CITY OF

AGOURA HILLS

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE:	July 16, 2015
TO:	Planning Commission
APPLICANTS:	Vineet and Annette Sharma 29617 Canwood Street Agoura Hills, CA 91301
CASE NOS.:	CUP-01014-2014 and OTP-01015-2014
LOCATION:	5952 Lapworth Drive
REQUEST:	Request for a Conditional Use Permit to construct a 4,712 square foot, two-story, single-family residence with a 692 square foot attached garage, and a swimming pool; a request for an Oak Tree Permit to encroach within the protected zone of one off-site Oak tree for the proposed construction; and making a finding of exemption under the California Environmental Quality Act.
ENVIRONMENTAL DETERMINATION:	Exempt from the California Environmental Quality Act (CEQA) per Section 15303 of the CEQA Guidelines.
RECOMMENDATION:	Staff recommends the Planning Commission approve Conditional Use Permit Case No. CUP-01014-2014 and Oak Tree Permit Case No. OTP-01015-2014, subject to conditions, based on the findings of the attached draft Resolution.
ZONING DESIGNATION:	RV-OA-EQ (Very Low Density Residential-Old Agoura Design-Equestrian Overlay District)
GENERAL PLAN DESIGNATION:	RV – (Very Low Density Residential)

I. PROJECT BACKGROUND AND DESCRIPTION

On August 2, 2007, the Planning Commission approved a Conditional Use Permit application to build a 5,376 square foot, two story, single-family residence with a 910 square foot attached garage, a swimming pool and a 1,446 square foot detached garage and barn on a 1.38 acre parcel located on the northeast corner of Balkins Drive Lapworth Drive. An Oak Tree Permit was also approved to allow encroachment within the protected zone of one Oak tree for the proposed construction.

The property has remained vacant and has been sold to Vineet and Annette Sharma, who are requesting approval of a Conditional Use Permit (CUP) to construct a new 4,712 square foot, two-story, single-family residence with a 692 square foot, attached three-car garage and a swimming pool in the Very Low Density Residential-Old Agoura Design-Equestrian Overlay (RV-OA-EQ) zoning districts. The project will encroach within the protected zone of one off-site oak tree for the proposed construction, which requires approval of an Oak Tree Permit.

This hillside lot rises 48 feet in elevation from the average street elevation (96 feet) of Balkins Drive to the average rear or north elevation (144 feet) of the lot, with an average slope of 19.84%. New single-family homes are subject to review by the Planning Commission. Since the parcel has an average topographic slope that exceeds 10% (19.8%), the project is subject to the City Hillside Ordinance standards and, therefore, requires approval of a Conditional Use Permit application.

The proposed single-family residence is a permitted use in the Very Low Density Residential (RV) zone and will meet the required development standards, relative to lot coverage, height and building setbacks. Listed below are the proposed development data pertaining to the project:

Pertinent Data

	Proposed	Allowed/ Required
1. Lot Size:	1.38 acres (existing) (59,983 sq. ft.)	1 acre min. (43,560 sq. ft.)
2. Building Height:	32 ft.	35 ft. max.
3. Building Sizes:		
First Floor	1,043 sq. ft.	N/A
Second Floor	3,669 sq. ft.	N/A
Total House Area	4,712 sq. ft.	
Attached Garage	692 sq. ft.	N/A
Covered Patio	604 sq. ft.	N/A
Total Attached Structures	1,296 sq. ft.	

4. Bldg. Lot Coverage:

Residence	3,669 sq. ft.	
Attached Garage	692 sq. ft.	
Covered Patios	302 sq. ft.	
Swimming Pool	748 sq. ft.	
Pool Deck	1,836 sq. ft.	
Driveway/Motorcourt	3,653 sq. ft.	
Hardscape/Walkways	968 sq. ft.	
Total	11,868 sq. ft. (19.8%)	Max. 25% (14,996 sq, ft.)

5. Building Setbacks from Property Lines:

Front (South)	308 ft.	25 ft. min.
Rear (North)	48 ft.	25 ft. min.
Left Side (West)	22 ft.	12 ft. min.
Right Side (East)	24 ft.	12 ft. min.

6. No. of Oak Trees:

On-Site	15	N/A
Off-Site	4	N/A

7. Average Topographic Slope: 19.84% N/A

II. STAFF ANALYSIS

Site Plan

The proposed residence and attached garage, which occupies 7.8 percent of the lot, has been proposed to be situated in the lower, flatter portion of the 59,983 square foot parcel, near the northeast end of the lot, thereby protecting on-site Oak trees and reducing the amount of grading of the site, while exceeding the minimum yard setback distances for the RV zone. The lot includes a proposed lower floor elevation of 127 feet, which is 8 feet below Lapworth Drive. The applicants are also proposing a 604 covered loggia at the rear of the residence. The 748 square foot swimming pool is proposed 15 feet from the covered patio at the northeast portion of the property. The front of the house faces southwest. Although the house is oriented toward Lapworth Drive to the west, for zoning standard purposes, Balkins Drive is considered to be the frontage street as the south property line is the narrowest in length of the two street frontages. The 20-foot wide driveway access to the three (3) car garage, located at the front of the house, is provided from Lapworth Drive. Existing hillside single-family homes are present on the adjacent properties located to the west, east and south of the subject property. The adjacent property to the north of the lot is vacant. The Los Angeles County Fire District has tentatively approved their Site Plan for the required access.

The footprint of the proposed residence, attached garage, swimming pool and the hardscape totals 11,868 square feet, or 19.8% of the lot area. The driveway by itself, including a required on-site fire truck turn-around area, would occupy 6.1% of the maximum lot coverage allowed by the Hillside Ordinance. The RV zone allows for a maximum 25% lot

coverage for lots that have an average slope of less than 10%. In addition, the Hillside Ordinance requires that at least 47.5% of the lot remain in undisturbed open space for parcels that have an average slope of 16-20%. Thus, the maximum amount of construction area should not exceed 52.5% of the lot. Currently the project meets this requirement because 80.2% of the parcel would remain undisturbed.

The Old Agoura Residential Design Guidelines recommends a maximum 5,319 square feet of floor area (8.9%) based on the size and topography of the lot. The applicant has proposed a floor area ratio (FAR) of 8.9% or 5,316 square feet. The 5,316 square feet is the same as the maximum recommended. The proposed residence is not the largest in the immediate neighborhood. Across Balkins Drive and to the west is a 5,420 square foot, two-story, single-family residence on a 1.01 acre parcel. Two lots directly to the east is a 5,324 square foot, two-story, single-family residence on a 2.56 acre parcel. On the southeast corner of Balkins Drive and Lapworth Drive is a 5,536 square foot, two-story, single-family residence on a 0.92 acre parcel. The proposed size of the applicant's residence is consistent with the most recently approved homes in the surrounding area.

The project was reviewed for compliance with the Equestrian Overlay District, which requires properties to accommodate for a potential horse keeping area of at least 1,500 square feet in size that could include a 144 square foot covered stall with a corral and a 150 square foot area for hay and tack storage. Furthermore, the location of the equestrian area must be accessible from the street for veterinary care and the delivery of supplies. The proposed site plan shows a horse keeping area in the southern portion of the property, which includes an area approximately 3,000 square feet in size, which would be able to accommodate horse facilities and meet the Old Agoura Design Overlay requirement for equestrian use of the property. The proposed horse keeping area could be assessed from Lapworth Drive, or from the proposed on-site driveway. The applicants not proposing fencing around the property at this time.

Architectural Design

As the property is also located within the Old Agoura Design Overlay District, which calls for the preservation of the semi-rural character of the community and promotion of the natural environment with the utilization of natural materials and earth-tone colors. The applicant is proposing Mediterranean/Spanish style architecture that includes earth-tone building materials of beige colored stucco exterior walls with a smooth finish, brown trim, a clay tile roof, exposed wood beams and decorative corbels/rafter tails. The residence will have a prominent arched entryway and two chimneys with a natural stone façade. Decorative arches are proposed on each side of the front entrance with the actual walls set back, providing depth/dimension to the structure, while avoiding the appearance of large blank walls. The roof is designed using multi-level roof lines. Proposed garage doors are decorative, wood-finished garage doors that closely resemble barn door. A decorative color stamped concrete driveway and motor court with semi-permeable interlocking pavers is proposed at the entrance (first 10 feet) of the driveway.

The proposed residence is positioned parallel to Lapworth Drive. The most prominent elevation visible from the street (Lapworth Drive) will be the southwest elevation, which

from Lapworth drive appears to be a single story. The overall height of the proposed residence is 32 feet, not exceeding the maximum height of 35 feet allowed for a residence in the RV zone. The City Architectural Review Panel (ARP) found the architectural style of the proposed residence to be in keeping with the Old Agoura Design Overlay requirements and the City Architectural Design Guidelines and Standards. The Old Agoura Homeowners Association has also reviewed the project. A copy of their letter is attached to the report for the Commission's review.

Engineering Department

The Engineering Department has reviewed the proposed Grading Plan and will require Lapworth Drive, which is a private street, to be improved along the west property line. The street improvements are to include 20 feet of pavement and an asphalt curb along the entire side of the property on Lapworth Drive. No improvements are required for Balkins Drive.

The subject property is situated on a considerably sloped area and receives no offsite flow from the adjacent road or properties. Currently, all of the runoff generated from the property flows to the south, towards Balkins Drive. In an effort to comply with the City of Agoura Hills recently adopted Low Impact Development (LID) requirements the applicant is proposing a bio-filtration pond system on the southern portion of the lot. The runoff from the property will be conveyed to a bio-filtration pond area. Once the water is cleaned through the pond area, it will outlet onto Balkins Drive where it will then sheet flow down the street. Final street plans and drainage plans will be subject to approval by the City Engineer prior to issuance of a building permit.

Grading required for the proposed project includes 906 cubic yards of cut, 1,117 cubic yards of fill and 212 cubic yards of import to create the building pad elevations, access driveway, and useable yard areas. Proposed grading will require retaining walls to support the driveway and walkway area on the south side of the residence. The retaining wall proposed at the westerly edge of the driveway will begin with a height of three feet at the southerly end and ends at a maximum height of six feet. A three to four foot stem wall is proposed along the easterly edge of the driveway. An additional stem wall is proposed to supporting the walkway on the south side of the residence and will remain under six feet.

An onsite sewer disposal system is proposed on the middle portion of the property to serve the residence. The location, at the south side of the proposed residence, and feasibility of the septic system has been tentatively approved by the Los Angeles County Health Department.

The City's Geotechnical Consultant has reviewed the geotechnical reports prepared for this project and recommends that the project be approved from a geotechnical perspective at the planning stage. Construction traffic and related vehicular routes will also be reviewed by the City Engineer prior to the issuance of a grading permit, with the intent to minimize impacts to the neighbors.

Oak Trees and Landscaping

Located on the site are 15 protected oak trees. Four off-site oak trees are located on the adjacent property to the north. The current plans indicate that encroachment would be required within the protected zone of one off-site Coast Live Oak tree (Quercus agrifolia) located at the northwest boundary of the site in order to construct an asphalt curb along the edge of Lapworth Street. This encroachment would amount to approximately three percent of the oak tree's protected zone and the work, if performed carefully using hand tools, as conditioned, would allow for preservation of the tree.

Since the topographic slope of the property exceeds 10%, the applicant is required to prepare a landscape plan for the City's review. The preliminary landscape plan was reviewed by the City Landscape Consultant, who recommends that the applicant submit final, detailed landscape and irrigation plans for review by the City Landscape Consultant and the Planning Director prior to building permit issuance, and subject to attached conditions. The final plans will be reviewed for slope stabilization and the incorporation of native plant species.

Environmental Review

Upon review of this project by the City Environmental Analyst, no environmental impacts have been identified for construction of the project. The project has been determined to be Categorically Exempt from the California Environmental Quality Act per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence.

III. RECOMMENDATIONS

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. CUP-01014-2014 and Oak Tree Permit Case No. OTP-01015-2014, subject to Conditions, based on the findings of the attached Draft Resolution.

IV. ATTACHMENTS

- Conditional Use Permit Draft Resolution and Conditions
- Letter from Old Agoura Homeowners Association
- Colored Elevations of the Residence and Colors and Material Board
- Vicinity Map
- Reduced copies of project plans
- Photographs of applicants' lot and surrounding parcels

Case Planner: Renee Madrigal, Associate Planner

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-01014-2014 FOR THE CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE AT 5952 LAPWORTH DRIVE; A OAK TREE PERMIT CASE NO. OAK-01015-2014 TO ENCROACH WITHIN THE PROTECTED ZONE OF ONE OFF-SITE OAK TREE FOR THE PROPOSED CONSTRUCTION; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Vineet and Annette Sharma with respect to the real property located at 5952 Lapworth Drive (Assessor's Parcel Number 2055-022-091), requesting the approval of a Conditional Use Permit (Case No. CUP-01014-2014) to construct a 4,712 square-foot, two-story, single-family residence with a 692 square foot attached three-car garage and a swimming pool, and an Oak Tree Permit (Case No. OAK-01015-2014) to encroach within the protected zone of one off-site Oak tree for the proposed construction. A public hearing was duly held on July 16, 2015, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California; and that notice of time, date and place and purpose of the aforesaid was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission of the aforesaid public hearing.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to the Agoura Hills Municipal Code Section 9673.2.E, that:

A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The proposed project is located within the Very Low Density Residential–Old Agoura Design-Equestrian Overlay (RV-OA-EQ) zoning districts, which allows for the development of single-family residences. The City's minimum development standards have been met for the proposed two-story residence with regard to lot coverage, building height, and building setbacks from the property lines.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The proposed building design and building materials of the residence that include beige colored stucco with brown trim, stone, and a clay tile roof, exposed wood beam, corbels/rafter tails and wrought iron railing, are compatible with the neighboring

structures and the topography of the property. The residence is located in the flatter portion of a sloped lot to minimize grading and to reduce visual impacts as viewed from Lapworth Road. The project was reviewed by the City's Architectural Review Panel and was found to be in compliance with the City's Architectural Design Guidelines and standards of the Old Agoura Design Overlay District.

C. The proposed use, as conditioned, and the conditions under which the project will be operated or maintained will not be detrimental to the public health, safety or welfare, in that the proposed use will ensure adequate light, air and privacy, and open space to surrounding properties. The proposed two-story structure is situated in the flatter portion of the on-site hillside slope, which will preserve the views and privacy of the surrounding properties. The project complies with the maximum allowable building height limitations of hillside properties. Geological, geotechnical, and drainage studies, as well as landscape plans, have been provided and approved by the City's Consultants. Vehicular access to the property will be provided via Lapworth Drive. The applicant will be required to construct the project in full compliance with the City's Building Code. A private septic system will serve the 1.38 acre parcel and has been tentatively approved by the Los Angeles County Health Department.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. The project meets the development standards of the underlying zone relative to the required lot coverage, building height, and building setbacks. The incorporation of permeable or semi-permeable driveway and hardscape materials and bio-filtration area will reduce runoff.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community in that the project will meet the minimum yard setback requirements for the RV zone. The residence will be placed an appropriate distance from Lapworth Drive, to preserve public views. The distance to the closest home is approximately 45 feet.

F. The proposed use, as conditioned, is consistent with the City's General Plan. The proposed residence is located and designed to incorporate the existing terrain into the site plan to the maximum extent possible to minimize grading and to preserve view sheds, as called for in Policy Section LU-8.3 of the General Plan. The difference in elevation from the street is approximately 12 feet.

Section 4. The Planning Commission finds, pursuant to Section 9652.15.A of the Agoura Hills Municipal Code, which establishes special regulations for hillside development areas, that:

A. The proposed project is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood mud flow, erosion hazards or other hazards. A geotechnical report has been approved by the City Geological Consultant, which is recommended for approval at a planning feasibility

stage. Final geotechnical reports are required for review by the City prior to grading permit issuance.

B. The proposed project is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project does not protrude above protected ridgelines and will not significantly block neighbors' views.

C. The proposed project can be provided with essential public services and is consistent with the objectives and policies of the general plan. All utility services will be brought to the parcel without interference to the existing infrastructure.

D. The proposed development will complement the community character and benefit current and future community residents. The proposed house and lot size are consistent with the average neighboring homes.

Section 5. The project is a request for one single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) and is not subject to a negative declaration or environmental impact report.

Section 6. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. CUP-01014-2014 and Oak Tree Permit Case No. OAK-01015-2014, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 16th day of July 2015, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

_____
Linda Northrup, Chairperson

ATTEST:

_____
Doug Hooper, Secretary

CONDITIONS OF APPROVAL
(Case Nos. CUP-01014-2014 and OAK-01015-2014)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.

2. The approval of this permit shall not be effective for any purpose until the applicants have agreed in writing that they are aware of, and accepts, all Conditions of this Permit with the Department of Planning and Community Development.

3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plans, and Landscape Plan.

4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.

5. It is hereby declared to be the intent that if any provision of this Permit is held or declared invalid, the Permit shall be void and the privileges granted hereunder shall lapse.

6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.

7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.

8. No occupancy shall be granted for any new building until all Conditions of Approval have been complied with as determined by the Director of Planning.

9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.

10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.

11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless this permit is used within two (2) years from the date of City approval, Conditional Use Permit Case No. CUP-01014-2014 and Oak Tree Permit Case No. OAK-01015-2014 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.

13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is $1.41/$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.

14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is $3.36 per square foot for residential construction.

15. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.

16. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning.

17. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.

18. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

19. All exterior materials used for eaves, sidings, porch, patio, decks, carport and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).

20. A Soils Report is required to be submitted for this project.

21. The applicant shall note on the plans that all new or replaced windows will be tempered on at least one side of the dual pane, or a 20 min rated window or glass blocks per Section 704A.3.2.2 of the 2010 California Building Code.

22. This project is subject to the 2013 California Building, Mechanical, Plumbing, Electrical, and Energy Codes.

23. As part of the permitting process and prior to building permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Plumbing, Energy Plans, plans shall be submitted to the Building and Safety Department for plan review and approval.

24. Per AQMD Rule 445 only fireplaces fueled by gas (such as gas logs) may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted.

25. Fire Sprinklers will be required for this project per Section 903.2, Article VIII of the Agoura Hills Municipal Code (AHMC)

26. The size and depth of the septic tank shall be indicated to verify that the elevation and the size can work with the proposed structure. Los Angeles County Health Department approval is required for installation of any septic tanks, leach fields or seepage pits.

27. Handrails shall be required for exterior stairs with four (4) or more risers (2013 California Residential Code Section 311.7.8).

28. Hillside setbacks shall be met per AHMC 1805.3.2.

29. Built in BBQ's shall be 3 feet away from any combustible materials unless the material above is non-combustible or fire rated.

30. Los Angeles County Fire Department review and approval will be required for all new structures.

31. Pool fencing shall be provided. If utilizing the parameter fencing for this purpose, the fence must meet the pool fencing requirement for the height, type, latch and swing of door, etc.

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

32. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.

33. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.

34. Applicants shall pay a Transportation Impact Fee (TIF) in the amount of $3,094 to the Building and Safety Department prior issuance of grading permit.

35. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.

36. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.

37. The Grading Plan shall show locations of all Oak trees, if any, within the vicinity of the site. Applicants shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak tree Consultant's conditions of approval, if any.

38. Prior to permitting, the applicants shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original Mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.

39. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.

40. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the City Engineering Department at (818) 597-7322 for approved City certification forms.

41. Building Permits shall not be issued until the applicant has obtained septic system approval from Los Angeles County Health Department.

42. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The project is required to install an asphalt concrete berm and widen the asphalt concrete pavement on Lapworth Drive to provide a 20 foot minimum paved surface along the entire west property line, install a new driveway approach with concrete pavers, and all water appurtenances per LVMWD standards.

43. The following existing street being cut for new services or being finish with curb and gutter may require an asphalt concrete overlay: Lapworth Drive along the entire westerly property line.

44. This property is within the Las Virgenes Municipal Water District (LVMWD) service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.

45. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.

46. A hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual, is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.

47. The project shall be subject to the Low Impact Development (LID) requirements of Chapter 5 of Article V of the Agoura Hills Municipal Code.

48. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:

    a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
    b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
    c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
    d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.

49. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.

50. All remaining fees/ deposits required by the Engineering Department must be paid in full prior to issuance of grading permit.

51. All requirements including construction of improvements covered in condition number 43 must be completed to the satisfaction of the City Engineer.

52. The applicants' Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (as-built) Drawings, satisfactory to the City, are submitted.

53. The applicants shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.

54. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.

55. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL CONDITIONS

56. The applicants shall comply with all the City Geotechnical Consultant's (GeoDynamics, Inc.) Conditions of Approval letter dated April 9, 2015.

OAK TREE CONDITIONS

57. The applicant is permitted to encroach within the protected zone of Oak Tree Number OS-4 to construct the asphalt berm in accordance with the approved plans.

58. All excavation within the protected zone of Oak Tree Number OS -4 shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant. Light construction equipment may be utilized with prior approval of the City Oak Tree Consultant.

59. The final design of all retaining walls shall utilize a foundation, construction and drainage detail that does not require encroachment into the protected zone of any oak tree in order to construct the project.

60. Prior to the start of any work or mobilization on the site, each oak tree shall be fenced at the edge of the protected zone in accordance with Article IX, Appendix A, Section V.C.1.1.

The City Oak Tree Consultant shall approve the fencing locations and installation prior to the start of work on the site.

61. No grading, scarifying or other soil disturbance shall be permitted within any portion of the protected zone of any oak tree.

62. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time.

63. Prior to occupancy, each oak tree shall be mulched throughout the dripline with three inches of approved organic mulch.

64. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree Consultant and the Planning Director.

65. Within ten calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak trees at that time.

66. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified tree trimmer under the direct observation of an ISA-certified arborist. Pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.

67. No herbicides shall be used within 100 feet of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.

68. The applicant shall also comply with all recommendations contained in the Oak Tree Report prepared by James Dean, ASLA, as revised April 22, 2015.

69. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

LANDSCAPING CONDITIONS

70. The landscape plans shall substantially conform to the Landscape Concept Plan prepared by Olwyn Kingery Landscape Design as approved by the City of Agoura Hills Planning Commission.

71. Any tree of heaven (Ailanthus altissima) is to be permanently eradicated. The landscape plans must contain a note to this effect and specify the method of eradication.

72. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:

    - Site Plan
    - Elevations
    - Grading Plan
    - Conditions Of Approval

73. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements, for review by the City Landscape Consultant and approval by the Planning Director.

    a. A California-licensed landscape architect shall prepare, stamp and sign the plans.

    b. All plans shall be legible and clearly drawn.

    c. Plans shall not exceed 30 inches by 42 inches in size. Plans shall be a minimum of 22 inches by 36 inches in size.

    d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals 20 feet, unless approved by the City Landscape Consultant.

    e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.

    f. The project identification number shall be shown on each sheet.

    g. The plans shall accurately and clearly depict the following existing and proposed features:

        - Landscape trees, shrubs, ground cover and any other landscaping materials
        - Property lines
        - Streets, street names, rights-of-way, easements, driveways, walkways, bicycle paths, and any other paved areas
        - Buildings and structures
        - Parking areas, including lighting, striping and wheel stops
        - General contour lines

- Grading areas, including tops and toes of slopes
- Utilities, including street lighting and fire hydrants
- Natural features, including watercourses, rock outcroppings

74. The Planting Plan shall indicate the botanical name and size of each plant.

75. Plant symbols shall depict the size of the plants at maturity.

76. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Planning Director.

77. The landscape plans shall prominently display the following notes:

    a. All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.

    b. All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".

    c. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.

78. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.

79. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.

80. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:

    a. Design and static pressures

    b. Point of connection

    c. Backflow protection

    d. Valves, piping, controllers, heads, quick couplers

    e. Gallon requirements for each valve

81. Three copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.

82. Native, drought resistant plants shall be utilized on any slopes in accordance with the Old Agoura Design Overlay District requirements.

83. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.

84. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.

85. All plant material shall be considered compatible with Sunset Zone 18.

86. The final plans shall not include any palm species.

87. The Landscape Plan shall be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department prior to the issuance of building permits.

