



---

**DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT**

---

DATE: June 6, 2013

TO: Planning Commission

APPLICANTS: Avi and Lisa Siboni  
6028 Calvin Avenue  
Tarzana, CA 91356

CASE NOS.: 11-SPR-006 & 11-OTP-012

LOCATION: 5446 Lewis Road (A.P.N. 2055-013-070)

REQUEST: Request for approval of a Site Plan/Architectural Review to construct a 4,195 square foot, single-story, single-family residence with an 893 square foot attached garage, and a swimming pool; and Oak Tree Permit to encroach within the protected zone of one oak tree for the proposed construction.

ENVIRONMENTAL DETERMINATION: Categorically exempt from the California Environmental Quality Act (CEQA), per Section 15303 of the CEQA Guidelines

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Site Plan Architectural Review Case No. 11-SPR-006 and Oak Tree Permit Case No. 011-OTP-012, subject to conditions, based on the findings of the attached draft Resolution.

ZONING DESIGNATION: RL-20,000-OA-EQ (Low Density Residential - 20,000 square feet minimum lot size - Old Agoura Design Overlay-Equestrian Overlay)

GENERAL PLAN DESIGNATION: RL (Residential Low Density)

## BACKGROUND AND PROJECT DESCRIPTION

The applicants, Avi and Lisa Siboni, are requesting approval of a Site Plan/Architectural Review to construct a 4,195 square foot, single-story, single-family residence and an 893 square foot attached four-car garage to be located on a vacant lot within the RL-20,000-OA-EQ (Low Density Residential - 20,000 square feet minimum lot size - Old Agoura Design Overlay-Equestrian Overlay) district. The applicant is also proposing a 470 square foot trellis, a 577 square foot swimming pool/spa, and a 143 square foot future horse barn at the rear of the property. The project will encroach within the protected zone of one on-site oak tree for the proposed construction, which requires approval of an Oak Tree Permit.

The 0.63-acre (27,485 square feet) parcel consists of a relatively flat lot located on the southeast corner of the intersection of Driver Avenue and Lewis Road in Old Agoura. The lot fronts onto Driver Avenue but the building is oriented toward Lewis Road. There are developed residential properties to the east and across Driver Avenue to the north, across Lewis Road to the west, and an undeveloped lot to the south.

New single-family homes are subject to review by the Planning Commission. Since the property has an average topographical slope that is less than 10%, the project is not subject to the City Hillside Ordinance or Conditional Use Permit and, therefore, can be reviewed as a Site Plan/Architectural Review application.

The proposed residence is a permitted uses in the Low Density Residential (RL) zone and will meet the required development standards, relative to lot coverage, setbacks, and height. Listed below are the proposed development data pertaining to the project:

### Pertinent Data

	<u>Proposed</u>	<u>Required/ Allowed</u>
1. Lot Size	27,485 sq. ft. existing (0.63 acres)	20,000 sq. ft. min. (0.46 acres)
2. Lot Depth	176 feet existing	200 feet min.
3. Lot Width	141 feet existing	75 feet min.
4. Bldg. Height	18 feet	30 feet max.
5. Building Sizes		
Residence	4,195 sq. ft.	N/A
Attached Garage	893 sq. ft.	N/A
Trellis	470 sq. ft.	N/A
<u>Future Barn</u>	<u>143 sq. ft.</u>	<u>N/A</u>
Total Structures:	5,701 sq. ft.	N/A

6. Setbacks

Front (north)	45 feet 8 inches	25 ft. minimum
Rear (south)	34 feet 9 inches	25 ft. minimum
Side (east)	42 feet 7 inches	12 ft. minimum
Side (west)	28 feet	12 ft. minimum

7. Lot Coverage

Residence	4,195 sq. ft.	N/A
Attached Garage	893 sq. ft.	N/A
Trellis	470 sq. ft.	N/A
Swimming Pool/Spa	577 sq. ft.	N/A
<u>Future Barn</u>	<u>143 sq. ft.</u>	<u>N/A</u>
Total:	6,278 sq. ft. (23%)	10,976 sq. ft. (35% max.)

8. No. of Oak Trees	1 on-site	N/A
---------------------	-----------	-----

**II. STAFF ANALYSIS**

Site Plan

The new 5,088 square foot, single-story residence, which would occupy 19% of the 0.63-acre lot, has been proposed to be located in the center portion of the lot and includes a proposed pad elevation of 932 feet, which is approximately at the same elevation as Lewis Road. The applicant is also proposing a swimming pool, trellis, patio, and barn in the rear, eastern portion of the site, behind the residence. The front of the house faces west. A proposed 20-foot wide driveway access to the four-car garage, located at the north side of the residence, is provided from Lewis Road. The Los Angeles County Fire Department has tentatively approved the Site Plan for this project for required access.

The residence is proposed to be setback 45 feet from the front (north) property line and 34 feet to the rear (south) property line, which exceeds the minimum 25-foot front and rear setback requirements of the RL zone. The side yard setbacks for the east (42 feet) and west (28 feet) property lines will exceed the minimum 12 feet, as allowed for the zone. Although the house is oriented toward Lewis Road to the west, for zoning standard purposes, Driver Avenue is considered to be the frontage street as the north property line is the narrower in length of the two street frontages.

The project was reviewed for compliance with the Equestrian Overlay District, approved in 2009, which applies to the Old Agoura residential neighborhood. The Overlay District requires properties to accommodate for a potential horse keeping area of at least 1,500 square feet in size that could include a 144 square foot covered stall with a corral and a 150 square foot area for hay and tack storage. Furthermore, the location of the equestrian area must be accessible from the street for veterinary care and the delivery of supplies.

The proposed site plan shows a horse keeping area in the northeast corner of the property, which includes an area approximately 3,400 square feet in size for a 144 square foot barn and turn-out area. The distance between the barn and the closest neighboring residence to the east would be 83.5 feet, and 215 feet to the neighbor's residence to the south.

The 144 square-foot future detached barn structure proposed within the northeast portion of the lot is a permitted use by the Zoning Ordinance. Accessory structures cannot occupy more than 25% of the rear yard plus 40% of the buildable area in combination with any other accessory buildings on the site. The proposed north facing barn structure would be located more than 10 feet distance from the main structure, 25 feet from the swimming pool to the south, and 12 feet from the east side property line. The maximum height of the structure would be 14 feet and would also comply with the maximum allowable lot coverage limitation for accessory structures in the buildable area. Barns are required to be placed at least 35 feet from any habitable structure or street. The placement of the proposed barn is 45 feet to the nearest habitable structure (proposed residence) and 36 feet to the nearest street (Driver Avenue), which meets the requirement.

The footprint of the residence, attached garage, trellis, swimming pool, and future barn totals 6,278 square feet, or 23% of the lot, which is below the 35% maximum allowable lot coverage of the RL zone.

The Old Agoura Residential Design Guidelines, adopted in 2009, recommends a maximum 4,449 square feet of floor area (16.2%) based on the size and topography of the lot. The applicant has proposed a floor area ratio (FAR) of 16% or 4,398 square feet, of which 4,195 is the residence and 203 square feet is over the maximum square footage (690) exemption from the FAR calculations for a garage for a single family residence. The 4,398 square feet is below the recommended floor area ratio of 4,449 square feet. The square footage of the proposed project is within the average of the neighborhood.

### Architectural Design

As the property is located within the Old Agoura Design Overlay District, which calls for the preservation of the semi-rural character of the community and promotion of the natural environment with the utilization of natural materials and earth tone colors. The proposed exterior of the single-story residence includes a two-piece clay tile roof, brown stone veneer on the elevations, tan stucco exterior walls, with dark brown trim, wood rafter tails, and garage doors. The residence would have two chimneys with decorative chimney caps, located on the eastern portion of the residence. The proposed entry court yard will consist of semi-permeable interlocking pavers and a water fountain in the center of the court yard. Semi-permeable interlocking pavers are also proposed for the driveway area to access the attached four-car garage and the patio and deck around the swimming pool.

The overall height of the proposed residence is 18 feet, which is below the maximum height of 30 feet allowed for a residence. The City Architectural Review Panel found the

design to comply with the City Architectural Guidelines and the rural character of the Old Agoura Overlay District. The Old Agoura Homeowners Association has also reviewed the project. A copy of their letter is attached to the report for the Commission's review.

#### Oak Tree and Landscaping Review

The subject site includes one semi-mature valley oak tree (*Quercus lobata*) located in the equestrian trail right-of-way along Lewis Road, approximately 30 feet from the southwest corner of the dwelling. The City Oak Tree/Landscape Consultant has determined that the oak tree would sustain encroachment within approximately 50% of its protected zone from construction of the required 8-foot wide equestrian trail.

The City Consultant has reviewed the Oak Tree Report prepared for the project and recommends that the oak trees be fenced prior to the start of construction, and determined that the health of the oak trees would not be significantly impacted with the recommended conditions of project approval.

The City Landscape Consultant has also reviewed the preliminary landscape plan that was submitted. The City Consultant supports the preliminary plan, subject to compliance with the landscape recommendations included in conditions of approval that are included within the attached draft Resolution. The planting scheme is required to utilize locally native, low-water use landscape planting with a naturalistic appearance to preserve the rural character of the area.

#### Engineering/Public Works Department Review

The Engineering Department has reviewed and conditionally approved the Grading Plan and will require the applicant to improve the street (Lewis Road) along the west property line. These improvements will include a minimum street width of 20-feet, which will satisfy the Los Angeles County Fire Department's requirement; an 8-foot wide unpaved parking lane, and an 8-foot equestrian trail per the Old Agoura Standards. Final public improvement plans will be subject to approval by the City Engineer prior to issuance of a building permit.

Proposed grading of the property would include 2,385 cubic yards of fill, 406 cubic yards of over-excavation, and 2,385 cubic yards of import. The parcel will be connected to the public sewer system.

The fencing surrounding the perimeter of the property would be a black wrought iron fence. The proposed wrought iron fence along Lewis Road would be placed on top a 3-foot high stucco finish block wall of colors to match the house. A wrought iron gate will be located in the front of the driveway that leads to the 4-car garage. The gate will be set back 40 feet so as to not interfere with the equestrian trail along Lewis Road.

The City's Geotechnical Consultant has reviewed the geotechnical reports prepared for this project and recommends that the project be approved from a geotechnical perspective at

the planning stage. The City's Geotechnical Consultant's letter dated May 21, 2013, is attached for reference.

### Environmental Review

The project has been determined to be Categorical Exempt from the California Environmental Quality Act (CEQA), per Section 15303 of the CEQA guidelines (New Construction or Conversion of Small Structures). This exemption includes, but is not limited to, the construction of a single-family residence. A copy of the notice of exemption is attached.

In conclusion, staff finds that the proposed project meets the development standards established by the Residential Low Density zone and the Old Agoura Design Overlay and Equestrian Overlay zone and the project is designed and sited to be compatible with the neighborhood. Geotechnical and geological studies were completed to analyze the feasibility and impacts of the project. The proposed building design and materials are in keeping with the semi-rural character of the neighborhood.

### **III. RECOMMENDATION**

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Site Plan/Architectural Review, Case No. 11-SPR-006 and Oak Tree Permit Case No. 11-OTP-0012, subject to conditions, based on the findings of the attached draft Resolution.

### **IV. ATTACHMENTS**

- Exhibit A: Draft Resolution and Conditions of Approval
- Exhibit B: Letter from Old Agoura Homeowners Association
- Exhibit C: Colored Renderings
- Exhibit D: Reduced Copies of Plans
- Exhibit E: City Geotechnical Consultant's (GeoDynamics) Letter
- Exhibit F: Environmental Determination
- Exhibit G: Vicinity Map

**CASE PLANNER:** Renee Madrigal, Associate Planner

# EXHIBIT A

DRAFT RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF AGOURA HILLS  
APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 11-SPR-006  
AND OAK TREE PERMIT CASE NO. 11-OTP-012

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY  
FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Avi and Lisa Siboni with respect to the real property located at 5446 Lewis Road (Assessor's Parcel Number 2055-013-070), requesting the approval of a Site Plan/Architectural Review Case No. 11-SPR-006 and Oak Tree Permit Case No. 11-OTP-012 to construct a 4,195 square foot, single-story, single-family residence with an 893 square foot attached garage, and a swimming pool; and Oak Tree Permit to encroach within the protected zone of one oak tree for the proposed construction. A public meeting was duly held on June 6, 2013, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date and place and purpose of the aforesaid was duly given and published as required by State law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public meeting.

Section 3. Based on the evidence presented at the public meeting, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Agoura Municipal Code Section 9677.5, that:

A. The proposed use, as conditioned, is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located. The proposed project is located within the Low Density Residential and Old Agoura Design Overlay and Equestrian Overlay (RL-OA-EQ) district, which allows single-family development. Minimum development standards have been met for the proposed single-story residence with regard to lot coverage, building height, building setbacks, architectural design standards and guidelines, and equestrian use.

B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare in that the design of the residence will ensure adequate light, air, privacy and open space to surrounding properties. The project exceeds the minimum setback requirements of the RL zone. Geological and geotechnical reports, drainage studies, and landscape plans have been provided and approved by the City's consultants. The site will be served by the public sewer system. Vehicular access to the property will be provided via Lewis Road. The applicant will be required to construct the project in compliance with the City Building Code.



C. The proposed use, as conditioned, will not conflict with the character and design of the buildings and open space in the surrounding area. The proposed building design, colors, and materials of the residence that include tan stucco walls, dark brown trim, brown stone veneer, wood rafter tails, two-piece clay tile roof, trellis, and courtyard, are in keeping with the rustic style of homes desired for the Old Agoura neighborhood. Thus, the proposed use is compatible with the surrounding neighborhood. The project was reviewed by the City's Architectural Review Panel and was found to be in compliance with the City's Architectural Design Guidelines and Standards of the Old Agoura Design Overlay District. The project also meets the intent of the Old Agoura Residential Design Guidelines.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. The project meets the development standards of the Residential Low Density zone, Old Agoura Design Overlay District and the Equestrian Overlay zone. The proposed residence meets all required building setbacks, lot coverage, and building height requirements for the zone, as well as setbacks for horse facilities and horse keeping area requirements of the equestrian overlay. In addition, the proposed residence incorporates natural building materials in the project design. The incorporation of permeable driveway and hardscape materials will reduce the runoff and maintain the rural atmosphere of the Old Agoura neighborhood.

E. The proposed use, as conditioned, is consistent with the City's General Plan in that the project allows for keeping of horses on the property and maintains the rustic character of Old Agoura, as called for in the General Plan Land Use and Community Form Element, Goal LU-8.1.

F. The proposed use, as conditioned, preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The distance from other similar and like uses is sufficient to maintain the diversity of the community in that the project will meet the minimum yard setback requirements of the Residential Low Density zone and will be placed 28 feet from the street (Lewis Road) serving the property, thereby preserving public views. Also, the house is set back 45'8" from the front property line and Driver Avenue, a designated collector street, which exceeds the minimum setback requirement of 25 feet. Furthermore, the project was designed to provide sufficient space on the property to accommodate accessory structures and amenities in addition to the main residence.

Section 4. Based on the evidence presented at the public meeting, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Agoura Hills Zoning Municipal Code Section 9677.7(G), that:

A. The proposed use, as conditioned, is consistent with the General Plan, and design standards adopted by the City Council. The project conforms to Policy LU-8.7 Neighborhood Identity by providing open space areas suitable for horses, thereby enhancing the equestrian and rural character of the area. The architectural style of the proposed residence is in keeping with the City Architectural Design Guidelines and Standards.

B. As conditioned, the design and location of the proposed development and its relationship to existing developments and traffic in the vicinity thereof is such that it will increase the desirability of investment or occupation in the neighborhood. The proposed development will not unreasonably interfere with the use and enjoyment of existing or proposed residential developments in the vicinity, and will not create traffic hazards or congestion. Access to the site is via Lewis Road. The driveway location will not interfere with neighboring developments or create traffic hazards, and sufficient space is available for on-site parking for the new residence.

C. The proposed use, as conditioned, is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of the City. The proposed building design and materials are in keeping with the rustic style of homes in the Old Agoura neighborhood, are compatible with the surrounding neighborhood, and have exceeded the minimum development standards established by the Zoning Ordinance. The single-family residence is a permitted use in the RL zone.

