from Ladyface Court by a steep driveway on the west side of the building complex, at the terminus of the street cul-de-sac. Given the elevation of the property at approximately 970 feet, with nearby Agoura Road at 885 feet, the site is visible from many vantage points in the city. Directly north of the site is Ladyface Court, beyond which is the Agoura Hills Civic Center complex (City Hall and the Agoura Hills Library). To the south and east are open space areas of the Santa Monica Mountains. Further to the east, beyond the open space, is the Gateway Foursquare Church facility. To the west of the site is the Joni and Friends office building.

The proposed site plan utilizes the existing building pad areas. The driveway accessed from Ladyface Court will be realigned and allow for additional parking spaces on the west end of the parking lot. The easterly parking lot will be re-graded and re-surfaced.

When the project design team solicited input on the design of the project, the public asked for functional and flexible spaces that can be used by different users groups. The public also expressed a strong desire for the City to utilize the outdoor components of the facility and to take advantage of the views of Ladyface Mountain and surrounding areas to the north, east and west. The design of the outdoor activity areas considers the best viewpoints while providing functional outdoor recreational space. Several active components include a play area that features a slide built within a small hillside, unique components such as rock and wood stumps that allow for visitors to interact with features that are normally off limits and not functional, and an outdoor living area that serves as an inviting small to medium sized gathering area for the public. One of the features that is unique to this master plan is the separation of outdoor activities through the use of natural elements, which allow the area to look open and natural, but still allows for function and some division between multiple uses that will occur at the same time. The project also consists of the construction of outdoor decks, a courtyard, a pathway loop along the perimeter of the building complex, which leads to a possible future trailhead at the western end of the property, and landscaping and themed garden "rooms" at the northern portion of the site and adjacent buildings. The various outdoor areas are designed as flexible spaces for performances, classes, artwork displays, and other gatherings.

B. Architectural Review

The site is situated at the base of Ladyface Mountain, which dominates the landscape in the City and is visible from many vantage points in the City, including this site. The phased development would demolish some of the structures, which have deteriorated to some extent, and add other structures, with the height of the new buildings being no greater than 35 feet, which is the height of the existing on-site building and adjacent office buildings to the west of this lot. The design and quality of the proposed buildings and landscaped courtyard are intended to improve the existing conditions of the site. The building design and materials would be consistent with other structures within the Ladyface Mountain Specific Plan area, particularly with the City Civic Center located to the north of the site, and compatible with the guidelines of the Specific Plan.

As noted in the project description, the exterior renovations include building resurfacing, fenestration and roofing. The proposed architectural features and materials will utilize the existing building design and framework and include pitched and overhang roofs, rafter tails, trellises, fiber cement siding and shingles, and stone veneer. Exterior building colors include subdued, earthtone colors that include a green metal roof and brown and tan paint colors. An extensive use of glass windows is proposed to take advantage of the views to the north and on-site courtyards, and provide an indoor/outdoor feel to the facility.

Currently at the site, there are driveway and parking lot light fixtures, and other lighting in the vicinity of the buildings. The proposed project would not add substantially to the existing lighting onsite. New lighting would be for landscape purposes and, in select areas, building wall lighting for ambience. The new lighting would incorporate energy-efficient LED heads and a lighting control system with motion sensors and would be designed to minimize light overspill and glare onto areas adjacent to the site. The building materials would not include those considered to be reflective or that would otherwise be a source of glare and the proposed louvers on the windows of the building facades would provide shading elements, as well as minimize the reflective potential. In order to ensure that exterior lighting is sensitive to the natural character of the surrounding area and that illumination levels do not exceed one (1) footcandle at property lines, a lighting plan and photometric analysis will be subject to approval by the Director of Planning and Community Development prior to issuance of a grading or building permit.

No signage is proposed for this project at this time. When proposed, staff recommends the signage be subject to approval by the Director of Planning and Community Development.

C. Grading and Retaining Wall Variance

Initial rough grading of the parcel was performed in 1985 and 1986 during grading of the surrounding tract, to construct a level pad for future construction along with the north facing slope of Ladyface Court. The graded area on the parcel was later enlarged for the temple by the construction of retaining walls along the southern and northern sides for the building pad. The

northern most walls are Keystone block walls. The remaining retaining walls are of conventional split-face concrete masonry block construction.

Most of the site will be redeveloped without significant grading or changes to the building pad. Also, no new slopes are planned except as needed for the driveway improvements. However, the parking areas and drive within the eastern portion of the site will be reconfigured. A new retaining wall is planned at the northern end of the eastern parking area. Also, the driveway off Ladyface Court will be reconfigured to reduce the curvature of the upper portion of the driveway. Two new retaining walls of 10 feet in height and 4 feet in height are planned for the new configuration. The building area will remain in its present configuration. The existing retaining walls outside of the reconfigured areas are in good condition and will remain as constructed. The buildings will be remodeled and enlarged during the various phases of development. The existing structure is supported on a conventional foundation system, which may also be used for the proposed construction.

The proposed 10-foot high retaining wall located on the south side of the driveway, requires approval of a variance since it exceeds 6-feet in height. Staff supports the request, finding that the existing driveway serving the site is of a steep gradient that is difficult for motorist and pedestrians to access. The single retaining wall in excess of six feet in height is necessary to realign the driveway to allow a decreased gradient that connects with Ladyface Court and the existing parking lot at the top of the driveway. The proposed retaining wall allows for the development of the property in a manner that promotes the on-site preservation of oak trees and has been designed, and will be constructed, in conformance with the City's Building Code standards. Conformance with the City standards will ensure the variance for the retaining wall in excess of six feet is not a hazard to public health, safety and welfare. From an aesthetic perspective, the retaining wall will consist of a decorative, split-face material, and will be partially screened with landscaping so as to blend with the setting and maintain the aesthetic value of the site. Although the Ladyface Mountain Specific Plan calls for retaining walls in excess of six feet in height to have a soil-nail (sculptured rock) design, for compatibility staff recommends that this wall match the other split-face cement block material that currently exists along the driveway and in the parking lot areas of the site.

Specific findings for approval of the variance request are included in the attached Draft Resolution.

D. Oak Trees and Landscaping

Existing landscaping, on the hillside perimeter of the construction pad area, consists primarily of California Buckwheat Scrub species along the southern boundary of the parking lot, and Scrub Oak Chaparral in the southwest corner of the property. The majority of the construction pad area currently includes ruderal herbaceous species such as slender wild oats and bromes, and ornamental species such as cypress trees and shrubs, as well as sycamore, oak and eucalyptus

trees. The proposed landscape plan calls for extensive replacement of native and ornamental landscaping throughout the building pad areas and parking lot, highlighted with tree species including coast live oak, valley oak, white alder, black walnut, elderberry, sycamore and cottonwood species, and accented with shrubs and perennials and grasses.

The property contains a number of coast live oak trees (*Quercus agrifolia*) and scrub oak (*Q. berberidifolia*) habitat at the periphery of the property. There will be no encroachment within the protected zones of the majority of the oak trees due to the distance of the work from the trees or to elevation differences and retaining walls between the trees and the proposed work. Where work is to occur adjacent to the trees, protective fencing can be installed to prevent work from inadvertently spilling over into the protected zones. Three (3) of the coast live oak trees would experience encroachment within their protected zones, but the City Oak Tree Consultant determined that if the trees are fenced at the limits of work and the work is performed carefully the trees should not sustain any significant damage.

There are two (2) young coast live oak trees located above the retaining walls south of the property and one (1) below the retaining wall at the westerly end of the parking lot. Neither of these trees is within the immediate vicinity of the work. In addition there is one (1) young coast live oak tree located below the retaining wall north of the fire lane on the northerly side of the property. The fire lane will be repaved and the retaining walls will remain in place. Due to the difference in elevation of the oak tree and the existing retaining walls we conclude this work can be accomplished as proposed with no direct impacts to the subject oak trees, as long as typical preservation protocols are implemented.

Scrub oak habitat is located immediately east of the easterly end of the existing parking lot. This section of the parking lot will be reconfigured and repaved to correct drainage flow. As a part of the reconfiguration a new three-foot high retaining wall and new curb and gutter will be constructed approximately five feet (5') to fifteen feet (15') west of the existing retaining wall which will remain. Several existing parking spaces at the easterly end of the main drive aisle will be demolished and the area re-graded. However due to the distance of the scrub oak habitat from the edge of the parking lot we conclude this work can be accomplished as proposed with no direct impacts to the scrub oak habitat, as long as typical preservation protocols are implemented.

Five (5) young coast live oak trees are located near the northwest corner of the site along the existing driveway. Three (3) of these trees are located north of the driveway and two (2) south of the driveway. This driveway will be realigned to meet the parking lot approximately ninety (90) feet east of its current location. The protected zones of three (3) of these five coast live oaks are within the proposed limits of work for demolition of an existing wall and construction of the new retaining wall, curb and gutter for the realigned driveway. These three trees will experience some degree of impact during demolition and construction. Protected zones of the two (2) remaining oak trees will not experience encroachment and the City Oak Tree Consultant

concludes this work can be accomplished as proposed with no direct impacts to these two (2) oak trees, as long as typical preservation protocols are implemented.

The three impacted coast live oak trees are assessed as follows:

Tree Number 55: This tree is located south of the existing driveway. Its trunk is located nine feet (9') from the existing concrete masonry unit retaining wall. The grading plan indicates that demolition of the existing retaining wall and construction of the new retaining wall would impact approximately fourteen percent (14%) of its protected root zone. All of this work would occur outside the dripline of the tree. Given the distance of the proposed demolition and construction from its trunk, if this work is performed carefully it can be accomplished without causing removal or long term significant damage to the tree.

Tree Number 56: This tree is also located south of the existing driveway. Its trunk is located ten feet (10') from the beginning of the existing concrete masonry unit retaining wall that will be demolished to accomplish realignment of the driveway. The grading plan indicates that demolition would impact approximately five percent (5%) of the protected root zone of this tree. All of the demolition would occur outside the dripline of the tree. Given the distance of the proposed demolition from its trunk, this tree could recover from any potential root disturbance and could safely remain in place as long as the work is performed carefully.

Tree Number 57: This tree is located north of the existing driveway. Its trunk is located nine feet (9') from the existing curb and gutter that will be demolished and replaced by a new curb and gutter to accomplish realignment of the driveway. The grading plan indicates that demolition and construction would impact approximately seven percent (7%) of the protected root zone of this tree, all of which would occur outside its dripline. Given the distance of the proposed demolition from its trunk, if this work is performed carefully it can be accomplished without causing removal or long term significant damage to the tree.

E. Traffic and Parking

The traffic trip generation for the proposed project was estimated using trip generation rates from the Institute of Transportation Engineers' *Trip Generation, 9th Edition (2012)*. The project's anticipated number of vehicle trips was generated using ITE Land Use Code 495 – Recreational Community Center (suburban). Using this trip generation factor, the City Traffic Engineer determined the proposed project would generate 857 daily vehicle trips, including 52 weekday AM peak hour trips and 69 weekday PM peak hour trips, as shown in the following table:

Trip Generation for Proposed Recreation Center

Trip Generation	Land-Use	Units	Project Generated Trips						
			Total Daily Trips	AM Peak			PM Peak		
				In	Out	Total	In	Out	Total
ITE	495 (Recreational Community Center)*	25,330 SF	857	34	18	52	34	35	69
TOTAL NET TRIPS GENERATED*			857	34	18	52	34	35	69

Source: Kimley-Horn and Associates, Inc. (November 2012)
* ITE Trip Generation Manual 9th Ed., 2012

Three intersections were studied to determine potential traffic impacts from this project. These include Agoura Road at Reyes Adobe Road, Agoura Road at Ladyface Court, and Agoura Road at Kanan Road. Under existing conditions, assuming the project is constructed now, the project would not exceed significant thresholds, and the Level of Service (LOS) would be either A or B. Agoura Road is proposed to be widened to four lanes, with corresponding interim improvements to the Agoura Road/Kanan Road intersection. The project is currently under design and, if approved, is expected to be constructed and operational by mid-2014. Traffic impacts for cumulative projects in the area were also analyzed, along with this proposed project. The cumulative projects would not result in significant impacts. With interim improvements assumed, LOS A would result at all three intersections. Without interim improvements accounted for, the cumulative projects would result in a LOS A or B in most instances, but a LOS C for the Agoura Road/Kanan Road intersection. An intersection of LOS C is considered acceptable in the City.

The proposed project would provide access to the site via the existing driveway at the end of the Ladyface Court cul-de-sac. The driveway would be re-aligned toward the top of the slope, near the westernmost portion of the parking lot, to decrease the road incline and create greater accessibility. The existing 120-space surface parking lot would be repaved and restriped, with the eastern end re-graded to improve surface drainage. With this change, the parking lot would support 114 parking spaces. The City Traffic Engineer assumed a project parking demand based on the Institute of Transportation Engineers (ITE) land use code for "Recreation Community Center (suburban). For this category, the peak average parking rate is 3.83 spaces per 1,000 square feet of building area. Using this ratio, 97 on-site parking spaces would be required. The project would exceed this requirement by providing a surplus of 17 parking spaces, for a total of 114.

The only street improvements required by the Public Works/Engineering Department for this project include the striping and possible raised median at the Ladyface Court cul-de-sac to ensure safe traffic flow.

F. Environmental Review

An Initial Study was prepared by City staff in accordance with the requirements of the California Environmental Quality Act (CEQA) to analyze the potential environmental consequences of the proposed project. The purposes of an Initial Study are:

- A. To provide the Lead Agency (City of Agoura Hills) with the necessary information to decide whether to prepare an Environmental Impact Report (EIR) or a Mitigated Negative Declaration;
- B. To enable the Lead Agency to modify a project, mitigating adverse impacts thus avoiding the need to prepare an EIR;
- C. To provide sufficient technical analysis of the environmental effects of a project to permit a judgment based on the record as a whole, that the environmental effects of a project have been adequately mitigated.

In the case of the proposed City Recreation Center project, it was found that the project would not result in any significant effects on the environment that cannot be mitigated to less than significant levels and therefore, a Draft Mitigated Negative Declaration (MND) was prepared for review and adoption by the Planning Commission.

Staff found that impacts to aesthetics, biological resources, cultural resources, geology and soils, and noise were potentially significant, but staff also found that these impacts could be lessened to a level of insignificance through incorporation of the proposed mitigation measures.

Overall, with the incorporation of the mitigation measures, staff found that the project would not result in any effects on the environment that could not be mitigated to less than significant levels. The Draft MND was circulated for a 31-day review period, which began on March 15, 2013, and ended on April 15, 2013. The Final MND is attached. Responses to eight (8) comment letters received regarding the Draft MND are also included in the Final MND. Staff recommends that the Planning Commission adopt the Mitigated Negative Declaration and Mitigation Monitoring Program, finding it to comply with the requirements of CEQA.

III. RECOMMENDATION

Based on our analysis of the project and the project's compliance with the development standards of the proposed land use designation, staff recommends that the Planning Commission adopt the draft resolutions prepared by staff to adopt the Final Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, and approve Variance Case No. 13-VAR-002; Conditional Use Permit Case No. 13-CUP-002; and Oak Tree Permit Case No. 13-OTP-005, subject to conditions.

IV. ATTACHMENTS

- Exhibit A:** Variance and MND/Mitigation Monitoring and Reporting Program Draft Resolution and Conditions
- Exhibit B:** Conditional Use Permit Draft Resolution and Conditions
- Exhibit C:** Oak Tree Permit Draft Resolution and Conditions
- Exhibit D:** Vicinity Map
- Exhibit E:** Reduced Copy of Project Renderings

Case Planner: Doug Hooper, Assistant Director of Community Development

EXHIBIT A

DRAFT RESOLUTION NO. 13-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS ADOPTING A MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING AND REPORTING PROGRAM, AND APPROVING VARIANCE CASE NO. 13-VAR-002 TO ALLOW FOR THE CONSTRUCTION OF RETAINING WALLS IN EXCESS OF SIX FEET IN HEIGHT AT THE NEW RECREATION CENTER TO BE DEVELOPED AT 29900 LADYFACE COURT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by the City of Agoura Hills, with respect to the real property located at 29900 Ladyface Court (A.P.N. 2061-005-915), requesting approval of a Variance from Zoning Ordinance Section 9606.2(D) to construct retaining walls in excess of 6 feet in height for the renovation of a former temple and school facility and construction for use as a recreation center (the "Project"). A public hearing to consider Case No. 13-VAR-002 was duly held on May 2, 2013, at 6:30 p.m. in the City Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place, and purpose of the aforesaid hearing was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9676.2.E of the Agoura Hills Municipal Code, that:

- A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. The existing driveway serving the site is of a steep gradient that is difficult for motorists and pedestrians to access. Due to the topography of the site, a single retaining wall in excess of six feet in height is necessary to realign the driveway to allow a decreased gradient that connects with Ladyface Court and the existing parking lot at the top of the driveway.
- B. The granting of the Variance, as conditioned, will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and in the zone in which the subject property is situated. The proposed retaining wall is required for slope stabilization and driveway realignment in light of the property's topography. The retaining wall allows the site to be developed in a manner that is accessible to both pedestrians and vehicles. In addition, the proposed retaining wall allows for the development of the property in a manner that promotes the on-site preservation of oak trees. Thus, granting the variance

and thereby authorizing the construction of a higher retaining wall does not provide this site with any special privileges inconsistent with the limitations upon other properties in the area.

- C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The incorporation of the retaining wall in excess of six feet into the grading plan is a practical solution that contributes to the ease of on-site vehicular and pedestrian access from the street to the parking lot and buildings. Removal or reduction in the size of the wall would result in an expansion of cut and fill slopes, which would result in additional impacts to oak trees and an increase in the number of required retaining walls.
- D. The granting of the Variance, as conditioned, will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity. The proposed retaining wall in excess of six feet in height has been designed and will be constructed in conformance with the City's Building Code standards. Conformance with the City standards will ensure that the variance for the retaining wall in excess of six feet is not a hazard to public health, safety and welfare. From an aesthetic perspective, the retaining wall in excess of six feet will consist of a decorative, split-face material, and will be partially screened with landscaping so as to blend with the setting and maintain the aesthetic value of the site. Thus, the granting of the Variance will not be detrimental to the public health, safety or welfare, nor will it injure neighboring properties or improvements.
- E. The granting of the Variance, as conditioned, will be consistent with the character of the surrounding area. The retaining wall in excess of six feet will allow for a decreased gradient in the driveway serving the property and will alleviate the need for more cut and fill slopes. Additionally, the retaining wall will incorporate a decorative material to fit in with the surrounding area.

Section 4. The Project has been environmentally reviewed pursuant to the California Environmental Quality Act ("CEQA"), the State CEQA Guidelines (California Code of Regulations, Title 14, Section 15000 et seq.), and the City's local CEQA guidelines. Pursuant to CEQA and the City's local CEQA Guidelines, City staff prepared an Initial Study of the potential environmental effects of the approval of the proposed Project. The Initial Study indicated that the Project would not result in or create significant adverse environmental impacts to any environmental categories, except that the Initial Study identified potentially significant impacts to Aesthetics, Biological Resources, Geology and Soils, and Noise. Staff determined that all of these potentially significant impacts could be mitigated to a less than significant level with the imposition of mitigation measures. As such, Staff determined that a Mitigated Negative Declaration was the appropriate CEQA document for analyzing and disclosing the proposed Project's potentially significant environmental impacts.

City staff prepared a Mitigated Negative Declaration for the Project and provided public notice of the public comment period and of the intent to adopt the Mitigated Negative Declaration, as required by law. The public comment period commenced on March 14, 2013, and expired on April 15, 2013. Copies of the documents have been available for public review and inspection at the offices of the Department of Planning and Community Development, located at City Hall, 30001 Ladyface Court, Agoura Hills, California, 91301. Eight (8) written comments were received prior to the public hearing and a response to all of the comments made therein was prepared, submitted to the Planning Commission, and incorporated into the administrative record of the proceedings. Those comments and the responses are included as part of the Final Mitigated Negative Declaration.

The Planning Commission has reviewed the Mitigated Negative Declaration and all comments received regarding the Mitigated Negative Declaration prior to and at the May 2, 2013 public hearing, and based on the whole record before it, finds that: (1) the Mitigated Negative Declaration was prepared in compliance with CEQA; (2) there is no substantial evidence that the Project will have a significant effect on the environment; and (3) the Mitigated Negative Declaration reflects the independent judgment and analysis of the Planning Commission.

Exercising its independent judgment and analysis, and based on the entire administrative record before it, the Planning Commission hereby adopts the Mitigated Negative Declaration for the Project, based on the Planning Commission's conclusion that the Project will not result in any significant adverse environmental impacts with the incorporation of the mitigation measures. The Planning Commission also hereby approves and adopts the Mitigation Monitoring and Reporting Program included in the Final Mitigated Negative Declaration, and imposes each mitigation measure as a condition of the Project's approval.

Section 5. Based on the aforementioned findings, the Planning Commission hereby approves Variance Case No. 13-VAR-002, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

Section 6. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his certification to be entered in the Book of Resolutions of the Planning Commission of the City.

Draft Resolution No. 13-____
Page 4

PASSED, APPROVED and ADOPTED this 2nd day of May, 2013, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Michael Justice, Chairperson

ATTEST:

Mike Kamino, Secretary

**CONDITIONS OF APPROVAL
(CASE NO. 13-VAR-002)**

STANDARD CONDITIONS

1. Except as modified herein, the approval of this action is limited to and requires complete conformance to the Grading Plan submitted for Conditional Use Permit Case No. 13-CUP-002.
2. It is hereby declared to be the intent that if any provision of this Permit is held or declared invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
3. This permit is valid for the term of Conditional Use Permit Case No. 13-CUP-002.

SPECIAL CONDITIONS

4. The wall shall be of a decorative material and design as approved by the Director of Planning and Community Development.

END

EXHIBIT B

DRAFT RESOLUTION NO. 13-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS APPROVING CONDITIONAL USE PERMIT NO. 13-CUP-002 FOR THE NEW RECREATION CENTER TO BE DEVELOPED AT 29900 LADYFACE COURT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by the City of Agoura Hills with respect to real property located at 29900 Ladyface Court (Assessor's Parcel No. 2061-005-915), requesting approval of a Conditional Use Permit to renovate a vacant temple and ancillary school facility and add 12,978 square feet for use as the City of Agoura Hills' Recreation Center. A public hearing to consider Case No. 13-CUP-002 and a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program was duly held on May 2, 2013, at 6:30 p.m. in the City Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9673.2.E of the Agoura Hills Municipal Code and Section V.A of the Ladyface Mountain Specific Plan, that:

- A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the zoning district in which the use is located. The property is located in the Ladyface Mountain Specific Plan area. The project provides for a recreation center/community center, which are permitted uses within the Specific Plan.
- B. The proposed use, as conditioned, is compatible with the surrounding properties. The project includes on-site public uses, including administrative office uses, and provides for sufficient on-site parking without impacting neighboring office development or adjacent open space. The Recreation Center is compatible with the other civic uses in the Ladyface Mountain Specific Plan area.
- C. The proposed use, as conditioned, and the condition under which it will be operated and maintained will not be detrimental to the public health, safety, or general welfare. The applicant will be required to construct the project in full compliance with the City Building Code and development standards of the Ladyface Mountain Specific Plan. Additionally, the applicant is responsible for mitigating any potentially significant environmental impacts relating to the project prior to and during construction.

- D. The proposed use, as conditioned and with the approval of the related variance application (13-VAR-002), will comply with each of the applicable provisions of the Zoning Ordinance. The project meets the development standards of the Ladyface Mountain Specific Plan and the Zoning Ordinance relative to required yard areas, building height, lot coverage and landscape coverage.
- E. The distance from other similar and like uses is sufficient to maintain the diversity of the community. The existing, sole City Recreation Center will be relocated to this new facility, as part of this project. The nearest community center serving the City of Agoura Hills is located approximately three miles away from the project site, on Malibu Hills Road in the City of Calabasas.
- F. The proposed use, as conditioned, is consistent with the goals, objectives and policies of the General Plan. The proposed expanded Recreation Center allows the City to provide programs and services that meet Goal CS-2 of the General Plan Infrastructure and Community Service Element, which calls for recreational programs and services that promote personal enrichment, healthy lifestyles, wellness, fun, lifelong learning, skill development, and community relationships.
- G. The proposed use, as conditioned, will not mar the property's unique natural elements and has a positive relationship to the character of Ladyface Mountain. The project will be developed within the existing on-site building pad. Although the building mass will be visible, the project is to include large quantities of native landscaping as a component of the development. This landscaping will provide significant visual screening. This design element combined with the limitation of development below the 1,100 foot elevation, the incorporation of unique exterior architectural elements complimentary to the surrounding environment, conformance with the Ladyface Mountain Specific Plan and the provision of compliant setbacks from Ladyface Court, will reduce the visual impacts as viewed from nearby roadways.
- H. Adequate evidence and guarantees have been provided to indicate that all provisions of the Specific Plan can be satisfied. The applicant has worked closely with staff and the Architectural Review Panel in designing a project within existing development pad areas that are allowed per the Specific Plan. Creative design techniques have been incorporated into the project design that preserve open space areas, allow for fewer retaining walls, provide for public access, and incorporate variation in building heights and natural building materials that are compatible with the natural features of the area.
- I. The proposed building density will not adversely affect the goals, objectives and policies of the General Plan or the Ladyface Mountain Specific Plan. As called for in General Plan Land Use and Community Form Element Policies, the project will preserve view corridors along Ladyface Mountain and be designed within the specifications of the Ladyface

Mountain Specific Plan. The design criteria of the Ladyface Mountain Specific Plan help ensure that all development within the Specific Plan area is compatible with the surrounding natural environment and includes architectural design of the highest quality. Additionally, the project is designed to include extensive landscaping and will emphasize drought-tolerant plant materials. The preservation of open space above the 1,100-foot elevation will assist to maintain open space resources for the purposes of maintaining the visual quality of the City.

- J. The proposed building density will not reduce traffic Level of Service (LOS) to a lower level of service and is offset by increases in roadway capacity or other acceptable mitigation measures. The traffic impact study prepared for the project notes that the development would generate 857 daily vehicle trips to the City's road system. Of these total vehicle trips, 52 trips would occur during the AM peak period and 69 during the PM peak period. Project trip generation during the off-peak hours (primarily between (9:00 AM to 4:00 PM) would be approximately 736 trips, or approximately 105 trips on average per hour.

Three roadway intersections in Agoura Hills were analyzed for potential traffic impacts associated with the project. The project traffic report concludes that volume/capacity (V/C) ratios or delays would range from less than 0.001 to 0.072. All studied intersections would operate at Level of Service (LOS) A or B under project conditions, and LOS C or better under cumulative project conditions. Therefore, all study area intersections would operate under acceptable levels of service according to the City's thresholds.

- K. The proposed building density will not create any potentially significant environmental effects. The Final Mitigated Negative Declaration for this project includes a detailed analysis of the following issues: Aesthetics, Air Quality, Biological Resources, Cultural Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use and Planning, Mineral Resources, Noise, Population and Housing, Public Services, Recreation, Transportation/Traffic, and Utilities and Service Systems. While anticipated environmental impacts are identified within the Mitigated Negative Declaration, all potentially significant impacts can be mitigated to levels of insignificance.
- L. Although a proposed retaining wall exceeding six feet height is necessary for the realignment of the on-site driveway, no manufactured slopes will exceed a ratio of 2:1.
- M. The increased density will not result in the loss of any oak trees. Three oak trees will be encroached upon for the proposed construction, but can be protected through proper mitigation.

- N. Exposed retaining walls will be used only to enhance the design of the project by realigning the on-site driveway for ease of access, and for parking lot improvements. The retaining wall material will match the materials used for existing, on-site retaining walls. The visual appearance of soil-nail walls will not be consistent with existing wall materials.
- O. Grading will be limited and innovative building techniques will be used, such as variation in building heights and using the existing graded pads for new construction and on-site parking.
- P. Landscaping will be provided that exceeds the minimum requirements. The conceptual landscape plan for the project includes the planting of several large native tree specimens in the incorporation of primarily native plant species into the buildable area of the property. Several existing live and valley oak species throughout the property will be preserved and incorporated in the project site plan. The use of native landscaping will help integrate the built environment with the natural environment.
- Q. The proposed project with the proposed building density will comply with the development standards of the Ladyface Mountain Specific Plan and will not extend beyond the boundaries of the existing graded pad areas of the site.

Section 4. The Planning Commission has reviewed the Mitigated Negative Declaration for the Project, and all comments received regarding the Mitigated Negative Declaration prior to and at the May 2, 2013 public hearing, and based on the whole record before it, finds that: (1) the Mitigated Negative Declaration was prepared in compliance with CEQA; (2) there is no substantial evidence that the Project will have a significant effect on the environment; and (3) the Mitigated Negative Declaration reflects the independent judgment and analysis of the Planning Commission.

Section 5. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 13-CUP-002, subject to the attached conditions, with respect to the property described in Section I herein.

Section 6. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his certification to be entered in the Book of Resolutions of the Planning Commission of the City.

Draft Resolution No. 13-____
Page 5

PASSED, APPROVED and ADOPTED this 2nd day of May, 2013, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Michael Justice, Chairperson

Mike Kamino, Secretary

CONDITIONS OF APPROVAL
(Case No. 13-CUP-002)

STANDARD CONDITIONS

1. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved exhibits: Site Plan, Building Elevation Plans, Grading Plans and Landscape Plans. Entitlement applies to Master Site Plan and Grading Plan for Phases I, II, and III.
2. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
3. All requirements of the Ladyface Mountain Specific Plan and Zoning Ordinance and of the specific Zoning of the property must be complied with unless set forth in the Conditional Use Permit.
4. If required, the applicant shall provide road markers opposite the existing or proposed fire hydrants serving the property to the satisfaction of the City Engineer.
5. A minimum of one hundred fourteen (114) parking spaces for all three phases of construction shall be provided on the subject property and handicap parking shall be provided. All parking spaces shall include wheel stops and the spaces shall be of standard size and pinstriped, in conformance with the City Parking Ordinance.
6. The applicant shall comply with all applicable Public Health Statutes, Ordinances and Regulations related to the disposal of sewage.
7. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
8. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
9. The applicant shall provide a paved all-weather access from the parking area to the street, as required by the City Engineer.
10. The applicant shall comply with the requirements of the Las Virgenes Municipal Water District for construction of this project.

LANDSCAPING CONDITIONS

11. The landscape plan shall be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department prior to the issuance of building permits. Specific plant call-outs are required prior to submittal for Fuel Modification review.
12. Plant symbols must be shown at ultimate spread. This will affect the long-term success of the plants. For example, the tree symbols representing *Quercus agrifolia* and *Q. lobata* are shown with a spread of less than twenty feet (20') in diameter. Both of these tree species will eventually attain canopies exceeding a minimum of forty feet (40') in diameter.
13. If space provides, the parking lot tree wells shall be of a sufficient size to accommodate the proposed trees.
14. Palm species are out of character with the Ladyface Mountain Specific Plan and shall be eliminated from the plant palette.
15. The following plants shall be deleted from the plant palette due to their toxicity: *Brugmansia alba*, *Solanum xanti*, and *Thevetia thevetiodes*.

ENGINEERING / PUBLIC WORKS DEPARTMENT CONDITIONS

16. Prior to issuance of grading, building, or encroachment permits, the applicant shall comply with the following conditions of approval:

General

- A. All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
- B. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc. shall be reviewed and approved by the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City website at www.ci.agoura-hills.ca.us.
- C. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB 1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.

Conditions of Approval (Case No. 13-CUP-002)

Page 3

- D. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals, water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering department until this detailed utility information is included on the plans.
- E. Grading Plan shall show locations of all Oak trees within the vicinity of the site. Applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Permit conditions of approval.
- F. The applicant shall submit electronic files (i.e. CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
- G. Submit a soils/geology report to the City project engineer for review and approval in accordance with Government Code Section 66434.5 as required by the City Engineer.
- H. Prior to issuance of permits from the Engineering Department, this project will require a permit from Los Angeles County Flood Control District (LACFCD) if any changes, modifications, or encroachments on LACFCD facilities (i.e. detention basins, appurtenances, etc.) are proposed, and from the Las Virgenes Municipal Water District for water and sewer service activations.
- I. An easement to the City of Agoura Hills will need to be recorded for any portions(s) of the proposed pedestrian trail that encroach on any properties not owned by the City of Agoura Hills.
- J. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. This requirement pertains to any new buildings or building additions.

Public Improvements

- A. The applicant shall design full public improvements in accordance with City Code, specifications, and/or conditional of approval for the area. Such public improvements may include, but not be limited to, the following:

Conditions of Approval (Case No. 13-CUP-002)

Page 4

Improvement Item	LADYFACE COURT
Curb & Gutter	<input type="checkbox"/> New; ___ ft from C/L <input type="checkbox"/> Replace Damaged <input type="checkbox"/> Remove existing & Relocate
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen; ____-add'l ft. along frontage, incl. pavement transitions
PCC Drive Approach	<input type="checkbox"/> New <input type="checkbox"/> Replacement
Sidewalk	<input type="checkbox"/> New <input type="checkbox"/> Replacement
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Replacement
Parkway	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Median	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) <input type="checkbox"/> Hard Landscaping
Street Lights	<input type="checkbox"/> New <input type="checkbox"/> Relocation
Sewer Service	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
All water appurtances are per LVMWD standards	<input type="checkbox"/> Yes
Storm Drain	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Catch Basin – onsite CBs shall be located to allow flows to positively drain across the newly paved surface of the parking lot.
Traffic Signal Facilities	<input type="checkbox"/> New <input type="checkbox"/> Modification <input type="checkbox"/> Relocation
Traffic Signing and Striping	<input checked="" type="checkbox"/> New – Striping and/or some physical raised median may need to

Improvement Item	LADYFACE COURT
	be constructed at the cul-de-sac of Ladyface Court to ensure safe traffic circulation. Appropriate signage as required by the City Engineer shall also be installed. <input type="checkbox"/> Modification
Bus Stop and/or Turn-out (See Sec. 2G)	<input type="checkbox"/> New <input type="checkbox"/> Modification
Underground Overhead Utilities	<input type="checkbox"/> Yes
Equestrian Trail Construct	<input checked="" type="checkbox"/> Trail Only <input type="checkbox"/> Trail & Fence
Removal of	_____
Other req'd improvements	_____

- B. This property is within the Las Virgenes Municipal Water District (LVMWD) service area. Applicant shall make arrangements with the LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.

Drainage

- A. The current parking lot does not drain properly. During the parking lot reconstruction, the new pave surface shall be graded and constructed to provide positive drainage slopes to onsite catch basins. Any new drainage pipes installed shall comply with Plumbing Code requirements.

Stormwater Quality (NPDES)

- A. Prior to approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
1. Sediments generated on the project site shall be retained using adequate Treatment Control BMPs;

2. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 3. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 4. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
- B. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Stormwater Mitigation Plan (SUSMP) shall be prepared per the Los Angeles County Standard Urban Stormwater Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
- C. The applicant is required to prepare a Storm Water Pollution Prevention Plan (SWPPP), utilizing the model form in Appendix B of the 2003 CASQA Stormwater BMP handbook for Construction at: www.cabmphandbooks.com and submit a copy of the plan to the City of Agoura Hills Engineering Department for review. A copy of the adopted SWPPP shall be maintained in the construction site office at all times during construction and the Site Superintendent shall use the plan to train all construction site contractors and supervisory personnel in construction site Best Management Practices, prior to starting work on the site. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
1. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 2. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 3. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 4. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.

17. Prior to issuance of certificate of occupancy, the applicant shall comply with the following conditions of approval:
 - A. All requirements including construction of improvements required of the Engineering / Public Works Department noted herein for this project must be completed to the satisfaction of the City Engineer.
 - B. The applicant's engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (as-built) Drawings, satisfactory to the City, are submitted.
 - C. The applicant shall record a covenant for continued stormwater maintenance, using City-approved forms, with the County of Los Angeles.
 - D. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

18. This project is subject to 2010 California Building Code, Mechanical, Plumbing, Electrical, Energy, and Green Building Codes as well as local amendments as identified in Agoura Hills Municipal Code (AHMC).
19. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 7A of the 2010 California Building Code and Chapter 2, Article VIII of AHMC.
20. A soils report will be required for this project.
21. All public and common use areas must comply with State and Federal accessibility requirements.
22. All structures must have 2% slope away from the structure for the first 5' of the project. Please identify that on plan.

Conditions of Approval (Case No. 13-CUP-002)

Page 7

23. Los Angeles County Fire Department review and approval will be required for this project.
24. Fire sprinklers will be required for this project per Section 903.2, Article VIII of AHMC.
25. As part of the permitting process and prior to permit issuance, two (2) full sets of construction plans, including structural calculations, need to be submitted to Building and Safety Department for plan review and approval.
26. The applicant shall show/identify the accessible path of travel from public right of way to the main entrance of the each building(s) on site.
27. All paths must meet the slope and texture requirements as well as other State and Federal requirements.

FIRE DEPARTMENT CONDITIONS

28. The applicant shall comply with all conditions of the Los Angeles County Fire Department prior to issuance of a Building Permit.

SOLID WASTE MANAGEMENT CONDITIONS

29. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
29. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide

documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy.

31. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

PLANNING CONDITIONS

32. The final design of all proposed retaining wall systems located on the site shall be submitted to the Planning and Community Development Director for review and approval prior to the issuance of a grading permit. All walls over six feet (6') in height shall be decoratively designed and subject to approval by the Director of Planning and Community Development.
33. All rooftop equipment shall be screened from public view from the adjacent roadways and surrounding properties to the satisfaction of the Director of Planning and Community Development.
35. Any proposed on-site signage shall comply with the City Sign Ordinance and shall be subject to review and approval by the Director of Planning and Community Development.
36. In addition to complying with the requirements of the adopted Mitigation Monitoring and Reporting Program for this project, the applicant shall provide an exterior lighting fixture detail plan and photometric plan for review and approval by the Director of Planning and Community Development, prior to the submittal of plans into plan check for a Building Permit. All exterior lighting fixtures shall be decorative in design and shall be architecturally compatible with the building design and shall be directed downward so as not to produce glare onto adjacent parcels or roadways. The light intensity of installed project light fixtures shall be subject to review and approval by the Community Development Director. The lighting shall be of a low intensity that is compatible with the natural environment.
37. All adopted mitigation measures identified in the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program (MMRP) shall apply to this permit.
38. Enclosures required for solid waste and recyclable materials shall meet the design requirements of Municipal Code Section 9606.5.

Conditions of Approval (Case No. 13-CUP-002)
Page 9

39. Prior to obtaining a Grading Permit or Building Permit, the applicant shall comply with the project recommendations of the City Geotechnical Consultant and the City Geological Consultant.
40. The applicant shall comply with all building material samples approved by the Planning Commission.

END

EXHIBIT C

DRAFT RESOLUTION NO. 13-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS APPROVING OAK TREE PERMIT NO. 13-OTP-005 FOR THE NEW RECREATION CENTER TO BE DEVELOPED AT 29900 LADYFACE COURT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by the City of Agoura Hills, with respect to the real property located at 29900 Ladyface Court (A.P.N. 2061-005-915), requesting approval of an Oak Tree Permit to encroach within the protected zone of three (3) oak trees to renovate a former temple and school facility for the construction of a new recreation center. A public hearing to consider Case No. 13-OTP-005 was duly held on May 2, 2013, at 6:30 p.m. in the City Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place, and purpose of the aforesaid hearing was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9657.5.C.3 of the Agoura Hills Municipal Code, that it is necessary to encroach into the protected zone of certain oak trees because their continued existence would prevent the development of the subject property as proposed, as based on the following findings:

- A. The proposed construction and encroachment within the protected zone of three (3) oak trees, as conditioned, will be accomplished without endangering the health of the remaining oak trees on the subject property. The oak tree impacts are concentrated in the northwest vicinity of the parcel.
- B. The encroachment into the protected zone of the oak trees will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated. The approved grading plan for the construction of the project ensures adequate slope stability and property drainage both on-site and off-site.
- C. The encroachment into the protected zone of the oak trees is necessary because their continued existence at the present locations prevents the planned improvements for the realignment of the access driveway to such an extent that alternative development plans cannot achieve the same permitted density, on-site access, and group open space areas.

Section 4. The Planning Commission has reviewed the Mitigated Negative Declaration for the Project, and all comments received regarding the Mitigated Negative Declaration prior to and at the May 2, 2013 public hearing, and based on the whole record before it, finds that: (1) the Mitigated Negative Declaration was prepared in compliance with CEQA; (2) there is no substantial evidence that the Project will have a significant effect on the environment; and (3) the Mitigated Negative Declaration reflects the independent judgment and analysis of the Planning Commission.

Section 5. Based on the aforementioned findings, the Planning Commission hereby approves Oak Tree Permit Case No. 13-OTP-005, with respect to the property described in Section 1 hereof, and subject to the attached Conditions of Approval.

Section 6. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED and ADOPTED this 2nd day of May, 2013, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Michael Justice, Chairperson

ATTEST:

Mike Kamino, Secretary

CONDITIONS OF APPROVAL
(CASE NO. 13-OTP-005)

STANDARD CONDITIONS

1. Except as modified herein, the approval of this action is limited to and requires complete conformance to the Site Plan and Grading Plan submitted for Conditional Use Permit Case No. 13-CUP-002 and approved by the Planning Commission.
2. It is hereby declared to be the intent that if any provision of this Permit is held or declared invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
3. This permit is valid for the term of Conditional Use Permit Case No. 13-CUP-002.

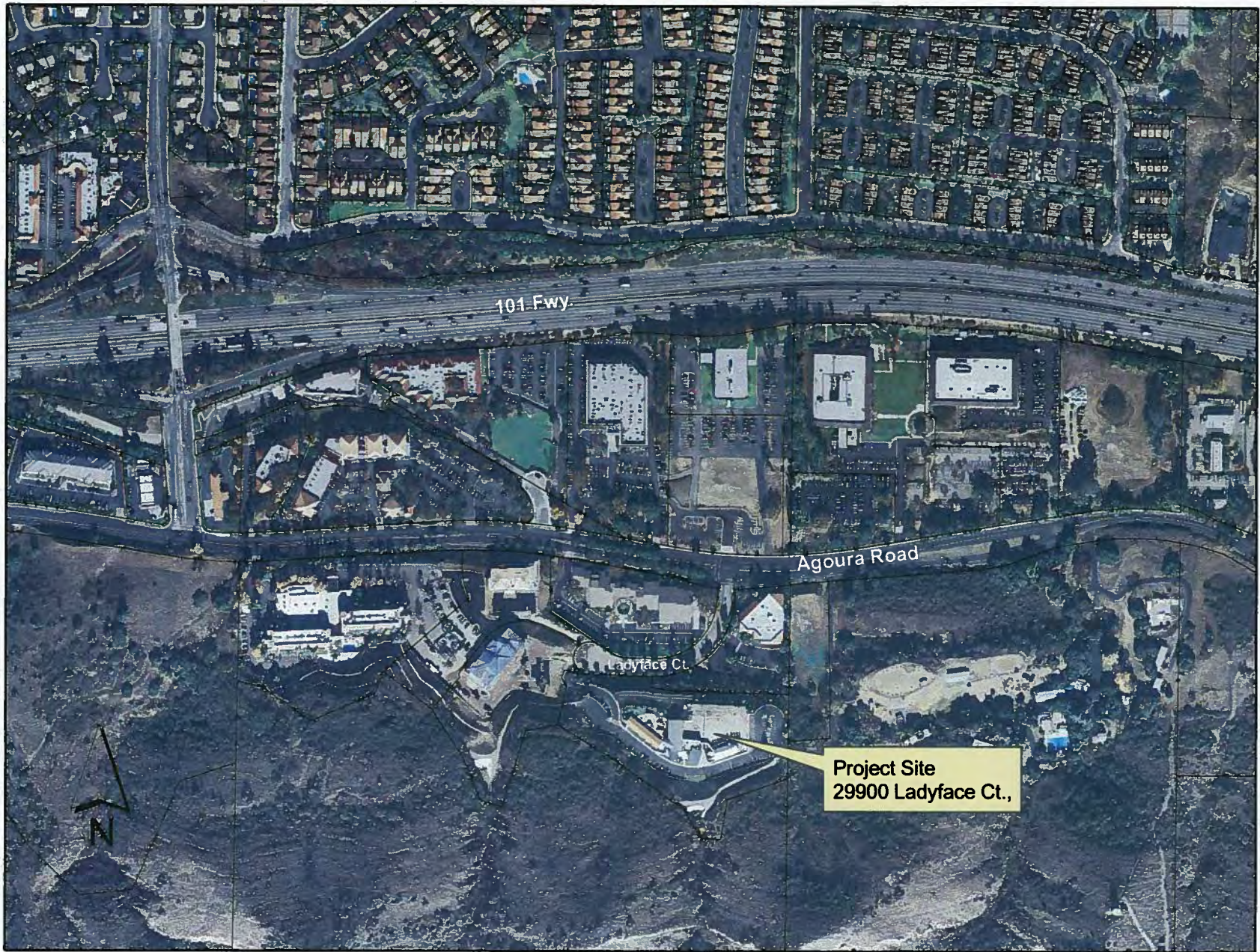
SPECIAL CONDITIONS

4. All project plans should include the trunk location, tag number, exact canopy spread and protected zones of Oak Trees Number 55 through 57.
5. To protect trees within the vicinity of major construction, trees should be temporarily fenced at the edge of the protected zone prior to the beginning of construction operations on the site. The fence should be constructed of chain link material, a minimum of five feet (5') in height. The project arborist should be contacted to develop a fencing plan, generally required by local ordinance. The fence may be removed at the completion of the construction upon approval by the Planning Department.
6. Oak tree protection notes should be placed on all project plans, including but not limited to site, grading, demolition and landscape plans as follows:
 - a. No work is permitted within the fenced area. The fencing shall remain in place until permission to remove it is granted by the City Oak Tree Consultant.
 - b. No materials, equipment, vehicles, spoils, debris, etc. shall be placed or stored within the fenced area at any time. The existing paved driveway may be utilized for access and lay down space unless otherwise prohibited as long as these activities do not cause any harm to the subject oak trees.
 - c. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. All pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.
 - d. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.

7. All work conducted within the protected zone of an oak tree should be performed within the presence of a qualified arborist to help to insure that work is performed in a manner that will not harm a tree.
8. Forty-eight (48) hour notice should be provided to the project arborist and to the local government prior to the planned start of work. The notice will insure that the project receives the highest possible scheduling priority and avoid delays.
9. All work within the protected zone should be accomplished with the use of hand tools only. Except under special circumstances, tractors, backhoes and other vehicles cannot be operated in a manner that will preserve major tree roots, minimize soil compaction, and insure the safety of both the vehicle operator and the tree.