88. A complete Landscape Documentation package shall be provided at the time of initial plan check submittal, prepared in accordance with Article IX, Section 9658.6 – Water Efficient Landscaping, contained in the Zoning Code.

FIRE DEPARTMENT CONDITIONS

89. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a building permit.

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

90. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.

91. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic

yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

92. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

SPECIAL CONDITIONS

93. A pre-construction conference shall be held prior to the issuance of a grading permit, with all construction personnel involved with the grading operations.

END

Old Agoura Home Owners Association
Planning and Zoning Committee

October 15, 2014

Attn: City of Agoura Hills Planning Dept.

Re: 5952 Lapworth Drive

The Planning and zoning committee, from the Old Agoura Home Owners Association has visited the subject site, and reviewed the plans dated 08/19/2014 by Ignacio Roderiguez Design Consultants.

The proposed project consist of a new house, which stated, will be under the maximum square footage, and lot coverage allowed. The house, has been located to minimalize grading, and tall retaining walls. The maximum height appears to comply with the Old Agoura Design requirements.

The plans show, a proposed pool being located at the north most part of the property. Also shown, is a future horse keeping facility at the south most part of the property. This future horse facility location, is fairly flat and will provide good vehicle access for feed and other horse activities.

The Project has nice design elements, and articulation. The rafter beams and railings, along with the Spanish style architecture, work well with the neighborhood. Overall, the proposed residence is consistent, with the Old Agoura design overlay.

We recommend approval of the project, and would like to see the following:

1- Smooth or steel trowel texture stucco.
2- Warm earth tone colors with accent colors on the wood work and railings.
3- Colored, stamped concrete to soften the impact of the large motor court, needed to comply with the fire department.
4- Opportunity to review proposed fencing and gates they are planning on using in the front of the property.

Thank you for the opportunity to comment on this project. Please feel free to call if the Planning commission or the applicant has any questions. We can be reached at 818-599-6842.

Thank you.
DANIEL FARKASH

Phil Ramuno
Daniel Farkash
Mike Colabella

Sharma Residence

5952 Lapworth Dr. Agoura Hills CA 91301

Roof - Rafters & Exposed Beams

Saddle Brown transparant

Roof - US Tile

1-Piece 'S' Clay Tile

Tusino Blend

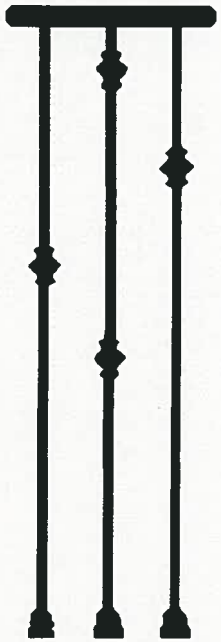
Stucco

La Habra Standard - 'Egg Shell' 73 (76) Base 100

Smooth 'Santa Barbara Mission' Finish

Arches and Chimney Stone

Santa Barbara Sandstone Mix



Wood Stain for Garage Doors

'dark brown transparent'

Driveway & Backyard Pavers

Angules - Antique Cobble (TUSCAN)

Motorcourt & Driveway

Baige Color 'saw-cut' concrete with decorative 'bands'

of matching 'Angelus Antique Cobble' Pavers

Backyard Staircase

Wrought Iron Railing with tuscan

style decorative beading

Conditional Use Permit Case No. CUP-01014-2014 and
Oak Tree Permit Case No. OAK-01015-2014 (Applicant: Sharma)

NEW 2-STORY RESIDENCE

5952 LAPWORTH DRIVE AGOURA HILLS, CA 91301

SCOPE OF WORK:

NEW 2-STORY RESIDENCE WITH 3 CAR PARKING, 1 RETAINING WALL AND A NEW POOL.

ABBREVIATIONS

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
A.F.F.	ABOVE FIN. FLOOR	MAX.	MAXIMUM
ALUM.	ALUMINUM	MECH.	MECHANICAL
@	AT	MET.	METAL
BATH	BATHROOM	MFR.	MANUFACTURER
BLD'G	BUILDING	MIN.	MINIMUM
BLK'G	BLOCKING	MISC.	MISCELLANEOUS
BOT.	BOTTOM	MNTD.	MOUNTED
B.R.	BEDROOM	MUL.	MULLION
CAB.	CABINET	NO.	NUMBER
CLG.	CEILING	N.I.C.	NOT IN CONTRACT
℄	CENTERLINE	N.T.S.	NOT TO SCALE
CLR.	CLEAR	O/	OVER
COL.	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	PLUMB.	PLUMBING
CONT.	CONTINUOUS	PLY.	PLYWOOD
DET.	DETAIL	PTN.	PARTITION
DIA.	DIAMETER	RAD.	RADIUS
DIAG.	DIAGONAL	REF.	REFERENCE
DIM.	DIMENSION	REFRG.	REFRIGERATOR
DN.	DOWN	REQ'D.	REQUIRED
DWG.	DRAWING	RM.	ROOM
EA.	EACH	R.O.	ROUGH OPENING
ELECT.	ELECTRICAL	SCHED.	SCHEDULE
ELEV.	ELEVATION	SECT.	SECTION
EQ.	EQUAL	S.F.	SQUARE FEET
EXT.	EXTERIOR	SHT.	SHEET
EXIST.	EXISTING	SIM.	SIMILAR
F.D.	FLOOR DRAIN	SPEC.	SPECIFICATION
FIN.	FINISH	STL.	STEEL
FXT.	FIXTURE	STOR.	STORAGE
FLUOR.	FLUORESCENT	STRUCT.	STRUCTURAL
F.O.C.	FACE OF COLUMN	SUSP.	SUSPENDED
F.O.S.	FACE OF STUD	SYM.	SYMMETRICAL
F.O.W.	FACE OF WALL	TEL.	TELEPHONE
GA.	GUAGE	TEMP.	TEMPERED
GL.	GLASS	THK.	THICKNESS
GYP.	GYPSUM BOARD	T.O.W.	TOP OF WALL
H.C.	HOLLOW CORE	T.O.P.	TOP OF PLATE
HDWR.	HARDWARE	TYP.	TYPICAL
HOR.	HORIZONTAL	U.L.	UNDERWRITERS LABORATORY
HR.	HOUR	U.N.O.	UNLESS NOTED OTHERWISE
HT.	HEIGHT	VERT.	VERTICAL
H.V.A.C.	HEATING VENTILATION AIR CONDITIONING	V.I.F.	VERIFY IN FIELD
INSUL.	INSULATION	W/	WITH
J-BOX	JUNCTION BOX	W/O	WITHOUT
LAM.	LAMINATE	W/C	WATER CLOSET
LAV.	LAVATORY	W.H.	WATER HEATER
LT.	LIGHT	W.P.	WATER PROOF
MAINT.	MAINTENANCE	W.R.	WATER RESISTANT
MAT.	MATERIAL		

SYMBOL LEGEND

- A1 — DOOR REFERENCE
- A — WINDOW REFERENCE
- 01 — KEYNOTE
- 1 — REVISION NUMBER
- REVISION CLOUD
- 0' - 0" FIN. FLR. — ELEVATION HEIGHT REFERENCE
- X / A6-X — DETAIL NUMBER / SHT. NO.
- X / A6-X — SECTION CUT NUMBER / SHT. NO.
- X / A6-X — ELEVATION NUMBER / SHT. NO.
- 2X FRAMING
- STEEL
- BATT INSULATION
- RIGID INSULATION
- STONE
- FINISHED WOOD
- ROUGH LUMBER CONTINUOUS MEMBER
- ROUGH LUMBER/BLOCKING
- CONCRETE
- PLYWOOD
- EXHAUST FAN
- A, B, C, D — X / A6-X — INTERIOR ELEVATION REFERENCE

GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REQUIREMENTS.
2. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS PRIOR TO PROCEEDING WITH WORK.
3. DO NOT SCALE DRAWINGS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS ARE SHOWN FROM FACE OF STUD OF EXISTING WALL UNLESS OTHERWISE NOTED.
4. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER TRADES OR SUBCONTRACTORS AND THEIR WORK TO ENSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.
6. CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY DEVICES, TEMPORARY BARRICADES, SCAFFOLDING, LIGHTING, COVERINGS, FIRE PREVENTION AND OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS ON THE PROPERTY THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS CLEANUP OF THE SITE OF ALL DEBRIS WHETHER CREATED BY HIS WORK OR THE FAILURE OF HIS SUBCONTRACTORS TO CLEAN UP AFTER THEIR WORK.
8. INSTALL APPROVED FIRE-RATED DAMPERS WHERE DUCTS PENETRATE FIRE RATED PARTITIONS, CEILING AND FLOOR ASSEMBLIES.
9. GENERAL CONTRACTOR TO ENSURE THAT ALL PARTITIONS ARE ATTACHED OR BRACED TO STRUCTURAL MEMBERS AND/OR SLAB ABOVE AS REQUIRED TO BE SAFE AND SECURE. SUPPORT LATERALLY AND SEISMICALLY AS REQUIRED BY APPLICABLE CODES.
10. ALL DRYWALL PARTITIONS TO BE STRAIGHT, TRUE, AND PLUMB IN FLAT EVEN PLANES, WITHOUT WAVANESS OR CRACKS. USE SPECIAL CARE IN PROVIDING TRUE AND FLAT SURFACES FOR FINAL FINISH BY OTHER BUILDING TRADES INCLUDING PAINTING, WALL COVERING, RESILIENT BASE, MILLWORK, AND TRIM.
11. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL LAWS, STATE STATUTES, LOCAL ORDINANCES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
12. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR COMPLYING WITH THE CONSTRUCTION SAFTEY ORDERS AND THE GENERAL INDUSTRIAL SAFTEY ORDERS OF THE STATE DIVISION OF INDUSTRIAL SAFTEY, HEALTH ADMINISTRATIONS AND SUCH OTHER AGENCIES GOVERNING THE CONTRACTORS ACTS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND HOLD HARMLESS THE DESIGNER FOR ANY DAMAGES AND / OR PENALTY RESULTING FROM HIS FAILURE TO COMPLY WITH SAID LAWS, STATUTES, ORDINANCES AND REGULATIONS.
14. THE DESIGN ADEQUACY AND SAFTEY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR
15. OBSERVATION VISITS TO THE SITE BY THE DESIGNER SHALL NOT INCLUDE THE INSPECTION OF THE ABOVE LISTED ITEMS.
16. SHOT PINS: OLMARK INDUSTRIES – PORTLAND, OREGON–ICBO #1280 OR #2415 OR APPROVED EQUAL 3/16" DIAMETER @ 24" O.C. MAX UNLESS NOTED OTHERWISE.
17. PROVIDE MUD-IN TYPE L-METAL (USG METAL TRIM 200A OR APPROVED EQUAL) FOR ALL EXPOSED EDGES OF GYPSUM WALLBOARD SURFACES AND WHERE WALLBOARD ABUTS OTHER MATERIALS.
18. ALL CONSTRUCTION SHALL COMPLY WITH THE 2013 EDITION OF THE CBC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION.
19. SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL, AND PLUMBING.
20. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA AND SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING.
21. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
22. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE.
23. WHEN REQUIRED BY THE BUILDING OFFICIAL, PROPERTY LINES SHALL BE ESTABLISHED IN THE FIELD BY A LICENSED SURVEYOR.

PROJECT INFORMATION

CONSULTANT LIST

DESIGNER: IGNACIO RODRIGUEZ
1327 S. WESTGATE AVE #201
LOS ANGELES, CA 90025
PHONE: 424.273.4850
EMAIL: [illegible]
CONTACT: IGNACIO RODRIGUEZ

CIVIL ENGINEER LC ENGINEERING GROUP
889 PIERCE CT, STE 101
THOUSAND OAKS, CA 91360
PHONE: 818.991.7148
EMAIL: MICHELLE@LCENGINEERING.COM
CONTACT: MICHELLE MEEHAN

SEPTIC ENGINEER BARTON SLUTSKE
630 ROOSEVELT CT
SIMI VALLEY, CA 93065
805.581.3931
EMAIL: LAHEALTHINSPCTOR@AOL.COM
CONTACT: BARTON

ARBORIST JAMES DEAN AS LA
223 E. THOUSAND OAKS BLVD STE 101
THOUSAND OAKS CA 91360
805.494.0623
EMAIL: JAMES@JAMESDEANCESIGN.COM
CONTACT: JAMES

LANDSCAPE ARCHITECT OLWYN KINGERY
P.O. BOX 780
NEWBURY PARK, CA 91320
805.279.323-358-5279
EMAIL: OLWYNKINGERY@YAHOO.COM
CONTACT: OLWYN

SOILS ENGINEER CALWEST GEOTECHNICAL
889 PIERCE CT, STE 101
THOUSAND OAKS, CA 91360
PHONE: 818.991.7148
EMAIL: ELI@LCENGINEERING.COM
CONTACT: ELI

GEOLOGIST LAND PHASES INC.
5158 COCHRAN ST.
SIMI VALLEY, CA 93063
PHONE: 805.522.5174
EMAIL: JAKE@LANDPHASES.COM
CONTACT: JAKE HOLT

SHEET INDEX

VICINITY MAP

PROJECT DATA / CODE COMPLIANCE

PROPERTY SQUARE FOOTAGE CALCULATIONS

PROPOSED

LOT AREA: 1.38 ACRES (59,983 SQ. FT.)
BUILDING HEIGHT: 29'-5 ½ "
SQUARE FOOTAGE
- LOWER FLOOR = 1,043 SQ. FT.
- UPPER FLOOR = 3,669 SQ. FT.

TOTAL 4,712 SQ. FT.

- GARAGE = 692 SQ. FT.
- COVERED LOGGIA = 604 SQ. FT.

TOTAL 1,296 SQ. FT.

MAX FAR 4,712+604+2= 5,318 SQ. FT. OK

CREDITS
- GARAGE = 690 SQ. FT.

ALLOWED / REQUIRED

1 ACRE MIN (43,560 SQ. FT.)
BUILDING HEIGHT: 35'-0 "
FLOOR AREA RATIO BASED ON LOT SIZE
- 5,200 SQ. FT. PLUS
- .02 X 19,982 = 399 SQ. FT.

MAX FAR BASED ON LOT 5,599 SQ. FT.

MINUS SLOPE FACTOR: AVERAGE SLOPE IS 20%
- 5,599 X .95 =

MAX FAR ALLOWED 5,319 SQ. FT.

LOT COVERAGE

MAX ALLOWED IS 25% OF LOT
59,983 X .25 = 14,990 SQ. FT.

UPPER FLOOR = 3,669 SQ. FT.
GARAGE = 692 SQ. FT.
LOGGIA = 302 SQ. FT.
POOL= 748 SQ. FT.
POOL DECK = 1,836 SQ. FT.
DRIVEWAY & MOTORCOURT = 3,653 SQ. FT.
HARDSCAPE/ WALKWAYS = 968 SQ. FT.

TOTAL = 11,868 SQ. FT. OK 19.8%

NO.	DATE
1	
2	
3	
4	
5	
6	

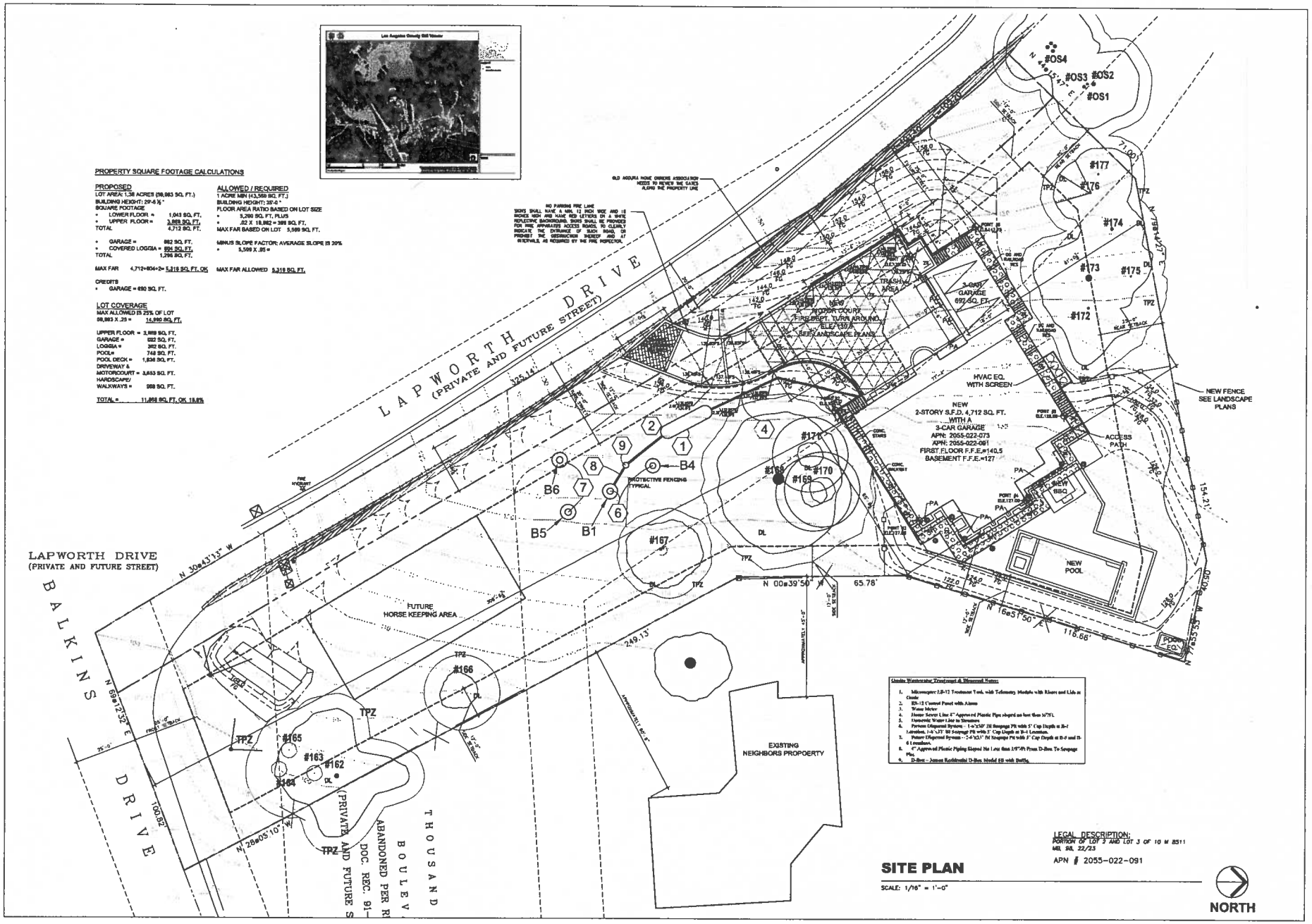
SUBMITTAL DATES:
OWNER:
PLAN CHECK:
O.T.A.

DESIGN:
IGNACIO RODRIGUEZ
DESIGN CONSULTANTS
5900 SAN JUAN AVE
ENCINO, CA 91316
Ph: 818.800.8389
Fax: 866.376.6216
Email: ignacio@ignacionodriguezdc.com

SHEET TITLE:
NEW RESIDENCE FOR:
VINEET AND ANNETTE SHARMA
5952 LAPWORTH DRIVE
AGOURA, CA

JOB NO: 2014.41.01
DATE: 03/16/2015
DRAWN BY: I.R.
APPROVED BY: I. R.

SHEET NO:
A0.0



REVISIONS			
1			
2			
3			
4			
5			
6			
NO.	DATE	NO.	DATE

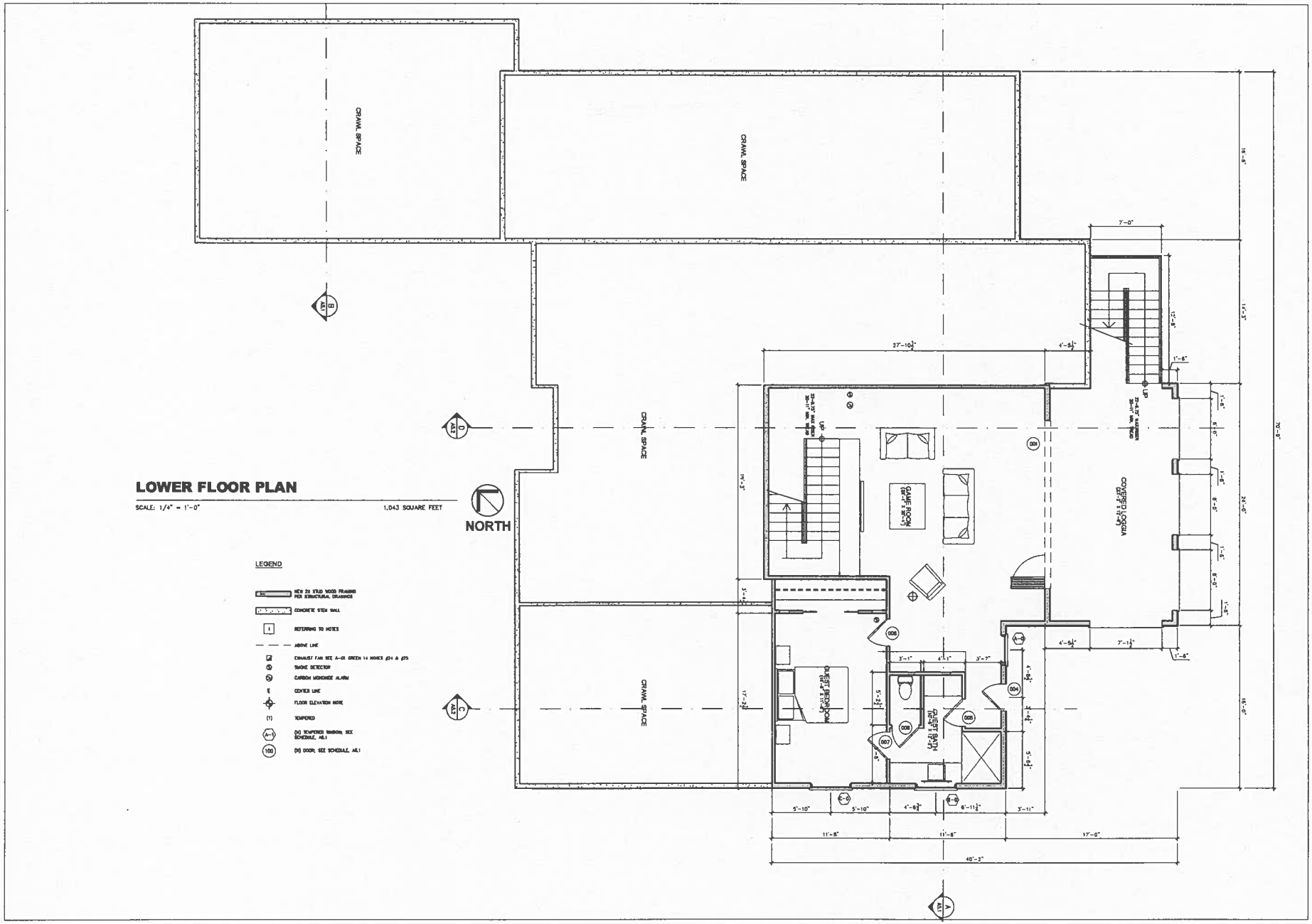
SUBMITTAL DATES:
OWNER:
PLAN CHECK:
O.T.B.

SHEET TITLE: SITE PLAN

NEW RESIDENCE FOR:
VINEET AND ANNETTE SHARMA
5952 LAPWORTH DRIVE
AGOURA, CA

DESIGN:
IGNACIO RODRIGUEZ
DESIGN CONSULTANTS
5800 ALDEA AVE.
ENCINO, CA. 91316
PH: 818.345.8000 Fax: 818.375.5316
Email: ignacio@ignacioandrodriguezdc.com

JOB NO: 2014.41.01
DATE: 03/16/2015
DRAWN BY: I.R.
APPROVED BY: I. R.
SHEET NO: A1.1



LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

1,043 SQUARE FEET

REVISIONS					
NO.	DATE	NO.	DATE	NO.	DATE
1		2		3	
4		5		6	

SUBMITTAL DATES:

OWNER:

PLAN CHECK:

O.T.B.

