



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

ACTION DATE: September 17, 2015

TO: Planning Commission

APPLICANT: Core Communications for Verizon Wireless
2749 Saturn Street
Brea, CA 92821

CASE NO.: WIRE-01027-2014

LOCATION: 30100 Agoura Road (A.P.N. 2061-005-048)

REQUEST: Request for approval of a Wireless Telecommunications Facility/Conditional Use Permit to modify an existing wireless telecommunication facility by replacing nine (9) of the twelve (12) panel antennas inside the walls of an existing hotel building, and one (1) of the four (4) equipment cabinets; adding six (6) remote radio units, and three (3) power surge boxes with miscellaneous coaxial cabling; extending the length of a screen wall; and making a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL ANALYSIS: Categorically Exempt under CEQA per Section 15303

RECOMMENDATION: Staff recommends approval of Wireless Telecommunications Facility/Conditional Use Permit No. WIRE-01027-2014, subject to conditions, based on findings in the Draft Resolution.

ZONING DESIGNATION: PD (Planned Development – Ladyface Mountain Specific Plan)

GENERAL PLAN DESIGNATION: PD (Planned Development)

I. PROJECT BACKGROUND AND DESCRIPTION

The applicant, Core Communication Development services, is proposing to modify a wireless telecommunications facility at an existing hotel located at 30100 Agoura Road, just east of Reyes Adobe Road. A Conditional Use Permit was approved by the Planning Commission in 2009 at the existing hotel. The original application consisted of the installation, operation and maintenance of twelve (12) wall-mounted panel antennas, mounted to the walls of an existing multi-story hotel, with four (4) equipment cabinets, and three (3) GPS antennas mounted on the roof. The antennas were clustered in three groups of four antennas, each representing a sector of transmission.

The applicant proposes to replace nine of the twelve antennas, or three in each sector, in each of their current locations. The antennas were screened with a radio frequency emission transparent screening material, with one section built to replace a portion of an existing wall, and one screen added in front of an existing wall. These panel antennas were installed to transmit and receive the actual data to and from the handheld phones and other wireless devices. Also included in the project scope of work is the addition of six new Remote Radio Units or RRUS to be mounted immediately behind the new antennas; three Raycap surge protector boxes in three different locations of the facility; and the replacement of one of the four equipment cabinets currently secured to a metal platform on the roof of the hotel. No improvement would occur at the site other than the modifications to the wireless telecommunications facility.

Verizon is considered a public utility company and is regulated and licensed by the Federal Communications Commission (FCC). The FCC authorizes a utility's initial system and then delegates its authority to local agencies to regulate the location, construction and aesthetics of the wireless telecommunication facilities. Furthermore, the Telecommunication Act of 1996 states that: "No state or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission's regulations concerning such emission." As certified by the radio frequency engineers, all facilities are required to operate below the maximum allowable exposure limits.

The applicant has provided staff with specifications of the equipment to be installed and certifies that the proposed facility meets FCC standards. The FCC relies on standards developed by the American National Standards Institute (ANSI). Standards are continually reviewed to account for newly reached findings and modified when appropriate.

II. STAFF ANALYSIS

The City's Wireless Telecommunications Facilities (WTF) Ordinance provides standards for the appearance of wireless facilities. The review process consists of three tiers. Tier I can be approved by the Planning Director, and consists of certain types of facilities in the BP-M (Business Park-Manufacturing) zone only. Tier II includes most other wireless facilities and locations, and requires a Conditional Use Permit or an Amendment to an existing Conditional Use Permit, and is subject to the Planning Commission's review and approval. Finally, Tier III requires Planning Commission approval, and includes the projects that require an Exception to the provisions of the Ordinance (e.g. dimensions, design characteristics, location).

More recent federal legislation, mainly the Middle Class Tax Relief and Job Creation Act of 2012, further defined how municipal governments review new wireless telecommunications facilities and modifications to such facilities and established thresholds defined in Section 6409(a) of the Act. In January of 2015, the Federal Communications Commission (FCC) provided municipal governments guidelines to assist in the interpretation of Section 6409(a). In the event that Section 6409(a) governs a permit request, cities cannot require a public hearing to approve the project. The applicant originally sought to obtain approval of this project under Section 6409(a). Notwithstanding the requirement of Section 6409(a), the project must satisfy minimum thresholds to be eligible for this review process.

The first fact that staff must establish is whether or not the request is eligible to be considered for Section 6409(a) which means:

“a permit application to collocate, remove or replace transmission equipment on an existing wireless tower or base station.”

The second fact is whether the modification to an existing facility changes the physical dimensions of the facility substantially based on six criteria:

- **Height.** An eligible facilities request causes a substantial change when it increases the height (1) more than 10% or one additional antenna array not more than 20 feet higher for towers on private property, or (2) more than 10% or 10 feet (whichever is greater) for towers in the public rights-of-way and all base stations.
- **Width.** An eligible facilities request causes a substantial change when it increases the tower width (1) more than 20 feet or the tower width at the level of the appurtenance (whichever is greater) for towers on private property, or (2) more than six feet for towers in the public rights-of-way and all base stations.
- **Cabinets.** An eligible facilities request causes a substantial change when it involves more than the “standard number of new equipment cabinets for the technology involved” not to exceed four.
- **Excavation.** An eligible facilities request causes a substantial change when it involves excavation (1) outside the lease or license area for towers and base stations on private property or (2) outside the proximity to the ground-mounted equipment for towers in the public rights-of-way.
- **Camouflage.** An eligible facilities request causes a substantial change when it would defeat the existing concealment elements of the tower or base station.
- **Noncompliance.** An eligible facilities request causes a substantial change when it would violate a prior condition of approval that does not conflict with the Commission standards for a substantial change.

The applicant is proposing to substitute the existing antennas with new dual band antennas 72.7 inches tall by 11.9 inches wide by 7.1 inches deep. Although the antennas are longer than the previous ones, they would not exceed the minimum threshold for size and they would replace existing antennas. The number of units will not increase. Additionally, the antennas would remain screened from public view. The visual impact of nine antennas would be eliminated since the antennas would be completely enclosed in the tower element for two of the three sectors and behind a new furred out wall for the other sector. With this modification, the potential visual impacts of the antennas would be eliminated.

In regards to the equipment, the applicant is requesting to substitute one equipment cabinet for another in the same location as the previous one. The cabinets are on a roof platform away from the front elevation parapet wall and at 58 feet above the ground where there is little opportunity to be seen from the public right-of-way. Additionally, the new types of antennas require that remote radio units and power surge protectors be added behind every antennas whereas previous antennas technology did not require it. The proposed number of those units makes it ineligible under Section 6409(a).

As a result, the entire project is not eligible under Section 6409(a) and Verizon Wireless' request constitutes a substantial change to the physical dimensions of the existing base station because the proposed transmission equipment would increase the number of cabinets in excess of the standard number of new equipment cabinets for the technology involved. Verizon Wireless proposes to add six RRUs plus three power surge protectors.

With respect to radio frequency exposure, although the project is not categorically excluded as shown in the FCC Appendix A of the Local Official's Guide to Radio Frequency submitted by the applicant, it would comply with the FCC requirements as stipulated in the Waterford Radio Frequency Exposure Pre-Installation FCC Compliance Assessment report dated August 25, 2014 submitted for review with the application. The report is included as part of the staff report as Exhibit E. In addition to the Waterford report recommended conditions of operation, Telecom Law Firm PC, the City Wireless Consultant, has reviewed the application and has submitted in its Wireless Planning Memorandum dated August 13, 2015, additional conditions of approval to become part of the project's approval. The Telecom report addresses controlled access zones that extend over 40 feet from the face of the antennas in which public access must be restricted. In this proposal, all sectors point well above a level that can be accessed by humans. Nonetheless, the service provider must restrict public access to that controlled access zone so that the public at large cannot unknowingly enter and be exposed to radio emissions in excess of those allowed by the FCC. The project is conditioned accordingly.

