



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: July 17, 2014

TO: Planning Commission

APPLICANTS: Luke and Hayley Texidor
889 Pierce Court #101
Thousand Oaks, CA 91360

CASE NOS.: 13-CUP-009 and 14-VAR-001

LOCATION: 28400 Renee Drive
(A.P.N. 2061-021-002)

REQUESTS: Request for a Conditional Use Permit to construct a 2,463 square-foot, two-story residence and an 826 square foot, attached two-car garage; and a request for a Variance from Municipal Code Section 9607.1.A to allow the height of a single-family residence to exceed 15 feet above the average elevation of the rear (west) yard setback line; and from Section 9243.3.D and 9243.3.E to allow a 20-foot front (east) yard and rear yard instead of at least 25 feet; and from Section 9243.3.F to provide 20-foot combined side yards instead of the minimum 22 feet.

ENVIRONMENTAL DETERMINATION: Exempt from the California Environmental Quality Act (CEQA) per Section 15303 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 13-CUP-009 and Variance 14-VAR-001, subject to conditions, based on the findings of the attached draft Resolutions.

ZONING DESIGNATION: RS-(2)-20,000-IH (Residential Single-Family – Indian Hills Design Overlay District)

GENERAL PLAN DESIGNATION: RS – Residential Single Family

PROJECT BACKGROUND AND DESCRIPTION

The applicants, Luke and Hayley Texidor, are requesting approval of a Conditional Use Permit to construct a 2,463 square-foot, two-story, single-family residence and an 826 square-foot, two-car garage on a 6,302 square foot vacant hillside parcel at 28400 Renee Drive. The lot is located on the west side of Renee Drive, at the intersection of Laura La Plante and Lewis Place, within the Residential Single-Family (RS) and the Indian Hills Design Overlay (IH) zones.

New single-family homes are subject to review by the Planning Commission. Since the parcel has an average topographic slope that exceeds 10% (18.3%), the project is subject to the City Hillside Ordinance and, therefore, requires approval of a Conditional Use Permit application.

The applicants are also requesting approval of a Variance to allow the height of a single-family residence to exceed 15 feet above the average elevation of the rear (west) yard setback line; to allow a 20-foot front (east) yard and rear yard instead of at least 25 feet, and to allow 20-foot combined side yards instead of the minimum 22 feet.

The proposed single-family residence is a permitted use in the Residential Single-Family (RS) zone. Listed below are the proposed development data pertaining to the project:

<u>Pertinent Data</u>	<u>Proposed</u>	<u>Allowed/Required</u>
1. Lot Size	6,302 square feet	20,000 square feet
2. Lot Width	81 feet	90 feet minimum
3. Lot Depth	88 feet	100 feet minimum
2. Building Size		
First Floor	1,537 square feet	N/A
Second Floor	926 square feet	N/A
<u>Garage</u>	<u>826 square feet</u>	<u>N/A</u>
Total	3,289 square feet	N/A
3. Building Height	33.5 feet	35 feet maximum
4. Building Coverage	24.3%	35% maximum
5. Building Setbacks		

Front (East)	20 feet	25 feet minimum
Rear (West)	20 feet	25 feet minimum
Side (South)	8 feet	10 feet minimum (22 ft. combined)
Side (North)	12 feet	12 feet minimum (22 ft. combined)
6. No. of Oak Trees	None	N/A
7. Average Topographic Slope	18.3%	N/A

STAFF ANALYSIS

Site Plan

The property is located on the west side of Renee Drive within the Indian Hills Design Overlay District. The property would be accessed from Renee Drive by a single driveway on the north side of the lot. Two-story single-family residences are present on the adjacent properties located to the north, south, and across Renee Drive to the east. However, the adjacent property to the west, and downslope, is currently vacant.

The subject site was pre-graded prior to City incorporation and is situated at the top of a west-facing slope. The west-facing slope at the rear of the property descends from the subject property an approximate vertical distance of 20 to 25 feet to the bottom of a drainage course on the property to the west. Prior grading of the lot consisted of minor cutting and filling in order to create the existing pad area. The site currently slopes from the northeast to the southwest. Total variation in elevation within the subject property is approximately 15 feet.

This irregularly shaped lot has provided challenges for the applicants in meeting the development standards of the RS zone and Hillside Ordinance. The proposed location of the house is intended to minimize encroachments into all required yards, minimize the need for retaining walls, meet the driveway slope requirement for the approach into the garage, and not impact the adjacent neighbor's views. No oak trees exist on the site and no off-site oak trees will be impacted by the proposed construction.

The proposed 3,289 square foot residence is a stepped design with the house located above the garage and is proposed to be located in the center of the property that is adjacent to Renee Drive, in the pre-graded pad area. The garage finish floor elevation is at 1007.5, the house finish floor elevation is at 1017.5, and the average street elevation is at 1006.

In evaluating the compatibility of the design and the size of the structure with other Indian Hills properties, staff found that the proposed residence is similar in design with

other two-story structures. The size of the neighboring homes, excluding garage space, varies from 1,216 to 3,593 square feet and most have two-stories. The most recent built custom homes in the Indian Hills includes a 3,593 square foot home on Lewis Place on a 23,108 square foot parcel; a 2,547 square foot home on a 13,129 square foot parcel located on Lewis Place; a 2,174 square foot home on a 5,619 square foot parcel located on Lewis Place; and a 2,518 square foot home on a 7,000 square foot parcel on Laura La Plante Drive. Thus, the applicant's 2,463 square foot home on a 6,302 square foot parcel appears compatible with other homes recently approved in the neighborhood. There are no floor area limitations for this neighborhood.

Hillside Development Standards

The project is subject to the special regulations applicable to hillside development found in Section 9652.15. A and B, which establish development criteria within sensitive areas that provide an atmosphere and character that the residents of Agoura Hills have expressed a desire to protect. Special regulations were established to protect hillside area from incompatible development and preserve the natural terrain, quality environment, and aesthetic character while encouraging creative, innovative and safe residential development.

The Hillside Ordinance, Section 9652.13.B, includes a requirement for on-site open space preservation. The minimum amount of area to remain in undisturbed open space is related to the average slope of the property. The parcel has an average slope of 18.3%. Thus, the Hillside Ordinance requires that at least 47.5% of the existing lot remain in undisturbed open space, with the remaining 52.5% of the lot allowed for development. The maximum amount of development area, including the residence, garage, driveway and yard areas should not exceed 52.5% of the lot or 3,309 square feet which staff finds is not practical. The lot size is only 6,302 square feet and is non-conforming since 20,000 square feet is required for the zone.

However, in cases where it is not practical to meet the open space requirements of the Hillside Development Standards, the Planning Commission reviews maximum allowable development on a cases-by-case basis and has discretion regarding the amount of lot coverage based on elements such as the existing lot size and proposed building size, oak tree encroachment, and paving materials without the need for a Variance request. Staff finds that the proposed lot coverage of 1,537 square feet or 24.3% complies with the maximum 35% lot coverage allowed in the RS zone.

Architectural Review

The proposed residence is a terraced design that is intended to minimize grading and no portion of the house exceeds two stories, as only one floor is located above the garage. Proposed exterior building materials consist of gray colored hardie-plank siding with white trim and a slate colored tile roof. A stone veneer is proposed to be applied on the front elevation of the garage. The residence includes one chimney located on the southern portion of the residence, which will be clad with stone veneer. The front door

will be of wood stain and the roll-up garage door will match the front door. The house design also incorporates shutters on the front elevation and wood lattice above the garage door. White vinyl windows are proposed on the entire house. Windows on the sides of the house are placed to minimize impacts on the neighbors to the north and to the south. The first and second finished floor elevations will be lower than the residence to the south and higher than the residences to the north. A dining room window is proposed on the first floor and a bathroom window on the second floor, which faces the neighbors' first floor living room and second floor bedroom window to the south. The three windows on the north elevation are intended for allowing light into a bathroom on the first floor and a stair case on the second floor that faces the neighbors' kitchen bay window.

The City Architectural Review Panel (ARP) has commented on the proposed architectural plans. The applicant has modified his design by increased the height of the stone on both sides of the garage, added stone to the chimney to match the stone on the proposed house, reduce the size of the bedroom windows for privacy, and matched the stain on the front door with the garage door.

Landscaping Review

Since the topographic slope of the property exceeds 10%, the applicant is required to prepare a landscape plan for the City's review. The City Landscape Consultant has reviewed the preliminary landscape plan that was submitted. The City Consultant supports the preliminary plan, subject to compliance with the landscape recommendations included in conditions of approval that are included within the attached draft Resolution. The planting scheme is required to utilize native, drought tolerant plants, which comply with the City's Landscape Design Guidelines. The applicant is proposing to plant landscaping in all four yards to help screen the adjacent residences. No Oak trees are located on-site or in close proximity of the construction area.

Engineering Review

The Engineering Department has reviewed the proposed grading plan and is requiring the applicant to install a new driveway approach. The grading of the site will be minimal, requiring 439 cubic yards of cut, 46 cubic yards of fill, and 392 cubic yards of export. Final street plans and drainage plans will be subject to approval by the City Engineer prior to issuance of a building permit. The residence will be served by the public sewer system. A new retaining wall is to be located on the south side of the driveway, 5-feet high. A 30" block seating wall is proposed in the southwest corner of the lot. Block walls exist on the north and south property lines.

The City's Geotechnical Consultant has reviewed the geotechnical report submitted for this project and finds the report to be complete for this project and recommends that the project be approved from a planning review stage, subject to conditions to be applied during the City's Engineer's review of the final Grading Plan.

Variances

The applicant is requesting a Variance from the Zoning Ordinance Section 9607.1.A to allow the height of a single-family residence to exceed a height of 15 feet above the average elevation of the rear yard setback line; from Section 9243.3.D and E to allow a reduced front and rear yard setback of 20 feet instead of 25 feet; and from Section 9243.3.F to allow a reduced side yard setback from 22 feet combined with not less than 10 feet on one side to 20 feet combined with not less than 8 feet on one side. Draft findings for the Variances are found in the attached draft resolution.

A. Yards

Within the RS-20,000 zone, the Zoning Ordinance requires minimum front and rear yards of 25 feet, and a combined minimum side yard setback of 22 feet with not less than 10 feet on one side. The residence is proposed to be placed 20 feet from the front (east) property line, 20 feet from the rear (west) property line, 8 feet from the southern property line, and 12 feet from the northern property line (side yards of 10 feet and 12 feet are required). As a result, the applicants are requesting approval of a Variance since the front, rear and side yard setback requirements would not be met.

The lot width and depth are non-conforming, 90 and 100 feet versus 81 and 88 feet. In their attempt to minimize impacts to the neighboring properties, the applicants situated the house 12 feet from the northern property line to allow for 20 to 25 feet distance between the existing structure on the adjacent lot and the proposed residence. The adjacent residence to the south is situated 10 feet from the applicants' south property line and the applicants propose to situate the house 8 feet from the southern property line. Due to the angled footprints of both homes, a minimum distance of 21 feet between these structures could be accomplished.

B. Building Height

The property slopes upward toward the rear of the lot. Thus, to meet the hillside height requirement, the applicants would be limited to building a single-story home on the non-conforming sized parcel, which would unnecessarily reduce the habitable area of the residence. As a result, the applicants are requesting approval to exceed a height of 15 feet above the average elevation of the rear yard setback line. The Hillside Ordinance requires hillside properties to conform to a maximum height of 15 feet above the average elevation of the rear setback line. The height of the residence is 33.5 feet high and 10 feet above what would have been the maximum height. The project is still below the 35-foot height requirement for the underlying zoning district. The proposed building height of 33.5 feet would be relatively similar to the height of the adjacent two-story residences. Although the adjacent lot to the south exceeds the hillside height requirement and the overall slope average exceeds 10%, it was not required to conform to the hillside height requirement because an open space dedication consisting of the steepest portion of the lot was utilized and, therefore, this dedication area was not considered in the overall slope calculation, thus keeping it under the maximum 10% overall slope average.

C. Summary

Similar Variance requests were approved for new residential development in Indian Hills since 1998. The oldest one was a 1998 Variance (Pournaj) for a residence across the street for a side and front yard setback reduction. In 2001, a Variance (Carpenter) was granted for the residence at the southeast corner of Lewis Place and Laura La Plante Drive, for a front, rear and side yard setback reduction. In 2003, a Variance (Benton) was granted for a front yard setback reduction and wall height increase in the front yard on Laura La Plante Drive. In 2006, a Variance (Kersey) was granted for a side yard setback reduction on Lewis Place. In 2006, a Variance (Payan) was granted for a side yard setback and wall height increase in the front yard on Laura La Plante Drive. In 2007, a Variance (Blinkinsoph) was granted for a front yard setback reduction and wall height increase in the front yard on Lewis Place. Lastly, in 2010, a Variance (Blinkinsoph) was granted for a front yard setback reduction and wall height increase in the front yard on Lewis Place. Non-conforming lot sizes and steep topography were considered in the approval of the Variance applications. Specific findings for approval of the variance request are included in the attached Draft Resolution.

Environmental Review

Staff has reviewed the proposed project and finds that the single-family residence on this in-fill lot is Categorically Exempt from the California Environmental Quality Act, in accordance with Section 15303 and is not subject to a negative declaration or environmental impact report.

RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 13-CUP-009, and Variance Request Case No. 14-VAR-001, subject to Conditions, based on the findings of the attached Draft Resolutions.

ATTACHMENTS

- Exhibit A: Variance Draft Resolution and Conditions
- Exhibit B: Conditional Use Permit Draft Resolution and Conditions
- Exhibit C: Letters/Emails from the Public
- Exhibit D: Colored Elevations of the Residence and Colors and Material Board
- Exhibit E: Vicinity Map
- Exhibit F: Reduced copies of project plans
- Exhibit G: Photographs of applicants' lot and surrounding parcels

Case Planner: Renee Madrigal, Associate Planner



**CONDITIONAL USE PERMIT
CASE NO. 13-CUP-009 AND
VARIANCE CASE NO. 14-VAR-001**

**FOR THE PROPERTY LOCATED AT
28400 RENEE DRIVE, AGOURA HILLS**

EXHIBIT A

**VARIANCE DRAFT RESOLUTION
AND CONDITIONS**

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, APPROVING VARIANCE CASE NO. 14-VAR-001 TO INCREASE THE HEIGHT OF THE PROPOSED RESIDENCE AND TO DECREASE THE REQUIRED FRONT, REAR, AND SIDE YARD SETBACKS.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS DOES HEREBY RESOLVE, FIND, DETERMINE, AND ORDER AS FOLLOWS:

Section 1. An application was duly filed by Luke and Hayley Texidor, with respect to real property located at 28400 Renee Drive, (Assessor's Parcel No. 2061-021-002), requesting approval of a Variance (Case No. 14-VAR-001) from Zoning Ordinance Section 9607.1.A to allow the height of a single-family residence to exceed a height of 15 feet above the average elevation of the rear yard setback line; and from Section 9243.3.D and E to allow reduced front and rear yard setback from 25 feet to 20 feet; and from Section 9243.3.F to allow a reduced side yard setback from 22 feet combined with not less than 10 feet on one side to 20 feet combined with not less than 8 feet on one side. A public hearing to consider Case No. 14-VAR-001 was duly held on July 17, 2014, at 6:30 p.m. in the City Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid meeting was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9676.2.E of the Agoura Hills Municipal Code, that:

A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

1. Section 9607.1.A of the Zoning Ordinance requires where the garage elevation of the rear lot line is above the average elevation of the front property line to conform to a maximum height of 15 feet above the average elevation of the rear setback line. The height of the residence is 33.5 feet high and 10 feet above what would have been the maximum height. The project is still below the 35-foot height requirement for the underlying zoning district. The proposed building height of 33.5 feet would be relatively similar to the height of the adjacent two-story residences. The enforcement of the City's Hillside height limitation would result in substantial grading of the hillside.

2. The parcel is 6,302 square feet in size, which is less than one-third of the 20,000 square-foot minimum size for the zone. The RS zone requires a 22-foot combined side yard setback with not less than 10 feet on one side. The applicant is request an eight-foot side

yard setback from the southern property line for the small southeast corners of the structure (approximately 12 square feet), where the living room dining room and bedroom are proposed, that encroach into the side yard setback area. The applicants have provided the narrow side yard on the side where the adjacent residence are placed the furthest from their property and the widest side yard where the adjacent residence is the closest to the property line. Other residences in the immediate neighborhood have been granted a variance for reduced side yard setbacks (Pournaj, Carpenter, Kersey, and Payan). The applicants have attempted to meet the requirements of the Code and while working with the constraints of the lot without seeking to overbuild on the site. The applicants have attempted to limit privacy impacts on the neighboring properties' side yards by strategically placing landscaping along the property lines and locating the windows so as to limit view into adjacent yards and interior spaces.

3. The lot is an irregular shaped lot with a depth of 79-100 feet. The RS zone requires a minimum lot depth of 100 feet. Because of this irregular shape lot, providing a 25-foot front and rear yard setback would not allow a required minimum 400 square-foot (requiring a 20-foot depth and width) garage in the most practical location on the lot.