SHEET TITLE: LOWER FLOOR PLAN

NEW RESIDENCE FOR:

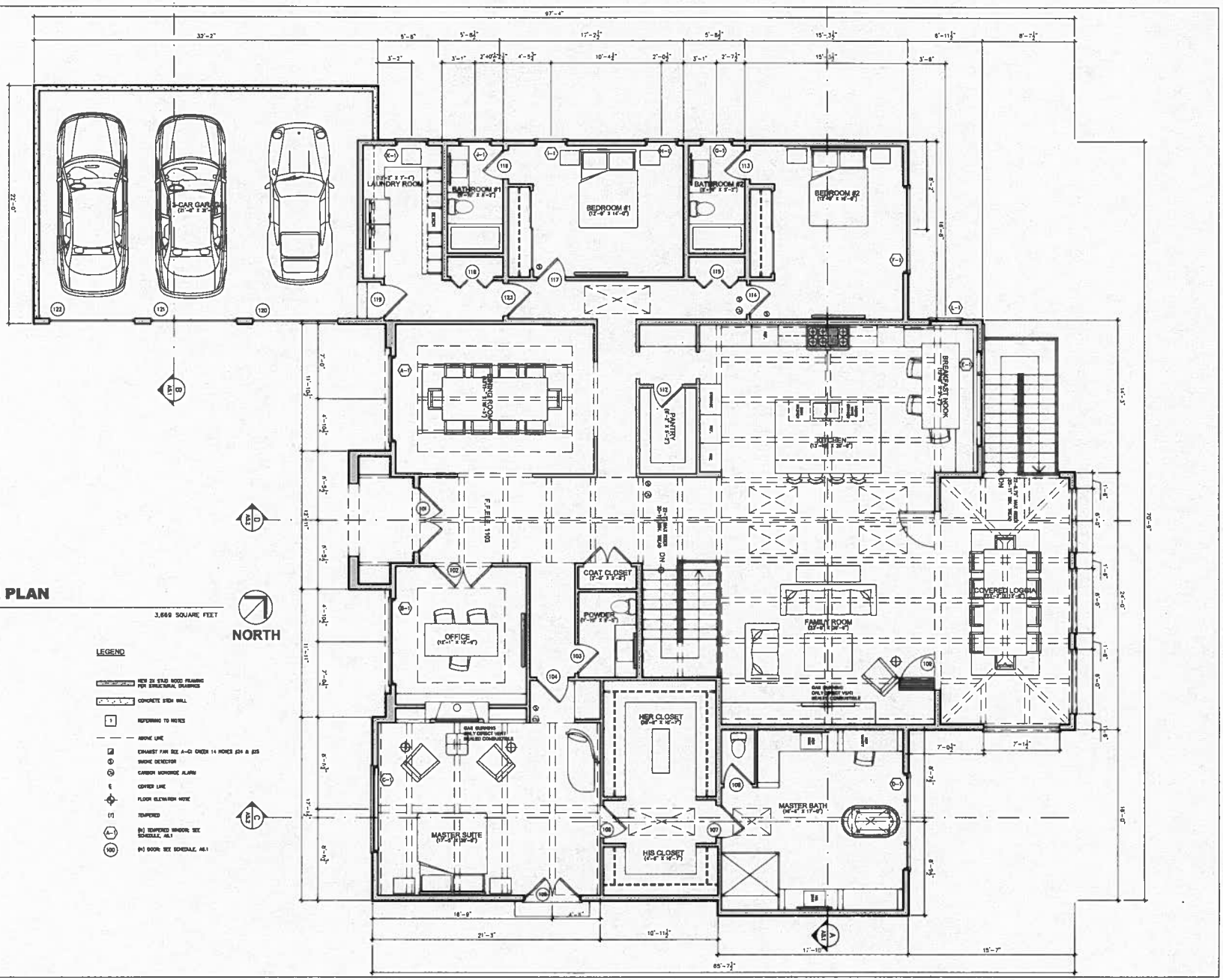
VINEET AND ANNETTE SHARMA
5952 LAPWORTH DRIVE
AGOURA, CA

DESIGN:
IGNACIO RODRIGUEZ
DESIGN CONSULTANTS
6900 ALDEA AVE.
ENCINO, CA 91316
Ph: 818.800.8288
Fax: 818.376.8218
Email: ignacio@ignacioarodriguezdesign.com

JOB NO:	2014.41.01
DATE:	03/16/2015
DRAWN BY:	I.R.
APPROVED BY:	I. R.

SHEET NO:

A2.0



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

3,669 SQUARE FEET

NORTH

LEGEND

- NEW 2X STUD WOOD FRAMING PER STRUCTURAL DRAWINGS
- CONCRETE STEM WALL
- REFERENCE TO NOTES
- ABOVE LINE
- EXHAUST FAN SEE A-CI CHECK 14 NOTES #24 & #25
- SMOKE DETECTOR
- CARBON MONOXIDE ALARM
- CENTER LINE
- FLOOR ELEVATION NOTE
- (T) TEMPERED
- (A-1) (N) TEMPERED WINDOW SEE SCHEDULE, A6.1
- (100) (N) DOOR: SEE SCHEDULE, A6.1

REVISION					
1		4			
2		5			
3		6			
NO.	DATE	NO.	DATE		

SUBMITTAL DATES:

OWNER:

PLAN CHECK:

O.T.B.

SHEET TITLE: UPPER FLOOR PLAN

NEW RESIDENCE FOR:

VINEET AND ANNETTE SHARMA
5852 LAPWORTH DRIVE
AGOURA, CA

DESIGN:
IGNACIO RODRIGUEZ
DESIGN CONSULTANTS
5000 ALBA AVE.
ENCINO, CA 91316
Ph: 818.606.8339 Fax: 855.376.6218
Email: ignacio@ignacionodriguezdesigns.com

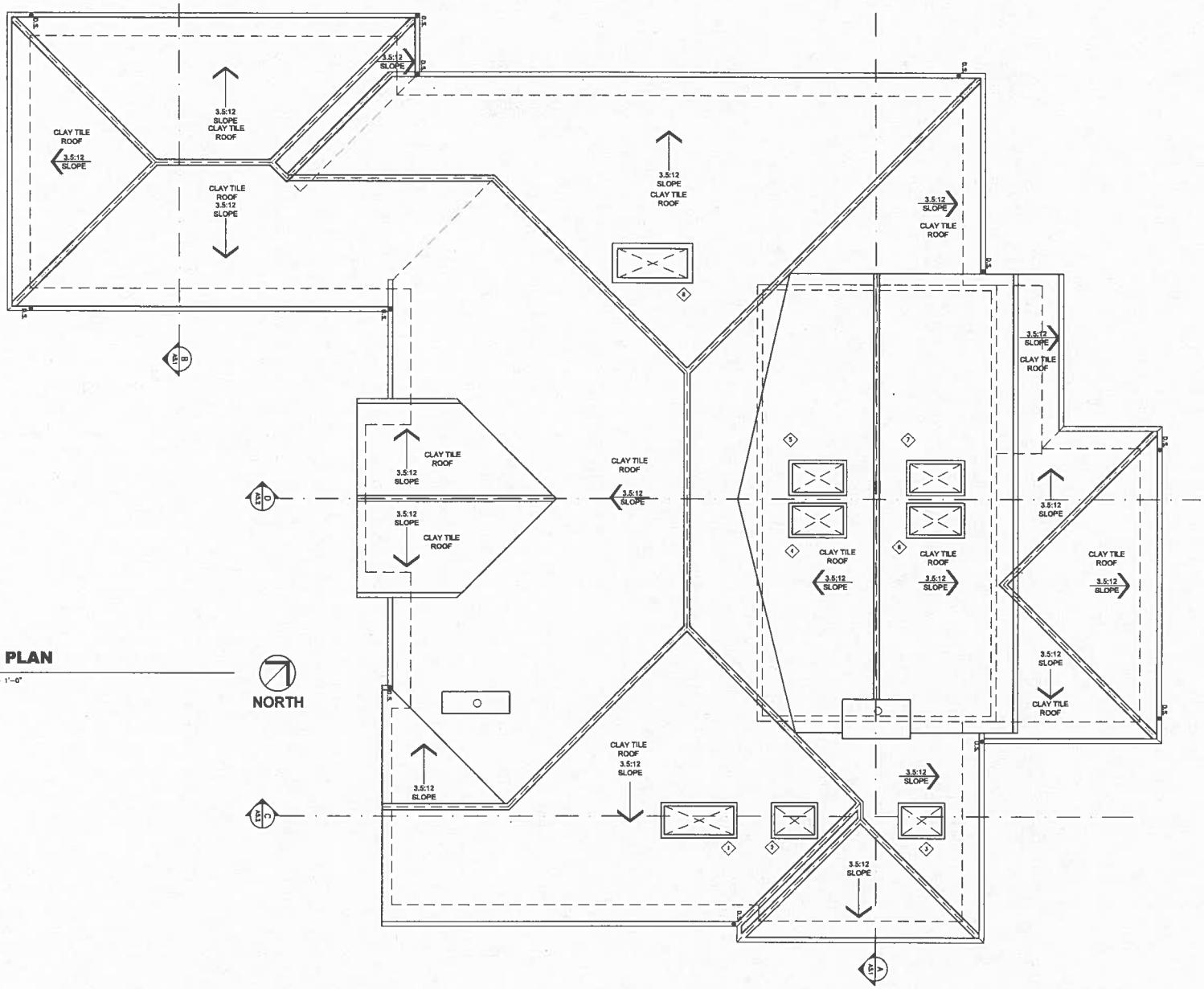
JOB NO: 2014.41.01

DATE: 03/16/2015

DRAWN BY: I.R.

APPROVED BY: I. R.

SHEET NO: A2.1



ROOF PLAN

SCALE: 1/4" = 1'-0"

REVISIONS					
NO.	DATE	NO.	DATE	NO.	DATE
1		2		3	
4		5		6	

SUBMITTAL DATES:

OWNER:

PLAN CHECK:

O.T.B.

SHEET TITLE: ROOF PLAN

NEW RESIDENCE FOR:

VINEET AND ANNETTE SHARMA
5952 LAPWORTH DRIVE
AGOURA, CA

DESIGN:
IGNACIO RODRIGUEZ
DESIGN CONSULTANTS
5900 ALDEA AVE.
ENCINO, CA 91316
Ph: 818.400.2330 Fax: 888.276.8218
Email: ignacio@ignacio-rodriguezdesigns.com

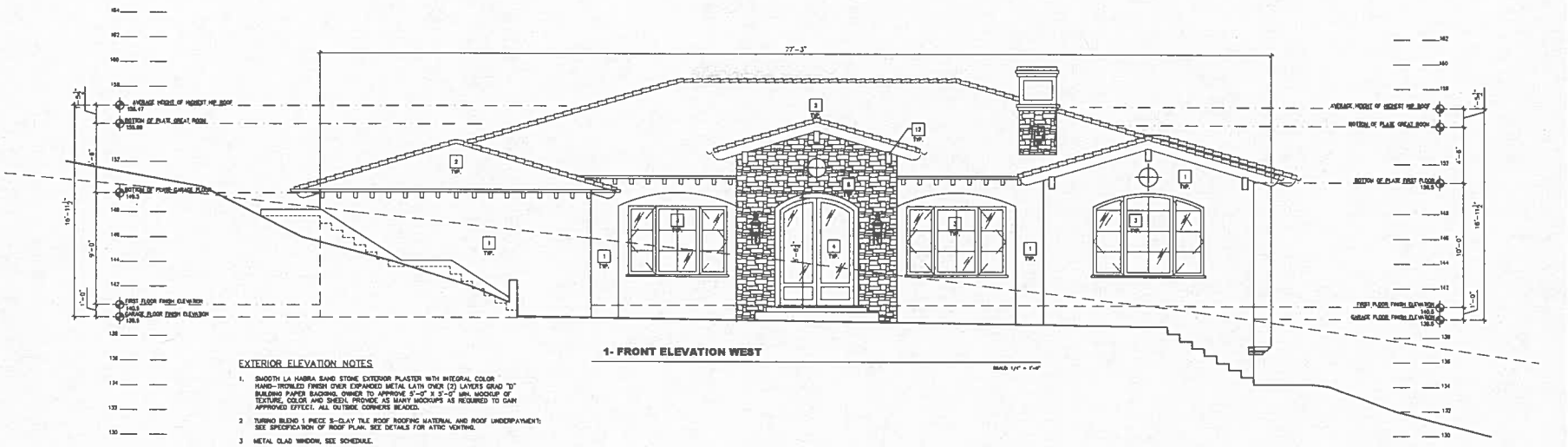
JOB NO: 2014.41.01

DATE: 03/16/2016

DRAWN BY: I.R.

APPROVED BY: I. R.

SHEET NO: A3.1

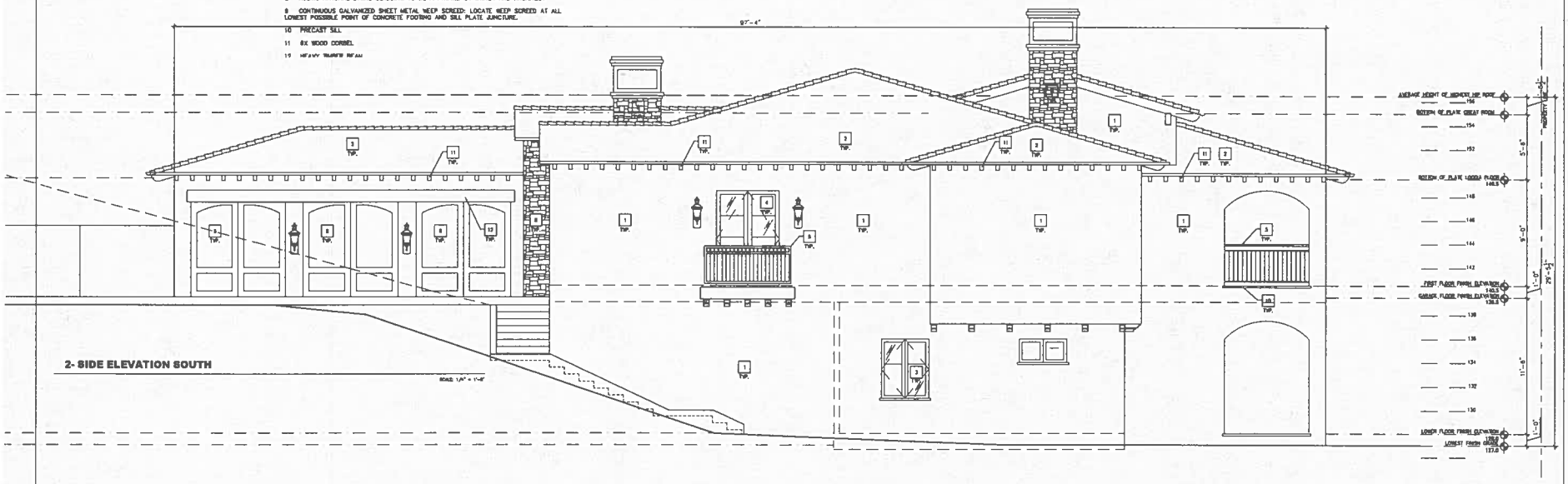


1- FRONT ELEVATION WEST

SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

1. SMOOTH LA HABRA SAND STONE EXTERIOR PLASTER WITH INTEGRAL COLOR HAND-TROWLED FINISH OVER EXPANDED METAL LATH OVER (2) LAYERS GRAD "D" BUILDING PAPER BACKING. OWNER TO APPROVE 3'-0" X 3'-0" MIN. MOCKUP OF TEXTURE, COLOR AND SHEEN. PROVIDE AS MANY MOCKUPS AS REQUIRED TO GAIN APPROVED EFFECT. ALL OUTSIDE CORNERS BEADED.
2. TURNING BLEND 1 PIECE S-CLAY TILE ROOF ROOFING MATERIAL AND ROOF UNDERPAYMENT; SEE SPECIFICATION OF ROOF PLAN. SEE DETAILS FOR ATTIC VENTING.
3. METAL CLAD WINDOW, SEE SCHEDULE.
4. METAL CLAD DOOR, SEE SCHEDULE.
5. WROUGHT IRON GUARD RAIL
6. RUSTIC FAUX GARAGE DOOR, SEE SCHEDULE. BLACK WALNUT
7. IN WALL CONCEALED DOWNSPOUT, SEE ROOF PLAN AND DETAILS.
8. RUSTIC NATURAL STONE CLADDING TO BE APPROVED BY OWNER AND ARCHITECT
9. CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED- LOCATE WEEP SCREED AT ALL LOWEST POSSIBLE POINT OF CONCRETE FOOTING AND SILL PLATE JUNCTURE.
10. PRECAST SILL
11. 8X WOOD CORBEL
12. HEAVY TIMBER BEAM



2- SIDE ELEVATION SOUTH

SCALE 1/4" = 1'-0"

SUBMITTAL DATES:	
OWNER:	
PLAN CHECK:	
O.T.B.	

NO.	DATE	NO.	DATE
1		4	
2		5	
3		6	

SHEET TITLE: **EXTERIOR ELEVATIONS**

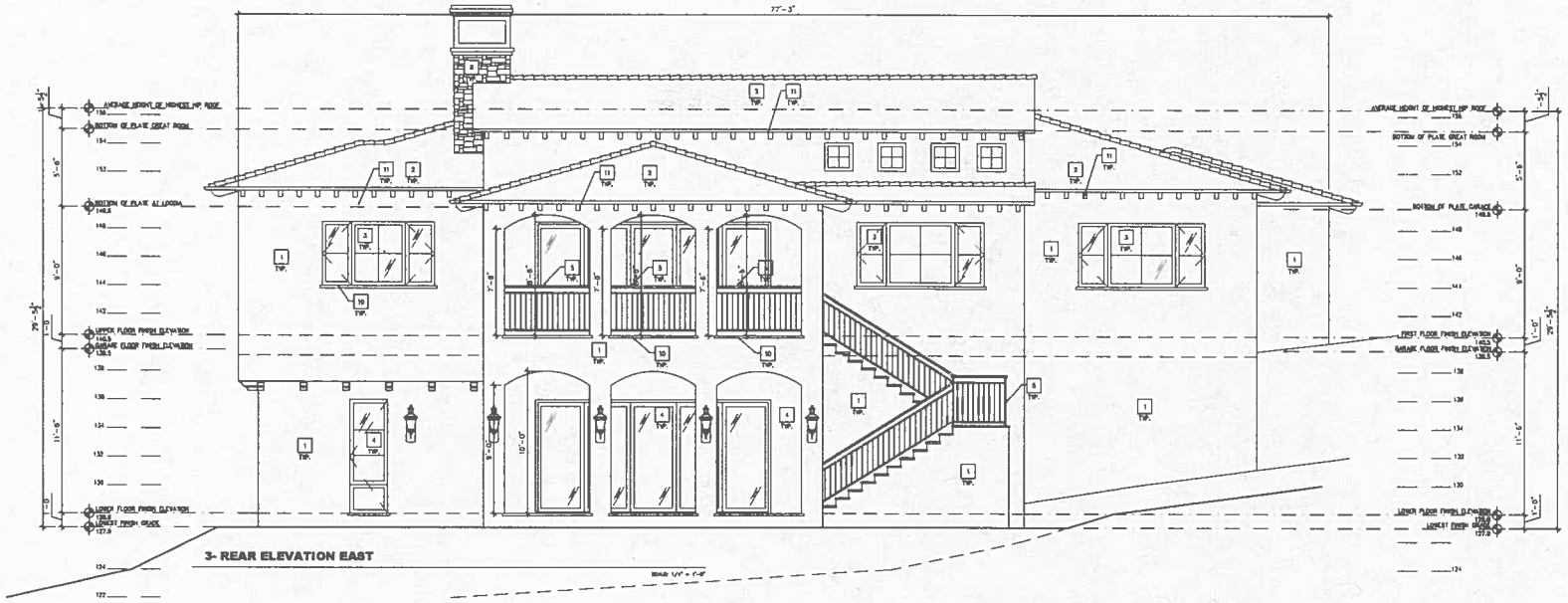
NEW RESIDENCE FOR:
VINEET AND ANNETTE SHARMA
5952 LAPWORTH DRIVE
AGOURA, CA

DESIGN:
IGNACIO RODRIGUEZ
DESIGN CONSULTANTS
6909 ALDEA AVE.
ENCINO, CA 91316
Ph: 818.800.8389 Fax: 818.378.8218
Email: ignacio@ignacio-rodriguez.com

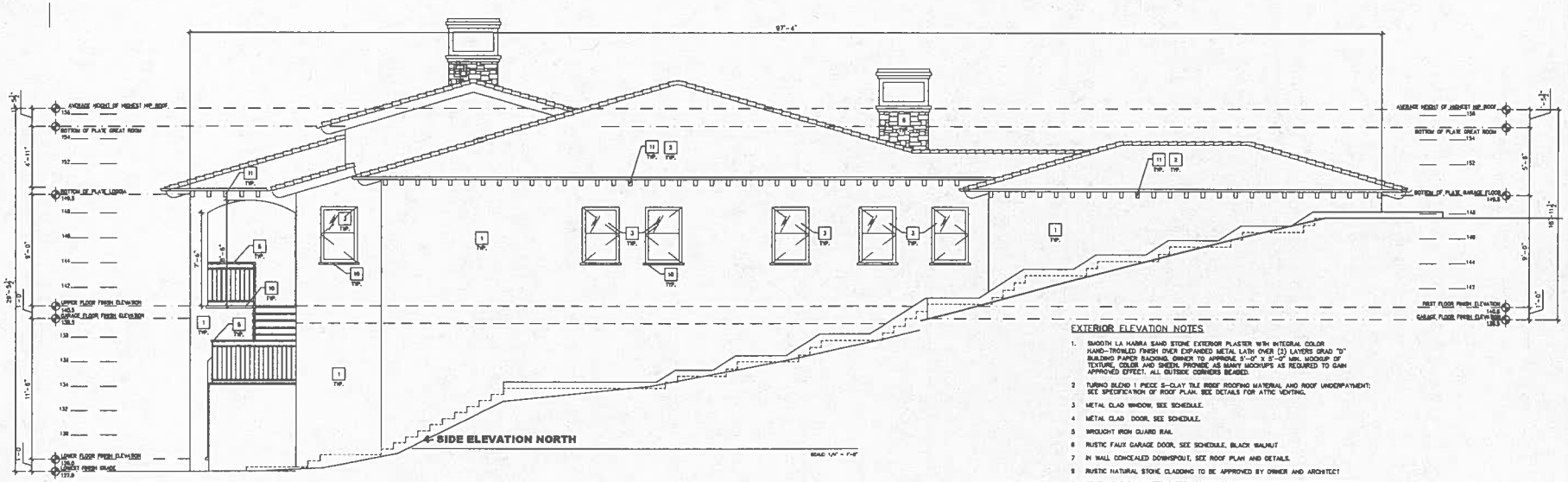
JOB NO:	2014.41.01
DATE:	03/16/2015
DRAWN BY:	I.R.
APPROVED BY:	I. R.