Conditional Use Permit Findings:

In order for a Conditional Use Permit to be approved, the applicant must demonstrate compliance with all six of the Conditional Use Permit findings, as well as with all four of the wireless telecommunication facilities specific findings listed in Zoning Ordinance in Sections 9673.2.E and 9661.7 and provided below:

1. The proposed use is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. Wireless telecommunication facilities

are allowed in the Planned Development (PD) zone subject to the issuance of a Conditional Use Permit. The wall-mounted antennas will be completely screened with an RF emission-transparent material textured and painted to match the texture and color of the building façade. The additions to the building will not create a visual distraction or block views along the freeway. The accessory equipment would be located on top of the roof, and will be shielded by an existing parapet wall, and a screen wall.

2. The proposed use is compatible with the surrounding properties. The wireless telecommunications facilities, including antennas and accessory equipment, are allowed by the Zoning Ordinance. The use is consistent with the land use designation of the Planned Development zone and is appropriate for this commercial area since the use provides a communication service to neighboring commercial and residential properties, as well as to motorists.
3. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare. Wireless telecommunications facilities must be built in compliance with the City Building Code, and are subject to inspection by the Building Department to ensure they are constructed in a safe manner. The Federal Communication Commission (FCC) regulates wireless telecommunications facilities with regards to other related health and safety issues, particularly radio frequency emissions (RF), and establishes thresholds of RF emissions beyond which a facility cannot exceed. As part of the conditions of approval, and pursuant to the Zoning Ordinance, the applicant would be required to demonstrate continued compliance with the FCC emission standards.
4. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance. The wireless telecommunications facilities are allowed in the PD zone, subject to the issuance of a Conditional Use Permit. Each of the proposed antennas, as well as the accessory equipment, will comply with the applicable provisions of the Zoning Ordinance relative to the use, the property location, and the facility dimensions and appearance. The antennas and ancillary equipment will be placed on building walls and no expansion of the existing building area is proposed.
5. The distance from other similar and like uses is sufficient to maintain the diversity within the community. There is only one wireless telecommunication provider with both wall mounted antennas and roof-mounted accessory equipment on this base station which is the hotel. Over the years, other facilities have been approved on other commercial buildings in the vicinity of the proposed location which have in most cases been screened from public view. Since the facility is not visible to the public and does not require direct use of the facility by the public, the proposed modification does not impact the concentration limitation imposed by the Conditional Use Permit requirements.
6. Finally, a finding must be made that the proposed use is consistent with the goals and policies of the General Plan with respect to wireless telecommunication facilities including the following goals and policies:

Goal U-6: Telecommunication System. Quality communication systems that meet the demands of new and existing developments in the City.

The project will provide quality communications systems to meet the demands of new and existing developments in the City by extending coverage and adding capacity, with minimal equipment installation.

Policy U-6.1: Access and Availability. Work with service providers to ensure access to and availability of a wide range of state-of-the-art telecommunications systems and services for households, businesses and institutions throughout the City.

The project will provide state-of-the art wireless telecommunication services.

Policy U-6.2: Design and Siting of Facilities. Require that the installation of telecommunications infrastructure, such as cellular sites and towers, be designed in a manner to minimize visual impacts on the surrounding environment and neighborhood, and to be as unobtrusive as possible.

The proposed wireless telecommunications facilities will use antennas that are completely screened.

Wireless Telecommunication Facilities Findings:

In addition to the Conditional Use Permit findings, the Planning Commission must make the following wireless telecommunications facilities findings per Section 9661.7 of the Zoning Ordinance:

1. The proposed facility has been designed and located in compliance with all applicable provisions of the Zoning Ordinance. The wireless use remains secondary to the hotel use and is permitted in this zone with a Conditional Use Permit. It is designed with minimal equipment. Further, the applicant has completed the Supplemental Application for wireless telecommunications facilities to the satisfaction of the Director of Planning, which serves, in part, as compliance verification.
2. The proposed facility has been designed and located to achieve compatibility with the community. Wireless telecommunications facilities are being incorporated into a tower and behind a screen and completely invisible to public view.
3. The applicant has submitted a statement of its willingness to allow other carriers to collocate on the proposed wireless telecommunications facility wherever technically and economically feasible and where collocation would not harm community compatibility.
4. Noise generated by equipment will not be excessive, annoying, nor be detrimental to the public health, safety, and welfare, and will not exceed the standards set forth in the Zoning Ordinance. The noise will not be audible at the property line of any residentially zoned property within 500 feet from the project location, and will not exceed an exterior noise level of fifty-five (55) dBA three feet from the noise source.

As determined by the City's wireless consultant, Telecom Law Firm, P.C., Verizon will comply with its federal environmental obligations under the FCC rules (47 C.F.R. Sec. 1.1301 et seq) *if* it agrees to adopt and implement the Waterford report's conditions of operation as well as the conditions of approval proposed in its report, attached hereto as Exhibit F of the staff report. The City may issue a permit to perform the work requested only if Verizon Wireless agrees to accept and implements those conditions.

III. RECOMMENDATION

Based on the above analysis, staff recommends approval of Conditional Use Permit Case No. WIRE-01027-2014, subject to conditions of the attached Draft Resolution.

IV. ATTACHMENTS

- Draft Resolution of Approval and Conditions of Approval
- Exhibit A: Vicinity/Zoning Map
- Exhibit B: Approved Telecommunications Facilities Map
- Exhibit C: Reduced Copy of Plans
- Exhibit D: Photo-simulations of Proposed Wireless Telecommunications Facilities
- Exhibit E: Applicant's Attachments to Application
- Exhibit F: Telecom Law Firm PC Wireless Planning Memorandum

Case Planner: Valerie Darbouze, Associate Planner

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS CONDITIONALLY APPROVING WIRELESS TELECOMMUNICATIONS FACILITIES/ CONDITIONAL USE PERMIT CASE NO. WIRE-001027-2014 FOR THE MODIFICATION OF A FACILITY AT 30100 AGOURA ROAD; AND MAKING THE FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Core Development Services for Verizon Wireless with respect to the real property located at 30100 Agoura Road (A.P.N. 2061-005-048) for a Wireless Telecommunications Facilities/Conditional Use Permit to replace nine (9) of the twelve (12) panel antennas inside the walls of an existing hotel building, and one (1) of the four (4) equipment cabinets; and adding six (6) remote radio units, and three (3) power surge boxes with miscellaneous coaxial cabling; and extending the length of a screen.

Section 2. The Planning Commission of the City of Agoura Hills considered the application at a public hearing held on September 17, 2015, at 6:30 p.m. in the Council Chambers of City Hall at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid was duly given.

Section 3. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 4. Pursuant to Section 9673.2.E. of the Agoura Hills Zoning Ordinance, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, that:

1. The proposed use is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. Wireless telecommunication facilities are allowed in the Planned Development (PD) zone subject to the issuance of a Conditional Use Permit. The wall-mounted antennas will be completely screened with an RF emission-transparent material textured and painted to match the texture and color of the building façade. The additions to the building will not create a visual distraction or block views along the freeway. The accessory equipment would be located on top of the roof, and will be shielded by an existing parapet wall, and a screen wall.
2. The proposed use is compatible with the surrounding properties. The wireless telecommunications facilities, including antennas and accessory equipment, are allowed by the Zoning Ordinance. The use is consistent with the land use designation of the Planned Development zone and is appropriate for this commercial area since

the use provides a communication service to neighboring commercial and residential properties, as well as to motorists.

3. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare. Wireless telecommunications facilities must be built in compliance with the City Building Code, and are subject to inspection by the Building Department to ensure they are constructed in a safe manner. The Federal Communications Commission (FCC) also regulates wireless telecommunications facilities with regards to other related health and safety issues, particularly radio frequency (RF) emissions, and establishes thresholds of the RF emissions beyond which a wireless telecommunications cannot exceed. Pursuant to the Conditions of Approval and the Ordinance, the applicant must demonstrate continued compliance with established FCC RF emission standards.
4. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance. The wireless telecommunications facilities are allowed in the PD zone, subject to the issuance of a Conditional Use Permit. Each of the proposed antennas, as well as the accessory equipment, will comply with the applicable provisions of the Zoning Ordinance relative to the use, the property location, and the facility dimensions and appearance. The antennas and ancillary equipment will be placed on building walls and no expansion of the existing building area is proposed.
5. The distance from other similar and like uses is sufficient to maintain the diversity within the community. There is only one wireless telecommunication provider with both wall mounted antennas and roof-mounted accessory equipment on this base station which is the hotel. Over the years, other facilities have been approved on other commercial buildings in the vicinity of the proposed location which have in most cases been screened from public view. Since the facility is not visible to the public and does not require direct use of the facility by the public, the proposed modification does not impact the concentration limitation imposed by the Conditional Use Permit requirements.
6. The proposed use is consistent with the goals and policies of the General Plan with respect to wireless telecommunications facilities, particularly with Goal U-6 and Policies U-6.1 and U-6.2. The General Plan seeks quality communication systems that meet the demands of new and existing developments in the City, which this proposed use does by providing improved wireless telecommunication services and implementation of state-of-the-art telecommunications services in the form of 4G coverage. The General Plan requires that the installation of telecommunication infrastructure, such as cellular sites, be designed in a manner as to minimize visual impacts on the surrounding environment and neighborhood, and to be as unobtrusive as possible, which this project accomplishes by screening the antennas behind a solid stuccoed screen, and the equipment on top of the building roof and behind parapet walls.

Section 5. Pursuant to Section 9661.7 of the Agoura Hills Zoning Ordinance, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds that:

1. The proposed facilities have been designed and located in compliance with all applicable provisions of Division 11 of Part 2, Chapter 6 of Title IX Zoning. The proposed facility remains secondary to the hotel on this parcel and is permitted in this zone with a conditional use permit. The facility has been designed to effectively screen and camouflage the antennas. The associated equipment will be installed on top of the roof out of public view. Further, the applicant has completed the supplemental application to the satisfaction of the Director of Planning, which serves as compliance verification.
2. The proposed facilities have been designed and located to achieve compatibility with the surrounding community. The wireless telecommunications facilities are incorporated into an existing building and adequately screened from the surrounding area.
3. The applicant has submitted a statement of its willingness to allow other carriers to collocate on the proposed wireless telecommunications facilities wherever technically and economically feasible and where collocation would not harm community compatibility. The modification does not change this arrangement.
4. Noise generated by equipment will not be excessive, annoying nor be detrimental to the public health, safety, and welfare and will not exceed the standards set forth in Division 11 of Part 2, Chapter 6 of Title IX Zoning. The project does not increase the overall number of antennas or equipment cabinets, and the application has certified that the project will not result in an increase of noise over current conditions. Further, the conditions of approval regulate permissible noise and provide a procedure for addressing potential noise effects.

Section 6. CEQA Findings.

- A. The Planning Commission hereby finds that the approval of the project is categorically exempt from the California Environmental Quality Act (Public Resources Code Section 2100 et seq., "CEQA"), pursuant to Section 15303 (Class 3), because the project involves the construction and location of limited numbers of new, small facilities or installation of small equipment into a structure, and does not have any potential for causing a significant effect on the environment.
- B. The custodian of records for all materials that constitute the record of proceeding upon which this decision is based is the City Clerk, and those documents are available for public review in the City Clerk's office located at 30001 Ladyface Court, Agoura Hills, California 91301.

Section 7. Based on the aforementioned findings, the Planning Commission hereby approves Wireless Telecommunications Facilities/Conditional Use Permit No. WIRE-01027-

Draft Resolution No. ____

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2014, subject to the attached Conditions of Approval, with respect to the property described in Section 1.

Section 8. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED and ADOPTED this 17th day of September 2015, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Linda Northrup, Chairperson

ATTEST:

Doug Hooper, Secretary

Conditions of Approval
(Case No. WIRE-01027-2014)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of this Permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits: Site Plan; Elevation Plan; and Details Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Conditional Use Permit.
8. Unless this permit is used within two (2) years from the date of City approval, Case No. WIRE-01027-2014 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
9. Operation of the use shall not be granted until all Conditions of Approval have been complied with as determined by the Director of Planning.
10. Prior to the issuance of building permits, all requirements of the Los Angeles County Fire Department shall be satisfied.
11. The facility will require the approval of the Building and Safety Department prior to installation and operation.
12. The term "facility" shall mean the wireless telecommunications facility described in the application and set forth in Section 1 of the Resolution approving these conditions of approval.

WIRELESS TELECOMMUNICATIONS FACILITIES STANDARD CONDITIONS

1. The permittee shall submit an as built drawing within ninety (90) days after installation of the facility.
2. The permittee shall submit and maintain current at all times basic contact and site information on a form to be supplied by the City. The permittee shall notify the City of any changes to the information submitted within seven (7) days of any change, including change of the name or legal status of the owner or operator. This information shall include, but is not limited to, the following:
 - a. Identity, including the name, address and 24-hour local or toll free contact phone number of the permittee, the owner, the operator, and the agent or person responsible for the maintenance of the facility.
 - b. The legal status of the owner of the wireless telecommunications facility, including official identification numbers and Federal Communications Commission certification.
 - c. Name, address and telephone number of the property owner if different than the permittee.
3. Upon any transfer or assignment of the permit, the Director may require submission of any supporting materials or documentation necessary to determine that the proposed use is in compliance with the existing permit and all of its conditions of approval including, but not limited to, statements, photographs, plans, drawings, models, and analysis by a qualified radio frequency engineer demonstrating compliance with all applicable regulations and standards of the Federal Communications Commission and the California Public Utilities Commission. If the Director determines that the proposed operation is not consistent with the existing permit, the Director shall notify the permittee who shall either revise the application or apply for modification of the permit pursuant to the requirements of the Agoura Hills Municipal Code.
4. The permittee shall not place any facilities that will deny access to, or otherwise interfere with, any public utility, easement, or right-of-way located on the site. The permittee shall allow the City reasonable access to, and maintenance of, all utilities and existing public improvements within or adjacent to the site, including, but not limited to, pavement, trees, public utilities, lighting and public signage.
5. At all times, all required notices and signs shall be posted on the site as required by the Federal Communications Commission and California Public Utilities Commission, and as approved by the City. The location and dimensions of a sign bearing the emergency contact name and telephone number shall be posted pursuant to the approved plans.
6. At all times, the permittee shall ensure that the facility complies with the most current regulatory and operational standards including, but not limited to, radio frequency emissions standards adopted by the Federal Communications Commission and antenna

height standards adopted by the Federal Aviation Administration, and shall timely submit all monitoring reports required pursuant to section 9661.13 of the Agoura Hills Municipal Code.

7. If the Director determines there is good cause to believe that the facility may emit radio frequency emissions that are likely to exceed Federal Communications Commission standards, the Director may require post-installation testing, at permittee's expense, or the Director may require the permittee to submit a technically sufficient written report certified by a qualified radio frequency emissions engineer at other than the regularly required intervals specified in Section 9661.13 of the Agoura Hills Municipal Code, certifying that the facility is in compliance with such FCC standards.
8. Permittee shall pay for and provide a performance bond, which shall be in effect until the facility is fully and completely removed and the site reasonably returned to its original condition, to cover permittee's obligations under these conditions of approval and the Agoura Hills Municipal Code. The bond coverage shall include, but not be limited to, removal of the facility, maintenance obligations and landscaping obligations. Such performance bond shall be in a form satisfactory to the City Attorney and Risk Manager, naming the City as obligee, in an amount equal to \$25,000.
9. If a nearby property owner registers a noise complaint and such complaint is verified as valid by the City, the City may hire a consultant to study, examine and evaluate the noise complaint and the permittee shall pay the fee for the consultant. The matter shall be reviewed by the Director. If the Director determines sound proofing or other sound attenuation measures should be required to bring the project into compliance with the Agoura Hills Municipal Code, the Director may impose that condition on the project after notice and a public hearing.
10. Permittee shall defend, indemnify, protect and hold harmless City, its elected and appointed Council Members, boards, commissions, officers, officials, agents, consultants, employees, and volunteers from and against any and all claims, actions, or proceeding against the City, and its elected and appointed Council Members, boards, commissions, officers, officials, agents, consultants, employees, and volunteers to attack, set aside, void or annul, an approval of the City, Planning Commission or City Council concerning this permit and the project. Such indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses, including, but not limited to, interest, attorneys' fees and expert witness fees, or liability of any kind related to or arising from such claim, action, or proceeding. The City shall promptly notify the permittee of any claim, action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding. The City shall have the option of coordinating the defense, including, but not limited to, choosing counsel for the defense at permittee's expense.
11. "Permittee" shall include the applicant and all successors in interest to this permit.
12. The facility shall bear no signs or advertising devices other than certification, warning or other signage required by law or permitted by the City.