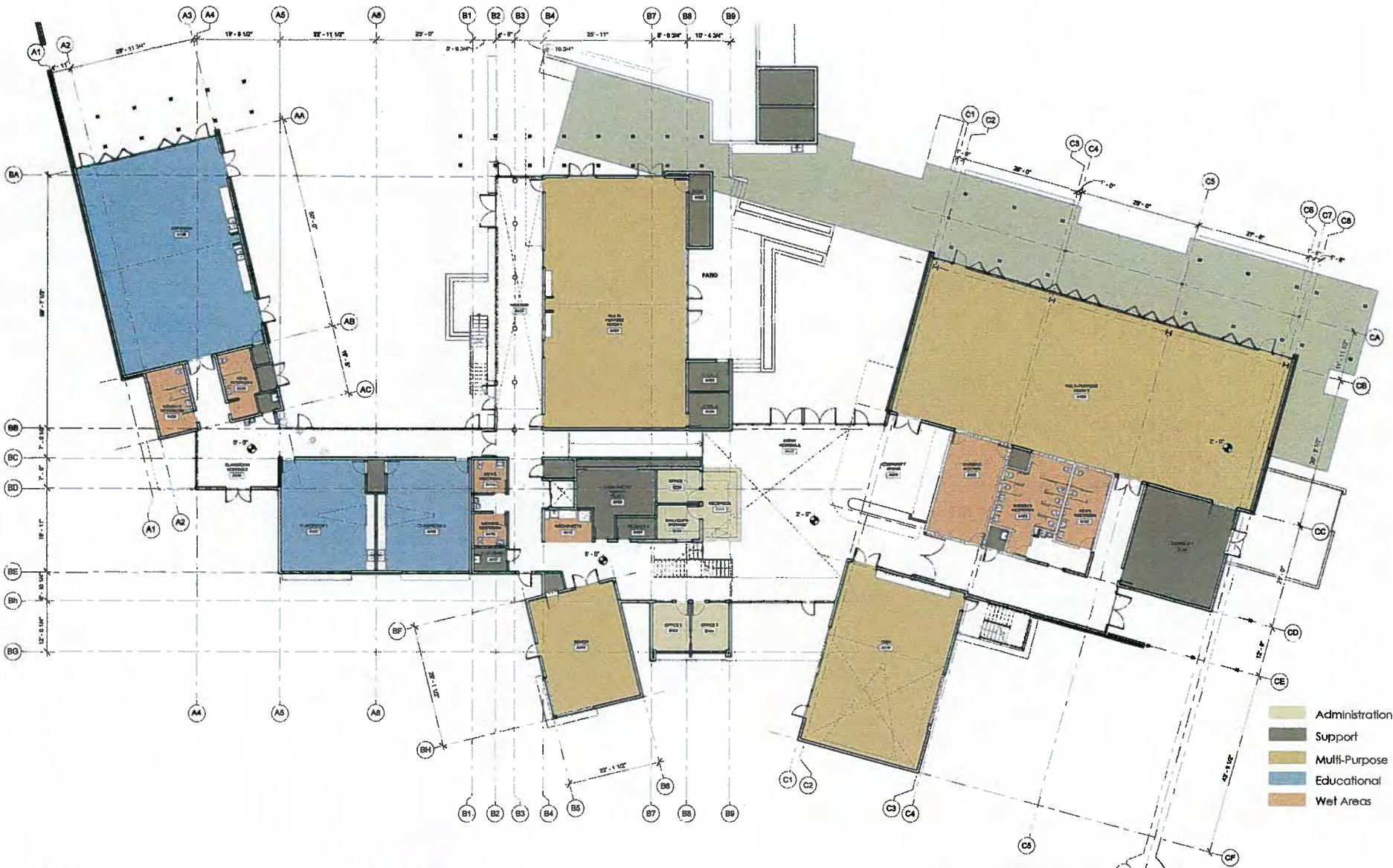
END

EXHIBIT D



Vicinity Map

EXHIBIT E





- Administration
- Support
- Multi-Purpose
- Educational
- Wet Areas



- Multi-purpose Room Roof 32'-6"
- Art Studio Room 23'-6"
- Classroom Room 18'-6"
- 2nd Floor F.F. 12'-0"
- 1st Floor F.F. 0'-0"

② West Elevation
3/32" = 1'-0"



① South Elevation
3/32" = 1'-0"



② East Elevation
3/32" = 1'-0"



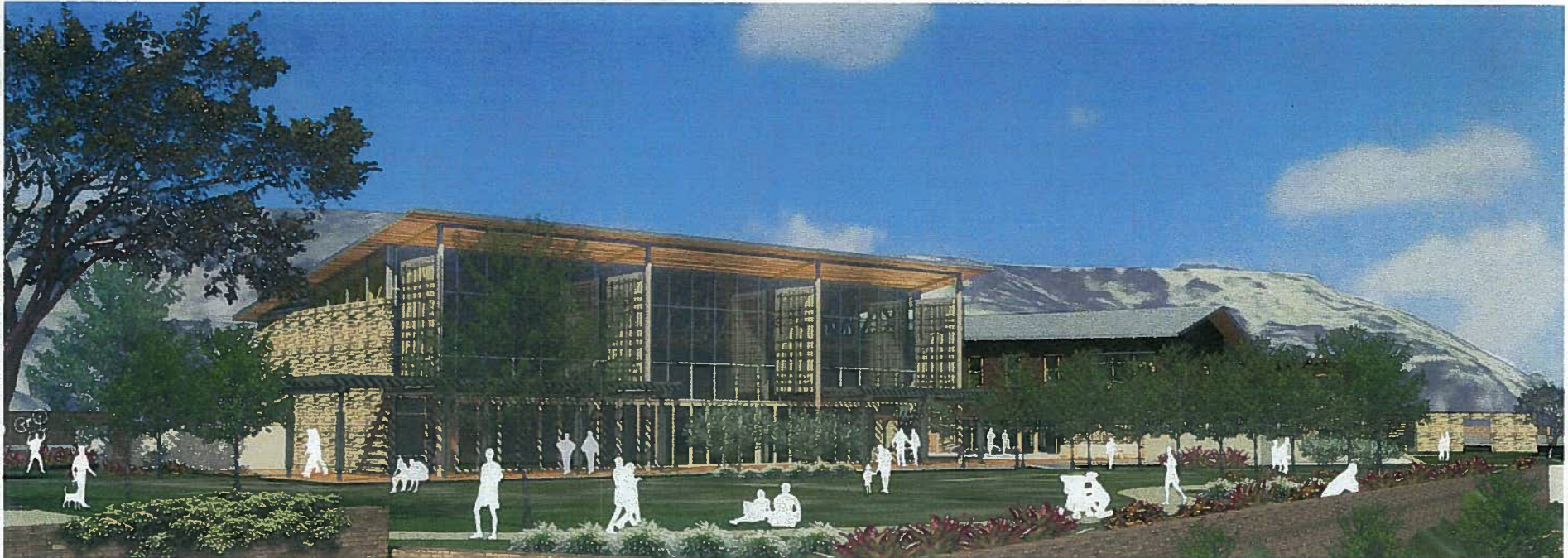
① North Elevation
3/32" = 1'-0"



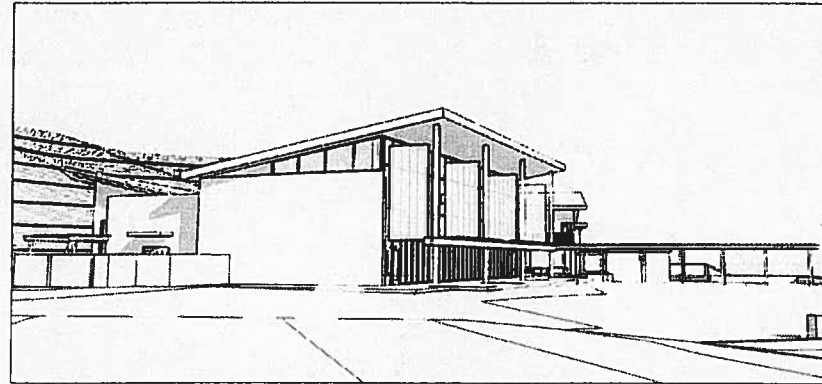
View from the North East



View from the North



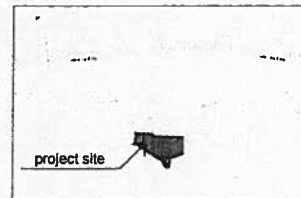
View from the North West



AGOURA HILLS RECREATION CENTER

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VICINITY MAP



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Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RFI Job No.	594.00
Date	11/02/2012
Drawn by	HBC
Checked by	
Sheet Number	

T0-0.1

SHEET INDEX

TITLE AND GENERAL SHEETS
 T0-0.1 COVER
 T1-0.1 INDEX

ARCHITECTURAL

G0-4.1.1 GROUND FLOOR EGRESS PLAN - PHASE I
 G0-4.1.2 GROUND FLOOR EGRESS PLAN - PHASE II
 G0-4.2.1 SECOND FLOOR EGRESS PLAN
 D1-0.1 OVERALL DEMOLITION SITE PLAN
 D1-1.1 DEMOLITION PLANS
 PH-0.1 PHASING PLAN - SITE PLAN PHASE I
 A0-1.0 OVERALL SITE PLAN
 A0-2.1 ENLARGED SITE PLAN A
 A0-2.2 ENLARGED SITE PLAN B
 A0-2.3 ENLARGED SITE PLAN C
 A1-2.1.0 OVERALL GROUND FLOOR PLAN
 A1-2.1.1 GROUND FLOOR PLAN - AREA A
 A1-2.1.2 GROUND FLOOR PLAN - AREA B
 A1-2.1.3 GROUND FLOOR PLAN - AREA C
 A1-2.2.0 OVERALL SECOND FLOOR PLAN
 A1-2.2.1 SECOND FLOOR PLAN - AREA B
 A1-2.2.2 SECOND FLOOR PLAN - AREA C
 A1-2.3.0 OVERALL LOWER ROOF PLAN
 A1-2.3.1 LOWER ROOF PLAN - AREA A
 A1-2.3.2 LOWER ROOF PLAN - AREA B
 A1-2.3.3 LOWER ROOF PLAN - AREA C
 A1-2.3.4 OVERALL UPPER ROOF PLAN
 A1-2.3.5 UPPER ROOF PLAN - AREA A
 A1-2.3.6 UPPER ROOF PLAN - AREA B
 A1-2.3.7 UPPER ROOF PLAN - AREA C
 A1-3.1.1 OVERALL EXTERIOR ELEVATIONS
 A1-3.1.2 OVERALL EXTERIOR ELEVATIONS
 A1-3.2.1 PARTIAL EXTERIOR ELEVATIONS
 A1-3.2.2 PARTIAL EXTERIOR ELEVATIONS
 A1-3.2.3 PARTIAL EXTERIOR ELEVATIONS
 A1-3.2.4 PARTIAL EXTERIOR ELEVATIONS
 A1-4.1.1 BUILDING SECTIONS
 A1-4.1.2 BUILDING SECTIONS
 A1-4.1.3 BUILDING SECTIONS
 A1-4.1.4 BUILDING SECTIONS
 A1-4.2.1 WALL SECTIONS
 A1-4.2.2 WALL SECTIONS
 A1-6.1.1 ENLARGED RESTROOM PLANS AND INTERIOR ELEVATIONS
 A1-6.1.2 ENLARGED RESTROOM PLANS AND INTERIOR ELEVATIONS
 A1-6.1.3 ENLARGED RESTROOM PLANS AND INTERIOR ELEVATIONS
 A1-7.1.1 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.2 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.3 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.4 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.5 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.6 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.7 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.8 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.9 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.10 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.11 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.2.1 INTERIOR ELEVATIONS SECOND FLOOR
 A1-7.2.2 INTERIOR ELEVATIONS SECOND FLOOR
 A1-7.2.3 INTERIOR ELEVATIONS SECOND FLOOR
 A1-7.2.4 INTERIOR ELEVATIONS SECOND FLOOR
 A1-9.1.0 OVERALL GROUND FLOOR REFLECTED CEILING PLAN
 A1-9.1.1 GROUND FLOOR REFLECTED CEILING PLAN - AREA A
 A1-9.1.2 GROUND FLOOR REFLECTED CEILING PLAN - AREA B
 A1-9.1.3 GROUND FLOOR REFLECTED CEILING PLAN - AREA C
 A1-9.2.0 OVERALL SECOND FLOOR REFLECTED CEILING PLAN
 A1-9.2.1 SECOND FLOOR REFLECTED CEILING PLAN - AREA B
 A1-9.2.2 SECOND FLOOR REFLECTED CEILING PLAN - AREA C

CIVIL

C1 TITLE & NOTES
 C2 SITE IMPROVEMENTS
 C3 SITE IMPROVEMENTS
 C4 SITE GRADING
 C5 SITE GRADING
 C6 DETAILS

STRUCTURAL

S1-0.1.1 GENERAL NOTES
 S1-0.1.2 GENERAL NOTES
 S1-0.2.1 TYPICAL FOUNDATION DETAILS
 S1-0.2.2 TYPICAL CONCRETE DETAILS
 S1-0.2.3 TYPICAL CONCRETE DETAILS
 S1-0.3.1 TYPICAL WOOD DETAILS
 S1-0.3.2 TYPICAL WOOD DETAILS
 S1-0.3.3 TYPICAL WOOD DETAILS
 S1-0.3.4 TYPICAL WOOD DETAILS
 S1-0.4.1 TYPICAL STEEL DETAILS
 S1-0.4.2 TYPICAL STEEL DETAILS
 S1-2.1.0 OVERALL FOUNDATION PLAN
 S1-2.1.1 FOUNDATION PLAN - AREA A
 S1-2.1.2 FOUNDATION PLAN - AREA B
 S1-2.1.3 FOUNDATION PLAN - AREA C
 S1-2.2.1 SECOND FLOOR FRAMING PLAN - AREA B
 S1-2.2.2 SECOND FLOOR FRAMING PLAN - AREA C
 S1-2.3.0 OVERALL ROOF FRAMING PLAN
 S1-2.3.1 LOWER ROOF FRAMING PLAN - AREA A
 S1-2.3.2 LOWER ROOF FRAMING PLAN - AREA B
 S1-2.3.3 LOWER ROOF FRAMING PLAN - AREA C
 S1-2.3.5 UPPER ROOF FRAMING PLAN - AREA A
 S1-2.3.6 UPPER ROOF FRAMING PLAN - AREA B
 S1-2.3.7 UPPER ROOF FRAMING PLAN - AREA C
 S1-3.1.1 BUILDING SECTIONS
 S1-3.1.2 BUILDING SECTIONS
 S1-3.1.3 BUILDING SECTIONS
 S1-3.1.4 BUILDING SECTIONS
 S1-3.2.1 FRAME ELEVATIONS
 S1-4.0.1 FOUNDATION DETAILS
 S1-5.0.1 DETAILS
 S1-5.0.2 DETAILS

MECHANICAL

M0.1 MECHANICAL NOTES, ABBREVIATIONS AND SYMBOLS
 M0.2 MECHANICAL SCHEDULES
 M1.1 MECHANICAL 1ST FLOOR DEMOLITION PLAN
 M1.2 MECHANICAL 2ND FLOOR AND ROOF DEMOLITION PLAN
 M2.1.1 HVAC FIRST FLOOR PLAN - AREA A
 M2.1.2 HVAC FIRST FLOOR PLAN - AREA B
 M2.1.3 HVAC FIRST FLOOR PLAN - AREA C
 M2.2.1 HVAC SECOND FLOOR PLAN - AREA B
 M2.2.2 HVAC SECOND FLOOR PLAN - AREA C
 M2.3.1 HVAC ROOF PLAN - AREA A
 M2.3.2 HVAC ROOF PLAN - AREA B
 M2.3.3 HVAC ROOF PLAN - AREA C

ELECTRICAL

E0.1 ELECTRICAL NOTES ABBREVIATIONS AND SYMBOLS
 E0.2 ELECTRICAL SINGLE LINE DIAGRAM
 E1.0 ELECTRICAL SITE PLAN
 E2.1 ELECTRICAL 1ST FLOOR DEMOLITION PLAN
 E2.2 ELECTRICAL 2ND FLOOR & ROOF DEMOLITION PLAN
 E3.1 ELECTRICAL 1ST FLOOR POWER, PHONE, DATA PLAN - EAST
 E3.2 ELECTRICAL 1ST FLOOR POWER, PHONE, DATA PLAN - WEST
 E3.1L ELECTRICAL 1ST FLOOR LIGHTING PLAN - EAST
 E3.2L ELECTRICAL 1ST FLOOR LIGHTING PLAN - WEST
 E3.3 ELECTRICAL 2ND FLOOR POWER, PHONE, DATA PLAN
 E3.3L ELECTRICAL 2ND FLOOR LIGHTING PLAN
 E3.4 ELECTRICAL ROOF PLAN - EAST
 E3.5 ELECTRICAL ROOF PLAN - WEST

PLUMBING

P1.0 PLUMBING NOTES, SCHEDULE, LEGEND
 P2.1 PLUMBING 1ST FLOOR PLAN
 P2.2 PLUMBING 1ST FLOOR PLAN
 P2.3 PLUMBING 2ND FLOOR PLAN
 P2.4 PLUMBING ROOF PLAN
 P2.5 PLUMBING ROOF PLAN

LANDSCAPE

L1.00 GENERAL NOTES, ABBREVIATIONS & SYMBOL LEGEND
 L1.10 HARDSCAPE OVERALL SITE PLAN
 L1.11 HARDSCAPE PAVING AND DECKING DETAILS
 L1.12 HARDSCAPE STAIR DETAILS
 L2.00 IRRIGATION OVERALL SITE PLAN
 L2.10 IRRIGATION DETAILS
 L2.11 EPIC SYSTEM DETAILS
 L2.12 IRRIGATION SCHEDULE
 L3.00 LANDSCAPE OVERALL SITE PLAN
 L3.10 LANDSCAPE SECTIONS
 L3.11 LANDSCAPE DETAILS



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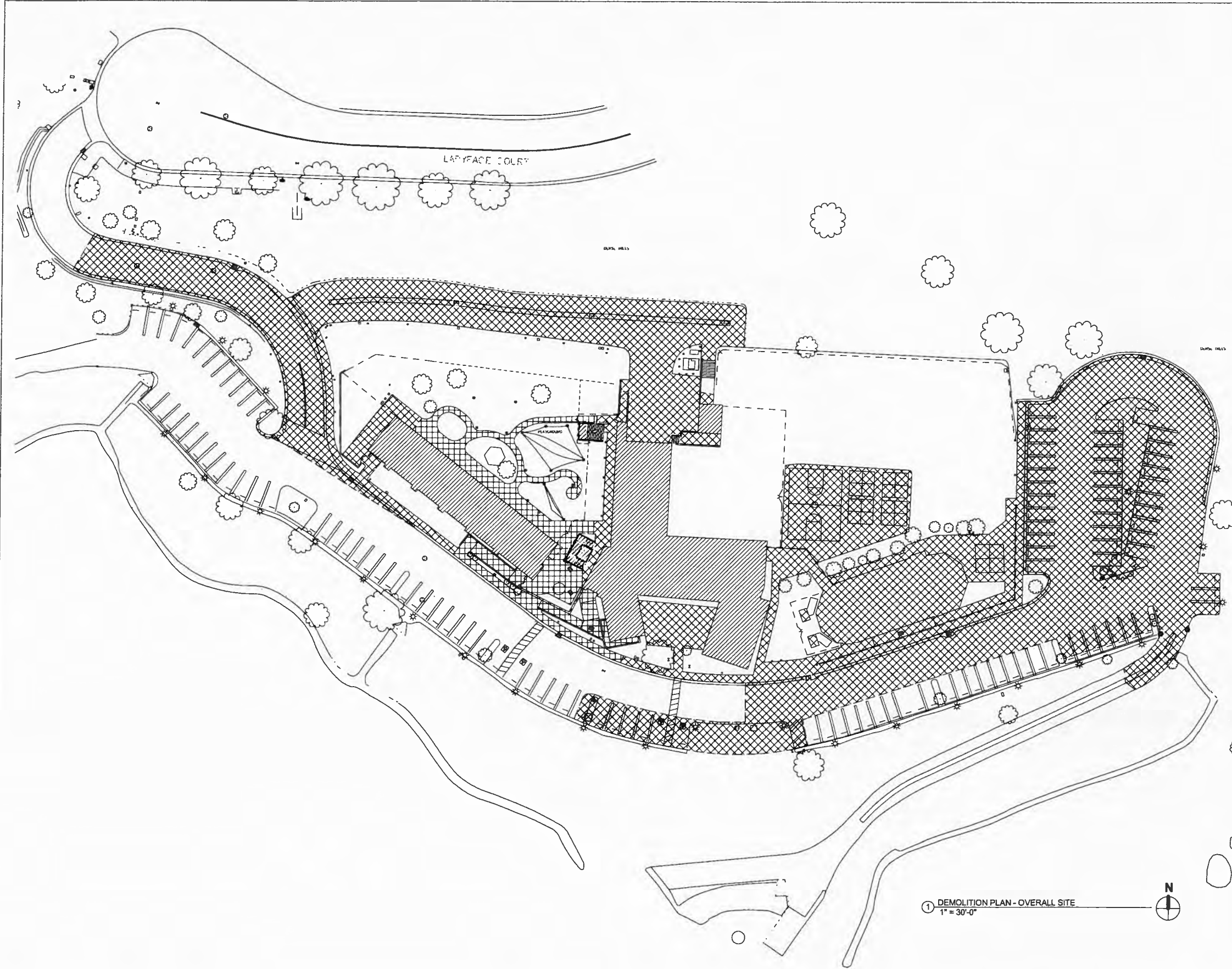
INDEX

Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RVT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

T1-0.1



KEYNOTES

DEMOLITION LEGENDS

- (E)BLDG. FOOTPRINT
- (E)HARDSCAPE TO BE DEMOLISHED - PHASE I
- (E)HARDSCAPE TO BE DEMOLISHED - PHASE II
- (E)BLDG. PORTION TO BE DEMOLISHED - PHASE I
- (E)BLDG. PORTION TO BE DEMOLISHED - PHASE II
- (E)FENCE TO BE DEMOLISHED - PHASE I
- (E)FENCE TO BE DEMOLISHED - PHASE II
- (E)WALL TO BE DEMOLISHED - PHASE I
- (E)WALL TO BE DEMOLISHED - PHASE II

1 DEMOLITION PLAN - OVERALL SITE
1" = 30'-0"



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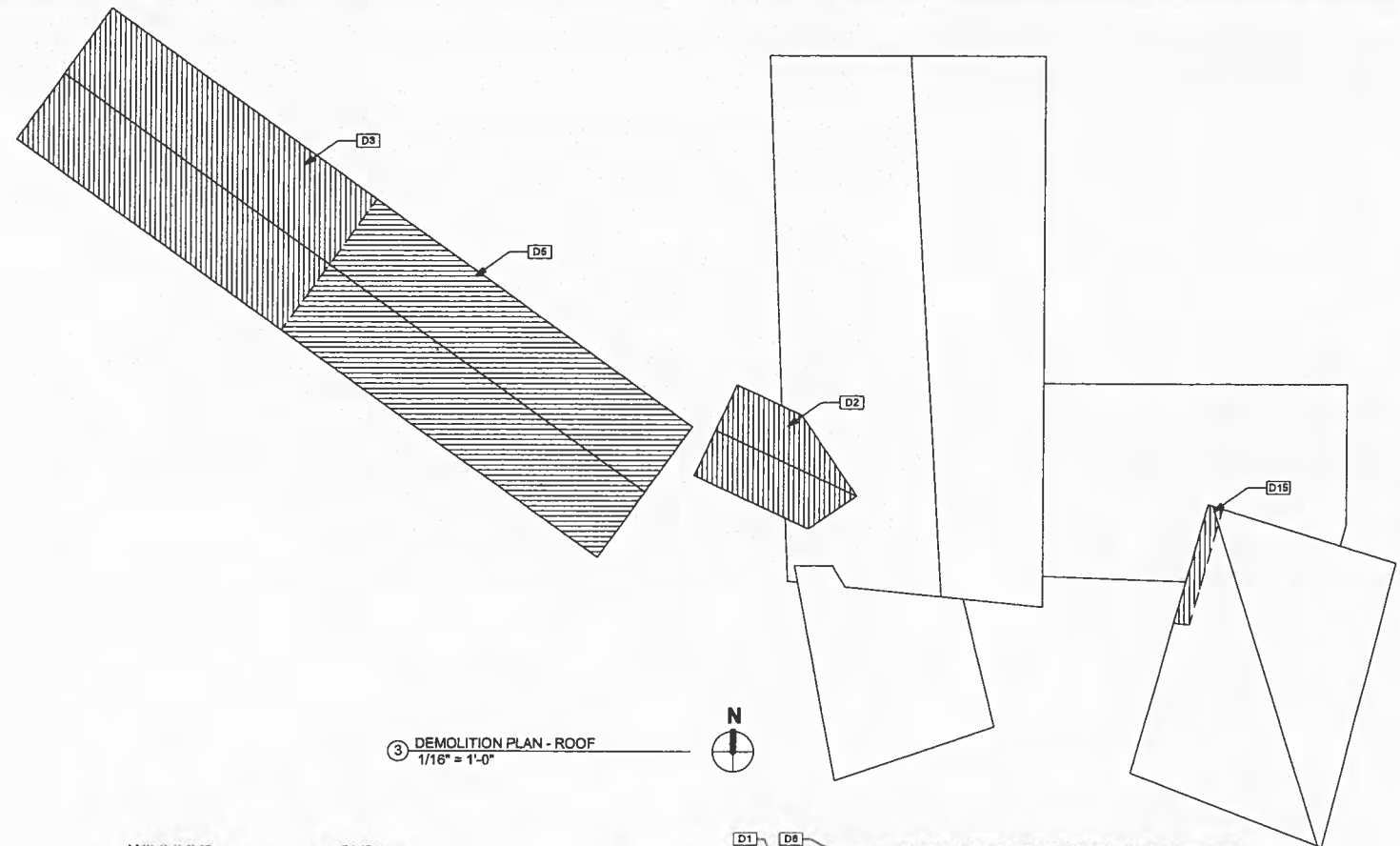
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OVERALL DEMOLITION SITE
PLAN

Revisions		
No.	Description	Date

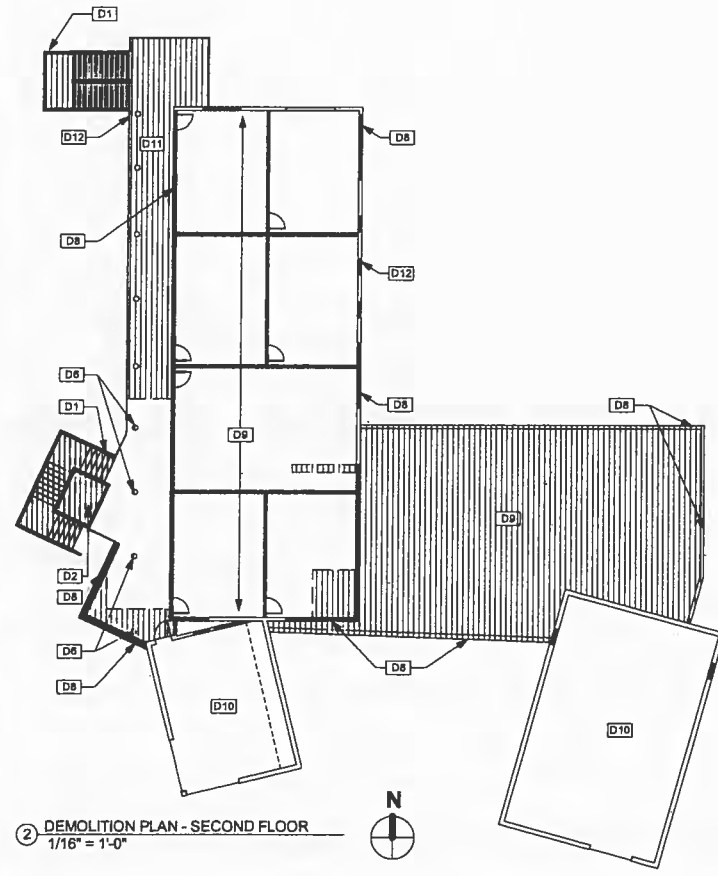
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

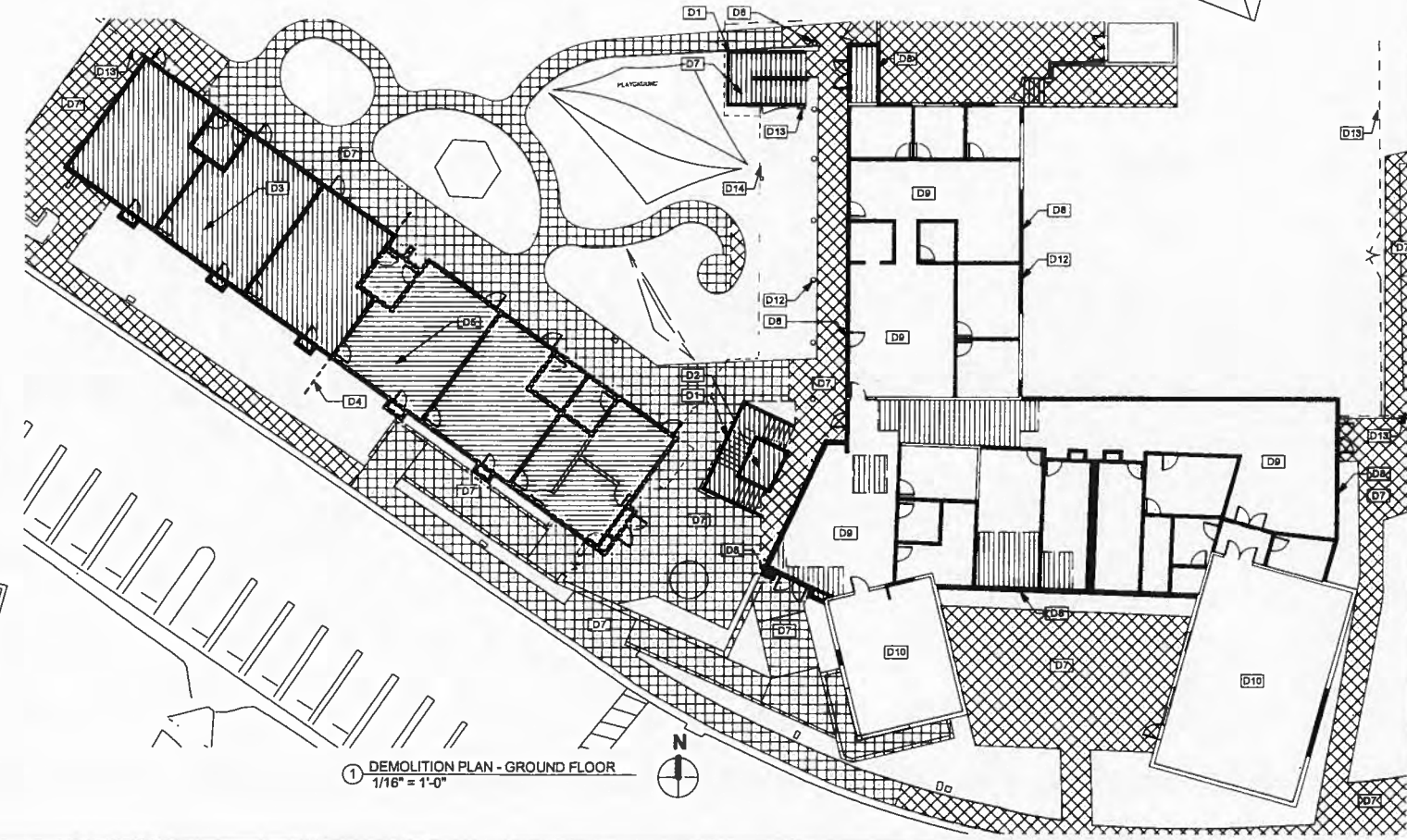
D1-0.1



3 DEMOLITION PLAN - ROOF
1/16" = 1'-0"



2 DEMOLITION PLAN - SECOND FLOOR
1/16" = 1'-0"



1 DEMOLITION PLAN - GROUND FLOOR
1/16" = 1'-0"

- KEYNOTES**
- D1 DEMOLISH STAIR IN ITS ENTIRETY
 - D2 DEMOLISH ELEVATOR AND SHAFT IN THEIR ENTIRETY, INCLUDING ALL EQUIPMENT AND COMPONENTS
 - D3 DEMOLISH BUILDING IN ITS ENTIRETY TO THE LIMIT SHOWN IN PHASE I, INCLUDING FLOOR SLAB, ROOF AND ALL BUILDING SYSTEMS
 - D4 EXTENT OF DEMOLITION IN PHASE I. SEE PHASING PLANS FOR TEMPORARY WORK
 - D5 DEMOLISH BUILDING IN ITS ENTIRETY IN PHASE II, INCLUDING FLOOR SLAB, ROOF AND ALL BUILDING SYSTEM
 - D6 DEMOLISH COLUMN
 - D7 DEMOLISH SLAB ON GRADE
 - D8 DEMOLISH EXTENSION WALL, INCLUDING ASSOCIATED BUILDING SYSTEMS
 - D9 DEMOLISH INTERIOR PARTITIONS AS INDICATED. DEMOLISH ALL FLOOR FINISHES, CEILINGS, CEILING-MOUNTED EQUIPMENT AND DEVICES, AND WALL-MOUNTED EQUIPMENT AND DEVICES
 - D10 DEMOLISH ALL FLOOR FINISHES, CEILINGS, CEILING-MOUNTED EQUIPMENT AND DEVICES, AND WALL-MOUNTED EQUIPMENT AND DEVICES
 - D11 DEMOLISH EXTENSION WALKWAY IN ITS ENTIRETY, INCLUDING BUILDING SYSTEMS
 - D12 DEMOLISH ALL DOWNSPOUTS
 - D13 DEMOLISH FENCE - PHASE I
 - D14 DEMOLISH FENCE - PHASE II
 - D15 DEMOLISH ROOF AND ALL ROOF SYSTEM

DEMOLITION LEGENDS

- (E)BLDG. FOOTPRINT
- (E)HARDSCAPE TO BE DEMOLISHED - PHASE I
- (E)HARDSCAPE TO BE DEMOLISHED - PHASE II
- (E)BLDG. PORTION TO BE DEMOLISHED - PHASE I
- (E)BLDG. PORTION TO BE DEMOLISHED - PHASE II
- (E)FENCE TO BE DEMOLISHED - PHASE I
- (E)FENCE TO BE DEMOLISHED - PHASE II
- (E)WALL TO BE DEMOLISHED - PHASE I
- (E)WALL TO BE DEMOLISHED - PHASE II



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DEMOLITION PLANS

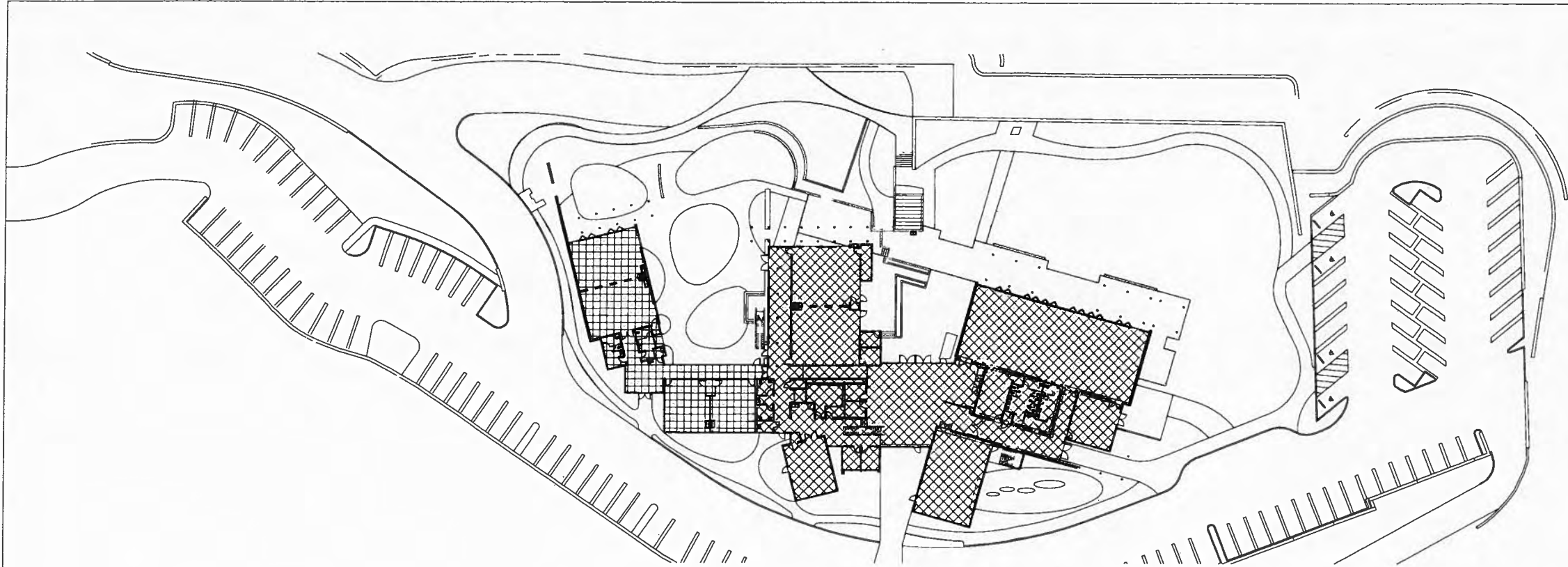
Revisions

No.	Description	Date

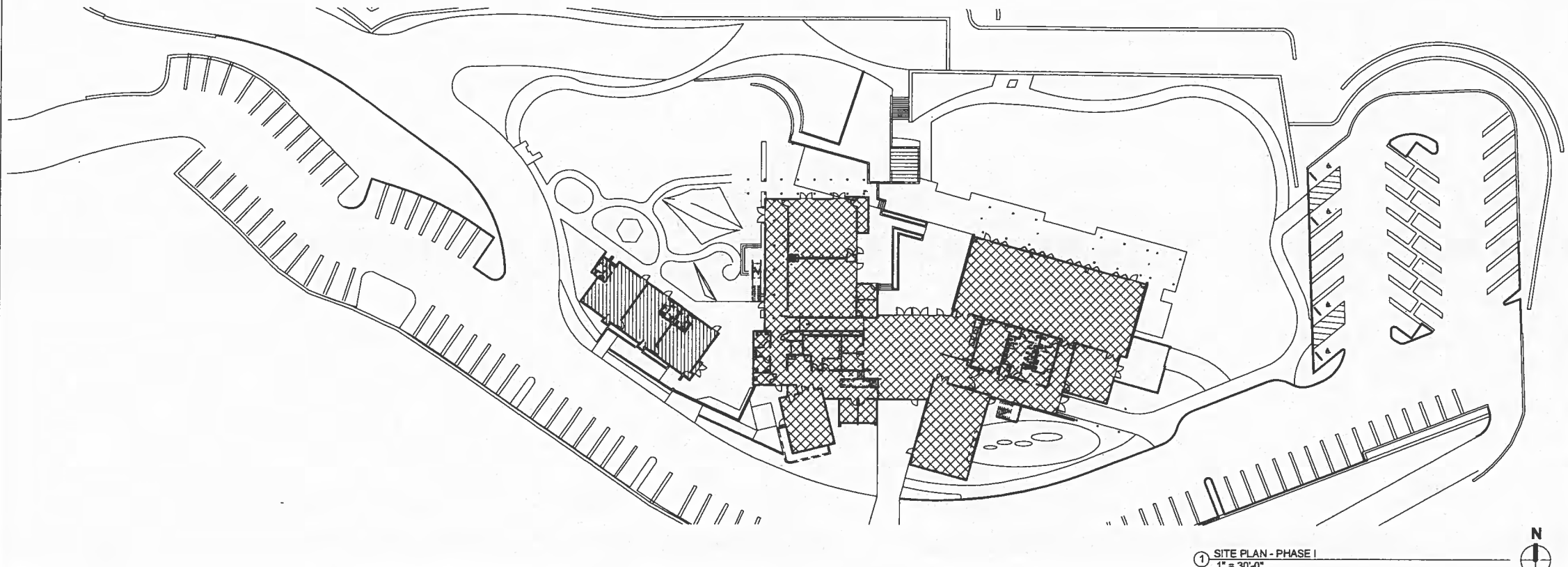
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

D1-1.1







② SITE PLAN - PHASE II
1" = 30'-0"



① SITE PLAN - PHASE I
1" = 30'-0"

KEYNOTES

LEGENDS

-  PHASE I
-  PHASE II
-  (E)BUILDING TO BE REMAIN IN PHASE I
-  (E)BUILDING TO BE REMAIN IN PHASE I & II



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**PHASING PLAN - SITE PLAN
PHASE I**

Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

PH-0.1



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OVERALL SITE PLAN

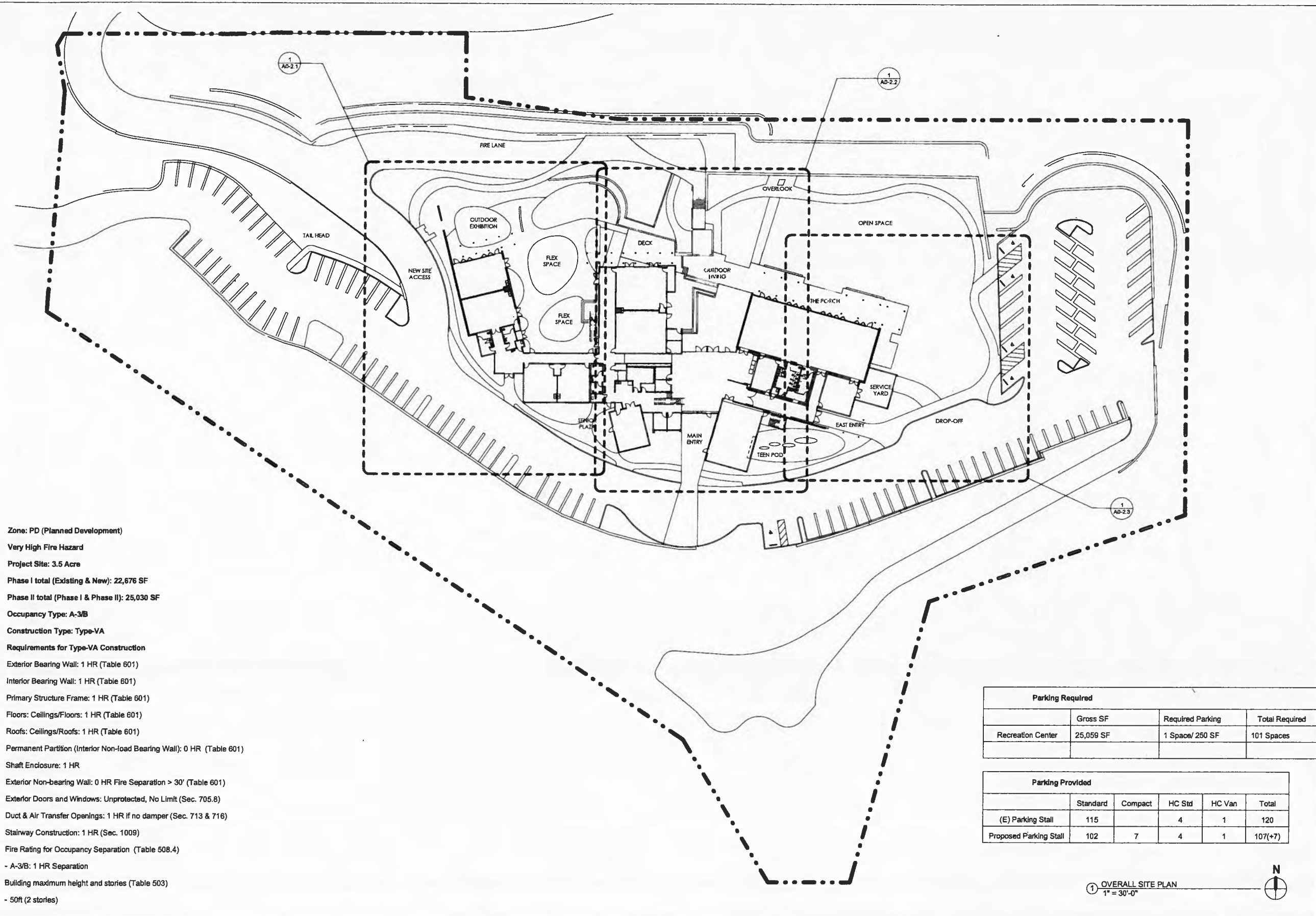
Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

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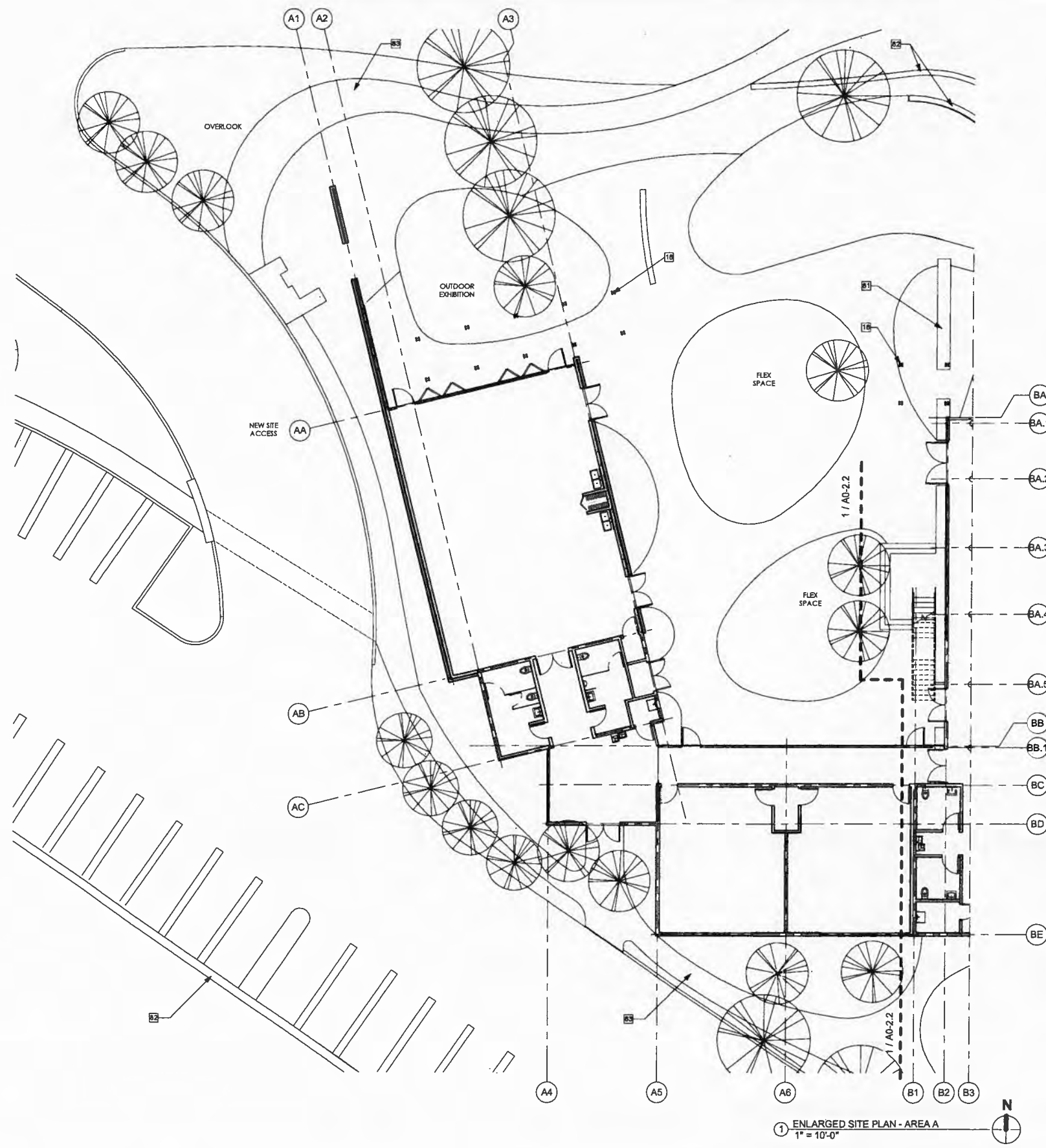
Zone: PD (Planned Development)
Very High Fire Hazard
Project Site: 3.5 Acre
Phase I total (Existing & New): 22,676 SF
Phase II total (Phase I & Phase II): 25,030 SF
Occupancy Type: A-3/B
Construction Type: Type-VA
Requirements for Type-VA Construction
Exterior Bearing Wall: 1 HR (Table 601)
Interior Bearing Wall: 1 HR (Table 601)
Primary Structure Frame: 1 HR (Table 601)
Floors: Ceilings/Floors: 1 HR (Table 601)
Roofs: Ceilings/Roofs: 1 HR (Table 601)
Permanent Partition (Interior Non-load Bearing Wall): 0 HR (Table 601)
Shaft Enclosure: 1 HR
Exterior Non-bearing Wall: 0 HR Fire Separation > 30' (Table 601)
Exterior Doors and Windows: Unprotected, No Limit (Sec. 705.8)
Duct & Air Transfer Openings: 1 HR if no damper (Sec. 713 & 716)
Stairway Construction: 1 HR (Sec. 1009)
Fire Rating for Occupancy Separation (Table 508.4)
- A-3/B: 1 HR Separation
Building maximum height and stories (Table 503)
- 50ft (2 stories)

Parking Required			
	Gross SF	Required Parking	Total Required
Recreation Center	25,059 SF	1 Space/ 250 SF	101 Spaces

Parking Provided					
	Standard	Compact	HC Std	HC Van	Total
(E) Parking Stall	115		4	1	120
Proposed Parking Stall	102	7	4	1	107(+7)

1 OVERALL SITE PLAN
1" = 30'-0"





- KEYNOTES**
- 10 TRELLIS COLUMN
 - 81 LOW SEAT WALL
 - 82 RETAINING WALL, REFER TO CIVIL DRAWINGS
 - 83 PEDESTRIAN PATH, REFER TO LANDSCAPE DRAWINGS



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ENLARGED SITE PLAN A

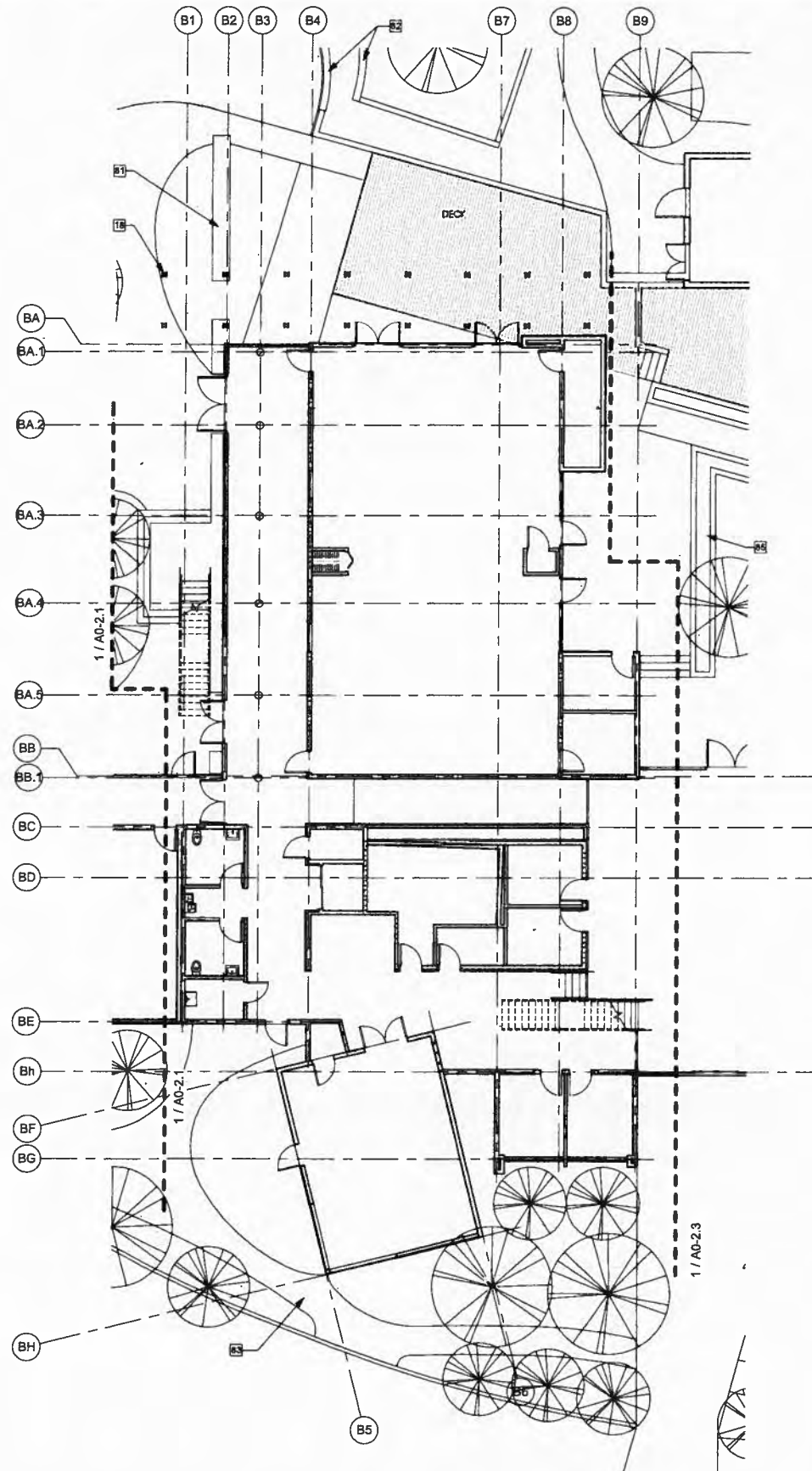
Revisors

No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A0-2.1



- KEYNOTES**
- 18 TRELLIS COLUMN
 - 81 LOW SEAT WALL, REFER TO CIVIL DRAWINGS
 - 82 RETAINING WALL, REFER TO CIVIL DRAWINGS
 - 83 PEDESTRIAN PATH, REFER TO LANDSCAPE DRAWINGS
 - 84 TREE WELL, REFER TO LANDSCAPE DRAWINGS
 - 85 PLANTER, REFER TO LANDSCAPE DRAWINGS



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ENLARGED SITE PLAN B

Revisions

No.	Description	Date

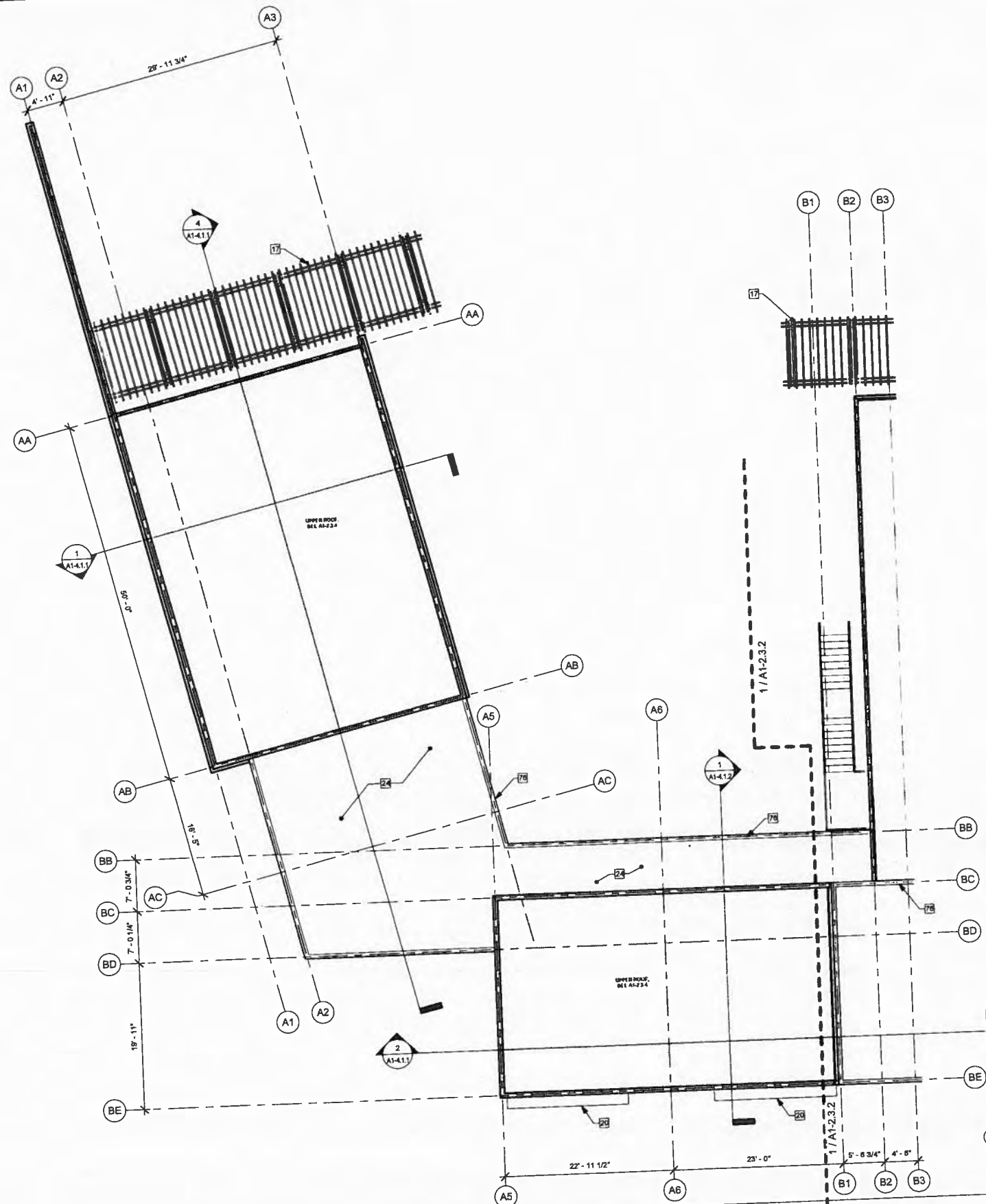
Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A0-2.2

1 ENLARGED SITE PLAN - AREA B
1" = 10'-0"





1 LOWER ROOF PLAN - AREA A
1/8" = 1'-0"

- KEYNOTES**
- 17 TRELLIS
 - 20 LOUVERS
 - 24 MEMBRANE ROOFING SYSTEM
 - 76 ROOF PARAPET



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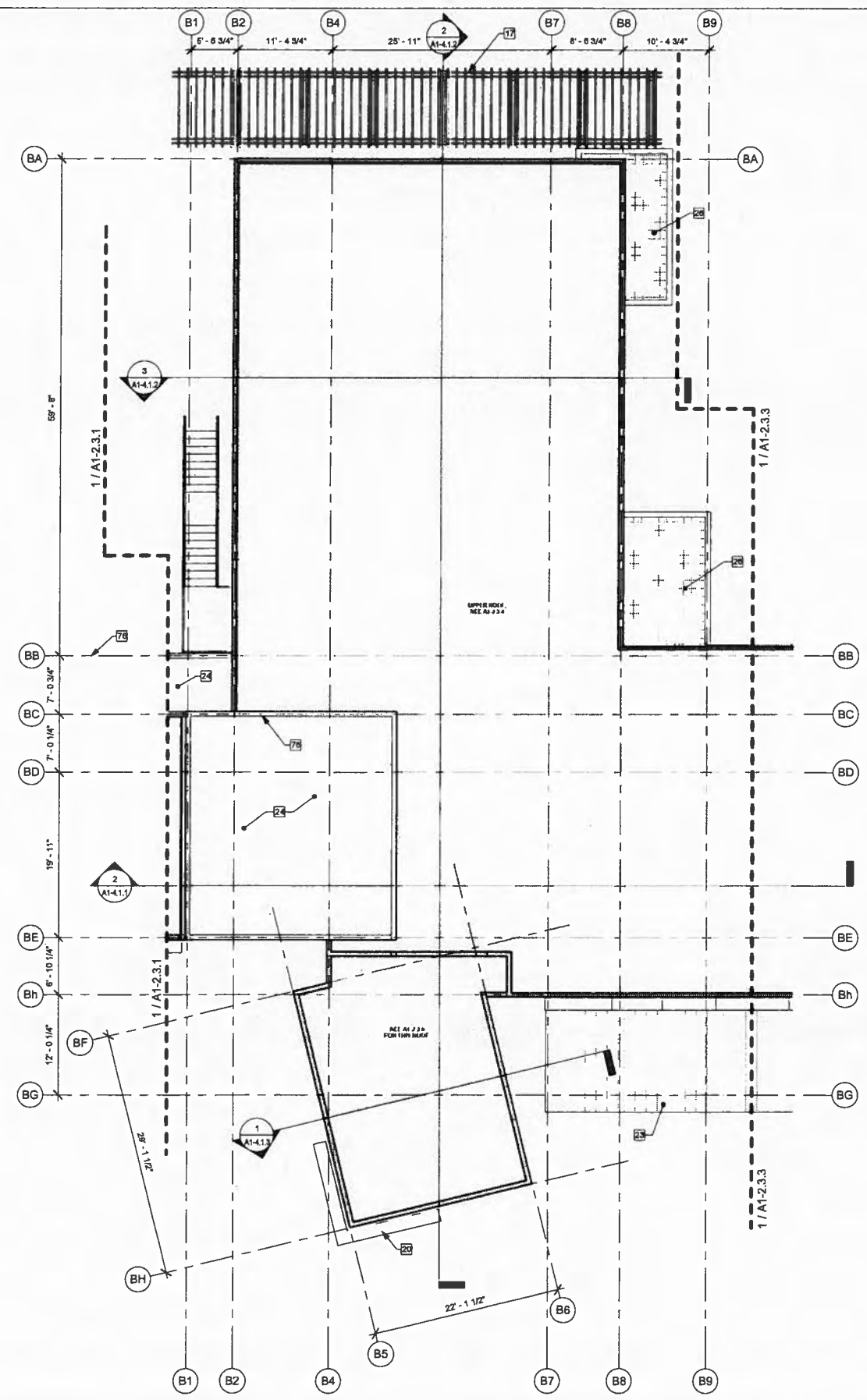
LOWER ROOF PLAN - AREA A

Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A1-2.3.1



② MAINTENANCE BUILDING ROOF PLAN
1/8" = 1'-0"

① LOWER ROOF PLAN - AREA B
1/8" = 1'-0"

- KEYNOTES**
- 17 TRELLIS
 - 20 LOUVERS
 - 23 METAL ROOF SYSTEM
 - 24 MEMBRANE ROOFING SYSTEM
 - 25 GREEN ROOF SYSTEM
 - 28 ROOF PAVERS OVER WATERPROOFING SYSTEM
 - 76 ROOF PARAPET



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LOWER ROOF PLAN - AREA B

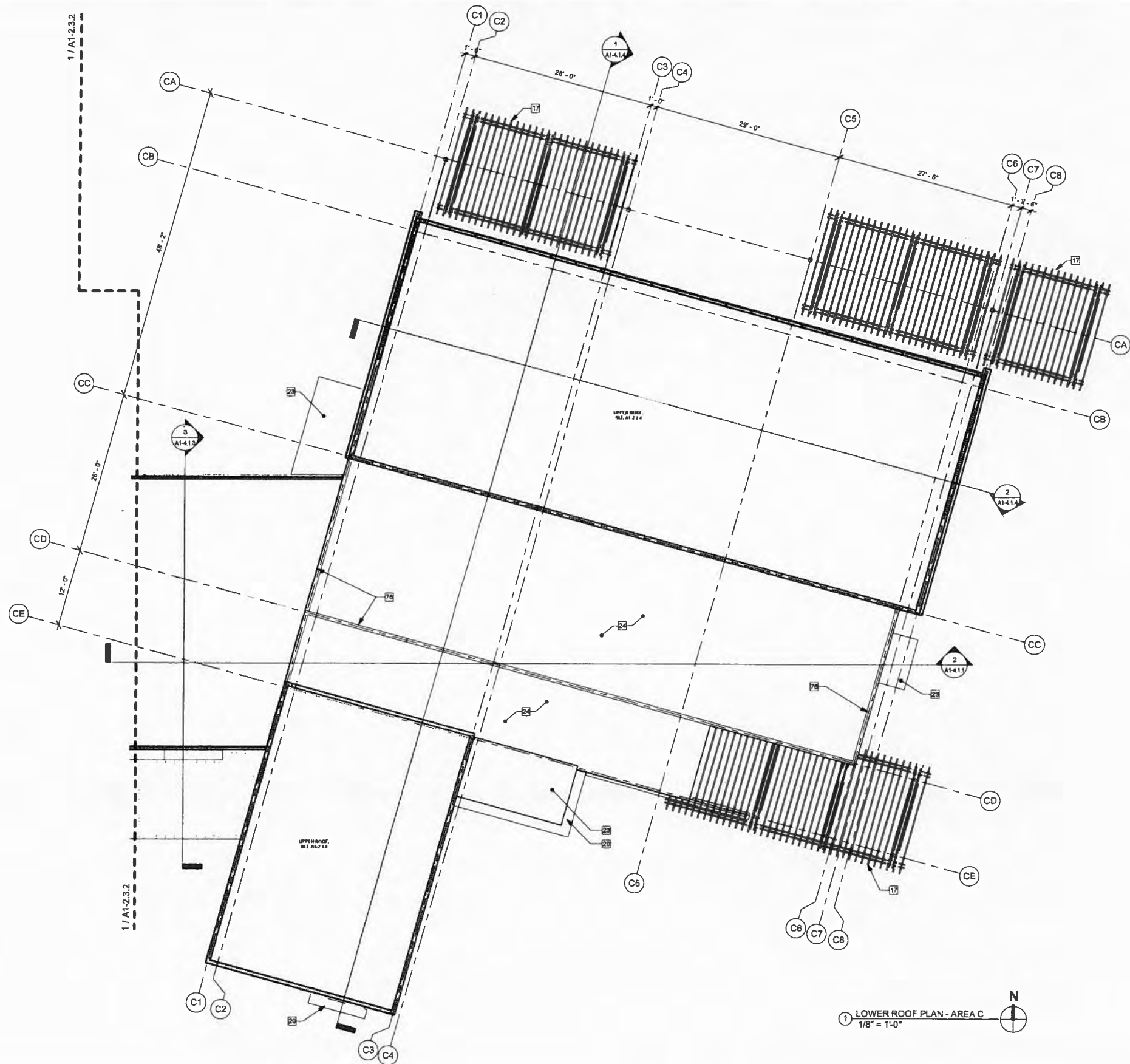
Revisions

No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A1-2.3.2



- KEYNOTES**
- 17 TRELLIS
 - 20 LOUVERS
 - 23 METAL ROOF SYSTEM
 - 24 MEMBRANE ROOFING SYSTEM
 - 26 ROOF PAVERS OVER WATERPROOFING SYSTEM
 - 76 ROOF PARAPET



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LOWER ROOF PLAN - AREA C

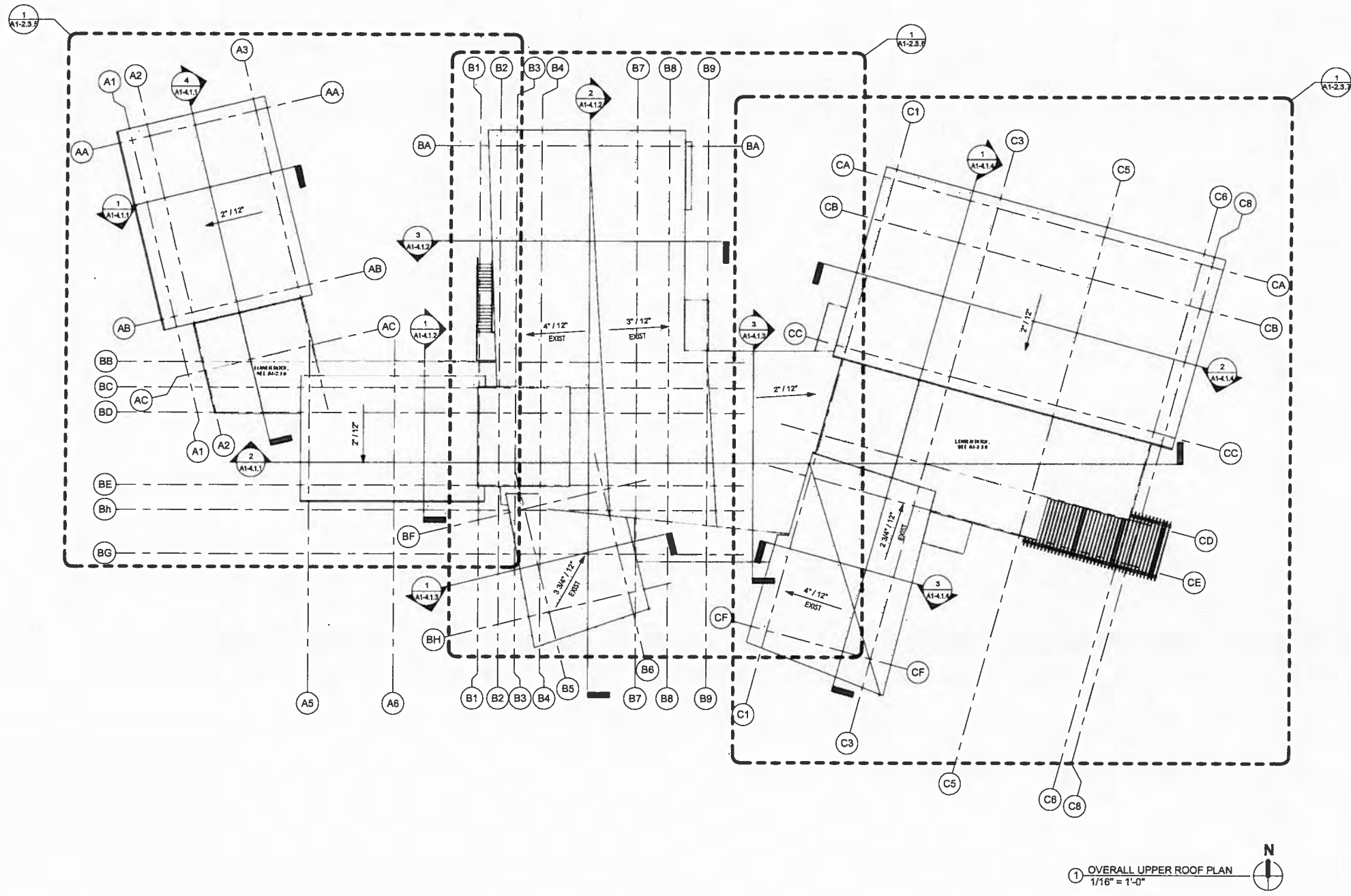
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No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A1-2.3.3



KEYNOTES



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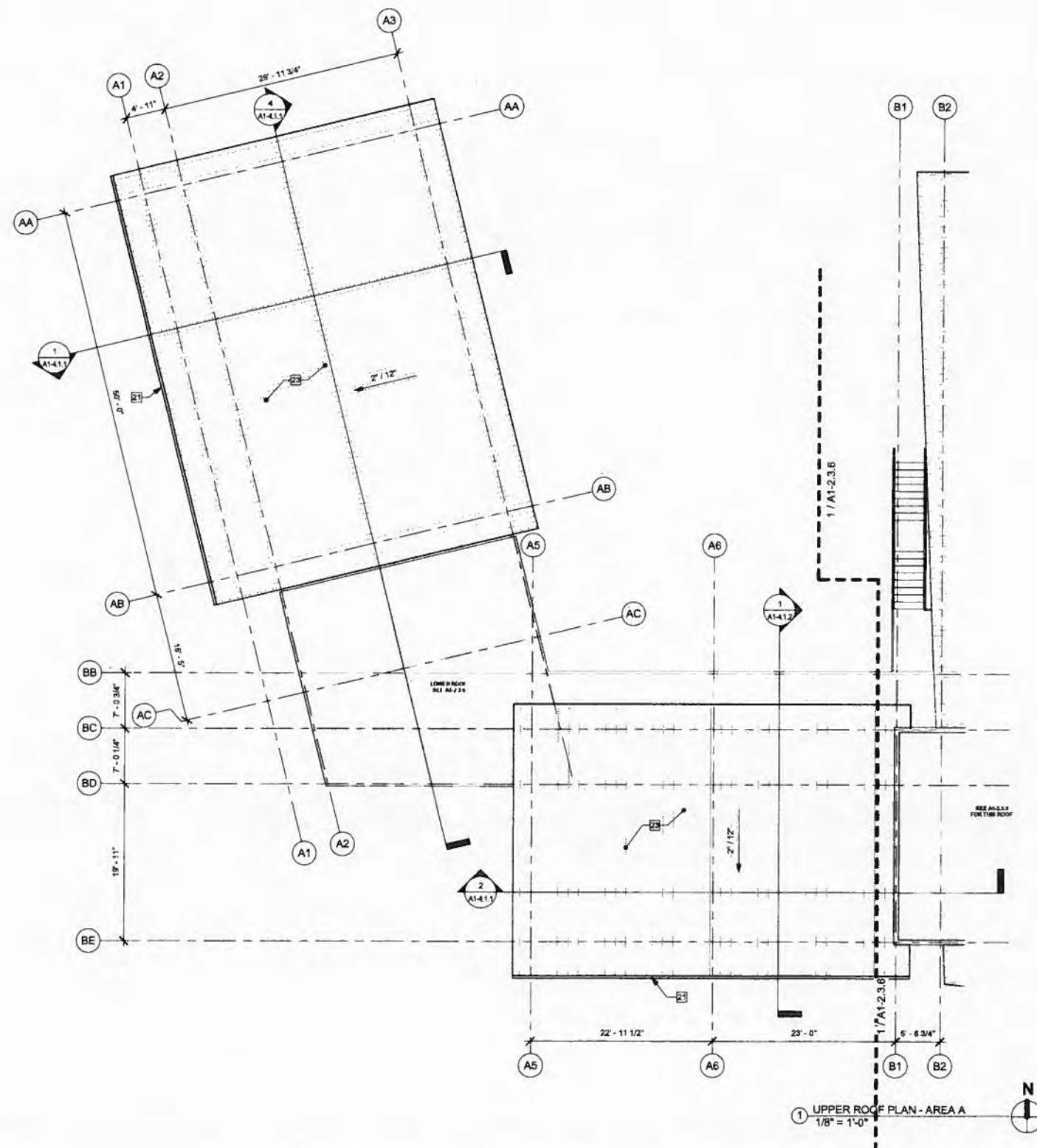
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OVERALL UPPER ROOF PLAN

Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A1-2.3.4



KEYNOTES
 21 GUTTER
 23 METAL ROOF SYSTEM



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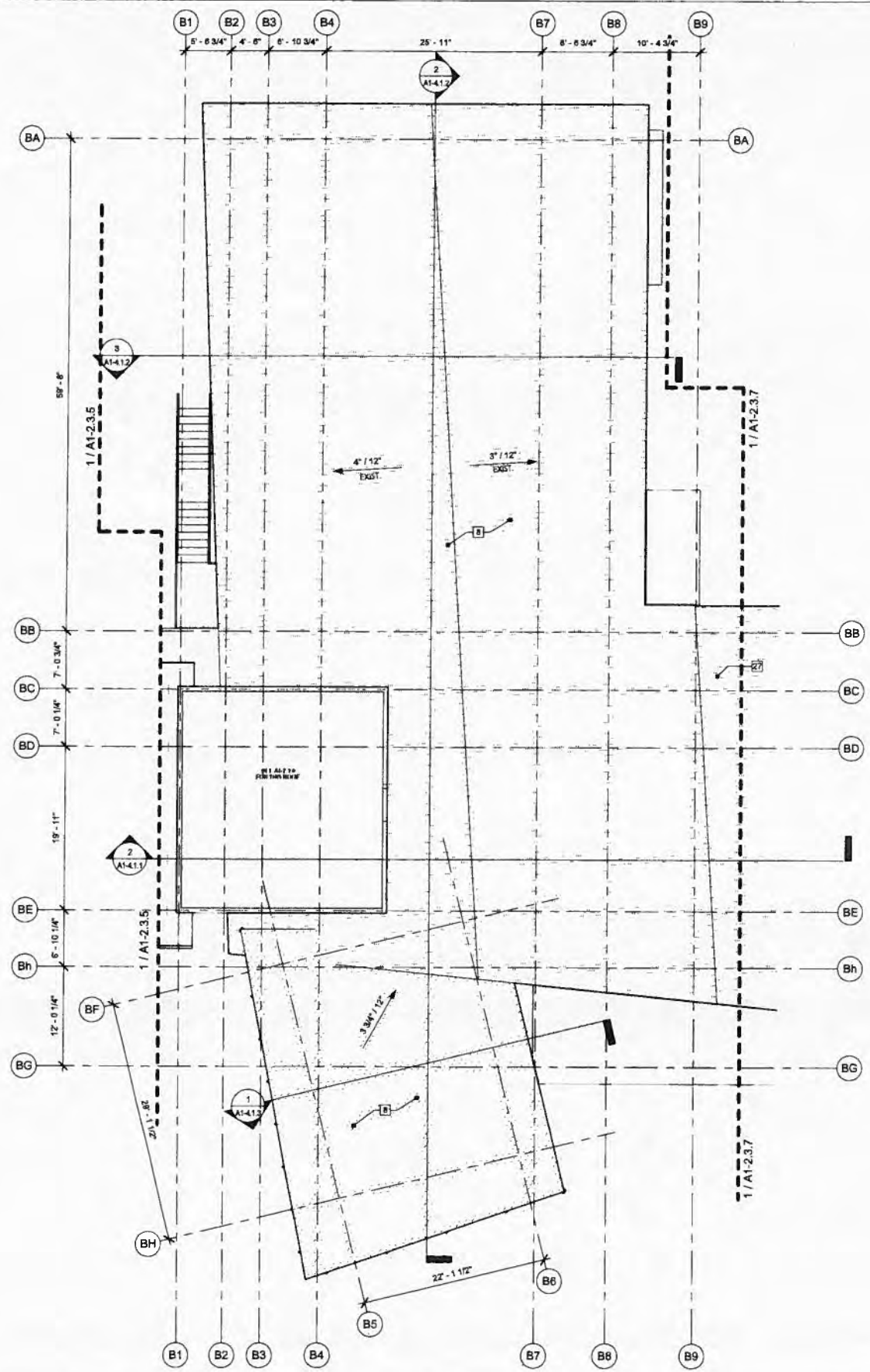
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 UPPER ROOF PLAN - AREA A

Revisions		
No.	Description	Date

Activity
 CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A1-2.3.5



KEYNOTES
 1 EXISTING METAL ROOF SYSTEM TO REMAIN
 2 NEW METAL ROOF SYSTEM TO TIE INTO EXISTING



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UPPER ROOF PLAN - AREA B

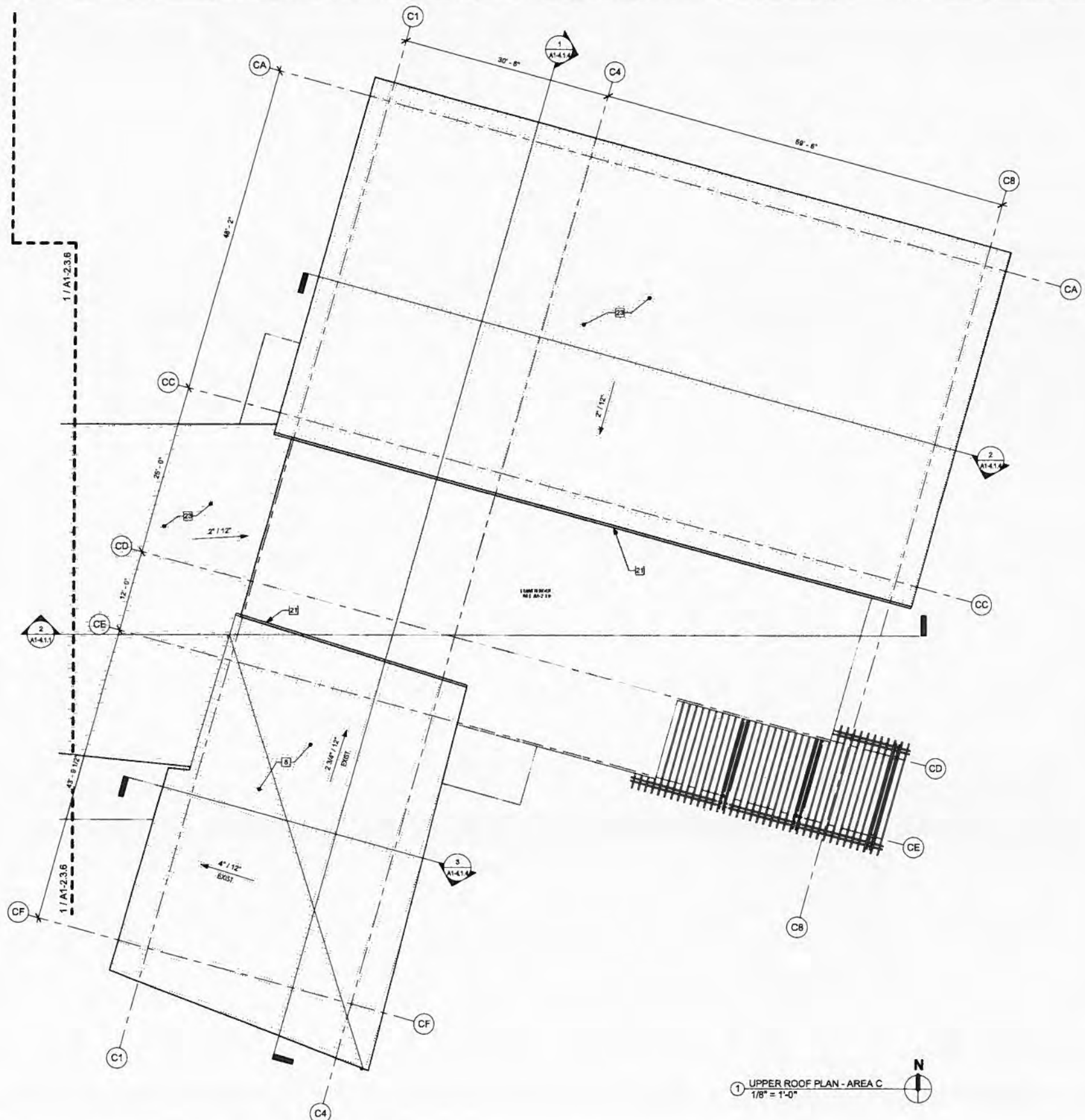
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No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A1-2.3.6

1 UPPER ROOF PLAN - AREA B
 1/8" = 1'-0"



1 UPPER ROOF PLAN - AREA C
1/8" = 1'-0"

- KEYNOTES**
- 6 EXISTING METAL ROOF SYSTEM TO REMAIN
 - 21 GUTTER
 - 23 METAL ROOF SYSTEM



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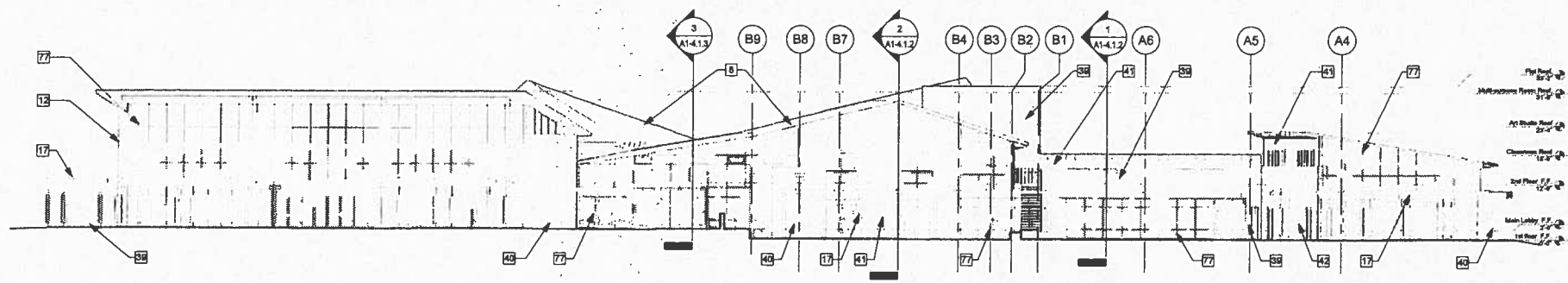
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UPPER ROOF PLAN - AREA C

Revisions		
No.	Description	Date

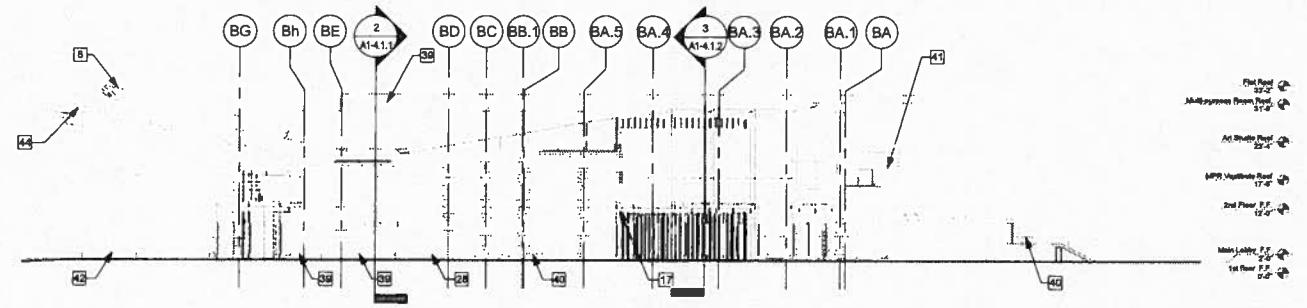
Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A1-2.3.7



① NORTH ELEVATION
1/16" = 1'-0"



② EAST ELEVATION
1/16" = 1'-0"

- KEYNOTES**
- 8 EXISTING METAL ROOF SYSTEM TO REMAIN
 - 12 STEEL COLUMN, SEE STRUCTURAL DRAWINGS
 - 17 TRELIS
 - 28 ROLLING GATE
 - 39 CEMENT PLASTER
 - 40 STONE VENEER
 - 41 FIBER CEMENT SIDING
 - 42 FIBER CEMENT SHINGLE
 - 44 RAFTER TAIL PAINT
 - 77 METAL STOREFRONT SYSTEM



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**OVERALL EXTERIOR
ELEVATIONS**

Revisions

No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	HBC
Checked by	
Sheet Number	

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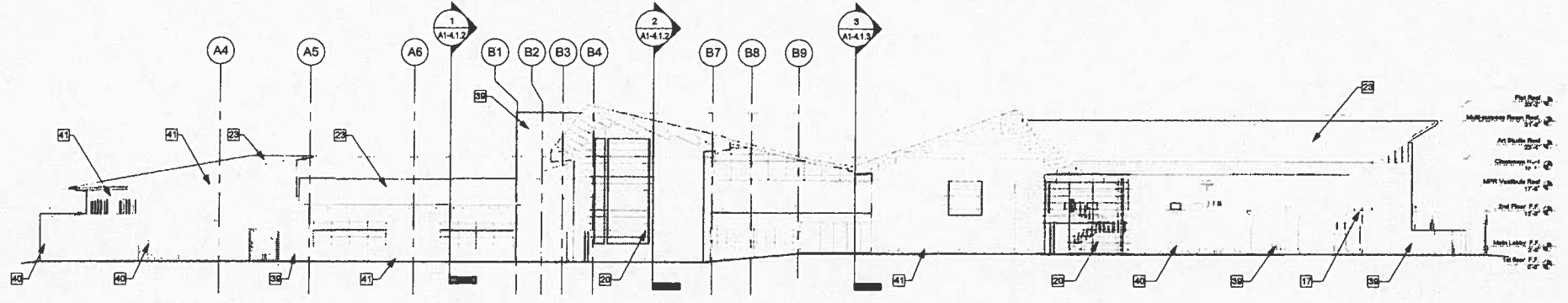


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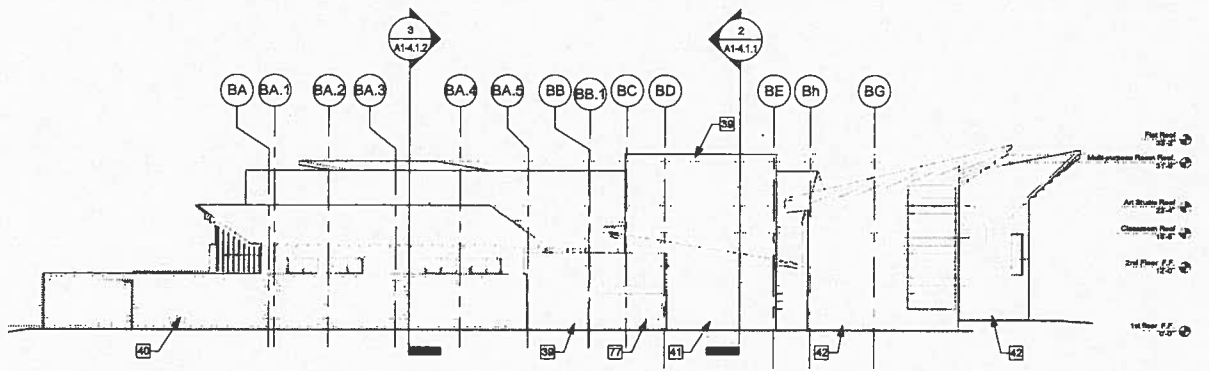
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**OVERALL EXTERIOR
ELEVATIONS**

- KEYNOTES**
- 17 TRELLIS
 - 20 LOUVERS
 - 23 METAL ROOF SYSTEM
 - 38 CEMENT PLASTER
 - 40 STONE VENEER
 - 41 FIBER CEMENT SIDING
 - 42 FIBER CEMENT SHINGLE
 - 77 METAL STOREFRONT SYSTEM



① SOUTH ELEVATION
1/16" = 1'-0"



② WEST ELEVATION
1/16" = 1'-0"

Revisions

No.	Description	Date

Activity
**CONSTRUCTION
DOCUMENTS**

RNT Job No.	594.00
Date	11/02/2012
Drawn by	HBC
Checked by	
Sheet Number	

A1-3.1.2



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**PARTIAL EXTERIOR
ELEVATIONS**

Revisions

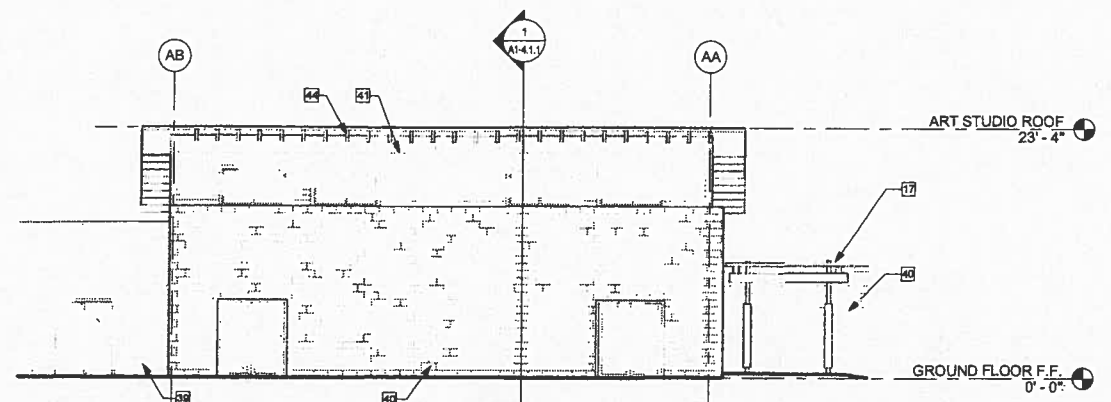
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Activity
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DOCUMENTS**

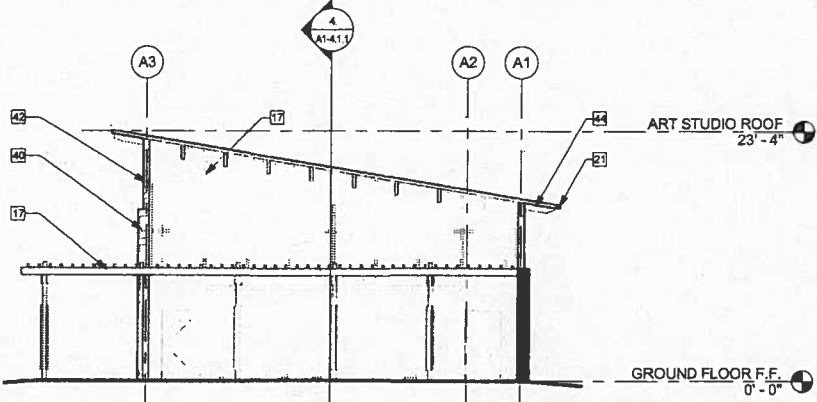
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Checked by	Checker
Sheet Number	

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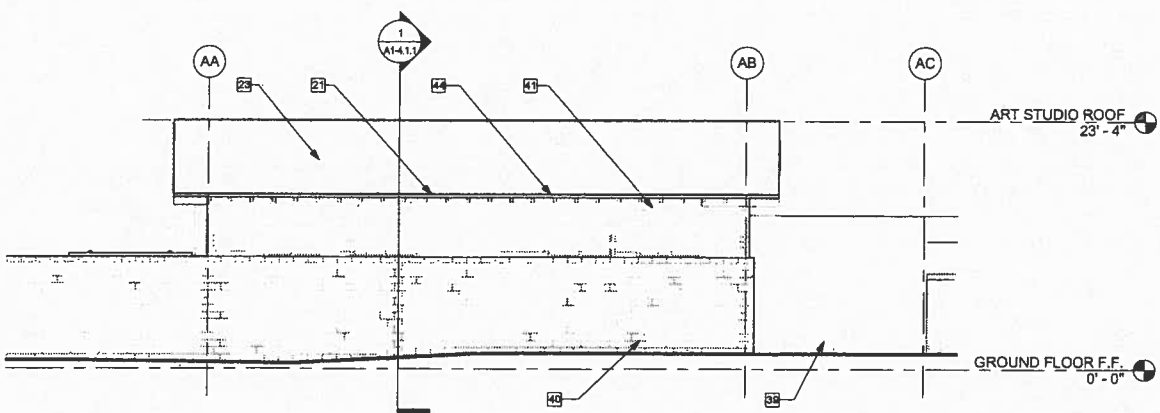
- KEYNOTES**
- 17 TRELLIS
 - 20 LOUVERS
 - 21 GUTTER
 - 23 METAL ROOF SYSTEM
 - 39 CEMENT PLASTER
 - 40 STONE VENEER
 - 41 FIBER CEMENT SIDING
 - 42 FIBER CEMENT SHINGLE
 - 44 RAFTER TAIL PAINT
 - 77 METAL STOREFRONT SYSTEM



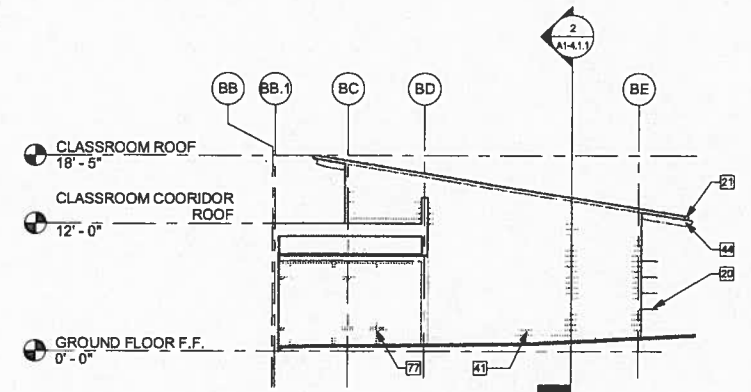
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1/8" = 1'-0"



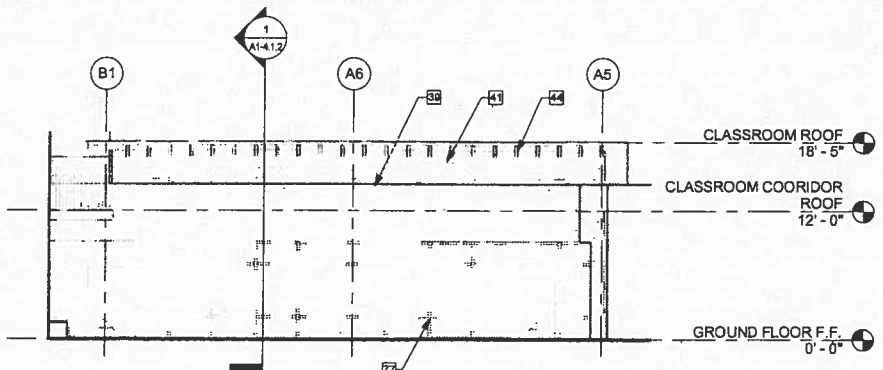
1 ART ROOM - NORTH ELEVATION
1/8" = 1'-0"



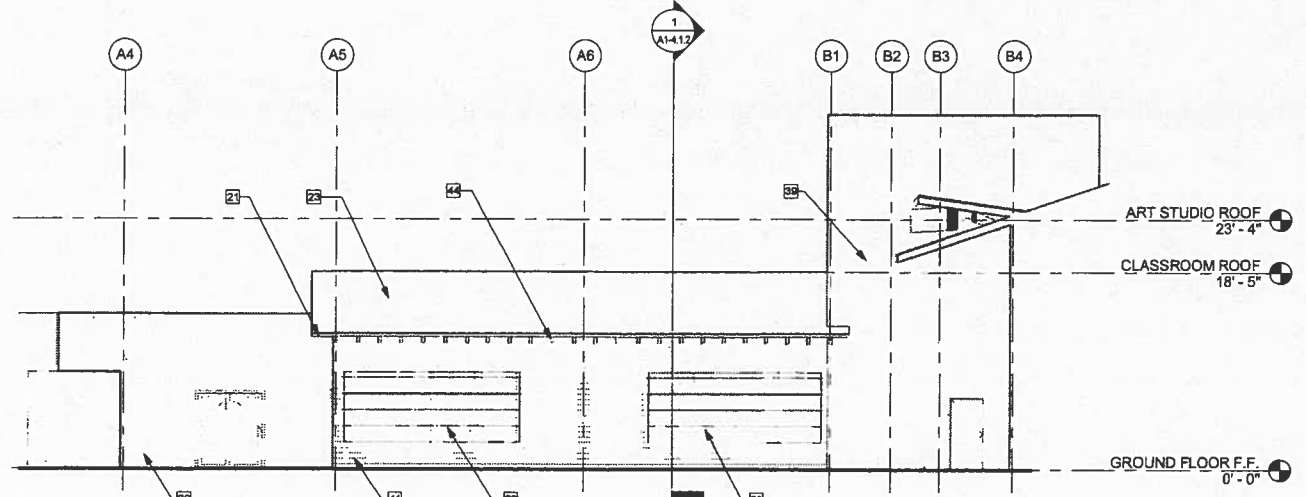
5 ART ROOM - WEST ELEVATION
1/8" = 1'-0"



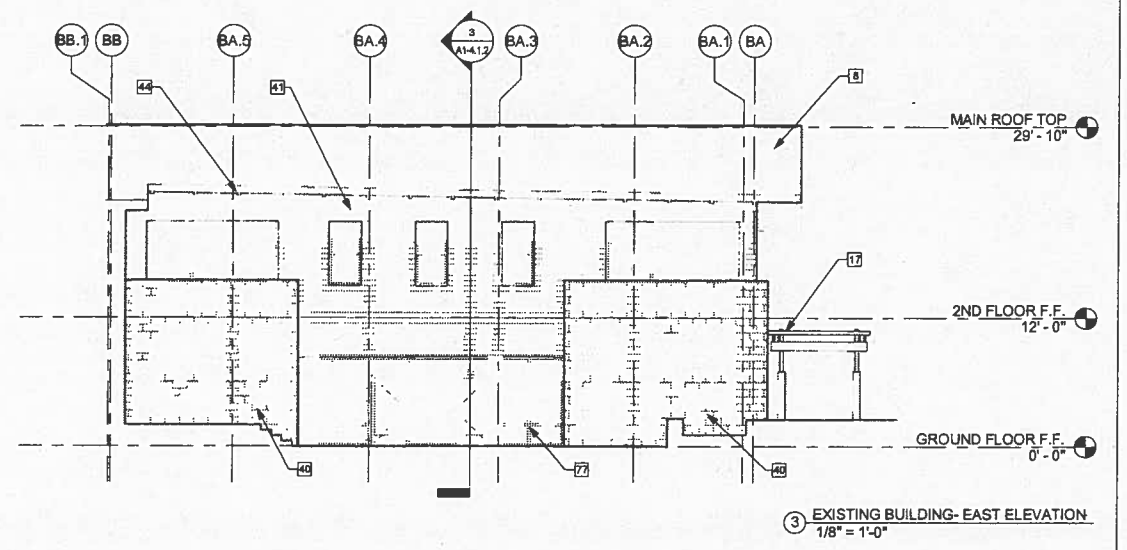
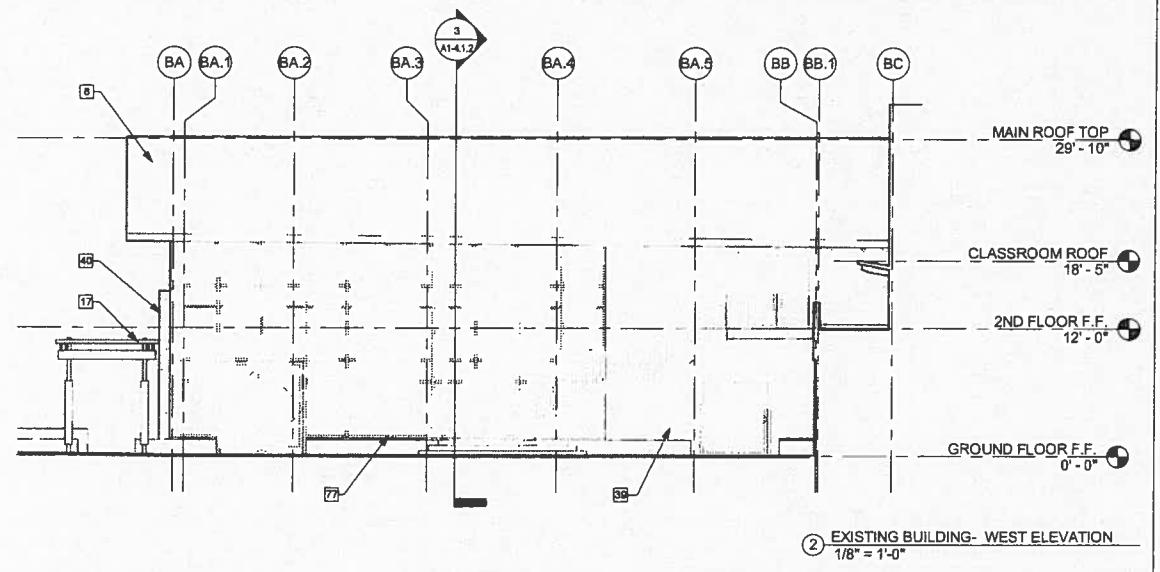
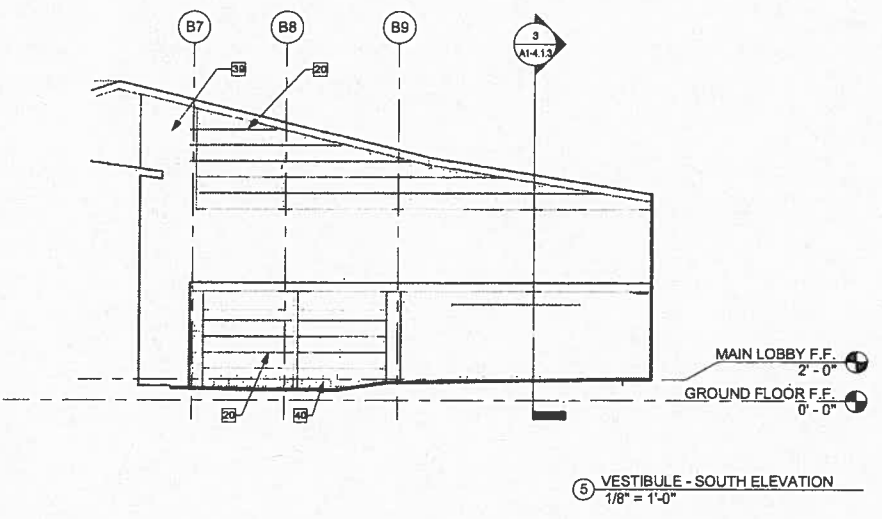
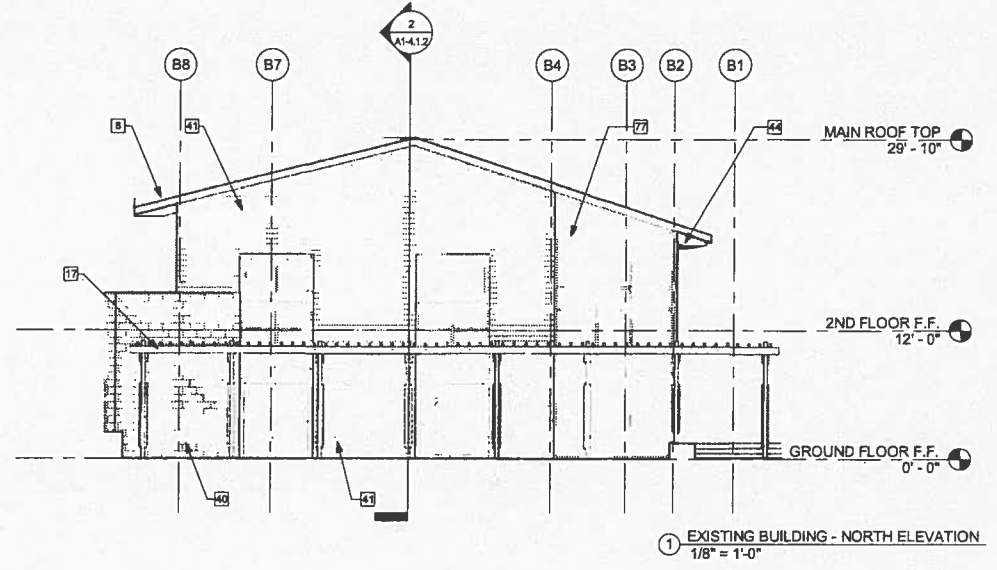
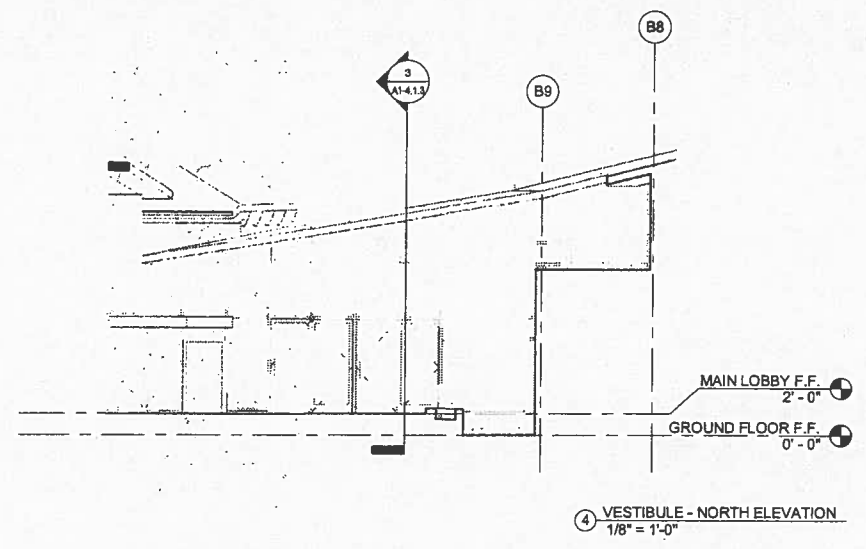
2 CLASSROOM - WEST ELEVATION
1/8" = 1'-0"



6 CLASSROOM - NORTH ELEVATION
1/8" = 1'-0"



3 CLASSROOM - SOUTH ELEVATION
1/8" = 1'-0"



- KEYNOTES**
- 5 EXISTING METAL ROOF SYSTEM TO REMAIN
 - 17 TRELLIS
 - 20 LOUVERS
 - 39 CEMENT PLASTER
 - 41 STONE VENEER
 - 44 FIBER CEMENT SIDING
 - 44 RAFTER TAIL PAINT
 - 77 METAL STOREFRONT SYSTEM



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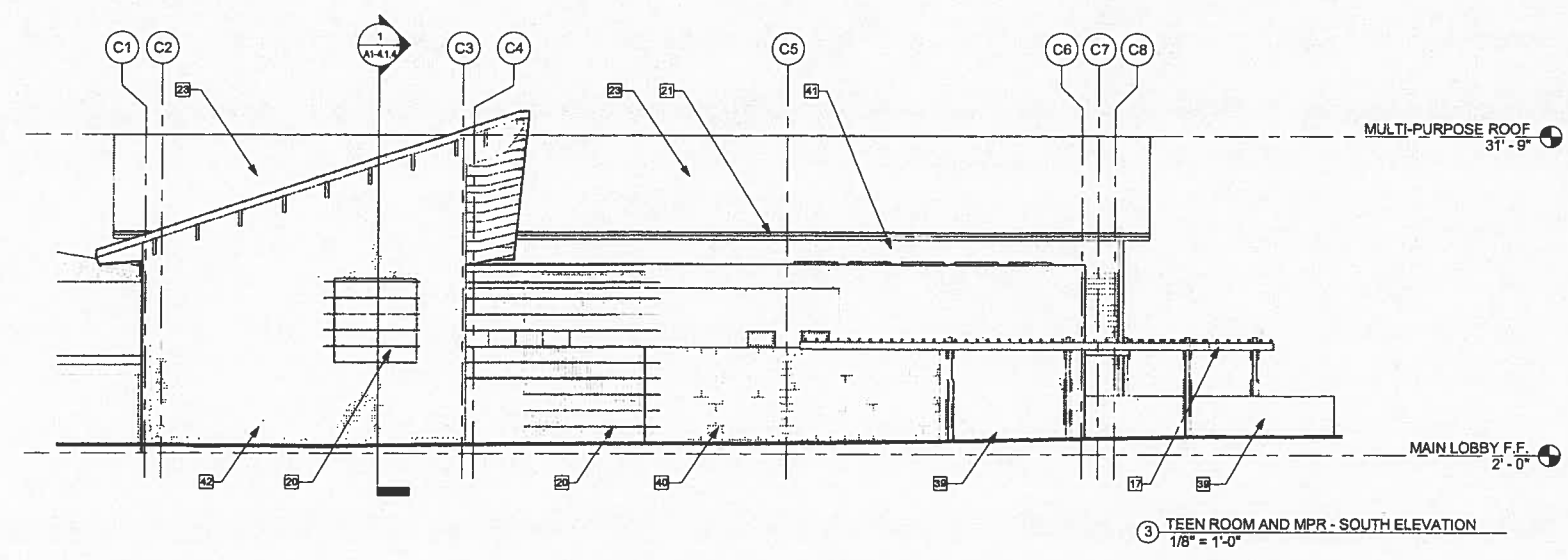
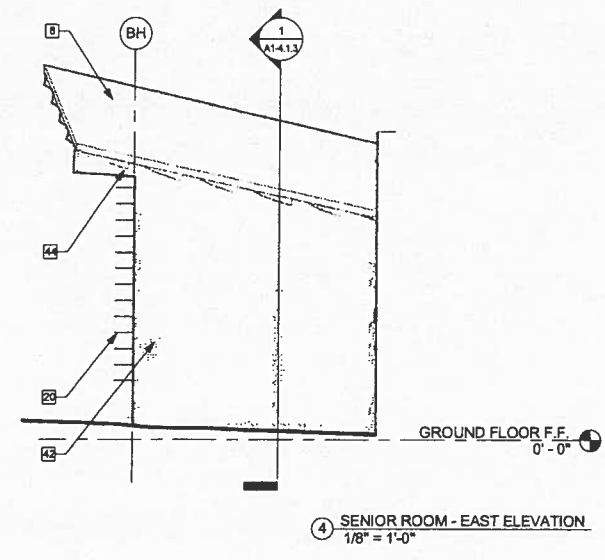
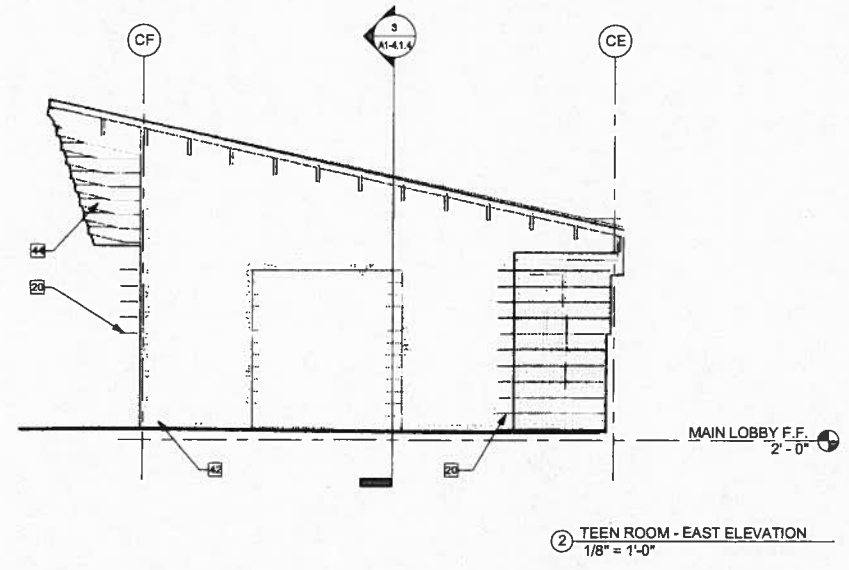
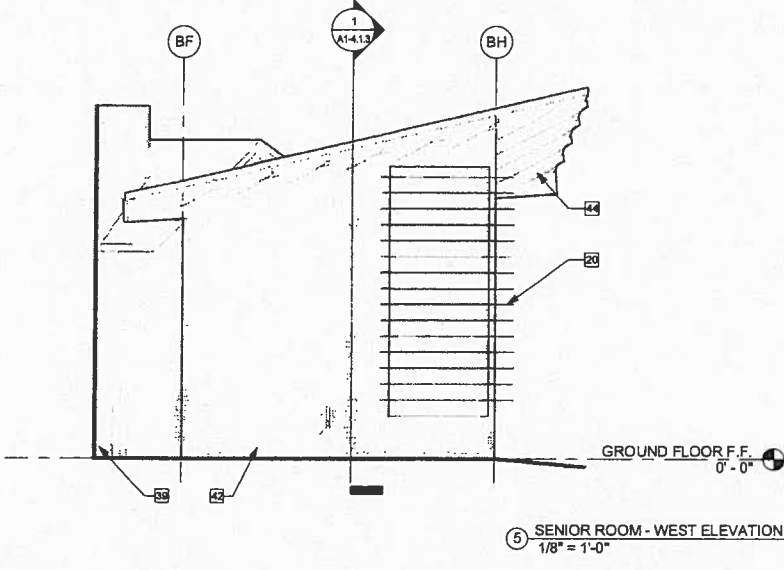
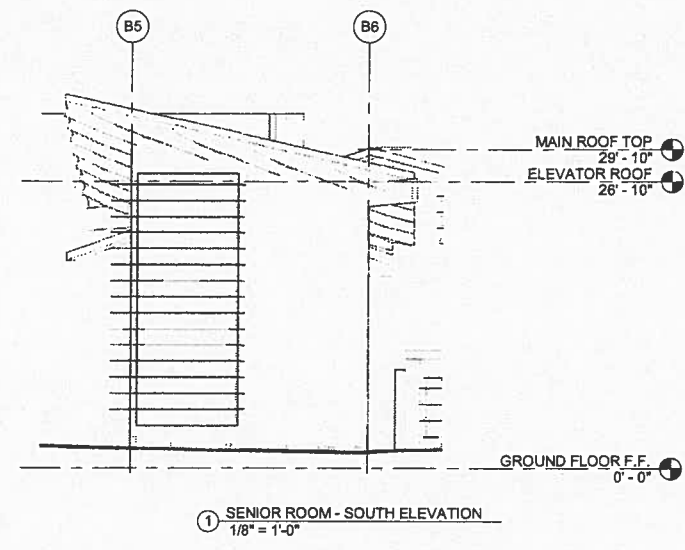
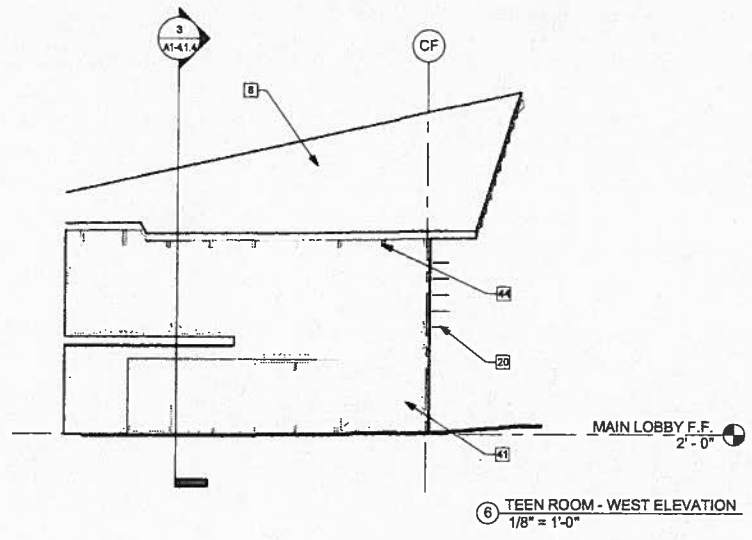
PARTIAL EXTERIOR ELEVATIONS