SHEET NO:

A4.1



3- REAR ELEVATION EAST



4- SIDE ELEVATION NORTH

EXTERIOR ELEVATION NOTES

1. SMOOTH LA HABRA SAND STONE EXTERIOR PLASTER WITH INTEGRAL COLOR HAND-TROWLED FINISH OVER EXPANDED METAL LATH OVER (2) LAYERS GRAD "D" BUILDING PAPER BACKING. OWNER TO APPROVE 5'-0" X 5'-0" MIN. MOCKUP OF TEXTURE, COLOR AND SHEEN. PROVIDE AS MANY MOCKUPS AS REQUIRED TO GAIN APPROVED EFFECT. ALL OUTSIDE CORNERS BEADED.
2. TURINO BLEND 1 PIECE S-CLAY TILE ROOF ROOFING MATERIAL AND ROOF UNDERPAYMENT: SEE SPECIFICATION OF ROOF PLAN. SEE DETAILS FOR ATTIC VENTING.
3. METAL CLAD WINDOW, SEE SCHEDULE.
4. METAL CLAD DOOR, SEE SCHEDULE.
5. WROUGHT IRON GUARD RAIL
6. RUSTIC FAUX GARAGE DOOR, SEE SCHEDULE, BLACK WALNUT
7. IN WALL CONCEALED DOWNSPOUT, SEE ROOF PLAN AND DETAILS.
8. RUSTIC NATURAL STONE CLADDING TO BE APPROVED BY OWNER AND ARCHITECT
9. CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED: LOCATE WEEP SCREED AT ALL LOWEST POSSIBLE POINT OF CONCRETE FOOTING AND SILL PLATE JUNCTURE.
10. PRECAST SILL
11. 6X WOOD CORBEL
12. HEAVY TIMBER BEAM

REVISIONS			
NO.	DATE	NO.	DATE
1		4	
2		5	
3		6	

SUBMITTAL DATES:

OWNER:

PLAN CHECK:

O.T.B.

SHEET TITLE: **EXTERIOR ELEVATIONS**

NEW RESIDENCE FOR:

VINEET AND ANNETTE SHARMA
5952 LAPWORTH DRIVE
AGOURA, CA

DESIGN:
IGNACIO RODRIGUEZ
DESIGN CONSULTANTS
8600 ALDEA AVE.
ENCINO, CA 91316
Ph: 818.855.0339 Fax: 888.278.8219
Email: ignacio@ignacioroddriguezdc.com

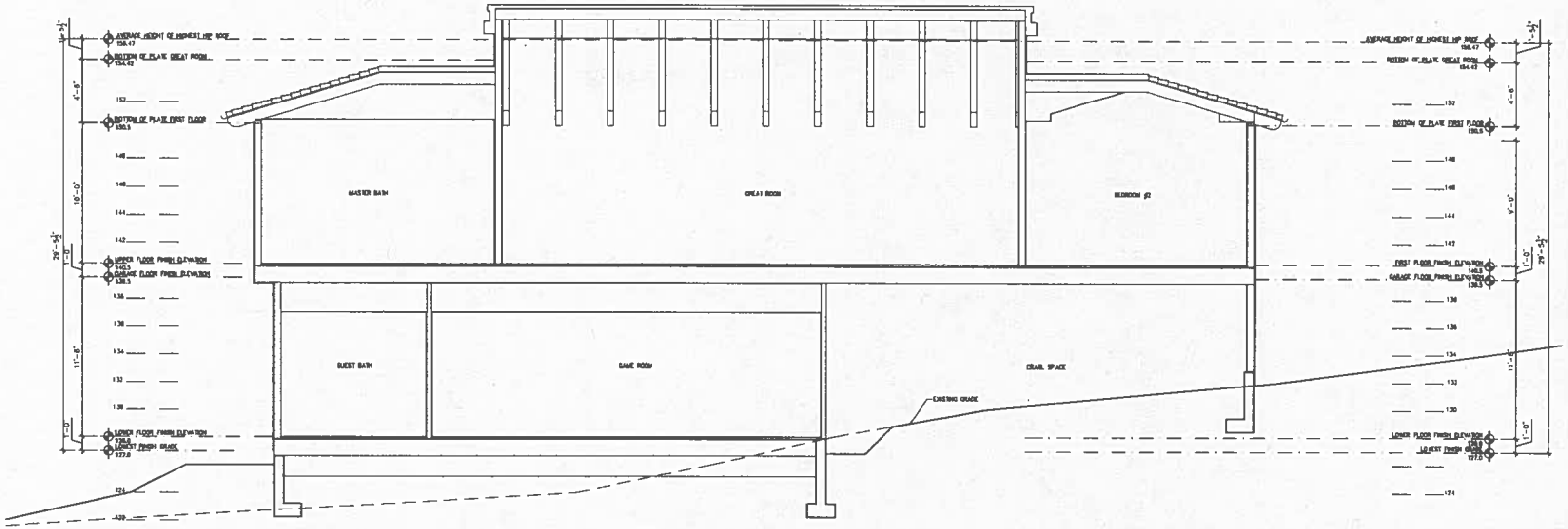
JOB NO: 2014.41.01

DATE: 03/16/2015

DRAWN BY: I.R.

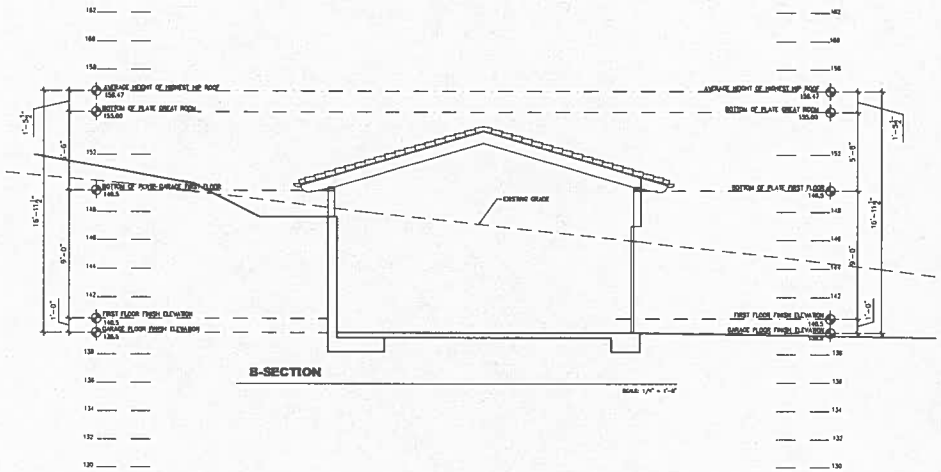
APPROVED BY: I. R.

SHEET NO: **A4.2**



A- SECTION

SCALE: 1/4" = 1'-0"



B-SECTION

SCALE: 1/4" = 1'-0"

REVISIONS					
1	NO.	DATE	4	NO.	DATE
2			5		
3			6		

SUBMITTAL DATES:

OWNER:

PLAN CHECK:

O.T.B.

SHEET TITLE: **SECTIONS**

NEW RESIDENCE FOR:

VINEET AND ANNETTE SHARMA
5952 LAPWORTH DRIVE
AGOURA, CA

DESIGN:
IGNACIO RODRIGUEZ
DESIGN CONSULTANTS
5900 ALDEA AVE.
ENCINO, CA 91316
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Email: ignacio@ignacioarodriguezdesigns.com

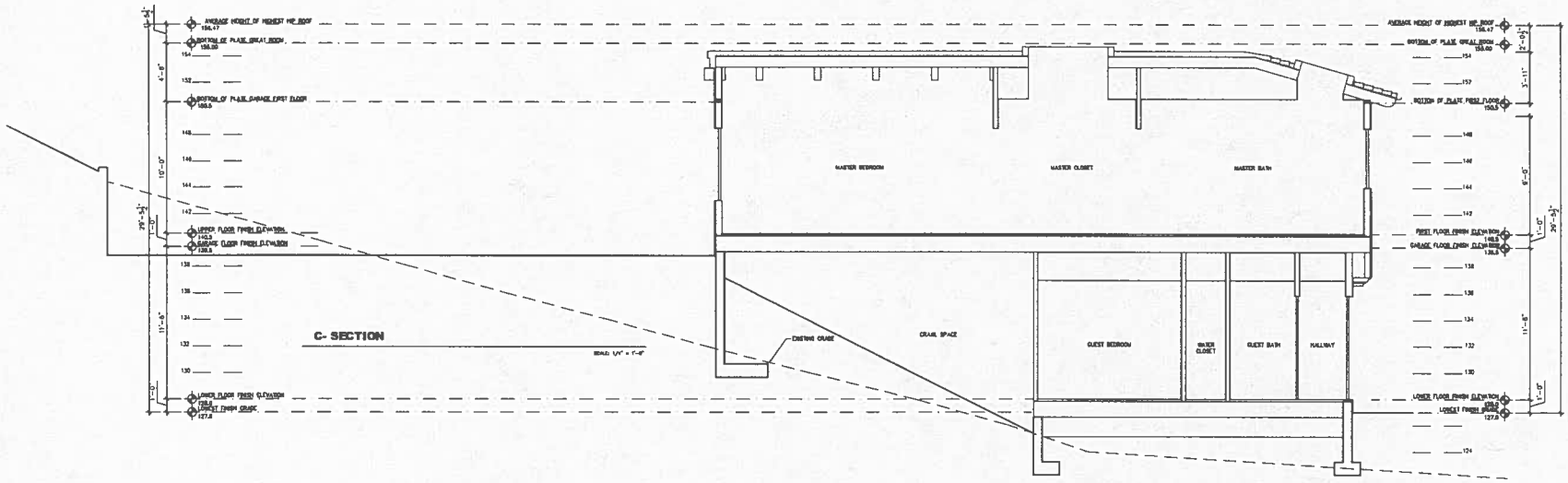
JOB NO: 2014.41.01

DATE: 03/16/2015

DRAWN BY: I.R.

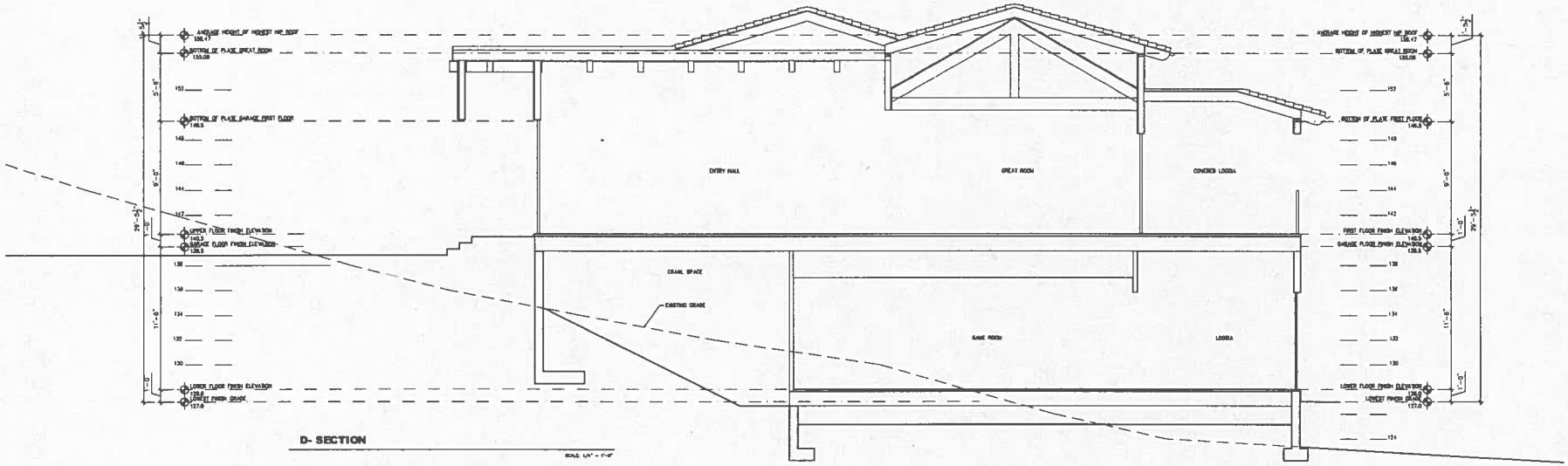
APPROVED BY: I. R.

SHEET NO: **A5.1**



C- SECTION

SCALE: 1/4" = 1'-0"



D- SECTION

SCALE: 1/4" = 1'-0"

NO.	DATE
1	
2	
3	
4	
5	
6	

SUBMITTAL DATES:

OWNER:

PLAN CHECK:

O.T.B.

SHEET TITLE: **SECTIONS**

NEW RESIDENCE FOR:

VINEET AND ANNETTE SHARMA
59.52 LAPWORTH DRIVE
AGOURA, CA

DESIGN:
IGNACIO RODRIGUEZ
DESIGN CONSULTANTS
5900 ALDEA AVE.
ENCINO, CA 91316
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Email: ignacio@ignacioarodriguez.com

JOB NO: 2014.41.01

DATE: 03/16/2016

DRAWN BY: I.R.

APPROVED BY: I. R.

SHEET NO: **A5.2**

GRADING NOTES

1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 5 OF THE AGOURA HILLS MUNICIPAL CODE.
2. A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
3. ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
4. ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
5. ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
6. THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
7. REPORTS REQUIRED:

   1. ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.

   2. FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
8. AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
9. A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
10. ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.
11. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
12. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 130, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.

INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS AT THE FOLLOWING STAGES OF WORK.

1. WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCARIFIED, BENCHED, OR OTHERWISE PREPARED FOR FILL. FILL SHAL NOT HAVE BEEN PLACED PRIOR TO THIS INSPECTION.
2. ROUGH: WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TERRACES, SWALES AND BERMS INSTALLED AT THE TOP OF SLOPE; AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
3. FINAL: WHEN GRADING HAS BEEN COMPLETED; ALL DRAINAGE DEVICES INSTALLED; SLOPE INSTALLED AND THE RECORD DRAWINGS (AS-BUILT PLANS), REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED.

ALL REQUIRED REPORTS AND STATEMENTS TO THE BUILDING AND SAFETY DEPARTMENTS SHALL BE PREPARED IN ACCORDANCE WITH SECTIONS 7926 AND 7921 OF THE BUILDING CODE.

LEGEND AND SYMBOLS

- PROJECT BOUNDARY
- EXISTING GRADE CONTOUR — 1103
- PROPOSED GRADE CONTOUR — 1100
- SPOT ELEVATION — x 1106
- PROPOSED SLOPE PER PLAN
- RETAINING WALL
- DAYLIGHT CUT/FILL LINE
- DIRECTION OF FLOW (SLOPE) — R/C %
- CONSTRUCTION NOTE NUMBER — 8

UNDERGROUND SERVICE ALERT
CALL TOLL FREE 1-800-227-2600
TWO WORKING DAYS BEFORE YOU DIG

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE BEARING ON KENEE DRIVE OF S14°01'00"W AS SHOWN ON THE MAP OF TRACT NO. 8793, M.B. 148-89/94.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 2 IN BLOCK 4 OF TRACT NO. 8793, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 148, PAGES 88 TO 94 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK:

B.M. NO. Y-10424 NAVD 1988 COUNTY OF LOS ANGELES DATUM

FOUND DPW BM TAG IN E CB 2' S/O BCR @ SE COR AGOURA RD & LAURA LA PLANTE DR.

ELEVATION = 941.03 FEET (ADJUSTMENT OF 2008)

PUBLIC UTILITIES / SERVICES

WATER:	LAS VIRGENES MUNICIPAL WATER DISTRICT 4232 LAS VIRGENES ROAD CALABASAS, CA 91302 (818) 880-4118
ELECTRICAL:	SOUTHERN CALIFORNIA EDISON 3589 FOOTHILL DRIVE THOUSAND OAKS, CA 91361 (805) 494-7016
TELEPHONE:	SBC (PAC BELL) 16201 RAYMER STREET, #115 VAN NUYS, CA 91406 (818) 373-8689
GAS:	SOUTHERN CALIFORNIA GAS 9400 OAKDALE AVENUE CHATSWORTH, CA 91313 (818) 701-3324
SEWER:	LA COUNTY, DEPT. OF PUBLIC WORKS SEWER MAINTENANCE DIVISION 1000 S. FREMONT AVENUE, BLDG A9 EAST ALHAMBRA, CA 91803 (626) 300-3306
CABLE:	ADELPHIA 2323 TELLER ROAD NEWBURY PARK, CA 91320 (805) 373-8213
CABLE:	CHARTER COMMUNICATIONS 3800 CROSSCREEK ROAD MALIBU, CA 90265 (310) 456-8019
CALTRANS:	CALTRANS 5900 RESEDA BOULEVARD TARZANA, CA 91356 (805) 383-1420

PUBLIC IMPROVEMENT NOTES

1. AN ENCROACHMENT PERMIT IS REQUIRED OF ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY (ROW). ALL APPLICABLE FEES MUST BE PAID AND SECURITIES POSTED PRIOR TO ISSUANCE OF PERMIT. ALL WORK INVOLVING STREET IMPROVEMENTS REQUIRE APPROVAL FROM THE PUBLIC WORKS INSPECTOR. APPLICANTS SHALL ALLOW 48 HOURS ADVANCE NOTICE TO THE DEPARTMENT OF PUBLIC WORKS TO SCHEDULE ALL INSPECTIONS.
2. CONTRACTORS SHALL TELEPHONE UNDERGROUND SERVICE ALERT (USA) 1-800-422-4133 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
3. REQUIREMENTS FOR STREET STRUCTURAL SECTION TO BE DETERMINED BY SOIL ANALYSIS AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF BASE MATERIALS.
4. WATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH LAS VIRGENES MUNICIPAL WATER DISTRICT WORKS MANUAL.
5. SEPARATION OF WATER AND WASTEWATER LINES SHALL BE IN ACCORDANCE WITH LAS VIRGENES MUNICIPAL WATER DISTRICT.
6. PRIOR TO CONNECTION TO WATER AND SEWER MAINS IN THE PUBLIC RIGHT-OF-WAY, APPLICANT SHALL PROVIDE DOCUMENTATION FROM LAS VIRGENES MUNICIPAL WATER DISTRICT TO THE CITY STATING THAT ALL CONNECTION FEES HAVE BEEN PAID.
7. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS.

OAK TREE NOTES

1. APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 597-7330, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."
2. FOR OAK TREES EXISTING ON OR OFF-SITE OR IMMEDIATELY ADJACENT (WITHIN 100 FEET OF THE PROJECT BOUNDARIES) THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT PRIOR TO ANY WORK. THAT FENCING AROUND OAK TREES' PROTECTIVE ZONES SHALL BE PROVIDED, AND ALL CLEARING AND GRUBBING OF ORGANIC MATTERS AND REMOVAL OF DEBRIS AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AS STIPULATED UNDER THE OAK TREE PERMIT, BEFORE THE APPROVAL TO PROCEED WITH THE GRADING WILL BE ISSUED. AFTER NOTIFICATION THAT THIS STAGE HAS BEEN COMPLETED, THE SITE WILL BE INSPECTED BY THE CITY'S OAK TREE ADMINISTRATOR. WHEN APPROVED, THE APPROVAL TO PROCEED WILL BE ISSUED IN WRITING BY THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT.
3. ALL OAK TREE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS TREE ORDINANCE AND OAK TREE PRESERVATION AND PROTECTION GUIDELINES.
4. UNDER NO CONDITION SHALL ANY WORK BE DONE WITHIN THE PROTECTED ZONE OF ANY OAK TREE, WITHOUT OBTAINING AN OAK TREE ENCROACHMENT PERMIT AND 48 HOURS ADVANCE NOTICE TO THE CITY. FURTHERMORE, NO PROTECTIVE FENCING SHALL BE RELOCATED OR MOVED WITHOUT CITY APPROVAL.

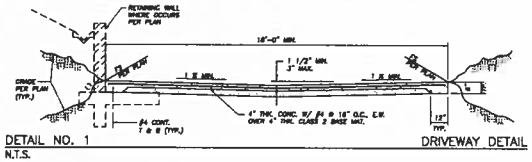
SURVEY ABBREVIATIONS

AC - ASPHALTIC CONCRETE
BF - BOTTOM OF FOOTING
CB - CATCH BASIN
CF - CURB FACE
℄ - CENTERLINE
CLF - CHAIN LINK FENCE
CO - CLEAN OUT
DB - DEBRIS BASIN
DL - DAYLIGHT
EG - EDGE OF GUTTER
EP - EDGE OF PAVEMENT
FF - FINISHED FLOOR
FG - FINISHED GRADE
FH - FIRE HYDRANT
FL - FLOWLINE
FS - FINISH SURFACE
HC RMP - HANDICAP RAMP
HP - HIGH POINT
INV - INVERT
NG - NATURAL GROUND
NTS - NOT TO SCALE
PL - PROPERTY LINE
POB - POINT OF BEGINNING
SDMH - STORM DRAIN MANHOLE
SMH - SEWER MANHOLE
SS - SANITARY SEWER
TB - TOP OF BERM
TC - TOP OF CURB
TF - TOP OF FOOTING
TG - TOP OF GRATE
TW - TOP OF WALL
TYP - TYPICAL
WM - WATER METER
WV - WATER VALVE

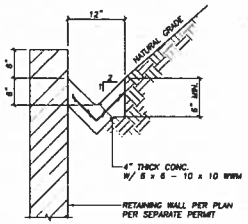
APN: 2055 - 022 - 091

STORMWATER POLLUTION NOTES

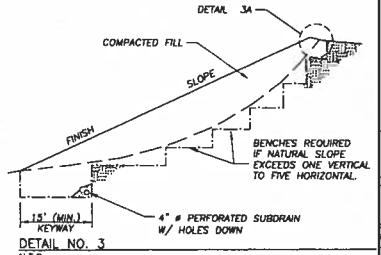
1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ONSITE POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
2. A SITE-SPECIFIC, "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 15TH.
3. IT IS THE PROPERTY OWNERS RESPONSIBILITY TO MAINTAIN ALL ONSITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR. ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.
4. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND.
5. STOCKPILES OR EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
6. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
7. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
8. TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
9. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
10. ANY SLOPES WITH DISTURBED SOILS OR DENUDED VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
11. EXCEPT AS OTHERWISE DIRECTED BY THE CITY INSPECTOR, ALL DRAINAGE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY IS 40%, AND MAINTAINED DURING THE RAINY SEASON (NOVEMBER 1ST THROUGH APRIL 15TH OF THE SUCCEEDING YEAR) FOR EACH YEAR THE GRADING REMAINS INCOMPLETE. REFER TO SITE-SPECIFIC WET-WEATHER EROSION-CONTROL PLAN.
12. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.



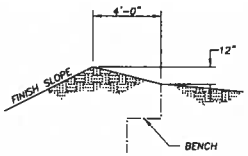
DETAIL NO. 1 — DRIVEWAY DETAIL
N.T.S.



DETAIL NO. 2 — CONCRETE SWALE
N.T.S.



DETAIL NO. 3
N.T.S.



DETAIL NO. 3A — EARTH BERM
N.T.S.