13. The facility shall not be illuminated unless specifically required by the Federal Aviation Administration or other government agency. Lightning arresters and beacon lights are not permitted unless required by the Federal Aviation Administration or other government agency. Any required lighting shall be shielded to eliminate, to the maximum extent possible, impacts on the surrounding neighborhoods, and a lighting study shall be prepared by a qualified lighting professional to evaluate potential impacts to adjacent properties, which must be reviewed and approved by the City prior to the installation of any lighting.
14. Permittee shall submit to the City within ninety (90) days of beginning operations under this permit, and every two years from the date the facility begins operations, a technically sufficient report ("monitoring report") that demonstrates the following:
 - a. The facility is in compliance with applicable federal regulations, including Federal Communications Commission RF emissions standards, as certified by a qualified radio frequency emissions engineer;
 - b. The facility is in compliance with all provisions of this section and its conditions of approval.
 - c. The bandwidth of the facility has not been changed since the original application or last report, as applicable, and if it has, a full written description of that change.
15. Noise.
 - a. The facility shall be operated and maintained in such a manner so as to minimize any possible disruption caused by noise.
 - b. The facility is not approved for a backup generator. In the event of an emergency that results in a loss of power to the facility, a temporary emergency backup generator may be employed and shall only be operated during periods of power outages, and shall not be tested on weekends or holidays, or between the hours of 7:00 PM and 7:00 AM. The temporary emergency backup generator shall be promptly removed from the premises once the emergency is terminated.
 - c. At no time shall equipment noise from the facility exceed an exterior noise level of fifty-five (55) dBA at the facility's property line and such equipment noise shall at no time be audible at the property line of any property zoned residential or improved with a residential use that is located within five hundred (500) feet of the facility.
 - d. All air conditioning units and any other equipment that may emit noise that would be audible from beyond the facility's property line shall be enclosed or equipped with noise attenuation devices to the extent necessary to ensure compliance with applicable noise limitations under the City of Agoura Hills Municipal Code.

- e. Except for emergency repairs, any testing and maintenance activities that will be audible beyond the property line shall only occur between the hours of 7:00 a.m. and 7:00 p.m. on Monday through Friday, excluding holidays, unless alternative hours are approved by the Director.
16. Features designed to make the facility resistant to, and minimize opportunities for, unauthorized access, climbing, vandalism, graffiti and other conditions that would result in hazardous situations, visual blight or attractive nuisances shall not be removed by permittee and shall be maintained in good condition.
17. The facility, including, but not limited to, antennas, accessory equipment, walls, shields, cabinets, camouflage, and the facility site, shall be maintained in good condition, including ensuring the facility is reasonably free of:
- a. General dirt and grease;
 - b. Chipped, faded, peeling, and cracked paint;
 - c. Rust and corrosion;
 - d. Cracks, dents, and discoloration;
 - e. Missing, discolored or damaged screening or other camouflage;
 - f. Graffiti, bills, stickers, advertisements, litter and debris;
 - g. Broken and misshapen structural parts; and
 - h. Any damage from any cause.

The permittee shall replace its facility, or part thereof, after obtaining all required permits, if maintenance or repair is not sufficient to return the facility to the condition it was in at the time of installation. The permittee shall routinely inspect the facility and site to ensure compliance with the standards set forth in the Agoura Hills Municipal Code and these conditions of approval.

18. Graffiti shall be removed from a facility as soon as practicable, and in no instance more than twenty-four (24) hours from the time of notification by the City unless a provision of the Agoura Hills Municipal Code provides a shorter time period for removal.
19. In the event Permittee desires to modify the facility, Permittee shall apply for and obtain all permits or permit amendments required by the Agoura Hills Municipal Code prior to making any modification to the facility. At a minimum, any application for modification to the facility shall use the screening and camouflage designs approved by this permit unless a more effective screen, concealment or camouflage design is proposed by the permittee or required by the Agoura Hills Municipal Code, or the building is remodeled such that it necessitates a new screen, concealment or camouflage design that is consistent with the building façade. Additionally, to the extent feasible, existing

equipment shall be replaced with equipment that reduces visual, noise and other impacts, including, but not limited to, replacing larger, more visually intrusive facilities with smaller, less visually intrusive facilities. "Modification" means a change to an existing wireless telecommunications facility that involves any of the following: collocation, expansion, alteration, enlargement, intensification, reduction, or augmentation, including, but not limited to, changes in size, shape, color, visual design, or exterior material. "Modification" does not include repair, replacement or maintenance if those actions do not involve a change to the existing facility involving any of the following: collocation, expansion, alteration, enlargement, intensification, reduction, or augmentation

20. This permit shall be valid for a period of ten (10) years from the date of Planning Commission approval, which is the date of issuance, unless pursuant to another provision of the Agoura Hills Municipal Code it lapses sooner or is revoked. At the end of ten (10) years from the date of issuance, this permit shall expire.
21. In the event the facility ceases to provide wireless telecommunications services for ninety (90) or more consecutive days, the facility shall be considered abandoned and shall be promptly removed as provided in these conditions of approval and the Agoura Hills Municipal Code. If there are two (2) or more users of a single facility, then this provision shall not become effective until all users cease using the facility.
22. Permittee shall notify the City in writing of its intent to abandon or cease use of the facility within ten (10) days of ceasing or abandoning use. Additionally, the Permittee shall provide written notice to the Director of any discontinuation of operations of thirty (30) days or more.
23. Failure to inform the Director of cessation or discontinuation of operations of the facility as required by these conditions of approval shall constitute a violation of the conditions of approval and be grounds for:
 - a. Prosecution;
 - b. Revocation or modification of the permit;
 - c. Calling of any bond or other assurance required by the Agoura Hills Municipal Code or conditions of approval of the permit;
 - d. Removal of the facility by the City in accordance with the procedures established under the Agoura Hills Municipal Code for abatement of a public nuisance at the permittee's expense; and/or
 - e. Any other remedies permitted under the Agoura Hills Municipal Code.
24. Upon the expiration date of the permit, including any extensions, earlier termination or revocation of the permit or abandonment of the facility, the permittee, the property owner, or both shall remove the facility and restore the site to its natural condition except for retaining the landscaping improvements and any other improvements at the discretion

of the City. Removal shall be in accordance with proper health and safety requirements and all ordinances, rules, and regulations of the City. The facility shall be removed from the property, at no cost or expense to the City. The private property owner shall be independently responsible for the expense of timely removal and restoration.

25. Failure of the permittee, property owner, or both to promptly remove the facility and restore the property within thirty (30) days after expiration of this permit, earlier termination or revocation of this permit, or abandonment of the facility, shall be a violation of the Agoura Hills Municipal Code, and shall be grounds for:
 - a. Prosecution;
 - b. Calling of any bond or other assurance required by the Agoura Hills Municipal Code or conditions of approval of permit;
 - c. Removal of the facility by the City in accordance with the procedures established under the Agoura Hills Municipal Code for abatement of a public nuisance at the permittee and/or property owner's expense; and/or
 - d. Any other remedies permitted under the Agoura Hills Municipal Code.
26. The facility shall comply at all times with any and all applicable local, state, and federal laws, regulations and guidelines. Any violation of these conditions of approval or the Agoura Hills Municipal Code may be subject to the citations, penalties and fines as set forth in the Agoura Hills Municipal Code, other available remedies and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.