Revisions		
No.	Description	Date


Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A1-3.2.2



- KEYNOTES**
- 8 EXISTING METAL ROOF SYSTEM TO REMAIN
 - 17 TRELLIS
 - 20 LOUVERS
 - 21 GUTTER
 - 23 METAL ROOF SYSTEM
 - 36 CEMENT PLASTER
 - 40 STONE VENEER
 - 41 FIBER CEMENT SIDING
 - 42 FIBER CEMENT SHINGLE
 - 44 RAFTER TAIL, PAINT


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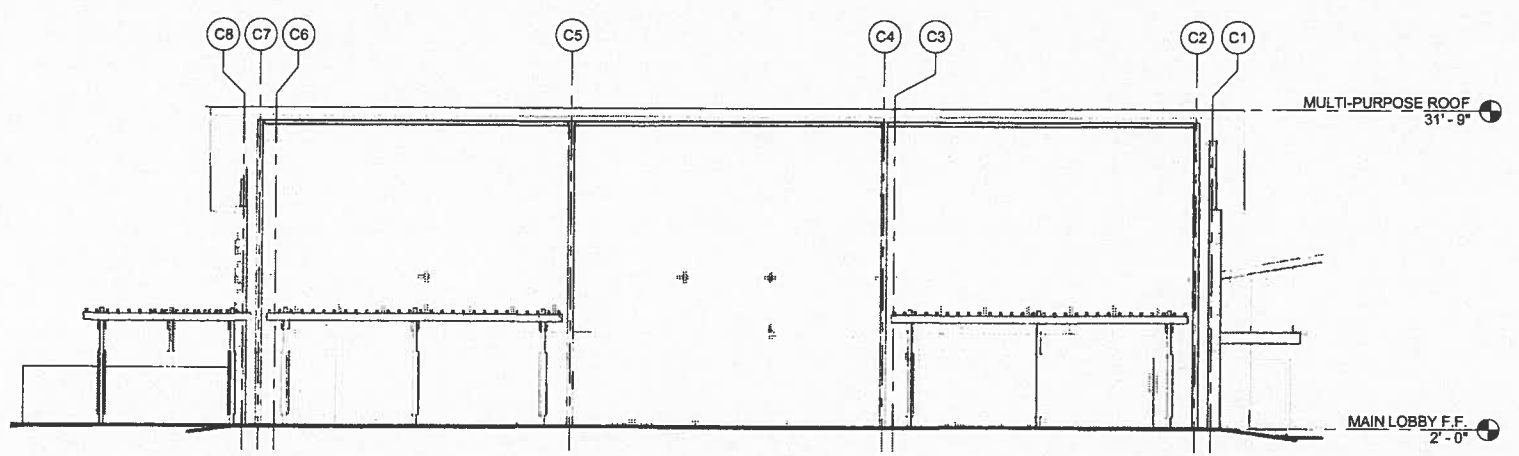
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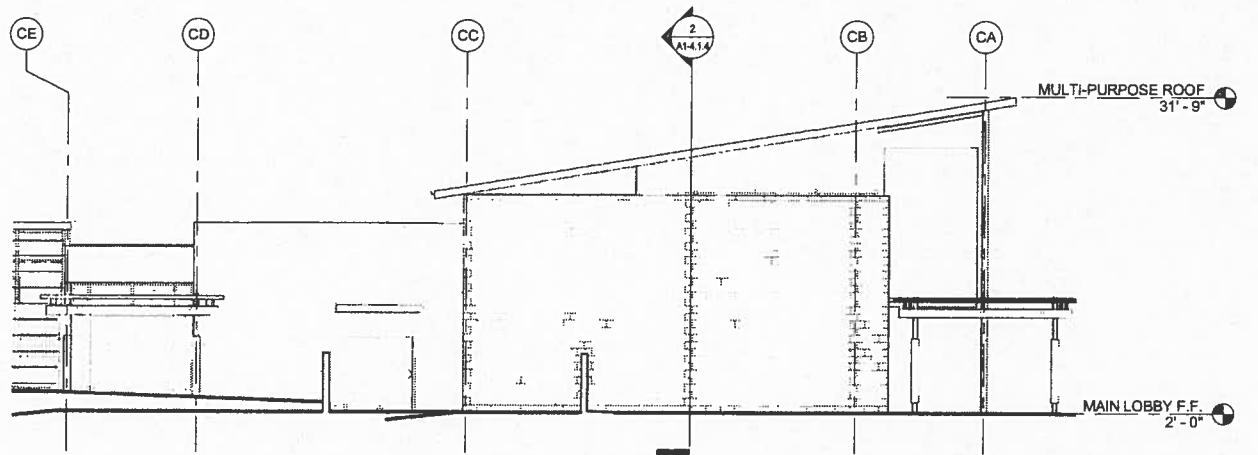
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Date	11/02/2012
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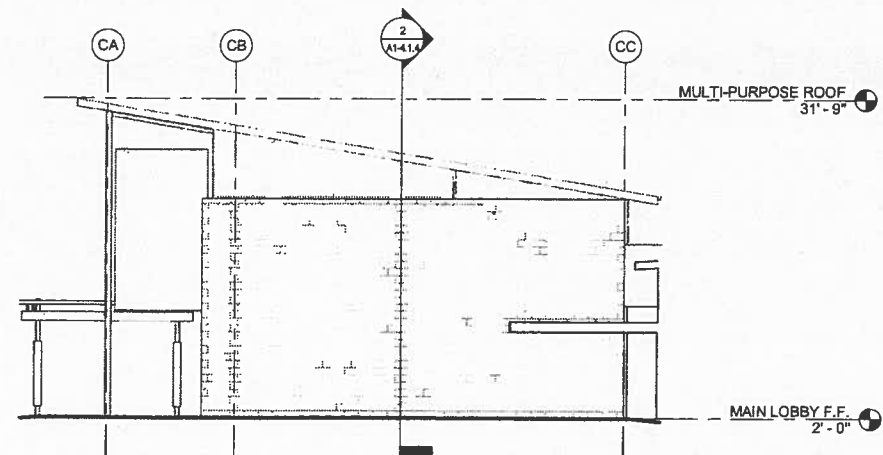
A1-3.2.3



① MPR - NORTH ELEVATION
1/8" = 1'-0"



② MPR - EAST ELEVATION
1/8" = 1'-0"



③ MPR - WEST ELEVATION
1/8" = 1'-0"

KEYNOTES



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PARTIAL EXTERIOR
ELEVATIONS

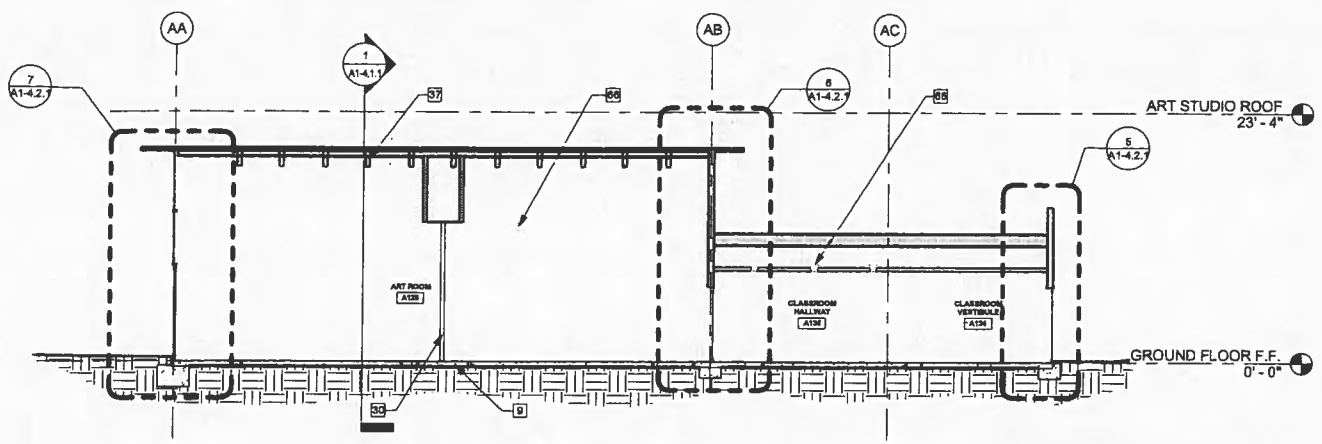
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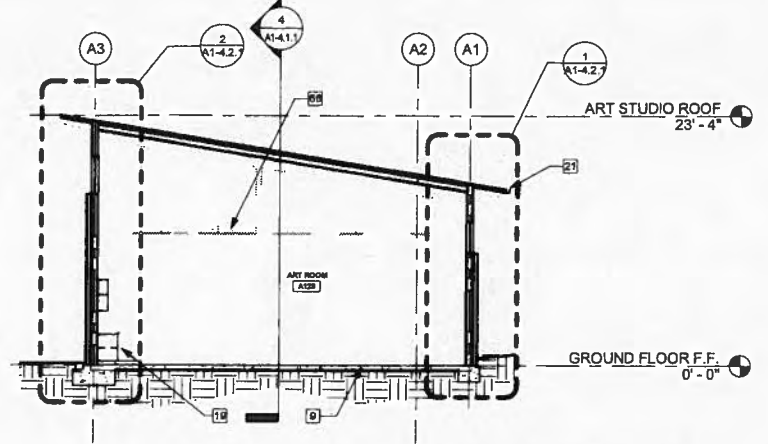
Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
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Sheet Number	

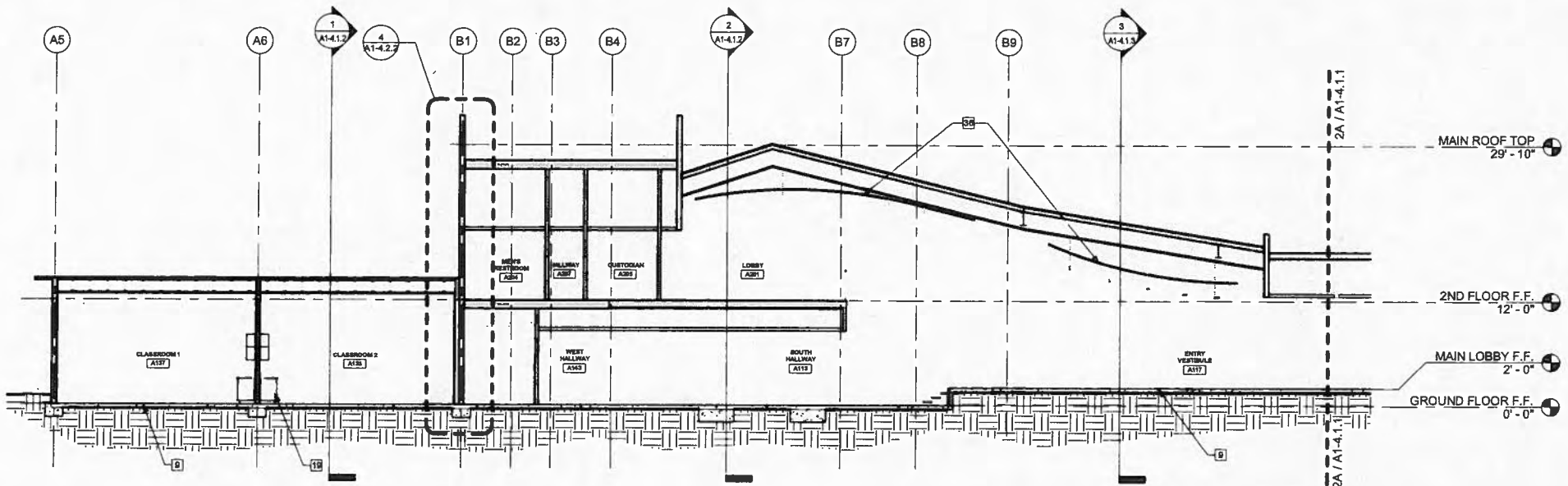
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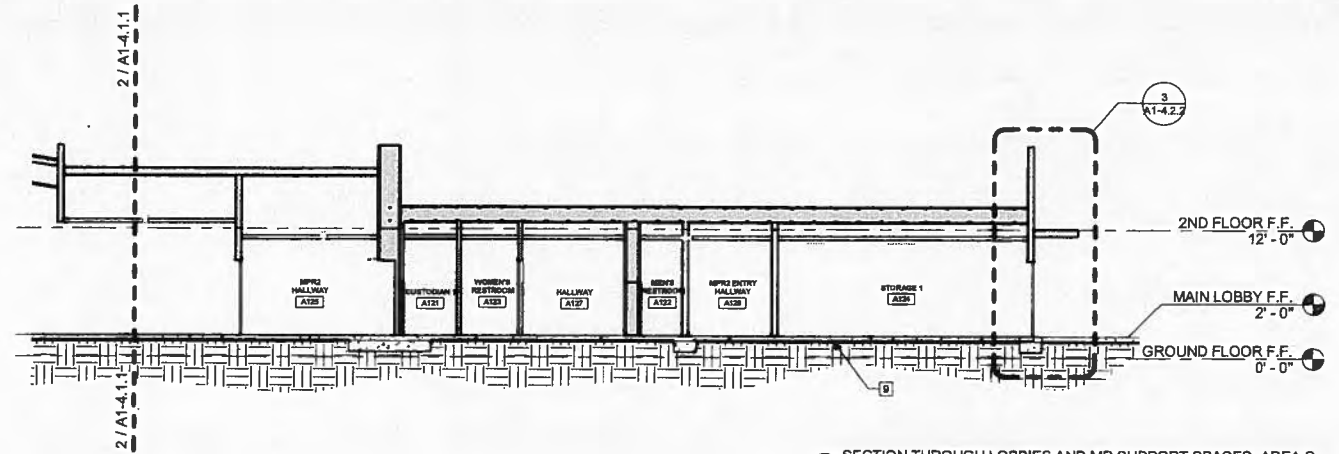
4 SECTION THROUGH ART ROOM 2
1/8" = 1'-0"



1 SECTION THROUGH ART ROOM 1
1/8" = 1'-0"



2 SECTION THROUGH LOBBIES AND MR SUPPORT SPACES- AREA A AND B
1/8" = 1'-0"



2A SECTION THROUGH LOBBIES AND MR SUPPORT SPACES- AREA C
1/8" = 1'-0"

- KEYNOTES**
- 0 CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS
 - 18 CASEWORK, REFER TO INTERIOR ELEVATIONS
 - 21 GUTTER
 - 30 OPERABLE PARTITION
 - 36 SUSPENDED CEILING FEATURE
 - 37 EXPOSED ROOF STRUCTURE, REFER TO STRUCTURAL DRAWINGS
 - 85 LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS



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BUILDING SECTIONS

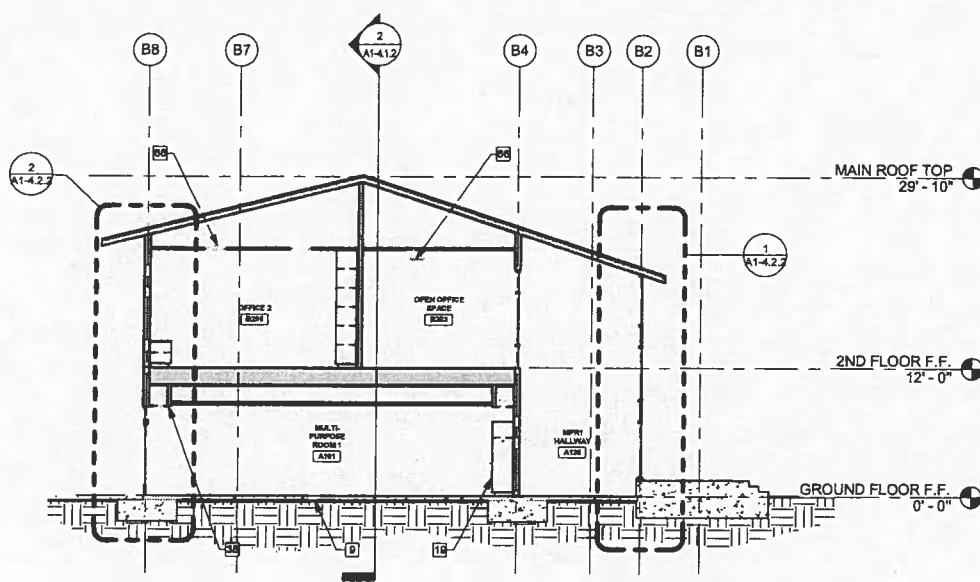
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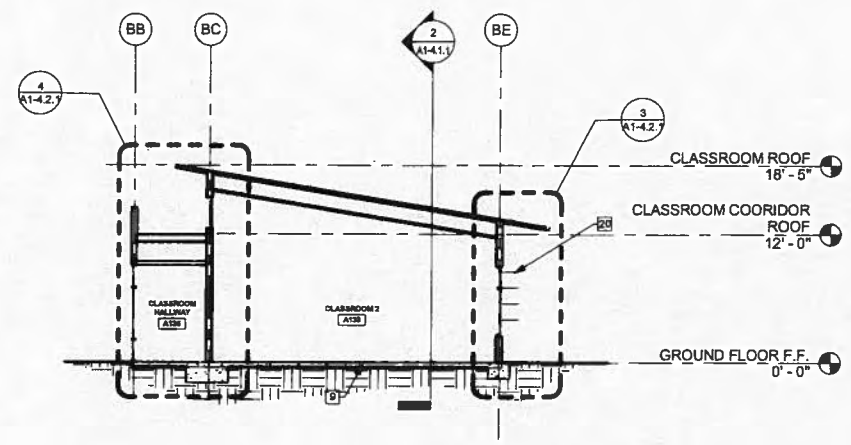
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RNT Job No.	594.00
Date	11/02/2012
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Sheet Number	

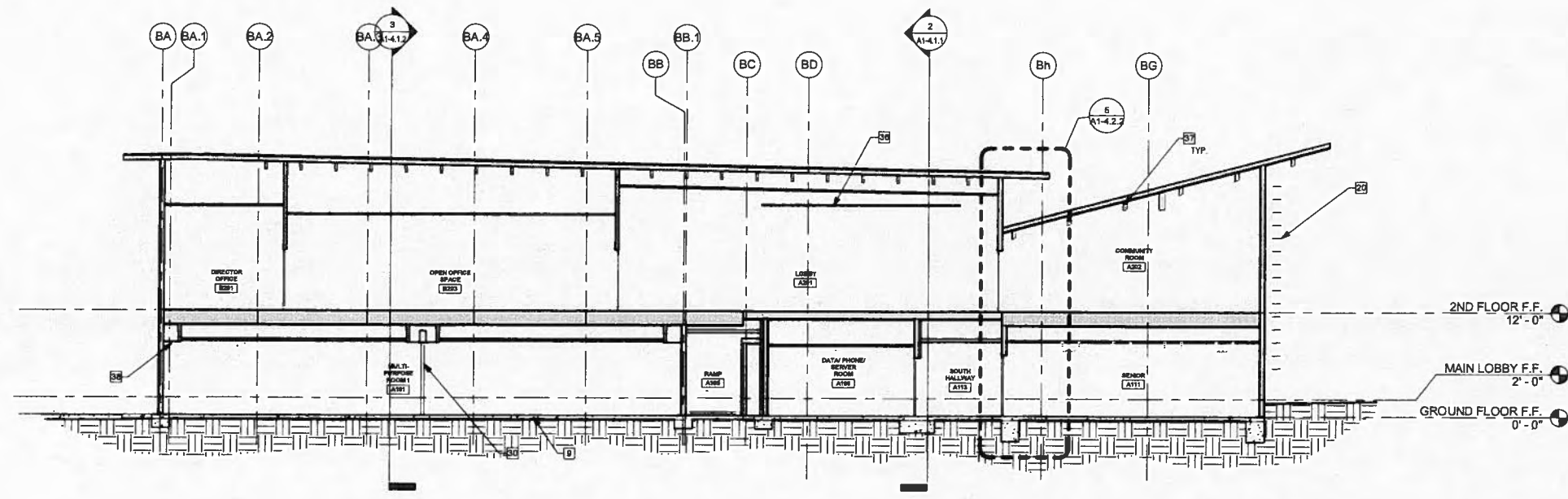
A1-4.1.1



③ SECTION THROUGH MAIN BUILDING
1/8" = 1'-0"



① SECTION THROUGH CLASSROOM
1/8" = 1'-0"



② SECTION THROUGH MPR, OFFICES, SENIOR ROOM AND COMMUNITY ROOM
1/8" = 1'-0"

- KEYNOTES**
- 0 CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS
 - 10 CASEWORK, REFER TO INTERIOR ELEVATIONS
 - 20 LOUVERS
 - 30 OPERABLE PARTITION
 - 36 SUSPENDED CEILING FEATURE
 - 37 EXPOSED ROOF STRUCTURE, REFER TO STRUCTURAL DRAWINGS
 - 38 SOFFIT
 - 66 LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS



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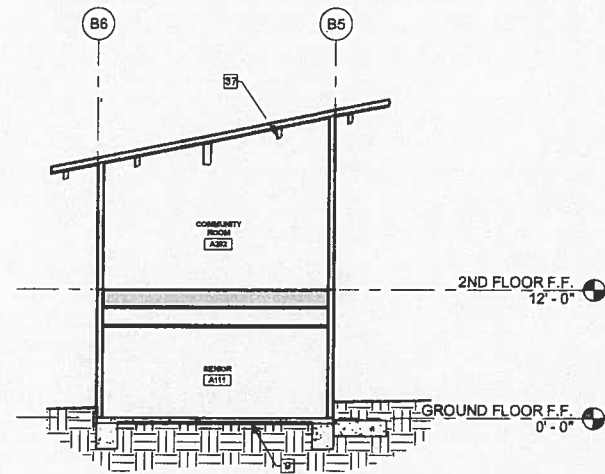
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BUILDING SECTIONS

Revisions		
No.	Description	Date

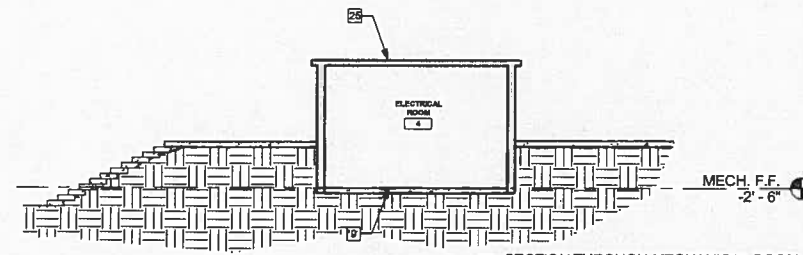
Activity
CONSTRUCTION DOCUMENTS

RNT Job No. 594.00
Date 11/02/2012
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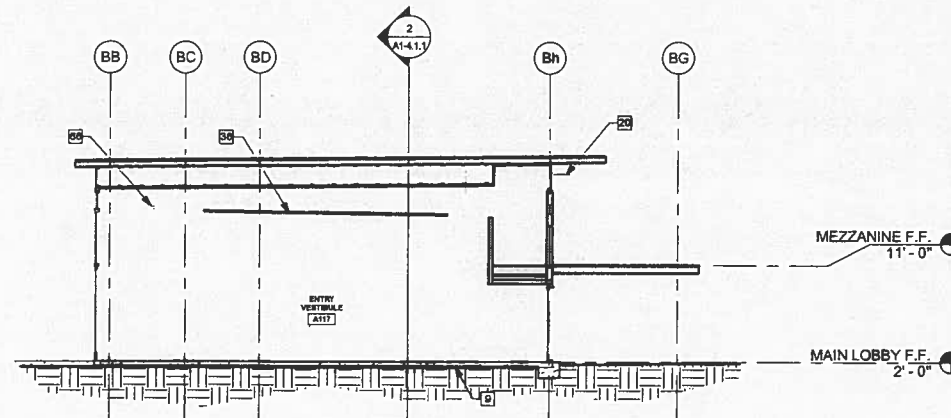
A1-4.1.2



① SECTION THROUGH SENIOR ROOM
1/8" = 1'-0"



② SECTION THROUGH MECHANICAL ROOM
1/8" = 1'-0"



③ SECTION THROUGH MAIN LOBBY
1/8" = 1'-0"

- KEYNOTES**
- # CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS
 - 20 LOUVERS
 - 25 GREEN ROOF SYSTEM
 - 36 SUSPENDED CEILING FEATURE
 - 37 EXPOSED ROOF STRUCTURE, REFER TO STRUCTURAL DRAWINGS
 - 65 LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS



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BUILDING SECTIONS

Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No. 594.00
Date 11/02/2012
Drawn by HBC
Checked by
Sheet Number

A1-4.1.3

general notes

- Contractor shall read and understand the specifications and conditions of approval prior to commencing work. Failure to adhere to the specifications may result in a delay of the project at the contractor's expense. Contractor is responsible for any loss due to his/her decision to alter the design or layout of this project in any way.
- Contractor shall confirm all field dimensions and conditions prior to the start of work. Any discrepancies with plans shall be reported to the University's Representative.
- Due to unforeseen circumstances that occur as projects undergo construction, site conditions will change. Therefore, if a proposed built element, grade changes, or planting seems problematic and is evident that it is not realistic due to new site conditions, please call The University's Representative to coordinate this issue prior to construction.
- These plans were developed utilizing survey information provided by others. Landscape Architect holds not obligation to verify and or adjust base.
- Contractor shall make modifications to material or method of installation as required by local code, and shall notify the Landscape Architect of such changes.
- Contractor shall provide a 4' x 4' area sample of each class of paving for approval by the University's Representative and Landscape Architect.



sheet index

Sheet	Description
L1.00	GENERAL NOTES, ABBREVIATIONS & SYMBOL LEGEND
L1.10	HARDSCAPE OVERALL SITE PLAN
L1.11	HARDSCAPE PAVING AND DECKING DETAILS
L1.12	HARDSCAPE STAIR DETAILS
L2.00	IRRIGATION OVERALL SITE PLAN
L2.10	IRRIGATION DETAILS
L2.11	EPIC SYSTEM DETAILS
L2.12	IRRIGATION SCHEDULE
L3.00	LANDSCAPE OVERALL SITE PLAN
L3.10	LANDSCAPE SECTIONS
L3.11	LANDSCAPE DETAILS

abbreviations

@	- at
AVAIL.	- available
CONC.	- concrete
DG.	- stabilized decomposed granite
DIA.	- diameter
DTL.	- detail
MAX.	- maximum
MIN.	- minimum
O.C.	- on center
PA	- planting
TYP.	- typical
W/	- with

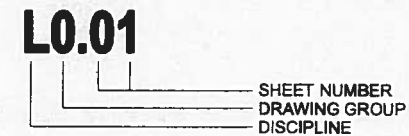
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---	Limits of Grading
⊕	Detail Number
⊕	Sheet Number

material legend

	Pre-Cast Concrete Pavers	
	Integral Colored Concrete Paving W/ tooled joint pattern per plan	
	Natural Color Concrete Paving W/ tooled joint pattern per plan	(2) L2.11
	Exposed Aggregate Concrete Paving W/ bush hammered finish	(L2.11)
	Rubber Matting - Spectra Pour CA at play area and Spectra Top to be used in fire lane	
	Resysta Synthetic Decking; color "aged-FVG-C23"	(L2.11)
	Stabilized Decomposed Granite over class II base; color "Gall's Gold"	(3.4) L2.11
	Exposed Cast-in-Place Concrete Raised Planter Walls; finish and color to match exposed concrete building walls. see ARCH for details.	
	Metal Bicycle Racks; Model #: Mini-Lok W/ anchor kit MANUF. by Sunshine U-Lok Corporation, (818) 707-0110	

drawing set organization



drawing groups

0	GENERAL
2	HARDSCAPE
3	IRRIGATION
4	LANDSCAPE



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CLP 2008

CITY OF AGOURA HILLS

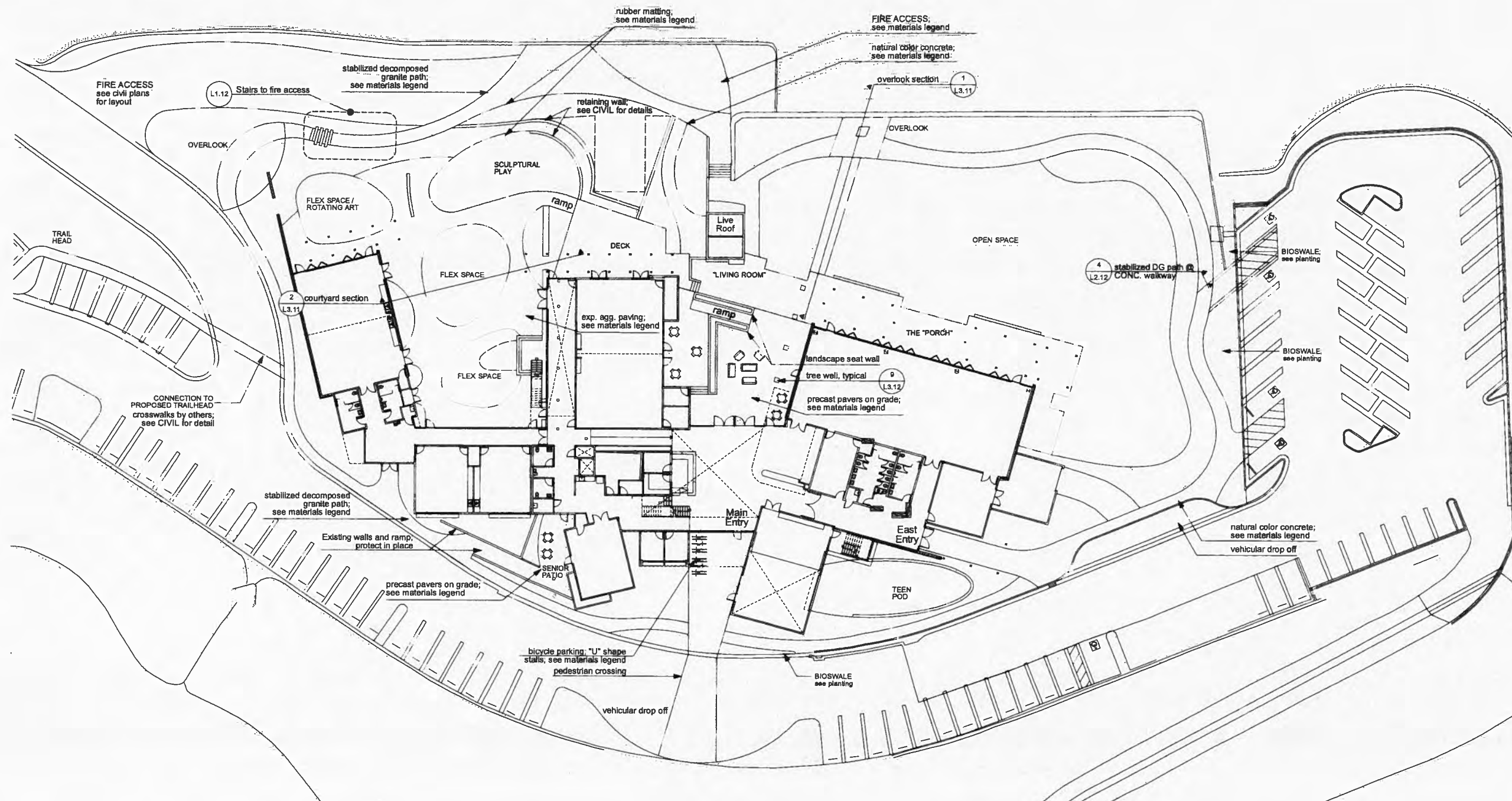
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AGOURA HILLS, CA 91301

Revisions	Activity

General Notes and Symbols

RNT Job No.	
Date	November 1, 2012
Drawn by	VAA
Checked by	VAA
Sheet Number	

L1.00



Legend

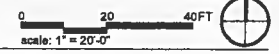
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- - - Limits of Grading
- # Detail Number
- SHT Sheet Number

material legend

- Pre-Cast Concrete Pavers
- Integral Colored Concrete Paving W/ tooled joint pattern per plan
- Natural Color Concrete Paving W/ tooled joint pattern per plan (2 L2.11)
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- Resysta Synthetic Decking; color "aged-FVG-C23" (L2.11)
- Stabilized Decomposed Granite over class II base; color "Gail's Gold" (3.4 L2.11)
- Exposed Cast-in-Place Concrete Raised Planter Walls; finish and color to match exposed concrete building walls. see ARCH for details.
- ||||| Metal Bicycle Racks; Model #: Mini-Lok W/ anchor kit; MANUF. by Sunshine U-Lok Corporation, (818) 707-0110

hardscape site plan




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Revisions

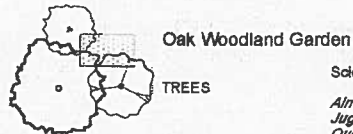
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Activity
Hardscape Site Plan

RNT Job No.
 Date November 1, 2012
 Drawn by VAA
 Checked by VAA
 Sheet Number

L1.10

PLANT PALETTES



Oak Woodland Garden

TREES

Scientific Name

- Alnus rhombifolia*
- Juglans californica*
- Quercus lobata*
- Quercus agrifolia*
- Sambucus mexicana*

SHRUBS

- Mahonia equifolium 'Compacta'*
- Mahonia repens*
- Ribes viburnifolium*
- Ribes aureum gracillimum*
- Ribes malvaecum viridifolium*
- Ribes speciosum*
- Salanum xanthi*
- Symphoricarpos mollis*

PERENNIALS

- Fragaria chiloensis*
- Iris douglasiana*
- Penstemon speciosus*
- Penstemon heterophyllus australis*
- Potentilla glandulosa*
- Salvia spathacea*
- Salureja douglasii*
- Stachys albens*
- Thalictrum fendleri*
- Veronica carpesoloides*

- White Alder
- S. California Black Walnut
- Valley Oak
- Coast Live oak
- Mexican Elderberry

- Compact Oregon Grape
- Creeping Mahonia
- Catalina Perfume
- Golden Currant
- Chaparral Currant
- Fuchsia-Flowered Gooseberry
- Purple Nightshade
- Creeping Snowberry

- Wild Strawberry
- Douglas Iris
- Beard Tongue
- Southern Foothill Penstemon
- Sticky cinquefoil
- Hummingbird Sage
- Yerba Buena
- White Hedge Nettle
- Meadow Rue
- Canyon Sunflower

Oak Woodland Continued

GRASSES (See the Savanna/Grassland List)

BIENNIALS/ANNUALS

- Claytonia perfoliata*
- Collinsia heterophylla*

FERNS/MOSS

- Dryopteris arguta*
- Polypodium californicum*
- Adiantum jordanii*
- Pellaea andromedifolia*
- Pentagramma triangularis*
- * Plant species found on site

- Miner's-Lettuce
- Chinese Houses

- Wood Fern
- California Polypody
- California Maiden-Hair
- Coffee Fern
- Goldback Fern



Savanna and Grassland

TREES

- Scientific Name
- Quercus agrifolia*
- Quercus lobata*

- Common Name
- Coast Live Oak
- Valley Oak

PERENNIALS

- Asclepias fascicularis*
- Corithrogyne flagellifolia*
- Hemizonia fasciculata*

- Narrow-Leaved Milkweed
- Cudweed Aster
- Fasciated Tarweed

Savanna and Grassland Continued

GRASSES

- Bromus carinatus*
- Distichlis spicata*
- Elymus glaucus*
- Koeleria macrantha*
- Leymus condensusatus*
- Melica californica*
- Melica imperfecta*
- Nassella lepida*
- Nassella pulchra*
- Poa secunda*
- Vulpia microstachys var. pauciflora*
- Carex praegracilis*

EPIC GREEN AREA

BULBS/CORMS

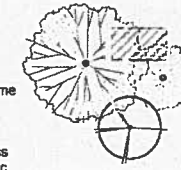
- Bloomeria crocea*
- Calochortus venustus*
- Dichelostemma capitatum*

BIENNIALS/ANNUALS

- Amsinckia menziesii var. intermedia*
- Calandrinia ciliata var. menziesii*
- Clarkia purpurea var. quadrivulnera*
- Clarkia unguiculata*
- Cryptantha intermedia*
- Dodecatheon clevelandii sanctorum*
- Linaris dianthiflorus*
- Lupinus bicolor*
- Lupinus concinnus*
- Lupinus truncatus*
- Phacelia cicutaria hispida*
- Phacelia nathanielii*
- Phacelia guthriei*
- Mirabilis laevis crassifolia*
- * Plant species found on site

- Golden-Stars
- Butterfly Mariposa Lily
- Blue Dicks

- Fiddleneck
- Red-maids
- Purple Clarkia
- Elegant Clarkia
- Popcorn Flower
- Shooting-Star
- Ground Pink
- Miniature Lupine
- Baja Lupine
- Truncate Lupine
- Caterpillar Phacelia
- Valley Popcorn Flower
- Blue Fiesta Flower
- Wishbone Bush



Riparian Woodland & Scrub

TREES

Scientific Name

- Platanus racemosa*
- Populus fremontii*
- Salix exigua*
- Salix lasiolepis*

Common Name

- Western Sycamore
- Fremont Cottonwood
- Narrow-Leaf Willow
- Red Willow
- Arroyo Willow

SHRUBS

- Baccharis salicifolia*

- Mule Fat

PERENNIALS

- Anemopsis californica*
- Artemisia douglasiana*
- Barbarea orthoceras*
- Mimulus guttatus*
- Potentilla glandulosa*
- Rubus ursinus*
- Verbena lasiostachys var. scabrata*

- Yerba Mansa
- Mugwort
- Winter Cress
- Yellow Monkey Flower
- Sticky Cinquefoil
- California Blackberry
- Common Vervain

GRASSES

- Leymus triticoides*

- Alkali Ryegrass

PERENNIALS

- Anemopsis californica*
- Artemisia douglasiana*
- Barbarea orthoceras*
- Mimulus guttatus*
- Potentilla glandulosa*
- Rubus ursinus*
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- Mugwort
- Winter Cress
- Yellow Monkey Flower
- Sticky Cinquefoil
- California Blackberry
- Common Vervain

GRASSES

- Leymus triticoides*

- Alkali Ryegrass

Rooftop Garden

SUCCULENTS

- Dudleya fedtosa*
- Dudleya lanceolata*
- Sedum spurium*

Common Name

- Bluff Lettuce Dudleya
- Lance Leaf Dudleya
- Dragon's Blood Sedum

Subtropical Garden

TREES

Scientific Name

- Thevetia thevetioides*

Common Name

- Giant Thevetia

PERENNIALS

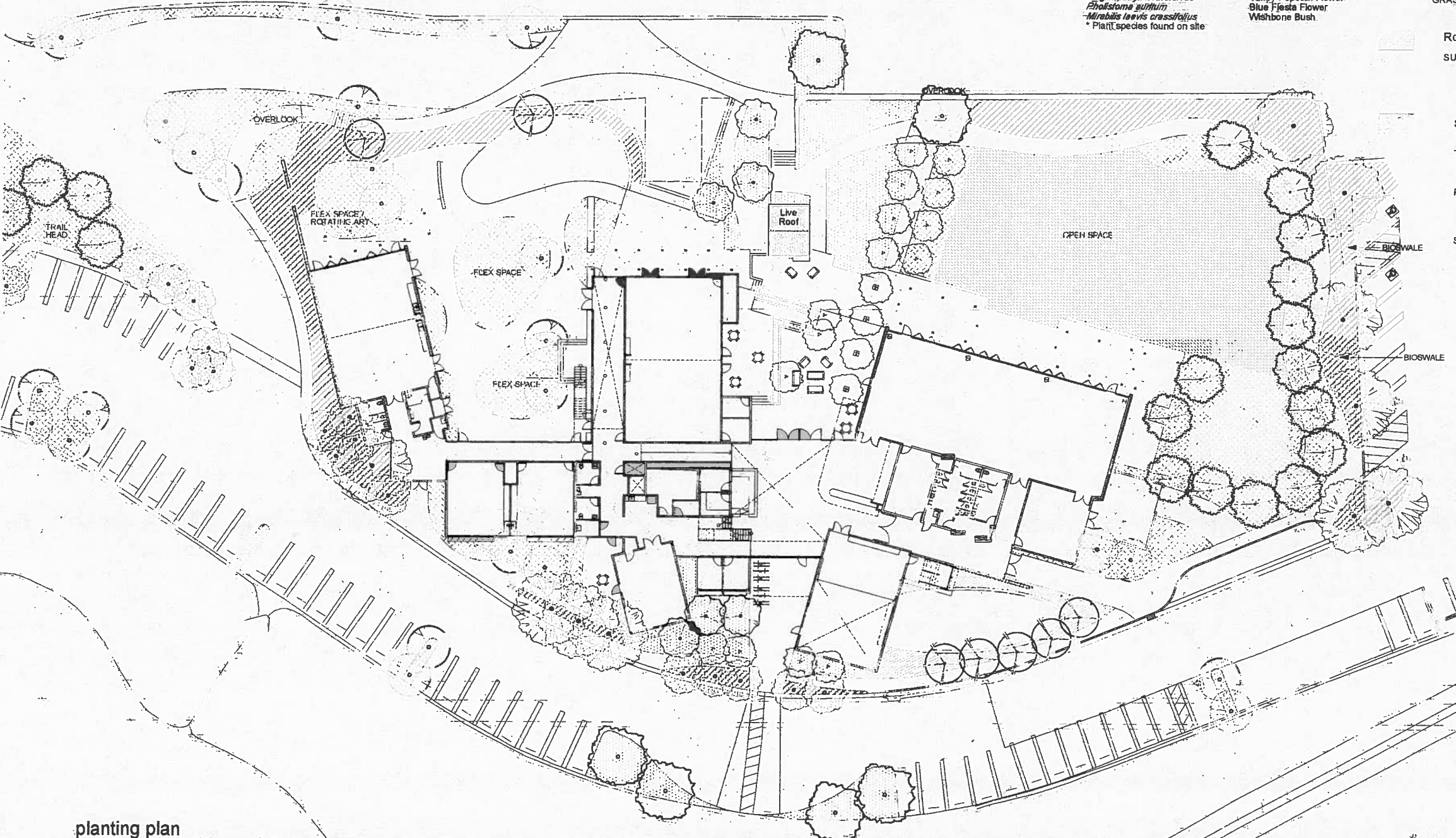
- Astelia chathamica 'Silver Spear'*
- Russelia equisetiformis*
- Strelitzia reginae*

- Silver Spear
- Coral Fountain
- Bird of Paradise

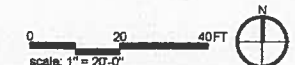
SHRUBS

- Brugmansia alba*
- Phoenix roebelenii*
- Plumeria*

- Angels' Trumpets
- Pygmy Date Palm
- Frangipani



planting plan



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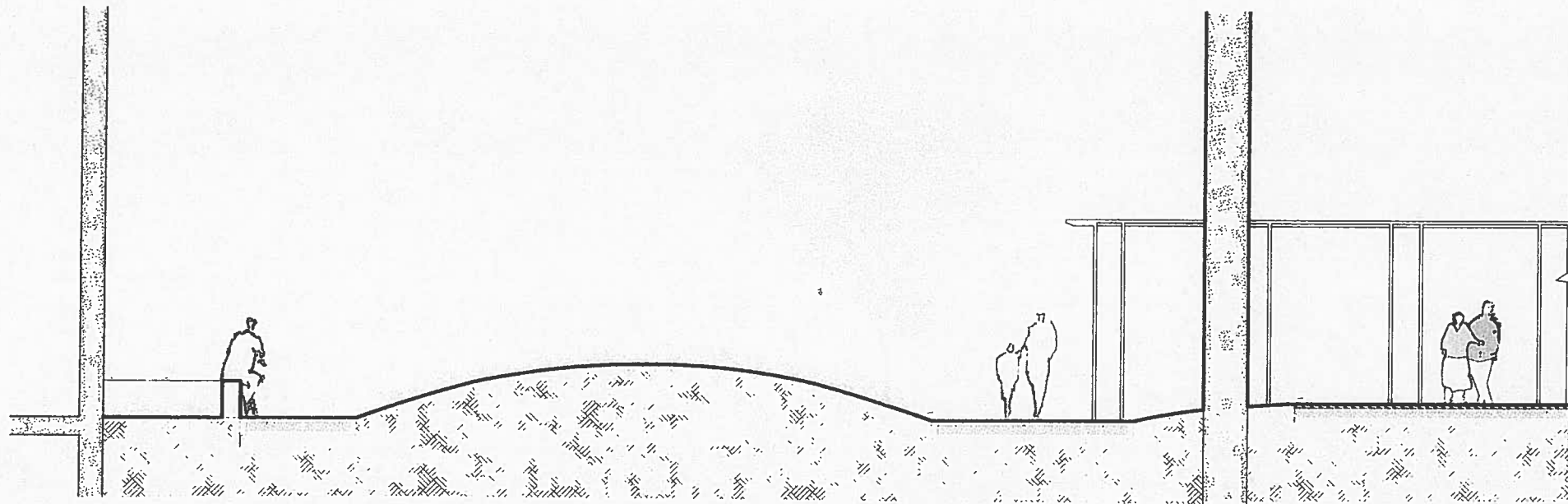
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29900 LADYFACE COURT
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Revisions

Activity
Landscape Planting Plan

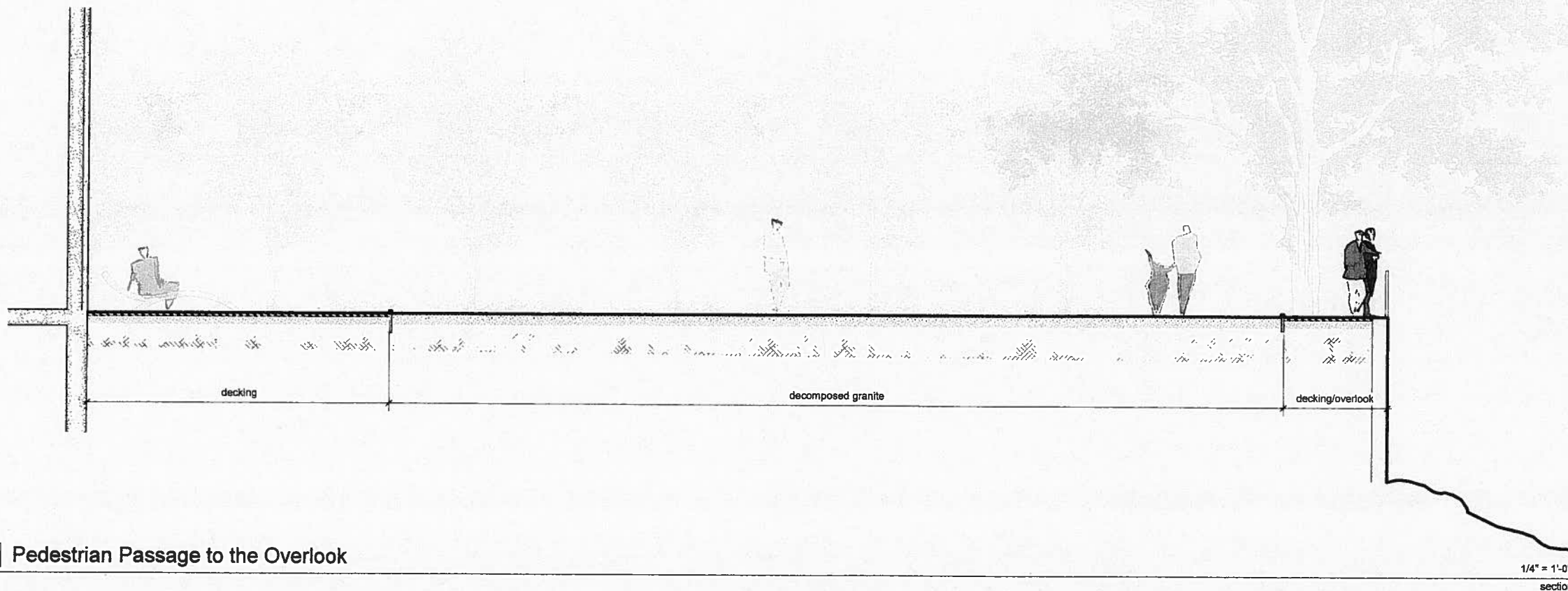
RNT Job No.
Date **November 1, 2012**
Drawn by **VAA**
Checked by **VAA**

Sheet Number
L3.00



2 Flex Space

1/4" = 1'-0"
section



1 Pedestrian Passage to the Overlook

1/4" = 1'-0"
section



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Revisions

No.	Description

Activity
**Landscape
Sections**

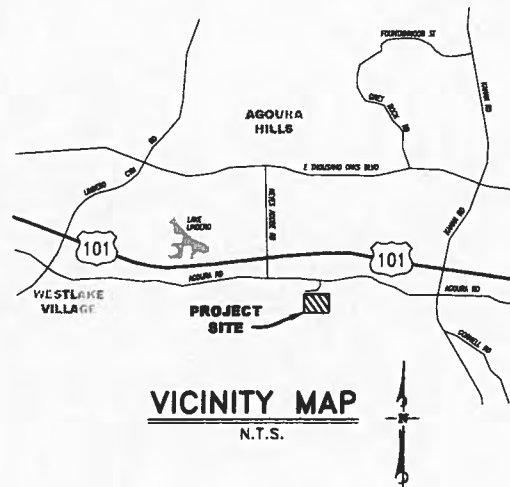
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Date November 1, 2012
Drawn by VAA
Checked by VAA
Sheet Number

L3.10

AGOURA HILLS RECREATION CENTER CIVIL IMPROVEMENTS

AIN 2061-005-915

IN THE CITY OF AGOURA HILLS, CA



BENCHMARK

BM Y 10426 ELEV. 881.45 FEET (NAVD88)
DPW TAG IN CATCH BASIN, 1' EAST OF BCR ON SE COR
AGOURA ROAD & LADYFACE CIRCLE.
2004 ADJUSTMENT

BASIS OF BEARINGS

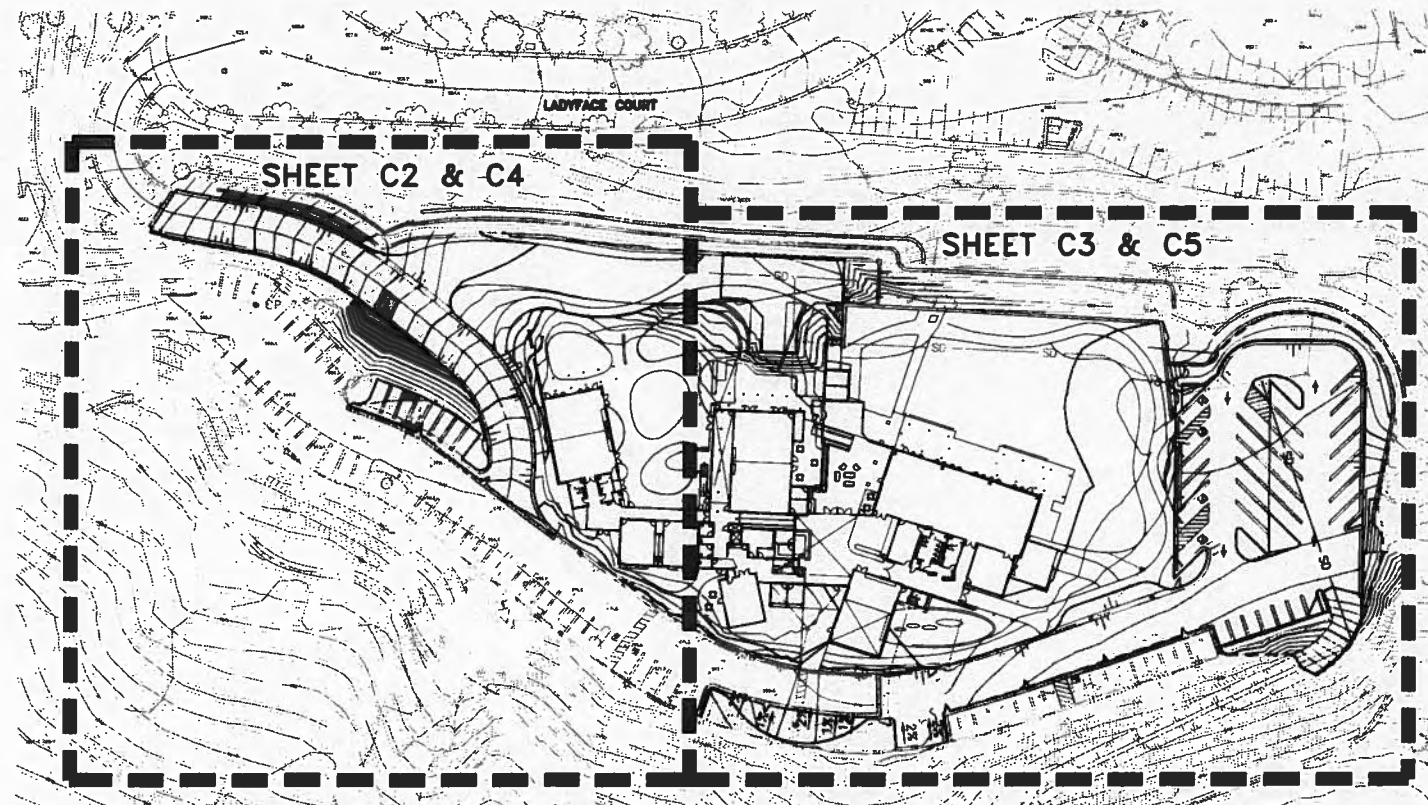
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM NAD83, ZONE 5, EPOCH 2011.0 AS DETERMINED LOCALLY BY A LINE BETWEEN CONTINUOUS GLOBAL POSITIONING STATIONS (CGPS) AND/OR CONTINUOUS OPERATING REFERENCE STATIONS (CORS) CIRX & ROCK BEING NORTH 60°16'27" EAST AS DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC) AND/OR THE NATIONAL GEODETIC SURVEY (NGS), RESPECTIVELY.

ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR ALSO AGREES TO DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

SCOTT MECKSTROTH R.C.E. DATE



KEY MAP

SCALE: 1" = 50'

SHEET INDEX

C1	TITLE & NOTES
C2	SITE IMPROVEMENTS
C3	SITE IMPROVEMENTS
C4	SITE GRADING
C5	SITE GRADING
C6	DETAILS

ABBREVIATIONS

BVC	BEGIN VERTICAL CURVE	GB	GRADE BRAKE
BOT	BOTTOM OF STAIR	HP	HIGH POINT
EG	EXISTING GRADE	LP	LOW POINT
EVC	END VERTICAL CURVE	ROW	RIGHT OF WAY
FF	FINISH FLOOR	RG	ROUGH GRADE
FG	FINISH GRADE—SOFTSCAPE	TC	TOP OF CURB
FL	FLOWLINE	TL	TOP OF STAIR
FS	FINISH SURFACE—HARDSCAPE	TW	TOP OF WALL

LEGEND

NEW GRADE ELEVATIONS	72.91TC 72.41FS
PROPOSED A.C. PAVEMENT	[Symbol]
PROPOSED LANDSCAPE AREA	[Symbol]
PROPOSED CONCRETE	[Symbol]
PROPOSED STORM DRAIN	SD
PROPOSED CENTERLINE	[Symbol]
PROPOSED R.O.W.	[Symbol]
PROPOSED MAJOR CONTOUR	885
PROPOSED MINOR CONTOUR	884
EXISTING MAJOR CONTOUR	825
EXISTING MINOR CONTOUR	[Symbol]
PROPOSED FLOWLINE	[Symbol]
PROPOSED BLOCK WALL	[Symbol]
PROPOSED CURB	[Symbol]
PROPOSED GUTTER	[Symbol]
PROPOSED SAWCUT LINE	[Symbol]
EXISTING BLOCK WALL	[Symbol]
EXISTING FENCE	[Symbol]
EXISTING E.P.	[Symbol]
EXISTING STORM DRAIN LINE	SD
EXISTING SEWER LINE	S
EXISTING GAS LINE	G
EXISTING ELECTRICAL LINE	E
EXISTING WATER LINE	W
EXISTING TREE	[Symbol]
EXISTING FIRE HYDRANT	[Symbol]
EXISTING STREET LIGHT	[Symbol]



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Revisions		
No.	Description	Date

CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	JDJ
Checked by	SDM
Sheet Number	C1



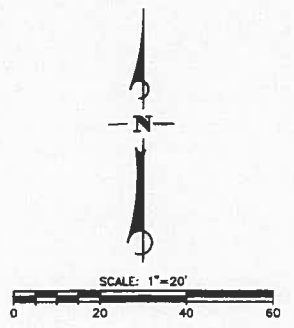
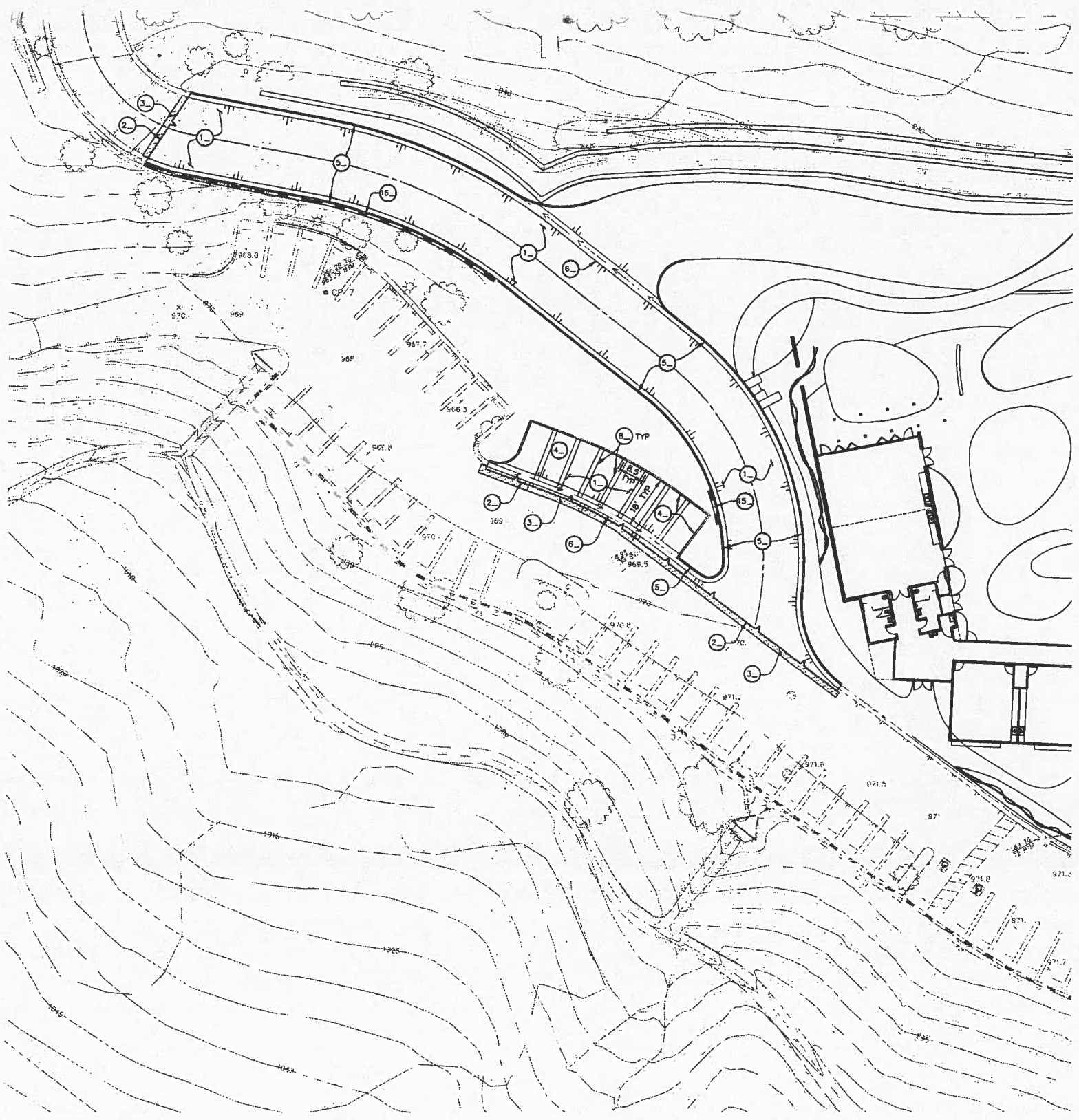
Know what's below.
Call before you dig.

DIAL TOLL FREE

8 1 1

AT LEAST TWO DAYS BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



DIAL TOLL FREE
8 1 1
 AT LEAST TWO DAYS
 BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

CONSTRUCTION NOTES

1. CONSTRUCT MIN. 3.5" THICK A.C. PAVEMENT ON MIN. 4" THICK CRUSHED AGGREGATE BASE OR CRUSHED MISCELLANEOUS BASE (PER S.P.P.W.C. SECTION 200), COMPACTED TO 95% OF MAX. RELATIVE DRY DENSITY, BASED ON ASTM D-1557 CURRENT TEST METHOD.
2. SAWCUT EXISTING AC PAVEMENT OR CONCRETE.
3. COLDPLANE 2" WIDE SECTION OF EXISTING AC TO DEPTH OF 2". CONSTRUCT 2" OF NEW TIRE RUBBER MODIFIED ASPHALT CONCRETE (TRMAC) IN COLDPLANE AREA AND MATCH EXISTING.
4. CONSTRUCT 6" P.C.C. CURB PER S.P.P.W.C. STD. PLAN 120-2, TYPE A1-6(150).
5. CONSTRUCT 6" CURB AND 18" GUTTER PER S.P.P.W.C. STD. PLAN 120-2, TYPE A2-6(150).
6. CONSTRUCT 3" RIBBON GUTTER PER S.P.P.W.C. STD. PLAN 122-2. SEE DETAIL 1, THIS SHEET.
7. CONSTRUCT MIN. 4" THICK P.C.C. CONCRETE OVER NATIVE SOIL COMPACTED TO 95% OF MAX. RELATIVE DRY DENSITY, BASED ON ASTM D-1557 CURRENT TEST METHOD.
8. CONSTRUCT 4" WIDE WHITE LINE AS SHOWN PER DETAIL "A", SHEET C6.
9. CONSTRUCT 4" WIDE BLUE LINES DIAGONALLY AT 3' O.C. PER DETAIL "B", SHEET C6.
10. CONSTRUCT WHITE DISABLED PERSONS PARKING SYMBOL WITH BLUE BACKGROUND PER CAL TRANS STD. A24C.
11. LANDSCAPE AREA PER LANDSCAPE PLANS.
12. CONSTRUCT 3.5' WIDE CURB INLET CATCH BASIN PER S.P.P.W.C. STD. PLAN 300-3.
13. CONSTRUCT 10" PVC STORM DRAIN PIPE.
14. CONSTRUCT JENSEN PRECAST 24"x24" GRATED CATCH BASIN OR APPROVED EQUAL.
15. CONSTRUCT 3' MAX RETAINING WALL PER DETAIL "C", SHEET C6.
16. CONSTRUCT 10' MAX RETAINING WALL PER DETAIL "D", SHEET C6.
17. CONNECT PROPOSED 10" PVC STORM DRAIN PIPE TO EXISTING 10" LINE.



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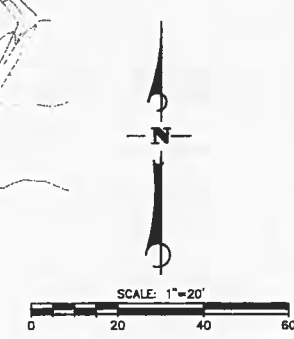
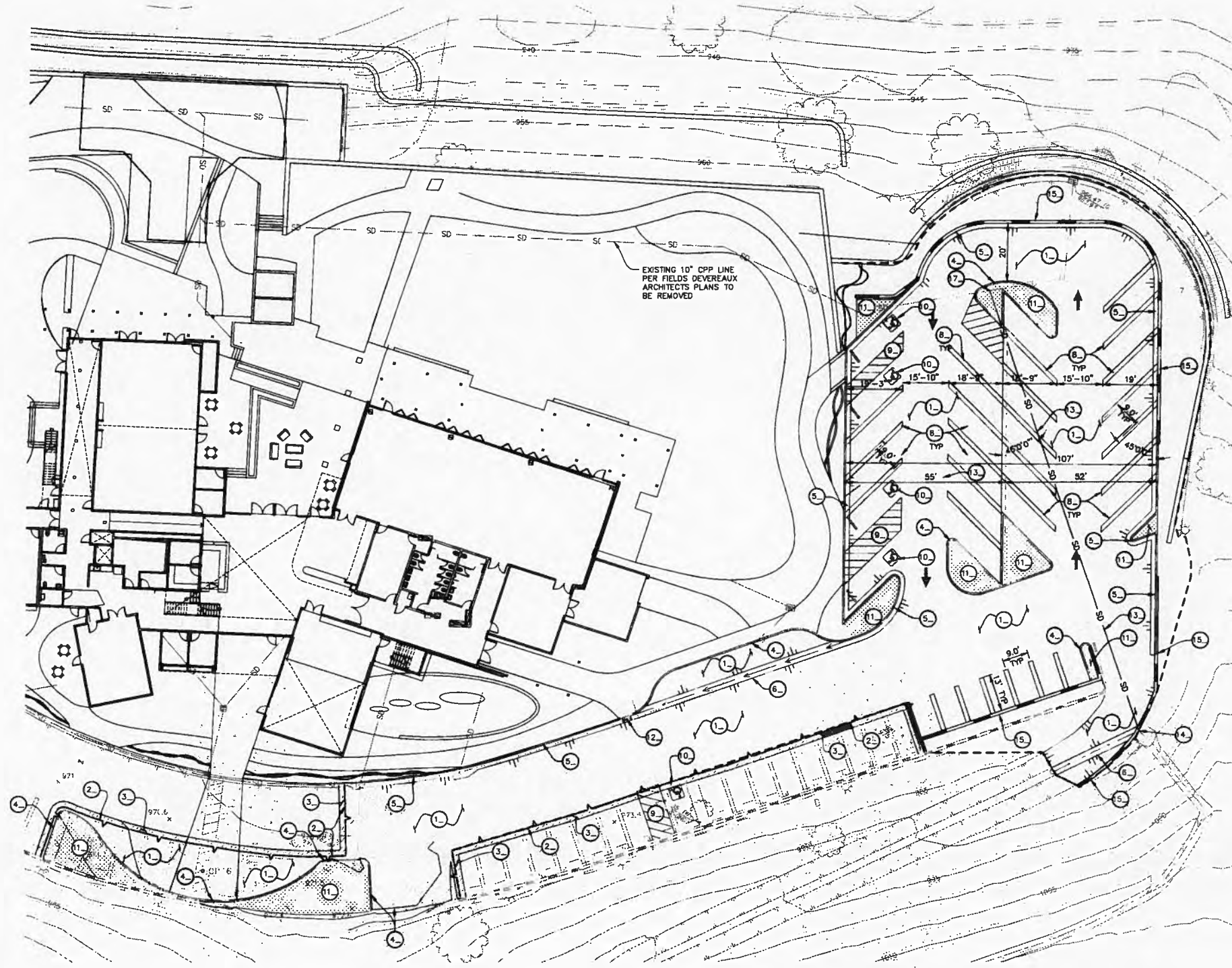
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No.	Description	Date

CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
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Drawn by	JDJ
Checked by	SDM
Sheet Number	

C2



CONSTRUCTION NOTES

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No.	Description	Date

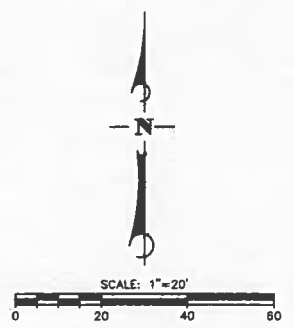
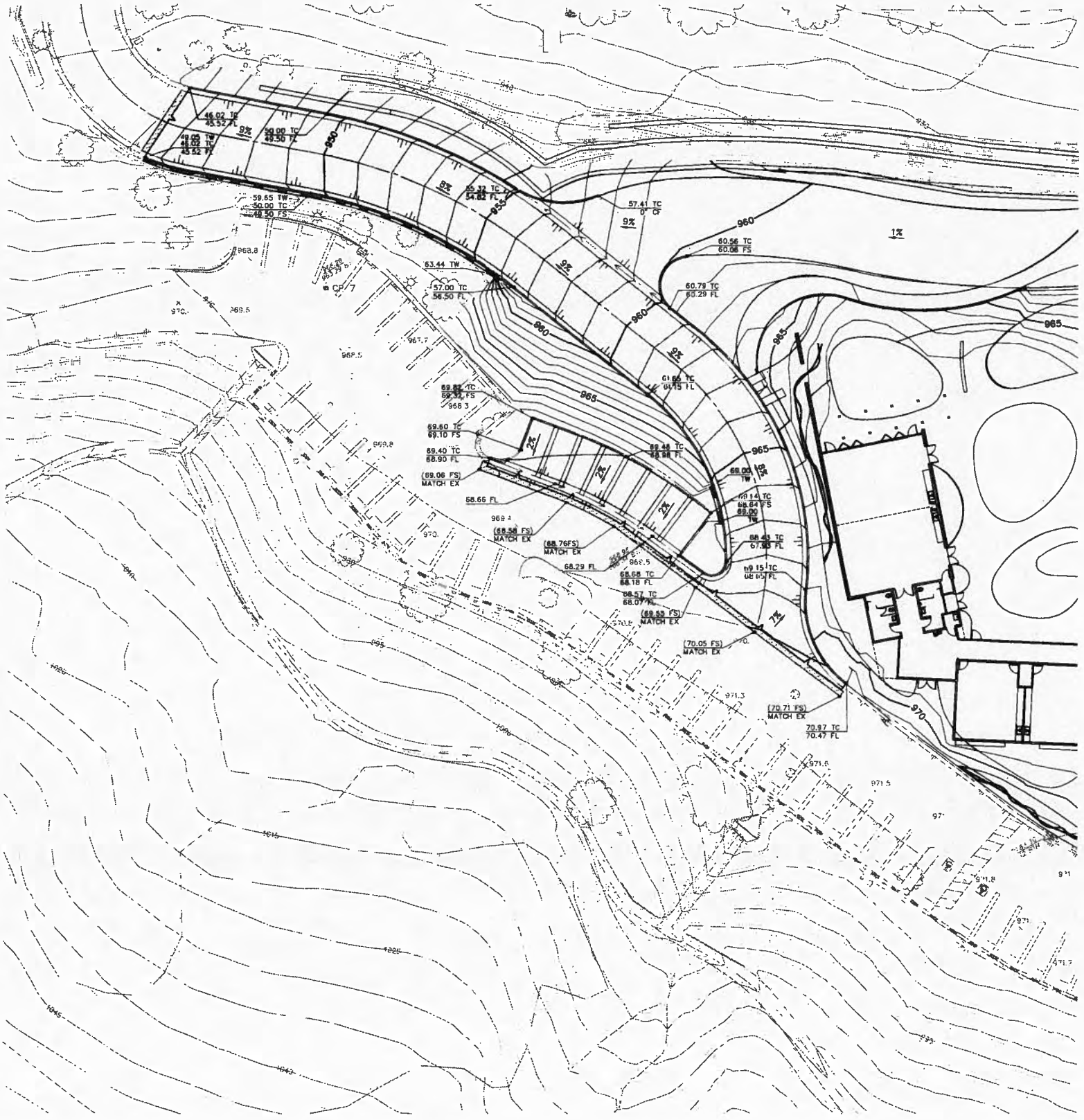
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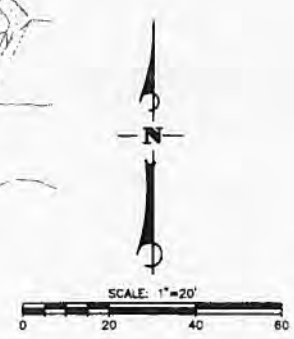
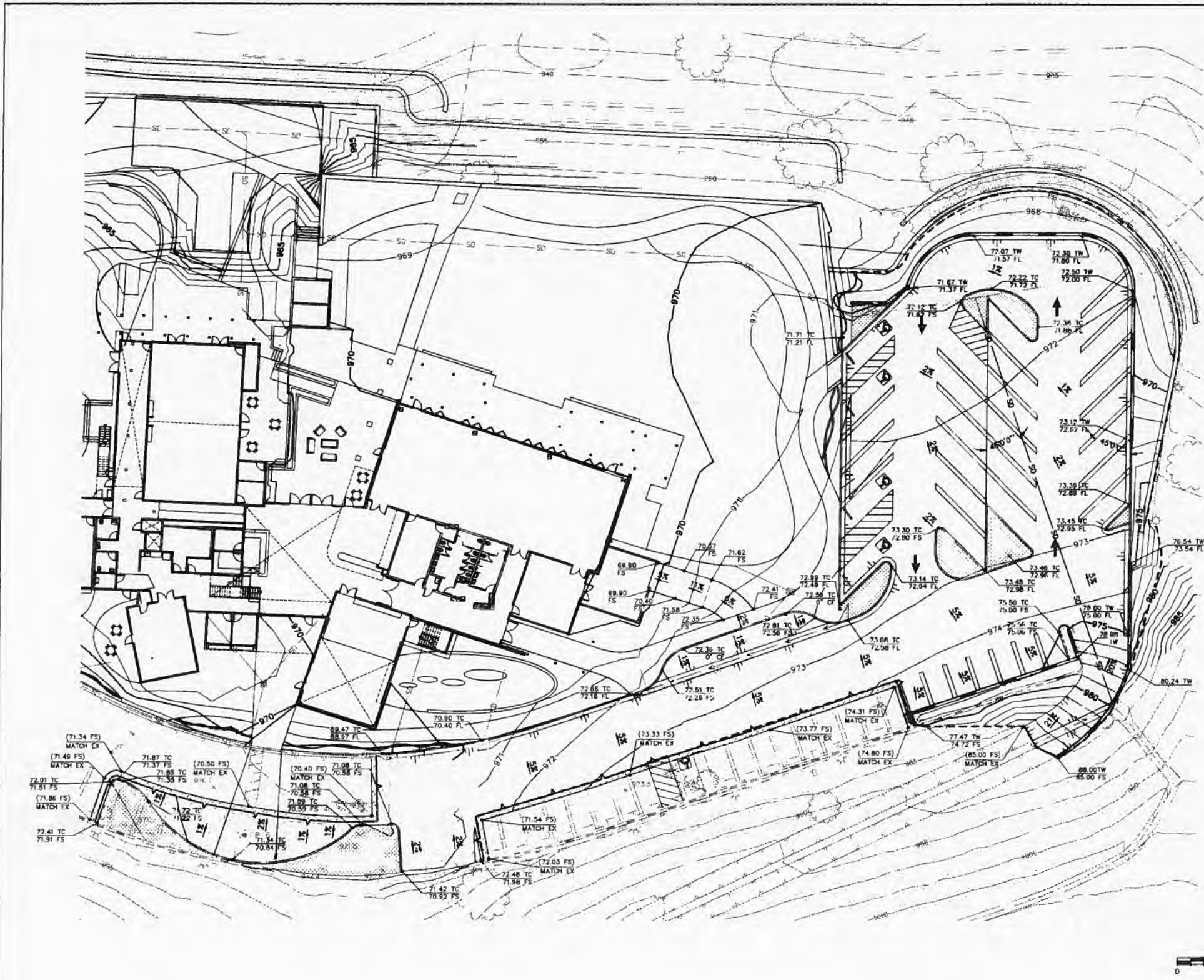
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Revisions		
No.	Description	Date

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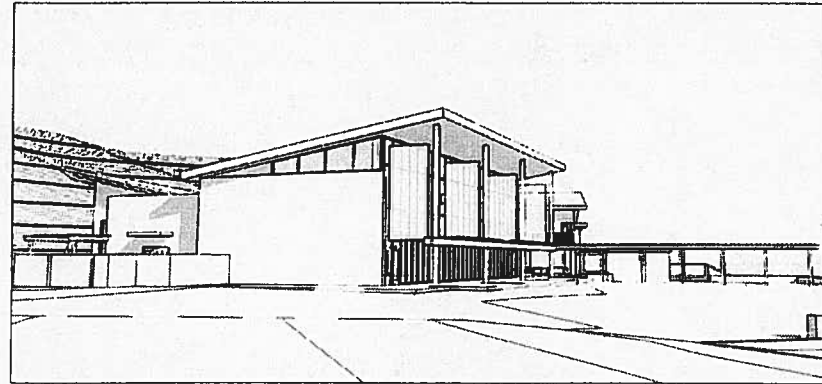
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Activity
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RNT Job No. 594.00
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Sheet Number

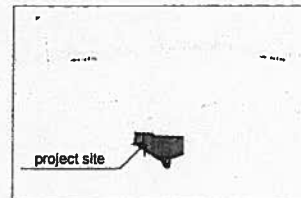
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VICINITY MAP



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Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RFI Job No.	594.00
Date	11/02/2012
Drawn by	HBC
Checked by	
Sheet Number	

T0-0.1

SHEET INDEX

TITLE AND GENERAL SHEETS
 T0-0.1 COVER
 T1-0.1 INDEX

ARCHITECTURAL

G0-4.1.1 GROUND FLOOR EGRESS PLAN - PHASE I
 G0-4.1.2 GROUND FLOOR EGRESS PLAN - PHASE II
 G0-4.2.1 SECOND FLOOR EGRESS PLAN
 D1-0.1 OVERALL DEMOLITION SITE PLAN
 D1-1.1 DEMOLITION PLANS
 PH-0.1 PHASING PLAN - SITE PLAN PHASE I
 A0-1.0 OVERALL SITE PLAN
 A0-2.1 ENLARGED SITE PLAN A
 A0-2.2 ENLARGED SITE PLAN B
 A0-2.3 ENLARGED SITE PLAN C
 A1-2.1.0 OVERALL GROUND FLOOR PLAN
 A1-2.1.1 GROUND FLOOR PLAN - AREA A
 A1-2.1.2 GROUND FLOOR PLAN - AREA B
 A1-2.1.3 GROUND FLOOR PLAN - AREA C
 A1-2.2.0 OVERALL SECOND FLOOR PLAN
 A1-2.2.1 SECOND FLOOR PLAN - AREA B
 A1-2.2.2 SECOND FLOOR PLAN - AREA C
 A1-2.3.0 OVERALL LOWER ROOF PLAN
 A1-2.3.1 LOWER ROOF PLAN - AREA A
 A1-2.3.2 LOWER ROOF PLAN - AREA B
 A1-2.3.3 LOWER ROOF PLAN - AREA C
 A1-2.3.4 OVERALL UPPER ROOF PLAN
 A1-2.3.5 UPPER ROOF PLAN - AREA A
 A1-2.3.6 UPPER ROOF PLAN - AREA B
 A1-2.3.7 UPPER ROOF PLAN - AREA C
 A1-3.1.1 OVERALL EXTERIOR ELEVATIONS
 A1-3.1.2 OVERALL EXTERIOR ELEVATIONS
 A1-3.2.1 PARTIAL EXTERIOR ELEVATIONS
 A1-3.2.2 PARTIAL EXTERIOR ELEVATIONS
 A1-3.2.3 PARTIAL EXTERIOR ELEVATIONS
 A1-3.2.4 PARTIAL EXTERIOR ELEVATIONS
 A1-4.1.1 BUILDING SECTIONS
 A1-4.1.2 BUILDING SECTIONS
 A1-4.1.3 BUILDING SECTIONS
 A1-4.1.4 BUILDING SECTIONS
 A1-4.2.1 WALL SECTIONS
 A1-4.2.2 WALL SECTIONS
 A1-6.1.1 ENLARGED RESTROOM PLANS AND INTERIOR ELEVATIONS
 A1-6.1.2 ENLARGED RESTROOM PLANS AND INTERIOR ELEVATIONS
 A1-6.1.3 ENLARGED RESTROOM PLANS AND INTERIOR ELEVATIONS
 A1-7.1.1 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.2 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.3 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.4 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.5 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.6 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.7 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.8 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.9 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.10 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.1.11 INTERIOR ELEVATIONS GROUND FLOOR
 A1-7.2.1 INTERIOR ELEVATIONS SECOND FLOOR
 A1-7.2.2 INTERIOR ELEVATIONS SECOND FLOOR
 A1-7.2.3 INTERIOR ELEVATIONS SECOND FLOOR
 A1-7.2.4 INTERIOR ELEVATIONS SECOND FLOOR
 A1-9.1.0 OVERALL GROUND FLOOR REFLECTED CEILING PLAN
 A1-9.1.1 GROUND FLOOR REFLECTED CEILING PLAN - AREA A
 A1-9.1.2 GROUND FLOOR REFLECTED CEILING PLAN - AREA B
 A1-9.1.3 GROUND FLOOR REFLECTED CEILING PLAN - AREA C
 A1-9.2.0 OVERALL SECOND FLOOR REFLECTED CEILING PLAN
 A1-9.2.1 SECOND FLOOR REFLECTED CEILING PLAN - AREA B
 A1-9.2.2 SECOND FLOOR REFLECTED CEILING PLAN - AREA C

CIVIL

C1 TITLE & NOTES
 C2 SITE IMPROVEMENTS
 C3 SITE IMPROVEMENTS
 C4 SITE GRADING
 C5 SITE GRADING
 C6 DETAILS

STRUCTURAL

S1-0.1.1 GENERAL NOTES
 S1-0.1.2 GENERAL NOTES
 S1-0.2.1 TYPICAL FOUNDATION DETAILS
 S1-0.2.2 TYPICAL CONCRETE DETAILS
 S1-0.2.3 TYPICAL CONCRETE DETAILS
 S1-0.3.1 TYPICAL WOOD DETAILS
 S1-0.3.2 TYPICAL WOOD DETAILS
 S1-0.3.3 TYPICAL WOOD DETAILS
 S1-0.3.4 TYPICAL WOOD DETAILS
 S1-0.4.1 TYPICAL STEEL DETAILS
 S1-0.4.2 TYPICAL STEEL DETAILS
 S1-2.1.0 OVERALL FOUNDATION PLAN
 S1-2.1.1 FOUNDATION PLAN - AREA A
 S1-2.1.2 FOUNDATION PLAN - AREA B
 S1-2.1.3 FOUNDATION PLAN - AREA C
 S1-2.2.1 SECOND FLOOR FRAMING PLAN - AREA B
 S1-2.2.2 SECOND FLOOR FRAMING PLAN - AREA C
 S1-2.3.0 OVERALL ROOF FRAMING PLAN
 S1-2.3.1 LOWER ROOF FRAMING PLAN - AREA A
 S1-2.3.2 LOWER ROOF FRAMING PLAN - AREA B
 S1-2.3.3 LOWER ROOF FRAMING PLAN - AREA C
 S1-2.3.5 UPPER ROOF FRAMING PLAN - AREA A
 S1-2.3.6 UPPER ROOF FRAMING PLAN - AREA B
 S1-2.3.7 UPPER ROOF FRAMING PLAN - AREA C
 S1-3.1.1 BUILDING SECTIONS
 S1-3.1.2 BUILDING SECTIONS
 S1-3.1.3 BUILDING SECTIONS
 S1-3.1.4 BUILDING SECTIONS
 S1-3.2.1 FRAME ELEVATIONS
 S1-4.0.1 FOUNDATION DETAILS
 S1-5.0.1 DETAILS
 S1-5.0.2 DETAILS

MECHANICAL

M0.1 MECHANICAL NOTES, ABBREVIATIONS AND SYMBOLS
 M0.2 MECHANICAL SCHEDULES
 M1.1 MECHANICAL 1ST FLOOR DEMOLITION PLAN
 M1.2 MECHANICAL 2ND FLOOR AND ROOF DEMOLITION PLAN
 M2.1.1 HVAC FIRST FLOOR PLAN - AREA A
 M2.1.2 HVAC FIRST FLOOR PLAN - AREA B
 M2.1.3 HVAC FIRST FLOOR PLAN - AREA C
 M2.2.1 HVAC SECOND FLOOR PLAN - AREA B
 M2.2.2 HVAC SECOND FLOOR PLAN - AREA C
 M2.3.1 HVAC ROOF PLAN - AREA A
 M2.3.2 HVAC ROOF PLAN - AREA B
 M2.3.3 HVAC ROOF PLAN - AREA C

ELECTRICAL

E0.1 ELECTRICAL NOTES ABBREVIATIONS AND SYMBOLS
 E0.2 ELECTRICAL SINGLE LINE DIAGRAM
 E1.0 ELECTRICAL SITE PLAN
 E2.1 ELECTRICAL 1ST FLOOR DEMOLITION PLAN
 E2.2 ELECTRICAL 2ND FLOOR & ROOF DEMOLITION PLAN
 E3.1 ELECTRICAL 1ST FLOOR POWER, PHONE, DATA PLAN - EAST
 E3.2 ELECTRICAL 1ST FLOOR POWER, PHONE, DATA PLAN - WEST
 E3.1L ELECTRICAL 1ST FLOOR LIGHTING PLAN - EAST
 E3.2L ELECTRICAL 1ST FLOOR LIGHTING PLAN - WEST
 E3.3 ELECTRICAL 2ND FLOOR POWER, PHONE, DATA PLAN
 E3.3L ELECTRICAL 2ND FLOOR LIGHTING PLAN
 E3.4 ELECTRICAL ROOF PLAN - EAST
 E3.5 ELECTRICAL ROOF PLAN - WEST

PLUMBING

P1.0 PLUMBING NOTES, SCHEDULE, LEGEND
 P2.1 PLUMBING 1ST FLOOR PLAN
 P2.2 PLUMBING 1ST FLOOR PLAN
 P2.3 PLUMBING 2ND FLOOR PLAN
 P2.4 PLUMBING ROOF PLAN
 P2.5 PLUMBING ROOF PLAN

LANDSCAPE

L1.00 GENERAL NOTES, ABBREVIATIONS & SYMBOL LEGEND
 L1.10 HARDSCAPE OVERALL SITE PLAN
 L1.11 HARDSCAPE PAVING AND DECKING DETAILS
 L1.12 HARDSCAPE STAIR DETAILS
 L2.00 IRRIGATION OVERALL SITE PLAN
 L2.10 IRRIGATION DETAILS
 L2.11 EPIC SYSTEM DETAILS
 L2.12 IRRIGATION SCHEDULE
 L3.00 LANDSCAPE OVERALL SITE PLAN
 L3.10 LANDSCAPE SECTIONS
 L3.11 LANDSCAPE DETAILS



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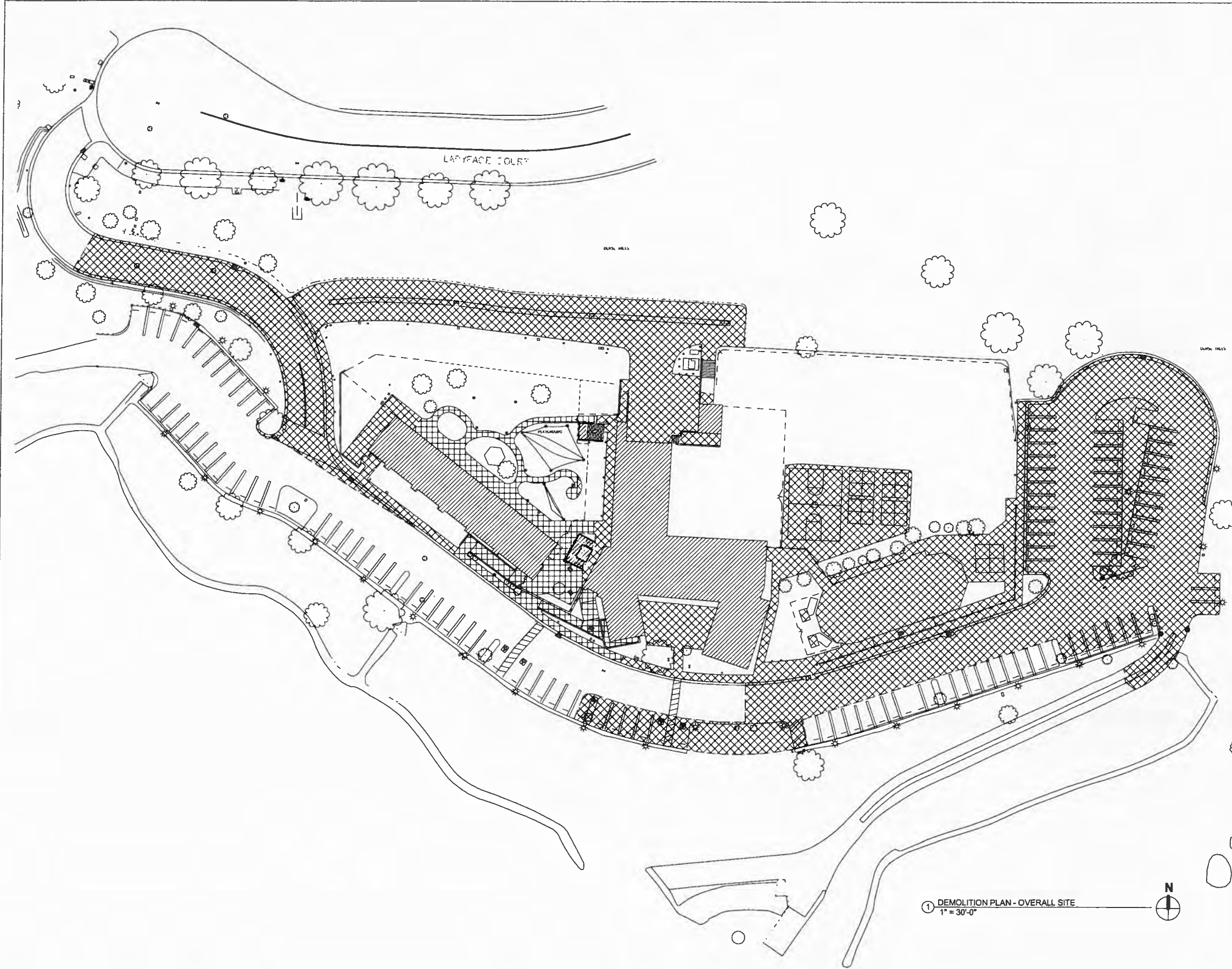
INDEX

Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS










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Drawn by	Author
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Sheet Number	

T1-0.1



KEYNOTES

DEMOLITION LEGENDS

-  (E)BLDG. FOOTPRINT
-  (E)HARDSCAPE TO BE DEMOLISHED - PHASE I
-  (E)HARDSCAPE TO BE DEMOLISHED - PHASE II
-  (E)BLDG. PORTION TO BE DEMOLISHED - PHASE I
-  (E)BLDG. PORTION TO BE DEMOLISHED - PHASE II
-  (E)FENCE TO BE DEMOLISHED - PHASE I
-  (E)FENCE TO BE DEMOLISHED - PHASE II
-  (E)WALL TO BE DEMOLISHED - PHASE I
-  (E)WALL TO BE DEMOLISHED - PHASE II

① DEMOLITION PLAN - OVERALL SITE
1" = 30'-0"



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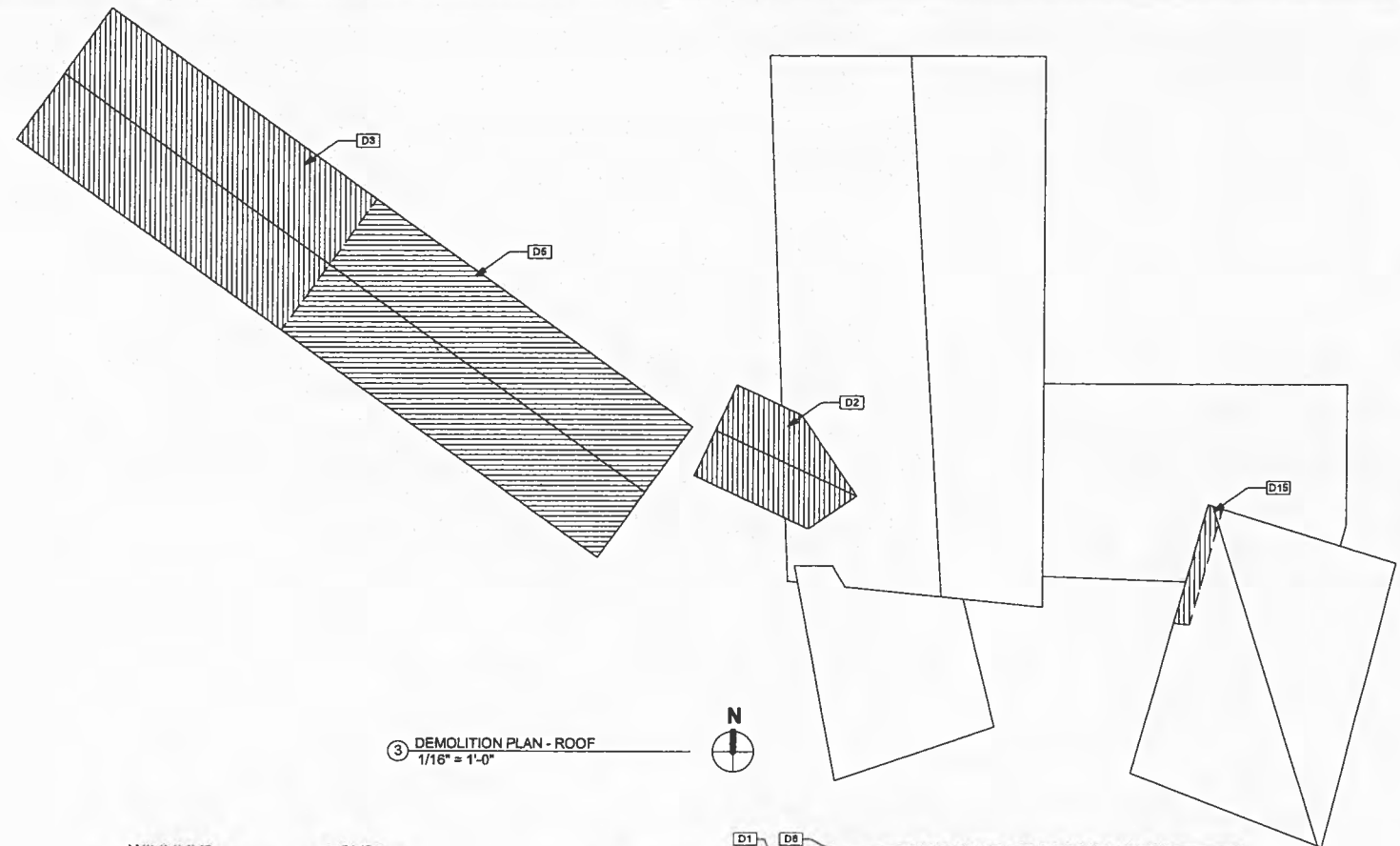
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OVERALL DEMOLITION SITE
PLAN

Revisions		
No.	Description	Date

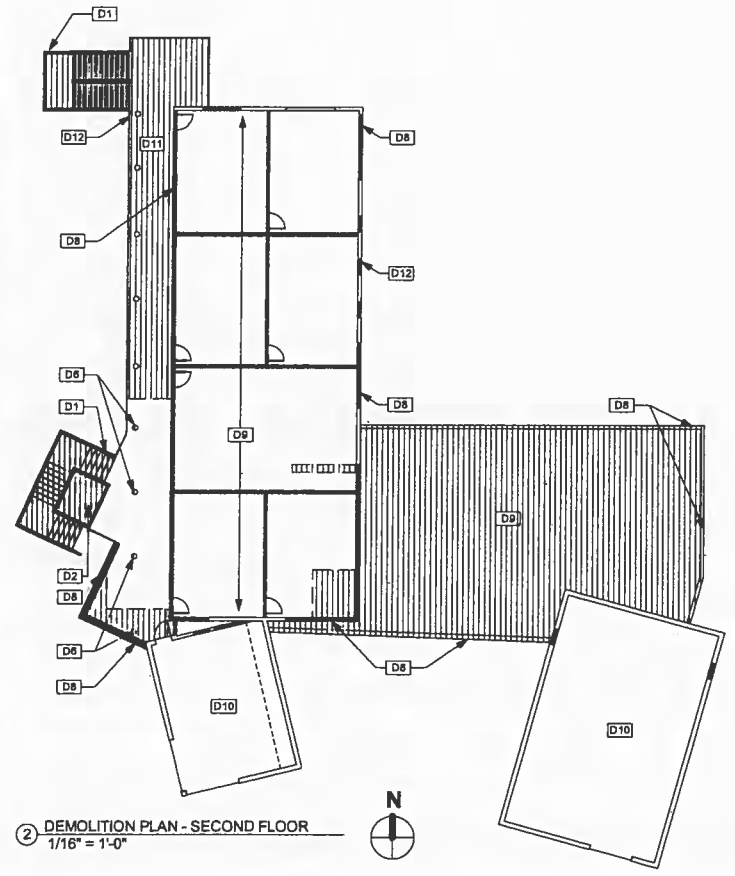
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RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
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Sheet Number	

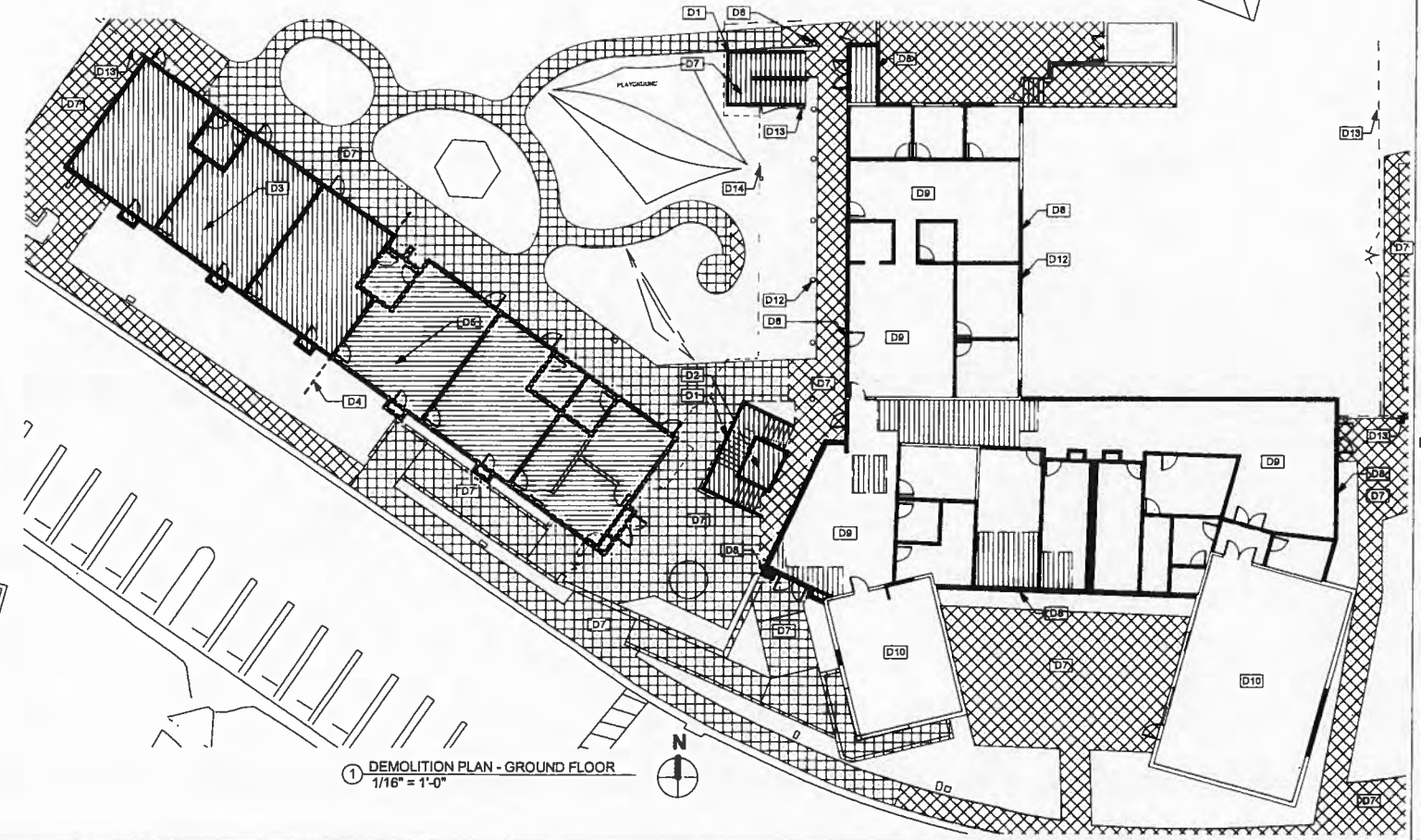
D1-0.1



3 DEMOLITION PLAN - ROOF
1/16" = 1'-0"



2 DEMOLITION PLAN - SECOND FLOOR
1/16" = 1'-0"



1 DEMOLITION PLAN - GROUND FLOOR
1/16" = 1'-0"

- KEYNOTES**
- D1 DEMOLISH STAIR IN ITS ENTIRETY
 - D2 DEMOLISH ELEVATOR AND SHAFT IN THEIR ENTIRETY, INCLUDING ALL EQUIPMENT AND COMPONENTS
 - D3 DEMOLISH BUILDING IN ITS ENTIRETY TO THE LIMIT SHOWN IN PHASE I, INCLUDING FLOOR SLAB, ROOF AND ALL BUILDING SYSTEMS
 - D4 EXTENT OF DEMOLITION IN PHASE I. SEE PHASING PLANS FOR TEMPORARY WORK
 - D5 DEMOLISH BUILDING IN ITS ENTIRETY IN PHASE II, INCLUDING FLOOR SLAB, ROOF AND ALL BUILDING SYSTEM
 - D6 DEMOLISH COLUMN
 - D7 DEMOLISH SLAB ON GRADE
 - D8 DEMOLISH EXTENSION WALL, INCLUDING ASSOCIATED BUILDING SYSTEMS
 - D9 DEMOLISH INTERIOR PARTITIONS AS INDICATED. DEMOLISH ALL FLOOR FINISHES, CEILINGS, CEILING-MOUNTED EQUIPMENT AND DEVICES, AND WALL-MOUNTED EQUIPMENT AND DEVICES
 - D10 DEMOLISH ALL FLOOR FINISHES, CEILINGS, CEILING-MOUNTED EQUIPMENT AND DEVICES, AND WALL-MOUNTED EQUIPMENT AND DEVICES
 - D11 DEMOLISH EXTENSION WALKWAY IN ITS ENTIRETY, INCLUDING BUILDING SYSTEMS
 - D12 DEMOLISH ALL DOWNSPOUTS
 - D13 DEMOLISH FENCE - PHASE I
 - D14 DEMOLISH FENCE - PHASE II
 - D15 DEMOLISH ROOF AND ALL ROOF SYSTEM