D. The design of the proposed development, as conditioned, provides a desirable environment for its occupants, as well as for the project's neighbors, and is aesthetically of good composition, materials, textures, and colors. The building design is compatible with the variety of architectural styles in the neighborhood. The distance between structures exceeds all minimum setback requirements and the orientation of the structures allows for privacy for future occupants and neighbors. The one-story design of the house will not significantly impact view-sheds of surrounding properties. The project was designed to accommodate for horse-keeping facilities.

E. The proposed use, as conditioned, complies with all applicable requirements of the RL-OA-EQ zone in which it is located and all other applicable requirements since a single-family residence is a permitted use in the RL zone. Minimum development standards have been met with regard to building setback, height, lot coverage, Architectural Design Standards and Guidelines, and equestrian use.

F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare. The design of the residence will ensure adequate light, air, privacy and open space to surrounding properties. The project exceeds the minimum setback requirements of the RL zone. Geological and geotechnical reports, drainage studies and landscape plans have been provided and approved by the City's consultants. The site will be served by the public sewer system. Vehicular access to the property will be provided via Lewis Road, a local residential street. The applicant will be required to construct the project in compliance with the City Building Code.

Section 5. Based on the evidence presented at the public meeting, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9657.5.C.3 of the Agoura Hills Municipal Code, that:

A. The proposed construction and encroachment within the protected zone of one on-site oak tree, as conditioned, will be accomplished without endangering the health of the remaining trees on the subject property. The oak tree impacts are concentrated in the southwest vicinity of the parcel.

B. The encroachment into the protected zone of the oak tree will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated. The approved grading plan for the construction of the project ensures adequate property drainage both on-site and off-site.

C. No removal or relocation of the oak tree is requested for the construction of the equestrian trail. The proposed oak tree permit relates only to the encroachment into the protected zone of a single oak tree, which is considered a minor disturbance to one on-site oak tree. The requested use on the private property can be accomplished without the endangerment of the health of the oak tree.

Section 6. The project is a request for one, single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). As such, the project does not require adoption of an environmental impact report or negative declaration.

Section 7. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. 11-SPR-006 and Oak Tree Permit Case No. 11-OTP-012, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

Section 8. The Secretary of the Planning Commission shall certify to the passage, approval and adoption of this resolution, and shall cause this resolution and his certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 6<sup>th</sup> day of June, 2013, by the following vote to wit:

AYES: (0)  
NOES: (0)  
ABSTAIN: (0)  
ABSENT: (0)

\_\_\_\_\_  
Michael Justice, Chairperson

ATTEST:

\_\_\_\_\_  
Mike Kamino, Secretary

## **CONDITIONS OF APPROVAL (Case Nos. 11-SPR-006 & 11-OTP-012)**

### STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of Approval of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits approved by the Planning Commission: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plans, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform with the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and

Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless this permit is used within two (2) years from the date of City approval, this permit will expire. A written request for a one-year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.20 per square foot.
15. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
16. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.9296 per square foot of new floor area.
17. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
18. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
19. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

#### BUILDING AND SAFETY

20. The City Building Code requires all new residences to be protected by a residential fire sprinkler system. The residence shall comply with this requirement.

21. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).
22. As part of the permitting process and prior to building permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Title 24 including Cool Roofing, Mechanical, Electrical, Plumbing, Energy Plans, plans shall be submitted to Building and Safety Department for plan review and approval.
23. The applicant shall submit to the Building and Safety Department a Soils Report prior to building permit issuance.
24. The location of Carbon Monoxide Detector in Master Bedroom shall meet code requirements per 2010 California Building Code Section 420.4.

#### ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

##### General

25. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
26. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at [www.ci.agoura-hills.ca.us](http://www.ci.agoura-hills.ca.us).
27. Prior to permitting, the applicant shall pay a Transportation Impact Fee (TIF) in the amount of \$3,094 to the Building and Safety Department.
28. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
29. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity

- lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
30. The grading Plan shall show location(s) of all Oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
  31. The grading plan shall include a survey 25 feet outside the project boundaries.
  32. The grading plan shall show street cross sections for Lewis Road and Driver Avenue per Old Agoura Standards. Cross-section for Lewis Road shall include a 30-foot half street right-of-way, a 14-foot travel lane, an 8-foot wide unpaved parking lane, and an 8-foot equestrian trail and fence. These items must be shown on the plans.
  33. A 60 foot total travel lane shall be maintained on Driver Avenue.
  34. Prior to permitting, the applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original Mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
  35. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
  36. Prior to issuance of any permits from the Engineering Department, this project will require the applicant to obtain a permit from the Las Virgenes Municipal Water District (LVMWD), Southern California Edison, and County of Los Angeles.
  37. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at (818) 597-7322 for approved City certification forms.
  38. Prior to issuance of any permits, the applicant shall obtain a temporary easement for construction of retaining walls.
  39. The applicant shall provide plans that include a signature block for the City of Agoura Hills. The template can be downloaded from [www.ci.agoura-hills.ca.us](http://www.ci.agoura-hills.ca.us).
  40. The applicant shall provide a footing detail for all retaining walls on a separate permit.

Public Improvements

41. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area.

Water

42. This property is within the LVMWD service area. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.

Sewer

43. The applicant shall provide the City a copy of the sewer system permit from the County of Los Angeles and detailed drawing of sewer connection prior to permit issuance.

Drainage/Hydrology

44. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study. Among other things, study shall include verification that proposed flow to public roadways will not negatively impact flow to traffic.
45. The applicant shall relocate “reno mat” (Construction Note #7 on Sheet C-2.0) to location approved by the City Engineer,

Stormwater Quality (NPDES)

46. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City’s storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
  - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMP’s;



- b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge into the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
  - c. Non-storm water runoff from equipment and vehicles washing and any other activities shall be contained at the project site;
  - d. Erosion from slopes and channels shall be controlled by implementing an effective combinations of BMP's such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
47. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
48. SWPPP Plan – All projects that develop one (1) acre or more of total land area or which are part of a larger phased development that will disturb at least one acre of land, are required to prepare a Storm Water Pollution Prevention Plan (SWPPP), utilizing the model form in Appendix B of the 2003 CASQA Storm water BMP Handbook for Construction at: [www.cabmphandbooks.com](http://www.cabmphandbooks.com) and submit a copy of the plan to the City of Agoura Hills Engineering Department for review. A copy of the adopted SWPPP shall be maintained in the construction site office at all times during construction and the Site Superintendent shall use the plan to train all construction site contractors and supervisory personnel in construction site Best Management Practices, prior to starting work on the site.

Said plan shall, among other things, ensure that the following minimum requirements are effectively implemented at all construction sites:

- e. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;

- f. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
  - g. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
  - h. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
49. Prior to issuance of Certificate of Occupancy, all remaining fees/deposits required by the Engineering Department must be paid in full.
50. Prior to issuance of Certificate of Occupancy, all requirements including construction of improvements covered in the conditions must be completed to the satisfaction of the City Engineer.
51. Prior to issuance of Certificate of Occupancy, the Applicant's Engineer shall submit a set of Mylar Record Drawings (as-built) for off-site improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling a final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless mylar record drawings (as-built), satisfactory to the City, are submitted.
52. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued stormwater maintenance, using City-approved forms, with Los Angeles County. An electronic copy of this document is available on the City's website: [www.agoura-hills.ca.us](http://www.agoura-hills.ca.us).

#### OAK TREE PERMIT CONDITIONS

53. The landscape plan shall be revised to indicate the exact tag number, trunk location, dripline, and protected zone of Oak Tree SOT-1 as shown on the oak tree location map included in the Oak Tree Report prepared by Richard Campbell dated July 22, 2011.
54. The landscape plan shall be revised to indicate the correct configuration of the proposed stucco / wrought iron fence along Lewis Road.
55. The City shall not grant final approval to the grading plan until such time as the City Oak Tree Consultant has reviewed the plan and determined that its implementation will not adversely affect the oak tree.

56. The equestrian trail and fencing required along the westerly side of the property shall be indicated on all plans.
57. The applicant is permitted to encroach within the protected zone of Oak Tree SOT-1 to construct the required equestrian trail along Lewis Road. The applicant is also permitted to prune the tree for clearance over the new equestrian trail to provide a vertical clearance of fourteen feet (14').
58. The applicant shall remove the fill from the protected zone of Oak Tree SOT-1 as recommended in Richard Campbell's Oak Tree Report.
59. All excavation within the protected zone of Oak Tree Number SOT-1 shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant.
60. Prior to the start of any mobilization or construction activities on the site the oak tree shall be fenced at the edge of the protected zone in strict accordance with Article IX, Appendix A, Section V.C.1.1 of the City of Agoura Hills Oak Tree Preservation and Protection Guidelines. The City Oak Tree Consultant shall approve the fencing location subsequent to installation and prior to the start of any mobilization or work on the site.
61. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified arborist under the direct observation of the applicant's oak tree consultant. All pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.
62. The applicant shall provide forty-eight (48) hour notice prior to the start of any approved work within the protected zone of the oak tree.
63. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
64. No grading, scarifying or other soil disturbance shall be permitted within the portion of the protected zone of the oak tree not directly impacted by the construction of the equestrian trail.
65. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
66. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree Consultant and the Director

67. The jacaranda tree (*Jacaranda mimosifolia*) proposed on the landscape plan shall be located a minimum of thirty-five feet (35') from the trunk of Oak Tree SOT-1 to prevent conflict with the canopy of the oak tree.
68. Prior to occupancy, the oak tree shall be mulched throughout the dripline with three inches (3") of approved organic mulch as needed to supplement natural leaf litter.
69. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
70. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

#### LANDSCAPING CONDITIONS

71. All plant material shall be considered compatible with Sunset Zone 18.
72. The landscape plan must be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department.

#### FIRE DEPARTMENT CONDITIONS

73. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a building permit.

#### SOLID WASTE MANAGEMENT STANDARD CONDITIONS

74. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.

75. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
76. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

#### SPECIAL CONDITIONS

77. Design of fencing, walls, gate and accessory structures shall be subject to review and approval by the Director of Planning and Community Development and the Building and Safety Department prior to construction.
78. A pre-construction conference shall be held prior to the issuance of a grading permit with all construction personnel involved with the grading operations.
79. Construction traffic and related vehicular routes shall be submitted and shall be subject to review and approval by the City Engineer prior to issuance of a grading permit.

END

# EXHIBIT B

DATE: June 26, 2011

RE: Request for comments on proposed project

FROM: Planning and Zoning Committee,  
Old Agoura Homeowners Association

TO: Mike Kamino, Director  
Department of Planning & Community Development  
City of Agoura Hills

SUBJECT: 11-SPR-006 and 11-OTP-012 (Siboni)

We have been asked to comment on a Site Plan/Architectural Review application requesting approval to construct a 4,195 square foot, single-story, single-family residence and an 893 square foot attached garage at 5446 Lewis Road. The Sibonis had met with the OAHA Zoning and Planning Committee to share an earlier, less complete version of these plans for their new house.

The Siboni's lot sits at the corner of Driver and Lewis, and we were pleased to see they chose a one story design as the houses on the other three corners of this prominent intersection are also single story. The applicants have chosen a design style that is consistent with the Old Agoura design guidelines; we have not seen a materials board but the applicants indicated they wished to use natural materials in a refined, earthy color palette.

They have designated a decent size future horse-keeping area and there is room at the side of the house for future access, but care should be taken that no specimen trees, solid walls or other impediments are planted across any potential areas of future ingress/egress.

Our serious concerns rest with the perimeter wall and fencing. We understand the desire for privacy from Driver Avenue. Two homes at this intersection have used three-rail horse fencing and landscaping to achieve this; the third, a wooden fence and landscaping. The proposed six foot high solid stucco-over-concrete-block wall does not conform to Old Agoura design guidelines nor maintain the semi-rural feel of the neighborhood. Nor do six foot high stucco pilasters with wrought-iron-topped three foot high stucco walls encircling the property. Perhaps these a last minute add-on. In design and spirit, they do not belong in Old Agoura.

Should you have questions about these comments please contact the Planning and Zoning Committee of the Old Agoura Homeowners Association at [pz@oldagoura.org](mailto:pz@oldagoura.org).

Robyn Britton  
Chairperson  
Zoning & Planning Committee  
Old Agoura Homeowners Association

cc: Rene Madrigal, Planning

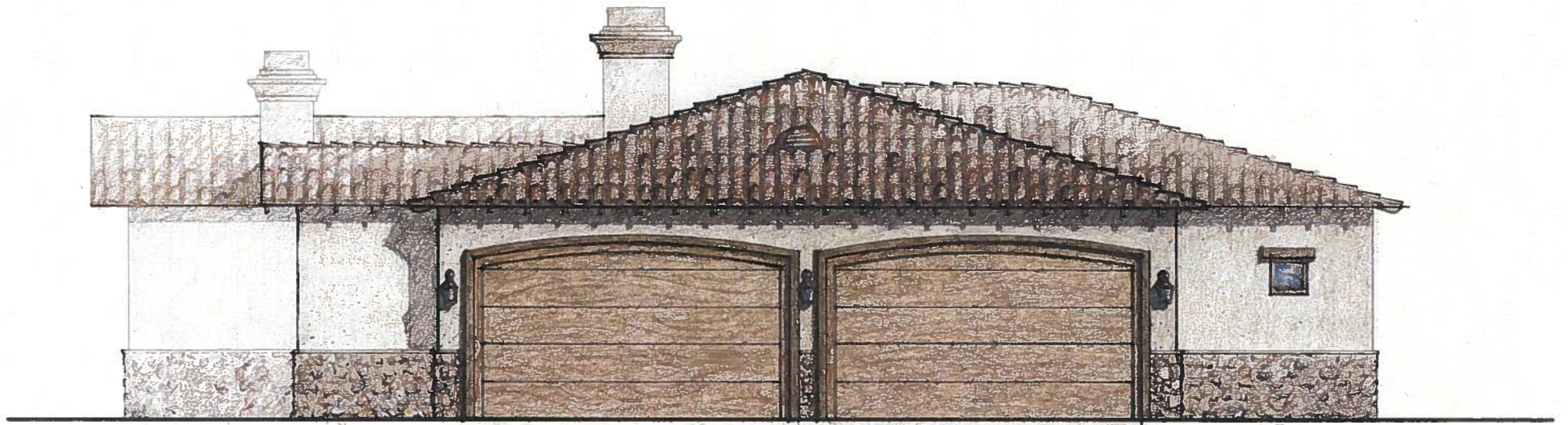
# EXHIBIT C

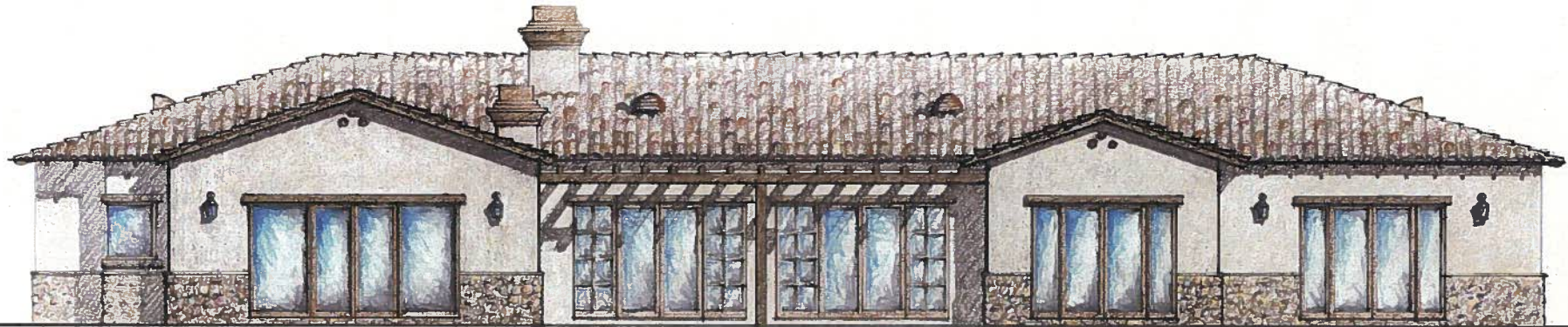












# EXHIBIT D

# Siboni Residence

## New Single Family Dwelling



ENCO STRUCTURAL CONSULTANTS I N C.  
 Tel: 818. 223. 9070  
 23945 Calabasas Road, Ste. 101  
 Calabasas, California 91302-1232

818. 223. 9071

Written disclosures on these drawings shall have precedence over verbal discussions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and the office must be notified of any variations from the dimensions and conditions shown. These drawings, specifications, and items, designs and arrangements represented hereby are and shall remain the property of ENCO Structural Consultants and no part thereof shall be copied, displayed in whole or in part in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of ENCO Structural Consultants. Visual content with these drawings or specifications shall constitute conclusive evidence of acceptance of these requirements.