SPECIFIC PROJECT CONDITIONS

1. Permittee shall paint the proposed screen wall to match the colors of the building walls it is attached to.
2. Permittee shall abide by the conditions of operation stipulated in the Waterford Radio Frequency Exposure Pre-Installation FCC Compliance Assessment Report dated August 25, 2014.
3. Permittee shall install and at all times maintain in good condition a "Network Operations Center Information" sign at the access point(s) to the roof. Verizon Wireless shall install the sign(s) required under this condition so that a person may clearly see and understand the sign before he or she accesses the roof.
4. Permittee shall install and at all times maintain in good condition sign exclusionary barrier for the alpha sector as described on page 12 of the Waterford Report.
5. Permittee shall install and at all times maintain in good condition an "RF Caution" sign on the physical barrier it installed for the alpha sector. Verizon Wireless shall install the

sign required under this condition so that a person may clearly see and understand the sign as he or she approaches the physical barrier;

6. Permittee shall install and at all times maintain in good condition an "RF Notice" adjacent to the beta and gamma sectors but not in front of the antennas. Verizon Wireless shall install the signs required under this condition so that a person may clearly see and understand the sign as he or she approaches those antenna sectors from the roof.
7. Permittee shall ensure that all signage complies with FCC OET Bulletin 65 or ANSI C95.2 for color, symbol, and content conventions. All such signage shall at all times provide a working local or toll-free telephone number to its network operations center, and such telephone number shall be able to reach a live person who can exert transmitter power-down control over this site as required by the FCC.