DEMOLITION LEGENDS

- (E)BLDG. FOOTPRINT
- (E)HARDSCAPE TO BE DEMOLISHED - PHASE I
- (E)HARDSCAPE TO BE DEMOLISHED - PHASE II
- (E)BLDG. PORTION TO BE DEMOLISHED - PHASE I
- (E)BLDG. PORTION TO BE DEMOLISHED - PHASE II
- (E)FENCE TO BE DEMOLISHED - PHASE I
- (E)FENCE TO BE DEMOLISHED - PHASE II
- (E)WALL TO BE DEMOLISHED - PHASE I
- (E)WALL TO BE DEMOLISHED - PHASE II



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DEMOLITION PLANS

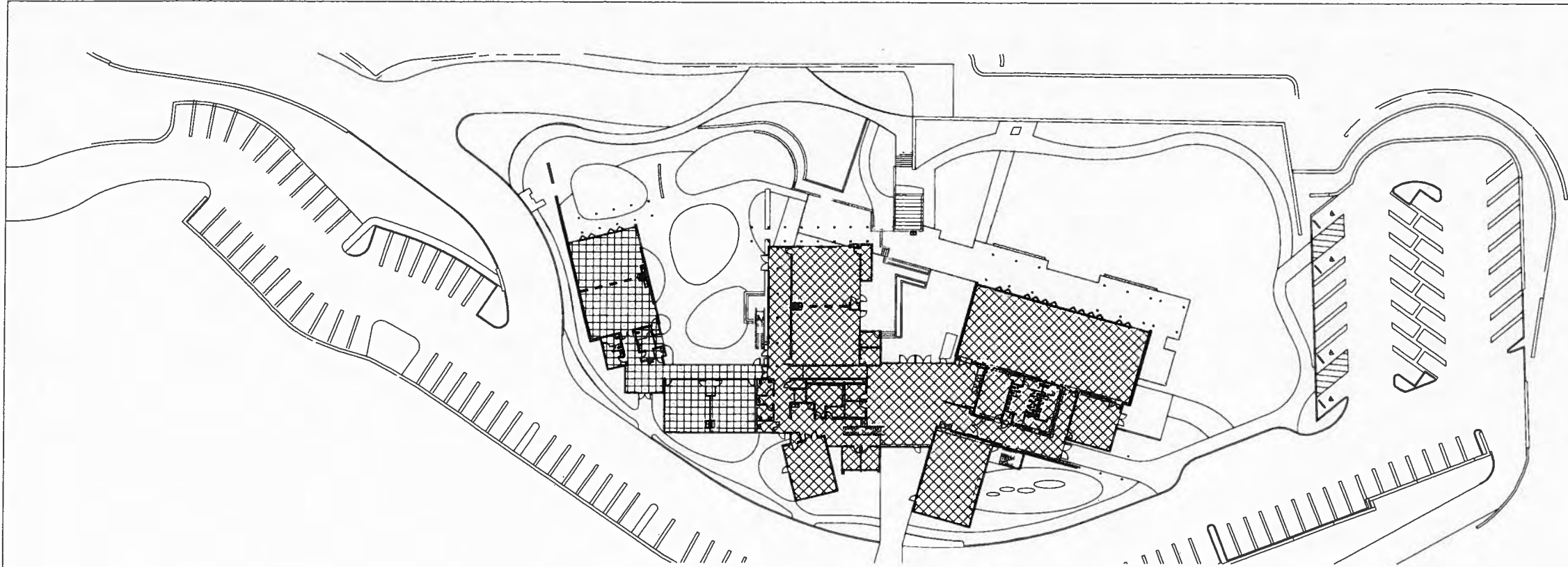
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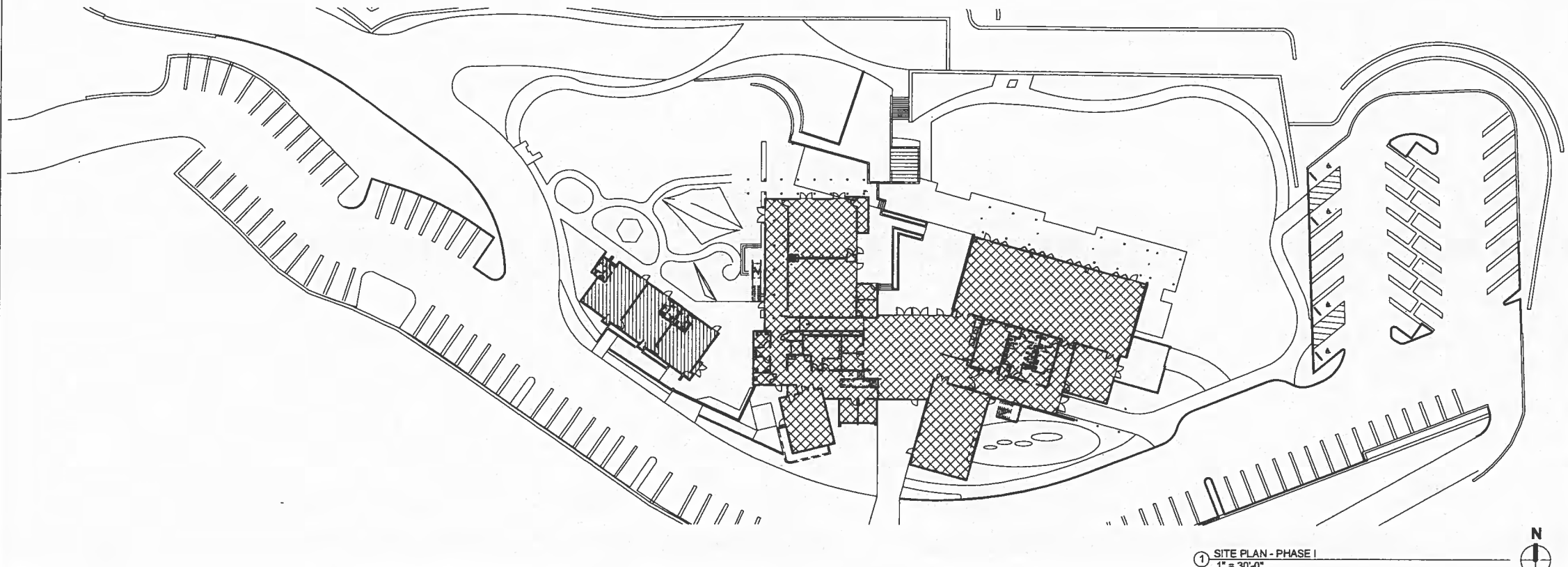
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CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

D1-1.1



② SITE PLAN - PHASE II
1" = 30'-0"



① SITE PLAN - PHASE I
1" = 30'-0"



- LEGENDS**
- PHASE I
 - PHASE II
 - (E)BUILDING TO BE REMAIN IN PHASE I
 - (E)BUILDING TO BE REMAIN IN PHASE I & II

KEYNOTES



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**PHASING PLAN - SITE PLAN
PHASE I**

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No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

PH-0.1



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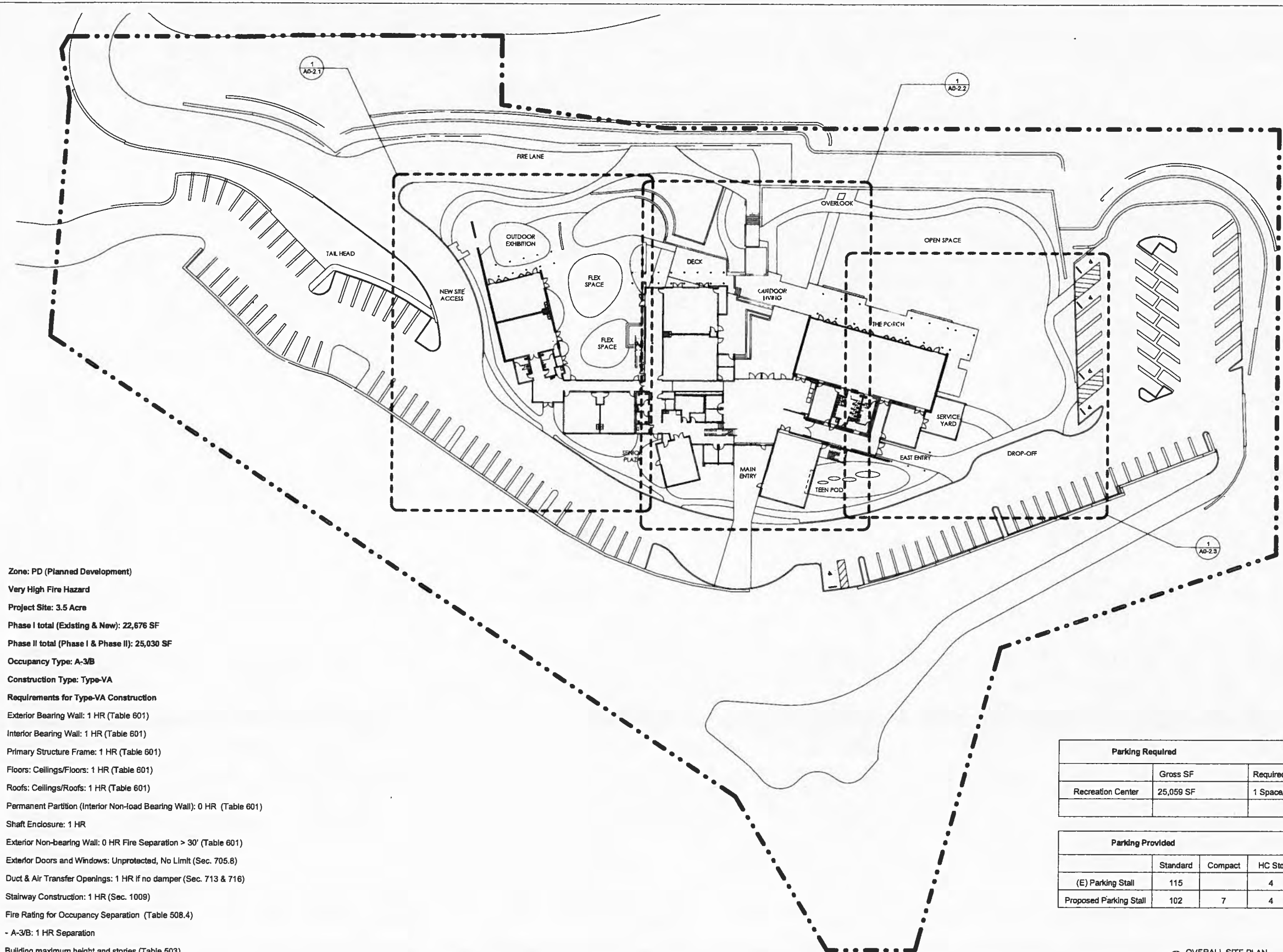
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OVERALL SITE PLAN

Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A0-1.0

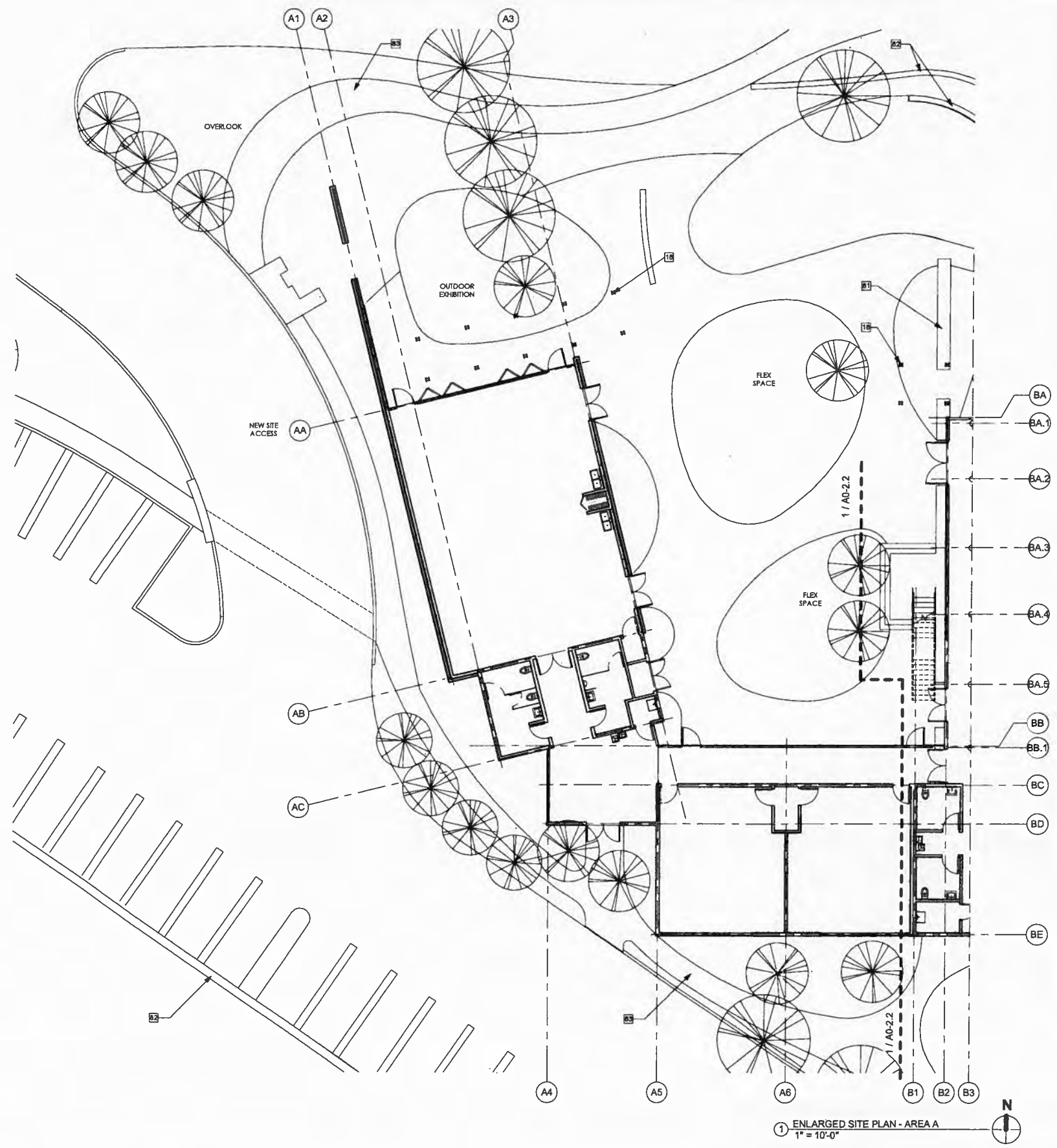


Zone: PD (Planned Development)
Very High Fire Hazard
Project Site: 3.5 Acre
Phase I total (Existing & New): 22,676 SF
Phase II total (Phase I & Phase II): 25,030 SF
Occupancy Type: A-3/B
Construction Type: Type-VA
Requirements for Type-VA Construction
Exterior Bearing Wall: 1 HR (Table 601)
Interior Bearing Wall: 1 HR (Table 601)
Primary Structure Frame: 1 HR (Table 601)
Floors: Ceilings/Floors: 1 HR (Table 601)
Roofs: Ceilings/Roofs: 1 HR (Table 601)
Permanent Partition (Interior Non-load Bearing Wall): 0 HR (Table 601)
Shaft Enclosure: 1 HR
Exterior Non-bearing Wall: 0 HR Fire Separation > 30' (Table 601)
Exterior Doors and Windows: Unprotected, No Limit (Sec. 705.8)
Duct & Air Transfer Openings: 1 HR if no damper (Sec. 713 & 716)
Stairway Construction: 1 HR (Sec. 1009)
Fire Rating for Occupancy Separation (Table 508.4)
- A-3/B: 1 HR Separation
Building maximum height and stories (Table 503)
- 50ft (2 stories)

Parking Required			
	Gross SF	Required Parking	Total Required
Recreation Center	25,059 SF	1 Space/ 250 SF	101 Spaces

Parking Provided					
	Standard	Compact	HC Std	HC Van	Total
(E) Parking Stall	115		4	1	120
Proposed Parking Stall	102	7	4	1	107(+7)

1 OVERALL SITE PLAN
1" = 30'-0"



- KEYNOTES**
- 1B TRELLIS COLUMN
 - 1E LOW SEAT WALL
 - 1F RETAINING WALL, REFER TO CIVIL DRAWINGS
 - 1G PEDESTRIAN PATH, REFER TO LANDSCAPE DRAWINGS



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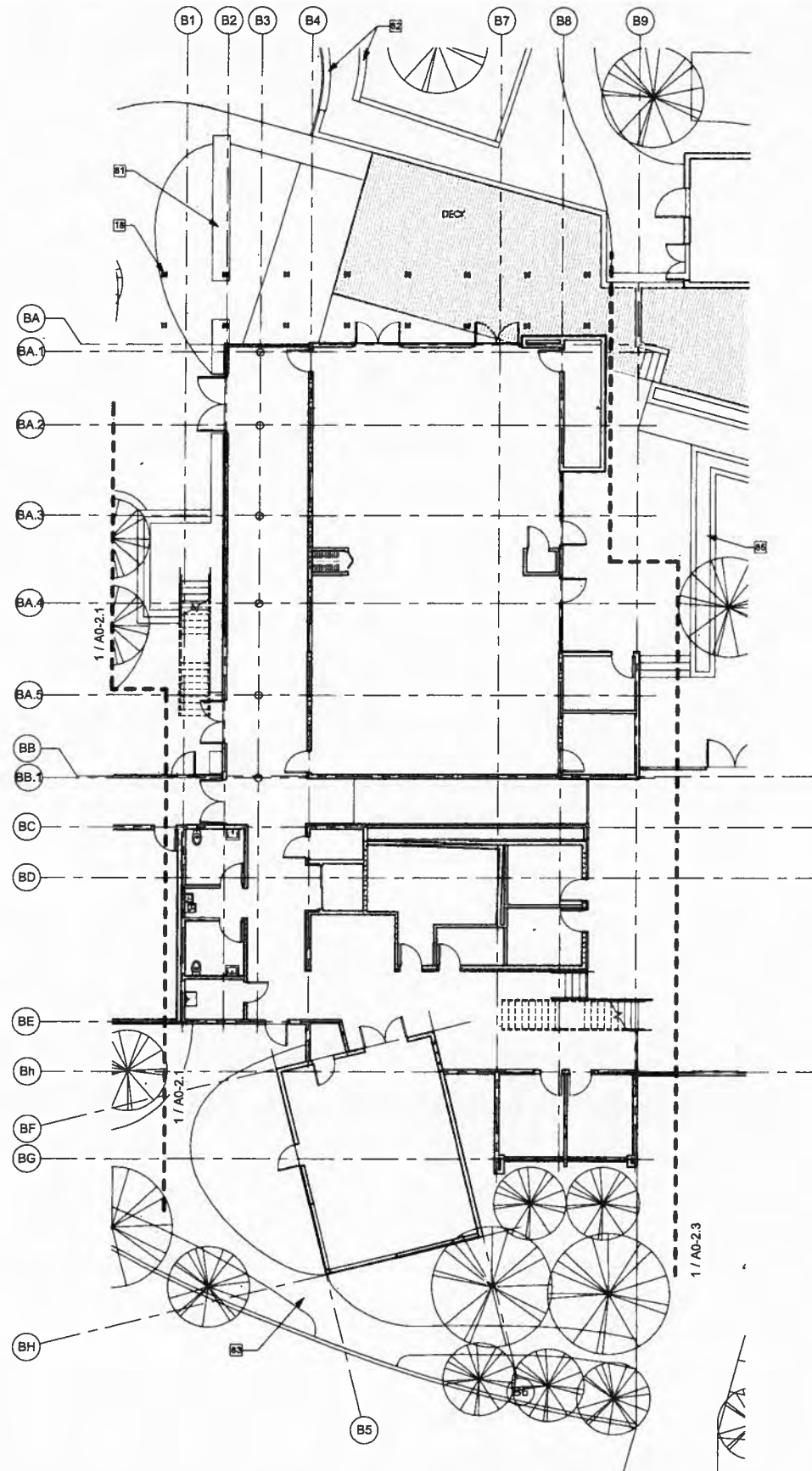
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ENLARGED SITE PLAN A

Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A0-2.1



- KEYNOTES**
- 18 TRELLIS COLUMN
 - 81 LOW SEAT WALL, REFER TO CIVIL DRAWINGS
 - 82 RETAINING WALL, REFER TO CIVIL DRAWINGS
 - 83 PEDESTRIAN PATH, REFER TO LANDSCAPE DRAWINGS
 - 84 TREE WELL, REFER TO LANDSCAPE DRAWINGS
 - 85 PLANTER, REFER TO LANDSCAPE DRAWINGS



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ENLARGED SITE PLAN B

Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

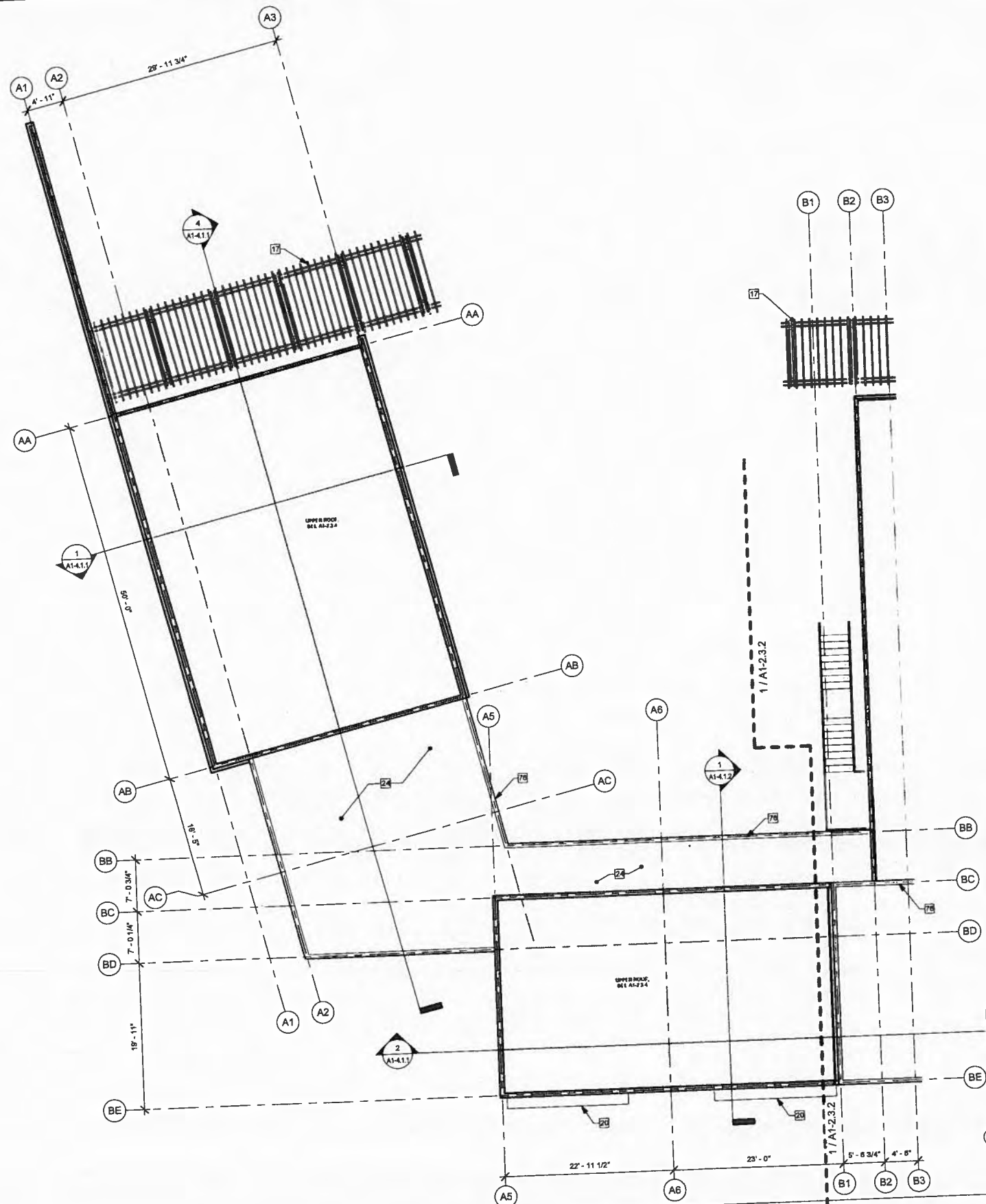
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Date	11/02/2012
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Sheet Number	

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1 ENLARGED SITE PLAN - AREA B
1" = 10'-0"





1 LOWER ROOF PLAN - AREA A
1/8" = 1'-0"

- KEYNOTES**
- 17 TRELLIS
 - 20 LOUVERS
 - 24 MEMBRANE ROOFING SYSTEM
 - 76 ROOF PARAPET



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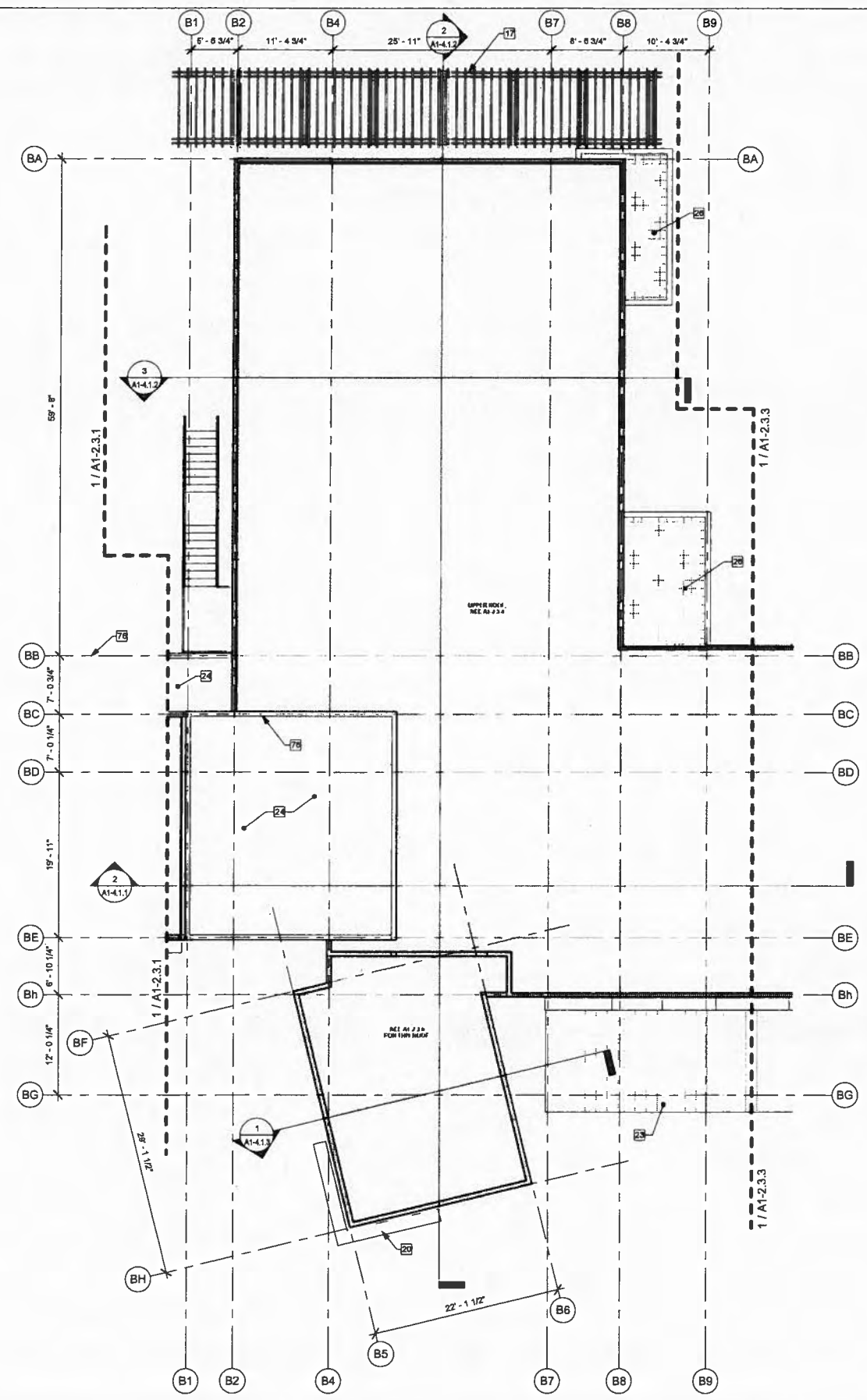
LOWER ROOF PLAN - AREA A

Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A1-2.3.1



② MAINTENANCE BUILDING ROOF PLAN
1/8" = 1'-0"

① LOWER ROOF PLAN - AREA B
1/8" = 1'-0"

- KEYNOTES**
- 17 TRELLIS
 - 20 LOUVERS
 - 23 METAL ROOF SYSTEM
 - 24 MEMBRANE ROOFING SYSTEM
 - 25 GREEN ROOF SYSTEM
 - 26 ROOF PAVERS OVER WATERPROOFING SYSTEM
 - 76 ROOF PARAPET



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LOWER ROOF PLAN - AREA B

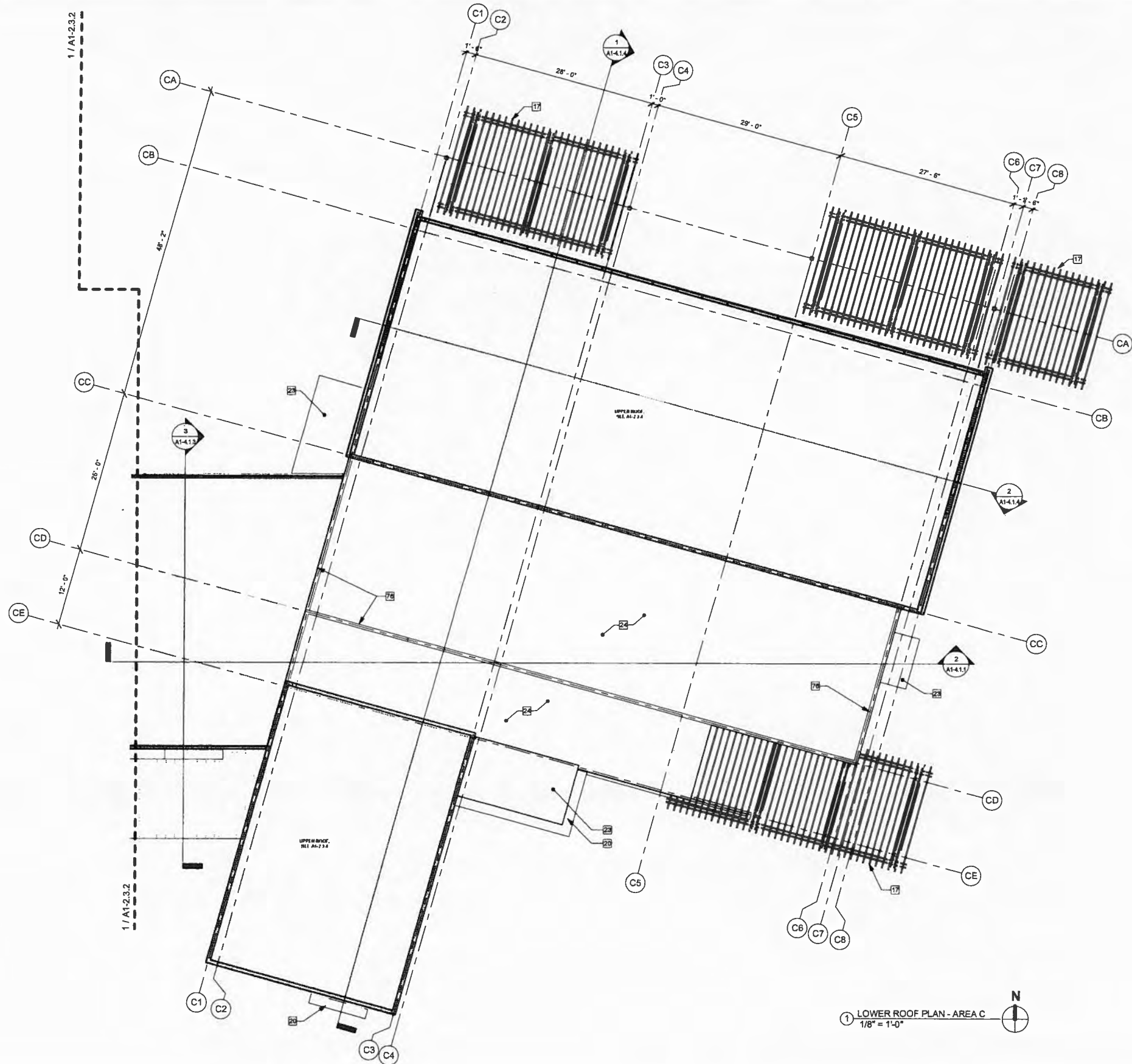
Revisions

No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
Checked by	Checker
Sheet Number	

A1-2.3.2



- KEYNOTES**
- 17 TRELLIS
 - 20 LOUVERS
 - 23 METAL ROOF SYSTEM
 - 24 MEMBRANE ROOFING SYSTEM
 - 26 ROOF PAVERS OVER WATERPROOFING SYSTEM
 - 76 ROOF PARAPET



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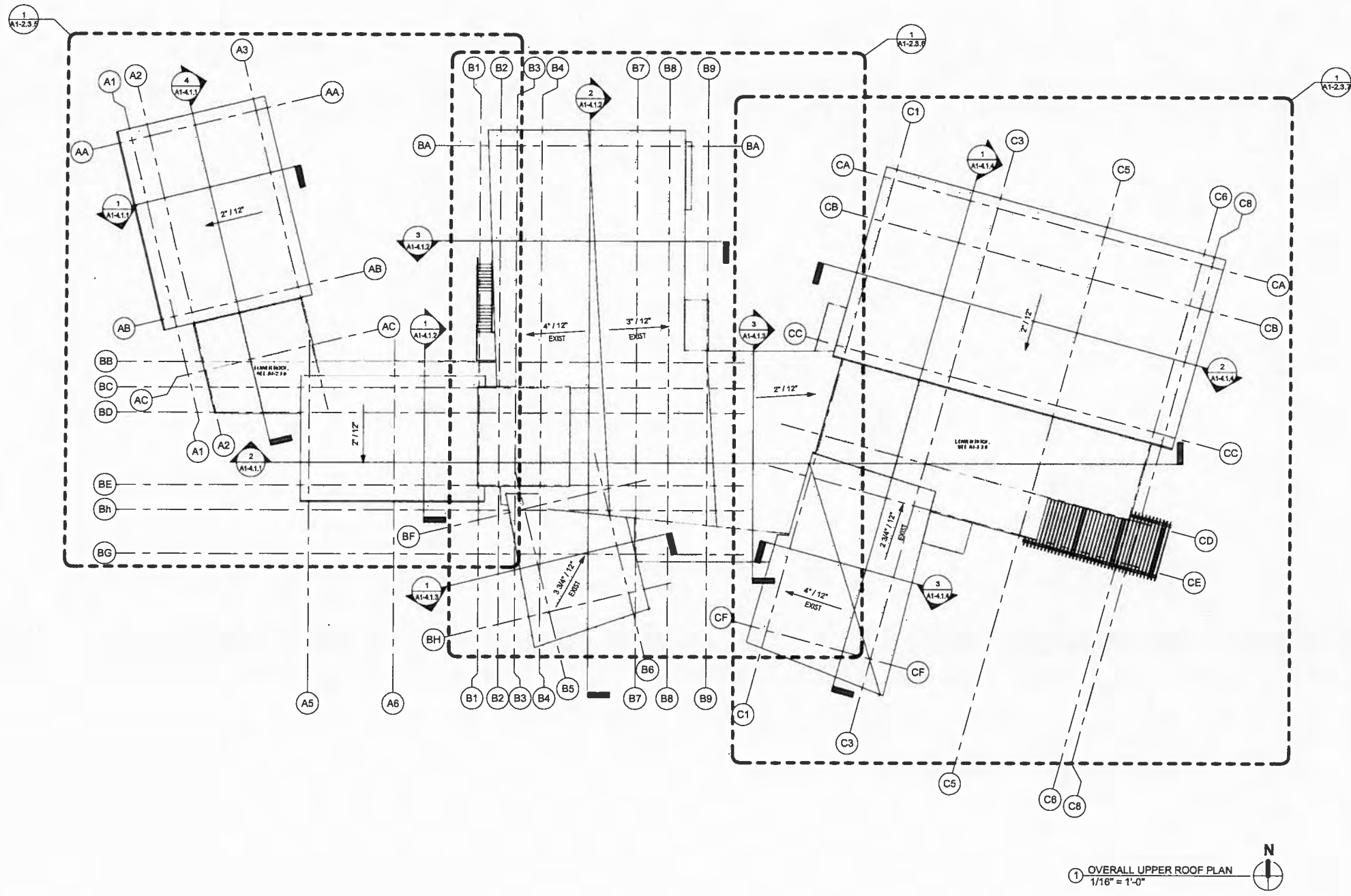
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LOWER ROOF PLAN - AREA C

Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

RNT Job No. 594.00
Date 11/02/2012
Drawn by Author
Checked by Checker
Sheet Number

A1-2.3.3



① OVERALL UPPER ROOF PLAN
1/16" = 1'-0"

KEYNOTES



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OVERALL UPPER ROOF PLAN

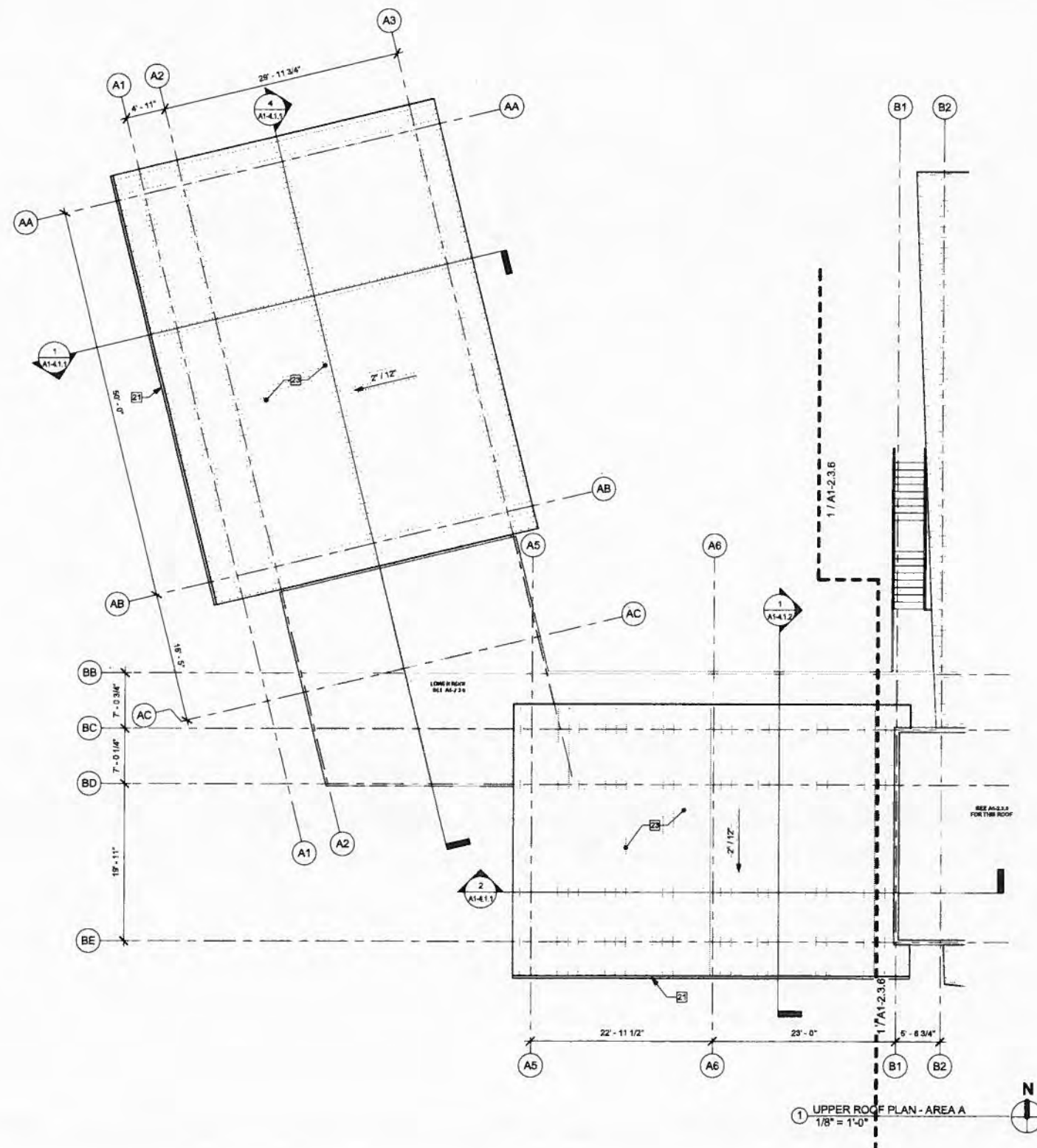
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No.	Description	Date

Activity
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RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
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Sheet Number	

A1-2.3.4



KEYNOTES
 21 GUTTER
 23 METAL ROOF SYSTEM



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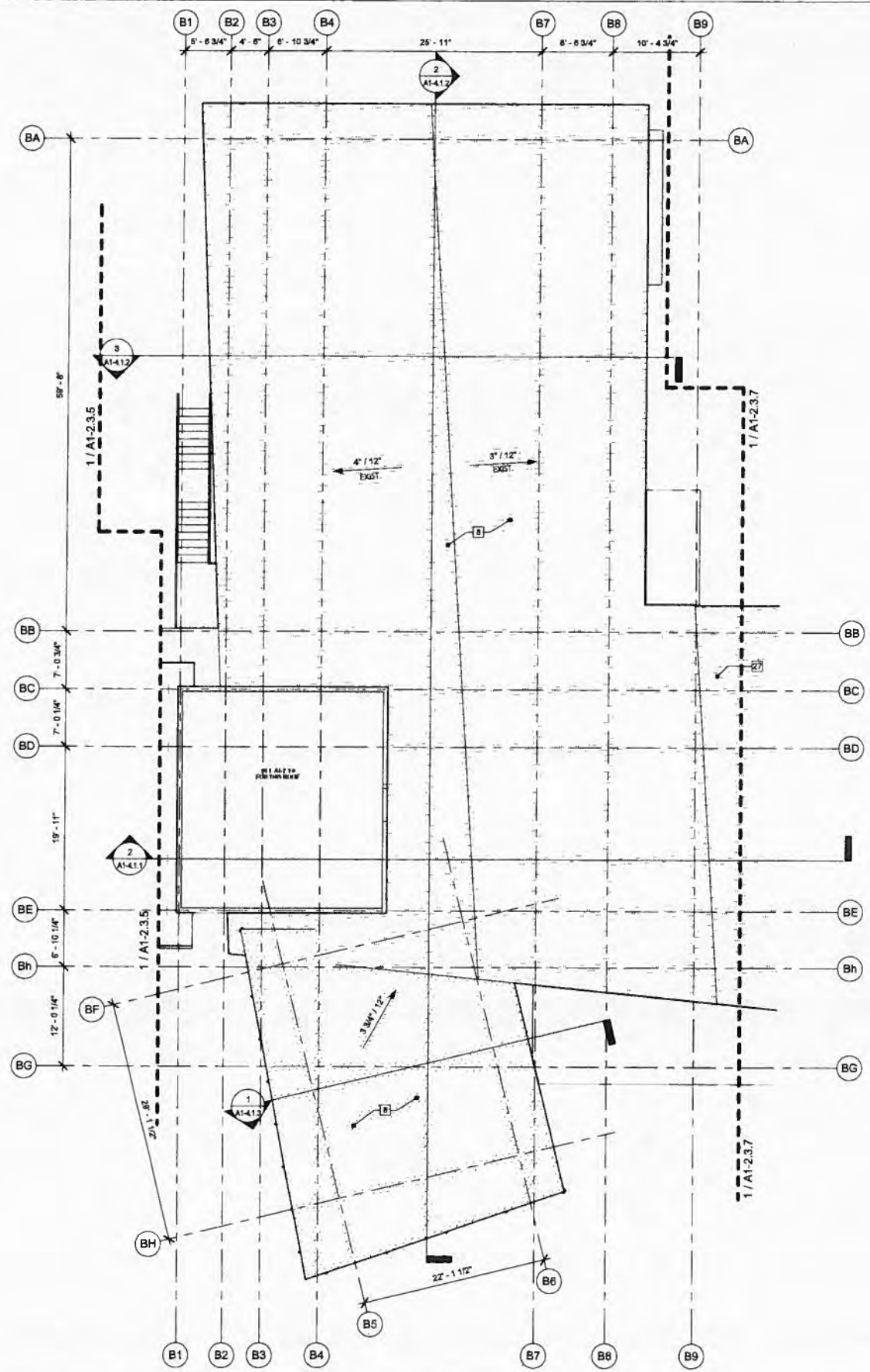
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 UPPER ROOF PLAN - AREA A

Revisions		
No.	Description	Date

Activity
 CONSTRUCTION DOCUMENTS

RNT Job No.	594.00
Date	11/02/2012
Drawn by	Author
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Sheet Number	

A1-2.3.5



KEYNOTES
 1 EXISTING METAL ROOF SYSTEM TO REMAIN
 2 NEW METAL ROOF SYSTEM TO TIE INTO EXISTING



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UPPER ROOF PLAN - AREA B

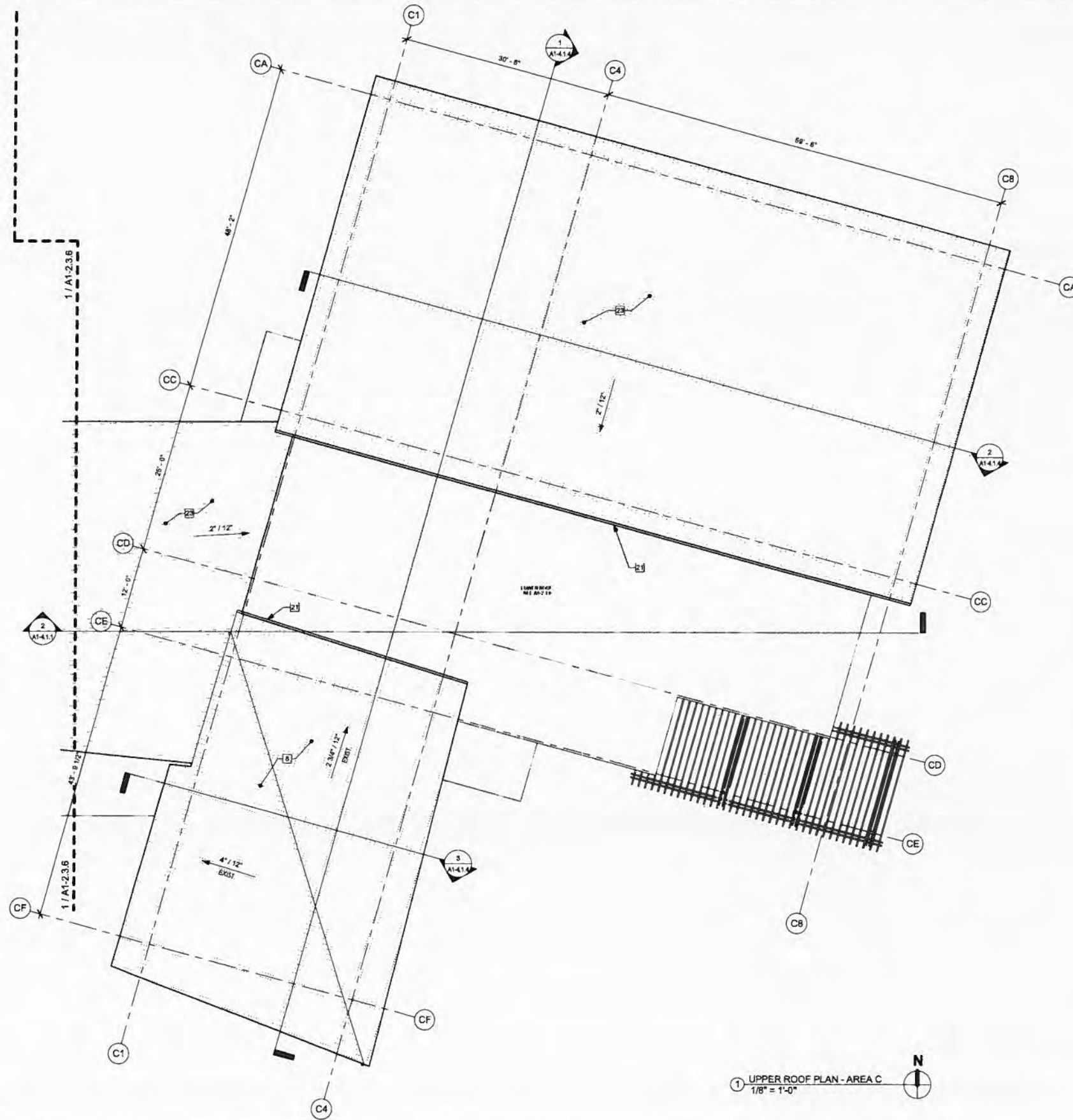
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Date	11/02/2012
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Checked by	Checker
Sheet Number	

A1-2.3.6

1 UPPER ROOF PLAN - AREA B
 1/8" = 1'-0"



1 UPPER ROOF PLAN - AREA C
1/8" = 1'-0"

- KEYNOTES**
- 6 EXISTING METAL ROOF SYSTEM TO REMAIN
 - 21 GUTTER
 - 23 METAL ROOF SYSTEM



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UPPER ROOF PLAN - AREA C

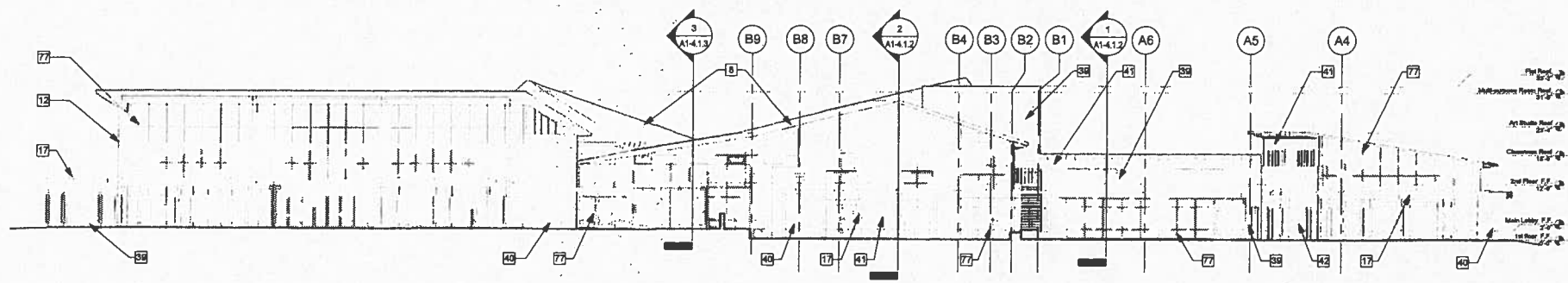
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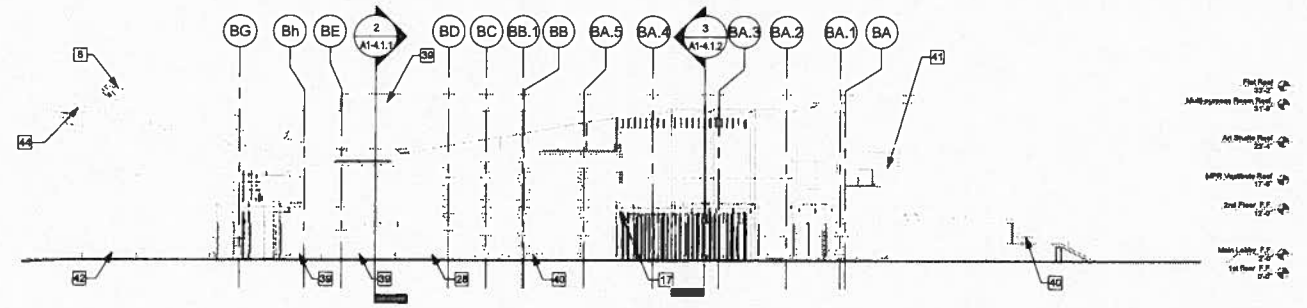
Activity
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RNT Job No.	594.00
Date	11/02/2012
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A1-2.3.7



① NORTH ELEVATION
1/16" = 1'-0"



② EAST ELEVATION
1/16" = 1'-0"

- KEYNOTES**
- 8 EXISTING METAL ROOF SYSTEM TO REMAIN
 - 12 STEEL COLUMN, SEE STRUCTURAL DRAWINGS
 - 17 TRELLIS
 - 28 ROLLING GATE
 - 39 CEMENT PLASTER
 - 40 STONE VENEER
 - 41 FIBER CEMENT SIDING
 - 42 FIBER CEMENT SHINGLE
 - 44 RAFTER TAIL PAINT
 - 77 METAL STOREFRONT SYSTEM



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**OVERALL EXTERIOR
ELEVATIONS**

Revisions

No.	Description	Date

Activity
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Date	11/02/2012
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Sheet Number	