B. The granting of the Variance, as conditioned, will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and in the zone in which the subject property is situated.

1. A variety of one and two-story homes are found in the surrounding area and, therefore, the proposed two-story design would not be inconsistent with the neighboring properties. The adjacent single-family residence to the south is a two-story structure which exceeds 15 feet in height. Although this lot exceeds the hillside height requirement and the overall slope average exceeds 10%, it was not required to conform to the hillside height requirement because an open space donation consisting of the steepest portion of the lot was utilized and, therefore, this donation area was not considered in the overall slope calculation, thus keeping it under the maximum 10% overall slope average. The project as proposed will not exceed the maximum allowable lot coverage of 35%.

2. Neighboring structures on similar size lots have non-conforming side yard setbacks. The narrowest proposed side yard was chosen on the south side where the off-site structure is situated the furthest from the property line.

3. A 25-foot front and rear yard setback could not provide for an on-site driveway and garage that would meet the Code requirements.

C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance.

1. The strict interpretation of the zoning code would result in the construction of a one-story single-family residence in a neighborhood consisting of primarily two-story residences. To provide a building footprint similar in size and quality, the proposed project would require significant grading of the hillside lot, inconsistent with the goals and objectives of the City's Hillside Design Standards.

2. Strict interpretation of the code would result in a narrower building footprint with possibly fewer building insets on the side elevation.

3. An on-site driveway as well as a minimum of 400 square-foot garage could not be provided in a practical location if a 25-foot front and rear yard is required.

D. The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity.

1. The ability to exceed the maximum 15-foot hillside height requirement would allow the applicants a more aesthetically pleasing structure. The applicant would be able to use the varying rooflines and building articulation to break up any boxy massing. Windows on the sides of the house are placed to minimize impacts on the neighbors to the north and to the south.

2. The applicants have designed and located the residence to help maintain privacy to the neighbors to the north and south. The applicants have selected to provide the narrowest side yard where the off-site are located the furthest from the dividing property line. Windows have been placed so as to not impact the neighbors' privacy.

3. A reduced 20 foot front and rear yard setback would allow the applicant to provide an on-site driveway as well as a 400 square foot garage in a practical location on the site.

E. The granting of the Variance will be consistent with the character of the surrounding area.

1. The granting of the variance will be consistent with the neighboring building to the south. The neighboring building to the south is a two-story, single family dwelling that exceeds the maximum hillside height requirement of 15 feet above the average elevation of the rear yard setback line.

2. The Residences on similar size lots, in the vicinity, have non-conforming side yards.

3. The Indian Hills area is comprised of lots averaging 7,000 square feet in size. A current development in this area (Blinkinsoph) has been granted a setback variance for a front yard setback reduction.

Section 4. Based on the aforementioned findings, the Planning Commission hereby approves Case No. 14-VAR-001, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

Section 5. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his certification to be entered in the Book of Resolutions of the Planning Commission of the City.

Resolution No. _____

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PASSED, APPROVED, and ADOPTED this 7th day of July 2014, by the following vote to wit:

AYES: (0)

NOES: (0)

ABSENT: (0)

ABSTAIN: (0)

Michael Justice, Chairperson

Mike Kamino, Secretary

CONDITIONS OF APPROVAL
(Case No. 14-VAR-001)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits: Site Plan, Floor Plans, Elevation Plans, Roof Plan, Landscaping Plan and Grading Plans.
3. The approval of this permit shall not be effective for any purpose until the applicant and property owner have agreed in writing that they are aware of, and accept all Conditions of this permit with the Department of Planning and Community Development.
4. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. Unless the approval is used within two (2) years from the date of City approval, Case No. 14-VAR-001 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
7. The Variance Case No. 14-VAR-001 is valid only in conjunction with Conditional Use Permit Case No. 13-CUP-009 and the approved Conditions of approval therein.

END



**CONDITIONAL USE PERMIT
CASE NO. 13-CUP-009 AND
VARIANCE CASE NO. 14-VAR-001**

**FOR THE PROPERTY LOCATED AT
28400 RENEE DRIVE, AGOURA HILLS**

EXHIBIT B

**CONDITIONAL USE PERMIT DRAFT
RESOLUTION AND CONDITIONS**

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF AGOURA HILLS APPROVING
CONDITIONAL USE PERMIT CASE NO. 13-CUP-009
FOR THE CONSTRUCTION OF A SINGLE-FAMILY
RESIDENCE AT 28400 RENEE DRIVE

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY
FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Luke and Hayley Texidor with respect to the real property located at 28400 Renee Drive (Assessor's Parcel Number 2061-021-002), requesting the approval of a Conditional Use Permit (Case No. 13-CUP-009) to construct a 2,463 square-foot, two-story, single-family residence and an 826 square foot attached two-car garage. A public hearing was duly held on July 17, 2014, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California; and that notice of time, date and place and purpose of the aforesaid was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission of the aforesaid public hearing.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to the Agoura Hills Municipal Code Section 9673.2.E (Conditional Use Permit), that:

A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The proposed project is located within the Residential Single-Family zone and the Indian Hills Design Overlay District, which allows for the development of single-family residences. With the exception of the Variances, the City's minimum development standards have been met for the proposed two-story residence with regard to building coverage, and architectural design standards.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The project will contribute to the aesthetic value of the neighborhood as a whole. The proposed architecture and building materials, which include gray colored siding with white trim and a slate tile roof, white vinyl windows, shutters, stone veneer, and wrought iron guardrails, are compatible with the neighborhood. The project was reviewed by the City's Architectural Design Review Panel and was found to be in compliance with the City's Architectural Design Guidelines.

C. The proposed use, as conditioned, and the conditions under which the project will be operated or maintained will not be detrimental to the public health, safety

or welfare, in that the proposed use will ensure adequate light, air and privacy, and open space to surrounding properties. The proposed two-story structure is situated in the center portion of the on-site hillside slope, which will preserve the views and privacy of the surrounding properties. Geological, geotechnical, and drainage studies, as well as landscape plans, have been provided and approved by the City's Consultants. Vehicular access to the property will be provided via Renee Drive. The applicant will be required to construct the project in full compliance with the City's Building Code. The site will be served by the public sewer system.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance, except for approved variance regarding hillside height requirement and front, rear, and side yard setbacks. The project meets the development standards of the underlying zone relative to the required building coverage. The lot was pre-graded, which has caused disturbance of the natural terrain of the property. Although the proposed developed area exceeds 52.5%, which means that the project does not comply with the 47.5% open space requirement pursuant to Municipal Code Section 9652.13.B, one residential dwelling unit shall be permitted on a parcel when the project complies with all of the necessary criteria. This property complies with the criteria in Section 9652.13.B, and thus, the project does not need to comply with the 52.5% open space limitation. In addition, the minimum building coverage and height for the zone is met. Thus, the proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community in that the project will be placed an appropriate distance from the street (Renee Drive) serving the property to preserve public views.

F. The proposed use, as conditioned, is consistent with the City's General Plan. The proposed residence is located and designed to incorporate the existing terrain into the site plan to the maximum extent possible to minimize grading and to preserve view sheds, as called for in Policy Section LU-31.3 of the General Plan.

Section 4. The Planning Commission finds, pursuant to Section 9652.15.A and B of the Agoura Hills Municipal Code, which establishes special regulations for hillside development areas, that:

A. The proposed project is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood mud flow, erosion hazards or other hazards. Per the City Geotechnical and Geological Consultant's directions, the project can be built with conditions to alleviate potential threats to life and property.

B. The proposed project is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project does not protrude above protected ridges and minimally blocks neighbors' views.

C. The proposed project can be provided with essential public services and is consistent with the objectives and policies of the general plan. All utility services will be brought to the parcel without interference to the existing infrastructure.

D. The proposed development will complement the community character and benefit current and future community residents. The proposed house and lot size are consistent with the average neighboring homes.

Section 5. The project is a request for one single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures).

Section 6. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 13-CUP-009, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 17th day of July 2014, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Michael Justice, Chairperson

ATTEST:

Mike Kamino, Secretary

CONDITIONS OF APPROVAL
(Case No. 13-CUP-009)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicants have agreed in writing that they are aware of, and accepts, all Conditions of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plans, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and

Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless this permit is used within two (2) years from the date of City approval, Conditional Use Permit Case No. 13-CUP-009 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.20 per square foot for residential construction.
15. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
16. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.9296 per square foot of new floor area.
17. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
18. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
19. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

20. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).

21. The applicant shall note on the plans that all new or replaced windows will be tempered on at least one side of the dual pane, or a 20 min rated window or glass blocks per Section 704A.3.2.2 of the 2010 California Building Code.
22. This project is subject to the 2013 California Building, Mechanical, Plumbing, Electrical, and Energy Codes.
23. Per AQMD Rule 445 only fireplaces fueled by gas (such as gas logs) may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted.
24. Fire Sprinklers will be required for this project per Section 903.2, Article VIII of the Agoura Hills Municipal Code (AHMC)
25. Los Angeles County Fire Department review and approval will be required for this project.
26. A Soils Report will be required to be submitted for this project.
27. As part of the permitting process and prior to building permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Plumbing, Energy Plans, plans shall be submitted to the Building and Safety Department for plan review and approval.

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

28. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
29. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
30. Applicants shall pay a Transportation Impact Fee (TIF) in the amount of \$3,094 to the Building and Safety Department.
31. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a

licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.

32. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
33. Grading Plan shall show locations of all Oak trees, if any, within the vicinity of the site. Applicants shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak tree Consultant's conditions of approval, if any.
34. Prior to permitting, the applicants shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original Mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
35. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
36. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the City Engineering Department at (818) 597-7322 for approved City certification forms.
37. Applicants shall enter into a written agreement with the owner(s) of 28464 Renee Drive as to the existing improvements that will remain along the southerly property line. Said agreement shall mention who owns and who will be responsible for the maintenance of these improvements.
38. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The applicants shall construct a new Portland Cement Concrete driveway approach and widen the Asphalt Concrete in front of the new driveway as necessary, install a sewer lateral, and all water appurtenances shall be per LVMWD standards.
39. The following existing street being cut for new services or being finish with curb and gutter may require an asphalt concrete overlay: Renee Drive along the project frontage.
40. This property is within the Las Virgenes Municipal Water District (LVMWD) service area. All water facilities shall be designed to comply with all LVMWD

requirements. Final plans must be reviewed and approved by LVMWD and City. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.

41. 8-inch sewer line is available for connection by this project in Renee Drive. (Ref. Sewer Plan Drawing No. C02-311-01).
42. Applicants shall use existing laterals, whenever provided, for connection to the public sewer system.
43. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
44. A hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual, is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
45. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
46. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management

Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.

47. All remaining fees/ deposits required by the Engineering Department must be paid in full.
48. All requirements including construction of improvements covered in condition number 38 must be completed to the satisfaction of the City Engineer.
49. The applicants' Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (as-built) Drawings, satisfactory to the City, are submitted.
50. The applicants shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
51. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
52. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

LANDSCAPING CONDITIONS

53. Prior to the approval of grading permits, the applicant shall submit three sets of landscape plans meeting the following requirements for approval by the City Landscape Consultant and Director of Planning and Community Development:
 - a. The final landscape plan shall generally conform to the Planting Plan prepared by Gregg Toland, Landscape Architect, dated October 28, 2013 and revised January 25, 2014.
 - b. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - c. All plans shall be legible and clearly drawn.

- d. Plans shall not exceed 30 inches by 42 inches in size. Plans shall be a minimum of 22 inches by 36 inches in size.
 - e. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals 20 feet (1"=20'), unless approved by the City Landscape Consultant.
 - f. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - g. The project identification number shall be shown on each sheet.
 - h. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, rights-of-way, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
54. The Planting Plan shall indicate the botanical name and size of each plant.
55. Plant symbols shall depict the size of the plants at maturity.
56. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
57. The landscape plans shall prominently display the following notes:
- All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
 - All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
 - Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
58. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.

59. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
60. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - Design and static pressures
 - Point of connection
 - Backflow protection
 - Valves, piping, controllers, heads, quick couplers
 - Gallon requirements for each valve
61. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
62. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
63. All plant material shall be considered compatible with Sunset Zone 18. A native and naturalistic planting scheme is recommended to preserve and enhance the native environmental context in which the development will occur.
64. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
65. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.
66. The landscape plan must be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department prior to the issuance of building permits.

FIRE DEPARTMENT CONDITIONS

67. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a building permit.

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

68. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
69. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
70. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

SPECIAL CONDITIONS

71. Design of fencing, walls, gates and accessory structures shall be subject to review and approval by the Director of Planning and Community Development and the Building and Safety Department prior to construction.
72. A pre-construction conference shall be held prior to the issuance of a grading permit with all construction personnel involved with the grading operations.

END



**CONDITIONAL USE PERMIT
CASE NO. 13-CUP-009 AND
VARIANCE CASE NO. 14-VAR-001**

**FOR THE PROPERTY LOCATED AT
28400 RENEE DRIVE, AGOURA HILLS**

EXHIBIT C

LETTERS/EMAILS FROM THE PUBLIC

Renee Madrigal

From: Terry Ahern [tahern@glamr.com]
Sent: Tuesday, July 08, 2014 10:15 PM
To: Renee Madrigal
Cc: Mike Kamino
Subject: Renee Please Put in File for the Planning Commission Members
Attachments: Exhibit A.pdf; Exhibit B.docx; Exhibit C.docx

Importance: High

Honorable Planning Commission,

I say honorable since we moved to Agoura over 25 years ago. I've had the pleasure of working with every planning commission in office for every hillside development in the Indian Hills area. We are one of 3 homes at the top of Renee Drive that formed an Indian Hills Property Association 25 years ago for maintenance of the debris container and private road. Because Agoura Hills is called "*The Gateway to the Santa Monica Mountains*" on its website and marketing materials, Indian Hills is "*The Corridor to the Santa Monica Mountains*" since its pristine hillsides offer a beautiful mix of chaparral and carefully planned homes that complement this beautiful corridor. I have attached a letter from a new land owner who has expressed his desire to combine two hillside lots (**28454 and 28458 Renee.**) and build a one story ranch home that has answered our prayers since previous builders (for the last 20 years) fought previous planning commissions to build separate larger homes only to have us homeowners stand tall and strong for building that only compliments the aesthetics of our Indian Hills. If it wasn't for every planning commissions sage advice to all (applicant and neighbor), which was moderation, sensitivity and aesthetics we'd be staring at 3 huge box homes for the next 50 years. I'm attaching this great news for our community to praise the system and the people who have honorably served it. **Attached Exhibit A is an attached file**

I went down and saw the Texidor preliminary plans in April and called Luke Texidor to meet with the closest of neighbors to the property and who have to see it everyday. This is for a new house to the right of Debra Rahm (as you look from the Street). Again these original plans there is minimal grading to hide the size of the home into the hill which i don't get why these builders can't understand that we don't like San Francisco style boxes sitting on hill tops, we like them into the hill, aesthetically less intrusive. After our meeting with the neighbors and the Texidor's they **agreed to hide the size of the home** by flipping the foot print so the biggest part went into the hill and stepping the design down the backside to take advantage of the view. Every lot is unique, there will be a variance here or there to make a house work for the builder and the community, but never **all four sides as this project is requesting**. They are requesting a **1. side set back reduction, 2. a rear set back reduction, 3. a front setback reduction and 4. a height reduction**. It has the typical 30 to 35 foot side faces that would kill any sunlight our view possible for people living, walking or driving by. It's too big of a structure for that lot, for our views and for our neighborhood.

The Texidor's assured us they heard us and promised to return with a design that was much more compatible for the lot i.e. aesthetic appeal, visual imprint versus chaparral, perceived

height, improved light, improve view for residents, walkers and passer bys. While we were being led along thinking we were making progress together, the Texidor's decided to use their old drawings for this commission and till this date are still promising us the much more improved design being flip flopped placing the biggest part of the home into the hill, versus on it. Our first choice to post pone this hurried meeting to allow us to finalize a design that would work for the community, the lot, the imprint and the people that have to live next to or drive by or walk by every day. The Texidor's haven't followed through with what they promised to us neighbors who are most directly affected by this (Merrill's, Aherns, Oshiro's, Friedmans, Rahm's). See Exhibit B is attached file See Exhibit C is attached file

We pray you request that the Texidor's follow thru with our common buy in a much better design and have us all come back supporting this project. Variances that are used for every dimension isn't a variance, since the overall impact of changing all four dimensions (as requested) is a gross over use and strips the balance, beauty and compatibility we all have worked so hard to maintain in our neighborhood. Variances are individually given to properties where needed as a one off, **not a four off**. Let's work together or **compromise** on the design/height/size so our neighborhood and city doesn't have to. Respectfully yours.

Laurie & Terry Ahern
28401 Renee Drive
818 335 0500

Hello new neighbors on Renee Dr!