DATE: \_\_\_\_\_

**Siboni Residence**  
 New Single Family Dwelling  
 Lewis Rd. Lot 1 Block 5  
 Agoura Hills, CA

Sheet Number: \_\_\_\_\_  
 TITLE SHEET

Scale: \_\_\_\_\_ N/A

Architect: \_\_\_\_\_

Date: 02.18.11  
 Project No: 15705  
 File Name: 15705\_A.dwg  
 Sheet No: \_\_\_\_\_

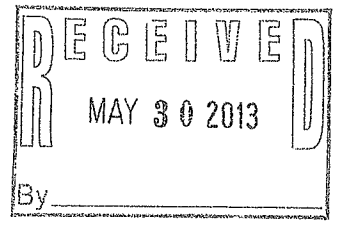
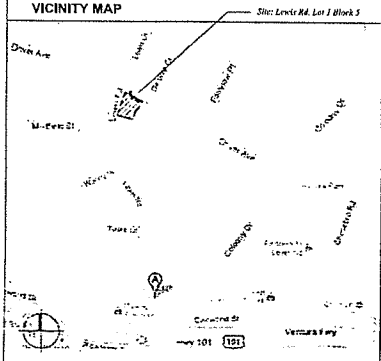
**A-1**

GENERAL NOTES	CONSTRUCTION REQUIREMENTS	MECHANICAL / PLUMBING / ELECTRICAL NOTES (Continued)	BUILDING ANALYSIS	SHEET INDEX
<p>1. REQUIREMENTS OF REGULATORY AGENCIES: All permitting statutes, ordinances, laws, rules, codes, regulations, standards, and the lawful orders of all public authorities having jurisdiction of the work are hereby incorporated into these contract documents the same as if repeated in full hereon and such are intended where any reference is made in either the singular or plural to Code or Building Code unless otherwise specified including without limitation, those in the list below.</p> <p>2. All work shall conform to the 2010 California Building Code, 2010 California Planning Code, 2010 California Mechanical Code, and the 2010 California Electrical Code/2010 California Energy Code, 2010 Green Book, Los Angeles County Amendments, 2006 Energy Standards and Agoura Hills Municipal Code.</p> <p>3. The contractor shall carefully instruct each of his subcontractors to become thoroughly familiar with all of the drawings and specifications and where over existing conditions may have a bearing on the satisfactory performance of his work, the subcontractor shall visit the job site and personally inspect and verify the site for comparison with the pertinent sections of the specifications and drawings. No allowance shall be subsequently made on behalf of the subcontractor for errors due to this negligence of failing to acquaint himself with the existing site conditions.</p> <p>4. Contractor shall verify the dimensions of all existing conditions and construction at the site, and shall report to the designer any discrepancies between actual existing conditions and the drawings for the designer's decision and instructions before proceeding with the work affected by such discrepancies. If any discrepancy or conflict occurs between the drawings or specifications regarding materials, the situation shall be reported to the designer for clarification.</p> <p>5. Unless shown or noted otherwise, typical details and general notes shall be used whenever applicable.</p> <p>6. Unless specifically detailed on these drawings, contractor shall furnish adequate shoring, bracing, etc. as required to safely execute all work, and shall be fully responsible for same.</p>	<p>1. Notching of exterior and bearing / nonbearing walls shall not exceed 25% / 40% respectively. Notch notes in bearing / nonbearing walls shall not exceed 40% / 60% respectively. (B.C. 2336.1.1.2, &amp; 2336.1.1.10)</p> <p>2. Interior leech in Group R-3 occupancies shall have a minimum Flame Spread Classification of 11 except in kitchens, bathrooms and garages. (B.C. 1-8-B)</p> <p>3. Provide fire blocking in concealed spaces of stud walls and partitions, including framed spaces at the ceiling and floor level and at 10 ft. intervals both vertical and horizontal. (B.C. 1500.3)</p> <p>4. Pipes, ducts and other nonstructural construction shall not interfere with accessibility to or within under-floor area. (B.C. 2317.3)</p> <p>5. Galvanized sheet metal (26 gauge min.) roof valley flashing is required. (B.C. 1500.3)</p> <p>6. Roof diaphragm nailing to be inspected before covering. Face grain of plywood shall be perpendicular to supports.</p> <p>7. Floors shall have concrete and grooves or blocked panel edges. Plywood spans shall conform with Table 23-1-B-5 of the Building Code.</p>	<p>1. All plumbing fixtures shall be "low flow" fixtures, including toilets (1.6 gallons per flush) showerheads (2.5 gpm) and faucets (2.5 gpm).</p> <p>2. Showers and tub-showers: Maximum temperature of 120 degrees to be provided by the use of pressure-balancing or thermostatic mixing valves.</p> <p>3. All hose bibs shall be fitted with a non-removable lead-free device.</p> <p>4. Water heater must be strapped at top and bottom for lateral support. See detail 4 on sheet A-6 for more information.</p> <p>5. Electrical contractor to provide ground-fault circuit interrupter (GFI) protection for all 125-volt, single-phase, 15 and 20-amp bathroom, garage, outdoor and basement receptacles, counter-top receptacles within 6'-0" of a wet bar sink, and all receptacles serving kitchen countertops.</p> <p>6. At least one light outlet (with switch-controlled) shall be installed on the exterior side of outdoor entrances and exits.</p>	<p><b>GENERAL PROJECT DATA</b></p> <p>ADDRESS: Lewis Rd. Lot 1 Block 5        City of Agoura Hills 9451</p> <p>GOVERNING AUTHORITY: City of Agoura Hills</p> <p>CONSTRUCTION TYPE: 1 (one)</p> <p>PROPOSED NUMBER OF FLOORS: 2</p> <p>MANUEN BUILDING HEIGHT: 4</p> <p>ASSESSOR'S IDENTIFICATION NUMBER: APN: 2055-005-07D</p> <p><b>LEGAL DESCRIPTION</b></p> <p>LOT 1, BLOCK 5 PER TRACT NO. 8451 PER MAP BOOK 104 PG 5.</p> <p><b>AREA COMPUTATIONS</b></p> <p>PROPOSED FIRST FLOOR: 4,155 Square Feet</p> <p>PROPOSED TOTAL MAIN LIVING SPACE: 4,155 Square Feet</p> <p>PROPOSED ATTACHED GARAGE: 633 Square Feet</p> <p>TOTAL STRUCTURE: 5,008 Square Feet</p>	<p><b>ARCHITECTURAL</b></p> <p>A-1 TITLE SHEET</p> <p>A-2.0 EXISTING SITE PLAN(SURVEY)</p> <p>A-3.1 SITE PLAN</p> <p>A-3.2 FLOOR PLAN</p> <p>A-4.1 ROOF PLAN</p> <p>A-4.2 EXTERIOR ELEVATIONS</p> <p>A-5.1 EXTERIOR ELEVATIONS</p> <p>A-6.1 BUILDING CROSS SECTION</p> <p>A-6.2 ARCHITECTURAL DETAILS</p> <p>A-7.1 COLOR EXTERIOR ELEVATIONS</p> <p>C-1.0 DRAINAGE PLAN</p> <p>C-2.0 GRADING PLAN</p> <p>L-1 PLANTING MAP</p>
	<p><b>GLAZING REQUIREMENTS</b></p> <p>1. Sliding glass doors (tinted type) shall have Category II classification per U.B.C. Std. 24-2, Table 24-2-A.</p> <p>2. Glazing in doors and head glazed panels of more than 24 sq. ft. shall have Category II classification per U.B.C. Std. 24-2, Table 24-2-A.</p> <p>3. Glazing in doors and head glazed panels of 9 sq. ft. or less shall have Category I classification per U.B.C. Std. 24-2, Table 24-2-A.</p> <p>4. Glazing in doors and enclosures for bathtubs and showers shall have Category II classification per U.B.C.</p> <p>5. Glazed windows shall meet the Impact Test Requirements of U.B.C. Std. 24-2, Part 1. Laminated glass must also meet the Ball Test Requirements of U.B.C. Std. 24-2, Part 1.</p>	<p><b>ZONE 4 AND VHFHSZ REQUIREMENTS</b></p> <p>A. Roof covering shall be class "W" rated. Tile roof shall be fire stopped at the eave ends. Wood shingle and wood shake are prohibited regardless of classification under other standards or codes. 15-2. Roof assembly shall be tested by an approved testing agency.</p> <p>B. All exterior wall surfaces shall be of fire-resistive construction (one, 1-hour) or of non-combustible materials.</p> <p>C. All exterior windows, curtain and window walls and skylights shall be steel glazed masonry.</p> <p>D. Exterior doors, other than garage doors, shall be solid-core not less than 1-3/8" thick or vitreous steel-glazed panel minimum.</p> <p>E. Openings into attics, floors, or other enclosed areas shall not exceed 1/4 1/8 sq. inches and shall be covered with corrosion resistant wire mesh with mesh opening of 4 mesh.</p> <p>F. Chimney shall be equipped with an approved spark arrester with a net opening area of four times that of the chimney. Maximum 1/2 inch screen. Factory built chimneys shall conform to a listed factory built chimney cap (UL1003.6). No other structural feature is permitted without manufacturer's approval.</p> <p>G. Exterior balconies, exterior stairs, eaves, brackets, and other similar appendages extending beyond the exterior wall of habitable building shall be of one-hour fire resistive construction, heavy timber construction (605.6) or noncombustible construction.</p> <p>H. Accessory structures, attached to or located less than 20 feet from a residential building, such as carports, decks, patio covers, and similar structures shall be of one-hour fire resistive construction, heavy timber construction (605.6) or noncombustible construction.</p> <p>I. Accessory structures located more than 20 feet from a residential building and of wood construction, shall utilize lumber of not less than 2 inches nominal in width and depth.</p>	<p><b>LOT CALCULATIONS</b></p> <p>A. LOT AREA      D.G3      ACRES      27.465 Square Feet</p> <p>LOT COVERAGE = 3,359 / 44,456 X 100 = 6.35%        F.A.R. = 4,915 / 44,456 X 100 = 11.0%</p> <p><b>INTERIOR FINISHES:</b></p> <p>OAK TRIM ON LOT: NO        (E) FIRE SPRINKLER: NO</p>	
	<p><b>MECHANICAL / PLUMBING / ELECTRICAL NOTES</b></p> <p>1. The following are required for the forced air furnaces in a compartment:</p> <p>a. Compartment dimensions shall have 3" minimum clearance on sides and back &amp; 6" minimum clear from front of compartment to combustion air intake. The minimum width permitted is 12" greater than the equipment.</p> <p>b. Area of combustion air openings of 1 sq. inch per 1000 BTU (100 sq. inch minimum) is required into compartment. Half of area within 12 inches of ceiling and half within 12 inches of floor. (M.C. G01, G02 and G07)</p> <p>c. Combustion air from attic through 26 gauge galvanized steel stove extending 6 inches minimum above ceiling joists without soffit at the top (R18) to have adequate openings. (M.C. G03-A 1 G04-C)</p> <p>d. Combustion air from outside to compartment with W' screen at outside opening. (M.C. G02-C)</p> <p>e. Separate ducts for upper and lower combustion air supply openings. (M.C. G03-2 &amp; G04-A)</p> <p>2. The following are required for furnace or comfort cooling equipment in an attic:</p> <p>a. Scentle 22" X 30" or the size of the largest piece of equipment and located not over 20 feet from equipment is required. (M.C. 505 &amp; 708)</p> <p>b. Unobstructed passageway 24 inches wide of solid construction flooring from soffit to equipment and its controls (M.C. 708)</p> <p>c. Unobstructed work space of 30" min. depth in front of equipment</p> <p>d. Light over equipment with switch at soffit (M.C. 708)</p> <p>e. Vent through roof a minimum of 5 feet above the highest vent collar which it serves. (M.C. 906-A)</p> <p>3. Furnace installation must meet all listed clearances. FAU is not allowed in attics of residential units unless required clearances are provided. No hot contact is permitted.</p> <p>4. Clothes dryer located in an area that is habitable or containing other fuel burning appliances shall be vented to the outside or to an area which is not habitable and does not contain other fuel burning appliances (not located below or in attic area) (M.C. 1503)</p> <p>5. Clothes dryer moisture exhaust duct shall be 4 inches in diameter and length is limited to 14 feet with two elbows from the clothes dryer to point of termination. Duct length shall be reduced by 2 feet for every elbow in excess of two. (M.C. 1903-B)</p> <p>6. The dwelling shall have water closets (toilets), which use no more than 1.6 gallons per flush (F.C. 913)</p> <p>7. Where N/A Cable (Rained) is run across the top of ceiling joists and/or where the attic is not accessible by permanent stairs or ladders, protection within 6 feet of the nearest edge of the soffit level or attic entrance shall be provided. (C.C. 310-1-A)</p>	<p><b>MANAGEMENT PRACTICES FOR CONSTRUCTION</b></p> <p>1. Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses or wind.</p> <p>2. Staples of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.</p> <p>3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their labels and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.</p> <p>4. Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.</p> <p>5. Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and disposal by wind.</p> <p>6. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized to as to inhibit sediments from being deposited into the public way. Accidental deposition must be swept up immediately and may not be washed down by rain or other means.</p> <p>7. Any slopes with disturbed soils or denuded of vegetation must be stabilized to as to inhibit erosion by wind and water.</p>		
<p><b>SECURITY REQUIREMENTS</b></p> <p>1. Exterior doors, doors between house and garage, windows and their hardware shall conform to the Security Provisions of Chapter G7 of the Building Code.</p> <p>2. Single swinging doors, active leaf of a pair of doors, and the bottom leaf of Dutch doors shall be equipped with a deadbolt and a lock shall be used. Deadbolts shall contain hardened inserts or equivalent, so as to resist cutting tool attacks. The dead bolt locks shall be key operated from the exterior side of the door and engaged or disengaged from the interior side of the door by a device not requiring a key, tool or excessive force. (B.C. 6709.2)</p> <p>3. Inactive leaf of a pair of doors or upper leaf of Dutch door shall have deadbolt as per paragraph "a" not key operated, or hardened deadbolt top and bottom with 1/2" embedment. (B.C. 6709.3)</p> <p>4. Swinging wood doors shall be solid core not less than 1-3/8" thick. (B.C. 6709.1.1)</p> <p>5. Panels of wood doors may be laminated of lumber less than 1-3/8" thick, provided shaped portion of panels are not less than 1/4" thick. Individual panels shall not exceed 300 square inches in area. (B.C. 6709.1.2)</p> <p>6. Hollow-core doors less than 1-3/8" in thickness shall be covered on the inside face with 1/2" gauge sheet metal attached with screws at 6" maximum centers around the perimeter. (6719.1.3)</p> <p>7. Door hinges pins accessible from the outside shall be non-removable. (B.C. 6709.5)</p> <p>8. Doorstops of wood jamba of in-swinging doors shall be one-piece construction or joined by a rabbet. (B.C. 6709.7.4)</p> <p>9. Windows and door lights within 40" of the locking device of the door shall be fully tempered or approved burglary resistant/protected by bars, screens or grids. (B.C. 6714)</p> <p>10. Overhead and sliding garage doors shall be secured with a cylinder lock, padlock with a hardened steel shackle, or equivalent when not otherwise locked by electric power operation. Jambos locks shall be on both jambs for doors exceeding 5 feet in width. (B.C. 6711)</p> <p>11. Sliding glass doors and sliding glass windows shall be capable of withstanding the tests set forth in Section 6706 and 6707 of the Los Angeles County Building Code and shall have forced-entry resistant locks. (B.C. 6710, 6715)</p>				
<p><b>ADDITIONAL NOTES</b></p> <p>Fire Sprinklers will be required for all new structures</p> <p>Los Angeles County Fire Department approval will be required for all new structures</p>				

**PROJECT DIRECTORY**

OWNER	44-114-5000A 23945 Calabasas Road, Ste. 102 Calabasas, California 91302-1232 Phone: 818. 223. 9070 Fax: 818. 223. 9071
DESIGNED BY	ENCO Structural Consultants, Inc. 23945 Calabasas Road, Ste. 102 Calabasas, California 91302-1232 Phone: 818. 223. 9070 Fax: 818. 223. 9071 E-mail: ENCO@ENCO.COM
STRUCTURAL ENGINEER	ENCO Structural Consultants, Inc. 23945 Calabasas Road, Ste. 102 Calabasas, California 91302-1232 Phone: 818. 223. 9070 Fax: 818. 223. 9071 E-mail: ENCO@ENCO.COM
DRAINAGE/HYDROLOGY	ENCO CO. 1558 Owen St. Troy, California 91712 Phone: 916. 232. 2312 Fax: 916. 232. 2322 E-mail: ENCO@ENCO.COM

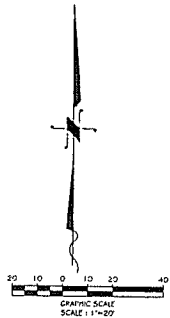
NOTE: PLUMBING, ELECTRICAL AND AIR CONDITIONING WORK WILL BE DESIGN/BUY SYSTEMS BY THE CONTRACTOR AND/OR SUBCONTRACTORS. WITHIN THE SCOPE/BOUNDARIES OF THESE DRAWINGS, THE CONTRACTOR OR HIS SUBCONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS BY THE BUILDING DEPARTMENT FOR APPROVAL OF THEIR WORK.