AVERAGE SLOPE ANALYSIS

FORMULA: $S=(L)X100 / A$ = $S=(24398) X 100 / 45341.25$ = S=(0.54%

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	TOPOGRAPHIC SURVEY
3	GRADING & DRAINAGE PLAN
4	CROSS SECTIONS & DETAILS
5	EROSION CONTROL COVER SHEET
6	EROSION CONTROL PLAN SHEET
7	EROSION CONTROL ATTACHMENTS

ESTIMATED EARTHWORK QUANTITIES

ESTIMATED CUT: 906 CY ESTIMATED EXPORT: 0 CY
ESTIMATED FILL: 1117 CY ESTIMATED IMPORT: 212 CY
ESTIMATED OVER-EXCAVATION: - CY SHRINKAGE= 20 X 0.10= 0 CY

BENCHMARK:

DESCRIPTION: BM NO. Y-10424 ELEVATION: 941.03 SURVEY DATE: MAY 2013

RECORD DRAWING STATEMENT

I, LEONARD LISTON, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. 1 THROUGH - MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCES WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

REGISTERED CIVIL ENGINEER DATE RCE NO. 31902 EXP. DATE

SOILS APPROVAL

THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED -

REGISTERED GEOLOGIST DATE RCE NO. EXP DATE
REGISTERED GEOTECHNICAL ENGINEER DATE RCE NO. EXP DATE

REGISTERED PROFESSIONAL ENGINEER LEONARD T. LISTON No. 31902 Exp. No. 2006 CIVIL STATE OF CALIFORNIA

REGISTERED PROFESSIONAL ENGINEER C 52258 DR. SOC. 2014 CIVIL STATE OF CALIFORNIA

OWNER

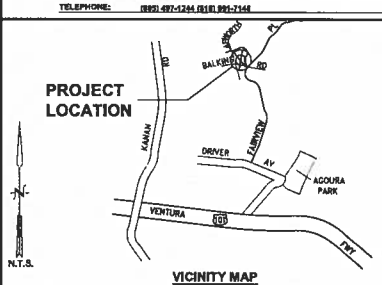
NAME: VINEET AND ANNETTE SHARMA
ADDRESS: 29617 CANWOOD STREET, AGOURA HILLS, CA 91301
REPRESENTATIVE: VINEET SHARMA
TELEPHONE: (310) 987-1204

CIVIL ENGINEER

NAME: LC ENGINEERING GROUP, INC.
ADDRESS: 889 PIERCE COURT, SUITE 101, THOUSAND OAKS, CA. 91360
REPRESENTATIVE: LEONARD LISTON
TELEPHONE: (805) 497-1344 (818) 991-7148

GEOTECHNICAL ENGINEER

NAME: CALWEST GEOTECHNICAL
ADDRESS: 889 PIERCE COURT, SUITE 102, THOUSAND OAKS, CA. 91360
REPRESENTATIVE: LEONARD LISTON
TELEPHONE: (805) 497-1344 (818) 991-7148



VICINITY MAP

REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

PREPARED BY: LC ENGINEERING GROUP, INC.
PROJECT ENGINEER RCE 52258 DATE

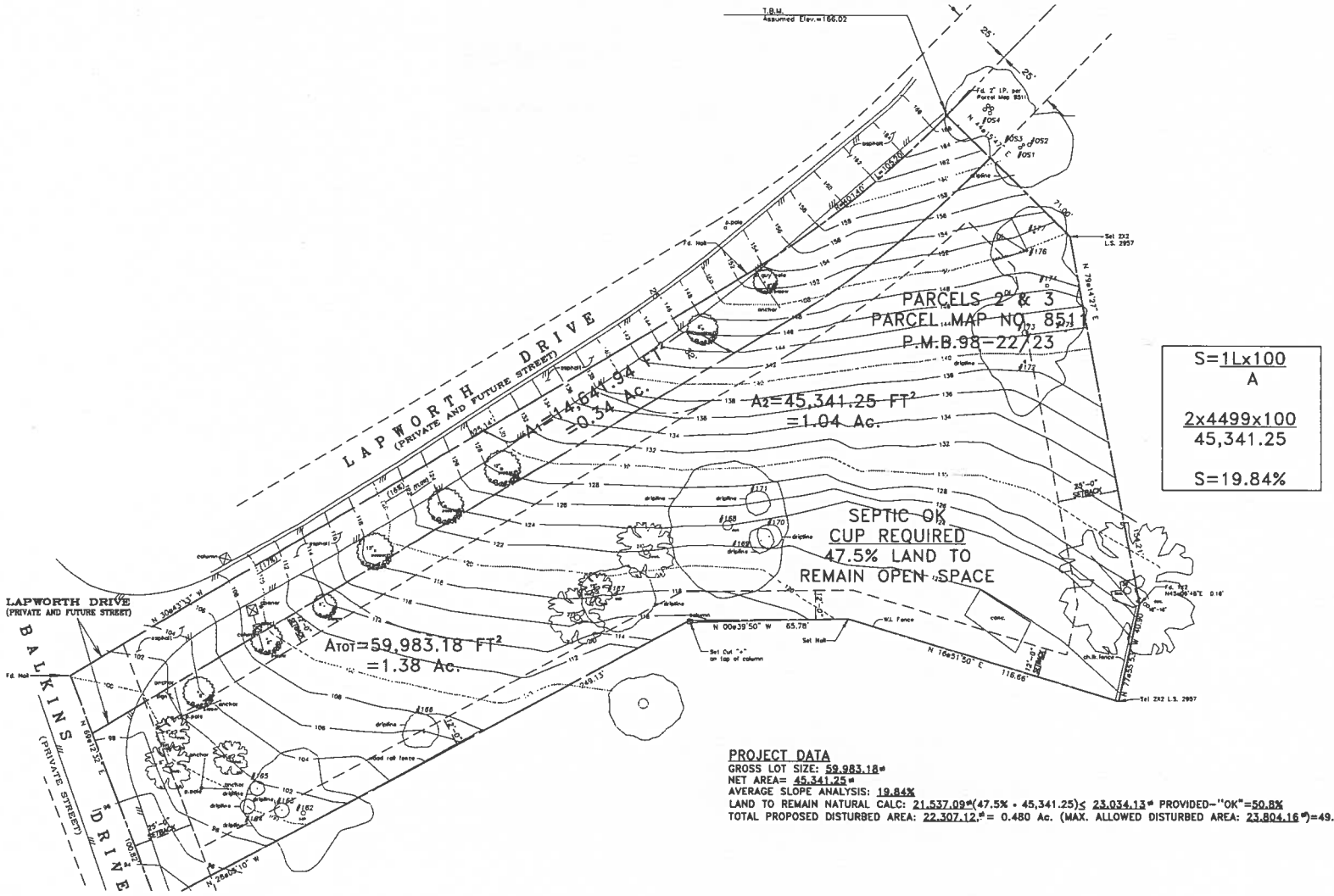
CITY OF AGOURA HILLS APPROVAL
REVIEWED BY DATE
RAMIRO S. ADEVA III DATE RCE NO. 66855 EXP DATE 9/30/14
CITY ENGINEER

CITY OF AGOURA HILLS

COVER SHEET
5952 LAPWORTH DR.
AGOURA HILLS, CA. 91301

PROJECT NO. 6258 SHEET 1 OF 7

CITY OF AGOURA HILLS DWG. NO. 08-06-14



PROJECT DATA

GROSS LOT SIZE: 59,983.18 ft²
NET AREA= 45,341.25 ft²
AVERAGE SLOPE ANALYSIS: 19.84%
LAND TO REMAIN NATURAL CALC: 21,537.09 ft² (47.5% • 45,341.25) ≤ 23,034.13 ft² PROVIDED–"OK"=50.8%
TOTAL PROPOSED DISTURBED AREA: 22,307.12 ft² = 0.480 Ac. (MAX. ALLOWED DISTURBED AREA: 23,804.16 ft²)=49.2% "OK"

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REGISTERED PROFESSIONAL ENGINEER
JAMES DAVIS FAIR
C 52258
EXP. DEC. 2014
CIVIL
STATE OF CALIFORNIA

REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

PREPARED BY:
LC ENGINEERING GROUP, INC.
PROJECT ENGINEER 52258 RCE DATE

CITY OF AGOURA HILLS APPROVAL

CITY OF AGOURA HILLS

SLOPE ANALYSIS AND TOPOGRAPHIC SURVEY

5952 LAPWORTH DR.
AGOURA HILLS, CA. 91301

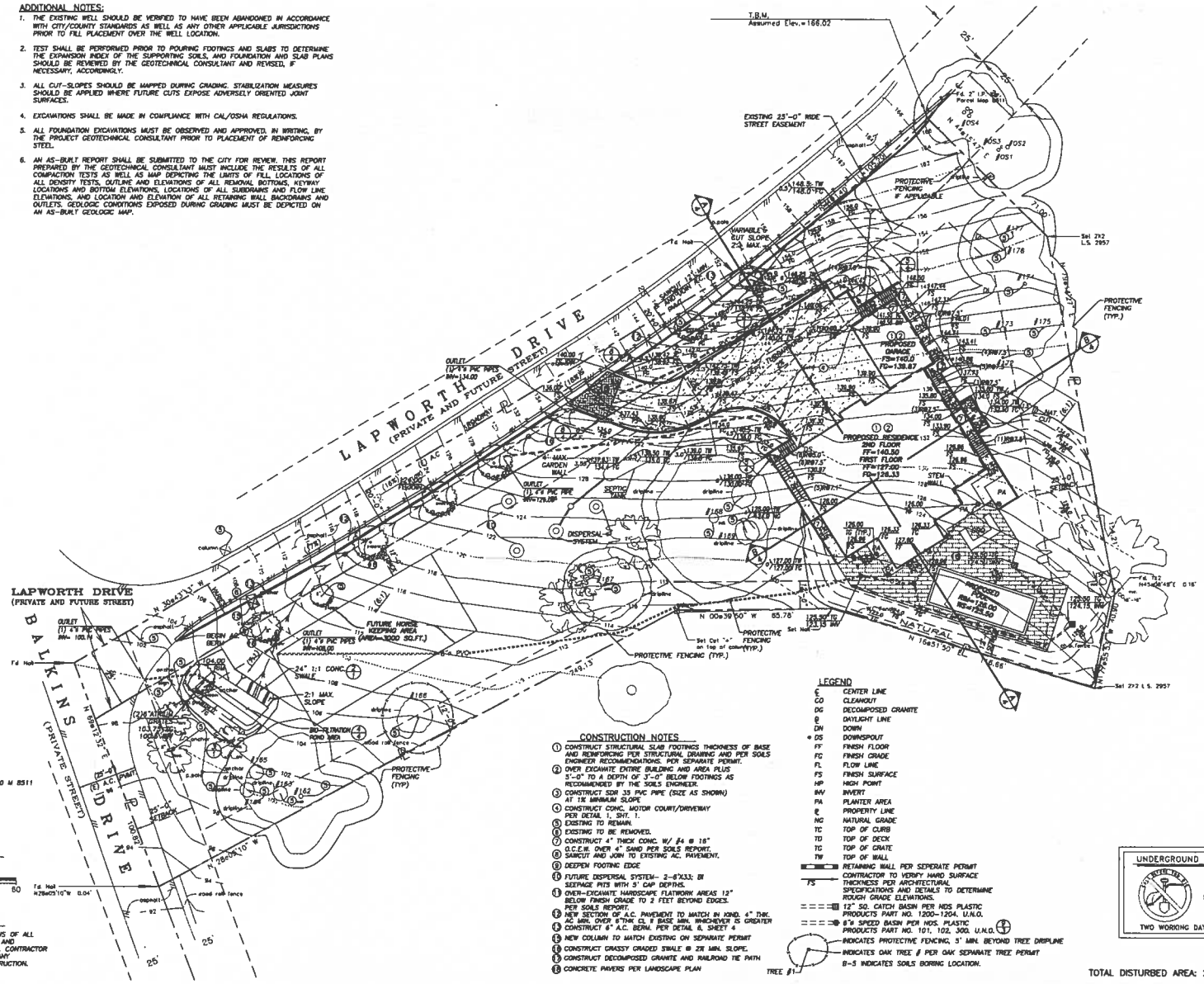
PROJECT NO. - SHEET 2 OF 7

6858
5/19/15

CITY OF AGOURA HILLS DWG. NO.

ADDITIONAL NOTES:

1. THE EXISTING WELL SHOULD BE VERIFIED TO HAVE BEEN ABANDONED IN ACCORDANCE WITH CITY/COUNTY STANDARDS AS WELL AS ANY OTHER APPLICABLE JURISDICTIONS PRIOR TO FILL PLACEMENT OVER THE WELL LOCATION.
2. TEST SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS, AND FOUNDATION AND SLAB PLANS SHOULD BE REVIEWED BY THE GEOTECHNICAL CONSULTANT AND REVISED, IF NECESSARY, ACCORDINGLY.
3. ALL CUT-SLOPES SHOULD BE MAPPED DURING GRADING. STABILIZATION MEASURES SHOULD BE APPLIED WHERE FUTURE CUTS EXPOSE ADVERSELY ORIENTED JOINT SURFACES.
4. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
5. ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED, IN WRITING, BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF REINFORCING STEEL.
6. AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE THE RESULTS OF ALL COMPACTION TESTS AS WELL AS MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOW LINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.



LEGAL DESCRIPTION:

PORTION OF LOT 2 AND LOT 3 OF 10 M 8511 MB, 88, 22/23

APN # 2055-022-091

SCALE: 1"=20'

0 20 40 80

NOTE TO CONTRACTOR

CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

CONSTRUCTION NOTES

1. CONSTRUCT STRUCTURAL SLAB FOOTINGS THICKNESS OF BASE AND REINFORCING PER STRUCTURAL DRAWING AND PER SOILS ENGINEER RECOMMENDATIONS. PER SEPARATE PERMIT.
2. OVER EXCAVATE ENTIRE BUILDING AND AREA PLUS 3'-0" TO A DEPTH OF 3'-0" BELOW FOOTINGS AS RECOMMENDED BY THE SOILS ENGINEER.
3. CONSTRUCT SDR 35 PVC PIPE (SIZE AS SHOWN) AT 1% MINIMUM SLOPE.
4. CONSTRUCT CONC. MOTOR COURT/DRIVEWAY PER DETAIL 1, SHT. 1.
5. EXISTING TO REMAIN.
6. EXISTING TO BE REMOVED.
7. CONSTRUCT 4" THICK CONC. W/ #4 @ 18"
8. C.C.E.W. OVER 4" SAND PER SOILS REPORT.
9. SAWCUT AND JOIN TO EXISTING AC. PAVEMENT.
10. DEEPEN FOOTING EDGE
11. FUTURE DISPERSAL SYSTEM- 2-8"X33; BI SEEPAGE PITS WITH 5' CAP DEPTHS.
12. OVER-EXCAVATE HARDSCAPE FLATWORK AREAS 12" BELOW FINISH GRADE TO 2 FEET BEYOND EDGES. PER SOILS REPORT.
13. NEW SECTION OF A.C. PAVEMENT TO MATCH IN KIND. 4" THK. AC MIN. OVER 6"THK CL II BASE MIN. WHICHEVER IS GREATER
14. CONSTRUCT 8" A.C. BERM. PER DETAIL 6, SHEET 4
15. NEW COLUMN TO MATCH EXISTING ON SEPARATE PERMIT
16. CONSTRUCT GRASSY GRADED SWALE @ 2% MIN. SLOPE.
17. CONSTRUCT DECOMPOSED GRANITE AND RAILROAD TIE PATH
18. CONCRETE PAVERS PER LANDSCAPE PLAN

LEGEND

℄	CENTER LINE
CO	CLEANOUT
DG	DECOMPOSED GRANITE
@	DAYLIGHT LINE
DN	DOWN
DS	DOWNSPOUT
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
FS	FINISH SURFACE
HP	HIGH POINT
INV	INVERT
PA	PLANTER AREA
℄	PROPERTY LINE
NG	NATURAL GRADE
TC	TOP OF CURB
TD	TOP OF DECK
TG	TOP OF GRATE
TW	TOP OF WALL
	RETAINING WALL PER SEPERATE PERMIT
FS	CONTRACTOR TO VERIFY HARD SURFACE THICKNESS PER ARCHITECTURAL SPECIFICATIONS AND DETAILS TO DETERMINE ROUGH GRADE ELEVATIONS.
	12" SQ. CATCH BASIN PER MDS PLASTIC PRODUCTS PART NO. 1200-1204. U.N.O.
	8"ø SPEED BASIN PER MDS. PLASTIC PRODUCTS PART NO. 101, 102, 300. U.N.O.
TREE #1	INDICATES PROTECTIVE FENCING, 5' MIN. BEYOND TREE DRIPLINE
	INDICATES OAK TREE # PER OAK SEPARATE TREE PERMIT
	B-5 INDICATES SOILS BORING LOCATION.

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REGISTERED PROFESSIONAL ENGINEER JAMES DAVID FINK C 52258 EXP. DEC. 2014 CIVIL STATE OF CALIFORNIA

TOTAL DISTURBED AREA: 22307.12 SQ. FT. (0.512 Ac.)

REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

PREPARED BY:
LC ENGINEERING GROUP, INC.
CIVIL ENGINEERING • LAND SURVEYING
PROJECT ENGINEER 52258 RCE DATE

CITY OF AGOURA HILLS APPROVAL
REVIEWED BY DATE
RAMIRO S. ADEVA III, CITY ENGINEER DATE 68885 RCE NO. 09/30/08 EXP DATE

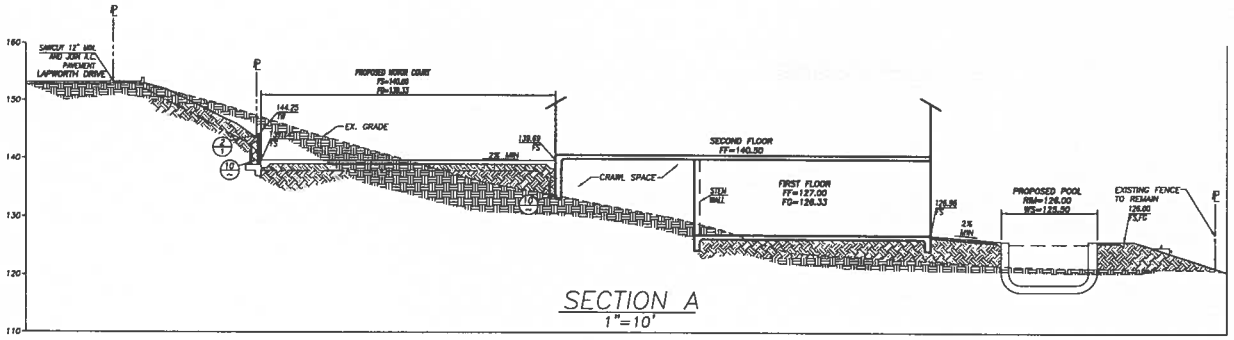
CITY OF AGOURA HILLS

GRADING AND DRAINAGE PLAN
5952 LAPWORTH DR.
AGOURA HILLS, CA. 91301

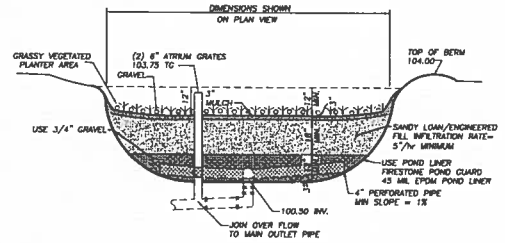
PROJECT NO. - SHEET 3 OF 7

6858
6/20/15

CITY OF AGOURA HILLS DWG. NO.



SECTION A
1"=10'



DETAIL NO. 4 BIO-FILTRATION POND AREA
N.T.S.

CHANNEL-SLOPE® NW100 Series Channels

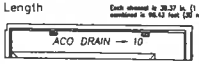
Sloped Channels

Slope

Each channel has a .86 built-in-slope. There are 30 different slope channels (part nos. 1-30)

Length

Each channel is 39.37 in. (1 meter) long. Total length of part numbers 1-30 combined is 98.43 feet (30 m)



Width

Each Channel has the same width.

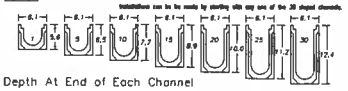
Depth Range

Overall depth at end of channel Part No.1=5.9 in. Overall depth at end of channel Part No. 30=17.5 in.

Cross Section Range

At start of channel Part No. 1=12.28 in. At end of channel Part No. 30= 68.19 sq. in.

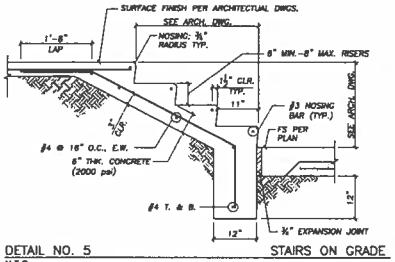
Installations can be made by starting with any one of the 30 sloped channels.



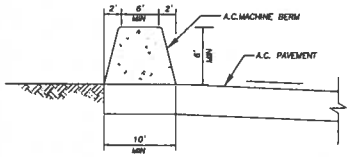
Depth At End of Each Channel

Part No.	Depth in.	Depth mm	Part No.	Depth in.	Depth mm	Part No.	Depth in.	Depth mm
NW 100-1	5.6	141	NW 100-11	7.9	201	NW 200-21	14.3	361
NW 100-2	5.8	147	NW 100-12	8.1	207	NW 200-22	15.5	397
NW 100-3	6.0	153	NW 100-13	8.4	213	NW 200-23	16.7	373
NW 100-4	6.2	159	NW 100-14	8.6	219	NW 200-24	17.8	379
NW 100-5	6.6	165	NW 100-15	8.9	225	NW 200-25	19.2	289
NW 100-6	6.7	171	NW 100-16	9.1	231	NW 200-26	11.9	291
NW 100-7	7.0	177	NW 100-17	9.3	237	NW 200-27	11.7	297
NW 100-8	7.2	183	NW 100-18	9.6	243	NW 200-28	11.5	363
NW 100-9	7.4	189	NW 100-19	9.8	249	NW 200-29	12.3	309
NW 100-10	7.7	195	NW 100-20	10.0	255	NW 200-30	12.4	315

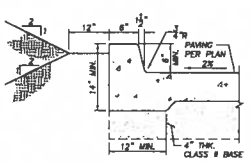
SECTION B
1"=10'



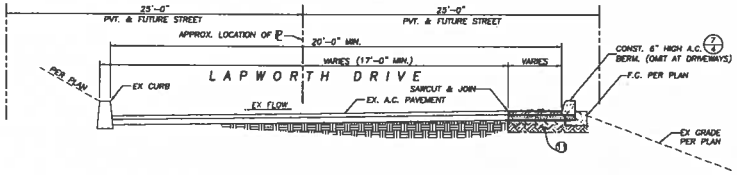
DETAIL NO. 5 STAIRS ON GRADE
N.T.S.



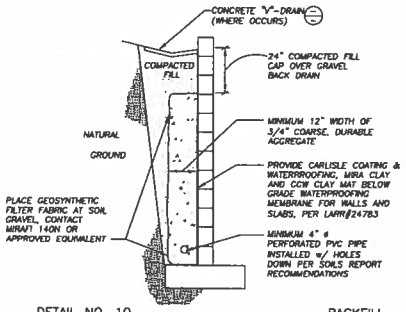
DETAIL NO. 7 A.C. BERM
N.T.S.



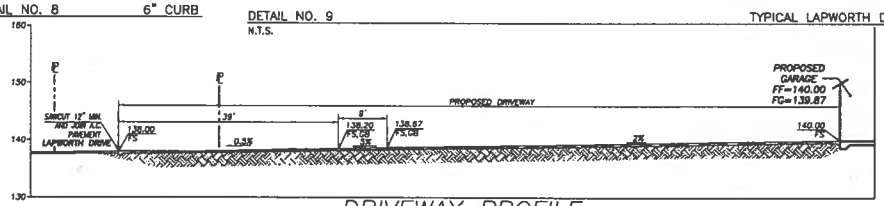
DETAIL NO. 8 6" CURB
N.T.S.



DETAIL NO. 9 TYPICAL LAPWORTH DRIVE SECTION
N.T.S.



DETAIL NO. 10 BACKFILL
N.T.S.



DRIVEWAY PROFILE
1"=10'

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REGISTERED PROFESSIONAL ENGINEER — CIVIL — C 52258 — EXP. DEC. 2014 — STATE OF CALIFORNIA

REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

PREPARED BY: LC ENGINEERING GROUP, INC.
PROJECT ENGINEER 52258 RCE DATE

CITY OF AGOURA HILLS APPROVAL
REVIEWED BY DATE
RAMIRO S. ADEVA III, CITY ENGINEER DATE 66883 RCE NO. 09/30/08 EXP DATE

CITY OF AGOURA HILLS

SECTIONS & DETAILS
5952 LAPWORTH DR.
AGOURA HILLS, CA. 91301

PROJECT NO. ___-___ SHEET 4 OF 7

6858
6/25/15

CITY OF AGOURA HILLS DWG. NO. _____

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WET WEATHER EROSION CONTROL PLAN (WWECP) GENERAL NOTES:

1. IN CASE OF EMERGENCY, CALL ANNETTE & VRUTTI SHARMA AT 818-424-7181
2. A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THERE ARE NO LONGER REQUIRED.
4. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
5. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
6. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
7. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
8. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN OCTOBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
9. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
10. EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NONSTORM WATER FROM THE PROJECT SITES AT ALL TIMES.
11. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND.
12. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY FORCES OF WIND OR WATER.
13. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
14. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTED ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
15. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMP's ARE INSTALLED AND FUNCTIONING PROPERLY. IF THERE IS A 40% CHANCE OF 0.25 INCHES OR GREATER OF PRECIPITATION PENETRATING, AND AFTER ACTUAL PENETRATION, A CONSTRUCTION SITE INSPECTION CHECK LIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
16. TRASH AND CONTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
17. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
18. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
19. AS THE PROJECT ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE ADVERSE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPs NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITY.