I just purchased the two adjoining vacant parcels at 28454 and 28458 Renee.

I plan on building a conventional single-story house, about 1800 square feet. It will be my retirement home. The two parcels are to be combined into one.

My architect and contractor is Barrey Robles, whose office is in Westlake Village. He is experienced in all aspects of this process and has worked with City of Agoura Hills, planning department. Architectural & landscaping plans and Conditional Use Permits to be prepared, along with grading & drainage plans, soils report and an arboreal report. The neighbors will participate in the approval process.

Actual construction will commence about six months or so from now.

I am looking forward to living in this lovely part of Agoura Hills.

You may contact me anytime.

Thank you, Evan

Evan B. Serbin
6433 Hedding St.
Los Angeles, CA 90045

home: 310-670-7727
cell: 310-256-5707

EMAIL: EVAN.B.SERBIN@att.net

From: Terry Ahern [mailto:tahern@glamr.com]
Sent: Tuesday, July 08, 2014 6:26 PM
To: 'rmdrigal@ci.agoura-hills.ca.us'
Subject: Rushed Hurried and Led On
Importance: High

Renee, you and I have discussed the on again off again, are the Texidor's working with the group of home owners that have taken the time to sit down and flip flop the original drawings putting the house into the hill versus on the hill. They have promised us those drawings for weeks but at the same time have kept their full steam ahead with the planning commission date with the old set of drawings. If this isn't misleading us homeowners up here and completely playing for time while we trusted they were serious about making changes, then we don't what is? From their sloppy filing to yours and my ongoing communication I know you can attest to this misleading non binding Faux Teamwork. True or Not. Every planning commission encourages the builder to set down with the closest affected and develop a plan that works for everyone and the future of the community. The Texidor's not only have ignored every issue that plagues their design these hillside lots, they have led all of us to believe that they are open to a complete design change that would make a big difference in the aesthetics.

Terry Ahern
Global Leadership & Management Resources Inc.
Champions Train!
818 782 6880 Cell 818 335 0500 www.glamr.com See [Terry Ahern Profile](#)



"If you aren't thinking all the time about making every person more valuable, you don't have a chance"- Jack Welch -GE

Exhibit C

From: Terry Gmail [mailto:mrterryahern@gmail.com]
Sent: Tuesday, July 08, 2014 8:56 PM
To: 'rmadrigan@ci.agoura-hills.ca.us'
Subject: FW: House in the Hill lot
Importance: High

This doesn't make any sense, why is he going in front of the Planning Commission on July 17 when 6 of the closes parties to this home are waiting for what was promised?

From: Luke Texidor [mailto:texidorluke@gmail.com]
Sent: Monday, July 07, 2014 10:39 AM
To: Deborah Rahm
Cc: Terry Ahern; Terry Ahern; Leonard Liston
Subject: Re: House in the Hill lot

Hello Deborah,
We are currently still working on the flipped home plans. These things take some time to complete correctly, but we assure you that we will show you the plans before the hearing along with Terry Ahern. I will let you know as soon as we complete the plans. Talk to you soon.
Regards,

Luke Texidor
(818) 581-6621

On Mon, Jul 7, 2014 at 11:19 AM, Deborah Rahm <deborahrahm@gmail.com> wrote:

Good morning Luke I received Saturday the letter from the city regarding the hearing on your lot
Thursday July 17th at 630
for the Conditional Use Permits and request(s) for Variances

However I still haven't heard back from you regarding the renderings of you flipping the home into the mountain verses on the mountain as was discussed/promised when we met on the lot at 3:00 p.m. on June 17th??

That being said
I
would like to see them before the hearing, if you may.

Much appreciation,

Deborah Rahm
(c) [818.618.3593](tel:818.618.3593)

From: Deborah Rahm cell: 818.618.3593 email: deborahrahm@gmail.com
To: 'rmadrigal@ci.agoura-hills.ca.us'
Subject: Public Hearing Case Number 13-CUP-009 & 14-VAR-001 Notice Rushed Hurried and Led On
Importance: High

Renee,

I am not as established as some of the other neighbors. But as always I am the one being directly impacted by these 3 lots to the east and west of me and all the promises I (we) are told by potential builders only to find out as we get in to the final stages that deceit is involved.

Well here we go again. In a nutshell Terry and I meet with you and discussed our concerns (of which I found ALL the **original** paperwork, designs, letters, signed approvals from the city regarding the lots lines that you and I discussed that I will be taking up with you, the city, and the Texidor's) back in April. I feel you were just brushing us off, not willing to hear our concerns; as local homeowners with me having the most concerns as being directly impacted. Both Terry and I left very frustrated with the city.

For the record my house is 2461 sq. ft. which INCLUDES the garage, theirs is 2463 PLUS 826 for a TOTAL 3289 sq. ft. 828 MORE than mine AND on a smaller footprint!! Based on current designs this house is not only going to be an eyesore but it is not with the flow of our neighborhood and community. Now one might say we have other homes in the neighborhood of similar size but these are homes that are built INTO the hill and not half-hardy placed on the hill.

We then, being proactive homeowners, reached out to the Texidor's and met with them on the lot back in June. At that time we found out they are requesting a: 1. side set back reduction, 2. a rear set back reduction, 3. a front setback reduction and 4. A height reduction??!! It has the typical 30 to 35 foot side faces that would **FOR ME** kill my sunlight, I would no longer have the wonderful afternoon breezes, (e.g. wind blockage), plus it would block all my views. Again this is too big of a structure for that lot. We expressed our thoughts and the said Texidor's they agreed to hide the size of the home by flipping the foot print so the biggest part went into the hill and stepping the design down the backside to take advantage of the their view not ruining mine or blocking my sunlight and wind. I understand every lot is unique, and from time to time there has to be a variance here or there to make a house work for the builder and the community, but never all four sides as this project is requesting.

Well here it is a month later and we have no new rendering from the Texidor's as promised. It appears they are in the habit of saying one thing and doing another, such as they did when they first started this project with the city and using the wrong codes. How could a developer, which the father is, misread codes when that is his livelihood? I feel we are just being appeased by not only them but by the city as well and that the city is not defending the concerns of the neighborhood regarding this development.

Our first choice is to post pone this hurried meeting to allow us to finalize a design that would work for this development as well as them: 1. Providing the new renderings as promised, and 2. Provide a 3-D model (to scale) to included my home their home and Bob's home with realistic landscaping so we the community can see for ourselves what the final design would be before anything is approved.

Respectfully,
Deborah Rahm

Hello new neighbors on Renee Dr!

I just purchased the two adjoining vacant parcels at 28454 and 28458 Renee.

I plan on building a conventional single-story house, about 1800 square feet. It will be my retirement home. The two parcels are to be combined into one.

My architect and contractor is Barrey Robles, whose office is in Westlake Village. He is experienced in all aspects of this process and has worked with City of Agoura Hills, planning department. Architectural & landscaping plans and Conditional Use Permits to be prepared, along with grading & drainage plans, soils report and an arboreal report. The neighbors will participate in the approval process.

Actual construction will commence about six months or so from now.

I am looking forward to living in this lovely part of Agoura Hills.

You may contact me anytime.

Thank you, Evan

Evan B. Serbin
6433 Hedding St.
Los Angeles, CA 90045

home: 310-670-7727
cell: 310-256-5707

EMAIL: EVAN.B.SERBIN@ATT.NET

Planning Commission

I Steve Oshiro live at 28354 Laura La Plante and am below the proposed building on Renee Drive which is behind my lot. As usual the developer for this lot has made his home so tall it will look right down into my master bedroom. The size and design of this house doesn't even conform to the balance and beauty we expect in our beautiful hillside community. I believe the design and size all needs to be changed so the privacy and mountain views of others are all not negatively impacted.

Thank you.

Steve Oshiro July 9, 2014

Steve Oshiro

Planning Commission July 8, 2014

I am directly affected by this proposed building since my property will some of our view blocked by this proposed building and I'll have to look at it every day. We scored a 25 year victory just recently with a man purchasing the two below me and now is going to combine them and build a one story ranch style home. This couldn't have happened without a 25 year fight by us neighbors to hold to our aesthetics and no oversize building on hill sides along with Planning Commissions that never lost sight of the city's original charter and the significance of Indian Hills as the Corridor to the Santa Monica Mountains. Of course this builder is putting a house that is too big, too wide, too long and too tall for this lot. Mr. Terry Ahern who is President of our Homeowners Association on my behalf met with the Texidor's and they made promises that haven't been met.

So here we are thinking we would get a design change before this project moved forward only to find out that they have played us compassionate neighbors. Please have them postpone their meeting and encourage them to work with us or please don't ruin what we have fought so long to protect which is our compatible hillside building that compliments the beautiful mountainous landscape around us. This cookie cutter design is wrong and needs to be fixed. Sincerely

Patti Merrill 28448 Renee Drive. Agoura - 40 year resident

*Thank You -
Patti Merrill*

To the Agoura Hills Planning Commission:

I am a resident of Agoura Hills and I support the request by Luke and Hayley Texidor to build a single family residence on the vacant parcel located at 28400 Renee Dr. The proposed home is consistent with the City's General Plan and is complementary to the surrounding community.

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Sincerely,



(signed)

Brenda Bartolone
28428 Lewis P.

(name)

Agoura Hills, CA
91301

Agoura Hills, CA

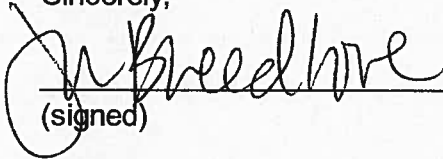
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Sincerely,



(signed)

Jen Breedlove

(name)

28362 Laura La Plante Dr.

(address)

Agoura Hills, CA

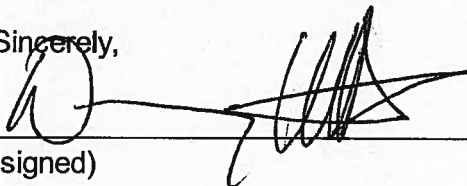
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Sincerely,



(signed)

Dan Motta

(name)

28320 Laura LePlante Dr.

(address)

Agoura Hills, CA

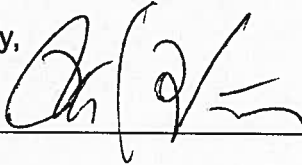
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Sincerely,



(signed)

David Wise

(name)

28376 Laura La Plante Dr.
Agoura Hills CA 91301

Agoura Hills, CA

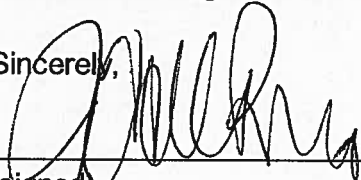
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Sincerely,



(signed)

Jessica Hall Prince

(name)

28431 Lewis Pl.

(address)

Agoura Hills, CA

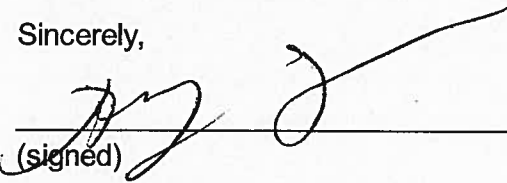
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Sincerely,



(signed)

Audrey Taylor

(name)
2837 E Loma La Plante Dr

(address)

Agoura Hills, CA

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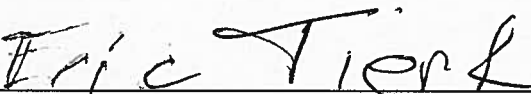
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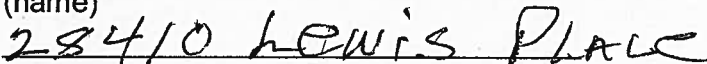
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(signed)



(name)



(address)

Agoura Hills, CA

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Sincerely,

Andrea Ross
(signed)

Andrea Ross
(name)
28416 Lewis Place
(address)

Agoura Hills, CA

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Sincerely,

Chris Stone

(signed)

Chris Stone

(name)

28401 Lewis Place

(address)

Agoura Hills, CA

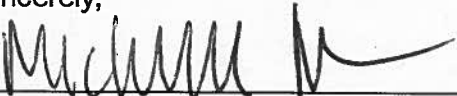
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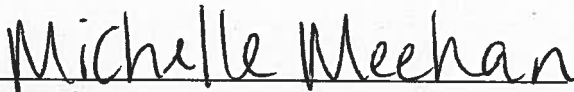
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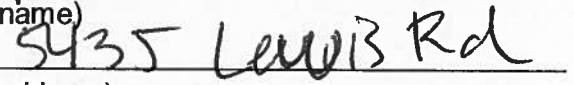
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(signed)



(name)


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Agoura Hills, CA


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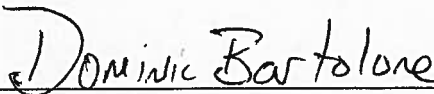
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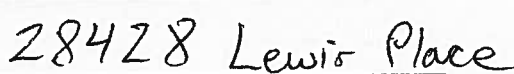
Sincerely,



(signed)



(name)



(address)

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Sincerely,

Nina Zlatkov
(signed)

28331 Laura LaPlante Dr.
(name)

Nina Zlatkov

(address)

Agoura Hills, CA

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Sincerely,

(signed)

(name)

(address)

VLADIMIR ZLATKOV

818 625-2556

28331 LAURA LA PLANTE DR

Agoura Hills, CA

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Sincerely,

Keith Blenkinsoph

(signed)

Katherine Mills

(name)

28441 Lewis Place, Agoura Hills, CA
(address)

Keith Blenkinsoph / Katherine Mills
91301

Agoura Hills, CA

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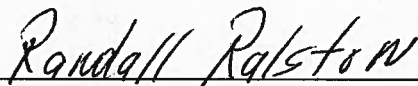
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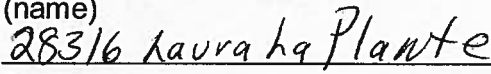
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(name)


(address)

Agoura Hills, CA

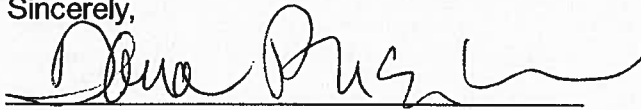
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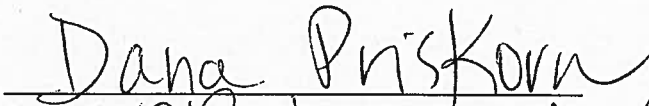
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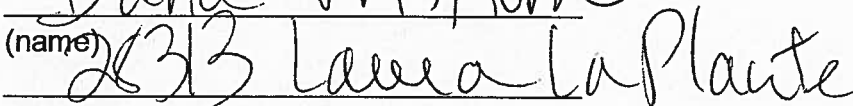
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(signed)



(name)



(address)

Agoura Hills, CA

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Sincerely,

 D Jackson
(signed)

 D.A.O. JACKSON
(name)

 28325 LAURA LA PLANTE DR
(address)

Agoura Hills, CA

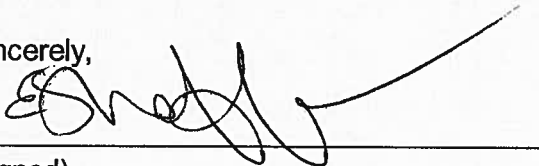
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Sincerely,



(signed)

Emily Shaffer

(name)

4808 Canyon Way

(address)

Agoura Hills, CA

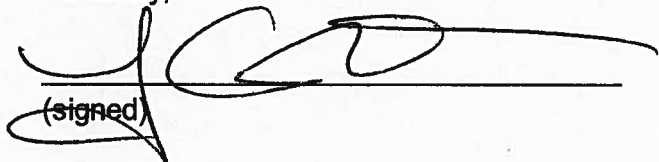
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Sincerely,



(signed)

Tracy Carruth-Umana

(name)

28727 Conejo View Dr.

(address)

Agoura Hills, CA


To the Agoura Hills Planning Commission:

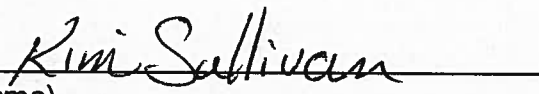
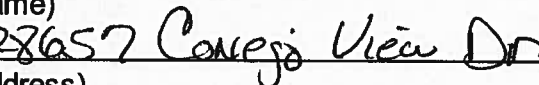
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Sincerely,


(signed)


(name)

(address)