Total Sheet: \_\_\_\_\_

**NOTES**

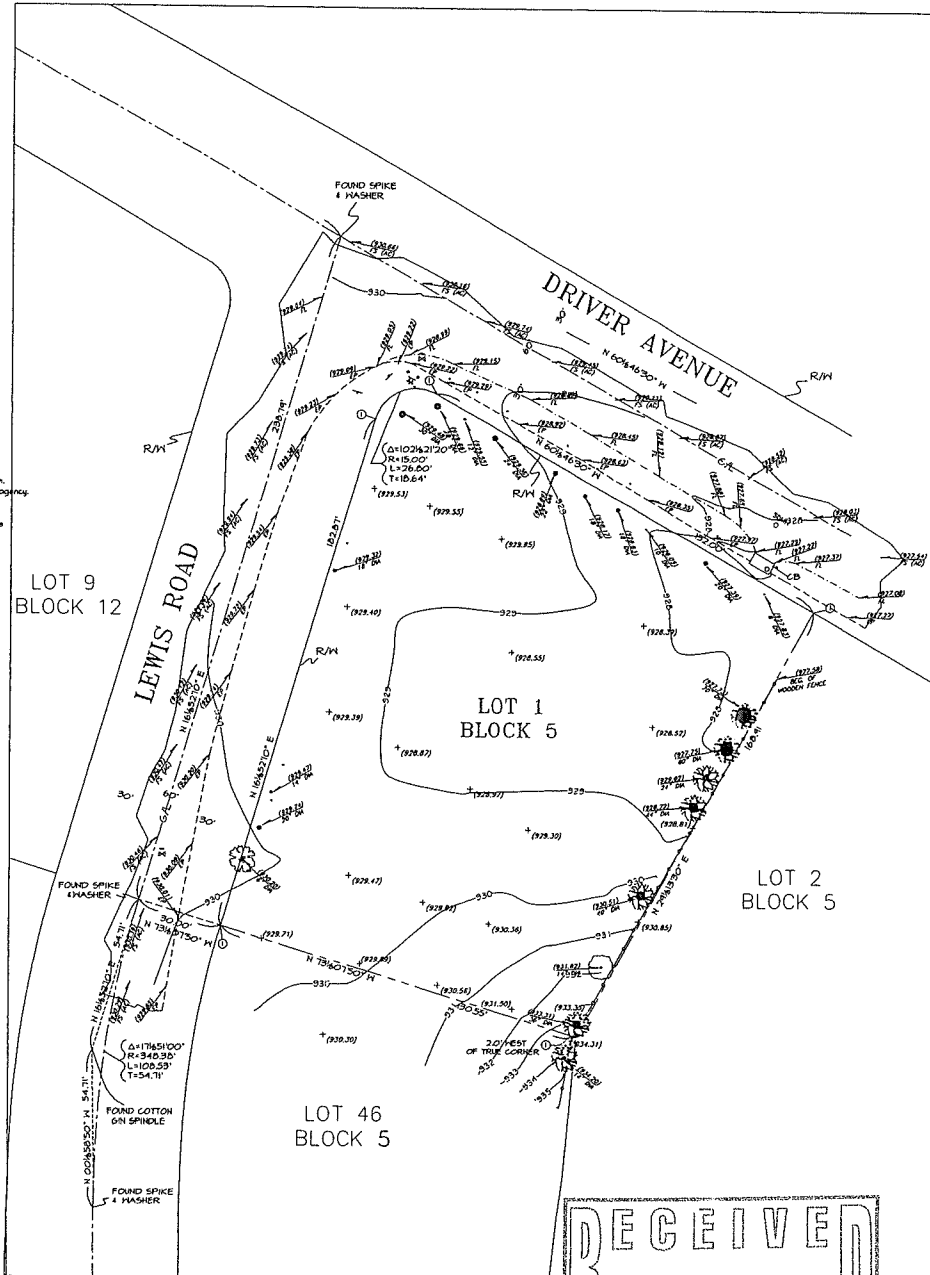
- (1) No attempt has been made as a part of this topographic survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal service facility, except as may be shown hereon. For information regarding these utilities or facilities, contact the appropriate agency.
- (2) Except as specifically stated or shown on this plan, this topographic survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other than those shown hereon; restrictive covenants; zoning or other land use regulations; and any other land use regulations and any other facts that an accurate and current title search may disclose.



**SURVEYOR'S STATEMENT**

This map correctly represents a topographic survey made by me or under my direction in conformity with locally accepted standards and practices at the request of AVI SIBONI in July 2009.

Dated: Glen L. Ashburn, PLS 4494  
(Express 439006)



BENCHMARK	LEGAL DESCRIPTION
RDBM TAG IN S CB DRIVER AVENUE 6M 5/0 C/L 4 P.S. TWO C/L PROD EASTERLY STREET.	LOT 1, BLOCK 5 PER TRACT NO. 8451 PER MAP BOOK 104 PG. 5.
MALIBU (1998) BM Y 9987	
ELEVATION: 919.575	

**LEGEND**

- AG ASPHALTIC CONCRETE
- CB CATCH BASIN
- CL CENTERLINE
- DIA DIAMETER
- EP EDGE OF PAVEMENT
- FS FINISH SURFACE
- FL FLOW LINE
- IF IRON PIPE
- LS LICENSED SURVEYOR
- N NORTH
- W WEST
- E EAST
- Δ DELTA
- R RADIUS
- L LENGTH
- T TANGENT
- SOAK OFF STORM DRAIN MANHOLE
- STREET SIGN
- WATER VALVE
- FIRE HYDRANT
- (927.27) GROUND SHOT (TYPICAL)
- OAK TREE
- EUCALYPTUS TREE
- PINE TREE
- UNIDENTIFIED TREE
- WOODEN FENCE
- - - PROPERTY LINE
- - - EDGE OF PAVEMENT
- - - FLOW LINE
- PAVED ROAD
- FOUND 1-1/2" IF L54494



ENCO STRUCTURAL  
CONSULTANTS I N C.  
# 818 . 223 . 9070  
23945 Calabasas Road, Ste. 101  
Calabasas, California 91302-1222  
# 818 . 223 . 9071

Written dimensions on these drawings shall have precedence over scaled dimensions. Measurements shall verify, and be responsible for all dimensions and conditions on the job and shall refer to the notified of any variations from the dimensions and conditions shown by these drawings. These drawings, specifications, and notes, drawings and arrangements represented thereby are and shall remain the property of ENCO Structural Consultants and no part thereof shall be copied, disclosed or others or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of ENCO Structural Consultants. Virtual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these conditions.



DATE:  
**Siboni Residence**  
New Single Family Dwelling  
Lewis Rd. Lot 1, Block 5  
Agoura Hills, CA

Sheet Contents:  
**SURVEY PLAN**

Scale: 1/16"=1'-0"

Revisions:

APN: 2055-005-070



143 Triunfo Canyon Road  
Suite 100  
Westlake Village, CA 91361  
Phone: 818.296-1928  
818.296-8641

**BOUNDARY AND TOPOGRAPHIC SURVEY**

LOT 1, BLOCK 5  
TRACT NO. 8451  
AGOURA HILLS, CA  
COUNTY OF LOS ANGELES  
STATE OF CALIFORNIA  
SURVEY DATE: MAY 2005  
JN 2175

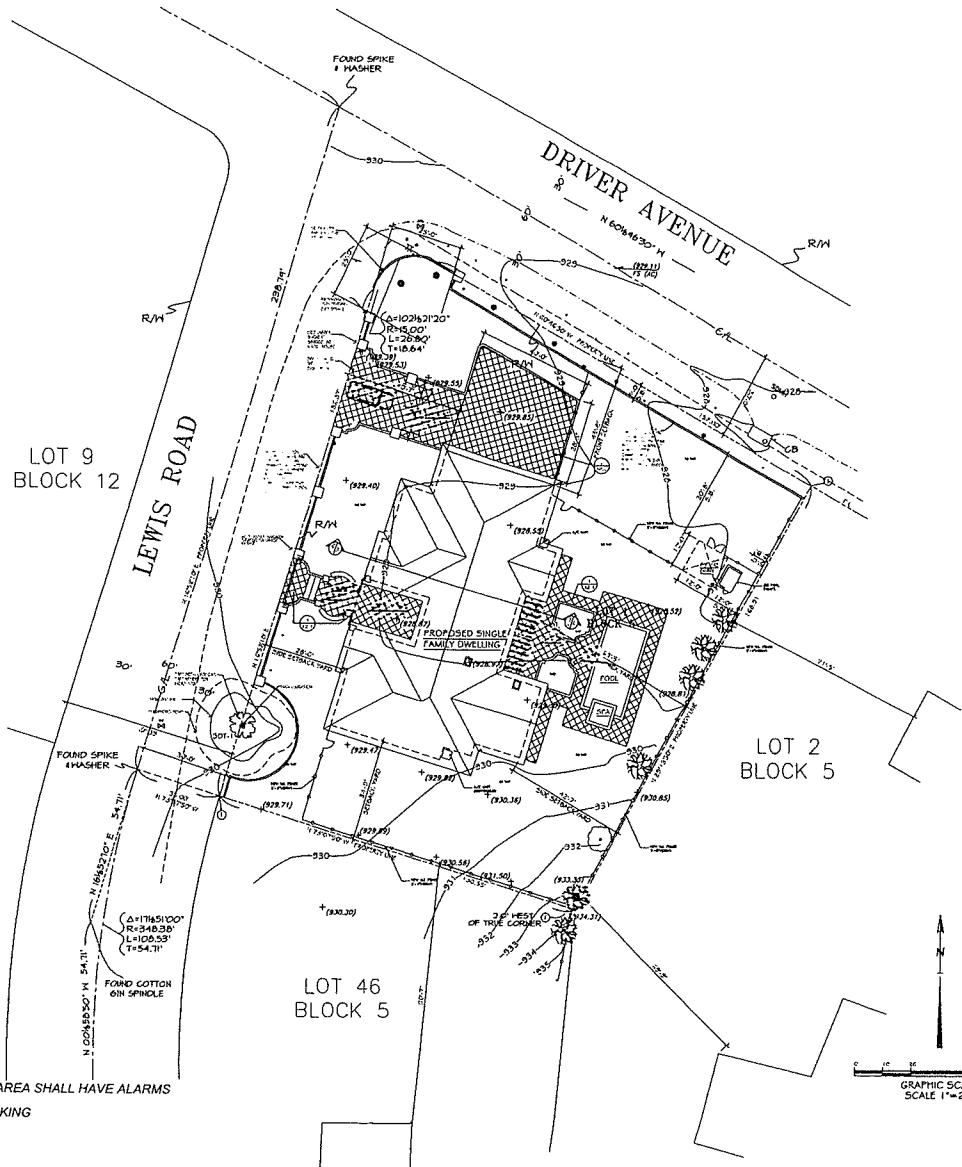
Date: 02.18.11  
Project No.: 15705  
File Name: 15705\_A.dwg  
Sheet No.:

**A-2.0**

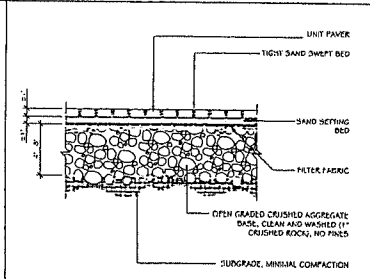
Total Sheets:

**RECEIVED**  
MAY 30 2013  
By \_\_\_\_\_





PLEASE NOTE: ALL DOORS ACCESSING THE POOL AREA SHALL HAVE ALARMS  
ALL ACCESS GATES SHALL BE SLEF-LATCHING/LOCKING

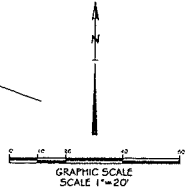


TYP. PERMEABLE PAVEMENT DETAIL 1

**LEGEND**

--- (dashed line)	1/2" x 1/2" THICK 6" CONC. WALL STUCCO FENCE
— (solid line)	1/2" WOODRICH IRON FENCE 5'-0" HIGH
□ (square symbol)	6" x 6" FRASERS STUCCO FINISH WITH BRUSHED IRON FENCE OVER 3'-0" ELEV. WALL STUCCO FINISH IN REVERSE

**LEGAL DESCRIPTION**  
LOT 1, BLOCK 5 PER TRACT NO. 8451 PER MAP BOOK 104 PG 5. APN: 2055-005-070



**ENCO STRUCTURAL CONSULTANTS I N C.**  
TE 818 . 223 . 9070  
23848 Calabasas Road, Ste. 101  
Calabasas, California 91301-1822  
FAX 818 . 223 . 9071

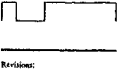
Written dimensions on these drawings shall have precedence over stated dimensions. Measurements shall verify, and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. These drawings, specifications, and notes, designs and arrangements represented thereby are and shall remain the property of ENCO Structural Consultants and no part thereof shall be copied, duplicated or used in connection with any work or project other than the specific project for which they have been prepared and approved without the written consent of ENCO Structural Consultants. Virtual consent with these drawings or specifications shall constitute conclusive evidence of acceptance of these conditions.