END



CASE NO. WIRE-01027-2014

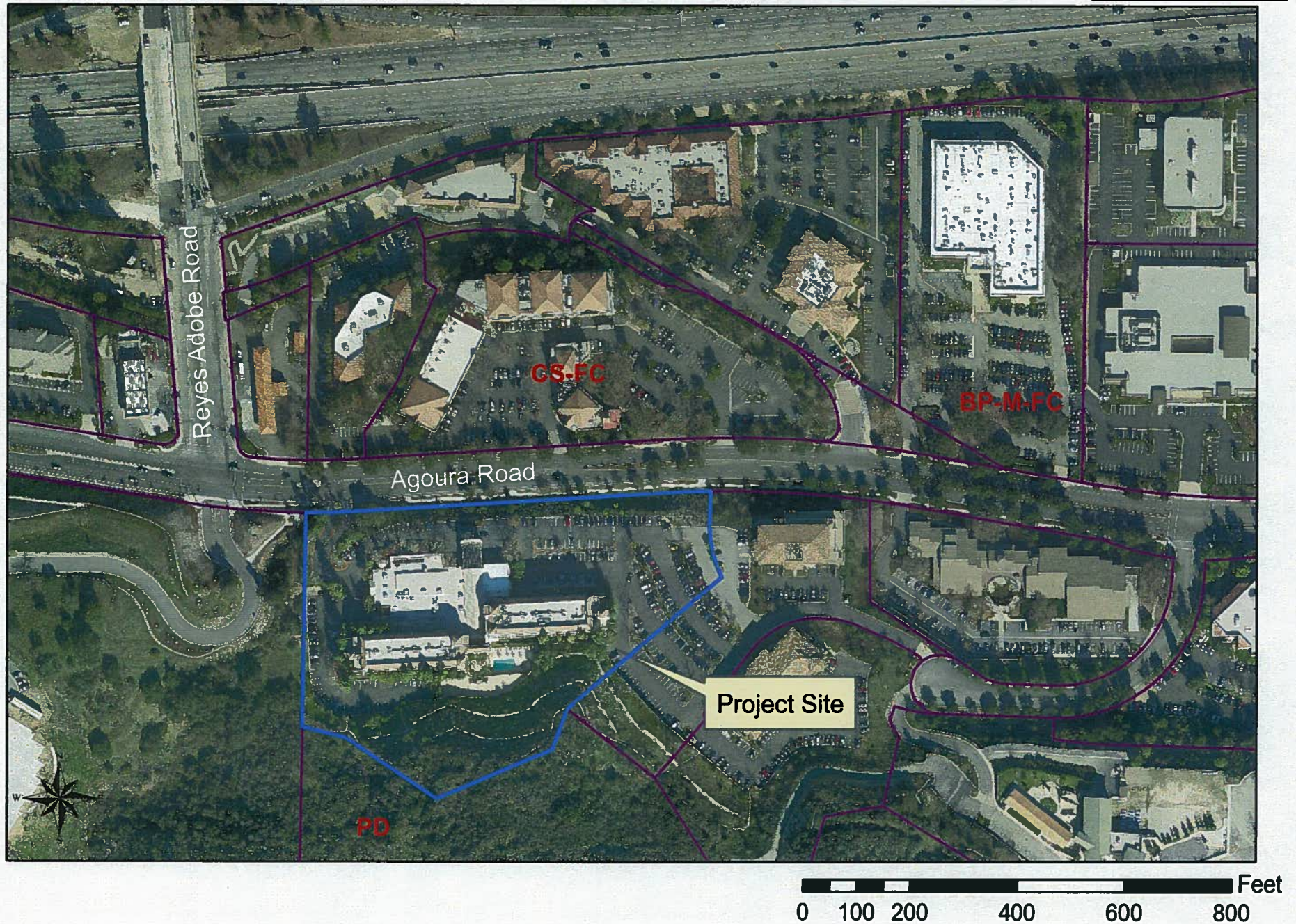
**FOR THE PROPERTY LOCATED AT
30100 AGOURA ROAD, AGOURA HILLS**

**Exhibit A
Vicinity/Zoning Map**

City of Agoura Hills

WIRE-01027-2014

Vicinity/Zoning
Map



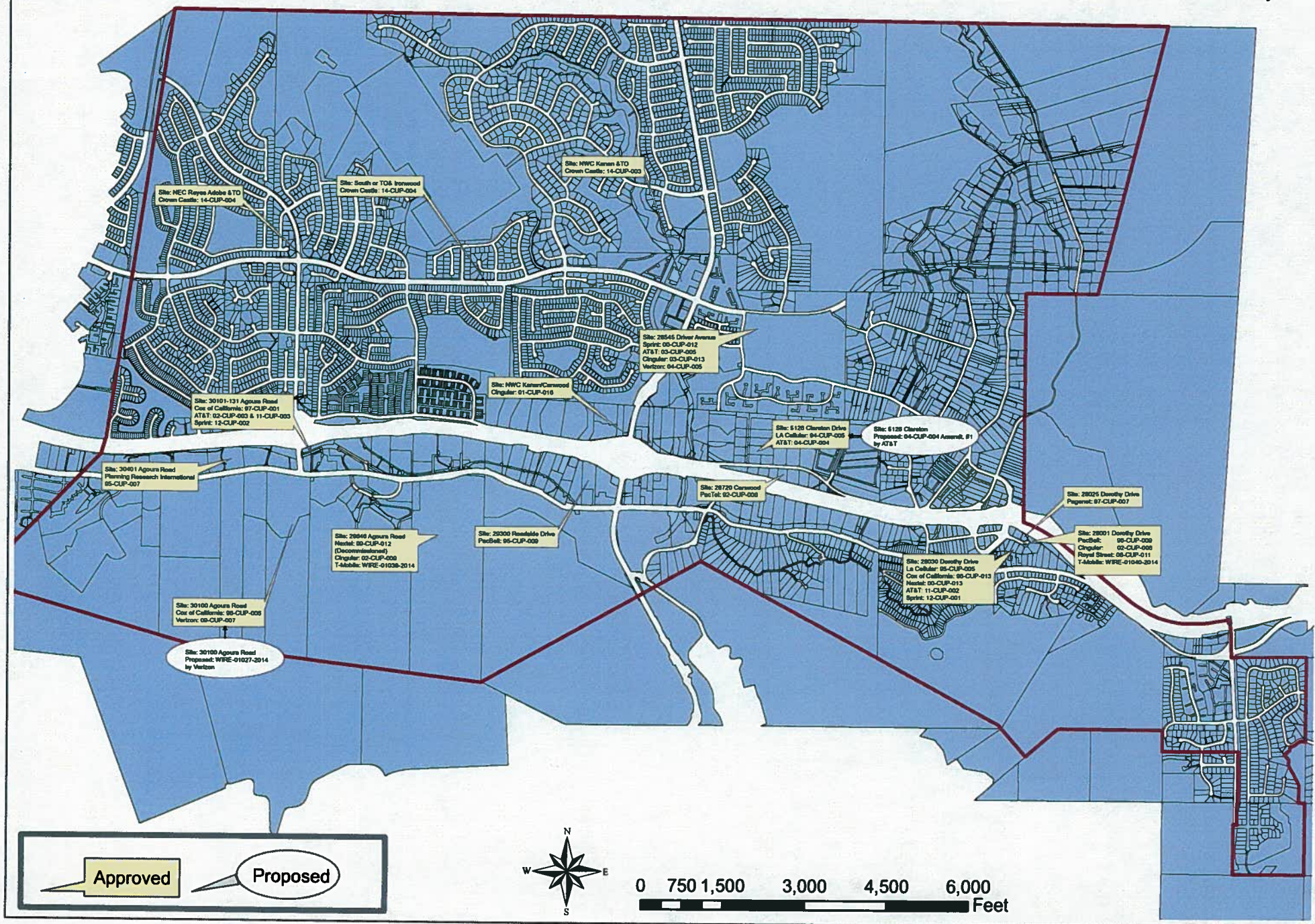


CASE NO. WIRE-01027-2014

**FOR THE PROPERTY LOCATED AT
30100 AGOURA ROAD, AGOURA HILLS**

**Exhibit B
Approved Telecommunications Facilities Map**

Approved and Proposed Wireless Telecommunication Facilities (As of September 2015)





CASE NO. WIRE-01027-2014

**FOR THE PROPERTY LOCATED AT
30100 AGOURA ROAD, AGOURA HILLS**

**Exhibit C
Reduced Copy of Plans**

V.	ABBREVIATION	EQ.	EQUAL	MCH.	MECHANICAL
	ACOUSTIC(AL)	EQUIP.	EQUIPMENT	MET.	METAL
C.	AIR CONDITIONING	EXIST.	EXISTING	MIL.	MINIMUM
I.	ALTERNATE	EX.	EXTERIOR	MISC.	MISCELLANEOUS
JAL.	ALUMINUM	F.S.	FACE OF STUD	NAT.	NATURAL
I.	ANCHOR BOLT	FIN.	FINISH	N.	NORTH
PROX.	APPROXIMATE	FL.	FLUORE	N.L.C.	NOT IN CONTRACT
CH.	ARCHITECT(URAL)	F.L.	FLOOR	N.T.S.	NOT TO SCALE
I.	ASPHALTIC CONCRETE	F.L.	FLOW LINE	O.C.	ON CENTER
I.	BEAM	F.D.	FLOOR DRAIN	O.D.	OUTSIDE DIAMETER
K(C)	BLOCKING	FLOOR.	FLUORESCENT	OPNG.	OPENING
	BOARD	FT./	FOOT PER	OPP.	OPPOSITE
T.	BOTTOM	FTG.	FOOTING	PL.	PLATE
DG.	BUILDING	FDNL.	FOUNDATION	PLYWG.	PLYWOOD
B.	CABINET	GAL.	GALLON	REINF.	REINFORCE(ING)
	CAST IRON	GALV.	GALVANIZED	Rm.	ROOM
I.	CATCH BASIN	G.	GALVANIZED IRON	SCHED.	SCHEDULE
G.	CEILING	G.	GAS	SEC.	SECTION
M.	CEMENT	GA.	GAUGE	SHT.	SHEET
B.	CERAMIC	GL.	GLASS	SHL.	SIMILAR
I.	CLEAN OUT	GL.	GLUED LAMINATE	S.	SOUTH
R.	CLEAR	GYP.	GYPSON	SPECS.	SPECIFICATIONS
L.	COLUMN	HT.	HEIGHT	SQ.	SQUARE
MC.	CONCRETE	H.M.	HOLLOW METAL	STD.	STANDARD
NN.	CONNECTION	HORIZ.	HORIZONTAL	STL.	STEEL
NT.	CONTOUR(OUS)	H.B.	HOSE BIBB	STRUCT.	STRUCTURAL
T.	DETAIL	I.D.	INSIDE DIAMETER	SUSP.	SUSPENDED
AL.	DIAMETER	INFO.	INFORMATION	T & P	TELEPHONE & POWER
D.	DIMENSION	INSUL.	INSULATION(ION)	THK.	THICK
	DOOR	INT.	INTERIOR	T & B	TOP & BOTTOM
L.	DOUBLE	JT.	JOINT	TYP.	TYPICAL
	DOWN	KIT.	KITCHEN	U/L.O.	UNLESS NOTED OTHERWISE
	DOWN SPOUT	LAB.	LABORATORY	VENT.	VENTILATION
G.	DRAWING	L.T.	LIGHT	VERT.	VERTICAL
	DRAINING FOUNTAIN	LIM.	LIMEAL	W.	WATER
	EACH	MFR.	MANUFACTURER(S)	WT.	WEIGHT
	EAST	M.O.	MASONRY OPENING	W.W.M.	WELDED WIRE MESH
EC.	ELECTRIC(AL)	MAT.	MATERIAL	W.	WEST
	ELEVATION	MAX.	MAXIMUM	W/	WITH
CL.	ENCLOSURE			WO.	WOOD

MODIFICATION TO AN EXISTING WIRELESS COMMUNICATIONS UNMANNED
 INSTALLATION TO CONSIST OF THE FOLLOWING: REMOVAL AND REPLACEMENT OF ONE (1)
 EXISTING EQUIPMENT CABINET ON EXISTING STEEL PLATFORM. REMOVAL AND
 REPLACEMENT OF ONE (1) FRP SCREEN (ALPHA BECTOR). REMOVAL AND REPLACEMENT
 OF NINE (9) EXISTING PREVIOUSLY APPROVED PANEL ANTENNAS CONCEALED INSIDE OF
 FRP SCREENING. INSTALLATION OF SIX (6) NEW FRPUS, AND THREE (3) NEW RAYCAP BOXES.
 INSTALLATION OF ONE (1) NEW RAYCAP BOX ON EXISTING COAX CABLE TRAY. WORK
 ALSO INCLUDE A MODIFICATION TO ALPHA BECTOR SIZE OF THE EXISTING
 EQUIPMENT LEASE AREA IS TO REMAIN UNCHANGED.

JURISDICTION:	CITY OF AGOURA HILLS
ZONE:	BP-BUSINESS PARK
TYPE OF CONSTRUCTION:	II-A
OCCUPANCY TYPE:	RAI

IT FOR USE OR DISCLOSURE OUTSIDE VERIZON WIRELESS EXCEPT UNDER WRITTEN AGREEMENT



AND ALL APPLICABLE CODES, LOCAL, CURRENT OSHA LAWS, T-24 ENERGY CONSERVATION, LISTS OF STANDARDS, AND DISABLED ACCESS REGULATIONS WHERE REQUIRED.

COMMENTS:

STANDARD

1. THE MAXIMUM NUMBER OF PREVIOUSLY APPROVED ANTENNAS TO REMAIN IS TWELVE (12)
2. THE MAXIMUM NUMBER OF GPS ANTENNAS TO REMAIN IS ONE (1)
3. THE SIZE, HEIGHT, DIRECTION AND LOCATION OF ANTENNAS SHALL BE ADJUSTED TO MEET SITE REQUIREMENTS AS NEEDED
4. ALL ITEMS, WHETHER EXISTING OR NEW, WHICH ARE WITHIN THE VERBON WIRELESS HEART AREA ARE TO BE APPROVED

- 1 - 2016

SPECIAL INSPECTION IS REQUIRED FOR THE WORK:
NONE

SPECIAL INSPECTION IS REQUIRED FOR THE WORK:
NONE

A-6 : Ex: 1.20(B)
S-1 : Ex: 7.01

LOCATION OF ANTENNAS SHALL BE ADJUSTED TO
 JUL 31 2015
 WIRE-01027-2014

T-1

GENERAL NOTES

TS SHALL BE BORED $1/32"$ TO $1/16"$ LARGER THAN NOMINAL BOLT DIAMETER.