Agoura Hills, CA



**CONDITIONAL USE PERMIT
CASE NO. 13-CUP-009 AND
VARIANCE CASE NO. 14-VAR-001**

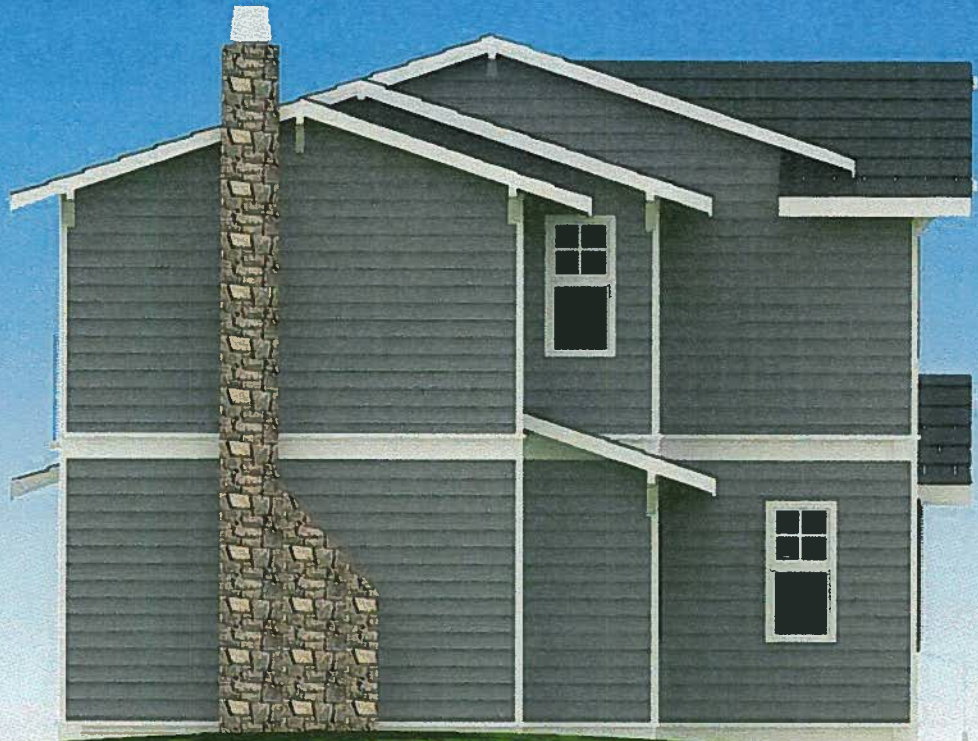
**FOR THE PROPERTY LOCATED AT
28400 RENEE DRIVE, AGOURA HILLS**

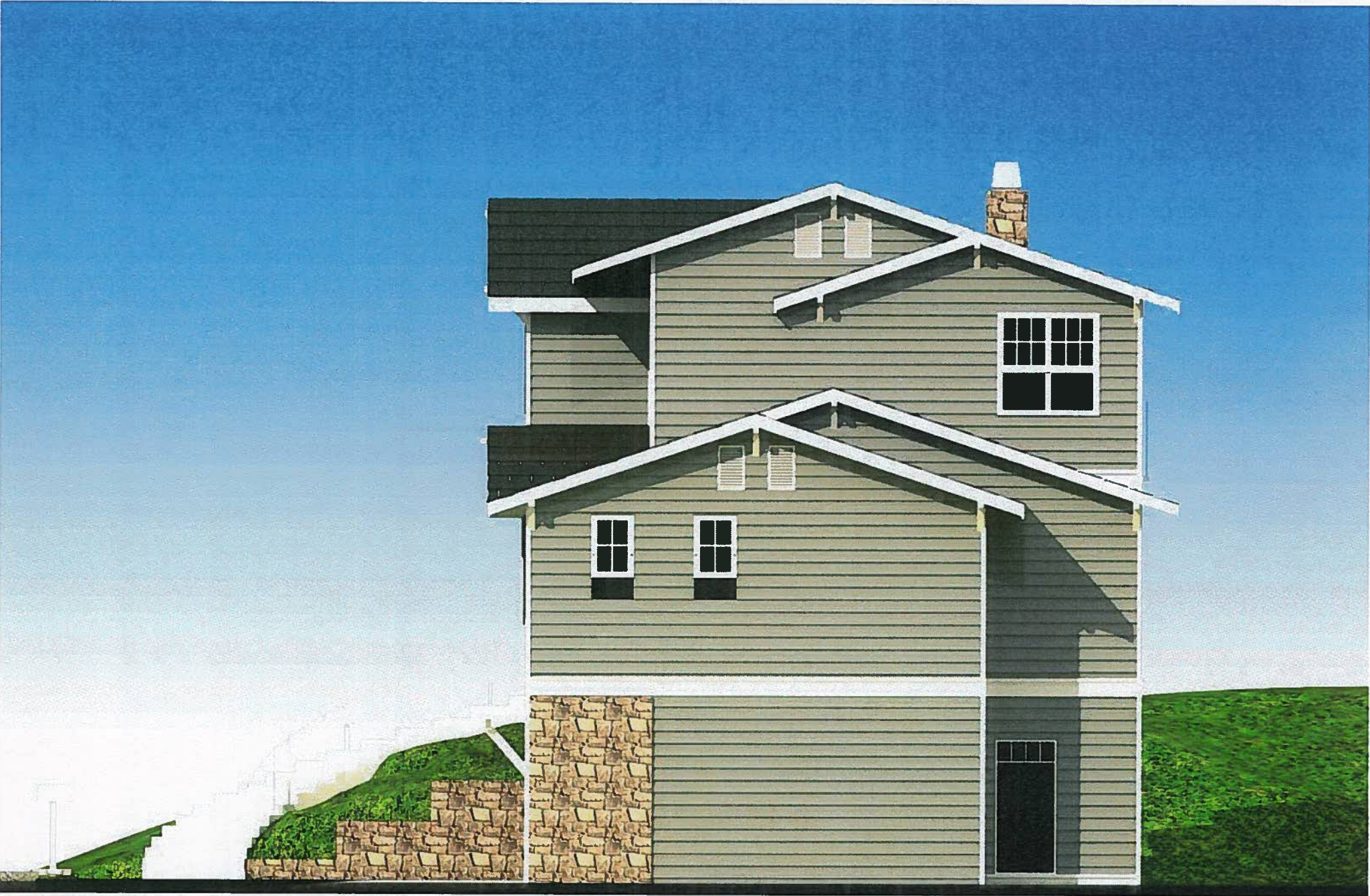
EXHIBIT D

**COLORED ELEVATIONS OF THE RESIDENCE
AND COLORS AND MATERIAL BOARD**









TEXIDOR RESIDENCE

28400 RENEE DRIVE
AGOURA HILLS, CA 91301

TRIM PAINT
VALSPAR JEFFERSON WHITE



EXTERIOR PAINT
VALSPAR PORCELAIN SHALE



FRONT & GARAGE DOOR
STAIN



ROOF
BORAL SAXONY SLATE
EBONY



DRIVEWAY PAVERS
BELGARD DUBLIN COBBLE
VICTORIAN



STONE - EL DORADO STONE
PEDOVA FIELD LEDGE





**CONDITIONAL USE PERMIT
CASE NO. 13-CUP-009 AND
VARIANCE CASE NO. 14-VAR-001**

**FOR THE PROPERTY LOCATED AT
28400 RENEE DRIVE, AGOURA HILLS**

EXHIBIT E

Vicinity Map

Vicinity Map/Zoning Map
Conditional Use Permit Case No. 13-CUP-009 and
Variance Case No. 14-VAR-001





**CONDITIONAL USE PERMIT
CASE NO. 13-CUP-009 AND
VARIANCE CASE NO. 14-VAR-001**

**FOR THE PROPERTY LOCATED AT
28400 RENEE DRIVE, AGOURA HILLS**

EXHIBIT F

REDUCED COPIES OF PROJECT PLANS

GENERAL NOTES

GENERAL NOTES (continued)

- 1. ALL CONSTRUCTION SHALL COMPLY WITH THE NEW CALIFORNIA BUILDING CODE, THE NEW CIVIL AND MECHANICAL CODE, THE NEW GAS AND ALL LOCAL APPLICABLE ORDINANCES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE RESPECTIVE JURISDICTIONS AND AGENCIES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE RESPECTIVE JURISDICTIONS AND AGENCIES.

FINISH NOTES

- 1. ALL FINISHES SHALL BE OBTAINED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND LOCAL REQUIREMENTS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE RESPECTIVE JURISDICTIONS AND AGENCIES.

MECHANICAL

- 1. MECHANICAL CONTRACTOR TO SIZE AND SPECIFY GAS PIPING, RETURN LAYOUT FOR APPROVAL BY THE CITY OR COUNTY, THE OWNER AND THE ARCHITECT.
2. MECHANICAL CONTRACTOR TO SIZE AND SPECIFY THE HVAC SYSTEM AS PER APPROVAL BY THE CITY OR COUNTY, THE OWNER AND THE ARCHITECT.

ABBREVIATIONS

Table with 4 columns: A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z. Lists abbreviations for materials and construction terms.

DEMOLITION

- 1. DEMOLITION SHALL CONSIST OF ALL WORK NECESSARY FOR THE REMOVAL OF THE EXISTING STRUCTURE.
2. ALL MATERIALS TO BE REMOVED SHALL BE PROPERLY HANDLED AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.

ATTIC VENTILATION

- 1. VENT AT RIC AREA WITH A RATIO OF 1 SQUARE FOOT PER 80 SQ. FT. OF ATTIC AREA.
2. ALL MATERIALS TO BE REMOVED SHALL BE PROPERLY HANDLED AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.

STANDARD SECURITY NOTES

- SECTION 04.00 - GENERAL NOTES
SECTION 04.01 - GENERAL NOTES
SECTION 04.02 - GENERAL NOTES

PROJECT INFORMATION

ARCHITECT: SCHNEIDER ARCHITECTS
PROJECT: NEW SINGLE FAMILY RESIDENCE
OWNER: MR. & MRS. LUKE TEXIDOR

SHEET INDEX

Table with 2 columns: SHEET NO. and DESCRIPTION. Lists sheets A-1 through A-13 and their corresponding titles.

PROJECT INFORMATION

LOT: 2
TRACT: 178
ZONING: R1-10
LOCALITY: CITY OF AGOURA HILLS

OWNER INFORMATION

MR. & MRS. LUKE TEXIDOR
28400 REMBER DRIVE, APT. NO. 2081 - 021 - 002
AGOURA HILLS, CALIFORNIA 91301

SCHNEIDER ARCHITECT

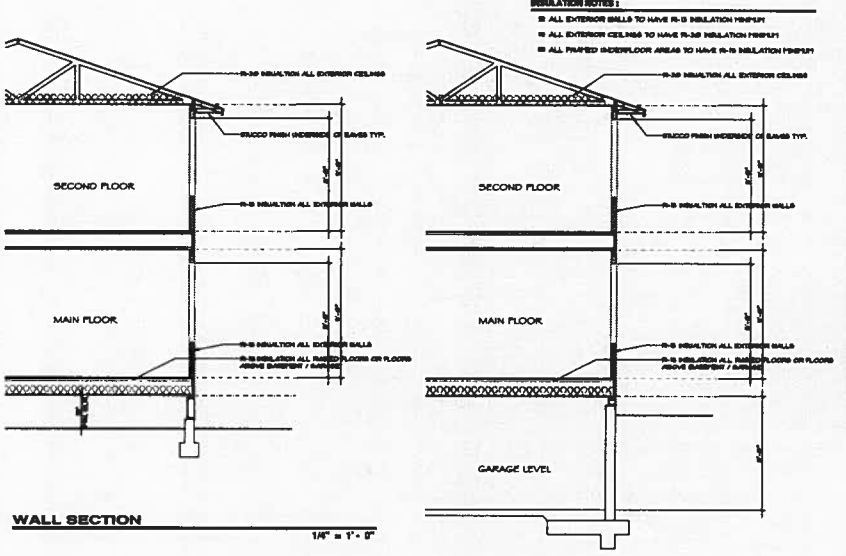
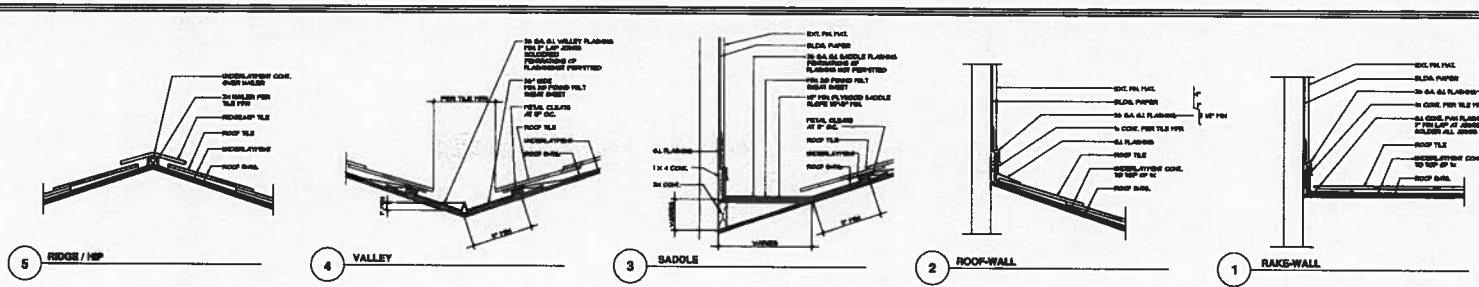
MR. & MRS. LUKE TEXIDOR
AGOURA HILLS, CALIFORNIA

COVER SHEET

SCALE: 1/8" = 1'-0"
DATE: 12 JUL 2005
SCHNEIDER ARCHITECTS

NEW SINGLE FAMILY RESIDENCE FOR: MR. & MRS. LUKE TEXIDOR
28400 REMBER DRIVE, APT. NO. 2081 - 021 - 002
AGOURA HILLS, CALIFORNIA 91301
PHONE NO. 818. 918. 1801

SHEET NO.
A1
OF 12



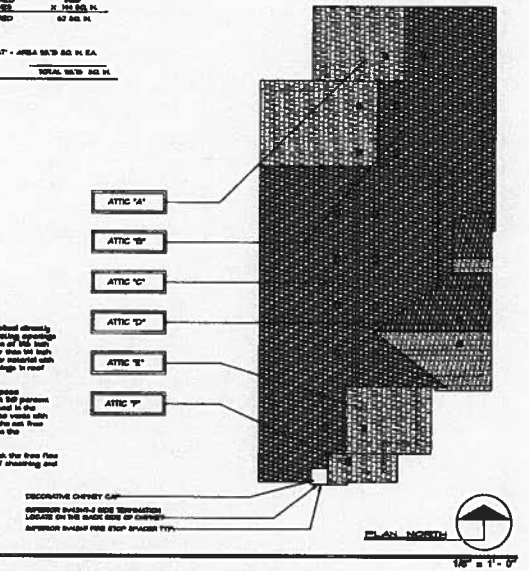
ATTIC VENT TABULATION
CALCULATION

ATTIC AREA "A"	78 SQ. FT.	ATTIC AREA "B"	72 SQ. FT.
RATIO OF VENTILATION REQUIRED	1/300	RATIO OF VENTILATION REQUIRED	1/300
CONVERSION TO SQUARE FEET	25.33 SQ. FT.	CONVERSION TO SQUARE FEET	24.00 SQ. FT.
AREA OF VENTILATION REQUIRED	193.94 SQ. FT.	AREA OF VENTILATION REQUIRED	180.00 SQ. FT.
PROVISION		PROVISION	
UPPER HALF OF ATTIC SPACE		UPPER HALF OF ATTIC SPACE	
"CHAMBER" VENT, FLOOR, FLAT - AREA 96" SQ. FT. AREA		"CHAMBER" VENT, FLOOR, FLAT - AREA 96" SQ. FT. AREA	
5 VENTS REQUIRED	TOTAL 96" SQ. FT.	3 VENTS REQUIRED	TOTAL 96" SQ. FT.
ATTIC AREA "C"	482 SQ. FT.	ATTIC AREA "D"	64 SQ. FT.
RATIO OF VENTILATION REQUIRED	1/300	RATIO OF VENTILATION REQUIRED	1/300
CONVERSION TO SQUARE FEET	1.60 SQ. FT.	CONVERSION TO SQUARE FEET	213.33 SQ. FT.
AREA OF VENTILATION REQUIRED	771.92 SQ. FT.	AREA OF VENTILATION REQUIRED	67.33 SQ. FT.
PROVISION		PROVISION	
UPPER HALF OF ATTIC SPACE		UPPER HALF OF ATTIC SPACE	
"CHAMBER" VENT, FLOOR, FLAT - AREA 96" SQ. FT. AREA		"CHAMBER" VENT, FLOOR, FLAT - AREA 96" SQ. FT. AREA	
5 VENTS REQUIRED	TOTAL 96" SQ. FT.	1 VENT REQUIRED	TOTAL 96" SQ. FT.
ATTIC AREA "E"	648 SQ. FT.	ATTIC AREA "F"	484 SQ. FT.
RATIO OF VENTILATION REQUIRED	1/300	RATIO OF VENTILATION REQUIRED	1/300
CONVERSION TO SQUARE FEET	2.16 SQ. FT.	CONVERSION TO SQUARE FEET	1.61 SQ. FT.
AREA OF VENTILATION REQUIRED	1364.16 SQ. FT.	AREA OF VENTILATION REQUIRED	771.92 SQ. FT.
PROVISION		PROVISION	
UPPER HALF OF ATTIC SPACE		UPPER HALF OF ATTIC SPACE	
"CHAMBER" VENT, FLOOR, FLAT - AREA 96" SQ. FT. AREA		"CHAMBER" VENT, FLOOR, FLAT - AREA 96" SQ. FT. AREA	
1 VENT REQUIRED	TOTAL 96" SQ. FT.	1 VENT REQUIRED	TOTAL 96" SQ. FT.