DATE: \_\_\_\_\_  
**Siboni Residence**  
Single Family Dwelling  
Lewis Rd, Lot 1, Block 5  
Agoura Hills, CA

Sheet Contents:  
SITE PLAN

Scale: 1"=20'

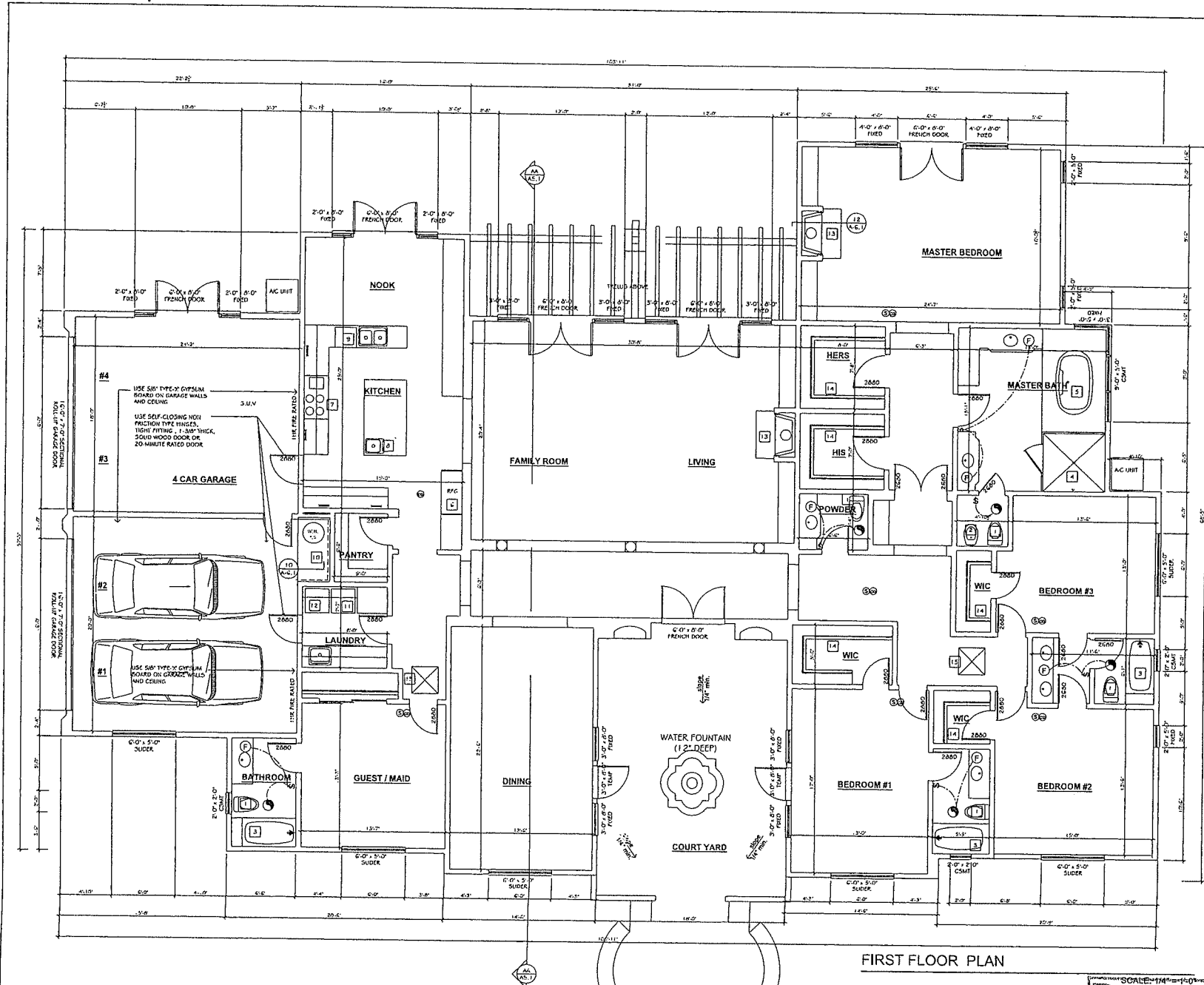


Date: 02.18.11  
Project No.: 15705  
File Name: 15705\_A.dwg  
Sheet No.:

**A-2.1**

Total Sheets:

**RECEIVED**  
MAY 30 2013  
By \_\_\_\_\_



**NOTES**

- ☐ Indicates Floor Plan Notes. See reference numbers below.
  - 1. LOW CONSUMPTION TOILET - 1.5 GALLONS MAXIMUM PER FLUSH. PROVIDE 2" CLEAR IN FRONT OF TOILET AND 30" MINIMUM WIDE TOILET COMPARTMENT, TYPICAL.
  - 2. BIDEI.
  - 3. TUB + SHOWER COMBINATION - WALLS ARE TO BE FINISHED WITH A SMOOTH FINISH. IMPERMEABLE SHEATH TO A HEIGHT OF NOT LESS THAN TYP ABOVE THE DRAIN INLET. PROVIDE SHOWER RESISTANT ENCLOSURE PER CODE.
  - 4. SHOWER COMPARTMENT - IMPERMEABLE AREA SHALL BE 1/2" SQUARE INCHES AND 3/4" R. INSTALL FUEL RESISTANT TILE AND PROVIDE A SHOWER RESISTANT GLASS ENCLOSURE IN COMPLIANCE WITH CODE.
  - 5. RT TUB - PROVIDE ACCESS PANEL TO PUMP AS REQUIRED BY MANUFACTURER.
  - 6. REFRIGERATOR. VERIFY CUTOUT DIMENSIONS BEFORE MANUFACTURING CABINETS.
  - 7. OVEN RANGE. VERIFY CUTOUT DIMENSIONS BEFORE MANUFACTURING CABINETS.
  - 8. VEGETABLE SINK. INSTALL CAPRAGE DISPOSAL WITH AIR SWITCH.
  - 9. DISHWASHER. VERIFY CUTOUT DIMENSIONS BEFORE MANUFACTURING CABINETS.
  - 10. WATER HEATER TO BE INSTALLED ATOP AN 18" HIGH PLATFORM. RUN WITH HOT WOOD OVER 24" STRUCTURE. ENCLOSE ALL EXPOSED OVER 24" WATER HEATER TO WALL. SEE DETAIL 10A.1.
  - 11. WASTING MACHINE
  - 12. DRYER MACHINE
  - 13. FIREPLACE. GAS-BURNING FIREPLACE BY DESK INTERNATIONAL, INC. 1.2 B.L. OR 2007 OR APPROVED SIMILAR FOR ACHS RULE 4.5
  - 14. PROVIDE STANDARD CLOSET ROD AND SHELF.
  - 15. PROVIDE 3/4" x 30" ATTIC SCUTTLE. PROVIDE LIGHT AND SWITCH. PROVIDE 24" WIDE PASSAGEWAY OF SOLID CONTINUOUS FLOORING FROM SCUTTLE TO H.V.A.C. EQUIPMENT IN ATTIC.
- LEGEND**
- ⊕ HARD WIRED SMOKE DETECTOR WITH BATTERY BACKUP AND INTERCONNECTED. DETECTOR SHALL SOUND AN ALARM ALONG WITH ALL SLEEPING AREAS OF THE OCCUPANCY UNIT WHICH THEY SERVE.
  - ⊕ CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD WIRED WITH BATTERY BACKUP.
  - ⊕ EXHAUST FAN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR. FAN SHALL EXHAUST DIRECTLY TO THE OUTSIDE. OUTLET MUST BE MINIMUM 3'-0" FROM ANY OPENINGS INTO BUILDING AND 3'-0" FROM THE PROPERTY LINE.
  - ⊕ FLUORESCENT RECESSED LIGHTING FIXTURE
  - ⊕ FLUORESCENT LIGHTING
- ALL INCANDESCENT LIGHTING FIXTURES RECESSED WITH DIMMABLE DIMMERS MUST BE APPROVED FOR ZERO CLEARANCES. DIMMERS UNDERPANELS LABORATORIES OR OTHER DISTINGUISHING LABORATORY RECOGNIZED BY THE I.C.C. AS PER TITLE 24.
- FLUORESCENT LIGHTS RATED ARE NOT LESS THAN: 40 WATT PER WATT FOR GENERAL LIGHTING IN OFFICES AND BATHROOMS PER 1-24 S.C. 2-5.35.
- NOTES**
- A. PROVIDE TO INCH HIGH HIGH ADJUSTMENT WALL ADJACENT TO SHOWER AND APPROVED SHOWER RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
  - B. PROVIDE FIRE SPRINKLERS THROUGHOUT. THE SPRINKLER SYSTEM SHALL BE APPROVED BY FIREMARSHAL DIV. PRIOR TO INSTALLATION.
  - C. 2" OR 3/4" MINIMUM SIDE STUDS AT 12" O.C. REQUIRED FOR FIRST STORY.
  - D. ALL NEW OR REPLACED WINDOWS WILL BE TYPIFIED ON AT LEAST ONE SIDE OF DUAL PANE OR A 20 MIN PATED WINDOW OR GLASS BLOCKS PER SECTION 704A.3.2.2 OF 2007 CBC.
- GLAZING NOTES:**
- ALL WINDOWS AND EXTERIOR GLAZED DOORS TO BE DUAL GLAZED.
  - ALL WINDOWS TO BE LAMINATED.
  - ALL GLAZING IN HAZARDOUS LOCATIONS MUST BE IDENTIFIED BY A LABEL PERMANENT IF TEMPERED AS SAFETY GLAZING.
- EMERGENCY ACCESS NOTE:**
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR WINDOW OPENING DIRECTLY INTO A YARD OR PATIO COURT FOR EMERGENCY EGRESS. SEE PLAN TO IDENTIFY WHICH OPENINGS SHOULD COMPLY WITH THIS REQUIREMENT. EMERGENCY EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. THESE WINDOWS SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

**ENCO STRUCTURAL CONSULTANTS, I N C.**  
 TEL 818. 223. 9070  
 2346 Calabasas Road, Ste. 101  
 Calabasas, California 91302-1322  
 FAX 818. 223. 9071

Without dimensions on these drawings shall have precedence over scale dimensions. Dimensions shall verify, and be responsible for all dimensions and conditions on the job and this office will be notified of any variations from the dimensions and conditions shown by these drawings.

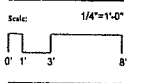
These drawings, specifications, and items, design and engineering remain the property of ENCO Structural Consultants and no part thereof shall be copied, distributed or otherwise used in connection with any work or project other than the specific project for which they have been prepared and distributed without the written consent of ENCO Structural Consultants.

Visual contact with these drawings is not a substitute for a complete and conclusive review of acceptance of these documents.



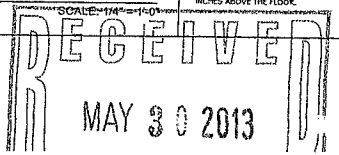
**Siboni Residence**  
 New Two Story House  
 Lewis Rd, Lot 1 Block 5  
 Agoura Hills, CA

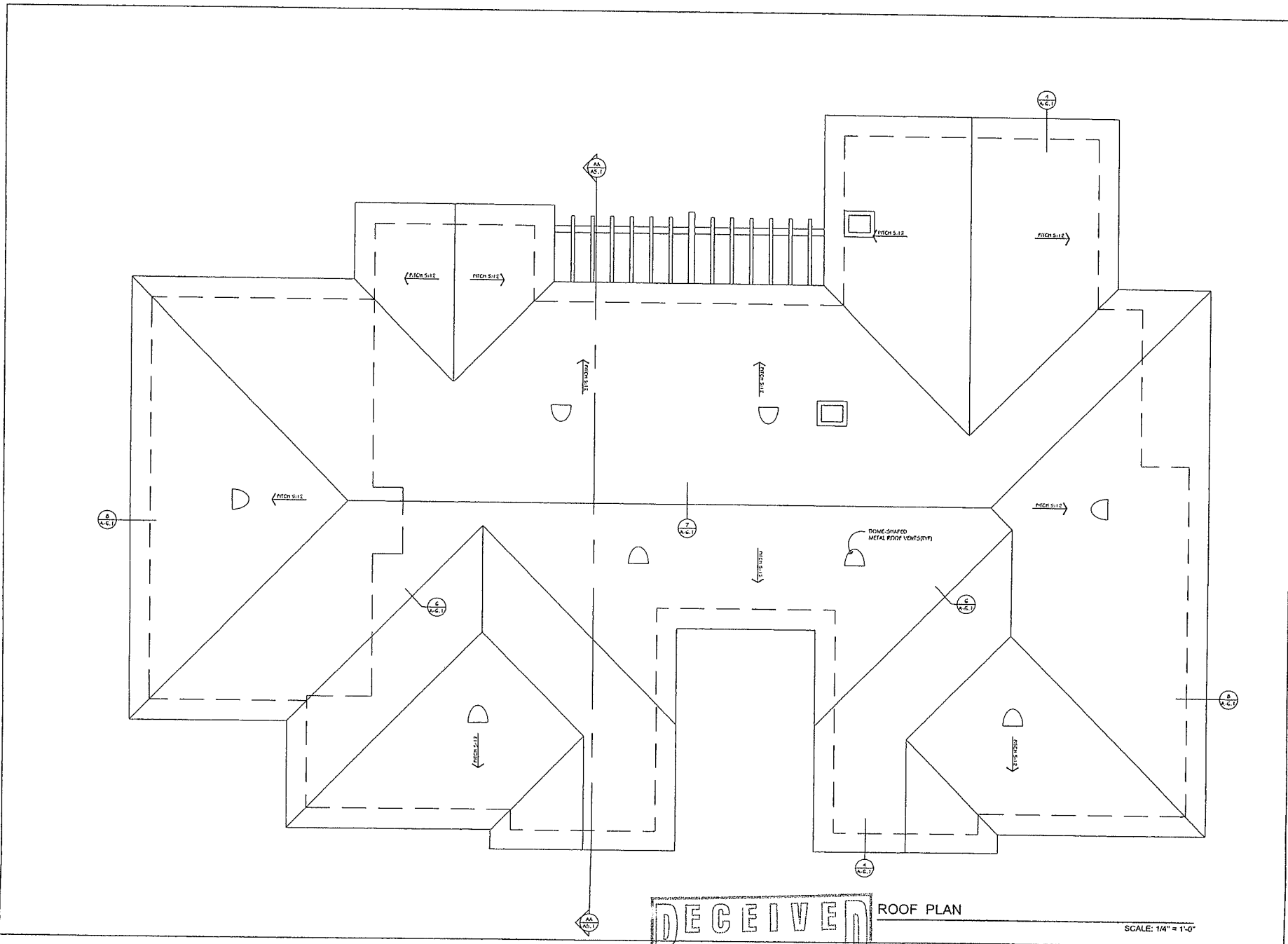
Sheet Contents:  
**FIRST FLOOR PLAN**



DATE: \_\_\_\_\_  
 Scale: 1/4"=1'-0"  
 Revising: \_\_\_\_\_  
 Date: 02.03.11  
 Project No: 15705  
 File Name: 15705\_A.dwg  
 Sheet No: \_\_\_\_\_

**A-3.1**  
 Total Sheets: \_\_\_\_\_





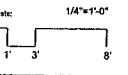
**ENCO STRUCTURAL CONSULTANTS I N C.**  
 818.223.9070  
 7345 Calabasas Road, Ste. 101  
 Calabasas, California 91302-1322  
 818.223.9071

Whose dimensions on these drawings shall have precedence over actual dimensions. Engineer shall verify, and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. These drawings, specifications, and ideas, designs and arrangements represented hereby are and shall remain the property of ENCO Structural Consultants and no part thereof shall be copied, disclosed or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of ENCO Structural Consultants. Virtual consent with these drawings in specifications shall constitute conclusive evidence of acceptance of these representations.



DATE: \_\_\_\_\_  
**Siboni Residence**  
 New Two Story House  
 Lot 14, Block 5  
 Agoura Hills, CA

Sheet Content:  
**ROOF PLAN**



Revisions:

Date: 02.03.11  
 Project No.: 15705  
 File Name: 15705\_A.dwg  
 Sheet No.:

**A-3.2**

Total Sheets:

**RECEIVED**  
 MAY 30 2013

ROOF PLAN

SCALE: 1/4" = 1'-0"



ENCO STRUCTURAL CONSULTANTS I N.C.  
 818.223.9070  
 2345 Calabasas Road, Ste. 151  
 Calabasas, California 91302-1322  
 818.223.9071

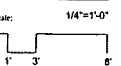
Without disclaimer no other drawings shall have precedence over these drawings; contractor shall verify, and be responsible for all dimensions and conditions on the job and 100% effort must be made to conform to the drawings and conditions shown by these drawings. These drawings, specifications, and items, designs and arrangements represent hereby and shall remain the property of ENCO Structural Consultants and no part hereof shall be copied, distributed or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of ENCO Structural Consultants. VISUAL CHECKS WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE CONDITIONS.