LUMBER

1. ALL LUMBER SHALL BE DOUGLAS FIR LARCH OF THE FOLLOWING GRADES UNLESS OTHERWISE NOTED (MAX MOISTURE CONTENT SHALL NOT EXCEED 19% & GRADED IN ACCORDANCE WITH THE WEST COAST LUMBERMANS ASSOCIATION.)

REPERATIVE USE MEMBERS

STUDS & PLATES	NO.
JOISTS & RAFTERS	NO.
2X4 TO 4X4 INCLUSIVE	NO.
2X6 TO 3X18 INCLUSIVE	NO.
SAMPLE USE MEMBERS	
BEAMS	
4X	NO.
6X OR LARGER	NO.
POSTS & MULLIONS	NO.
4X4 & SMALLER	NO.
4X6 & LARGER	NO.
6X6 & LARGER	NO.
SCORRIDAEDUS LAMBER	NO.
BLOCKING, FURNING, ETC.	NO.
DECOR & SHEATHING	NO.
2X, 3X, 4X	COMA

2. ALL WOOD BEARING ON CONCRETE OR MASONRY IF LESS THAN 4 FEET FROM GRADE SHALL BE PRESSURE TREATED DOUG FIR.

3. GLUED-LAMINATED WOOD BEAMS SHALL BE DOUGLAS FIR COMB. 24F-VB(4)
DF/DF (F_m=2400PSI, F_v=165 PSI, E=180,000 PSI) INDUSTRIAL APPEARANCE WITH
EXTERIOR GRADE UNLESS OTHERWISE NOTED ON PLANS. A CERTIFICATE OF INSPECTION
FOR EACH GLU-LAM BEAM FROM AN APPROVED TESTING AGENCY TO BE SUBMITTED
AND APPROVED BY THE BUILDING DEPT. PRIOR TO ERECTION. ((*) USE VB FOR
CANT. BEAMS AND V4 FOR SIMPLE SPANS BEAMS)

4. ALL STRUCTURAL PLYWOOD SHALL BE IN ACCORDANCE WITH DOC P.S.1-95
NAILING SCHEDULE (2013 CBC TABLE 2304.9.1)

THIS MAILING IS TYPICAL AND/OR OTHERWISE NOTED NAME SHALL BE FOR YOU

* WIRE NAILS, DIAPHRAGM SHEATHING NAILS OR OTHER APPROVED SHEATHING CONNECTIONS SHALL BE DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH THE SURFACE OF THE SHEATHING.

JOISTS OR RAFTERS TO BIDS ON STUDS	
8 INCHES IN DEPTH OR LESS	-3-16
FOR EACH ABOVE	-1-16
JOISTS OR RAFTERS AT ALL BEARING	-3-8
THE WALL EACH SIDE	-1-8
STUDS BEARING TOE WALLS EA. SIDE	-2-8
BLOCKING BETWEEN JOISTS/RAFTERS	
TO JOISTS/RAFTERS TOE WALLS EA. SIDE	-2-10A
STUDS BEARING TOE WALLS EA. SIDE	-2-10A
FROM BLOCKING TO BEARING TOE WALLS EA. SIDE	
BLOCKING BETWEEN STUDS	
AT EACH END-THE WALL	-2-10A
END WALLS	-2-10A
PROGRESSIVE BLOCKING	
RAFTER TO BLOCK & BLOCK TO CHAIR, MAINDER	-2-16
MULTIPLE STUDS	
(STANDARD WALLS ON STUDS WIDER THAN 4")	-6-00A/2-00
ANALOG TO STUDS	
13 REVISION	-2-8
25 REVISION	-2-8
NUMBER TOP PLATES	-2-8
LOWER PLATE TO STUD	-2-16
UPPER TO LOWER PLATE	-2-16
AT SPACERS (APPLIED ON EACH SIDE	1-00A/1-00
OF BLT IN TOP PLATE	-8-16
UPPER TO LOWER PLATE	-8-16
AT INTERCTIONS	-8-16
Ceiling STRIPS	
1/4" PER BEARING (STRONGHOLD TYPE)	-3-8
2X3 PER BEARING (STRONGHOLD TYPE)	-1-8
PLYWOOD HANGERS/DETAILS &/OR SCHEDULES	
1/4" PER BEARING	-2-00A/2-00
1/2" LET-IN BEARING, EACH BEARING	-2-8

STRUCTURAL STEEL

1. STRUCTURAL STEEL SHALL CONFORM TO STANDARD SPECIFICATION FOR STRUCTURAL STEEL FOR BRIDGES OR BUILDINGS A.S.T.M. A572 GRADE 50 OR DUAL GRADE 50.
2. FABRICATION SHALL CONFORM WITH THE LATEST A.I.S.C. SPECS.
3. ALL BOLTS FOR STEEL MEMBERS SHALL CONFORM TO A.S.T.M. A-307 UNLESS OTHERWISE NOTED.
4. HIGH TENSILE BOLTS WERE INDICATED ON THE PLANS OR DETAILS SHALL BE THE TENSION TYPE OR SURFACES. THERE SHALL BE NO PAINT, OIL, LAQUER OR GALVANIZING BETWEEN THE CONTACT SURFACES. HIGH TENSILE BOLTS SHALL CONFORM TO A.S.T.M. A-307 OR A-490.
5. PIPE COLLARS SHALL CONFORM TO A.S.T.M. A-53 GRADE B
6. STEEL TUBE SHAPED MEMBERS SHALL CONFORM TO A.S.T.M. A-501 OR A-502 GRADE B.
7. WHERE FINISH IS ATTACHED TO STRUCTURAL STEEL, PROVIDE HOLES FOR 1/8" WELDED STUDS AT 4 FEET O.C. FOR THE ATTACHMENT OF HAULERS, SEE ARCHITECTURAL DRAWINGS FOR FINISHES.
8. BEAM CONNECTIONS SHALL COMPLY WITH "WELDED BEAM CONNECTIONS" A.I.S.C. PART 1 TABLE 1, USING 3/4" DIA. A307 BOLTS (U.B.).
9. OPEN WEB JOISTS SHALL COMPLY WITH THE STANDARDS OF THE "STEEL JOIST INSTITUTE".
10. STEEL PLATES AND BARS SHALL CONFORM TO A.S.T.M. A36 U.N.C.O

STRUCT. STEEL WELDING

1. WELDING SHALL BE DONE BY THE ELECTRIC SHIELDED ARC PROCESS AND SHALL COMPLY WITH A.S.N.I. SPECIFICATIONS FOR WELDING AND FABRICATION.
2. WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS WHO ARE APPROVED BY THE LOCAL AUTHORITY.
3. ALL FIELD WELDS SHALL HAVE CONTINUOUS INSPECTION PER 2013 CBC (1704.3.1) UNLESS OTHERWISE NOTED.
4. ALL BUTT WELDS SHALL BE FULL PENETRATION U.N.D.
5. A CERTIFICATE OF FABRICATION FROM THE SHOP PERFORMING WELDING OR A REPORT FROM THE SPECIAL INSPECTOR MUST BE FURNISHED TO THE JOB INSPECTOR PRIOR TO FINISHING APPROVAL.
6. USE E7018 ELECTRODE W/201-# TOUGHNESS FACTOR.