CRIC SECTION FRAME ROOF VENTILATION
Ventilation required. Insulated doors and enclosed return spaces formed where soffits are applied directly to the underside of roof rafters shall have open ventilation for each return space by venting openings provided against the exterior side of attic. Ventilation openings shall have a least dimension of 1/8" (1 1/8" for metal) and shall be provided with corrosion-resistant wire mesh screening, hardware cloth or other material with openings having a least dimension of 1/8" (1 1/8" for metal) and shall be installed on the exterior side of the soffit. The total net free ventilation area shall not be less than 1/300 of the area of the space ventilated except that ventilation of the total area to be ventilated is permitted provided that at least 1/300 of the area and not more than 50% percent of the required ventilation area is provided by ventilators located in the upper portion of the space to be ventilated at least 5 feet from the ground or other surface with outside air circulation provided by cross or corner vents. An alternative, the net free area-ventilation area may be reduced to 1/600 when a Class I or II vapor barrier is installed on the non-insulated side of the soffit. Vent and insulation clearance above eave or corner vents are installed, insulation shall not block the free flow of air. A distance of 1-inch (25 mm) space shall be provided between the insulation and the roof sheathing and at the location of the vent.

ROOF VALLEY FLASHING SHALL BE AT LEAST THREE EIGHTS (3/8") IN GALVANIZED STEEL OR ALUMINUM. COORDINATION OF MATERIALS SHALL BE PROVIDED BY ARCHITECT. COORDINATION OF MATERIALS OF ONE LAYER OF 30 MIL POLYESTER FIBER GLASS FIBER REINFORCED POLYESTER SHALL BE PROVIDED BY ARCHITECT. FIBER GLASS FIBER REINFORCED POLYESTER SHALL BE PROVIDED BY ARCHITECT. FIBER GLASS FIBER REINFORCED POLYESTER SHALL BE PROVIDED BY ARCHITECT. FIBER GLASS FIBER REINFORCED POLYESTER SHALL BE PROVIDED BY ARCHITECT. FIBER GLASS FIBER REINFORCED POLYESTER SHALL BE PROVIDED BY ARCHITECT.

ROOF PLAN



NOTES:
1. ALL ROOFING TO BE "TERRAZZO" FLAT CONCRETE TILE, INSTALL PER MANUFACTURER'S SPECIFICATIONS OVER FINI ONE LAYER 1/8" BULKHEAD FELT TYPE, 5/16" BULKHEAD TO RECEIVE PER MANUFACTURER'S SPECIFICATIONS AND PER CODE. SLAND INSULATION TILE MANUFACTURER "TERRAZZO" MANUFACTURER RECOMMENDS USE GALVANIZED NAILS FOR TILES.
2. PROVIDE ATTIC VENTS AS SHOWN WITH VENTS LOCATED AT ONE (1) SQUARE FOOT PER ONE HUNDRED (100) SQUARE FEET OF ATTIC AREA. USE "CHAMBER" VENTILATION SYSTEM, BY CHAMBER INC. FLOOR, FLAT, FOR FLAT CONCRETE TILE ROOFING. SCREENED OPENING AREA OF EACH VENT PROVIDES NETTY (NET) SQUARE INCHES (SQ. IN.) SQUARE INCHES. USE ALUMINUM AND GALVANIZED STEEL MANUFACTURER'S SPECIFICATIONS.
3. EXTERIOR WALLS TO BE BRICKED FROM 8" TO 12" PORTLAND CEMENT PLASTER OVER PAPER BACKED METAL LATH WITH 1/2" 1/2" REBAR 1/2" OF CONCRETE. USE 1/2" 1/2" REBAR 1/2" OF CONCRETE. EXTERIOR WALLS TO BE BRICKED FROM 8" TO 12" PORTLAND CEMENT PLASTER OVER PAPER BACKED METAL LATH WITH 1/2" 1/2" REBAR 1/2" OF CONCRETE. EXTERIOR WALLS TO BE BRICKED FROM 8" TO 12" PORTLAND CEMENT PLASTER OVER PAPER BACKED METAL LATH WITH 1/2" 1/2" REBAR 1/2" OF CONCRETE. EXTERIOR WALLS TO BE BRICKED FROM 8" TO 12" PORTLAND CEMENT PLASTER OVER PAPER BACKED METAL LATH WITH 1/2" 1/2" REBAR 1/2" OF CONCRETE.
4. ALL RAFTER SPACES TO BE VENTED WITH SCREENED VENTS IN SOLID BLOCKS AT THE WALL. ALL VENTS SHALL BE SCREENED WITH 1/4" HARDENED CORROSION RESISTANT PESH TYP.
5. ALL EXTERIOR LIGHTING TO HAVE MAXIMUM 25W BALLAST, TYP.

ROOF PLAN

SCHNEIDER ARCHITECTS
ARCHITECTS
28400 REMBER DRIVE, APT. NO. 2081 - 021 - 022
AGOURA HILLS, CALIFORNIA 91301
PHONE NO. 916.871.0671

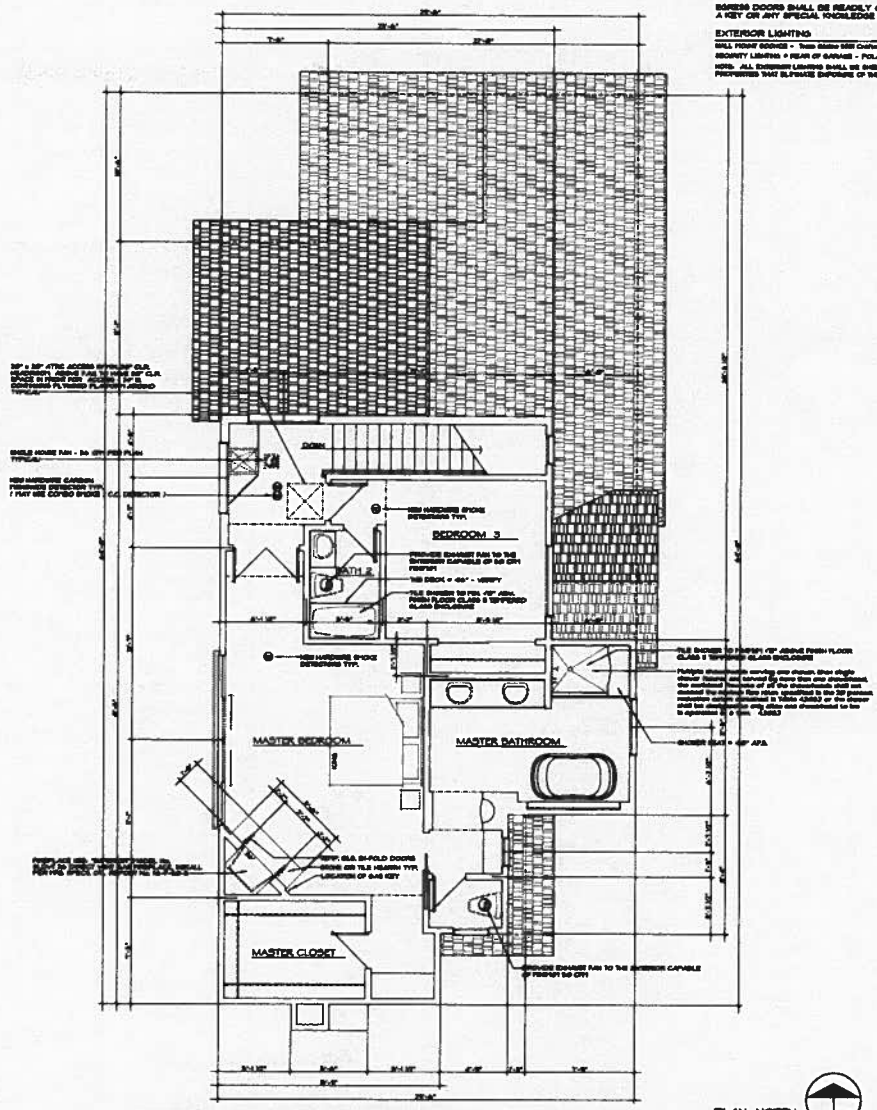
SCALE: 1/4" = 1'-0"
DATE: 11.21.2018
JOB NUMBER: 18-010
DRAWN BY: [Name]

NEW SINGLE FAMILY RESIDENCE PART 1: MR. & MRS. LAURE TENDOR
28400 REMBER DRIVE, APT. NO. 2081 - 021 - 022
AGOURA HILLS, CALIFORNIA 91301
PHONE NO. 916.871.0671

SHEET NO. A3
OF 12

GREEN BUILDING CODE NOTES

1. For new buildings and additions, provide one SFP400 V-ADSP, grounded AC motor or panel assembly + control at the home location of a SFP400 V-ADSP, grounded AC motor (ASB03).
2. For additions resulting in a SFP400 system, the SFP400 shall be provided additional to an existing SFP400 system and a total SFP400 system shall be provided additional to the total SFP400 system. The SFP400 shall be installed in accordance with the Los Angeles Department of Building Safety (LADBS).
3. Each separate electrical and mechanical system shall be labeled as an ENERGY STAR designation in accordance with the requirements (ASB03).
4. The flow rates for all plumbing fixtures shall comply with the maximum flow rates in Table C403.1 Table S403.1 (ASB03).
5. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads connected by a single pipe shall not exceed the flow rate specified in the maximum shower flow rate table contained in Table C403.1 of the code. Flow fixtures are exempt from this requirement if they are specified in a Title 24 California ASB03.
6. Installed automatic fire alarm systems shall be wet-dial or self-heated connections (ASB03).
7. For products not listed in accordance with the LADBS Code, the manufacturer's instructions shall be followed prior to that installation approval. (Title 24, ASB03)
8. Smoke systems, smoke detectors, alarm, signaling, or other apparatus in the building shall be installed in accordance with the manufacturer's instructions for the product, with smoke detectors, alarm, signaling, or other apparatus, where applicable, shall be provided in accordance with Section 909 of the Los Angeles Building Code (ASB03).
9. Fire alarm devices to the alarm station shall be provided from fire or other sources of power. (ASB03).
10. A Copy of Visitor notification shall be used for building of notification under the Visitor Management (ASB03).
11. For all new buildings, an Occupancy and Performance Report (OPR) shall be submitted to the LADBS, and the OPR shall be placed in the building at the time of final inspection (ASB03).
12. All new gas appliances must be approved under the California Gas Appliance Listing Program as prohibited per ASB03.
13. All duct and other related air distribution equipment shall be covered with leak joints, or shall meet all the fire ratings of the building, ceiling and venting equipment. (ASB03).
14. The VOC Content Verification Checklist, Form ASB03, shall be completed and verified prior to final inspection approval. The manufacturer's specifications showing VOC content for all applicable products shall be readily available at the job site and be provided to the local inspector for verification (ASB03).
15. Applicable rules and standards, including, but not limited to, shall comply with the Volatile Organic Compound (VOC) rules. (ASB03).
16. All new carpet installed in the building interior shall meet the testing and product requirements of one of the following:
 - A. Carpet and Rug Institute Green Label Plus Program
 - B. California Department of Public Health Specification #888
 - C. HEAVYWEAR 100 at the field level
 - D. Scientific Certification Systems Indoor Advantage Gold (ASB03)
17. All new carpet installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label Plus Program. (ASB03)
 - A. Carpet and Rug Institute Green Label Plus Program
 - B. California Department of Public Health Specification #888
 - C. HEAVYWEAR 100 at the field level
 - D. Scientific Certification Systems Indoor Advantage Gold (ASB03)
18. A VOC content label defined in the DPH High Performance Products Database
 - A. Certification under the Healthy Floor Covering Institute (HFCCI) Foundation program
 - B. From the California Department of Public Health Specification #888 (ASB03)
 - C. From the California Department of Public Health Specification #888 (ASB03)
19. New installed electrical panels, breakers, and conductors shall be installed in accordance with the National Electrical Code (NEC) and the California Electrical Code (CEC). (ASB03)
20. The manufacturer's installation instructions (ASB03) shall be completed prior to final inspection approval. The manufacturer's specifications showing VOC content for all applicable products shall be readily available at the job site and be provided to the local inspector for verification (ASB03).
21. A 4-inch wide base of 1/2 inch or larger stone aggregate shall be provided for proposed walk on grade construction. (ASB03)
22. A metal barrier shall be provided in direct contact with concrete for proposed walk on grade construction. (ASB03)
23. Building materials with visible signs of water damage shall not be installed and floor joists shall not be installed and it is required and found to be satisfactory by the building inspector (ASB03).
24. Newly installed bathroom exhaust fans shall be ENERGY STAR certified and be labeled for use in the location of the building. Provide the manufacturer's instructions for the fan. (ASB03)
25. Newly installed bathroom exhaust fans, not functioning as a component of a whole-house ventilation system, shall be installed by a licensed contractor per the manufacturer's instructions. (ASB03)
26. New whole house exhaust fans shall have dampers or louvers which close when the fan is off and that are installed with a minimum installation value of 0.3 cfm/ft². (ASB03)
27. The heating and air conditioning systems shall be sized and designed using ASHRAE Fundamentals ASHRAE 90.1-2010 or ASHRAE 90.1-2010, or ASHRAE 90.1-2010, and have their equipment installed in accordance with ASHRAE 90.1-2010. (ASB03)



UPPER FLOOR PLAN

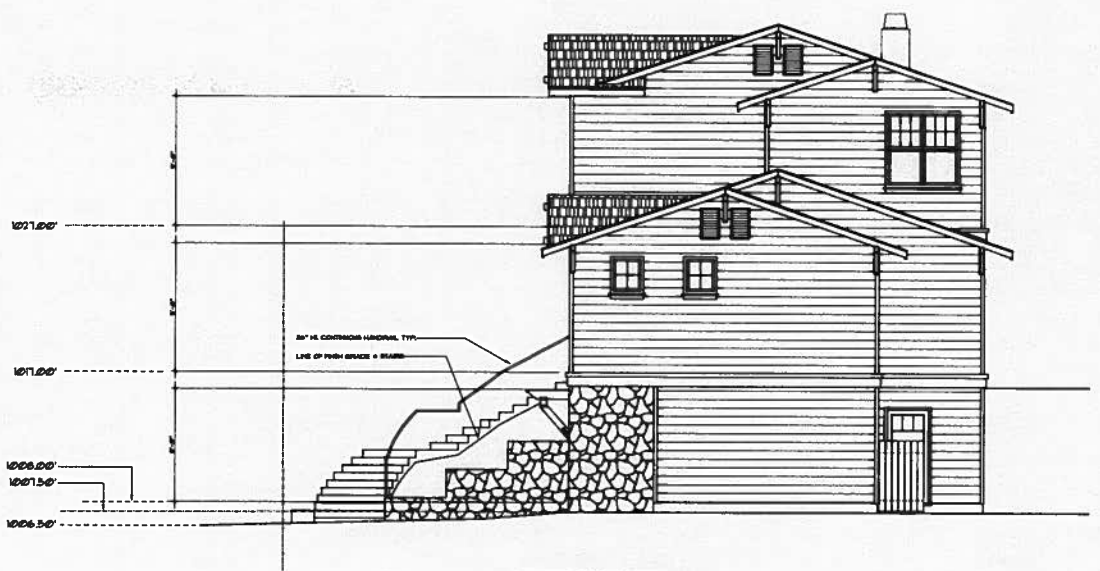
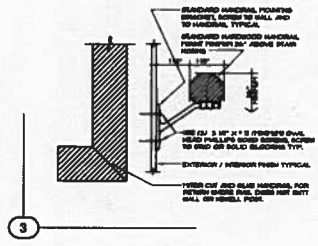
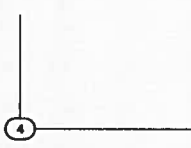
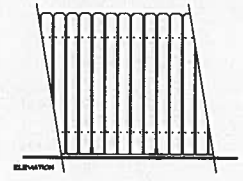
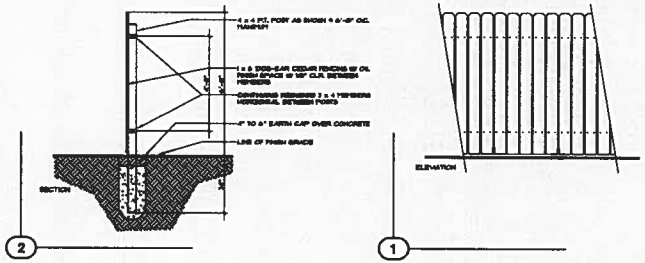
SQUARE FEET :		
FIRST FLOOR :	931	SQUARE FEET
SECOND FLOOR :	556	SQUARE FEET
TOTAL HOUSE :	1487	SQUARE FEET
CARAGE :	806	SQUARE FEET

FLOOR PLAN

PROVIDE FIRE SPRINKLERS THROUGH-OUT. SPRINKLER SYSTEM TO BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.
 ALL INSTALLED WINDOWS AND GLAZED DOORS SHALL HAVE A "U-FACTOR" OF 0.30 AND A "SHGC" NUMBER OF 0.30.
 EXTERIOR LIGHTING SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.
 ALL EXTERIOR LIGHTING SHALL BE BULB-OUT OR HAVE CUT-OFF PREVENTING THAT EXPOSED EXPOSURE OF THE LIGHT SOURCE (S.A.S. 1).