DATE:

**Siboni Residence**  
 New Two Story House  
 Lewis Rd, Lot 1, Block 5  
 Agoura Hills, CA

Sheet Content:  
 FRONT ELEVATION

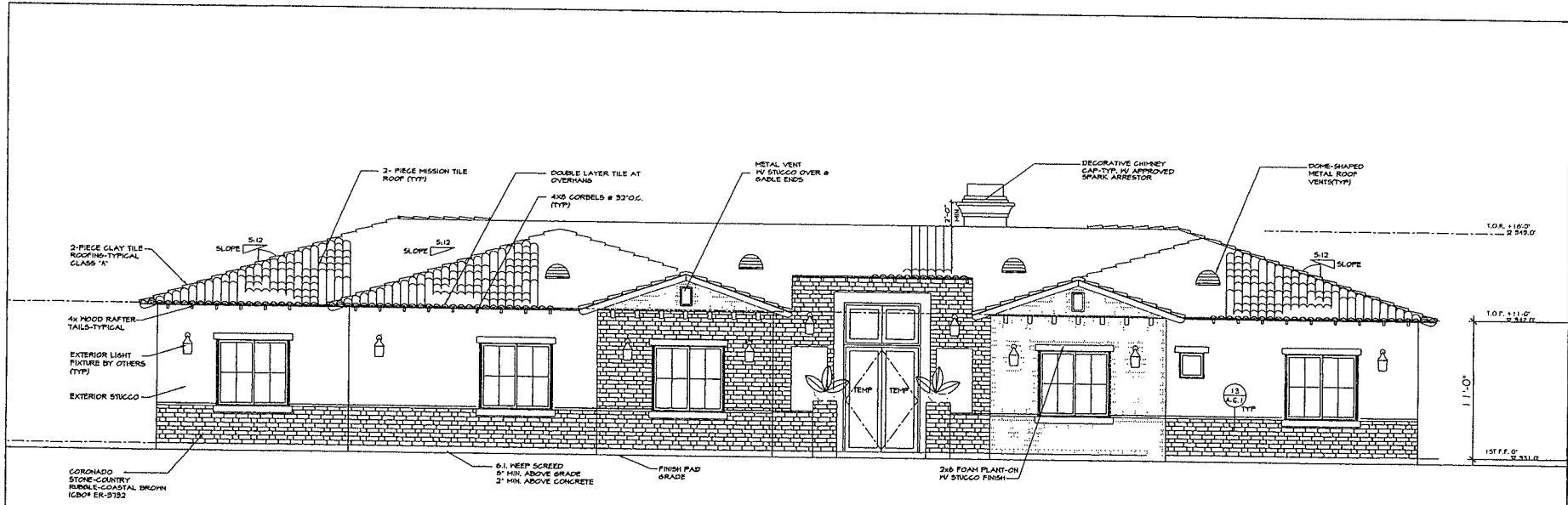


Revisions:

Date: 02.03.11  
 Project No.: 15705  
 File Name: 15705\_A.dwg  
 Sheet No.:

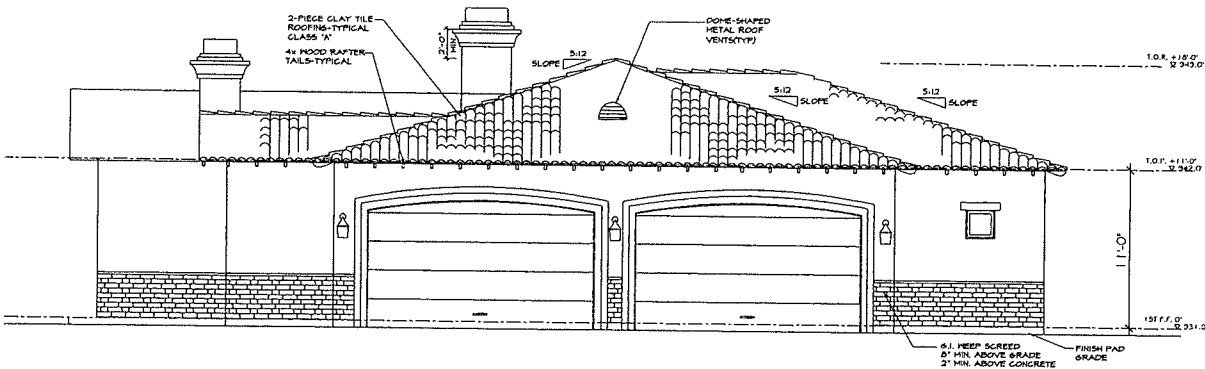
**A-4.1**

Total Sheets:



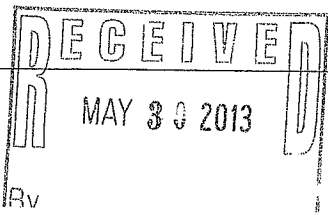
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



Rv



ENCO STRUCTURAL CONSULTANTS, I N C.  
 # 818.223.9070  
 22845 Calabasas Road, Ste. 101 Calabasas, California 91302-1322  
 # 818.223.9071

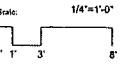
Written dimensions on these drawings shall have precedence over scaled dimensions extracted therefrom, and the contractor shall be responsible for all dimensions and conditions on the job and this office shall be notified of any variations from the dimensions and conditions shown by these drawings. These drawings, specifications, and facts, details and arrangement represented hereby are and shall remain the property of ENCO Structural Consultants and no part hereof shall be copied, disclosed or used in any way in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of ENCO Structural Consultants. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.



DATE:

Siboni Residence  
 New Two Story House  
 Lewis Rd, Lot 1 Block 5  
 Agoura Hills, CA

Sheet Contents:  
 Rear & Right Side Elevations

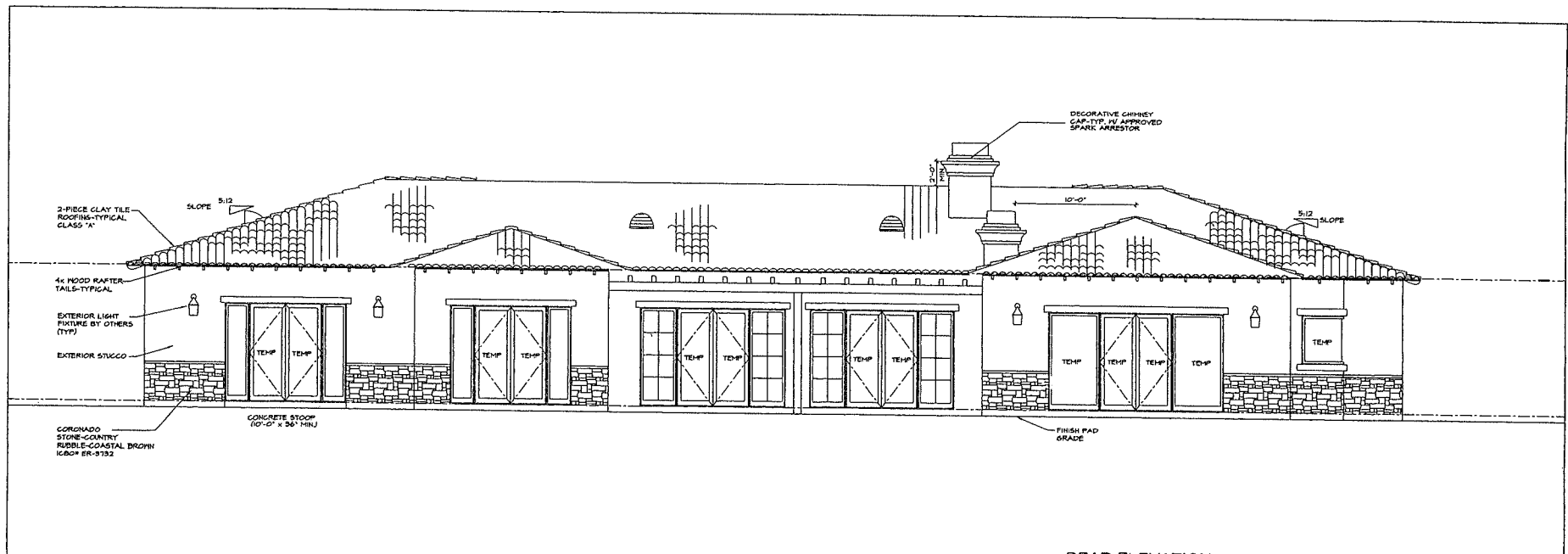


Revisions:

Date: 02.03.11  
 Project No.: 15705  
 File Name: 15705\_A.dwg  
 Sheet No.:

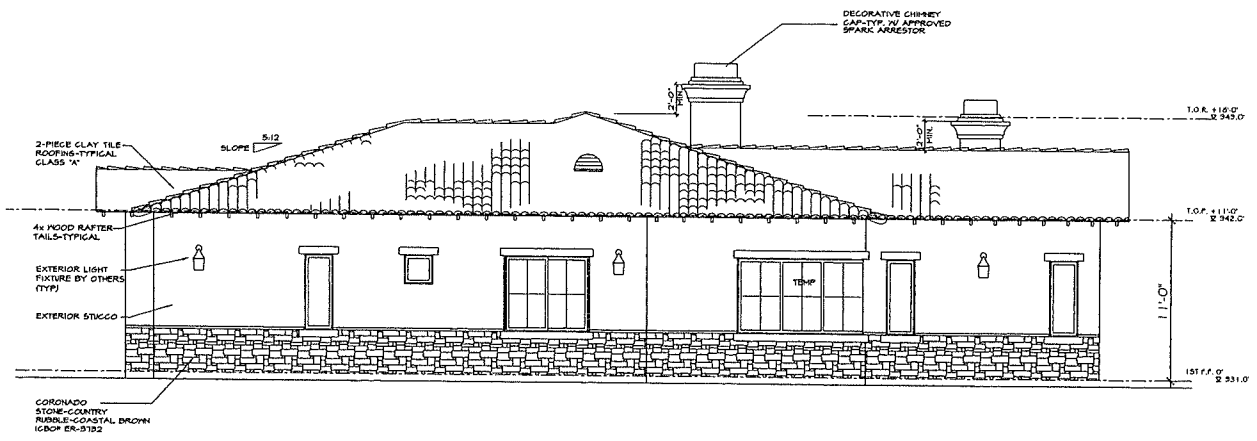
A-4.2

Total Sheets:



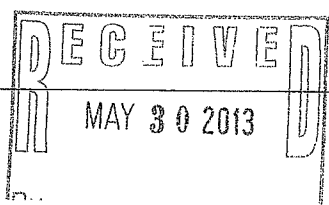
REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"





ENCO STRUCTURAL CONSULTANTS INC. 2340 California Road, Ste. 101 Colton, California 91302-1322 818.223.9070

Written disclosures in these drawings shall have precedence over verbal discussions. Conditions shall verify, and be responsible for all dimensions and conditions on the job and this office will be notified of any variations from the drawings and conditions shown. By these drawings, specifications, and items, designs and arrangements represented thereby you and shall remain the property of ENCO Structural Consultants and no part thereof shall be copied, distributed or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of ENCO Structural Consultants. Vertical contact with these drawings or specifications shall constitute constructive evidence of acceptance of these conditions.

DATE:

Siboni Residence New Two Story House 16141 Block 5 Lewis Rd. Lot 1 Black 5 Agoura Hills, CA

Sheet Contents: SECTION

Scale: 1/4" = 1'-0" 0' 1' 3' 8'

Revisions:

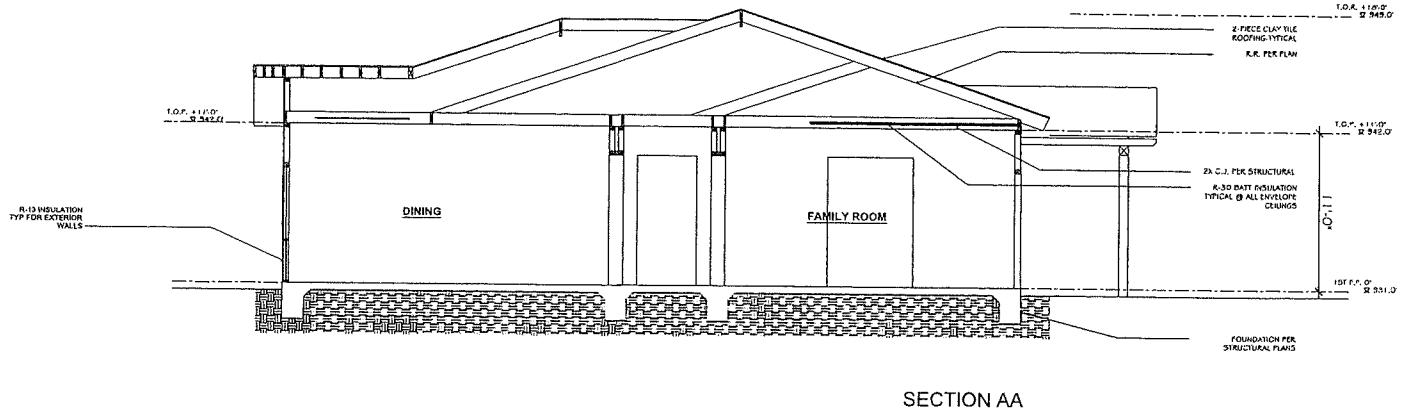
Date: 02.03.11 Project No.: 15705 File Name: 15705\_A.dwg Sheet No.:

A-5.1

Total Sheets:

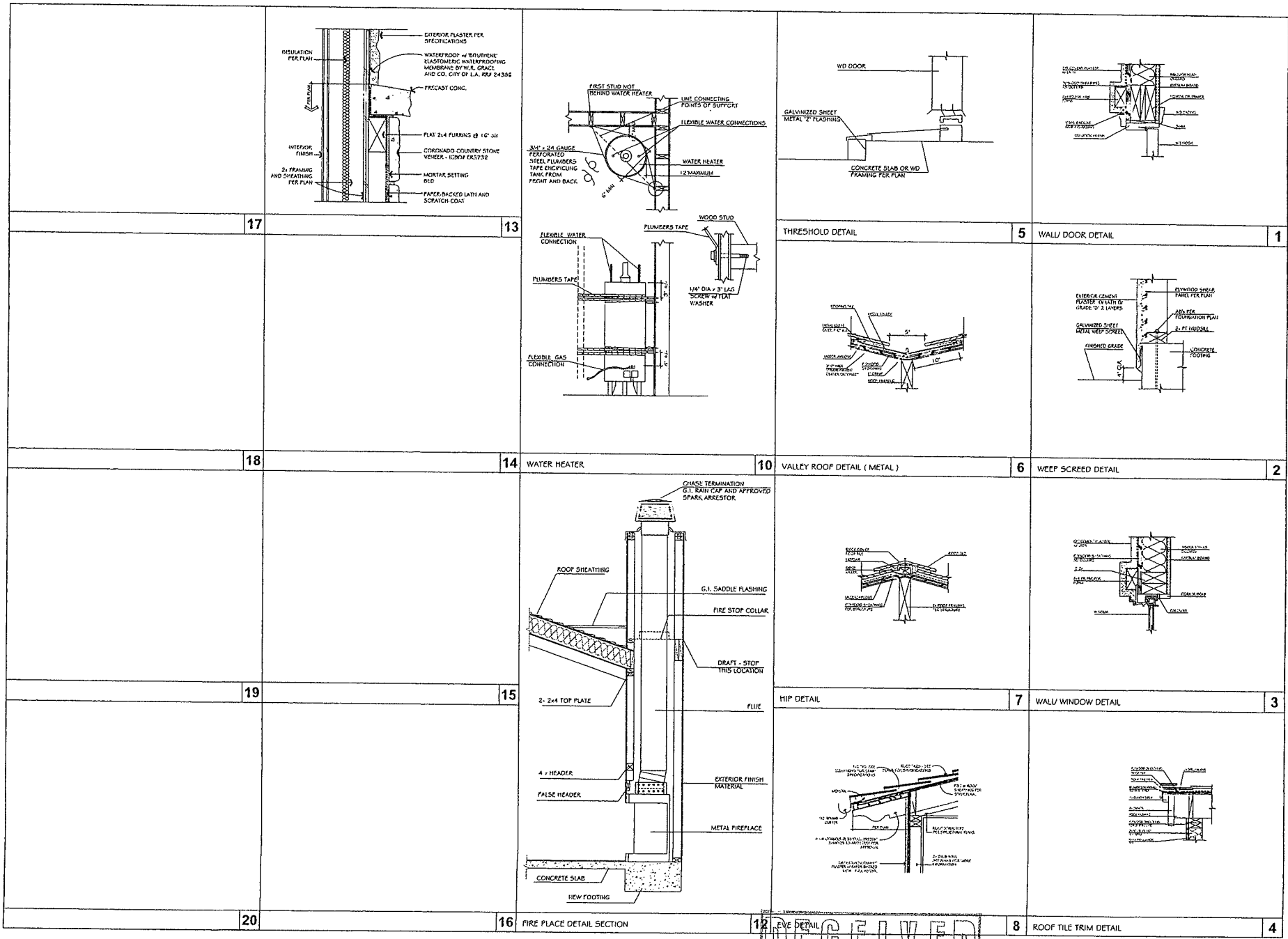
GENERAL REQUIREMENTS FOR AREAS OF VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ)

GENERAL REQUIREMENTS FOR AREAS OF VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ)



SECTION AA SCALE: 1/4" = 1'-0"

RECEIVED MAY 30 2013



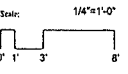
**ENCO**  
 ENCO STRUCTURAL CONSULTANTS I N C.  
 # 818 . 223 . 9070  
 23445 Calabasas Road, Ste. 101  
 Calabasas, California 91302-1322  
 # 818 . 223 . 9071

Written dimensions on these drawings shall have precedence over scaled dimensions; contractors shall verify, and be responsible for, all dimensions and conditions on the job and site office; notes be notified of any revisions from the dimensions and conditions shown by these drawings.  
 These drawings, specifications, and notes, designs and arrangements, represented hereby are and shall remain the property of ENCO Structural Consultants and no part thereof shall be copied, displayed or used in connection with any work or project other than the specific project for which they have been approved and developed without the written consent of ENCO Structural Consultants. Visual contact with these drawings or specifications shall constitute constructive acceptance of acceptance of these conditions.