CIVIL ENGINEERS/ARCHITECTS SIGNATURE DATE

20. AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTOOD THE REQUIREMENTS TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS. I, OR MY REPRESENTATIVE, CONTRACTOR, DEVELOPER, OR ENGINEER WILL MAKE CERTAIN THAT ALL BMPs SHOWN ON THIS PLAN WILL BE FULLY IMPLEMENTED, AND ALL EROSION CONTROL DEVICES WILL BE KEPT CLEAN AND FUNCTIONING. PERIODIC INSPECTIONS OF THE BMPs WILL BE CONDUCTED AND A CONSTRUCTION LOG, DESCRIBING THE EXACT NATURE OF THE INSPECTION AND ANY REMEDIAL MEASURES, WILL BE KEPT AT THE CONSTRUCTION SITE AT ALL TIMES AND WILL BE AVAILABLE FOR THE REVIEW OF THE BUILDING OFFICIAL.

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION SUBMITTED IS TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT SUBMITTING FALSE AND/OR INACCURATE INFORMATION, FAILING TO UPDATE THE LOCAL SWPPP TO REFLECT CURRENT CONDITIONS, OR FAILING TO PROPERLY AND/OR ADEQUATELY IMPLEMENT THE LOCAL SWPPP MAY RESULT IN REVOCATION OF GRADING AND/OR OTHER PERMITS OR OTHER SANCTIONS PROVIDED BY LAW.

OWNER OR AUTHORIZED AGENT OF THE OWNER DATE

21. THE FOLLOWING BMP FROM THE "CALIFORNIA STORM WATER BMP CONSTRUCTION HANDBOOK"- JANUARY 2003, MUST BE IMPLEMENTED FOR ALL CONSTRUCTION ACTIVITIES AS APPLICABLE. BMP'ss FROM THE "CALIFORNIA STORM WATER BMP HANDBOOK"- MARCH 1993 MAY BE USED IF DEEMS IN INDICATED.

EROSION CONTROL

EC1—SCHEDULING
EC2—PRESERVATION OF EXISTING VEGETATION
EC3—HYDRAULIC MULCH
EC4—HYDROSEEDING
EC5—SOIL BINDER
EC6—STRAW MULCH
EC7—GEOTEXTILES & MATS
EC8—WOOD MULCHING
EC9—EARTH DIKES AND DRAINAGE SWALES
EC10—VELOCITY DISSIPATION DEVICES
EC11—SLOPE DRAINS
EC12—STREAMBANK STABILIZATION
EC13—POLYACRYLAMIDE

TEMPORARY SEDIMENT CONTROL

SE1—SILT FENCE
SE2—SEDIMENT BASIN
SE3—SEDIMENT TRAP
SE4—CHECK DAM
SE5—FIBER ROLLS
SE6—GRAVEL BAG BERM
SE7—STREET SWEEPING AND VACUUMING
SE8—SANDBAG BARRIER
SE10—STORM DRAIN INLET PROTECTION

WIND EROSION CONTROL

WE1—WIND EROSION CONTROL

EQUIPMENT TRACKING CONTROL

TC1—STABILIZED CONSTRUCTION ENTRANCE EXIT
TC2—STABILIZED CONSTRUCTION ROADWAY
TC3—ENTERANCE/OUTLET TIRE WASH

NON-STORMWATER MANAGEMENT

NS1—WATER CONSERVATION PRACTICES
NS2—DEWATERING OPERATIONS
NS3—PAINING AND GRINDING OPERATIONS
NS4—TEMPORARY STREAM CROSSING
NS5—CLEAR WATER DIVERSION
NS6—ILLICIT CONNECTION/DISCHARGE
NS7—POTABLE WATER/IRRIGATION
NS8—VEHICLE AND EQUIPMENT CLEANING
NS9—VEHICLE AND EQUIPMENT FUELING
NS10—VEHICLE AND EQUIPMENT MAINTENANCE
NS11—PILE DRIVING OPERATIONS
NS12—CONCRETE CURING
NS13—CONCRETE FINISHING
NS14—MATERIAL AND EQUIPMENT USE
NS15—DEMOLITION ADJACENT TO WATER
NS16—TEMPORARY BATCH PLANTS

WASTE MANAGEMENT & HAZARDOUS POLLUTION CONTROL

WM1—MATERIAL DELIVERY AND STORAGE
WM2—MATERIAL USE
WM3—STOCKPILE MANAGEMENT
WM4—SPILL PREVENTION AND CONTROL
WM5—SOLID WASTE MANAGEMENT
WM6—HAZARDOUS WASTE MANAGEMENT
WM7—CONTAMINATION SOIL MANAGEMENT
WM8—CONCRETE WASTE MANAGEMENT
WM9—SANITARY/SEPTIC WASTE MANAGEMENT
WM10—LIQUID WASTE MANAGEMENT

ASPHALT AND BITUMINOUS PRODUCTS

PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS FROM ASPHALT AND BITUMINOUS OPERATIONS, BY PREVENTING RUN-ON AND RUN-OFF DURING THE OPERATION, PROPERLY DISPOSING OF WASTES, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

- AVOID PRIME OR TACK COATING DURING WET WEATHER.
- STORE MATERIALS AWAY FROM DRAINAGE COURSES TO PREVENT MATERIAL FROM ENTERING THE RUN-OFF.
- COVER CATCH BASINS AND MANHOLES WHEN APPLYING SEAL COAT, TACK COAT, SLURRY SEAL, FOG SEAL, ETC.
- MAKE SURE SAND OR GRAVEL PLACED OVER NEW ASPHALT DOESN'T WASH INTO STORM DRAINS, STREETS, OR CREEKS.
- DISPOSE OF OLD ASPHALT PROPERLY. COLLECT AND REMOVE ALL BROKEN ASPHALT FROM THE SITE AND RECYCLE WHENEVER POSSIBLE. DO NOT DISPOSE OF ASPHALT PRODUCTS INTO WATERWAYS.
- FOLLOW THE STORM WATER PERMITTING REQUIREMENTS FOR INDUSTRIAL ACTIVITIES IF PAVING INVOLVES AN ON-SITE MIXING PLANT.

ADDITIONAL GENERAL NOTES

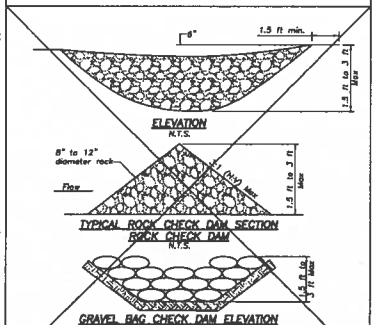
1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE WWECP WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
2. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
3. WHEN THE INSPECTOR SO DIRECTS, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF TRACTOR FILLS ON WHICH GROWING IS NOT IN PROGRESS.
4. PROVIDE VELOCITY CHECK DAMS ACROSS THE OUTLETS OF ALL LOTS DRAINING INTO STREET.
5. ALL FILLS SHALL BE GRADED TO PROMOTE DRAINAGE AWAY FROM THE EDGE OF THE FILL.
6. ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM BOTTOM TO TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING DIAGONALLY. TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAGS BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:

GRADE OF THE STREET	INTERVAL AS REQUIRED
LESS THAN 2%	100 FEET
2% TO 4%	50 FEET
4% TO 10%	25 FEET
OVER 10%	25 FEET

7. PROVIDE STANDARD "VELOCITY CHECK DAMS" AT ALL UNPAVED STREET AREAS AT THE INTERVALS INDICATED IN PARAGRAPH 6 ABOVE. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF SANDBAGS, TIMBER, OR ANOTHER EROSION RESISTANT MATERIAL APPROVED BY THE INSPECTOR AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. EARTH DAMS MAY NOT BE USED AS "VELOCITY CHECK DAMS".
8. PROVIDE STANDARD "VELOCITY CHECK DAMS" IN ALL UNPAVED CHANNELS AT THE INTERVALS INDICATED BELOW.

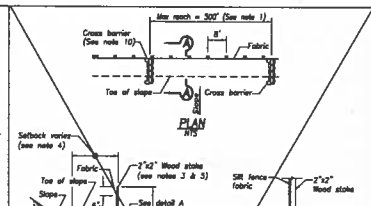
GRADE OF CHANNEL	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET

9. THE STANDARD VELOCITY CHECK DAM SHALL HAVE A MINIMUM HEIGHT OF 12-INCHES. VELOCITY CHECK DAMS ACROSS OUTLETS OF ALL LOTS SHALL HAVE A MINIMUM HEIGHT OF 18-INCHES. VELOCITY CHECK DAMS CONSTRUCTED WITH SANDBAGS THAT ARE 18-INCHES HIGH SHALL BE BUILT WITH A DOUBLE ROW.
10. AFTER SEWER AND UTILITY TRENCHES ARE BACK FILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDED SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PREVENT ERODING THE CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT IN THE CENTERLINE OF A ORDINED STREET.
11. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FORECAST OF RAIN PROBABILITY EXCEEDS 40% AND SHALL BE MAINTAINED DURING THE RAINY SEASON FROM OCTOBER 1 TO APRIL 15.
12. AFTER EACH STORM ALL "DESILTING BASINS" AND "VELOCITY CHECK DAMS" SHALL BE PUMPED DRY AND REMOVED OF ALL DEBRIS AND SILT WITHIN 24 HOURS AND RESTORED TO THEIR ORIGINAL CAPACITY.
13. EROSION CONTROL DEVICES SHALL BE STOCKPILED IN PARKWAYS AT INTERVALS SHOWN ON THE WWECP, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECASTED OR WHEN DIRECTED BY THE INSPECTOR.
14. BARE AND VEGETATIVE GROUND COVER MAY NOT BE REMOVED MORE THAN 10 FEET ABOVE FILLS DURING THE RAINY SEASON WHICH OCCURS BETWEEN OCTOBER 1 AND APRIL 15.
15. ALL CUT & FILL SLOPES GREATER THAN 1 VERTICAL TO 3 HORIZONTAL SHALL BE COVERED WITH 10 MIL PLASTIC SHEETING TO BE HELD IN PLACE WITH SANDBAGS (UNLESS PLANTED OR HYDROSEEDED).
16. ENOUGH SANDBAGS WILL BE STOCKPILED ONSITE TO EFFECTIVATE THIS PLAN AS SHOWN PER THIS PLAN. THOSE SANDBAGS SHOWN ON THIS PLAN THAT DO NOT IMPEDE GRADING WORK BEING DONE, WILL BE PLACED PER PLAN AND AS REQUIRED BY THE INSPECTOR(S) (PUBLIC WORKS OR BUILDING & SAFETY) IN THE FIELD.
17. THE LOCATION AND DESIGN OF ALL EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE TENTATIVE ONLY AND SUBJECT TO REVISIONS AS DETERMINED BY THE RESIDENT INSPECTOR AS CONDITIONS WARRANT. SILT, DEBRIS AND MUD SHALL BE PROMPTLY REMOVED FROM ALL EROSION CONTROL STRUCTURES AFTER EACH RAIN TO THE SATISFACTION OF THE RESIDENT INSPECTOR. THE CITY MAY CONDUCT AND DETERMINE THE NECESSITY OF ADDITIONAL EROSION CONTROL MEASURES.
18. STANDBY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORM.
19. THE PLAN SHALL SPECIFY THAT GRADING SHALL TAKE PLACE ONLY DURING THE DRY SEASON (APRIL 1 - OCTOBER 31). THIS PERIOD MAY BE EXTENDED FOR A LIMITED PERIOD OF TIME IF THE SITUATION WARRANTS SUCH A LIMITED EXTENSION, IF APPROVED BY THE EXECUTIVE DIRECTOR. THE APPLICANT'S SHALL INSTALL OR CONSTRUCT TEMPORARY SEDIMENT BASINS (INCLUDING DEBRIS BASINS, DESILTING BASINS, OR SILT STRAPS), TEMPORARY DRAINS AND SWALES, SAND BAG BARRIERS, SILT FENCING, AND WILL STABILIZE ANY STOCKPILED FILL WITH GEOFABRIC COVER OR OTHER APPROPRIATE COVER, INSTALL GEOTEXTILES OR MATS ON ALL CUT OR FILL SLOPES, AND CLOSE AND STABILIZE OPEN TRENCHES AS SOON AS POSSIBLE. THESE EROSION CONTROL MEASURES SHALL BE REQUIRED ON THE PROJECT SITE PRIOR TO OR CONCURRENT WITH THE INITIAL GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE DEVELOPMENT PROCESS TO MINIMIZE EROSION AND SEDIMENT FROM RUNOFF WATERS DURING CONSTRUCTION. ALL SEDIMENT SHOULD BE RETAINED ON-SITE, UNLESS REMOVED TO AN APPROPRIATE, APPROVED DUMPING LOCATION EITHER OUTSIDE OF THE COASTAL ZONE OR WITHIN THE COASTAL ZONE TO A SITE PERMITTED TO RECEIVE FILL.



EC-4

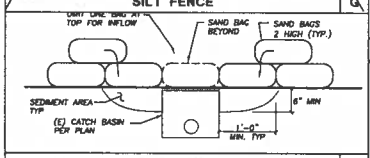
CHECK DAM E



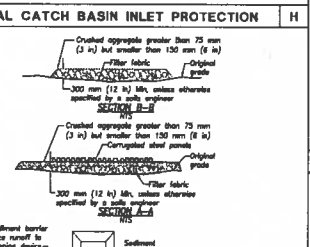
NOTES:
1. Construct the length of each reach so that the change in base elevation along the reach does not exceed ½ the height of the linear barrier, in no case shall the reach length exceed 500'
2. The last 8'-0" of fence shall be turned up slope.
3. Stake dimensions are nominal.
4. Dimension may vary to fit field condition.
5. Stakes shall be spaced at 8'-0" maximum and shall be positioned on downstream side of fence.
6. Stakes to overlap and fence fabric to fold around each stake one full turn. Secure fabric to stake with 4 staples.
7. Stakes shall be driven tightly together to prevent potential flow through of sediment at joint. The tops of the stakes shall be secured with wire.
8. For end stake, fence fabric shall be folded around two stakes one full turn and secured with 4 staples.
9. Minimum 4 staples per stake. Dimensions shown are typical.
10. Cross barriers shall be a minimum of ½ and a maximum of ⅔ the height of the linear barrier.
11. Maintenance openings shall be constructed in a manner to ensure sediment remains behind silt fence.
12. Joining sections shall not be placed at sump locations.
13. Sandbag rows and layers should be offset to eliminate gaps.

SE-1

SILT FENCE G



LOCAL CATCH BASIN INLET PROTECTION H



TC-1

STABILIZED CONSTRUCTION ENTRANCE/EXIT I

Dust Control Practices

Dust control BMPs generally stabilize exposed surfaces and minimize activities that suspend or track dust particles. The following table presents dust control practices that can be applied to varying site conditions that could potentially cause dust. For heavily traveled and disturbed areas, wet suppression (watering), gravel asphalt surfacing, temporary gravel construction entrances, equipment wash-out areas, and haul truck covers can be employed as dust control applications. Permanent or temporary vegetation and mulching can be employed for areas of occasional or no construction traffic. Preventive measures include minimizing surface areas to be disturbed, limiting onsite vehicle traffic to 15 mph or less, and controlling the number and activity of vehicles on a site at any given time.

Site Condition	Permanent Vegetation	Watering	Wet Suppression (Watering)		Gravel or Asphalt	Temporary Gravel Construction Entrance/ Equipment Wash Down	Synthetic Cover	Minimize Extent of Disturbed Area
Inactivity Areas not Subject to Traffic	X	X	X		X			X
Inactive Areas Subject to Traffic			X		X	X		X
Unpaved Roads		X	X			X	X	X
Stockpiles			X				X	X
Clearing/ Excavating			X					X
Haul Roads not Disposed Waste Material			X		X	X	X	
Unpaved Areas			X		X	X		

Additional Preventative Measures Include:

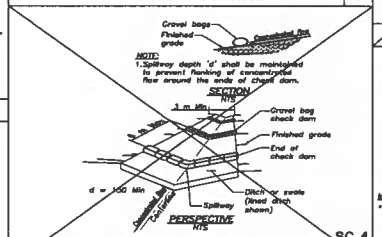
- Schedule construction activities to minimize exposed areas (see CASQA BMP EC-1, Scheduling).
- Quickly treat exposed soils using water, mulching, or stone/gravel layering.
- Identify and stabilize any access points prior to commencement of construction.
- Minimize the impact of dust by considering the direction of prevailing winds.
- Restrict construction traffic to stabilized roadways within the project site, as practicable.
- Water should be applied by means of pressure-type distributors or pipelines equipped with a spray system or hoses and nozzles that will ensure even distribution.
- All distribution equipment should be equipped with a positive means of shutoff.
- Unless water is applied by means of pipelines, at least one mobile unit should be available at all times to apply water or dust palliative to the project.
- If reclaimed waste water is used, the sources and discharge must meet California Department of Health Services water reclamation criteria and the Regional Water Quality Control Board (RWQCB) requirements. Non-potable water should not be conveyed in tanks or drain pipes that will be used to convey potable water and there should be no connection between potable and non-potable supplies. Non-potable tanks, pipes, and other conveyances should be marked. "NON-POTABLE WATER – DO NOT DRINK."
- Pave access points where unpaved traffic surfaces adjoin paved roads.
- Provide covers for haul trucks transporting materials that contribute to dust.
- Provide for rapid clean up of sediments deposited on paved roads. Furnish stabilized construction entrance and wash rack.
- Stabilize inactive areas of construction sites using temporary vegetation.

Inspection & Maintenance

- Inspect and verify that activity-based BMPs are in place prior to the commencement of associated activities.
- BMPs must be inspected in accordance with General Permit requirements for the associated project type and risk level. It is recommended that at a minimum, BMPs be inspected weekly, prior to forecasted rain events, daily during extended rain events, and after the conclusion of rain events.
- Check areas protected to ensure coverage.
- Most water-based dust control measures require frequent application, often daily or even multiple times per day.

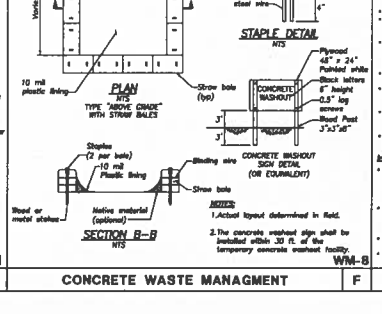
WE-1

WIND EROSION CONTROL J



SC-4

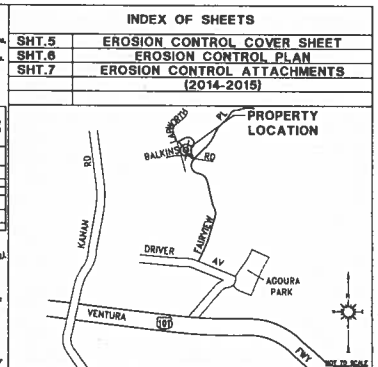
TEMPORARY CHECK DAM (TYPE 2) D



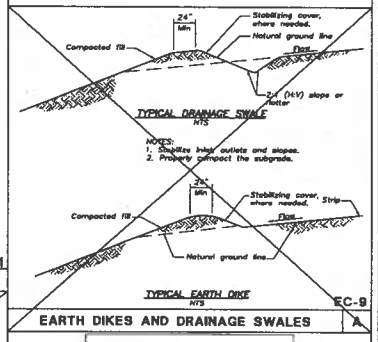
WM-8

CONCRETE WASTE MANAGMENT F

INDEX OF SHEETS

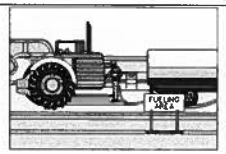


VICINITY MAP



EC-9

EARTH DIKES AND DRAINAGE SWALES A



Implementation

- Use mobile fueling stations as much as possible. These businesses are better equipped to handle fuel and spills properly. Performing this work offsite can also be economical by eliminating the need for a separate fueling area at a site.
- Discourage "topping-off" of fuel tanks.
- Absorbent spill cleanup materials and spill kits should be available in fueling areas and on fueling trucks, and should be disposed of properly after use.
- Drip pans or absorbent pads should be used during vehicle and equipment fueling, unless the fueling is performed over an impermeable surface in a dedicated fueling area.
- Use absorbent materials on small spills. Do not hose down or bury the spill. Remove the absorbent materials promptly and dispose of properly.
- Avoid mobile fueling of mobile construction equipment around the site rather, transport the equipment to designated fueling areas. With the exception of tracked equipment such as bulldozers and large excavators, most vehicles should be able to travel to a designated area with little lost time.
- Train employees and subcontractors in proper fueling and cleanup procedures.
- When fueling must take place onsite, designate an area away from drainage courses to be used. Fueling areas should be identified in the SWPPP.
- Dedicated fueling areas should be protected from stormwater runon and runoff, and should be located at least 30 feet away from downstream drainage facilities and watercourses. Fueling must be performed on level-grade areas.
- Protect fueling areas with berms and dikes to prevent runon, runoff, and to contain spills.
- Nozzles used in vehicle and equipment fueling should be equipped with an automatic shutoff to control drips. Fueling operations should not be left unattended.
- Use vapor recovery nozzles to help control drips as well as air pollution where required by Air Quality Management Districts (AQMD).
- Federal, state, and local requirements should be observed for any stationary above ground storage tanks.

Inspection and Maintenance

- Inspect BMPs in accordance with General Permit requirements for the associated project type and risk level. It is recommended that at a minimum, BMPs be inspected weekly, prior to forecasted rain events, daily during extended rain events, and after the conclusion of rain events.
- Vehicles and equipment should be inspected each day of use for leaks. Leaks should be repaired immediately or problem vehicles or equipment should be removed from the project site.
- Keep ample supplies of spill cleanup materials onsite.
- Immediately clean up spills and properly dispose of contaminated soil and cleanup materials.

NS-9

VEHICLE/EQUIPMENT FUELING B

REVISIONS	BY

LC ENGINEERING GROUP, INC.
Consulting Engineers
(805) 497-2364 (818) 991-7148 FAX (818) 991-5847 Email: lcengineering@yahoo.com

REGISTERED PROFESSIONAL ENGINEER
C 52258
EXP. DEC. 2014
CIVIL
STATE OF CALIFORNIA

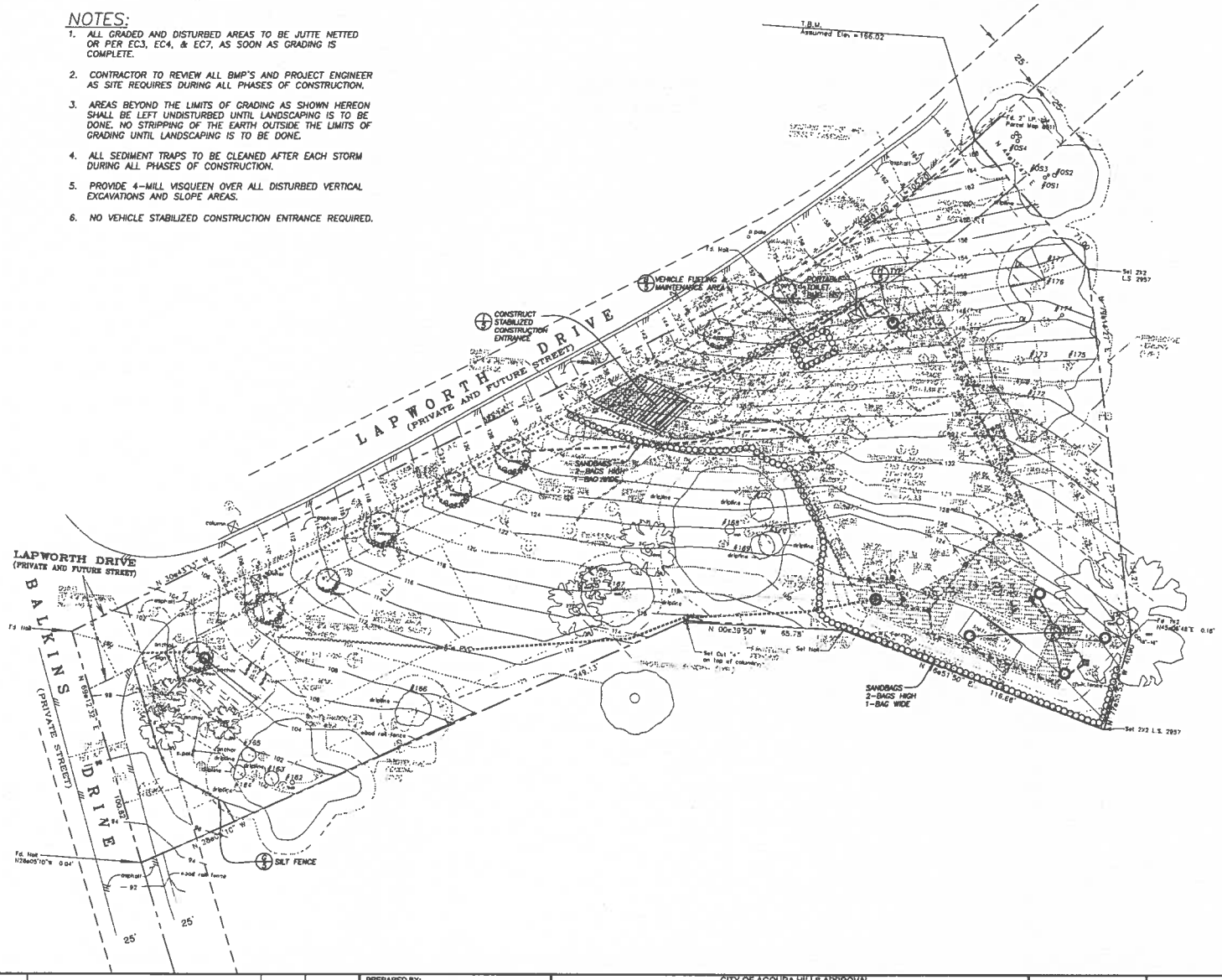
SHARMA
5952 LAPWORTH DRIVE
AGOURA HILLS, CA.