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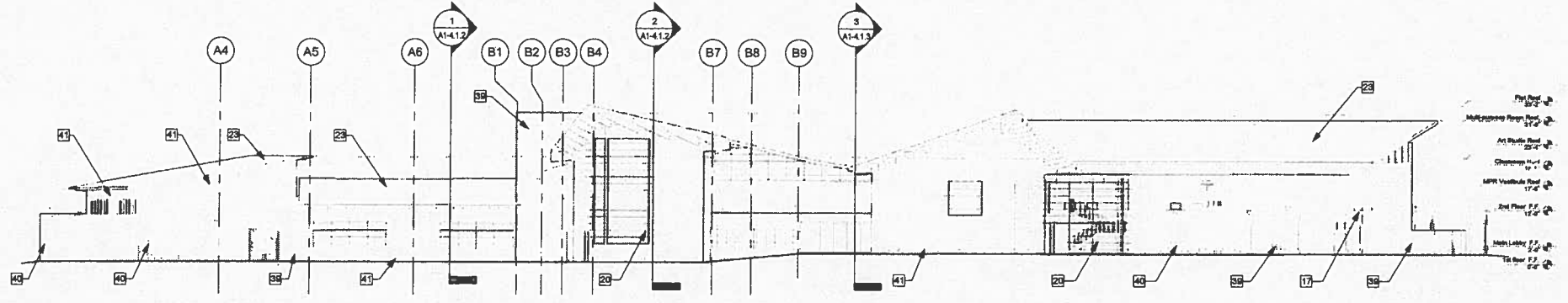


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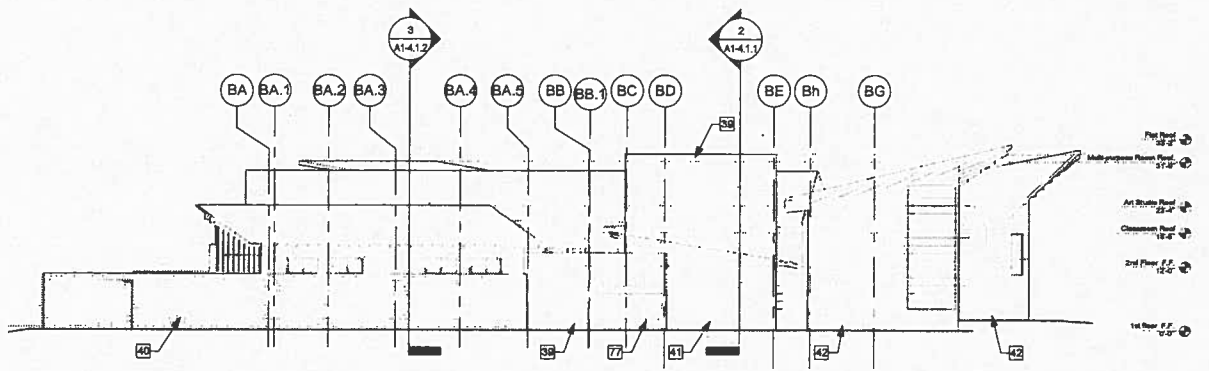
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**OVERALL EXTERIOR
ELEVATIONS**

- KEYNOTES**
- 17 TRELLIS
 - 20 LOUVERS
 - 23 METAL ROOF SYSTEM
 - 38 CEMENT PLASTER
 - 40 STONE VENEER
 - 41 FIBER CEMENT SIDING
 - 42 FIBER CEMENT SHINGLE
 - 77 METAL STOREFRONT SYSTEM



① SOUTH ELEVATION
1/16" = 1'-0"



② WEST ELEVATION
1/16" = 1'-0"

Revisions

No.	Description	Date

Activity
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RNT Job No.	594.00
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**PARTIAL EXTERIOR
ELEVATIONS**

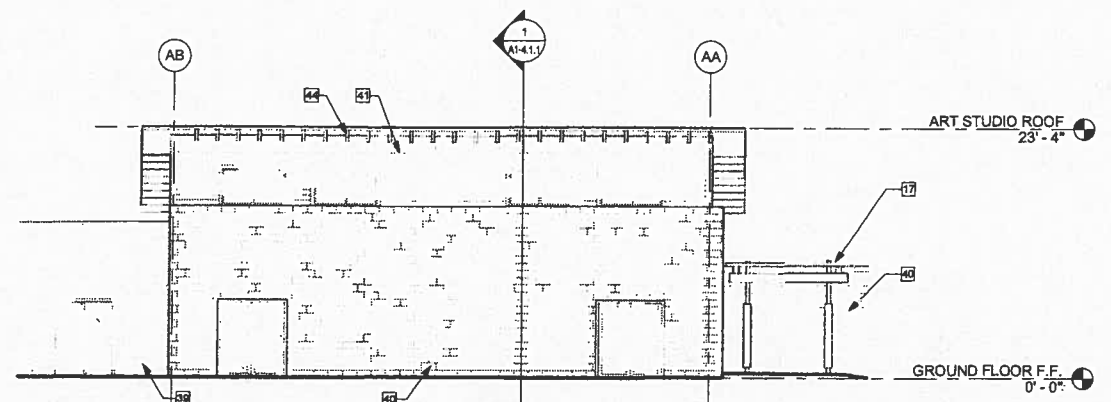
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Activity
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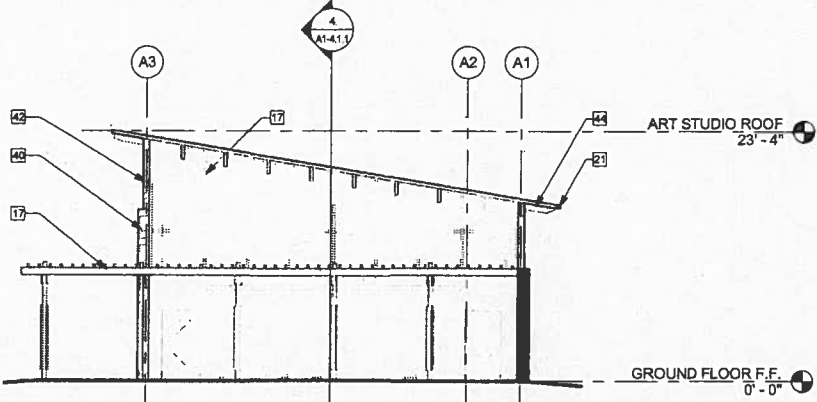
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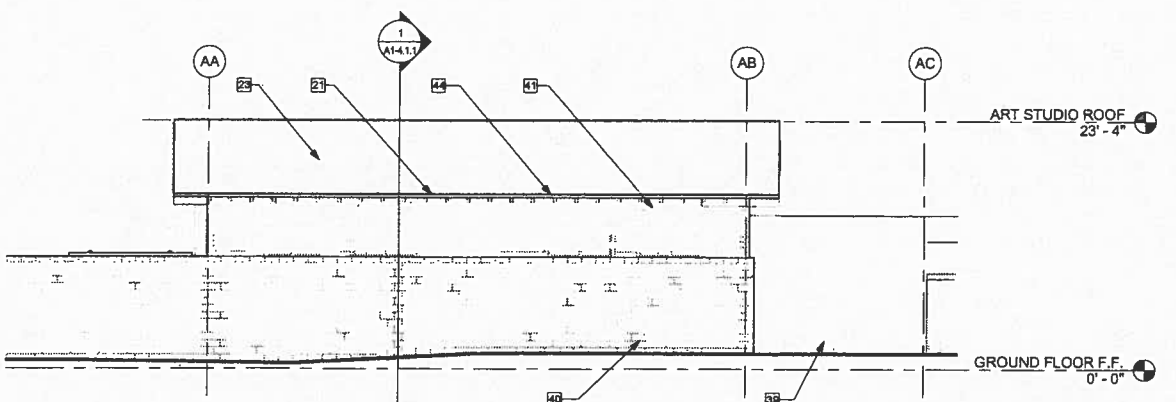
- KEYNOTES**
- 17 TRELLIS
 - 20 LOUVERS
 - 21 GUTTER
 - 23 METAL ROOF SYSTEM
 - 39 CEMENT PLASTER
 - 40 STONE VENEER
 - 41 FIBER CEMENT SIDING
 - 42 FIBER CEMENT SHINGLE
 - 44 RAFTER TAIL PAINT
 - 77 METAL STOREFRONT SYSTEM



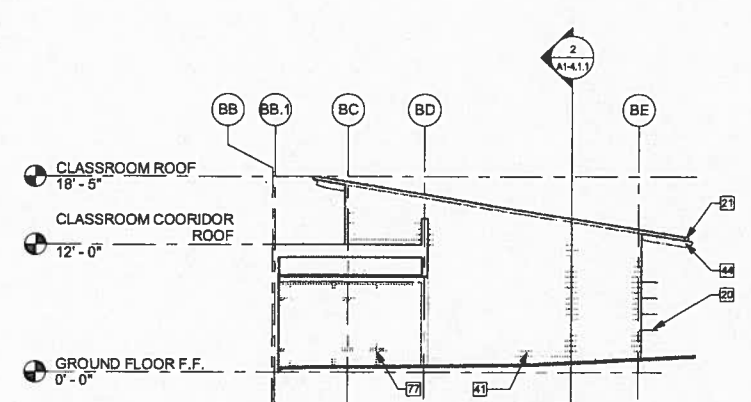
4 ART ROOM - EAST ELEVATION
1/8" = 1'-0"



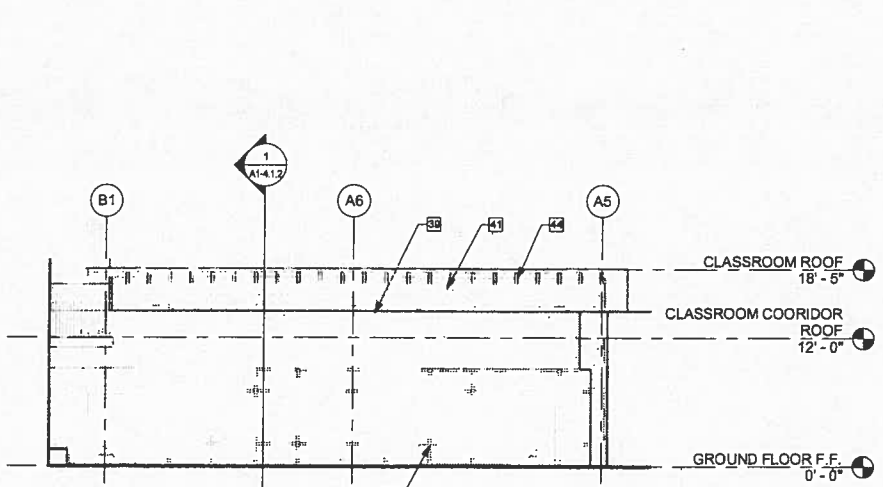
1 ART ROOM - NORTH ELEVATION
1/8" = 1'-0"



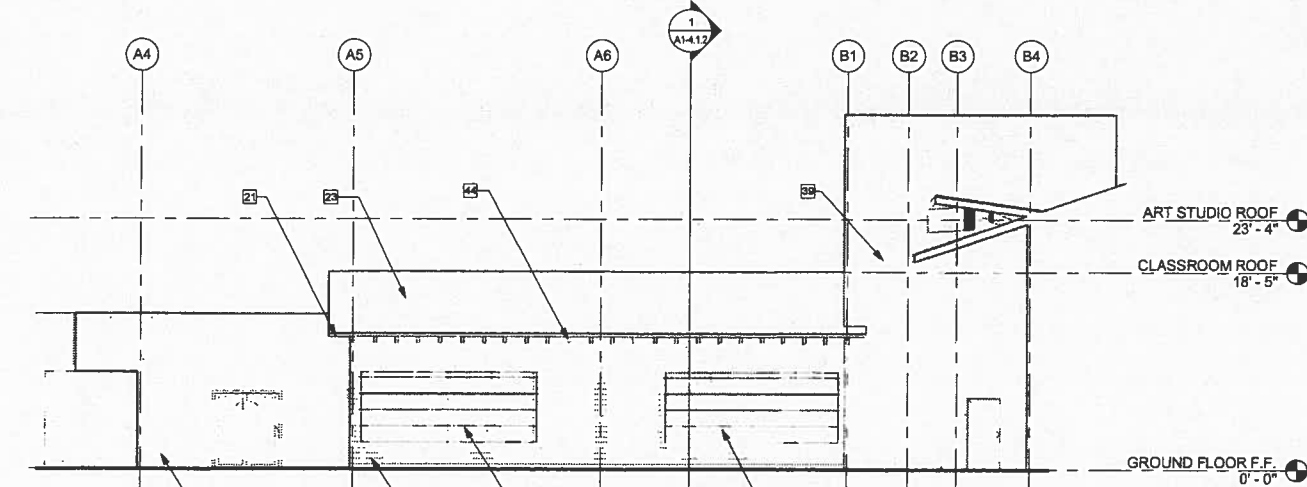
5 ART ROOM - WEST ELEVATION
1/8" = 1'-0"



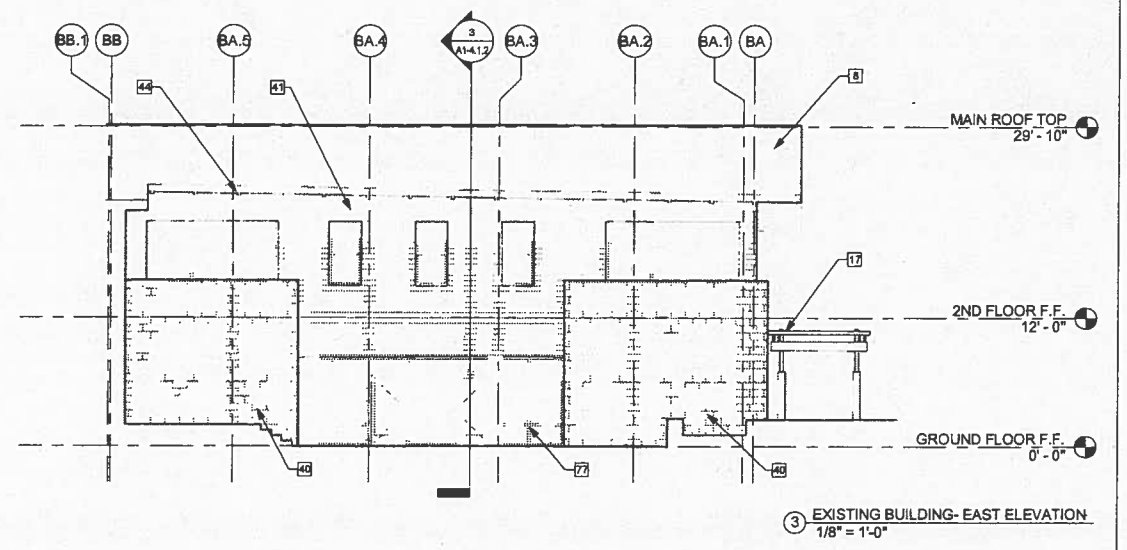
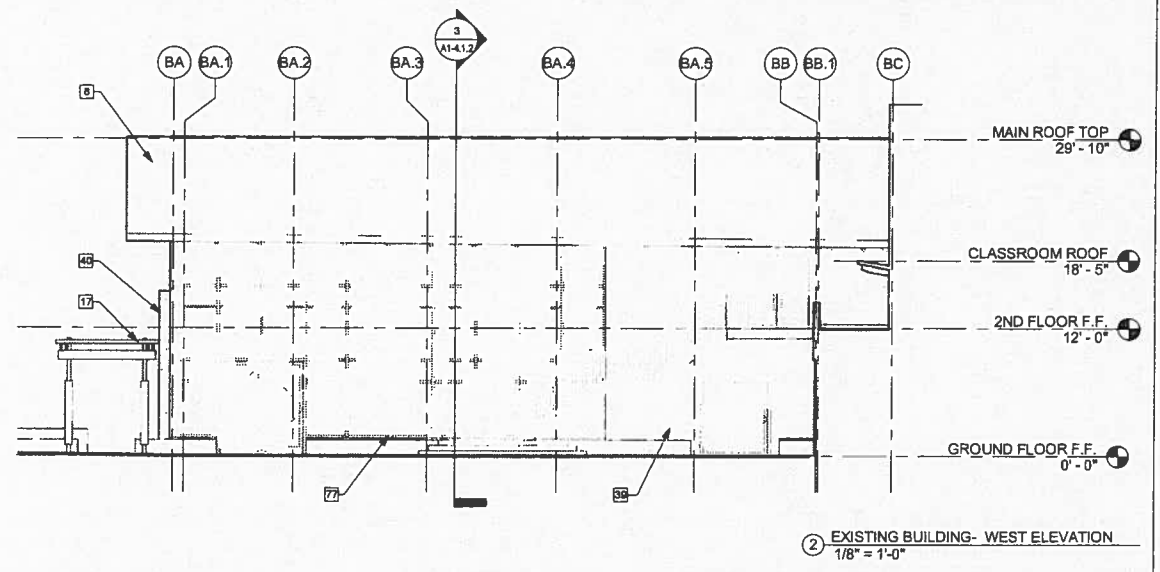
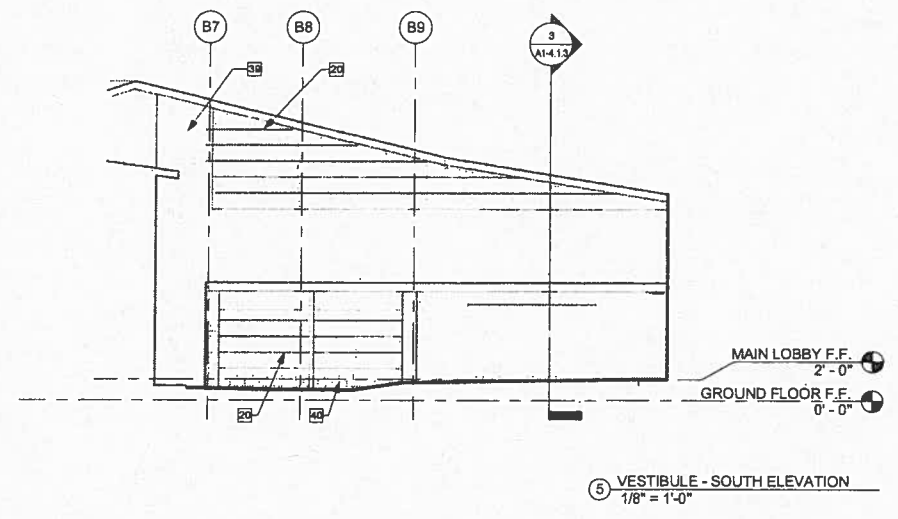
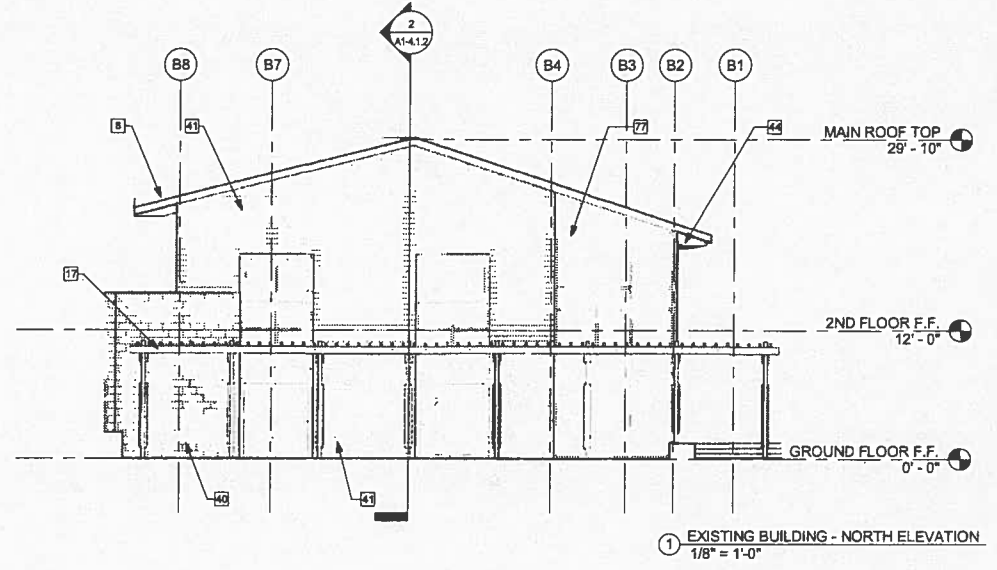
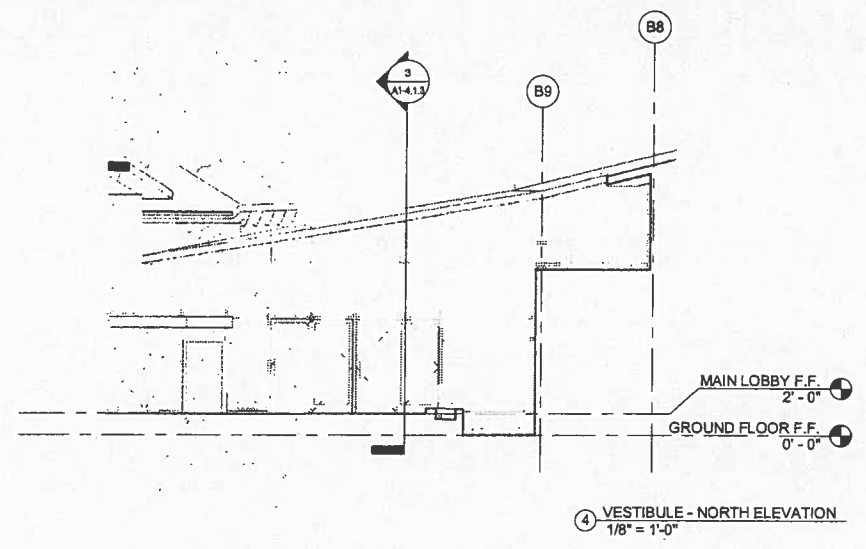
2 CLASSROOM - WEST ELEVATION
1/8" = 1'-0"



6 CLASSROOM - NORTH ELEVATION
1/8" = 1'-0"



3 CLASSROOM - SOUTH ELEVATION
1/8" = 1'-0"



- KEYNOTES**
- 5 EXISTING METAL ROOF SYSTEM TO REMAIN
 - 17 TRELLIS
 - 20 LOUVERS
 - 39 CEMENT PLASTER
 - 41 STONE VENEER
 - 44 FIBER CEMENT SIDING
 - 44 RAFTER TAIL PAINT
 - 77 METAL STOREFRONT SYSTEM



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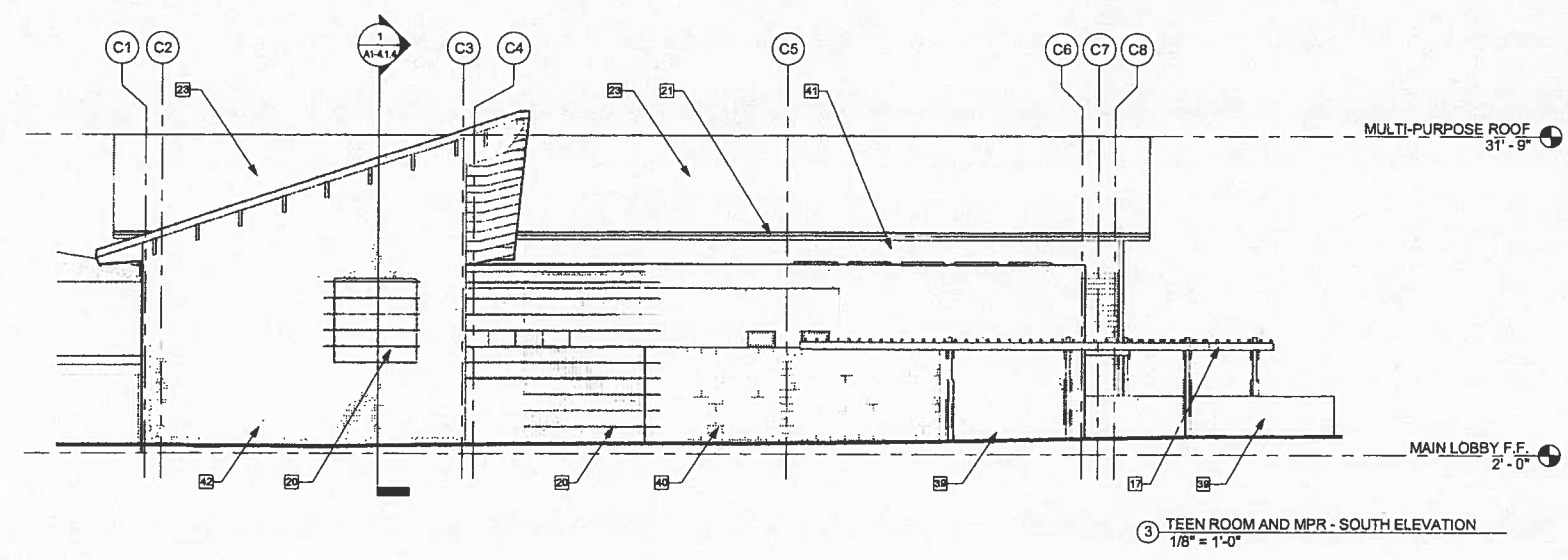
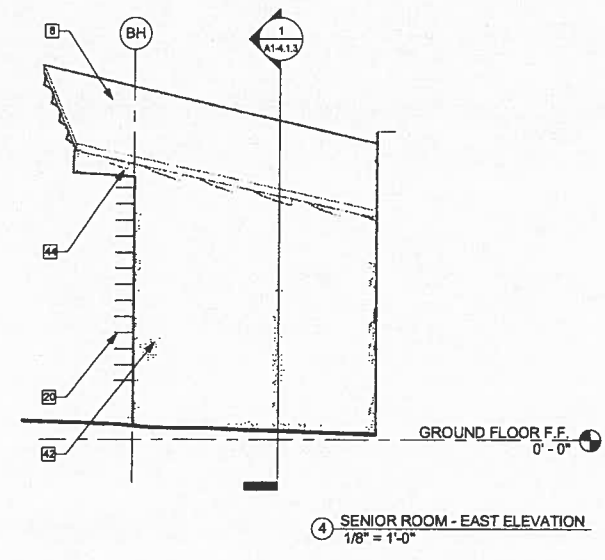
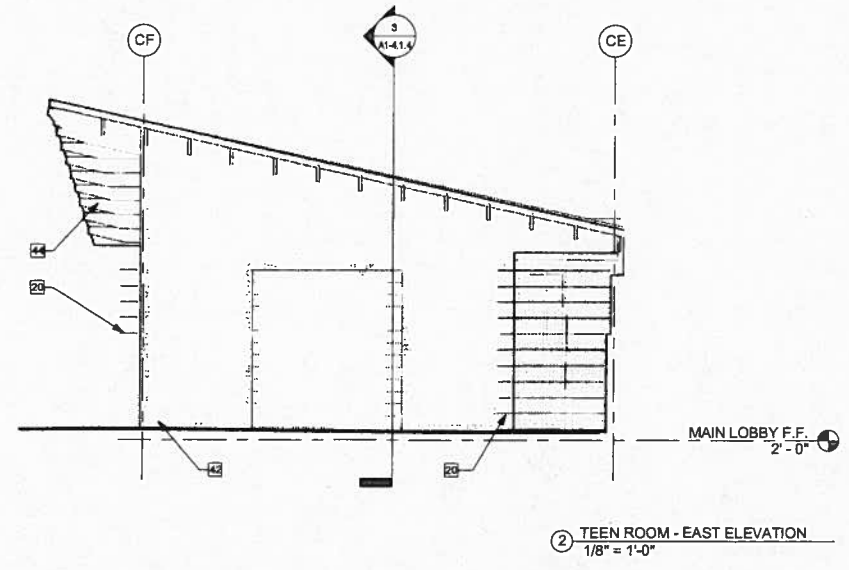
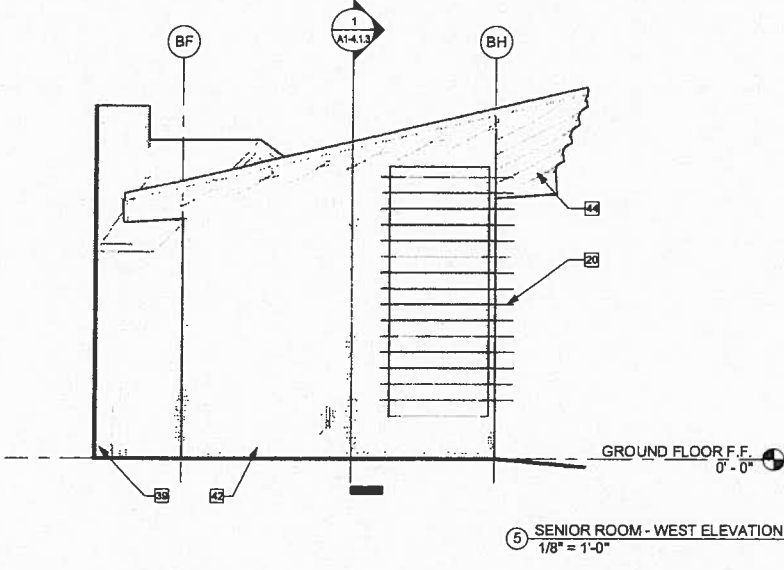
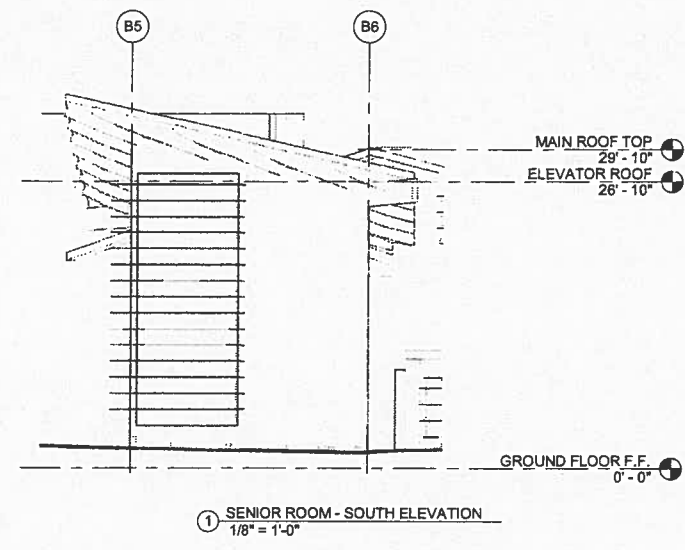
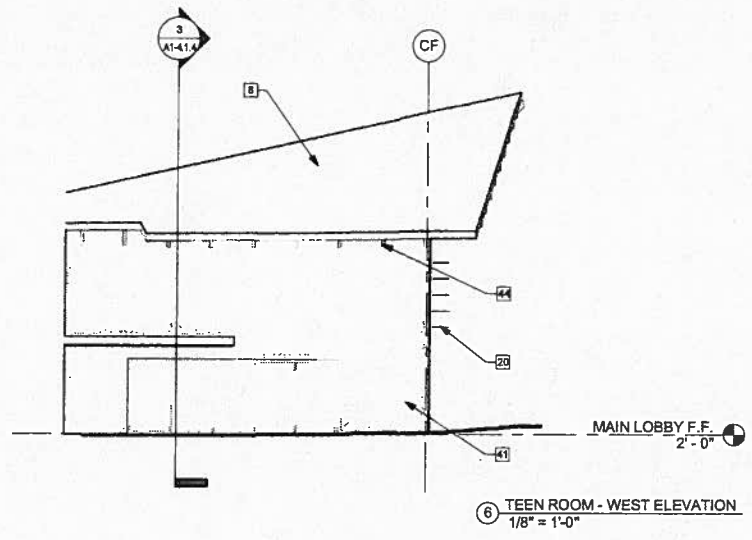
PARTIAL EXTERIOR ELEVATIONS

Revisions		
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Activity
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RNT Job No.	594.00
Date	11/02/2012
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A1-3.2.2



- KEYNOTES**
- 8 EXISTING METAL ROOF SYSTEM TO REMAIN
 - 17 TRELLIS
 - 20 LOUVERS
 - 21 GUTTER
 - 23 METAL ROOF SYSTEM
 - 36 CEMENT PLASTER
 - 40 STONE VENEER
 - 41 FIBER CEMENT SIDING
 - 42 FIBER CEMENT SHINGLE
 - 44 RAFTER TAIL, PAINT


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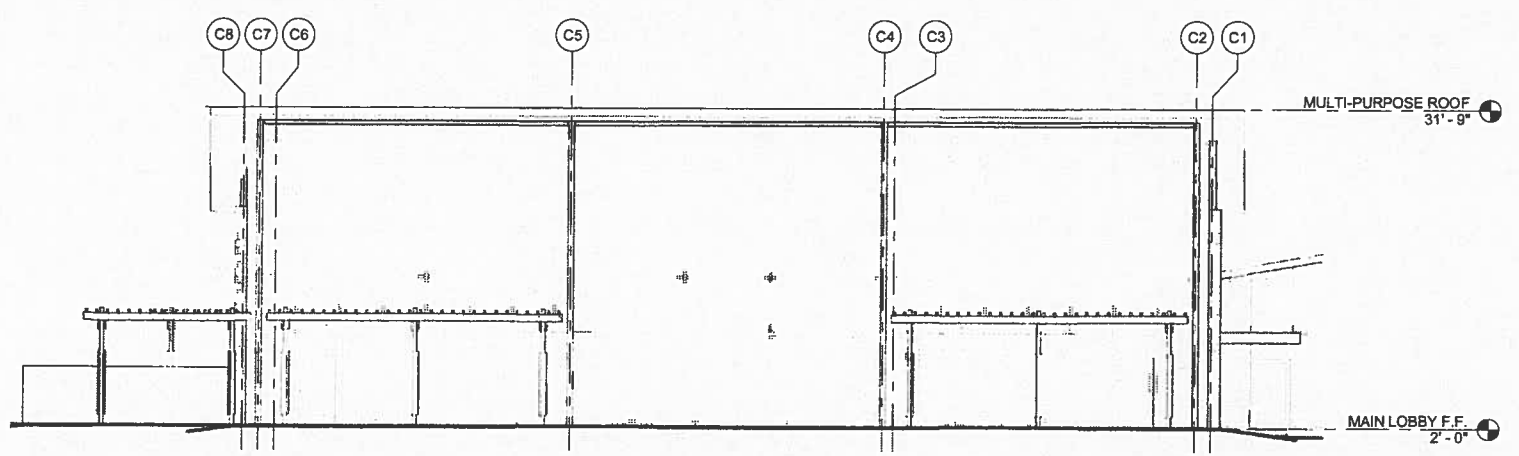
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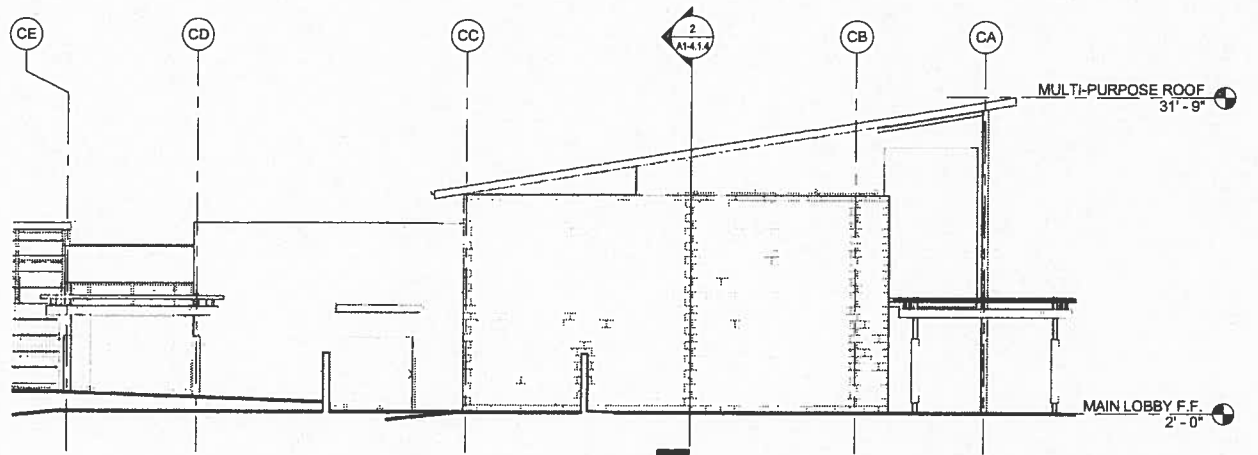
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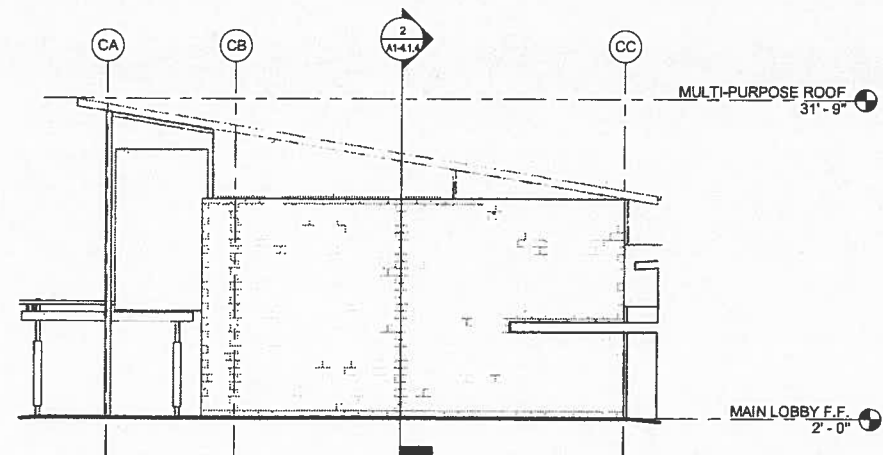
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① MPR - NORTH ELEVATION
1/8" = 1'-0"



② MPR - EAST ELEVATION
1/8" = 1'-0"



③ MPR - WEST ELEVATION
1/8" = 1'-0"

KEYNOTES



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PARTIAL EXTERIOR
ELEVATIONS

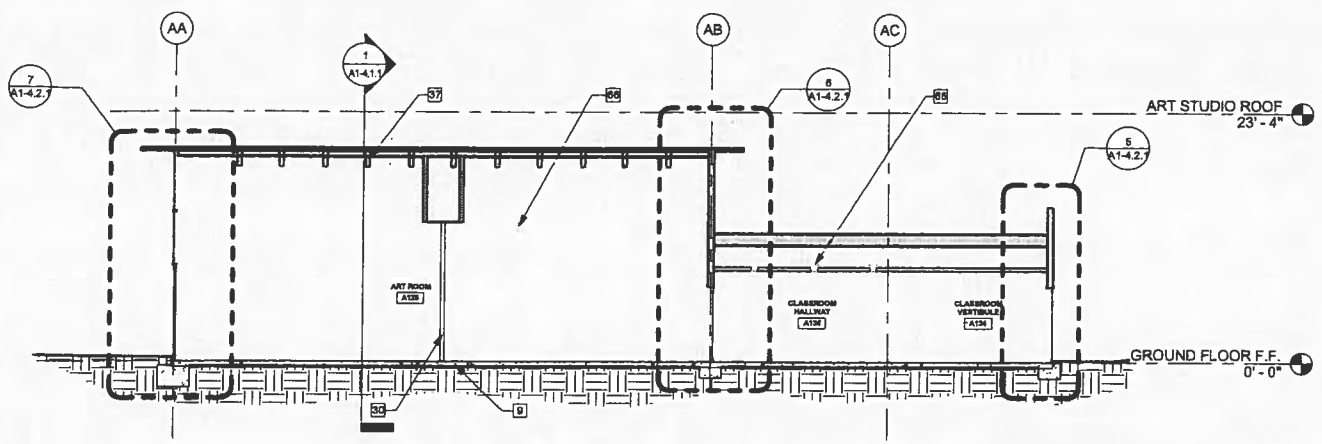
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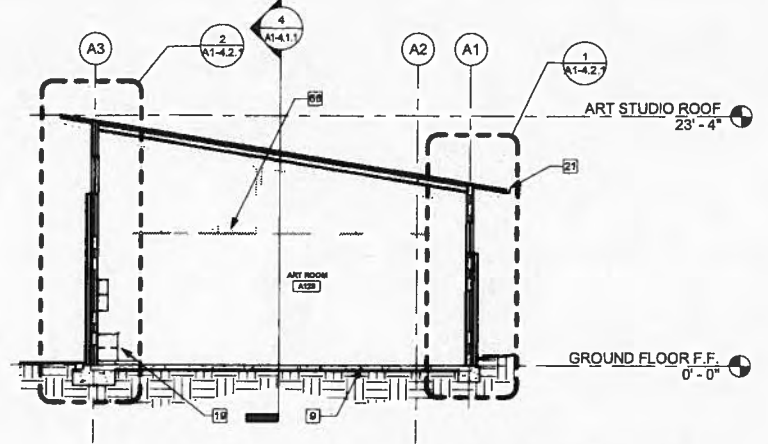
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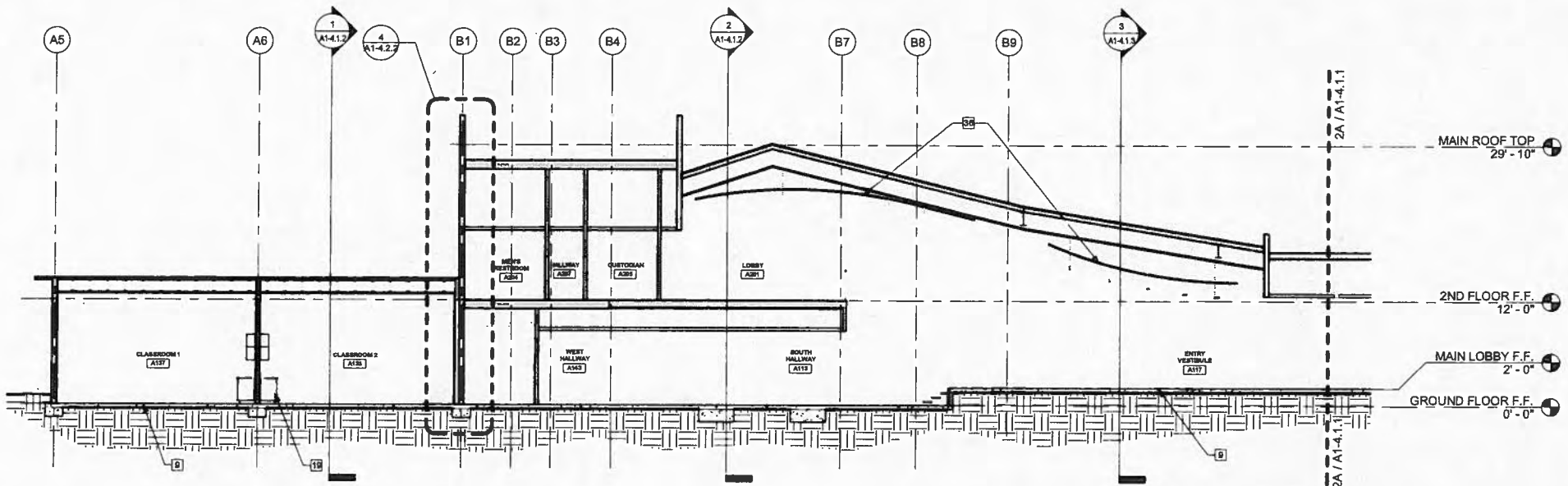
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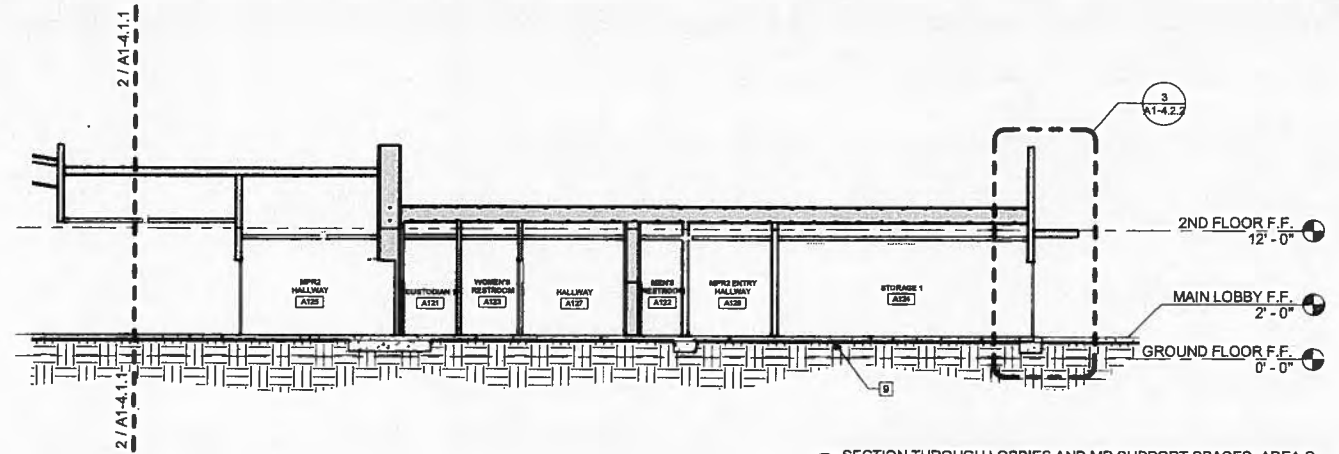
4 SECTION THROUGH ART ROOM 2
1/8" = 1'-0"



1 SECTION THROUGH ART ROOM 1
1/8" = 1'-0"



2 SECTION THROUGH LOBBIES AND MR SUPPORT SPACES- AREA A AND B
1/8" = 1'-0"



2A SECTION THROUGH LOBBIES AND MR SUPPORT SPACES- AREA C
1/8" = 1'-0"

- KEYNOTES**
- 0 CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS
 - 18 CASEWORK, REFER TO INTERIOR ELEVATIONS
 - 21 GUTTER
 - 30 OPERABLE PARTITION
 - 36 SUSPENDED CEILING FEATURE
 - 37 EXPOSED ROOF STRUCTURE, REFER TO STRUCTURAL DRAWINGS
 - 85 LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS



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BUILDING SECTIONS

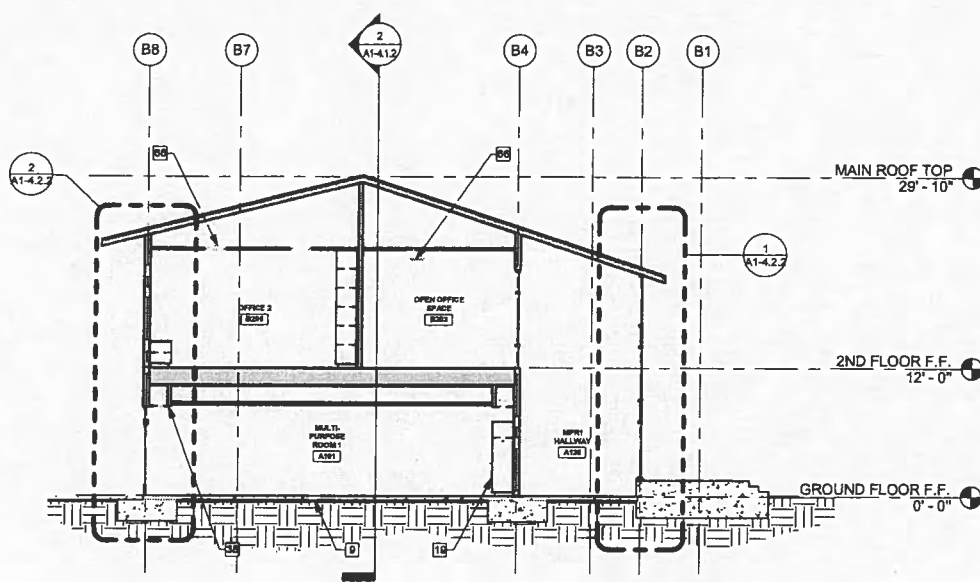
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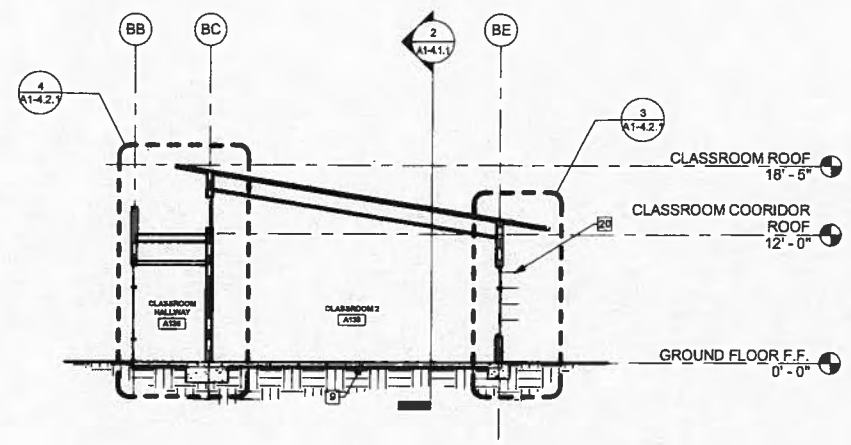
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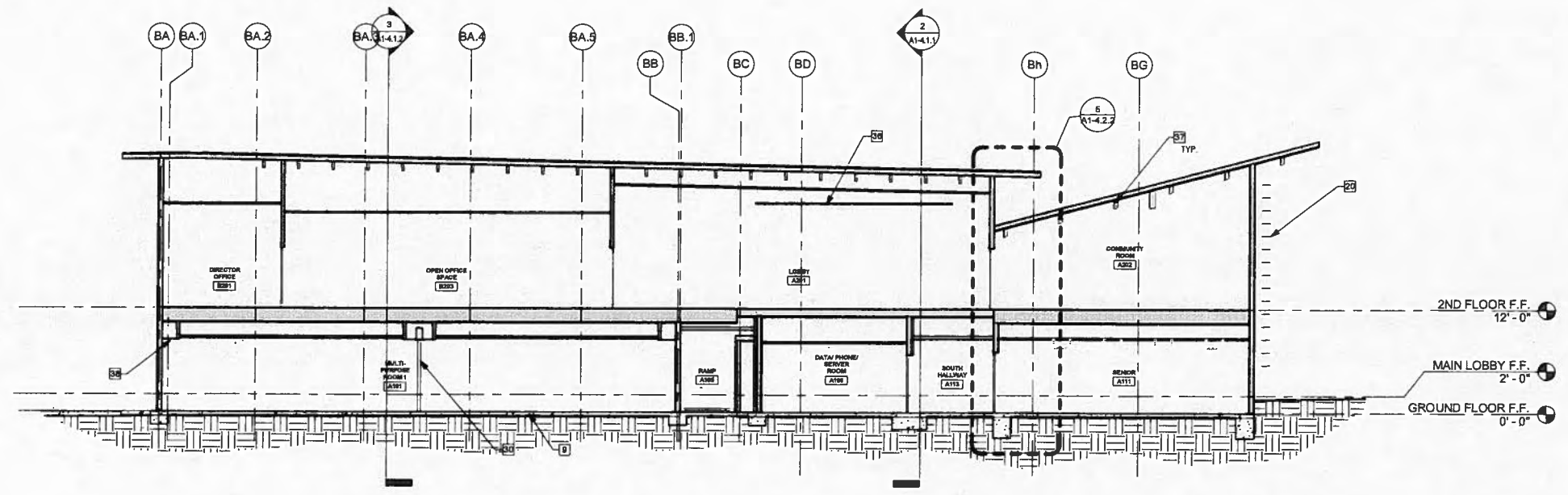
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③ SECTION THROUGH MAIN BUILDING
1/8" = 1'-0"



① SECTION THROUGH CLASSROOM
1/8" = 1'-0"



② SECTION THROUGH MPR, OFFICES, SENIOR ROOM AND COMMUNITY ROOM
1/8" = 1'-0"

- KEYNOTES**
- 0 CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS
 - 10 CASEWORK, REFER TO INTERIOR ELEVATIONS
 - 20 LOUVERS
 - 30 OPERABLE PARTITION
 - 36 SUSPENDED CEILING FEATURE
 - 37 EXPOSED ROOF STRUCTURE, REFER TO STRUCTURAL DRAWINGS
 - 38 SOFFIT
 - 66 LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS



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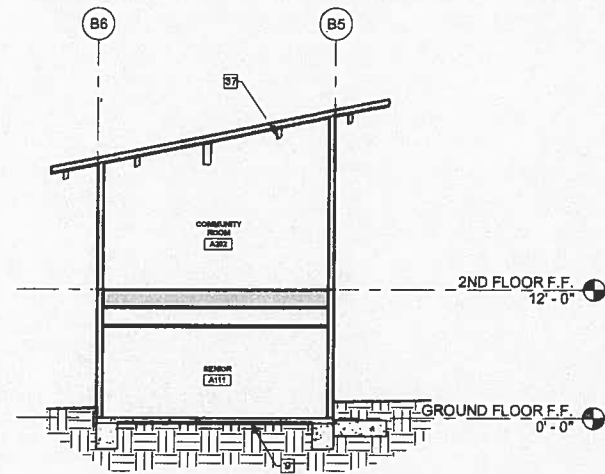
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BUILDING SECTIONS

Revisions		
No.	Description	Date

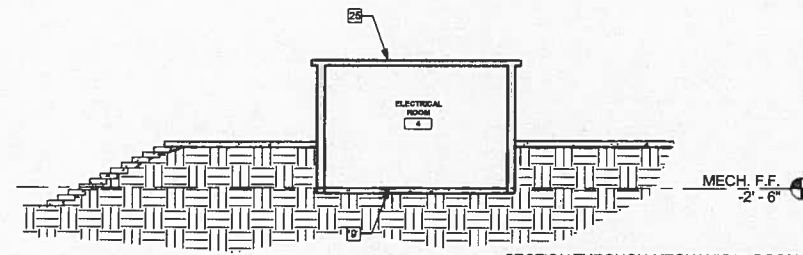
Activity
CONSTRUCTION DOCUMENTS

RNT Job No. 594.00
Date 11/02/2012
Drawn by HBC
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Sheet Number