DATE:  
**Siboni Residence**  
 New Two Story House  
 Lewis Rd, Lot 1 Block 5  
 Agoura Hills, CA

Sheet Contents:  
 DETAILS



Revisions:

Date: 02.03.11  
 Project No.: 15705  
 File Name: 15705\_A.dwg  
 Sheet No.:

**A-6.1**

Total Sheets:

RECEIVED  
 MAY 30 2013

**GRADING NOTES**

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXCESS MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOTECHNICAL AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOTECHNICAL REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
  - ROUGH GRADING REPORT, PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
  - FINAL GRADING REPORT, PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THIS REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LEFT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND REGULATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
  - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL CORROSION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FULL LOGS, LOCATIONS OF ALL IDENTITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL BENCHMARKS AND FLOWLINE MEASUREMENTS, AND LOCATION AND ELEVATION OF ALL RETAINING WALLS, BACKFILLS AND OUTLETS. GEOTECHNICAL CONDITIONS OBSERVED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOTECHNICAL MAP.
- TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONTINUED TO THE HOURS OF 7:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

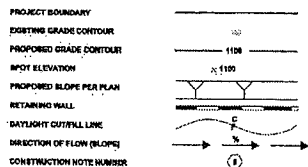
**INSPECTION NOTES**

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

**ABBREVIATIONS**

AC - ASPHALTIC CONCRETE	MB - NATURAL BOUND
BF - BOTTOM OF FOOTING	MS - NOT TO SCALE
CB - CATCH BASIN	PL - PROPERTY LINE
CF - CURB FACE	POB - POINT OF BEGINNING
C - CENTERLINE	SBM - STORM DRAIN MANHOLE
CLF - CHAIN LINK FENCE	SBH - SLOPE BENCHMARK
CO - CLEAN OUT	SB - SANITARY SEWER
DS - DRAINAGE BASIN	TO - TOP OF SBM
DL - DAYLIGHT	TO - TOP OF GRADE
ES - EDGE OF BUTTER	TF - TOP OF FOOTING
EF - EDGE OF FLOWLINE	TO - TOP OF DRIVE
FF - FINISHED FLOOR	TW - TOP OF WALL
FG - FINISHED GRADE	TYP - TYPICAL
FI - FIRE HYDRANT	WM - WATER METER
FS - FINISH SURFACE	WV - WATER VALVE
HC RAMP - HARDWARE RAMP	
HP - HIGH POINT	
HY - INVERT	

**LEGEND AND SYMBOLS**



**PUBLIC UTILITIES / SERVICES**

WATER:	LAS VIRGENES MUNICIPAL WATER DISTRICT 4252 LAS VIRGENES ROAD CALABASSAS, CA 91302 (916) 484-4119
ELECTRICAL:	SOUTHERN CALIFORNIA Edison 3688 Foothill Drive Thousand Oaks, CA 91321 (805) 484-7799
TELEPHONE:	SDC (FAC BELL) 1221 PATNER STREET, #115 VAN NUYS, CA 91410 (818) 372-8880
GAZ:	SOUTHERN CALIFORNIA GAS 840 DAVENPORT AVENUE CHATEAUVILLE, CA 91311 (818) 791-3334
SEWER:	LA COUNTY, DEPT. OF PUBLIC WORKS SEWER MAINTENANCE DIVISION 1500 S. FREDRICK AVENUE, SUITE 401 ALHAMBRA, CA 91802 (626) 306-2098
CABLE:	ADSL/FIBER 2323 TOLLER ROAD NEWPORT PARK, CA 91320 (909) 373-8233
CABLE:	CHARTER COMMUNICATIONS 3810 CROSSCREEK ROAD BALDWIN, CA 90245 (310) 466-6610
CABLE:	ADSL/FIBER 2323 TOLLER ROAD NEWPORT PARK, CA 91320 (909) 373-8233
CABLE:	CHARTER COMMUNICATIONS 3810 CROSSCREEK ROAD BALDWIN, CA 90245 (310) 466-6610
CABLE:	ADSL/FIBER 2323 TOLLER ROAD NEWPORT PARK, CA 91320 (909) 373-8233
CABLE:	CHARTER COMMUNICATIONS 3810 CROSSCREEK ROAD BALDWIN, CA 90245 (310) 466-6610



**STORMWATER POLLUTION NOTES**

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE BEST MANAGEMENT PRACTICES (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF CHARGE POLLUTANTS TO DRYWELL LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC, "WET-WEATHER EROSION CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DISCLOSE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL DRYWELL DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

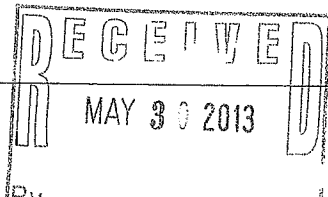
**OAK TREE NOTES**

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (916) 867-3964, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."

**LEGAL DESCRIPTION**

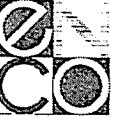
INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
C-1	COVER SHEET
C-2	GRADING PLAN
ESTIMATED EARTHWORK QUANTITIES	
ESTIMATED CUT:	0 cy
ESTIMATED FILL:	2385 cy
ESTIMATED OVER-EXCAVATION:	406 cy
ESTIMATED EXPORT:	0 cy
ESTIMATED IMPORT:	2385 cy
BENCHMARK:	
DESCRIPTION: BM NO. PT #1	ELEVATION: 930.52
FD SPK & W DN 3" @ CL INT OF DRIVER AV & LEWIS RD	SURVEY DATE: MALIBU 2003
PWFB 1606, PAGE 959	
RECORD DRAWING STATEMENT	
I, _____, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND EMERALD CONTRACTOR, THAT THE WORK ON SHEET NO. _____ THROUGH _____ HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.	
REGISTERED CIVIL ENGINEER	DATE _____
REGISTERED GEOLOGIST	DATE _____
REGISTERED GEOTECHNICAL ENGINEER	DATE _____
SOILS APPROVAL	
THIS PLAN HAS BEEN REVIEWED, AND IS IN COMPLIANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____	
REGISTERED GEOLOGIST	DATE _____
REGISTERED GEOTECHNICAL ENGINEER	DATE _____

<p>OWNER AVI AND LISA STRONIG 28714 PISCES ST., AGOURA, CA 91301 AVI STRONIG 213-761-2100</p> <p>CIVIL ENGINEER JOHN VIGIL 7558 OWENS ST., TUNJUNGA, CA 91042 JACK VIGIL 818-352-2352</p> <p>GEOTECHNICAL ENGINEER GOLD COAST SERVICES, INC. 5217 VERDUGO WAY, SUITE 8, CAMARILLO, CA 93012 SCOTT HOGREFE 805-484-5070</p>	<p>VICINITY MAP</p>
--	---------------------



**GRADING**





J.V. IGIL CO. CONSULTANTS, INC.  
 818 . 223 . 9070  
 2808 Dutton Road, Ste. 302  
 Colton, California 92316-1922  
 818 . 223 . 9071

When drawings on these sheets are prepared, the contractor shall be responsible for all dimensions and conditions on the job. No work shall be done until all dimensions and conditions are approved by the City Engineer. The contractor shall be responsible for all dimensions and conditions on the job. No work shall be done until all dimensions and conditions are approved by the City Engineer.

Siboni Residence  
 Single Family Dwelling

Sheet Content:  
 GRADING PLAN

Scale: 1"=20'

Revisions:  
 REVISION

Date: 4-24-2011  
 Project No.: 13783  
 File Name: 13783\_C-02.dwg  
 Sheet No.:

C-2.0

Total Sheets:

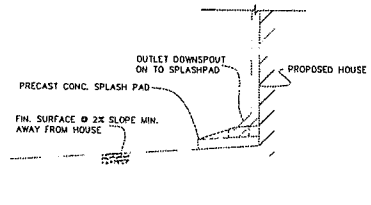
CONSTRUCTION NOTES

- 1 CONSTRUCT NATURAL GRADED SWALE AT 2% SLOPE MIN.
- 2 CONSTRUCT 12"x12" GRATED CATCH BASIN ("NDS 1215" OR EQUAL) AND OUTLET VIA 6" PVC PER GRADES SHOWN.
- 3 CONSTRUCT 12"x12" GRATED CATCH BASIN ("NDS 1215 OR EQUAL") AND OUTLET INTO BACK OF EXISTING CATCH BASIN.
- 4 GRADES SET IN POOL HARDSCAPE AREA, PARKING AREA, ETC., ARE NOT FINAL AND MAY BE CHANGED TO SUIT LANDSCAPE OR POOL CONTRACTOR AS LONG AS AREAS WILL DRAIN PROPERLY. ANY GRADE, SLOPE AND/OR DRAINAGE CHANGES NEED TO BE APPROVED BY THE CITY.
- 5 SITE PREPARATIONS: IT IS RECOMMENDED THAT A UNIFORM THICKNESS OF COMPACTED FILL MATERIAL BE PROVIDED WITHIN THE BUILDING FOOTPRINT (INCLUDING PROPOSED SWIMMING POOL FOOTPRINT), AND EXTENDING FIVE FEET BEYOND THE BUILDING LINE, SO THAT ALL FOUNDATIONS (AND POOL SHELL) ARE EMBEDDED INTO COMPACTED FILL. IN ORDER TO ACHIEVE THIS, IN THOSE AREAS WHERE THE PROPOSED THICKNESS OF COMPACTED FILL BENEATH THE BUILDING AREA IS LESS THAN FIVE FEET, THOSE AREAS SHALL BE OVER-EXCAVATED A MINIMUM OF FIVE FEET BELOW PROPOSED PAD GRADE (OR A MINIMUM DEPTH OF 36 INCHES BELOW PROPOSED FOUNDATION DEPTH OR POOL DEPTH), AND THE RESULTING VOIDS SHALL THEN BE REPLACED WITH ENGINEERED FILL. THE AREA OF OVER-EXCAVATION SHALL EXTEND FIVE (5) FEET OUTSIDE OF PROPOSED BUILDING (OR POOL SHELL) LINE.
- 6 EXTEND SEWER LINE AND CONSTRUCT HOUSE CONNECTION PER PC 12-02
- 7 OUTLET SWALE ONTO 4' X 6' "RENO MAT" OR EQUAL.
- 8 EXPANSIVE SOILS: BASED ON EXPANSION INDEX RESULTS, THE SOIL UNDERLYING THIS SITE IS IN THE HIGH EXPANSION INDEX RANGE. EXPANSIVE SOILS ARE THOSE WHICH CONTAIN CLAY MINERALS WHICH CHANGE IN VOLUME (SHRINK OR SWELL) WITH CHANGES IN SOIL MOISTURE CONTENT. WHEN THERE'S A CHANGE IN THE MOISTURE CONTENT THERE WILL BE MOVEMENT, WITH ANTICIPATED SHRINKING OR SWELLING PHENOMENON THAT BE ON THE ORDER OF ABOUT ONE INCH OR MORE. DIFFERENTIAL SHRINKING OR SWELLING CAN CAUSE DAMAGE TO FOUNDATION SYSTEMS AND CONCRETE FLATWORK, WHICH CAN CAUSE CRACKS TO DEVELOP IN CONCRETE AND IN INTERIOR WALLS. THE FOLLOWING RECOMMENDATIONS, AT A MINIMUM ARE RECOMMENDED FOR THIS SITE DUE TO THE PRESENCE OF EXPANSIVE SOILS.

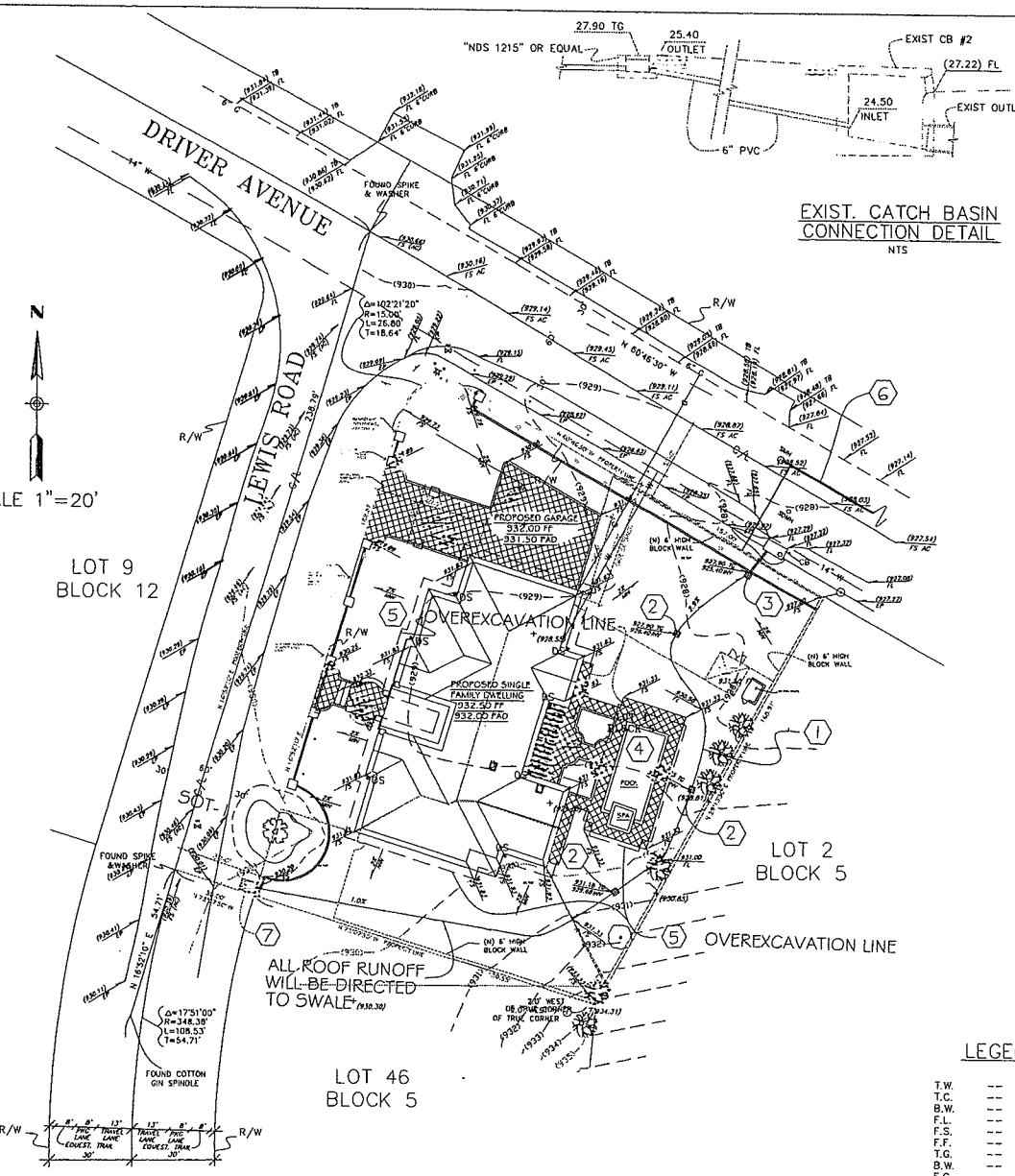
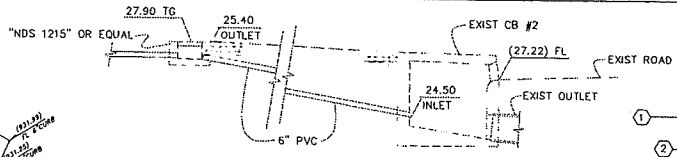
1. POSITIVE DRAINAGE SHALL BE ESTABLISHED AND MAINTAINED AT ALL TIMES.
2. LEAKING WATER LINES AND IRRIGATION LINES SHALL BE IMMEDIATELY REPAIRED.
3. TREES SHALL BE PLANTED AWAY FROM THE STRUCTURES OR FLATWORK AT AN ADEQUATE DISTANCE SO THAT ROOTS CAN NOT DRAW MOISTURE FROM THE SUBGRADE SOILS WHICH MAY RESULT IN SHRINKAGE AND SETTLEMENT.
4. IT IS RECOMMENDED THAT CONCRETE SLABS-ON-GRADE UTILIZED FOR ANY FLATWORK, SUCH AS PATIOS, WALKWAYS AND DRIVEWAYS, BE PROVIDED WITH A "THICKENED EDGE" CONSISTING OF A MINIMUM 24 INCH DEEP X 12-INCH WIDE FOOTING ALONG THE PERIMETER OF THE SLAB IN ORDER TO MINIMIZE THE POTENTIAL FOR MOISTURE CONTENT FLUCTUATIONS WITHIN THE SLAB SUBGRADE SOILS. IN ADDITION, ALL SLABS-ON-GRADE FOR DRIVEWAYS, WALKWAYS, PARKING AREAS, AND OTHER FLATWORK SHALL BE UNDERLAIN WITH A MINIMUM OF FIVE (5) INCHES OF SAND OR AGGREGATE BASE MATERIALS COMPACTED TO A MINIMUM OF 90 PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY.
5. FOOTINGS FOR FREE-STANDING BARRIER WALLS SHOULD HAVE A MINIMUM WIDTH OF 24 INCHES AND A MINIMUM DEPTH OF 33 INCHES.