EXTERIOR LIGHTING
 SHALL MEET ENERGY STAR REQUIREMENTS
 SECURITY LIGHTING - FLEET OR BARRAGE - POLARIS OR - NOT REUSE DOWNLIGHTING
 NOTE: ALL EXTERIOR LIGHTING SHALL BE BULB-OUT OR HAVE CUT-OFF PREVENTING THAT EXPOSED EXPOSURE OF THE LIGHT SOURCE (S.A.S. 1).

DRAWN BY: JOSH NATHAN
 DATE: 12 JULY 2010
 SCALE: 1/8" = 1'-0"
 SHEET NO. A6 OF 12
 PROJECT: NEW SINGLE FAMILY RESIDENCE FOR 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
 SCHNIDER ARCHITECTS
 28400 REDBEE DRIVE, APT NO. 2001 - 021 - 002
 AGOURA HILLS, CALIFORNIA 91001
 PHONE NO. 909.300.1000



- FINISH SPECIFICATION NOTES:**
- ROOFING TILE: BORAL - SAXONY SLATE - COLOR TO BE "EBONY" No. 115C55047
 - CULTURED STONE: ELDERADO; FIELDLEDGE; COLOR "ADOVA FIELDLEDGE"
 - CHIMNEY: ELDERADO; FIELDLEDGE; COLOR "ADOVA FIELDLEDGE"
 - SIDING: HARDYPLANK 12" O BY JAMES HARDIE - COLOR: VALSPAR PORCELAIN SHALE No. 5006-28
 - WAINSCOTT & SILL: VALSPAR HOMESTEAD RESORT JEFFERSON WHITE No. 7006-1
 - POSTS, TRIM, EAVES & FASCIA: VALSPAR HOMESTEAD RESORT JEFFERSON WHITE No. 7006-1
 - EXPOSED WOOD: NATURAL OIL STAIN - LIGHT - FINISH DOOR, GARAGE DOOR ROOF FRONTS & USED LATTICE ABOVE GARAGE DOOR

EXTERIOR ELEVATIONS

1/4" = 1' - 0"

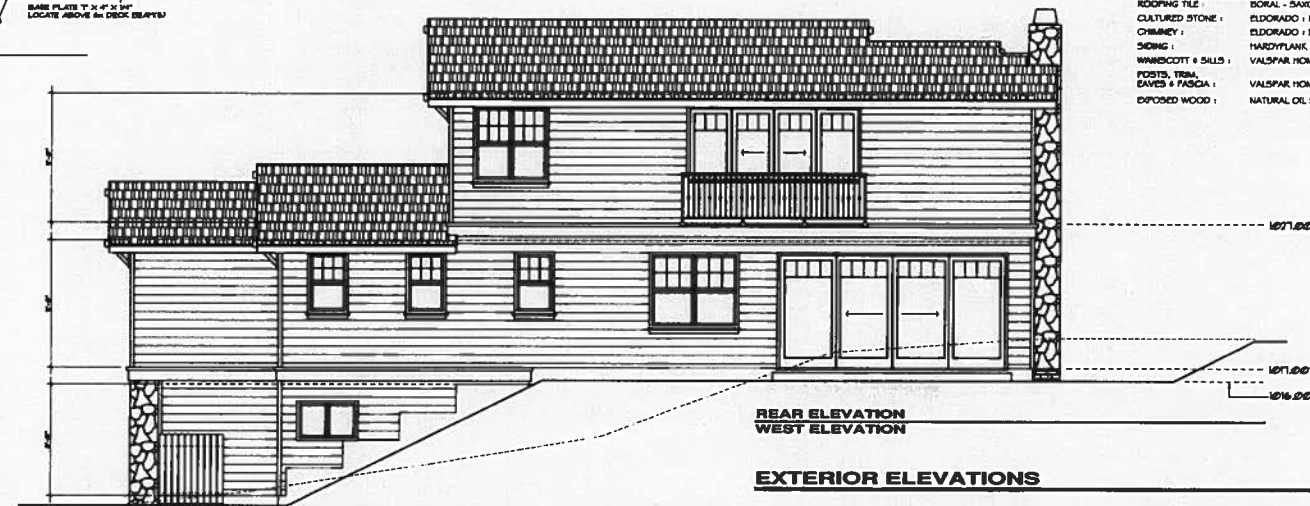
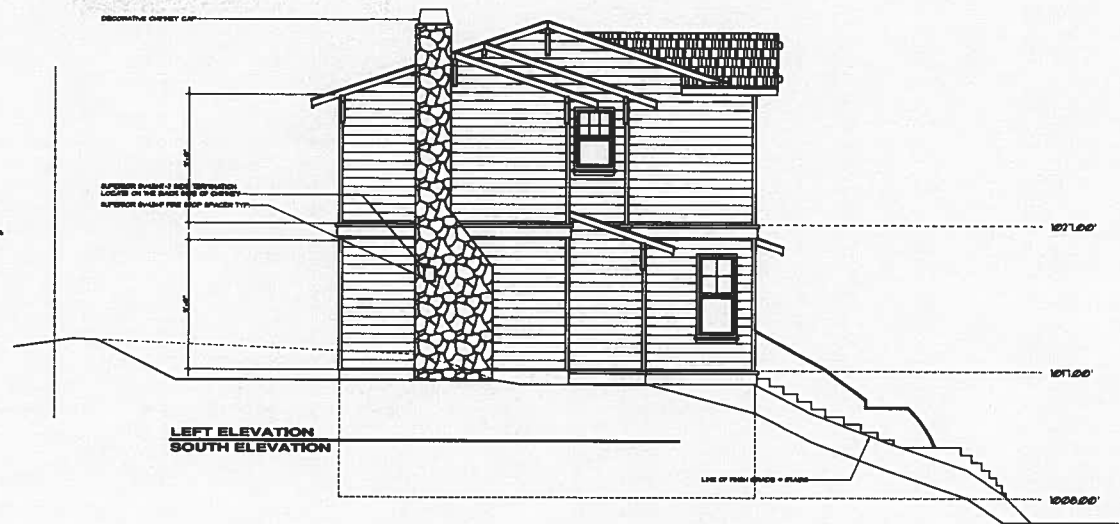
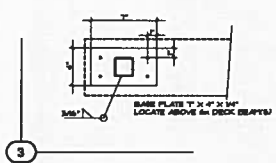
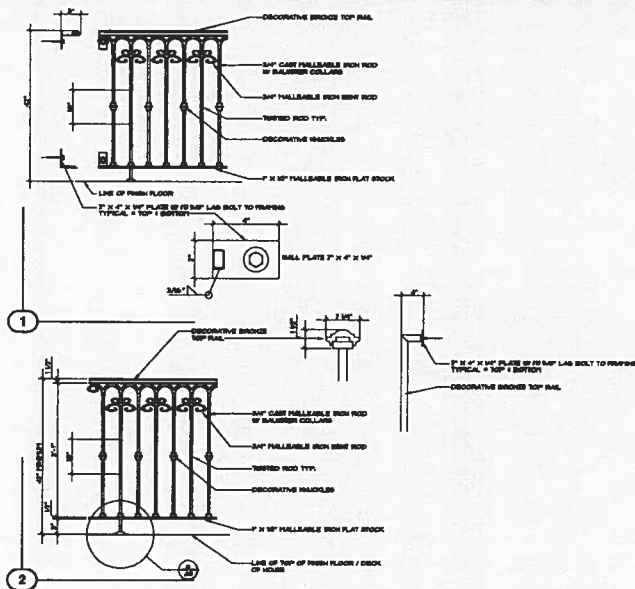
EXTERIOR ELEVATIONS

SCHNEIDER ARCHITECTS
 2840 REMISE DRIVE, APT. No. 2081 - 021 - 002
 ACQUITA HILLS, CALIFORNIA 91301
 PHONE No. 310.330.1000

DRAWN BY: JAMES HARDIE
 DATE: 12 JULY 1988

NEW SINGLE FAMILY RESIDENCE FOR: MR. & MRS. LARRY TESSOR
 2840 REMISE DRIVE, APT. No. 2081 - 021 - 002
 ACQUITA HILLS, CALIFORNIA 91301
 PHONE No. 310.330.1000

SHEET No. **A7**
 OF 12



- FINISH SPECIFICATION NOTES :**
- ROOFING TILE : BORAL - SAVONY SLATE - COLOR TO BE 'TRONY' No. 15C35047
 - CULTURED STONE : ELBORADO ; FIELDEDGE, COLOR 'MADONA FIELDEDGE'
 - CHIMNEY : ELBORADO ; FIELDEDGE, COLOR 'MADONA FIELDEDGE'
 - SHING : HARDPLANK HZ 10 BY JAMES HARDIE, COLOR : VALSPAR PORCELAIN SHALE No. 500G-2B
 - WAINSCOTT & SILL : VALSPAR HOMESTEAD RESORT JEFFERSON WHITE No. 700G-1
 - POSTS, TRIM, EAVES & FASCIA : VALSPAR HOMESTEAD RESORT JEFFERSON WHITE No. 700G-1
 - EXPOSED WOOD : NATURAL OIL STAIN - LIGHT ; 2\"/>

EXTERIOR ELEVATIONS

1/4" = 1' - 0"

DRAWN BY: BHS
 CHECKED BY: JAMES HARDIE ARCHITECTS
 DATE: 12 JULY 2009
 SCALE: AS SHOWN
 PROJECT: NEW SINGLE FAMILY RESIDENCE FOR: MR. & MRS. LUKI TENDON
 28400 REMISE DRIVE, AP No. 2081 - 021 - 002
 AGOURA HILLS, CALIFORNIA 91301
 PHONE No. 909.330.1000

SCHENKLER ARCHITECTS
 2800 WILSON AVENUE, SUITE 100
 AGOURA HILLS, CA 91301
 PHONE No. 909.330.1000

SHEET No. **A8**
 OF 12

**ASSESSMENT NOTES AND MAINTENANCE AGREEMENT FOR
FUEL MODIFICATION PLAN # 020**

Zone A - Substrate

Zone A shall be prepared for any landscape situation, necessary drainage, irrigation or protection. Existing and/or other fuel modification equipment shall be removed and replaced with approved equipment. The equipment shall be installed in accordance with the manufacturer's instructions. All equipment shall be installed in accordance with the manufacturer's instructions. All equipment shall be installed in accordance with the manufacturer's instructions.

Zone B - Substrate

Zone B shall be prepared for any landscape situation, necessary drainage, irrigation or protection. Existing and/or other fuel modification equipment shall be removed and replaced with approved equipment. The equipment shall be installed in accordance with the manufacturer's instructions. All equipment shall be installed in accordance with the manufacturer's instructions.

Zone C - Substrate

Zone C shall be prepared for any landscape situation, necessary drainage, irrigation or protection. Existing and/or other fuel modification equipment shall be removed and replaced with approved equipment. The equipment shall be installed in accordance with the manufacturer's instructions. All equipment shall be installed in accordance with the manufacturer's instructions.

Zone D - Substrate

Zone D shall be prepared for any landscape situation, necessary drainage, irrigation or protection. Existing and/or other fuel modification equipment shall be removed and replaced with approved equipment. The equipment shall be installed in accordance with the manufacturer's instructions. All equipment shall be installed in accordance with the manufacturer's instructions.

Approved plant list and plant material shall be provided. Plants and materials shall be provided in accordance with the manufacturer's instructions. The equipment shall be installed in accordance with the manufacturer's instructions. All equipment shall be installed in accordance with the manufacturer's instructions.

Landscaping Maintenance Agreement

The project owner agrees to be responsible for the long-term maintenance of the Fuel Modification Plan. An annual fee of \$100 per year shall be paid for the Fuel Modification Plan. The fee shall be paid in advance of each year. The fee shall be paid in advance of each year.

TREE LIST

SYMBOL	WATER	BOTANICAL NAME	COMMON NAME	HT/SPREAD	QUANTITY
AM	M/L	Artisanus maritima	NON	40"x40"	2-8" box
BP	M	Delonix paniculata	Weeping Birch	30"x20"	5-15 gal.
CO	M/L	Cercis occidentalis	Red Bud	20"x20"	4-8" box
CT	M/H	Obolus speciosus (pearl chert)	White	3-15 gal.	
FS	M/L	Folysa santonica	Pineapple Guava	20"x20"	2-15 gal.

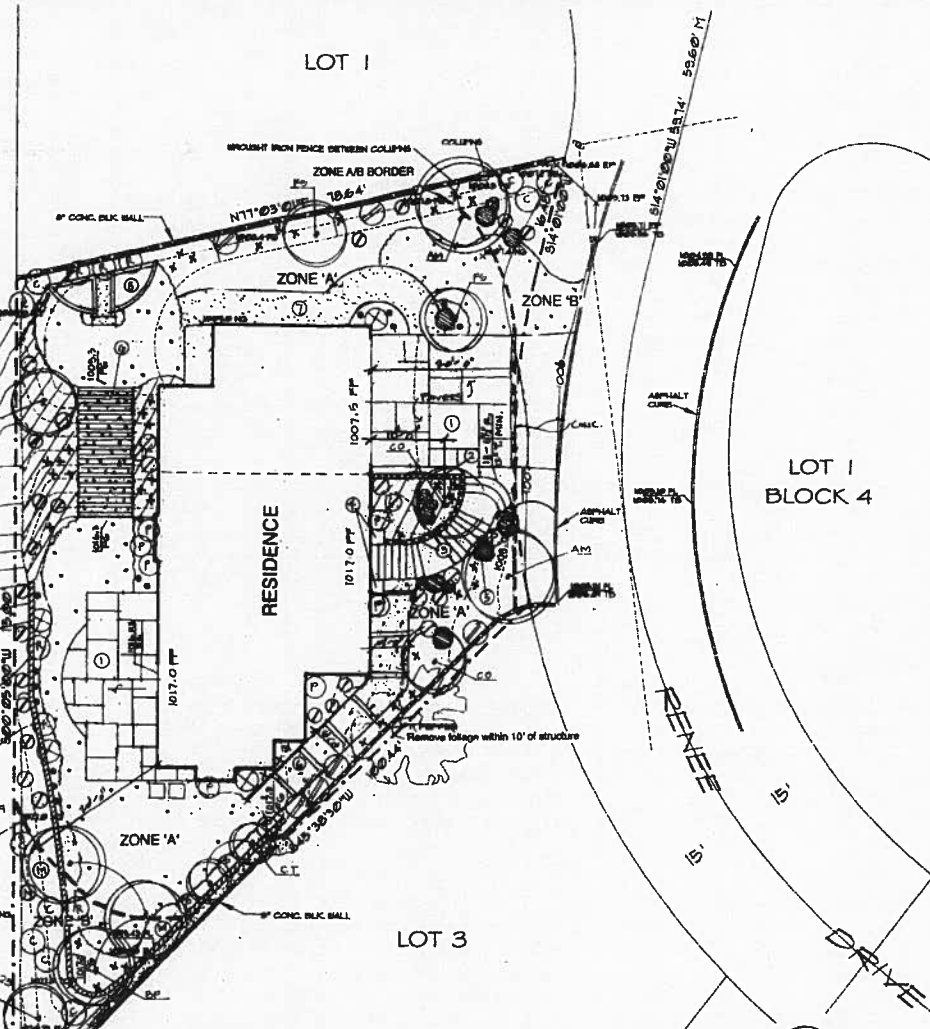
SHRUB LIST

•	M	Agave parviflora 'Peter Pan'	Dwarf Nite Lily	18"x2"	18-1 gal.
•	L	Carpanteria californica	Bush anemone	6"x8"	12-4 gal.
•	M	Oxalis lignea	Cigar Bush	4"x4"	4-6 gal.
•	M	Heuchera sanguinea	Coral Bells	2"x2"	48-1 gal.
•	M	Minuartia speciosa	Morway Flower	5"x5"	25-1 gal.
•	L	Perovskia atrorubra	Beard Tongue	4"x4"	25-1 gal.
•	M	Polygala deltoidea	Sweet Pea Bush	4"x4"	18-0 gal.
•	M	Rosa 'Iceberg'	Rose	5"x5"	6-6 gal.
•	L	Ribes viburnifolium	Cassia Perfume	4"x5"	6-6 gal.