COVER SHEET
WET WEATHER
EROSION CONTROL PLAN

DATE:	6/22/15
SCALE:	N.T.S.
DRAWN:	KH
JOB:	6858
SHEET:	5
	OF 7 SHEETS

NOTES:

1. ALL GRADED AND DISTURBED AREAS TO BE JUTTE NETTED OR PER EC3, EC4, & EC7, AS SOON AS GRADING IS COMPLETE.
2. CONTRACTOR TO REVIEW ALL BMP'S AND PROJECT ENGINEER AS SITE REQUIRES DURING ALL PHASES OF CONSTRUCTION.
3. AREAS BEYOND THE LIMITS OF GRADING AS SHOWN HEREON SHALL BE LEFT UNDISTURBED UNTIL LANDSCAPING IS TO BE DONE. NO STRIPPING OF THE EARTH OUTSIDE THE LIMITS OF GRADING UNTIL LANDSCAPING IS TO BE DONE.
4. ALL SEDIMENT TRAPS TO BE CLEANED AFTER EACH STORM DURING ALL PHASES OF CONSTRUCTION.
5. PROVIDE 4-MILL VISQUEEN OVER ALL DISTURBED VERTICAL EXCAVATIONS AND SLOPE AREAS.
6. NO VEHICLE STABILIZED CONSTRUCTION ENTRANCE REQUIRED.



SCALE: 1"=20'

0 20 40 60

REGISTERED PROFESSIONAL ENGINEER
C 32258
EXP. DEC. 2014
CIVIL
STATE OF CALIFORNIA

REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

PREPARED BY: LC ENGINEERING GROUP, INC.

PROJECT ENGINEER 52258 RCE DATE

CITY OF AGOURA HILLS APPROVAL

REVIEWED BY DATE

RAMIRO S. ADEVA III DATE 66865 RCE NO. EXP DATE
CITY ENGINEER

CITY OF AGOURA HILLS

EROSION CONTROL PLAN

5952 LAPWORTH DR.
AGOURA HILLS, CA. 91301

PROJECT NO. - SHEET 6 OF 7

CITY OF AGOURA HILLS DWG. NO. 6858

SWPPP BMP SELECTION

Table 3.2 Temporary Erosion Control BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement[2,3]	BMP Used YES	BMP Used NO	If not used, state reason
EC-1	Scheduling		X		
EC-2	Preservation of Existing Vegetation		X		
EC-3	Hydraulic Mulch			X	N/A
EC-4	Hydromul		X		
EC-5	Soil Binders			X	N/A
EC-6	Straw Mulch			X	N/A
EC-7	Geotextiles and Mats			X	N/A
EC-8	Wood Mulching		X		
EC-9	Earth Dike and Drainage Swales			X	N/A
EC-10	Velocity Dissipation Devices			X	N/A
EC-11	Slope Drains			X	N/A
EC-12	Streambank Stabilization			X	N/A
EC-14	Compost Blankets			X	N/A
EC-15	Soil Preparation/Roughening			X	N/A
EC-16	Non-Vegetated Stabilization			X	N/A
WE-1	Wind Erosion Control		X		
Alternate BMPs Used:					If used, state reason:

[1] Applicability to a specific project shall be determined by the QSD.
-[2] The QSD shall ensure implementation of one of the minimum measures listed or a combination thereof to achieve and maintain the Risk Level requirements.
[3] Run-on from offsite shall be directed away from all disturbed areas, diversion of offsite flows may require design/analysis by a licensed civil engineer and/or additional environmental permitting

Table 3.3 Temporary Sediment Control BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement[2,3]	BMP used YES	BMP used NO	If not used, state reason
SE-1	Silt Fence			X	N/A
SE-2	Sediment Basin			X	N/A
SE-3	Sediment Trap			X	N/A
SE-4	Check Dams			X	N/A
SE-5	Fiber Rolls			X	N/A
SE-6	Gravel Bag Berm		X		
SE-7	Street Sweeping		X		
SE-8	Sandbag Barrier		X		
SE-9	Straw Bale Barrier			X	N/A
SE-10	Storm Drain Inlet Protection		X		
SE-11	ATS			X	N/A
SE-12	Temporary Silt Dike			X	N/A
SE-13	Compost Sock and Berm			X	N/A
SE-14	Biofilter Bags			X	N/A
TC-1	Stabilized Construction Entrance and Exit		X		
TC-2	Stabilized Construction Roadway			X	N/A
TC-3	Entrance/Outlet Tire Wash			X	N/A
Alternate BMPs Used:					If used, state reasons

[1] Applicability to a specific project shall be determined by the QSD
[2] The QSD shall ensure implementation of one of the minimum measures listed or a combination thereof to achieve and maintain the Risk Level requirements
[3] Risk Level 2 &3 shall provide linear sediment control along toe of slope, face of slope, and at the grade breaks of exposed slope

Table 3.4 Temporary Non-Stormwater BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement[2,3]	BMP used YES	BMP used NO	If not used, state reason
NS-1	Water Conservation Practices		X		
NS-2	Dewatering Operation			X	N/A
NS-3	Paving and Grinding Operation		X		
NS-4	Temporary Stream Crossing			X	N/A
NS-5	Clear Water Diversion			X	N/A
NS-6	Illicit Connection/ Illegal Discharge Connection			X	N/A
NS-7	Potable Water/ Irrigation Discharge Detection			X	N/A
NS-8	Vehicle and Equipment Cleaning		X		
NS-9	Vehicle and Equipment Fueling		X		
NS-10	Vehicle and Equipment Maintenance		X		
NS-11	Pile Driving Operation			X	N/A
NS-12	Concrete Curing		X		
NS-13	Concrete Finishing		X		
NS-14	Material and Equipment Use Over Water			X	N/A
NS-15	Demolition Removal Adjacent to Water			X	N/A
NS-16	Temporary Batch Plants			X	N/A
Alternate BMPs Used:			If used, state reasons:		

[1] Applicability to a specific project shall be determined by the QSD

Table 3.4 Temporary Non-Stormwater BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement[2,3]	BMP used YES	BMP used NO	If not used, state reason
NS-1	Water Conservation Practices		X		
NS-2	Dewatering Operation			X	N/A
NS-3	Paving and Grinding Operation		X		
NS-4	Temporary Stream Crossing			X	N/A
NS-5	Clear Water Diversion			X	N/A
NS-6	Illicit Connection/ Illegal Discharge Connection			X	N/A
NS-7	Potable Water/ Irrigation Discharge Detection			X	N/A
NS-8	Vehicle and Equipment Cleaning		X		
NS-9	Vehicle and Equipment Fueling		X		
NS-10	Vehicle and Equipment Maintenance		X		
NS-11	Pile Driving Operation			X	N/A
NS-12	Concrete Curing		X		
NS-13	Concrete Finishing		X		
NS-14	Material and Equipment Use Over Water			X	N/A
NS-15	Demolition Removal Adjacent to Water			X	N/A
NS-16	Temporary Batch Plants			X	N/A
Alternate BMPs Used:			If used, state reasons:		

[1] Applicability to a specific project shall be determined by the QSD.

Table 3.5 Temporary Materials Management BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement[2,3]	BMP used YES	BMP used NO	If not used, state reason
WM-01	Material Delivery and Storage		X		
WM-02	Material Use		X		
WM-03	Stockpile Management		X		
WM-04	Spill Prevention and Control		X		
WM-05	Solid Waste Management		X		
WM-06	Hazardous Waste Management		X		
WM-07	Contaminated Soil Management			X	N/A
WM-08	Concrete Waste Management		X		
WM-09	Sanitary/Septic Waste Management		X		
WM-10	Liquid Waste Management		X		
Alternate BMPs Used:			If used, state reasons:		

[1] Applicability to a specific project shall be determined by the QSD.

JOB ADDRESS: 5952 LAPWORTH DRIVE PERMIT #: _____ _____ _____

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM

PRIORITY PROJECTS

CERTIFICATION STATEMENT

AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THE APPROXIMATE BMP'S WILL BE IMPLEMENTED IS EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT CONTRACTOR IS AWARE THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS, THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: _____
(OWNER OR AUTHORIZED AGENT OF THE OWNER)

SIGNATURE: _____ DATE: _____
(OWNER OR AUTHORIZED AGENT OF THE OWNER)

JOB ADDRESS: 5952 LAPWORTH DRIVE PERMIT #: _____ _____ _____

DEPARTMENT OF BUILDING AND SAFETY

MINIMUM REQUIREMENTS FOR CONSTRUCTION PROJECTS/
CERTIFICATION STATEMENT

THE FOLLOWING IS INTENDED AS AN ATTACHMENT TO THE CONSTRUCTION/GRADING PLANS AND REPRESENT THE MINIMUM STANDARDS OF GOOD HOUSEKEEPING WHICH MUST BE IMPLEMENTED ON ALL SITES CLASSIFIED AS DEVELOPMENT CONSTRUCTION PROJECTS.

DEVELOPMENT CONSTRUCTION PROJECTS ARE DEFINED AS PROJECTS WHERE THERE IS LESS THAN TWO ACRES OF DISTURBED SOIL, NOT LOCATED IN DESIGNATED HILLSIDE AREAS, AND NOT ON OR ADJACENT TO AN ENVIRONMENTAL SENSITIVE AREA. NOTE: A PROJECT IN A DESIGNATED HILLSIDE AREA WITH LESS THAN TWO ACRES OF DISTURBED SOIL AND NOT IN OR ADJACENT TO AN ENVIRONMENTAL SENSITIVE AREA, MAY BE CLASSIFIED AS A DEVELOPMENT CONSTRUCTION PROJECT IF THE GRADING PRE-INSPECTION (GPI) IS NOT REQUIRED OR THE ENTIRE LOT HAS A SLOPE OF TEN PERCENT OR LESS.

- ☐ ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ONSITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND.
- ☐ STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
- ☐ FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- ☐ EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ONSITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- ☐ TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

REGISTERED PROFESSIONAL ENGINEER JAMES DAVID TERRELL C 52258 EXP. DEC. 2014 CIVIL STATE OF CALIFORNIA

#	REVISIONS	DATE

GRADING PLAN PREPARED BY:
LC ENGINEERING GROUP, INC.
CIVIL ENGINEERS
5880 Pearce Court, Suite 101, Tarzana, Calif. 91356
REGISTERED ENGINEER NO. 52258 DATE

CITY OF AGOURA HILLS
EROSION CONTROL ATTACHMENTS
5952 LAPWORTH DRIVE

DRAWN BY / DATE	CHECKED BY / DATE	
KH/8-6-14	MM	SHEET 7 OF 7

LC ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
889 Pierce Court, Suite 101, Thousand Oaks, California 91360
(805)497-1244 (818)991-7148 FAX(818)991-5942 Email: workfiles@lcgroupinc.com

REGISTERED PROFESSIONAL ENGINEER
JAMES DAVID PAUL
C 52258
EXP. DEC. 2014
CIVIL
STATE OF CALIFORNIA

EARTHWORK QUANTITIES

CUT/FILL:

CUT: 906 CU. YDS. FILL: 1,117 CU. YDS.

EXPORT: ø CU. YDS. IMPORT: 212 CU. YDS.

EARTHWORK EXHIBIT

FOR

5952 LAPWORTH DR.
AGOURA HILLS, CA. 91301

Cut/Fill Report

Generated: 2015-06-24 16:13:42

By user: Edward Raysinger

Drawing: X:\LCE GROUP\Civil\JOBS\6800\6858 SHARMA\CIVIL\DWG\XREF\X:\LCE GROUP\Civil\JOBS\6800\6858 SHARMA\CIVIL\DWG\XREF\6858 SITE PLAN C3D.dwg

Volume Summary

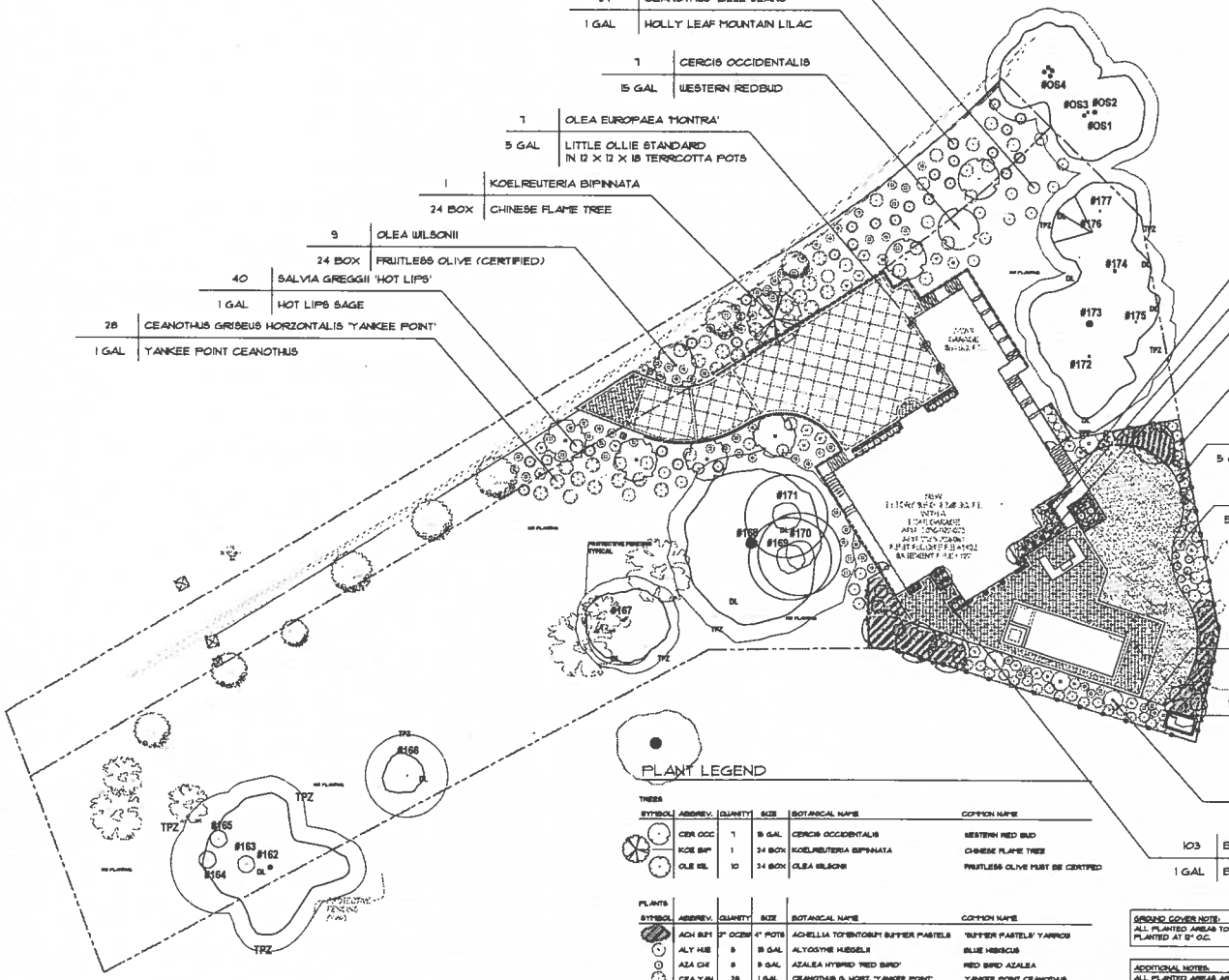
Name	Type	Cut Factor	Fill Factor	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
6858 proposed volume	full	1.000	1.150	21568.42	906	1117*	212*

Totals

	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Total	21568.42	906	1117*	212*

* Value adjusted by cut or fill factor other than 1.0

17	ENCELIA CALIFORNICA
1 GAL	COAST SUNFLOWER
27	CEANOTHUS 'BLUE JEANS'
1 GAL	HOLLY LEAF MOUNTAIN LILAC
7	CERCIS OCCIDENTALIS
15 GAL	WESTERN REDBUD
7	OLEA EUROPAEA 'MONTRA'
5 GAL	LITTLE OLLIE STANDARD IN 12 X 12 X 18 TERRCOTTA POTS
1	KOELREUTERIA BIPINNATA
24 BOX	CHINESE FLAME TREE
9	OLEA WILSONII
24 BOX	FRUITLESS OLIVE (CERTIFIED)
40	SALVIA GREGGII 'HOT LIPS'
1 GAL	HOT LIPS SAGE
28	CEANOTHUS GRISEUS HORZONTALIS 'YANKEE POINT'
1 GAL	YANKEE POINT CEANOTHUS



3	FATSIA JAPONICA
15 GAL	JAPANESE ARALIA
6	AZALEA INDICA 'RED BIRD'
5 GAL	RED BIRD AZALEA
14	LIRIOPE MUSCARI VARIEGATA
5 GAL	VARIGATED LILY TURF
34	DODONAEA VISCOSA PURPUREA
5 GAL	PURPLE HOPSEED BUSH
32	ROSA FLORIBUNDA 'BRONZE STAR', 'EASY DOES IT', 'HOT COCOA'
5 GAL	BRONZE STAR, EASY DOES IT AND HOT COCOA ROSE
29	SALVIA LEUCANTHA 'SANTA BARBARA'
5 GAL	SANTA BARBARA BUSH SAGE
12	ZAUSCHNERIA CALIFORNICA
1 GAL	CALIFORNIA FUCHSIA
12" OCEW	ACHELLIA TOMENTOSUM SUMMER PASTELS
4" POTS	'SUMMER PASTELS' YARROW
4	ALYOGYNE HUEGELII
15 GAL	BLUE HIBISCUS
103	EUONYMUS JAPONICUS 'MICROPHYLLUS '
1 GAL	BOX LEAF EUONYMUS

PLANT LEGEND

TREES

SYMBOL	ABBREV.	QUANTY	SIZE	BOTANICAL NAME	COMMON NAME
	CER OCC	7	15 GAL	CERCIS OCCIDENTALIS	WESTERN RED BUD
	KOE BIP	1	24 BOX	KOELREUTERIA BIPINNATA	CHINESE FLAME TREE
	OLE WIL	10	24 BOX	OLEA WILSONI	FRUITLESS OLIVE MUST BE CERTIFIED

PLANTS

SYMBOL	ABBREV.	QUANTY	SIZE	BOTANICAL NAME	COMMON NAME
	ACH SUM	2" OCEW	4" POTS	ACHELLIA TOMENTOSUM SUMMER PASTELS	'SUMMER PASTELS' YARROW
	ALY HUE	5	15 GAL	ALYOGYNE HUEGELII	BLUE HIBISCUS
	AZA CHI	6	5 GAL	AZALEA HYBRID 'RED BIRD'	RED BIRD AZALEA
	CEA YAN	28	1 GAL	CEANOTHUS G. HORZ. 'YANKEE POINT'	YANKEE POINT CEANOTHUS
	CEA BLU	26	1 GAL	CEANOTHUS 'BLUE JEANS'	HOLLY LEAF MOUNTAIN LILAC
	DOD PUR	34	5 GAL	DODONAEA VISCOSA PURPUREA	PURPLE HOPSEED BUSH
	ENC CAL	17	1 GAL	ENCELIA CALIFORNICA	COAST SUNFLOWER
	EUO MIC	103	1 GAL	EUONYMUS JAPONICUS 'MICROPHYLLUS'	BOX LEAF EUONYMUS
	FAT JAP	3	15 GAL	FATSIA JAPONICA	JAPANESE ARALIA
	LIR VAR	14	1 GAL	LIRIOPE MUSCARI VARIEGATA	VARIGATED LILY TURF
	OLE MON	14	1 GAL	OLEA EUROPAEA 'MONTRA'	LITTLE OLLIE STANDARD TOPIARY IN 12 X 12 X 18 TERRCOTTA POTS
	ROS BFP	33	5 GAL	ROSA FLORIBUNDA 'BRONZE STAR', 'HOT COCOA', EASY DOES IT'	BRONZE STAR, HOT COCOA ROSE AND EASY DOES IT ROSE
	SAL HOT	40	1 GAL	SALVIA GREGGII 'HOTS LIPS'	HOT LIPS SAGE
	SAL SAN	29	5 GAL	SALVIA LEUCANTHA 'SANTA BARBARA'	SANTA BARBARA BUSH SAGE
	ZAU CAL	12	1 GAL	ZAUSCHNERIA CALIFORNICA	CALIFORNIA FUCHSIA

GROUND COVER NOTE:
ALL PLANTED AREAS TO RECEIVE PRAGERIA CHLORINIS PLANTED AT 12" O.C.