LEGEND

T.W.	--	TOP OF WALL
T.C.	--	TOP OF CURB
B.W.	--	BACK OF WALK
F.L.	--	FLOW LINE
F.S.	--	FINISH SURFACE
F.F.	--	FINISH FLOOR
T.G.	--	TOP OF GRATE
B.W.	--	BOTTOM OF WALL
F.C.	--	FINISH GRADE
RETAINING WALL	--	RETAINING WALL
EXIST. RETAINING WALL/SCREEN WALL	--	EXIST. RETAINING WALL/SCREEN WALL
PROPOSED CONTOUR	---	PROPOSED CONTOUR
EXISTING CONTOUR	---	EXISTING CONTOUR
EXISTING ELEVATION	---	EXISTING ELEVATION
PROPOSED DOWN SPOUT LOCATION	+	PROPOSED DOWN SPOUT LOCATION

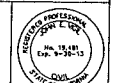


EXIST. CATCH BASIN CONNECTION DETAIL  
 NTS



RECEIVED  
 MAY 30 2013

PLANS PREPARED BY:  
**J.V. IGIL CO.**  
 7538 OWENS ST.  
 TULARE, CA 91362  
 (818) 352-2352  
 FAX 353-7723



JOHN E. VIGIL R.C.E. No. 18189 DATE



ENCO STRUCTURAL CONSULTANTS INC.  
 # 818 . 223 . 9070  
 23845 Calabasas Road, Ste. 101  
 Calabasas, California 91302-9322  
 # 818 . 223 . 9071

Written dimensions on these drawings shall have precedence over stated dimensions; contractor shall verify, and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. These drawings, specifications, and ideas, design and arrangements represented hereby are and shall remain the property of ENCO Structural Consultants and no part thereof shall be copied, published or others or used in connection with any work on project other than the specific project for which they have been prepared and developed without the written consent of ENCO Structural Consultants. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these terms/conditions.



DATE:

Siboni Residence  
 Single Family Dwelling  
 Lewis Rd, Lot 1 Block 5  
 Agoura Hills, CA

Sheet Contents:  
 PLANTING PLAN

Scale: 1"=20'

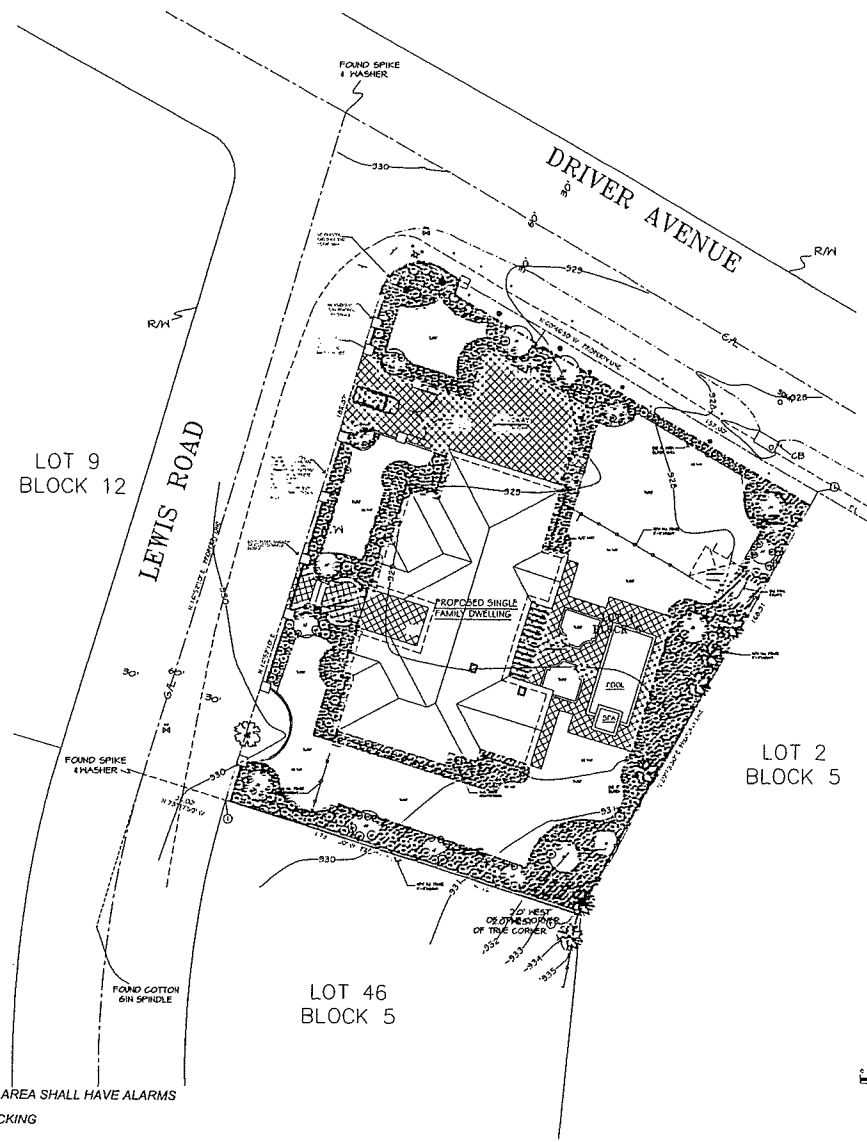


Revisions:

Date: 02.18.11  
 Project No.: 15705  
 File Name: 15705\_A.dwg  
 Sheet No.:

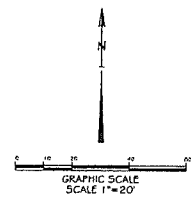
L-1

Total Sheets:



LEGEND:

BOTANICAL NAME	QTY	QTY'	SPEC.
1. ...	...	...	...
2. ...	...	...	...
3. ...	...	...	...
4. ...	...	...	...
5. ...	...	...	...
6. ...	...	...	...
7. ...	...	...	...
8. ...	...	...	...
9. ...	...	...	...
10. ...	...	...	...
11. ...	...	...	...
12. ...	...	...	...
13. ...	...	...	...
14. ...	...	...	...
15. ...	...	...	...
16. ...	...	...	...
17. ...	...	...	...
18. ...	...	...	...
19. ...	...	...	...
20. ...	...	...	...
21. ...	...	...	...
22. ...	...	...	...
23. ...	...	...	...
24. ...	...	...	...
25. ...	...	...	...
26. ...	...	...	...
27. ...	...	...	...
28. ...	...	...	...
29. ...	...	...	...
30. ...	...	...	...
31. ...	...	...	...
32. ...	...	...	...
33. ...	...	...	...
34. ...	...	...	...
35. ...	...	...	...
36. ...	...	...	...
37. ...	...	...	...
38. ...	...	...	...
39. ...	...	...	...
40. ...	...	...	...
41. ...	...	...	...
42. ...	...	...	...
43. ...	...	...	...
44. ...	...	...	...
45. ...	...	...	...
46. ...	...	...	...
47. ...	...	...	...
48. ...	...	...	...
49. ...	...	...	...
50. ...	...	...	...
51. ...	...	...	...
52. ...	...	...	...
53. ...	...	...	...
54. ...	...	...	...
55. ...	...	...	...
56. ...	...	...	...
57. ...	...	...	...
58. ...	...	...	...
59. ...	...	...	...
60. ...	...	...	...
61. ...	...	...	...
62. ...	...	...	...
63. ...	...	...	...
64. ...	...	...	...
65. ...	...	...	...
66. ...	...	...	...
67. ...	...	...	...
68. ...	...	...	...
69. ...	...	...	...
70. ...	...	...	...
71. ...	...	...	...
72. ...	...	...	...
73. ...	...	...	...
74. ...	...	...	...
75. ...	...	...	...
76. ...	...	...	...
77. ...	...	...	...
78. ...	...	...	...
79. ...	...	...	...
80. ...	...	...	...
81. ...	...	...	...
82. ...	...	...	...
83. ...	...	...	...
84. ...	...	...	...
85. ...	...	...	...
86. ...	...	...	...
87. ...	...	...	...
88. ...	...	...	...
89. ...	...	...	...
90. ...	...	...	...
91. ...	...	...	...
92. ...	...	...	...
93. ...	...	...	...
94. ...	...	...	...
95. ...	...	...	...
96. ...	...	...	...
97. ...	...	...	...
98. ...	...	...	...
99. ...	...	...	...
100. ...	...	...	...



LEGAL DESCRIPTION  
 LOT 1, BLOCK 5 PER  
 TRACT NO. 8451 PER  
 MAP BOOK 104 PG 5.

PLEASE NOTE: ALL DOORS ACCESSING THE POOL AREA SHALL HAVE ALARMS  
 ALL ACCESS GATES SHALL BE SELF-LATCHING/LOCKING

RECEIVED  
 MAY 30 2013  
 By \_\_\_\_\_

# EXHIBIT E



Date: May 21, 2013  
GDI #: 05.00103.0139

## CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

Case Planner: Renee Madrigal

Project Location: Southeast Corner of Lewis Road and Driver Avenue, Agoura Hills, California.

Planning Case No.: 11-SPR-006 & 11-OTP-012/(Siboni)

Building & Safety No.: None

Geotechnical Report: Gold Coast GeoServices, Inc. (2011), "Updated Geologic and Geotechnical Engineering Report for Proposed Single Family Residence and Barn, Lot 1, Block 5, Lewis Road at Driver Avenue, City of Agoura Hills," File No. GC00-021309, dated March 1, 2011.

Gold Coast GeoServices, Inc. (2006), "Response to "Geotechnical Review Sheet" by GeoDynamics, Inc., Regarding Proposed Single Family Residence, Lewis Road and Driver Avenue, Agoura Hills," File No. GC00-021309, dated March 31, 2006.

Gold Coast GeoServices, Inc. (2005), "Updated Geologic and Geotechnical Engineering Report for Proposed Single Family Residence and Barn, Lewis Road at Driver Avenue, Agoura Hills," File No. GC00-021309, dated August 10, 2005.

Gold Coast GeoServices, Inc. (2000), "Geologic and Geotechnical Engineering Report Proposed Single-Family Residence, Lot 46, Tract 5981, Southwest Corner of Lewis Road and Driver Avenue, City of Agoura Hills," File No. GC00-021309, dated February 28, 2000.

Plans: JE Vigil Co. (2011), "Grading Plan, Siboni residence, Sheets C-1.0, C-2.0 and Cover Sheet," Project N. 15705, dated April 26, 2011.

ENCO Structural Consultants, Inc. (2005), "Architectural Drawings, Sheets A-1A-2.0, A-3.1, A-3.2, A-3.3, A-4.1, A-4.2, A-5.1, Siboni Residence, Lewis Road, Lot 1, Block 5," Various Scales, dated July 15, 2005.

Previous Reviews: February 9, 2006, April 17, 2006, and July 18, 2011.

### Findings

Planning/Feasibility Issues

- Acceptable as Presented  
 Response Required

Geotechnical Report

- Acceptable as Presented  
 Response Required

### Remarks

GeoDynamics, Inc. (GDI) reviewed geotechnical reports by Gold Coast GeoServices, Inc. (GCG; consultants) for a proposed development at the site (GCG 2000, 2005 and 2006). GDI performed the review on behalf of the City of Agoura Hills, Planning Department. Based on that review, GDI recommended geotechnical approval in a letter dated April 17, 2006. Later in 2011, a new geotechnical update report (GCG 2011) was submitted to the City to update geotechnical conditions, and to address changes in the proposed development at the site. GDI reviewed this report and provided a geotechnical

review letter dated July 18, 2011. This letter includes both Planning/Feasibility and Report Review comments. However, it is our understanding that the applicant requests that the Planning/Feasibility review comments be deferred to the design stage in order to meet a planning commission review date. Considering that major planning/feasibility issues have been already addressed during previous reviews, the need to meet the deadline, and based on a review of the currently proposed development plan, the request appears to be reasonable. As such, we recommend the Planning Commission consider approval of Case No. 11-SPR-006/11-OTP-012. The Consultant should respond to the following Report Review comments prior to Building Plan-Check Approval. Plan-Check comments should be addressed in Building & Safety Plan Check. A separate geotechnical submittal is not required for plan-check comments.

### **Report Review Comments**

1. The recently submitted update report (GCG 2011) does not address/reference specific development plans for the site. The update report should include a copy of the updated grading plan as a base map for the geotechnical map. The report should address the revised/latest development plan and provide additional geotechnical recommendations as necessary.
1. The 2011 update report is based on the February 28, 2000 and August 10, 2005 reports by the consultant. However, our record shows that there is a response report dated March 31, 2006 (GCG 2006) that includes geotechnical recommendations for development at the site. This report should be reviewed and incorporated in the update report.
2. A cursory check of the 2007 California Building Code (CBC) seismic design parameters indicates significantly different values of SMs than those recommended on page 6 of the 2011 update report. The consultant should reconcile this apparent discrepancy and revise the seismic design parameters as necessary.

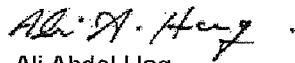
### **Plan-Check Comments**

1. The name, address, and phone number of the Project Geotechnical Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad areas as recommended by the Consultant.
3. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly."*
4. The following note must appear on the grading and foundation plans that states: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
5. The following note must appear on the foundation plans that states: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
6. Foundation setback distances from ascending and descending slopes shall be in accordance with Section 1806.5 of the City of Agoura Hills Building Code, or the requirements of the Project Geotechnical Consultant's recommendations, whichever are more stringent. The required minimum foundation setback distances shall be clearly shown on the foundation plans, as applicable.
7. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
8. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
9. Final grading, drainage, shoring, and foundation plans shall be reviewed, signed, and wet stamped by the project geotechnical consultant.

10. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include documentation of any foundation inspections, the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

If you have any questions regarding this review letter, please contact GeoDynamics, Inc. at (805) 496-1222.

Respectfully Submitted,  
GeoDynamics, INC.



Ali Abdel-Haq  
Geotechnical Engineering Reviewer  
GE 2308 (exp. 12/31/13)



Christopher J. Sexton  
Engineering Geologic Reviewer  
CEG 1441 (exp. 11/30/14)

# EXHIBIT F

## Notice of Exemption

To:  Office of Planning and Research  
1400 Tenth Street, Room 121  
Sacramento, Ca 95814

From: City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, CA 91301

County Clerk  
County of Los Angeles  
Los Angeles County Clerk  
12400 E. Imperial Hwy.  
Norwalk, CA 90659

**Project Title:** Siboni Single-Family Residence (Case Nos. 11-SPR-006 and 11-OTP-012)

**Project Location-Specific:** 5446 Lewis Road (APN 2055-013-070)

**Project Location-City:** City of Agoura Hills

**Project Location-County:** Los Angeles

**Description of Nature, Purpose, and Beneficiaries of Project:** The project involves the construction of a 4,195 square foot, single-story, single family residence with an 893 square foot attached garage on a 27,485 square foot lot. The request is for a Site Plan/Architectural Review and Oak Tree Permit.

**Name of Public Agency Approving Project:** City of Agoura Hills

**Name of Person or Agency Carrying Out Project:** Siboni

**Exempt Status:** (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
- Emergency Project (14 Cal Code of Regs Sec. 15269(b),(c), (d) and (e)). State subsection letter
- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3. New Construction or Conversion of Small Structures
- No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

**Reasons why project is exempt:** The project consists of the construction of one single-family residence. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state designated scenic highway area; 3) a hazardous waste site; or 4) an historical resource area.

**Lead Agency Contact Person:** Renee Madrigal, Associate Planner, City of Agoura Hills

**Area Code/Telephone/Extension:** (818) 597-7339

Signature: Renee Madrigal Date: 5/29/13 Title: Associate Planner



# EXHIBIT G

SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 11-SPR-006  
& OAK TREE PERMIT NO. 11-OTP-012  
(A.P.N. 2055-005-070)