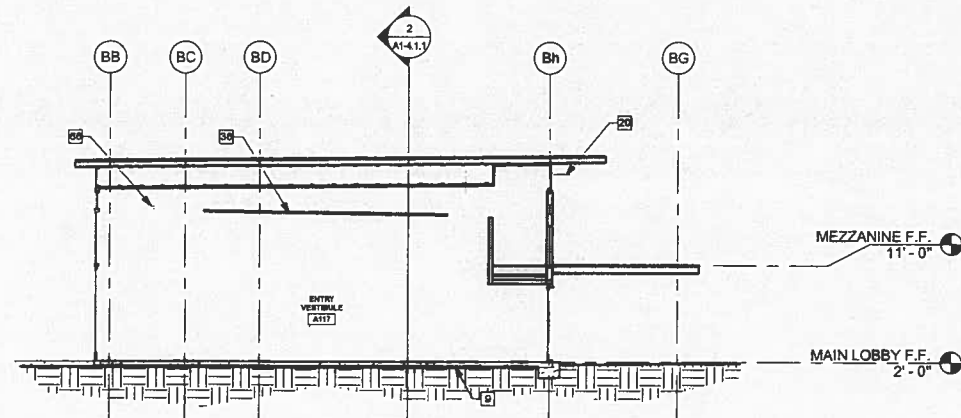
A1-4.1.2



① SECTION THROUGH SENIOR ROOM
1/8" = 1'-0"



② SECTION THROUGH MECHANICAL ROOM
1/8" = 1'-0"



③ SECTION THROUGH MAIN LOBBY
1/8" = 1'-0"

- KEYNOTES**
- # CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS
 - 20 LOUVERS
 - 25 GREEN ROOF SYSTEM
 - 36 SUSPENDED CEILING FEATURE
 - 37 EXPOSED ROOF STRUCTURE, REFER TO STRUCTURAL DRAWINGS
 - 65 LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS



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BUILDING SECTIONS

Revisions		
No.	Description	Date

Activity
CONSTRUCTION DOCUMENTS

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Sheet Number

A1-4.1.3

general notes

- Contractor shall read and understand the specifications and conditions of approval prior to commencing work. Failure to adhere to the specifications may result in a delay of the project at the contractor's expense. Contractor is responsible for any loss due to his/her decision to alter the design or layout of this project in any way.
- Contractor shall confirm all field dimensions and conditions prior to the start of work. Any discrepancies with plans shall be reported to the University's Representative.
- Due to unforeseen circumstances that occur as projects undergo construction, site conditions will change. Therefore, if a proposed built element, grade changes, or planting seems problematic and is evident that it is not realistic due to new site conditions, please call The University's Representative to coordinate this issue prior to construction.
- These plans were developed utilizing survey information provided by others. Landscape Architect holds not obligation to verify and or adjust base.
- Contractor shall make modifications to material or method of installation as required by local code, and shall notify the Landscape Architect of such changes.
- Contractor shall provide a 4' x 4' area sample of each class of paving for approval by the University's Representative and Landscape Architect.



sheet index

Sheet	Description
L1.00	GENERAL NOTES, ABBREVIATIONS & SYMBOL LEGEND
L1.10	HARDSCAPE OVERALL SITE PLAN
L1.11	HARDSCAPE PAVING AND DECKING DETAILS
L1.12	HARDSCAPE STAIR DETAILS
L2.00	IRRIGATION OVERALL SITE PLAN
L2.10	IRRIGATION DETAILS
L2.11	EPIC SYSTEM DETAILS
L2.12	IRRIGATION SCHEDULE
L3.00	LANDSCAPE OVERALL SITE PLAN
L3.10	LANDSCAPE SECTIONS
L3.11	LANDSCAPE DETAILS

abbreviations

@	- at
AVAIL.	- available
CONC.	- concrete
DG.	- stabilized decomposed granite
DIA.	- diameter
DTL.	- detail
MAX.	- maximum
MIN.	- minimum
O.C.	- on center
PA	- planting
TYP.	- typical
W/	- with

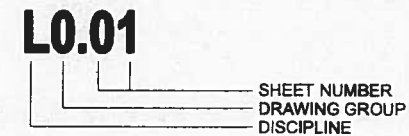
legend

---	Limit of Work Line
---	Limits of Grading
⊕	Detail Number
⊕	Sheet Number

material legend

	Pre-Cast Concrete Pavers	
	Integral Colored Concrete Paving W/ tooled joint pattern per plan	
	Natural Color Concrete Paving W/ tooled joint pattern per plan	(2) L2.11
	Exposed Aggregate Concrete Paving W/ bush hammered finish	(L2.11)
	Rubber Matting - Spectra Pour CA at play area and Spectra Top to be used in fire lane	
	Resysta Synthetic Decking; color "aged-FVG-C23"	(L2.11)
	Stabilized Decomposed Granite over class II base; color "Gall's Gold"	(3.4) L2.11
	Exposed Cast-in-Place Concrete Raised Planter Walls; finish and color to match exposed concrete building walls. see ARCH for details.	
	Metal Bicycle Racks; Model #: Mini-Lok W/ anchor kit MANUF. by Sunshine U-Lok Corporation, (818) 707-0110	

drawing set organization



drawing groups

0	GENERAL
2	HARDSCAPE
3	IRRIGATION
4	LANDSCAPE



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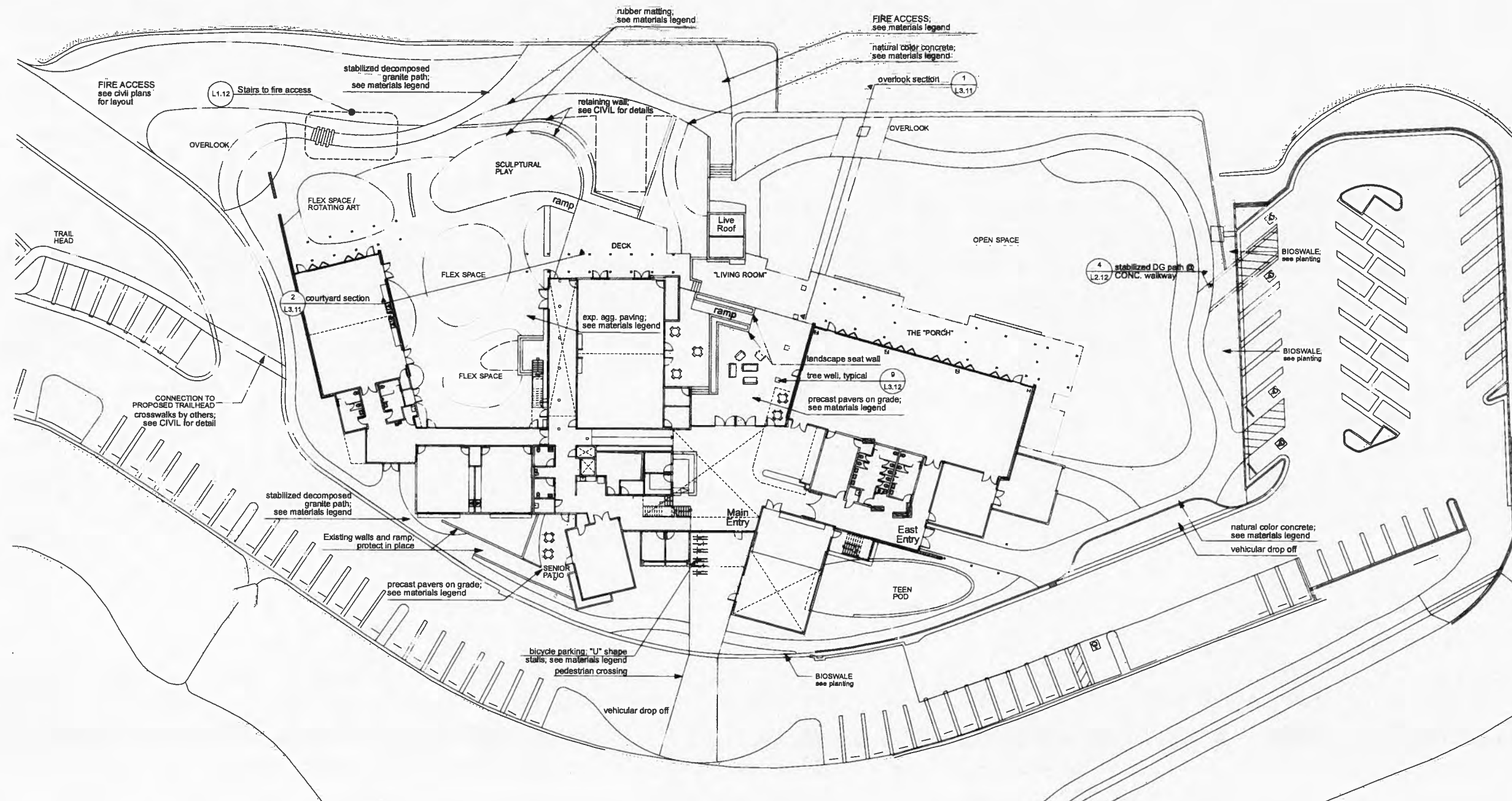
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General Notes and Symbols

RNT Job No.	
Date	November 1, 2012
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Sheet Number	

L1.00



Legend

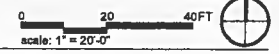
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 - - - Limits of Grading
 # Detail Number
 SHT Sheet Number

material legend

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 ||| Metal Bicycle Racks; Model #: Mini-Lok W/ anchor kit; MANUF. by Sunshine U-Lok Corporation, (818) 707-0110

hardscape site plan



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NO.	DESCRIPTION

Activity
Hardscape Site Plan

RNT Job No.
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 Drawn by VAA
 Checked by VAA
 Sheet Number

L1.10

PLANT PALETTES

Oak Woodland Garden

	Scientific Name	Common Name
TREES	<i>Alnus rhombifolia</i> <i>Juglans californica</i> <i>Quercus lobata</i> <i>Quercus agrifolia</i> <i>Sambucus mexicana</i>	White Alder S. California Black Walnut Valley Oak Coast Live oak Mexican Elderberry
SHRUBS	<i>Mahonia equifolium 'Compacta'</i> <i>Mahonia repens</i> <i>Ribes viburnifolium</i> <i>Ribes aureum gracillimum</i> <i>Ribes malvaecium viridifolium</i> <i>Ribes speciosum</i> <i>Salanum xanthi</i> <i>Symphoricarpos mollis</i>	Compact Oregon Grape Creeping Mahonia Catalina Perfume Golden Currant Chaparral Currant Fuchsia-Flowered Gooseberry Purple Nightshade Creeping Snowberry
PERENNIALS	<i>Fragaria chiloensis</i> <i>Iris douglasiana</i> <i>Penstemon specios</i> <i>Penstemon heterophyllus australis</i> <i>Potentilla glandulosa</i> <i>Salvia spathacea</i> <i>Salureja douglasii</i> <i>Stachys albens</i> <i>Thalictrum fendleri</i> <i>Vernegesia carpesoloides</i>	Wild Strawberry Douglas Iris Beard Tongue Southern Foothill Penstemon Sticky cinquefoil Hummingbird Sage Yerba Buena White Hedge Nettle Meadow Rue Canyon Sunflower

Oak Woodland Continued

GRASSES (See the Savanna/Grassland List)	BIENNIALS/ANNUALS	FERNS/MOSS
	<i>Claytonia perfoliata</i> <i>Collinsia heterophylla</i>	<i>Dryopteris arguta</i> <i>Polypodium californicum</i> <i>Adiantum jordanii</i> <i>Pellaea andromedifolia</i> <i>Pentagramma triangularis</i> * Plant species found on site

Savanna and Grassland

TREES	PERENNIALS
<i>Quercus agrifolia</i> <i>Quercus lobata</i>	<i>Asclepias fascicularis</i> <i>Corithrogyne flaginifolia</i> <i>Hemizonia fasciculata</i>

Savanna and Grassland Continued

GRASSES	EPIC GREEN AREA	BULBS/CORMS	BIENNIALS/ANNUALS
<i>Bromus carinatus</i> <i>Distichlis spicata</i> <i>Elymus glaucus</i> <i>Koeleria macrantha</i> <i>Leymus condensatus</i> <i>Melica californica</i> <i>Melica imperfecta</i> <i>Nassella lepida</i> <i>Nassella pulchra</i> <i>Poa secunda</i> <i>Vulpia microstachys var. pauciflora</i> <i>Carex praegracilis</i>		<i>Bloomeria crocea</i> <i>Calochortus venustus</i> <i>Dichelostemma capitatum</i>	<i>Amsinckia menziesii var. intermedia</i> <i>Calandrinia ciliata var. menziesii</i> <i>Clarkia purpurea var. quadrivulnera</i> <i>Clarkia unguiculata</i> <i>Cryptantha intermedia</i> <i>Dodecatheon clevelandii sanctorum</i> <i>Lilanthus dianthiflorus</i> <i>Lupinus bicolor</i> <i>Lupinus concinnus</i> <i>Lupinus truncatus</i> <i>Phacelia cicutaria hispida</i> <i>Platygobithrys notholuyus</i> <i>Pholisma guttatum</i> <i>Mirabilis laevis crassifolius</i> * Plant species found on site

Riparian Woodland & Scrub

TREES	SHRUBS	PERENNIALS	GRASSES
<i>Platanus racemosa</i> <i>Populus fremontii</i> <i>Salix exigua</i> <i>Salix lasiolepis</i> <i>Salix lasiolepis</i>	<i>Baccharis salicifolia</i>	<i>Anemopsis californica</i> <i>Artemisia douglasiana</i> <i>Barbarea orthoceras</i> <i>Mimulus guttatus</i> <i>Potentilla glandulosa</i> <i>Rubus ursinus</i> <i>Verbena lasiostachys var. scabrata</i>	<i>Leymus triticoides</i>

Riparian Woodland & Scrub Continued

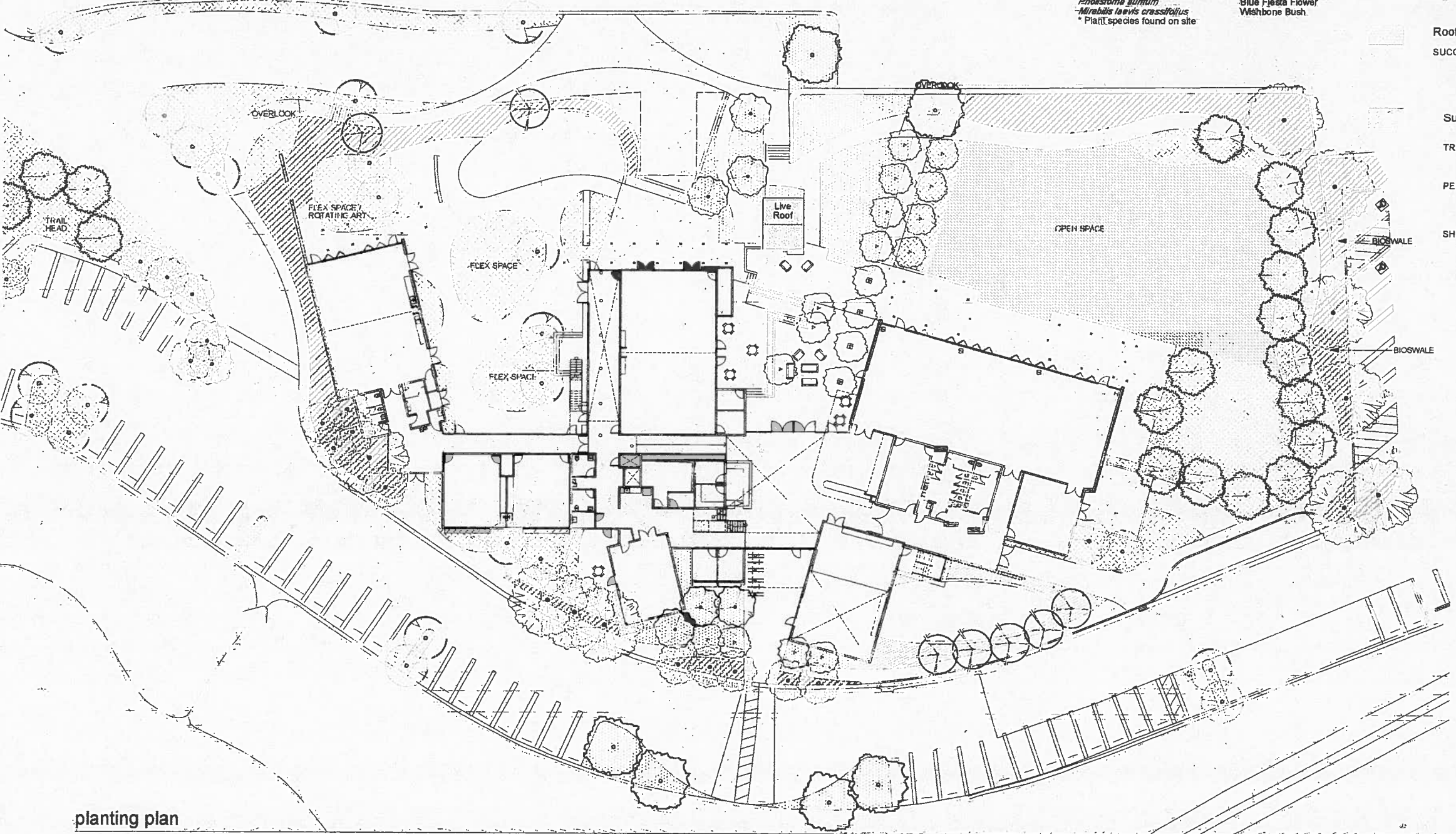
TREES	SHRUBS	PERENNIALS	GRASSES
<i>Platanus racemosa</i> <i>Populus fremontii</i> <i>Salix exigua</i> <i>Salix lasiolepis</i> <i>Salix lasiolepis</i>	<i>Baccharis salicifolia</i>	<i>Anemopsis californica</i> <i>Artemisia douglasiana</i> <i>Barbarea orthoceras</i> <i>Mimulus guttatus</i> <i>Potentilla glandulosa</i> <i>Rubus ursinus</i> <i>Verbena lasiostachys var. scabrata</i>	<i>Leymus triticoides</i>

Rooftop Garden

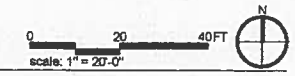
SUCCULENTS	Common Name
<i>Dudleya farinosa</i> <i>Dudleya lanceolata</i> <i>Sedum spurium</i>	Bluff Lettuce Dudleya Lance Leaf Dudleya Dragon's Blood Sedum

Subtropical Garden

TREES	PERENNIALS	SHRUBS
<i>Thevetia thevetioides</i>	<i>Astelia chathamica 'Silver Spear'</i> <i>Russelia equisetiformis</i> <i>Strelitzia reginae</i>	<i>Brugmansia alba</i> <i>Phoenix roebelenii</i> <i>Plumeria</i>



planting plan



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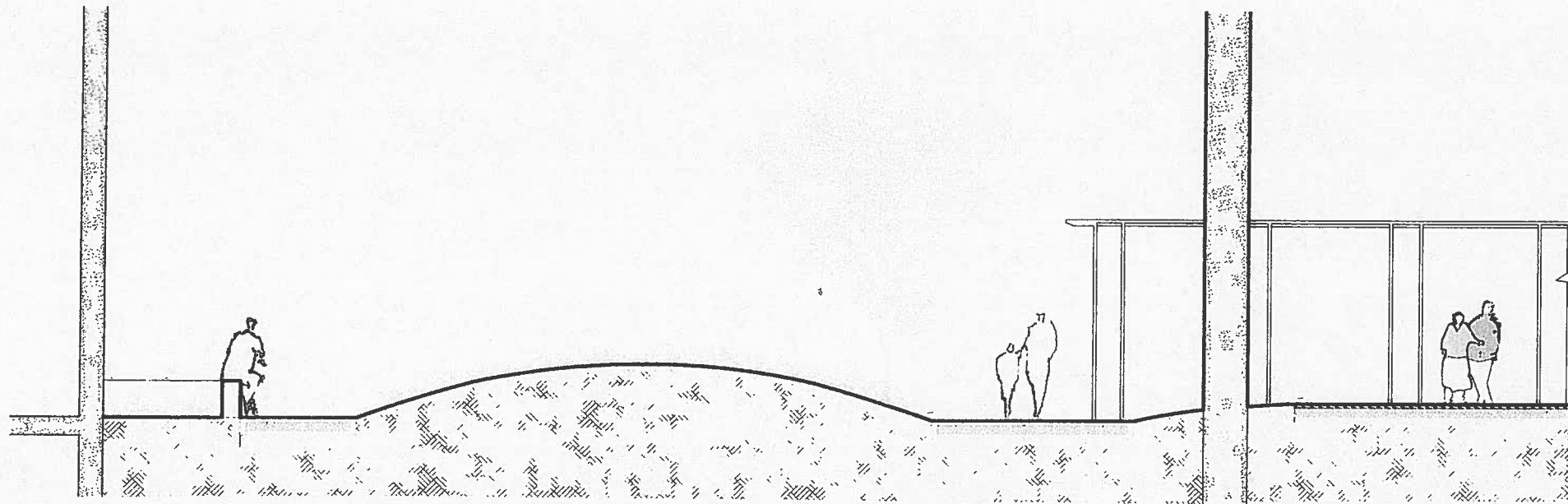
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Landscape Planting Plan

RNT Job No.	
Date	November 1, 2012
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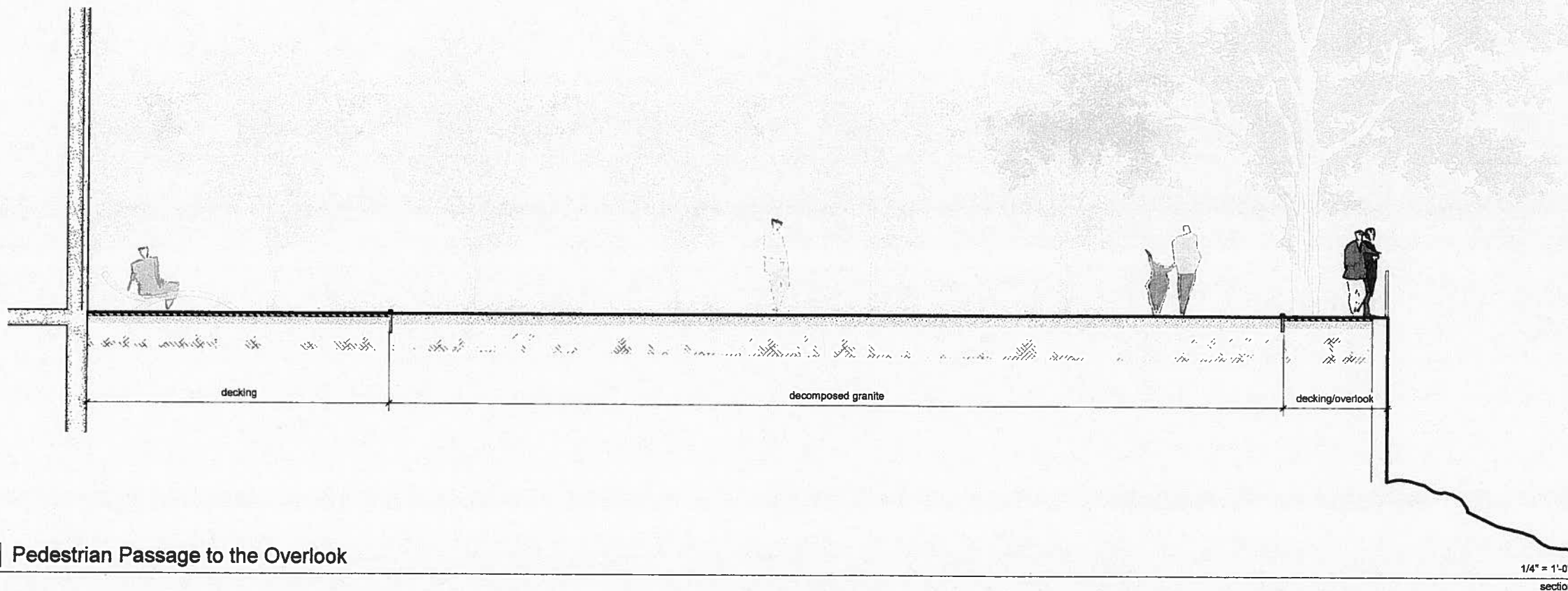
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L3.00



2 Flex Space

1/4" = 1'-0"
section



1 Pedestrian Passage to the Overlook

1/4" = 1'-0"
section



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Activity
**Landscape
Sections**

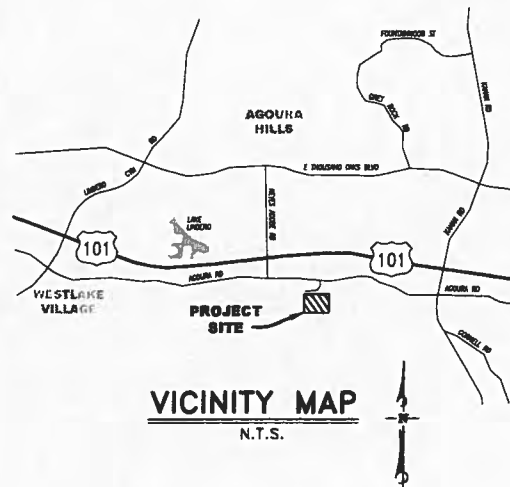
RNT Job No.
Date November 1, 2012
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L3.10

AGOURA HILLS RECREATION CENTER CIVIL IMPROVEMENTS

AIN 2061-005-915

IN THE CITY OF AGOURA HILLS, CA



BENCHMARK

BM Y 10426 ELEV. 881.45 FEET (NAVD88)
DPW TAG IN CATCH BASIN, 1' EAST OF BCR ON SE COR
AGOURA ROAD & LADYFACE CIRCLE.
2004 ADJUSTMENT

BASIS OF BEARINGS

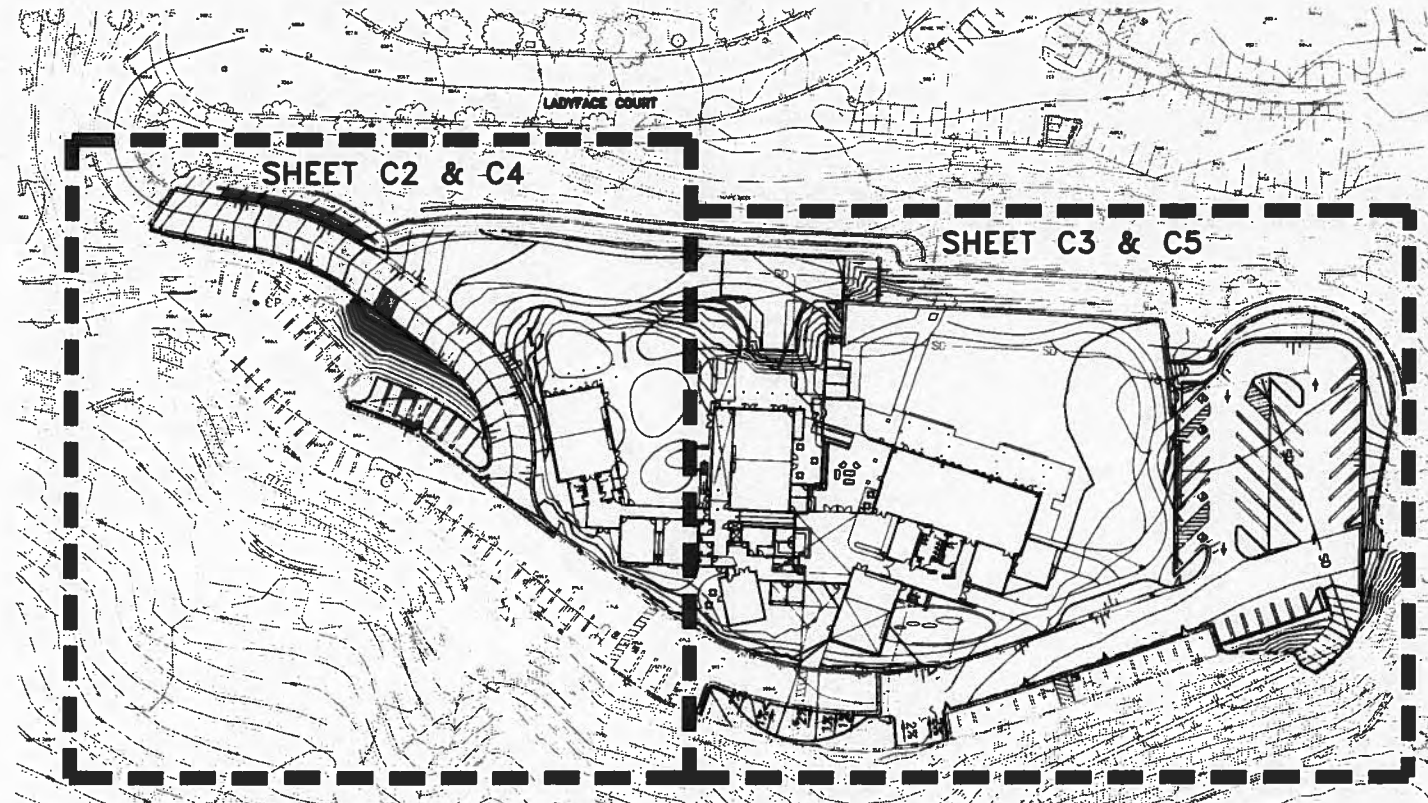
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM NAD83, ZONE 5, EPOCH 2011.0 AS DETERMINED LOCALLY BY A LINE BETWEEN CONTINUOUS GLOBAL POSITIONING STATIONS (CGPS) AND/OR CONTINUOUS OPERATING REFERENCE STATIONS (CORS) CIRX & ROCK BEING NORTH 60°16'27" EAST AS DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC) AND/OR THE NATIONAL GEODETIC SURVEY (NGS), RESPECTIVELY.

ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR ALSO AGREES TO DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

SCOTT MECKSTROTH R.C.E. DATE



KEY MAP

SCALE: 1" = 50'

SHEET INDEX

C1	TITLE & NOTES
C2	SITE IMPROVEMENTS
C3	SITE IMPROVEMENTS
C4	SITE GRADING
C5	SITE GRADING
C6	DETAILS

ABBREVIATIONS

BVC	BEGIN VERTICAL CURVE	GB	GRADE BRAKE
BOT	BOTTOM OF STAIR	HP	HIGH POINT
EG	EXISTING GRADE	LP	LOW POINT
EVC	END VERTICAL CURVE	ROW	RIGHT OF WAY
FF	FINISH FLOOR	RG	ROUGH GRADE
FG	FINISH GRADE—SOFTSCAPE	TC	TOP OF CURB
FL	FLOWLINE	TL	TOP OF STAIR
FS	FINISH SURFACE—HARDSCAPE	TW	TOP OF WALL

LEGEND

NEW GRADE ELEVATIONS	72.91TC 72.41FS
PROPOSED A.C. PAVEMENT	[Symbol]
PROPOSED LANDSCAPE AREA	[Symbol]
PROPOSED CONCRETE	[Symbol]
PROPOSED STORM DRAIN	SD
PROPOSED CENTERLINE	[Symbol]
PROPOSED R.O.W.	[Symbol]
PROPOSED MAJOR CONTOUR	885
PROPOSED MINOR CONTOUR	884
EXISTING MAJOR CONTOUR	885
EXISTING MINOR CONTOUR	[Symbol]
PROPOSED FLOWLINE	[Symbol]
PROPOSED BLOCK WALL	[Symbol]
PROPOSED CURB	[Symbol]
PROPOSED GUTTER	[Symbol]
PROPOSED SAWCUT LINE	[Symbol]
EXISTING BLOCK WALL	[Symbol]
EXISTING FENCE	[Symbol]
EXISTING E.P.	[Symbol]
EXISTING STORM DRAIN LINE	SD
EXISTING SEWER LINE	S
EXISTING GAS LINE	G
EXISTING ELECTRICAL LINE	E
EXISTING WATER LINE	W
EXISTING TREE	[Symbol]
EXISTING FIRE HYDRANT	[Symbol]
EXISTING STREET LIGHT	[Symbol]



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C1



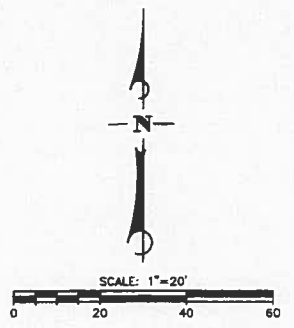
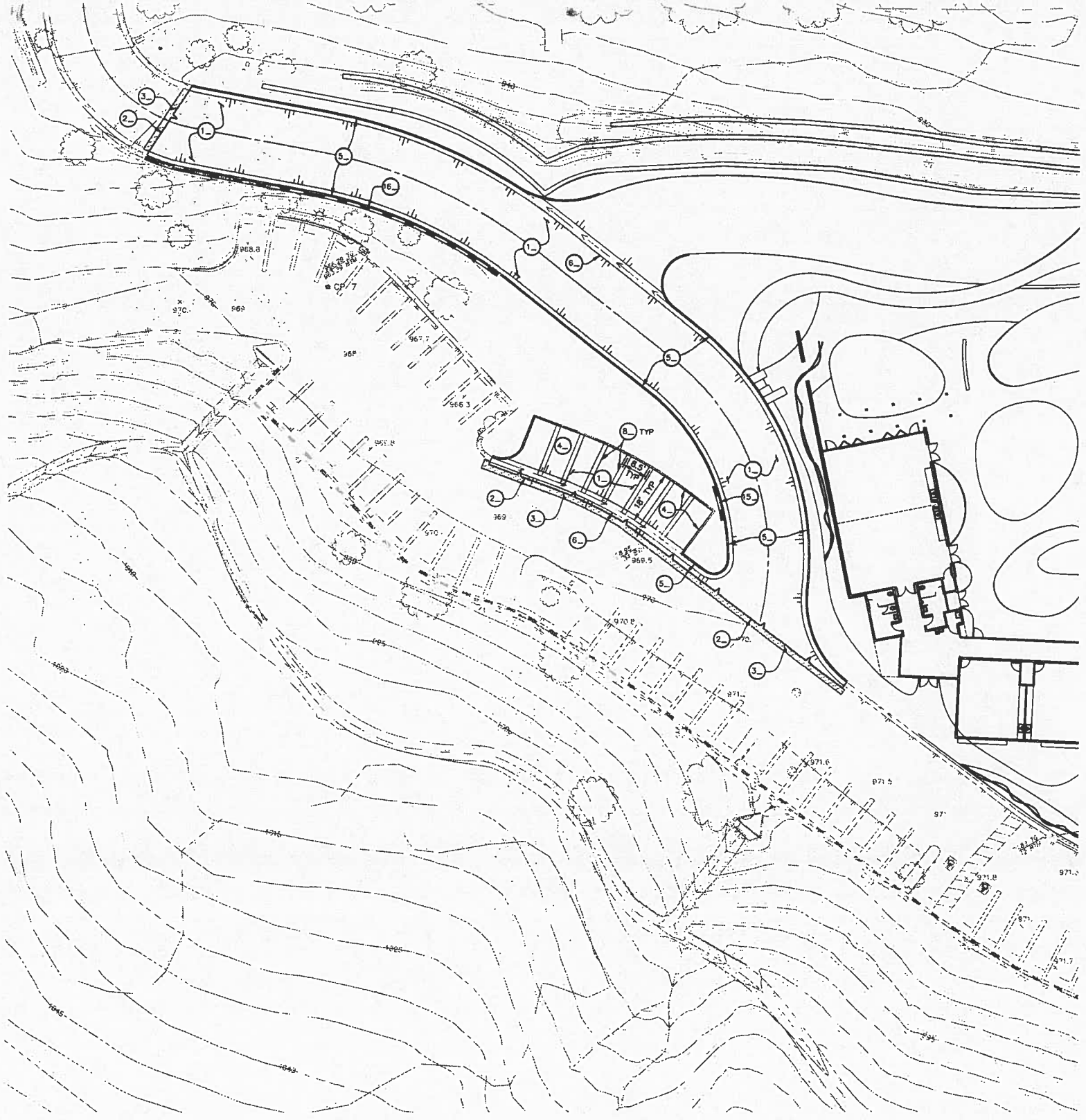
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AT LEAST TWO DAYS BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



CONSTRUCTION NOTES

- 1. CONSTRUCT MIN. 3.5" THICK A.C. PAVEMENT ON MIN. 4" THICK CRUSHED AGGREGATE BASE OR CRUSHED MISCELLANEOUS BASE (PER S.P.P.W.C. SECTION 200), COMPACTED TO 95% OF MAX. RELATIVE DRY DENSITY, BASED ON ASTM D-1557 CURRENT TEST METHOD.
- 2. SAWCUT EXISTING AC PAVEMENT OR CONCRETE.
- 3. COLDPLANE 2" WIDE SECTION OF EXISTING AC TO DEPTH OF 2". CONSTRUCT 2" OF NEW TIRE RUBBER MODIFIED ASPHALT CONCRETE (TRMAC) IN COLDPLANE AREA AND MATCH EXISTING.
- 4. CONSTRUCT 6" P.C.C. CURB PER S.P.P.W.C. STD. PLAN 120-2, TYPE A1-6(150).
- 5. CONSTRUCT 6" CURB AND 18" GUTTER PER S.P.P.W.C. STD. PLAN 120-2, TYPE A2-6(150).
- 6. CONSTRUCT 3" RIBBON GUTTER PER S.P.P.W.C. STD. PLAN 122-2. SEE DETAIL 1, THIS SHEET.
- 7. CONSTRUCT MIN. 4" THICK P.C.C. CONCRETE OVER NATIVE SOIL COMPACTED TO 95% OF MAX. RELATIVE DRY DENSITY, BASED ON ASTM D-1557 CURRENT TEST METHOD.
- 8. CONSTRUCT 4" WIDE WHITE LINE AS SHOWN PER DETAIL "A", SHEET C6.
- 9. CONSTRUCT 4" WIDE BLUE LINES DIAGONALLY AT 3' O.C. PER DETAIL "B", SHEET C6.
- 10. CONSTRUCT WHITE DISABLED PERSONS PARKING SYMBOL WITH BLUE BACKGROUND PER CAL TRANS STD. A24C.
- 11. LANDSCAPE AREA PER LANDSCAPE PLANS.
- 12. CONSTRUCT 3.5' WIDE CURB INLET CATCH BASIN PER S.P.P.W.C. STD. PLAN 300-3.
- 13. CONSTRUCT 10" PVC STORM DRAIN PIPE.
- 14. CONSTRUCT JENSEN PRECAST 24"x24" GRATED CATCH BASIN OR APPROVED EQUAL.
- 15. CONSTRUCT 3' MAX RETAINING WALL PER DETAIL "C", SHEET C6.
- 16. CONSTRUCT 10' MAX RETAINING WALL PER DETAIL "D", SHEET C6.
- 17. CONNECT PROPOSED 10" PVC STORM DRAIN PIPE TO EXISTING 10" LINE.



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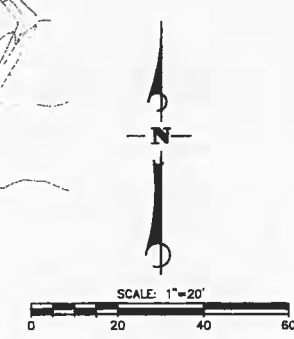
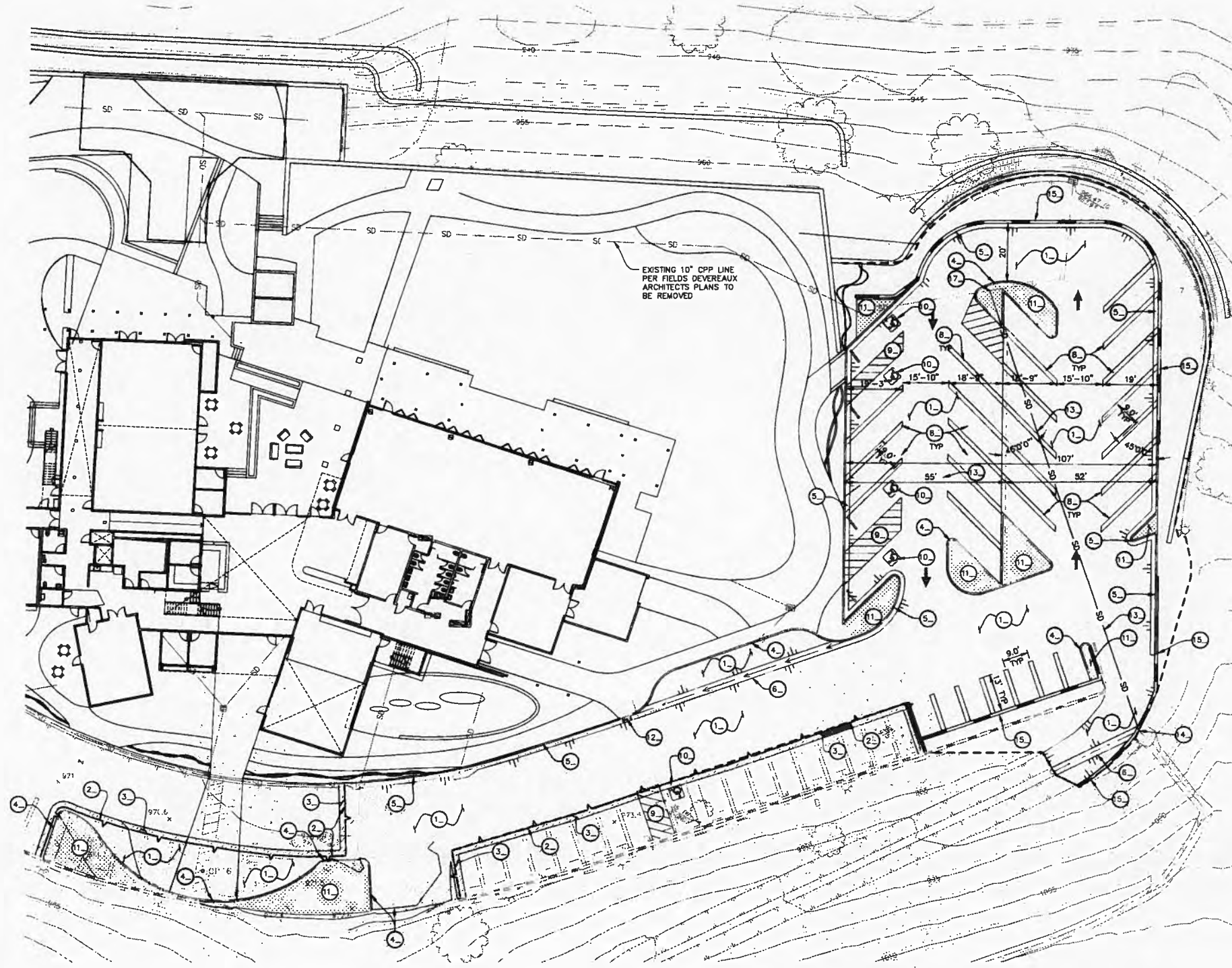
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C2



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2. SAWCUT EXISTING AC PAVEMENT OR CONCRETE.
3. COLDPLANE 2" WIDE SECTION OF EXISTING AC TO DEPTH OF 2". CONSTRUCT 2" OF NEW TIRE RUBBER MODIFIED ASPHALT CONCRETE (TRMAC) IN COLDPLANE AREA AND MATCH EXISTING.
4. CONSTRUCT 6" P.C.C. CURB PER S.P.P.W.C. STD. PLAN 120-2, TYPE A1-B(150).
5. CONSTRUCT 6" CURB AND 18" GUTTER PER S.P.P.W.C. STD. PLAN 120-2, TYPE A2-B(150).
6. CONSTRUCT 3" RIBBON GUTTER PER S.P.P.W.C. STD. PLAN 122-2. SEE DETAIL 1, THIS SHEET.
7. CONSTRUCT MIN. 4" THICK P.C.C. CONCRETE OVER NATIVE SOIL COMPACTED TO 95% OF MAX. RELATIVE DRY DENSITY, BASED ON ASTM D-1557 CURRENT TEST METHOD.
8. CONSTRUCT 4" WIDE WHITE LINE AS SHOWN PER DETAIL "A", SHEET C6.
9. CONSTRUCT 4" WIDE BLUE LINES DIAGONALLY AT 3" O.C. PER DETAIL "B", SHEET C6.
10. CONSTRUCT WHITE DISABLED PERSONS PARKING SYMBOL WITH BLUE BACKGROUND PER CAL TRANS STD. A24C.
11. LANDSCAPE AREA PER LANDSCAPE PLANS.
12. CONSTRUCT 3.5' WIDE CURB INLET CATCH BASIN PER S.P.P.W.C. STD. PLAN 300-3.
13. CONSTRUCT 10" PVC STORM DRAIN PIPE.
14. CONSTRUCT JENSEN PRECAST 24"x24" GRATED CATCH BASIN OR APPROVED EQUAL.
15. CONSTRUCT 3' MAX RETAINING WALL PER DETAIL "C", SHEET C6.
16. CONSTRUCT 10' MAX RETAINING WALL PER DETAIL "D", SHEET C6.
17. CONNECT PROPOSED 10" PVC STORM DRAIN PIPE TO EXISTING 10" LINE.



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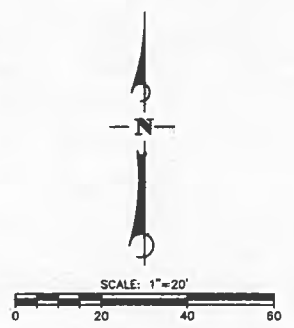
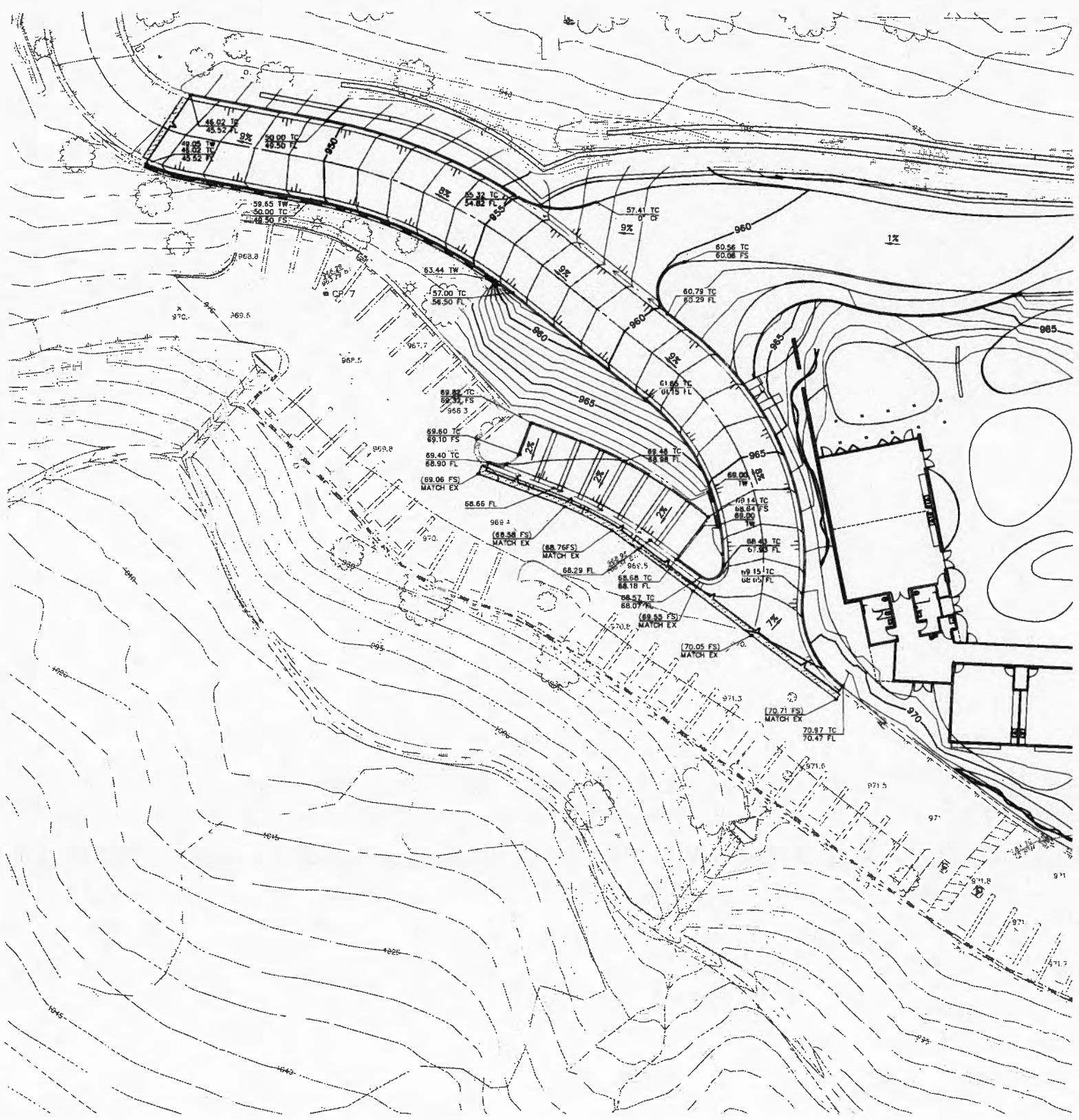
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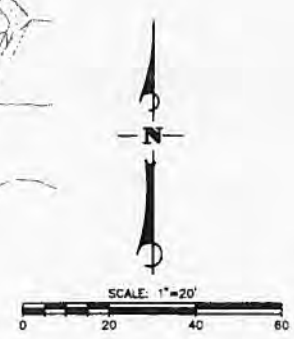
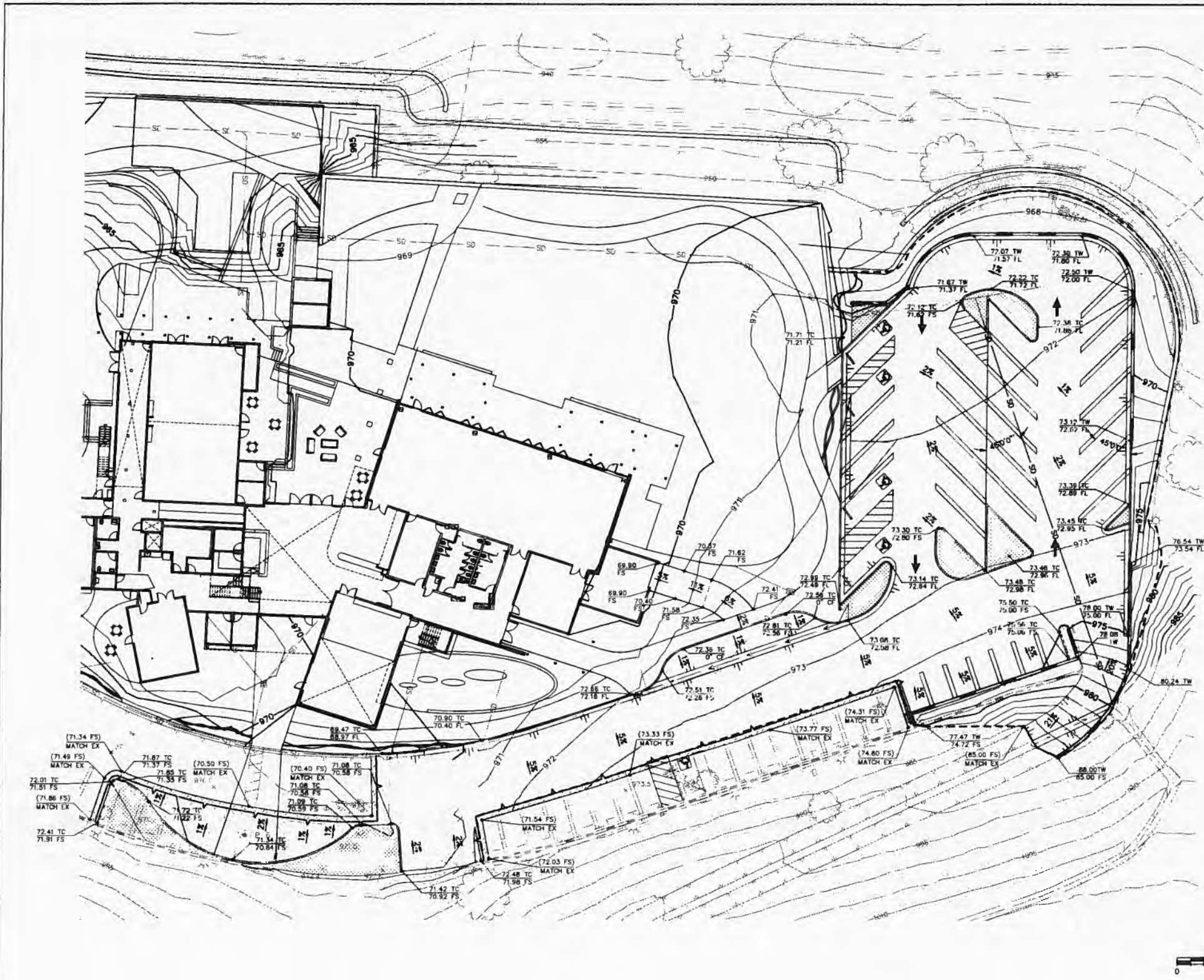
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