NOTES
H= High water, M= Medium, L= Low
All planting in ZONE A and B shall have permanent irrigation with time clock and rain sensor

- GROUND COVER LEGEND**
- ☐ Sod lawn with pop-up spray heads
 - ▨ Fragaria chionocaulis from flats at 12" o.c. with pop-up spray heads
 - Walk-on bark mulch where no flat planting occurs, drip irrigate all plants

- CONSTRUCTION LEGEND**
- Concrete drive and steps, sand finish with saw cut scores (typ) Anemone interlocking pavers
 - Block plaster wall with 3"-0" column and lantern
 - Ramp wall 24" above finish
 - Platform 30" sq. for pots
 - Decorative boulders set into grade 30% (3" +/- size)
 - Landscape timber steps with - grass joint, 6"x6"
 - Gravel path
 - Raised vegetable planters, Belgard "Highland Stone" - drip irrigate



**FUEL MODIFICATION PLAN
PROJECT INFORMATION**

LOT 1 BLOCK 7	TRACT No. 6783	MAP 6K 148 - 66 - 94
TRACT 7	78 - 03 - 31686 - 81	
SUBDIVISION	CITY OF ANCHORAGE HILLS / COUNTY OF LOS ANGELES	
ACCESSORY PARCEL No.	3061 - 021 - 021	
LOT SIZE	6304 SQUARE FEET	
SQUARE FEET		
FIRST FLOOR	637	SQUARE FEET
SECOND FLOOR	637	SQUARE FEET
TOTAL SQUARE	1274	SQUARE FEET
COVERAGE	23.5	SQUARE FEET
PER INFORMATION	NOT REQUIRED	

SITE PLAN

Gregory T. Anderson
13283 Reservoir Way
Maple, CA 92023
Telephone (951) 941-1405
e-mail: greg@gregtanderson.com

SCALE: 1/8" = 1'-0"
DATE: 02/15/2011
DRAWN BY: JCL/TKC/10/11

NEW SINGLE FAMILY RESIDENCE FOR 1, 2, & 3 UNIT LOTS
39400 RESERVE DRIVE, AP No. 2001-021-022
ANCHORAGE HILLS, CALIFORNIA 91301
PHONE No. 951.933.1000

REVISIONS
1-2-2011
SHEET No. 11

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 6 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXISTING MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS ISSUED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HELD AS A PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE ELEVATION AND ELEVATIONS OF ALL DRAINAGE, SEWERAGE, KEYWAY LOCATIONS AND BOTTOMS ELEVATIONS, LOCATIONS OF ALL SUBDRAINAGE AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALLS, BACTRIATION AND OUTLETS, GEOLOGIC CONDITIONS OBSERVED DURING GRADING MUST BE SPECIFIED ON AN AS-BUILT GEOLOGIC MAP.
 - A COPY OF THE GRABOBS PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
 - ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OWNED HOLIDAYS.
 - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOIL. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.

PUBLIC UTILITIES / SERVICES

WATER: LAB WOODS MUNICIPAL WATER DISTRICT
4522 LAB WOODS ROAD
CALAHEAS, CA 91302
(911) 800-4116

ELECTRICAL: SOUTHERN CALIFORNIA Edison
5800 FTIDLER DRIVE
THERESA, CALIF. CA 91381
(911) 804-7416

TELEPHONE: SBC (PAC BEL)
1630 KAYMAN STREET, #116
VIA RAYMOND, CA 91302
(911) 873-6969

Gas: SOUTHERN CALIFORNIA Gas
8480 SABELLA AVENUE
CHATEAUVILLE, CA 91312
(911) 791-4234

SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1995 S. FREEDOM AVENUE, BLOCK 40 EAST
ALHAMBRA, CA 91802
(911) 300-3000

CABLE: DISH/PGA
255 TELLER ROAD
NEWMARY PARK, CA 91328
(911) 875-2215

CABLE: CHARTER COMMUNICATIONS
2850 PLYMOUTH ROAD
BALBON, CA 90288
(911) 455-8216

CALTRANS: CALTRANS
5400 PIEDRA BOULEVARD
TAYLOR, CA 91781
(911) 383-1428

STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORMWATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE REVIEWED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMPs) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF SOLIDS POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN ACCORDANCE WITH THE SWPPP AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DETAIL THESE LOCATIONS RELATIVE TO THE SITE. THIS PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 15, AND IMPLEMENTED THROUGHOUT THE 1ST THROUGH APRIL, 15TH.
- IT IS THE PROPERTY OWNERS RESPONSIBILITY TO MAINTAIN ALL GROUND DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INHERITS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.
- BROOD SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MUST NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, ARRA DRAINS, NATURAL DRAINAGE COURSE, OR WEED.
- STOCKPILES ON EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THESE LISTINGS AND ARE NOT TO CONSTITUTE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE DISCHARGED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. RESIDUES SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF SURFACEWATER AND DISPERAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO PREVENT EROSION FROM BEING REPORTED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DESHOULD VEGETATION MUST BE STABILIZED SO AS TO PREVENT EROSION BY WIND AND WATER.
- EXCEPT AS OTHERWISE DIRECTED BY THE CITY INSPECTOR, ALL DRAINAGE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY IS 40% AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 15 THROUGH APRIL 15TH OF THE SUCCESSIVE YEAR) FOR EACH YEAR THE GRADING REMAINS INCOMPLETE. REFER TO SITE-SPECIFIC WET-WEATHER EROSION-CONTROL PLAN.
- CATCH BASIN FILTER INHERITS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

PUBLIC IMPROVEMENT NOTES

- AN ENCROACHMENT PERMIT IS REQUIRED OF ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY (ROW). ALL APPLICABLE FEES MUST BE PAID AND SECURITIES POSTED PRIOR TO BEGAINING OF PERMIT. ALL WORK INVOLVING STREET IMPROVEMENTS REQUIRING APPROVAL FROM THE PUBLIC WORKS DEPARTMENT, APPLICANTS SHALL ALLOW 48 HOURS ADVANCE NOTICE TO THE DEPARTMENT OF PUBLIC WORKS TO COMPLETE ALL INSPECTIONS.
- CONTRACTORS SHALL TELEPHONE UNDERGROUND SERVICE ALERT (USA) 1-800-452-4123 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
- REQUIREMENTS FOR STREET STRUCTURAL SECTION TO BE DETERMINED BY SOIL ANALYSIS AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF BASE MATERIALS.
- WATER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LAB WOODS MUNICIPAL WATER DISTRICTS WORK MANUAL.
- SEWERAGE OF WATERS AND WASTEWATER LINES SHALL BE IN ACCORDANCE WITH LAB WOODS MUNICIPAL WATER DISTRICT.
- PRIOR TO CONNECTION TO WATER AND SEWER MAINS IN THE PUBLIC RIGHT-OF-WAY, APPLICANT SHALL PROVIDE DOCUMENTATION FROM LAB WOODS MUNICIPAL WATER DISTRICT TO THE CITY STATING THAT ALL CONNECTION PIPES HAVE BEEN PAID.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN ON THESE DRAWINGS.

PAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (911) 947-7266, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES".
- FOR OAK TREES EXISTING ON OR OFF-SITE OR IMMEDIATELY ADJACENT (WITHIN 100 FEET OF THE PROJECT BOUNDARIES) THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT PRIOR TO ANY WORK THAT PERFORMS AROUND OAK TREES. PROTECTIVE ZONES SHALL BE FENCED AND ALL CLEARING AND REMOVAL OF ORGANIC MATTERS AND REMOVAL OF BRANCHES AND OTHER DESTROYABLE MATTERS, SHALL BE REMOVED FROM THE SITE AS STIPULATED UNDER THE OAK TREE PERMITS. BEFORE THE APPROVAL TO PROCEED WITH THE GRADING WILL BE ISSUED, AFTER NOTIFICATION THAT THIS STAGE HAS BEEN COMPLETED, THE SITE WILL BE INSPECTED BY THE CITY'S OAK TREE ADMINISTRATOR. WHEN APPROVED, THE APPROVAL TO PROCEED WILL BE ISSUED IN WRITING BY THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT.
- ALL OAK TREE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS TREE PRESERVATION AND OAK TREE PRESERVATION AND PROTECTION ORDINANCE.
- UNDER NO CIRCUMSTANCES SHALL ANY WORK BE DONE WITHIN THE PROTECTED ZONE OF ANY OAK TREE, WITHOUT OBTAINING AN OAK TREE ENCROACHMENT PERMIT AND 48 HOURS ADVANCE NOTICE TO THE CITY. FURTHERMORE, NO PROTECTIVE FENCING SHALL BE RELIABLELY CITY APPROVED.

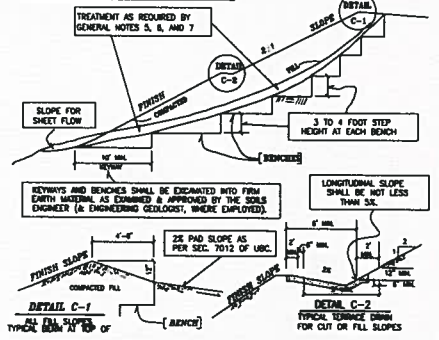
SURVEY ABBREVIATIONS

APN: 2061 - 021 - 002

AC - ASPHALTIC CONCRETE
HP - HIGH POINT
HW - HIGHWAY
CS - CATCH BASIN
NB - NATURAL GROUND
CB - CHAIN RACE
R/S - RIGHT TO SCALE
C - CENTERLINE
FL - PRIORITY LINE
CP - CURB LINE (PENCE
FOR - POINT OF BEGINNING
OB - OPEN CUT
DB - DEBRIS BASIN
SG - SAWBURY BENTON
SG - SAWBURY BENTON
OL - DITCHES
TB - TOP OF BEING
EP - EDGE OF PAVEMENT
TF - TOP OF FOOTING
PG - FINISHED GRADE
PH - PAVED HYDRAUL
FL - FLOOR SURFACE
FR - FRESH SURFACE
HC - HIGHWAY CAP

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PH - PAVED HYDRAUL
FL - FLOOR SURFACE
FR - FRESH SURFACE
HC - HIGHWAY CAP

FILL PLACEMENT AND DRAINAGE DETAILS



- TERRACE DRAIN, INTERCEPTOR DRAIN & DOWNDRAIN SHALL BE CONSTRUCTED OF 3" P.C.C. (OR QUARTZ REINFORCED WITH 6 x 6 x 10 W.W.M. & SHALL BE EITHER SEMI-CIRCULAR OR TRIANGULAR CROSS SECTION.
- MATERIALS FOR INTERCEPTOR DRAIN, TERRACE DRAIN & DOWNDRAIN SHALL MEET STANDARD LAND DEVELOPMENT SPECIFICATIONS, SUBSECTION 201-1 & 400 EXCEPT THAT THE CONCRETE LINED SWALES, V-DITCHES, PAVED TERRACE DRAIN, DOWNDRAIN, BENCH, VELOCITY REDUCERS & OTHER EROSION PROTECTION DEVICES SHALL BE OF CLASS 470-C-2000 UNLESS OTHERWISE SPECIFIED.

**DETAIL 1
NTS**

AVERAGE SLOPE ANALYSIS

FORMULA: $\frac{D \times H}{A}$ $=$ $\frac{15 \times 100}{1000}$ $=$ 1.5%

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	TOPOGRAPHIC SURVEY
3	GRADING & DRAINAGE PLAN
4	CROSS SECTIONS & DETAILS
5	EROSION CONTROL COVER SHEET
6	EROSION CONTROL PLAN SHEET
7	EROSION CONTROL ATTACHMENTS

ESTIMATED EARTHWORK QUANTITIES	
ESTIMATED CUT:	536 CY
ESTIMATED FILL:	51 CY
ESTIMATED OVER-EXCAVATION:	51 CY

BENCHMARK	
DESCRIPTION: 888 NO. 1	ELEVATION: 818.63

RECORD DRAWING STATEMENT	
LEONARD LISTON, MERRY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NO. 1, THROUGH 7, HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHARGES.	
REGISTERED CIVIL ENGINEER	DATE: 3/20/14
	REG. NO.: 21272

SOILS APPROVAL	
THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(D) DATED: 3/20/14	
REGISTERED GEOLOGIST	DATE: 3/20/14
REGISTERED GEOTECHNICAL ENGINEER	DATE: 3/20/14
	REG. NO.:

OWNER NAME: LUKE & HAYLEY TEXIDOR ADDRESS: 28400 RENEE DRIVE AGOURA HILLS, CA 91301 REPRESENTATIVE: LUKE & HAYLEY TEXIDOR TELEPHONE: (911) 891-7148
CIVIL ENGINEER NAME: LC ENGINEERING GROUP, INC. ADDRESS: 888 PENCE COURT, SUITE 101, THOUSAND OAKS, CA 91320 REPRESENTATIVE: LEONARD LISTON TELEPHONE: (805) 497-0244 / (911) 911-7408
GEOTECHNICAL ENGINEER NAME: CALHEIST GEOTECHNICAL ADDRESS: 888 PENCE COURT, SUITE 101, THOUSAND OAKS, CA 91320 REPRESENTATIVE: LEONARD LISTON TELEPHONE: 805-497-0244 / (911) 911-7408
SUBJECT LOCATION VICINITY MAP

LEGEND AND SYMBOLS

PROJECT BOUNDARY	--- 1/8" = 1' ---
EXISTING GRADE CONTOUR	--- 1/8" = 1' ---
PROPOSED GRADE CONTOUR	--- 1/8" = 1' ---
SPOT ELEVATION	x 1/8" = 1' x
PROPOSED SLOPE PER PLAN	--- 1/8" = 1' ---
RETAINING WALL	--- 1/8" = 1' ---
DAYLIGHT CUTSILL LINE	--- 1/8" = 1' ---
DIRECTION OF FLOW (SLOPE)	--- 1/8" = 1' ---
CONSTRUCTION NOTE NUMBER	--- 1/8" = 1' ---

BASIS OF BEARING:
THE BASIS OF BEARING ON THIS PLAN IS THE CENTERLINE BEARING ON BEARING OF S41°30'W AS SHOWN ON THE MAP OF TRACT NO. 8735, PLS. 148-90/91.

LEGAL DESCRIPTION:
LOT 2 IN BLOCK 4 OF TRACT NO. 8735, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGE 85 TO 94 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK:
811.82 IN THE COUNTY OF LOS ANGELES DATUM
FOUND 07/16/74 IN E 2' X 3' 0" BOX @ SE COR AGOURA RD & LAURA LA PLANTIE DR.
ELEVATION = 941.03 FEET (ADJUSTMENT OF 2008)

UNDERGROUND SERVICE ALERT

CALL TOLL FREE 1-800-227-2800

TWO WORKING DAYS BEFORE YOU DIG

APR 15 2014

CITY OF AGOURA HILLS APPROVAL

APR 15 2014

APR 15 2014

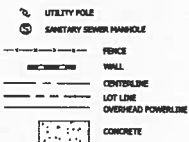
COVER SHEET
TEXIDOR
28400 RENEE DRIVE
AGOURA HILLS, CA 91301
PROJECT NO: 14-01

APR 15 2014

8:58-21

PREPARED BY: LC ENGINEERING GROUP, INC.	PROJECT ENGINEER: RCE 31802	DATE: 3/20/14	REVIEWED BY:	DATE: 3/20/14
DESIGNED BY:	CHECKED BY:	DATE:	DATE:	

LEGEND:



ABBREVIATIONS:

- BLK BLOCK
- CONC CONCRETE
- INV INVERT ELEVATION
- EC EDGE OF CONCRETE
- EP EDGE OF PAVEMENT
- PL PLUMBLINE
- FW FACE OF WALL
- NG NATURAL GROUND
- PVC POLYVINYL CHLORIDE PIPE
- TS TOP OF SIGN

NOTES:

1. THE MAP SHOWN HEREON WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, ADDITIONAL EMBLEMENTS IF ANY ARE NOT SHOWN.
2. BOUNDARIES SHOWN HEREON ARE FROM TRACT NO. 8793, RECORDED IN BOOK 148, PAGES 88 TO 94.
3. LANDSCAPING AND LANDSCAPE SUBSTITUTION DESIGNS MAY EXIST WITHIN THE PROPERTY AND ARE NOT SHOWN.
4. TREE LINE CANOPIES ARE PICTORIAL, AND MAY NOT REFLECT TRUE DIMENSIONS.
5. IF RETAINING WALLS OR SIMILAR STRUCTURES ARE TO BE DESIGNED FROM TOPOGRAPHY SHOWN HEREON, THE ELEVATIONS OF CRITICAL POINTS CONTROLLING THE DESIGN MUST BE VERIFIED PRIOR TO ADOPTION OF FINAL DESIGN.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 2 IN BLOCK 4 OF TRACT NO. 8793, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 148, PAGES 88 TO 94 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE BEARING ON RENEE DRIVE OF S15°15'00"W AS SHOWN ON THE MAP OF TRACT NO. 8793, P.L.S. 148-85/94.