ADDITIONAL NOTES:
ALL PLANTED AREAS ARE TO BE AMENDED WITH ORGANIC COMPOST AT A MINIMUM OF 6" DEEP, MIX 50% SOIL 50% AMENDMENT
EXCEPTION NO AMENDMENT OF SLOPE AREAS
ALL PLANTER AREA TO RECEIVE 3" OF MEDIUM BARK MULCH

IRRIGATION NOTES:
ALL LAWN AND PLANTER AREAS ARE TO IRRIGATED WITH AN AUTOMATIC SPRINKLER SYSTEM. THIS SYSTEM MUST HAVE A RAIN SENSOR, LOW FLOW SPRAY HEADS AND DRIP LINES IN LEVEL PLANTER AREAS

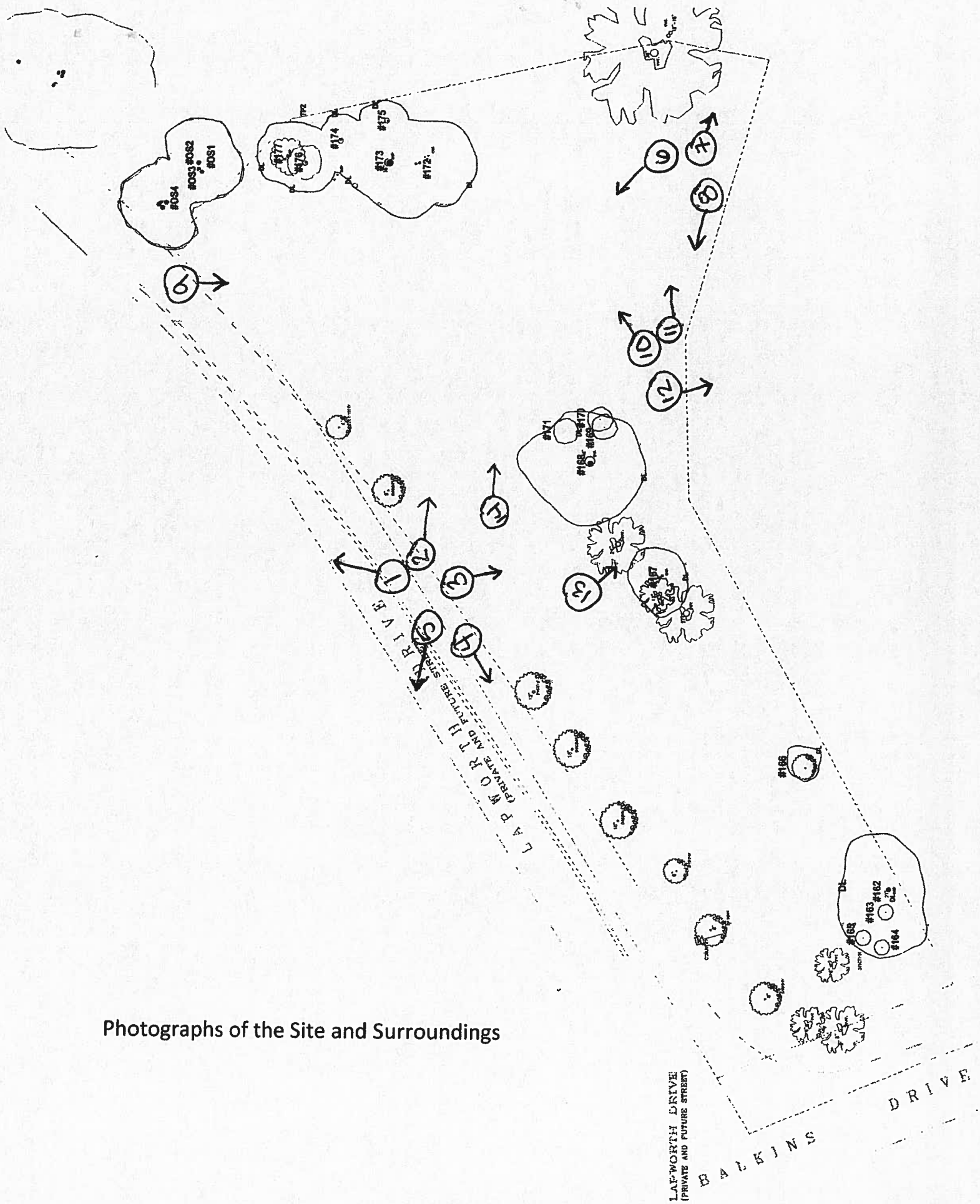
OLWYN KINGERY
LANDSCAPE DESIGN
1938 THOUSAND OAKS BLVD SUITE B
THOUSAND OAKS, CALIFORNIA 91362
805.279.9119 VOICE

DATE: 7/2/15
REVISIONS:
PRINT DATE:

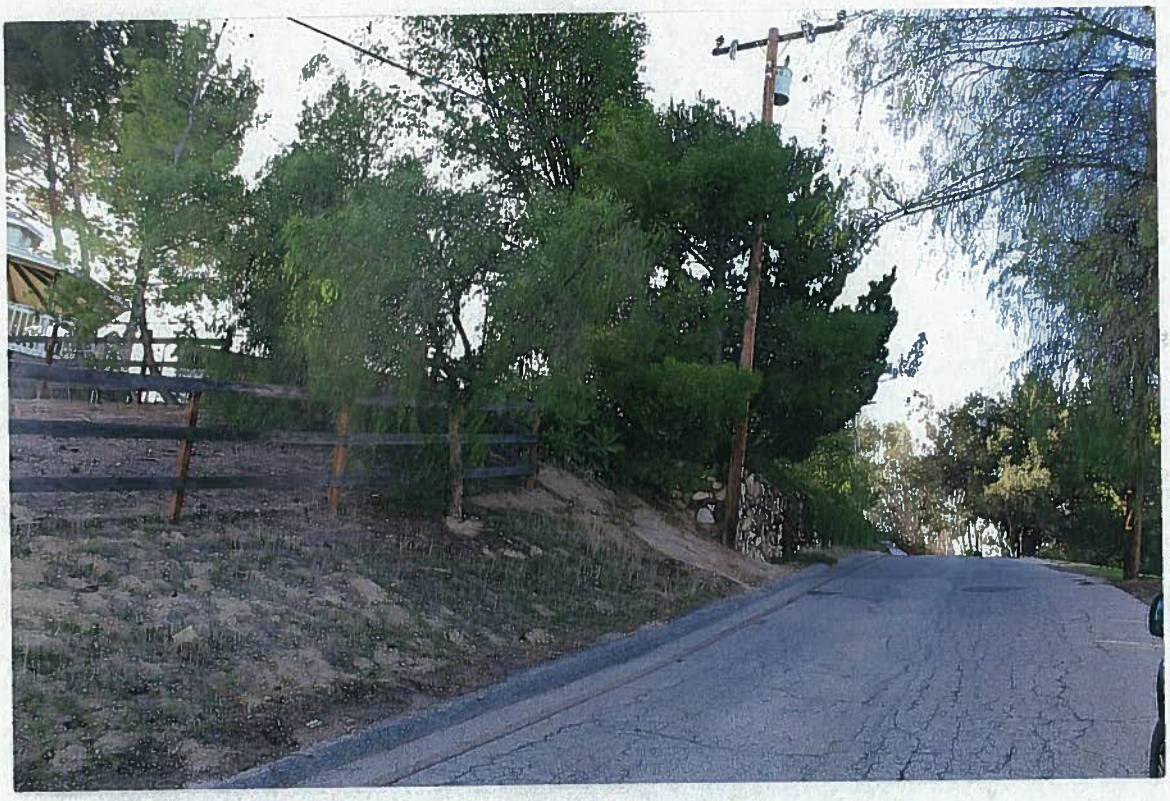
SHARMA
L2 LANDSCAPE PLAN

SHARMA RESIDENCE
5952 LAPWORTH DRIVE AGOURA HILLS, CA. 91301
APN# 2055-022-013, 2055-022-091

L2
LANDSCAPE



Photographs of the Site and Surroundings



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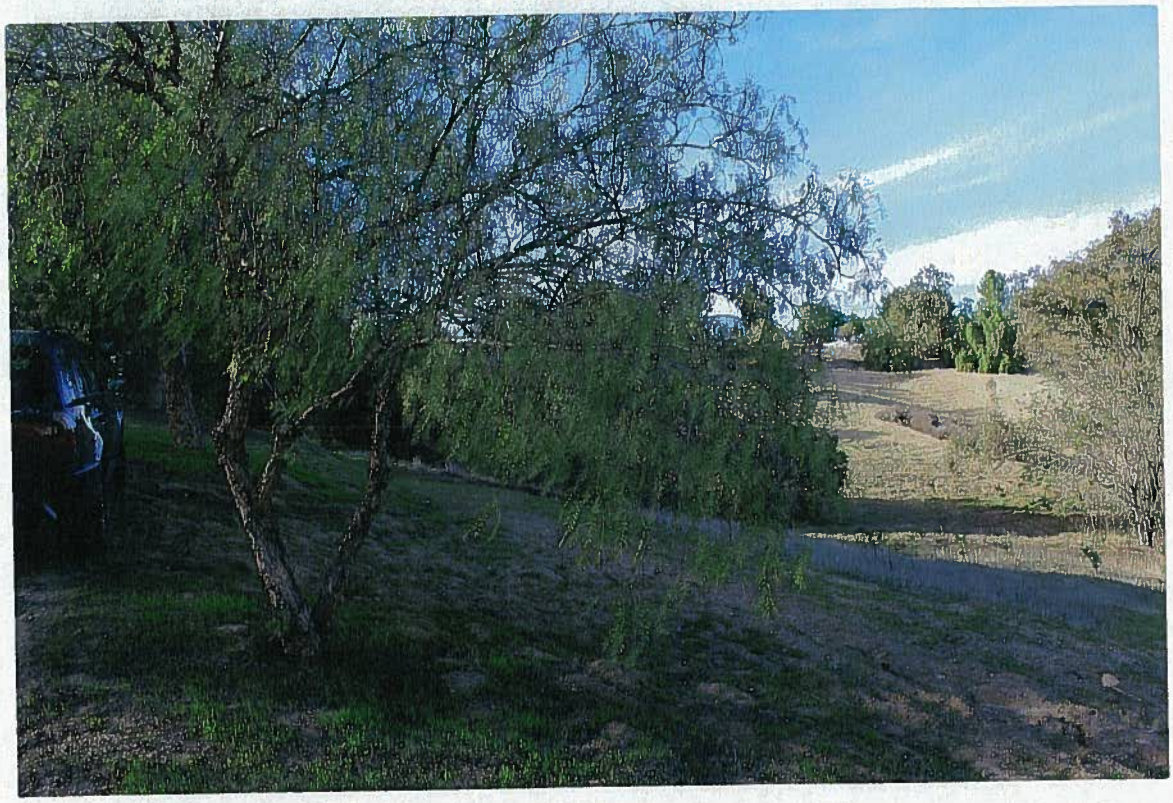

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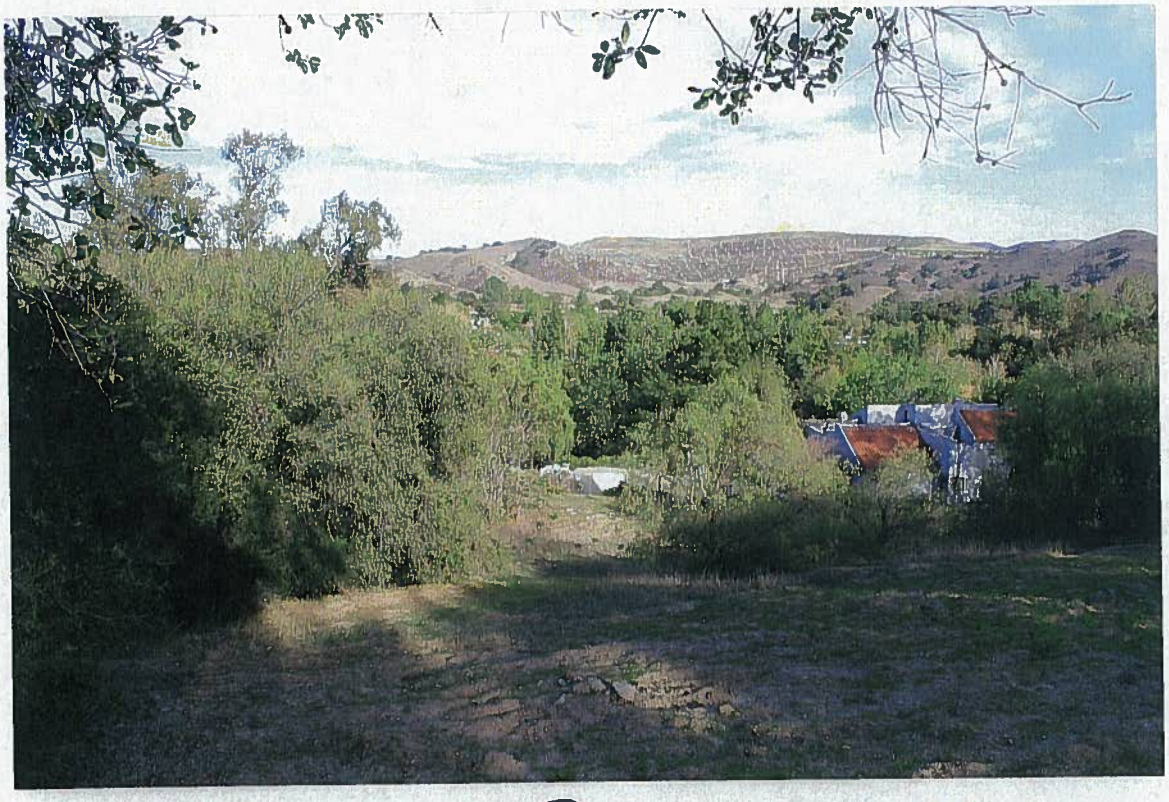

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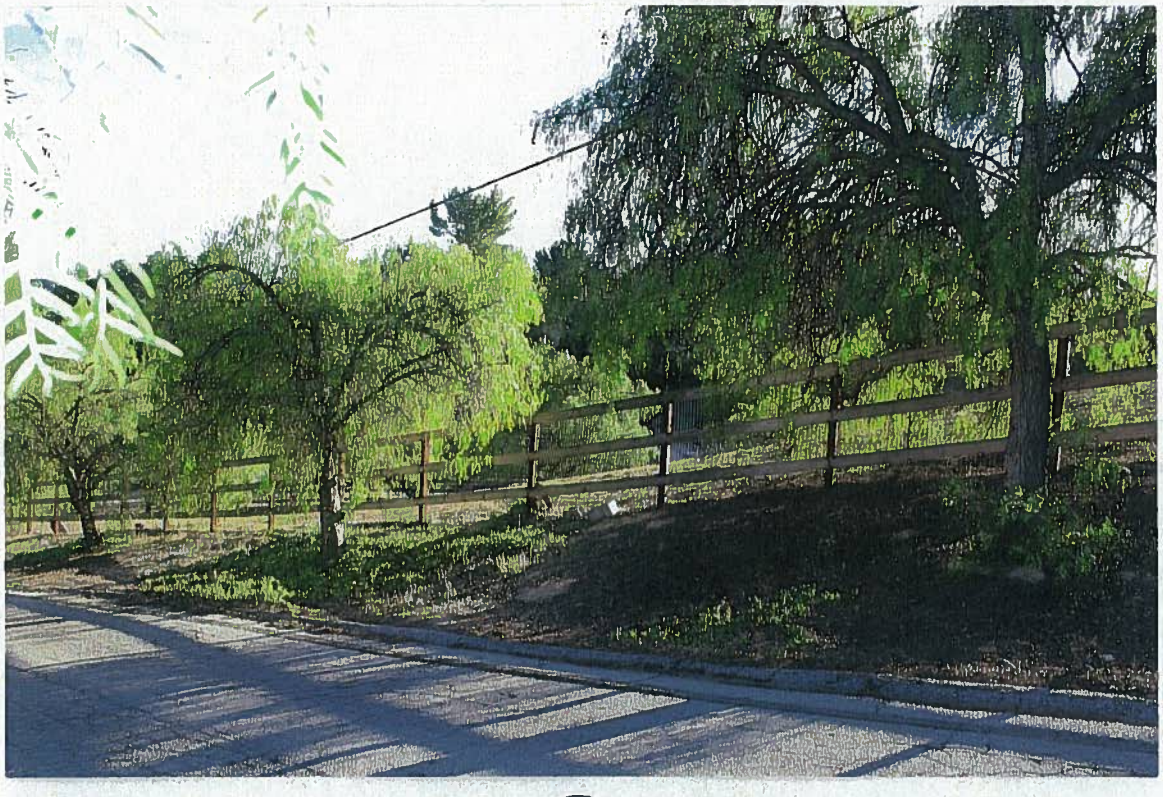

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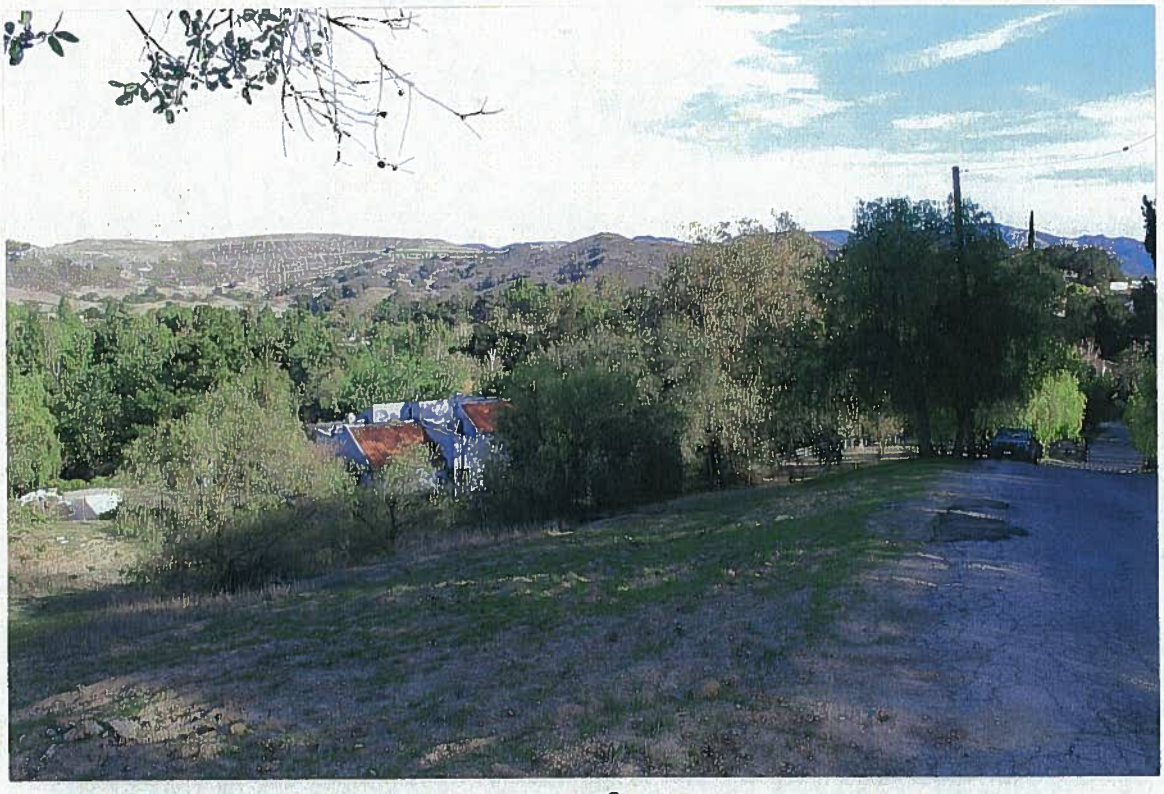

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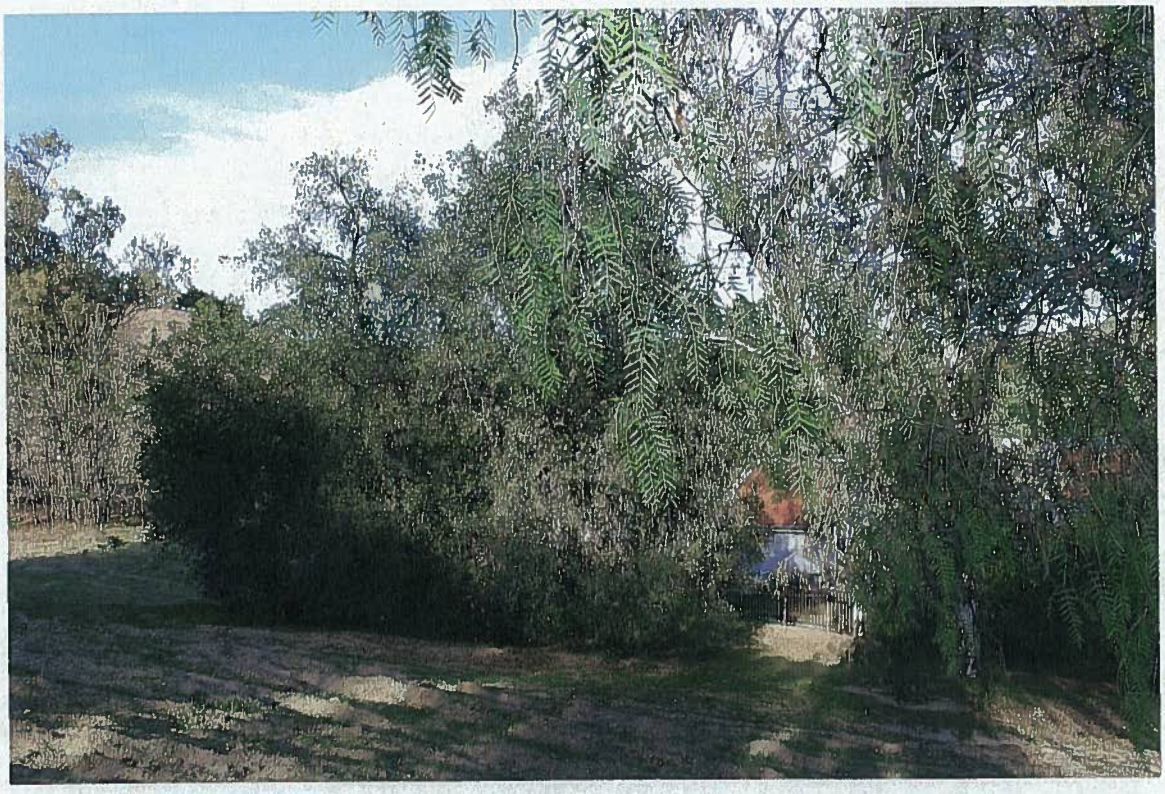

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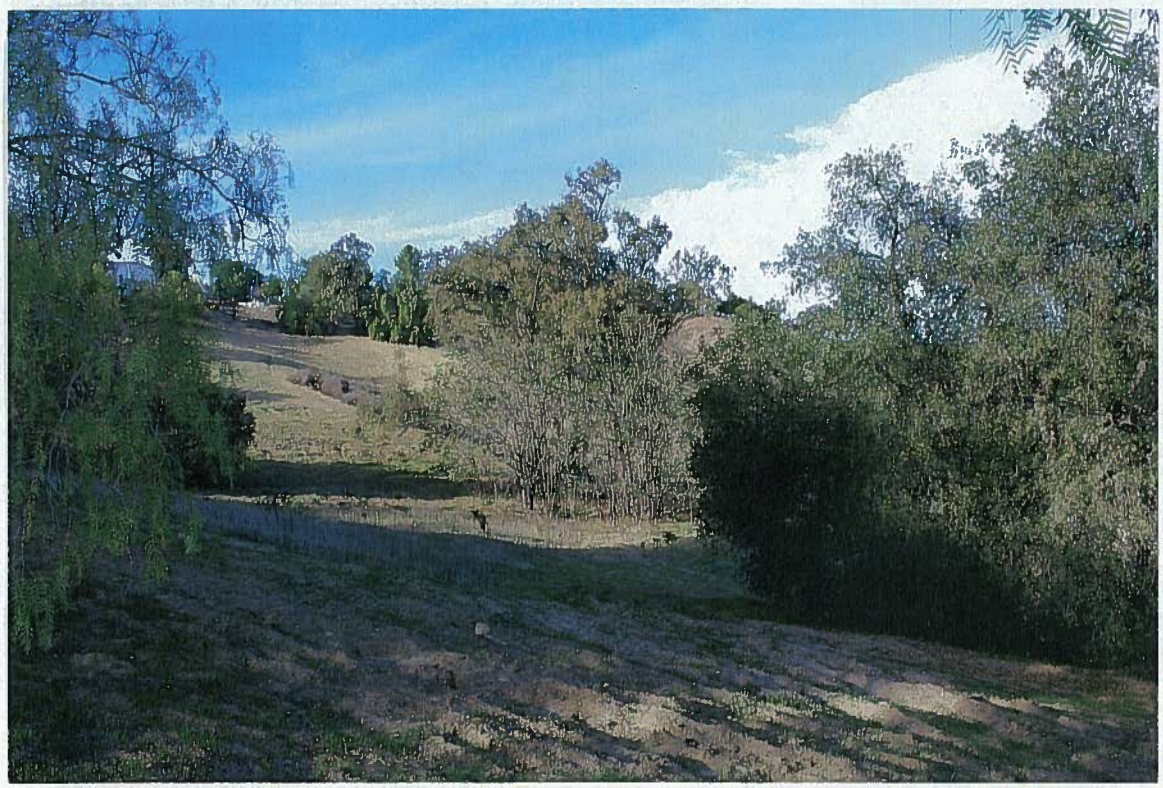

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