BENCH MARK:

B.M. NO. Y-1824 NAVD 1983 COUNTY OF LOS ANGELES DATUM
 FOUND 02/19/1974 IN E CORNER @ SE COR AGOURA RD & LAURA LA PLANTE DR.
 ELEVATION = 941.03 FEET (ADJUSTMENT OF 2008)

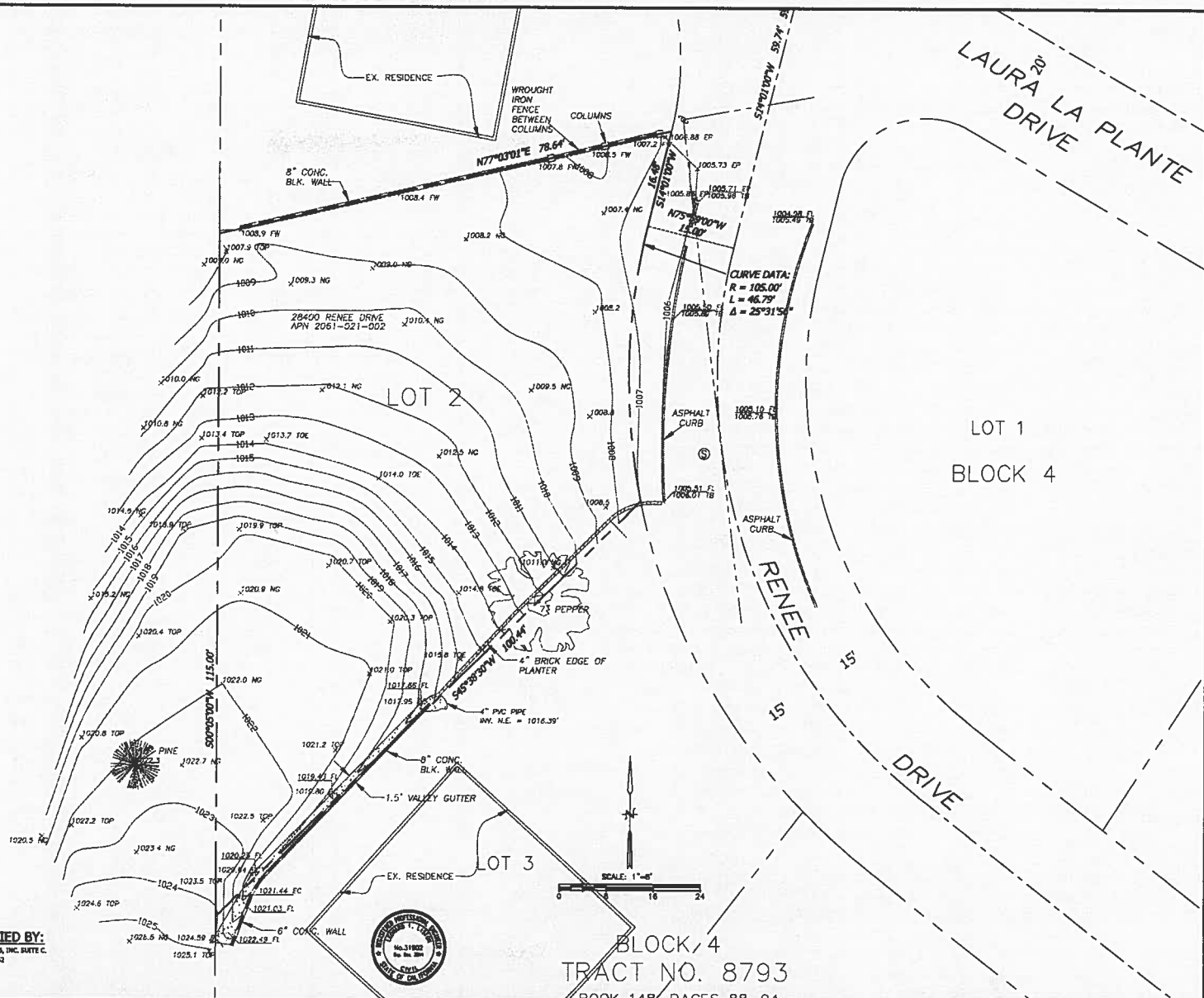
FLOOD ZONE

THIS PROPERTY LIES WITHIN FLOOD ZONE "X" - AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVES FROM 1% ANNUAL CHANCE FLOOD PER FIRM COMMUNITY PANEL NO. 90022C0037, DATED SEPTEMBER 26, 2006.

UNDERGROUND SERVICE ALERT

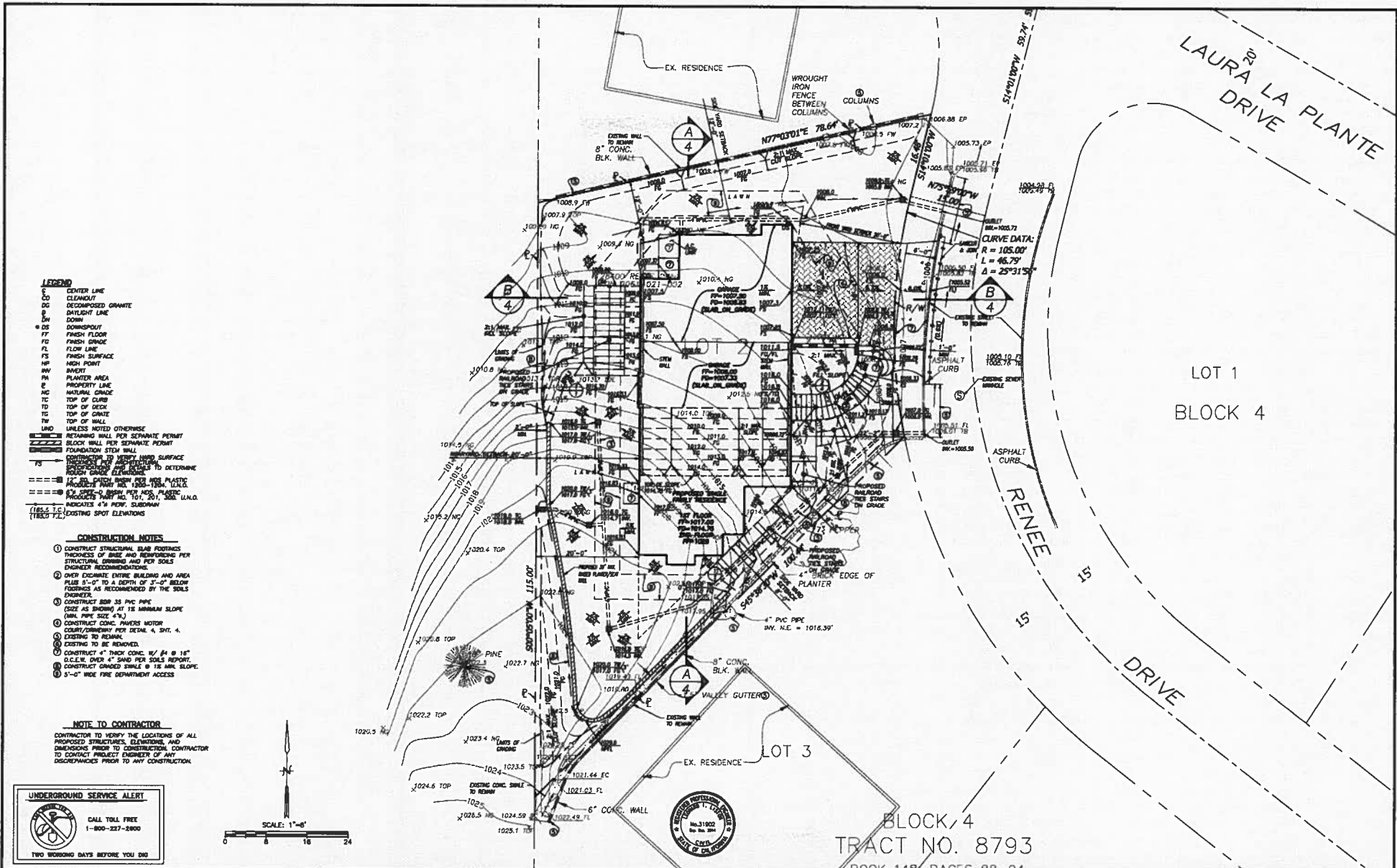
CALL TOLL FREE
1-800-227-2800
TWO WORKING DAYS BEFORE YOU DIG

SURVEY SUPPLIED BY:
 CHRIS NELSON & ASSOCIATES, INC. SUITE C
 WESTLAKE VILLAGE, CA 91362
 (818) 991-1040



BLOCK 4
 TRACT NO. 8793
 BOOK 148 PAGES 88 - 94

<p>PREPARED BY: LC ENGINEERING GROUP, INC. 10000 W. CENTRAL EXPRESSWAY, SUITE 100 WESTLAKE VILLAGE, CA 91362 (818) 991-1040</p>		<p>CITY OF AGOURA HILLS APPROVAL</p>		<p>PROJECT ENGINEER: RCE 31902 DATE: _____</p>		<p>REVIEWED BY: _____ DATE: _____</p>		<p>APPROVED BY: KAMRRO E. ADEVA II CITY ENGINEER DATE: _____</p>		<p>AGOURA HILLS</p>		<p>TOPOGRAPHIC SURVEY TEXIDOR 28400 RENEE DRIVE AGOURA HILLS, CA. 91301</p>	
REV	BY/MDL	DESCRIPTION OF CHANGE	RCE	DATE	PROJECT ENGINEER	RCE 31902	DATE	REVIEWED BY	DATE	KAMRRO E. ADEVA II	CITY ENGINEER	DATE	PROJECT NO.



- LEGEND**
- C CENTER LINE
 - CO CLEANOUT
 - CG DECOMPOSED GRANITE
 - DL DAYLIGHT LINE
 - DN DOWN
 - DS DOWNSPOUT
 - FF FINISH FLOOR
 - FD FINISH GRADE
 - FL FLOW LINE
 - FS FINISH SURFACE
 - HP HIGH POINT
 - HW HATCH
 - PA PLANTER AREA
 - P PROPERTY LINE
 - NG NATURAL GRADE
 - TC TOP OF CURB
 - TD TOP OF DECK
 - TC TOP OF CURB
 - TD TOP OF DECK
 - TG TOP OF GRANITE
 - TW TOP OF WALL
 - UNO UNLESS NOTED OTHERWISE

- REPAIRING WALL PER SEPARATE PERMIT
 BLOCK WALL PER SEPARATE PERMIT
 FOUNDATION STEEL WALL
 CONTRACTOR TO VERIFY SAND SURFACE
 THICKNESS OF SAND AND REINFORCING PER
 STRUCTURAL ENGINEER TO DETERMINE
 EXISTING WALL PER 1530-1538, I.L.D.C.
 6" x 6" S.P.C. BUSH PER MSS PLASTIC
 PRODUCTS UNIT NO. 101, 201, 300, I.L.D.C.
 INDICATES 4" PERV. SUBDRAIN
 (ELEV. 1.0) EXISTING SPOT ELEVATIONS

CONSTRUCTION NOTES

1. CONSTRUCT STRUCTURAL SLAB FOOTINGS THICKNESS OF BASE AND REINFORCING PER STRUCTURAL ENGINEER AND PER SOILS ENGINEER RECOMMENDATIONS.
2. OVER EXCAVATE ENTIRE BUILDING AREA PLUS 8"-0" TO A DEPTH OF 3'-0" BELOW FOOTINGS AS RECOMMENDED BY THE SOILS ENGINEER.
3. CONSTRUCT 200 35 PVC PIPE (SIZE AS SHOWN AT 1% MINIMUM SLOPE (MIN. PIPE SIZE 4").
4. CONSTRUCT CONC. PIPERS MOTOR COWL/DREINAGE PER DETAIL 4, SHT. 4.
5. EXISTING TO REMAIN.
6. EXISTING TO BE REMOVED.
7. CONSTRUCT 4" THICK CONC. 18" @ 18" O.C.E.W. OVER 4" SAND PER SOILS REPORT.
8. CONSTRUCT GRADED SWALE @ 1% MIN. SLOPE.
9. 5'-0" WIDE FIRE DEPARTMENT ACCESS.

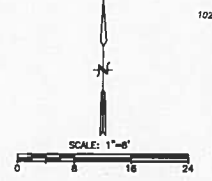
NOTE TO CONTRACTOR

CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

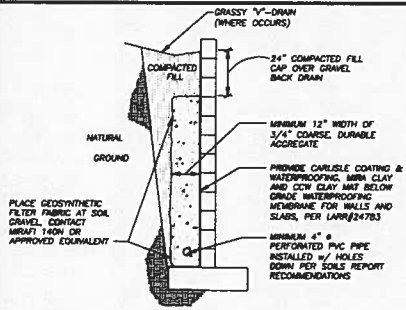
UNDERGROUND SERVICE ALERT

CALL TOLL FREE
 1-800-327-2800

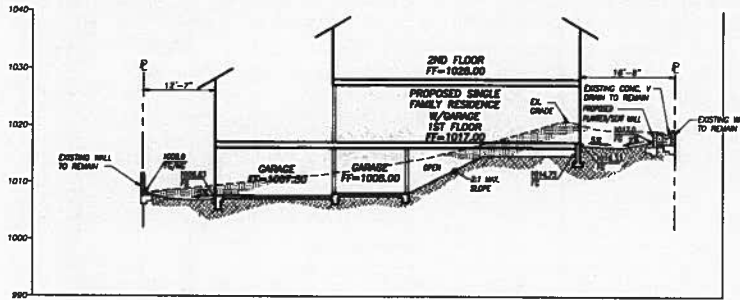
TWO WORKING DAYS BEFORE YOU DIG



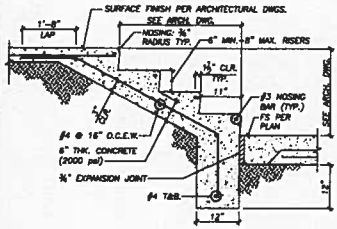
		CITY OF AGOURA HILLS APPROVAL		CITY OF AGOURA HILLS		GRADING AND DRAINAGE PLAN TEXIDOR 28400 RENEE DRIVE AGOURA HILLS, CA. 91301	
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	PROJECT ENGINEER	RCE 91902	DATE
					REVIEWED BY	RAMIRO E. ADRIANA II	CITY ENGINEER



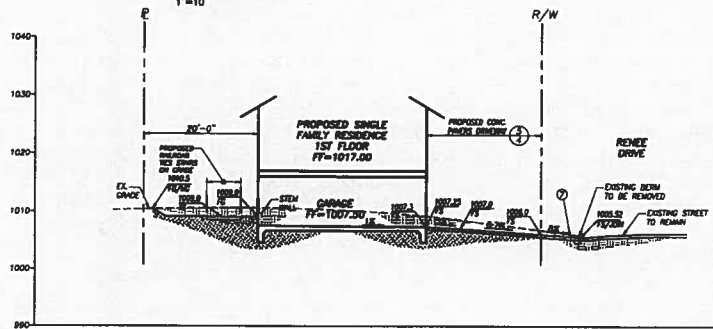
DETAIL NO. 1 BACKFILL
N.T.S.



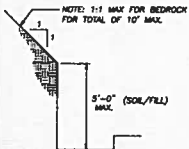
SECTION A
T=10



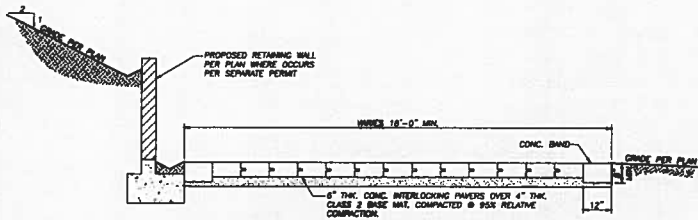
DETAIL NO. 2 CONCRETE STAIRS ON GRADE
N.T.S.



SECTION B
T=10



DETAIL NO. 3 TEMPORARY EXCAVATION
N.T.S.



DETAIL NO. 5 CONCRETE DRIVEWAY
N.T.S.



				PREPARED BY: LC ENGINEERING GROUP, INC. <small>REGISTERED PROFESSIONAL ENGINEERS</small>				CITY OF AGOURA HILLS APPROVAL				CROSS SECTIONS & DETAILS TEXIDOR 28400 RENEVE DRIVE AGOURA HILLS, CA. 91301			
REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO E. ADEVA M	DATE	SESS	RECEIVED	SESS	EXP. DATE	PROJECT NO.	SHEET 4 OF 7



**CONDITIONAL USE PERMIT
CASE NO. 13-CUP-009 AND
VARIANCE CASE NO. 14-VAR-001**

**FOR THE PROPERTY LOCATED AT
28400 RENEE DRIVE, AGOURA HILLS**

EXHIBIT G

**PHOTGRAPHS OF APPLICANTS' LOT AND
SURROUNDING PARCELS**