1. ITEMS REQUIRING SPECIAL INSPECTION AND/OR STRUCTURAL OBSERVATION FOR THIS PROJECT SHALL INCLUDE:

1. ITEMS REQUIRING SPECIAL INSPECTION AND/OR STRUCTURAL OBSERVATION FOR THIS PROJECT SHALL INCLUDE:
 - A. NONE
2. A CERTIFICATE OF SATISFACTORY COMPLETION OF THE WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
3. AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.
4. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO DIRECTION OF PREFABRICATED COMPONENTS.
5. THE SPECIAL INSPECTIONS IDENTIFIED ARE IN ADDITION TO THOSE REQUIRED BY SEC. 109 OF THE BUILDING CODE, AS AMENDED. SPECIAL INSPECTION IS NOT A SUBSTITUTE FOR INSPECTION BY A CITY INSPECTOR.
6. ALL OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR, & INSPECTION SERVICES. THE STRUCTURAL OBSERVER SHALL SUBMIT A REPORT TO STATEMENTED DEFICIENCY SERVICES THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES THAT HAVE NOT BEEN RESOLVED. THE STRUCTURE WILL NOT BE IN COMPLIANCE UNTIL THE DESIGNER HAS NOTIFIED INSPECTION SERVICES THAT ALL DEFICIENCIES ARE RESOLVED.

**COLUMN LINE/
DIMENSION LINE
℄ CENTERLINE**

**COLUMN LINE/
GRID LINE**
LETTERS IN ONE DIRECTION
NUMBERS IN THE OTHER DIRECTION

SECTION CUT
SECTION LETTER
SHEET WHERE SECTION IS DRAWN

DETAIL REFERENCE
DETAIL NUMBER
SHEET WHERE DETAIL IS DRAWN

REVISION
REVISION NUMBER WITH CLOUD
AROUND REVISED AREA

**WORK POINT, DATUM,
OR CONTROL POINT**

ROOM NUMBER

WINDOW NUMBER

DOOR NUMBER

FLOOR PLAN NOTE

WALL TYPE

1. HOURS OF WORK: CONTRACTOR TO OBSERVE BUSINESS HOURS OF 8 A.M. TO 5 P.M. - F. ANY OTHER SPECIAL OR EXTENDED HOURS TO BE APPROVED BY OWNER REPRESENTATIVE.
2. STAGING/LOADING AREA: ALL WORK MUST BE ARRANGED TO AVOID INTERFERING WITH EXISTING TRAFFIC (PEDESTRIAN & MOTOR) AND BUSINESS. ALL EQUIPMENT & MATERIALS MUST BE STORED IN NEARBY EQUIPMENT YARD/LOT UNLESS PRIOR AGREEMENT IS MADE BETWEEN VERIZON WIRELESS PROJECT MANAGER, OWNER AND CONTRACTOR.
3. CONTRACTOR SHALL READ, UNDERSTAND, & ADHERE TO ALL NOTES ON THIS SHEET & ALL NOTES THROUGHOUT THIS SET OF CONSTRUCTION DOCUMENTS. ANY REQUIRED CHANGES AND/OR ADJUSTMENTS MUST BE MADE WITH THE PRIOR APPROVAL OF THE VERIZON WIRELESS PROJECT MANAGER AND THE ARCHITECT.
4. PROTECT ALL SURFACES & MATERIALS IN AND ADJACENT TO EXISTING ROOMS. ALSO PROTECT, PRESERVE, AND CLEAN ALL AREAS, INCLUSIVE OF PATHS OF TRAVEL, IN AND BETWEEN ALL AREAS OF WORK.
5. CONTRACTOR TO MAKE APPOINTMENT WITH BUILDING OWNER REPRESENTATIVE PRIOR TO ANY X-RAY & CORE DRILLING THAT MAY AFFECT OTHER TENANTS.

Dept. Approved Date	
A&C	
PE	
RF	
INT	
EE	
OPB	



0000-7000

1505 Sand Canyon Ave.

Building "D", First Floor
 1000 CA 020818

REYES ROAD®

(AWS-LTE)

U 772 AGGOUHA ROAD
URBA HILLS CA 91301

NOTES, SYMBOLS AND

MATERIAL SPECIFICATIONS

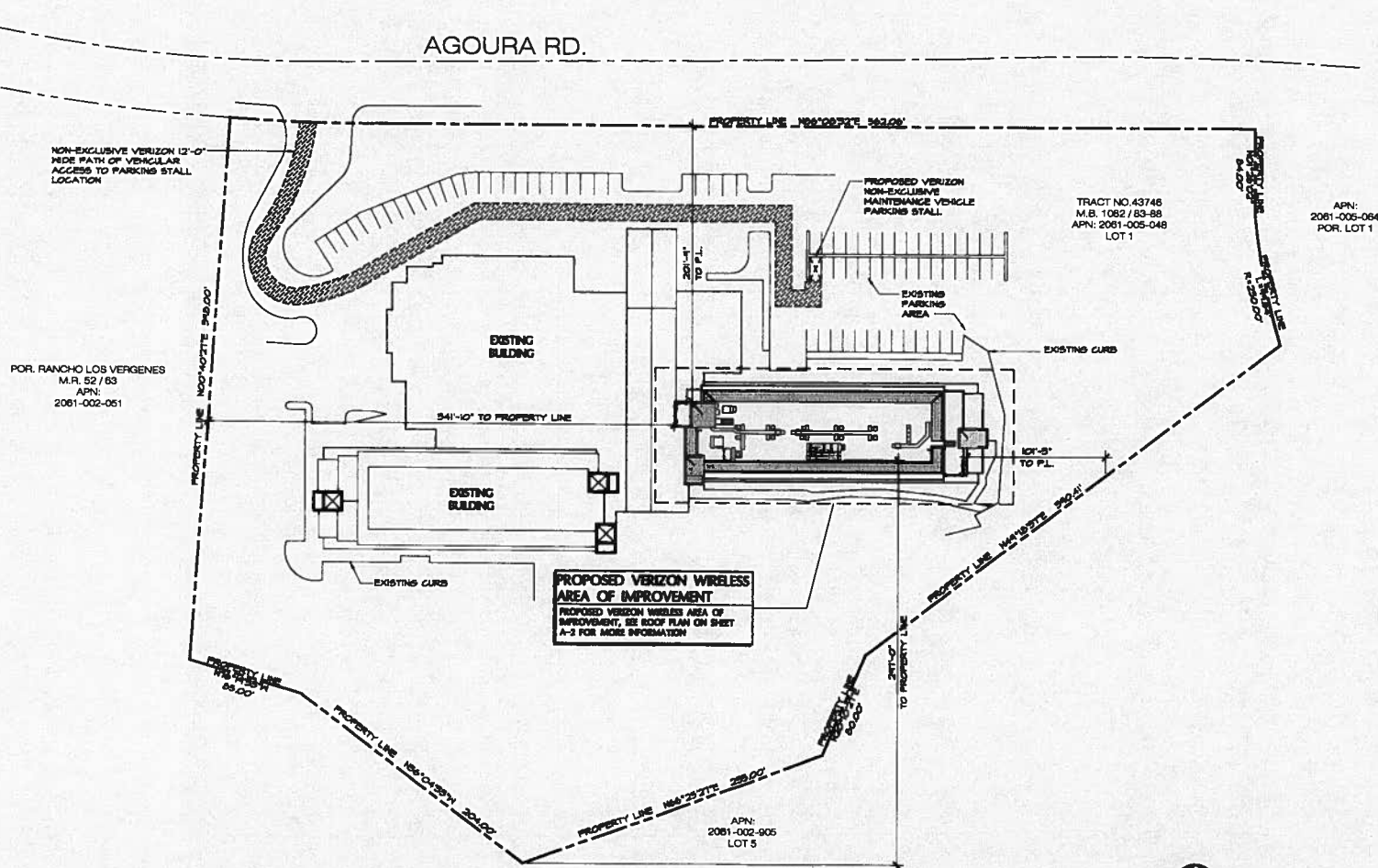
AUCTION DRAWINGS

dera

COAST, TRINIDAD STREET, BIRMINGHAM
 TRINIDAD STREET, BIRMINGHAM

T-2

THESE PLANS ARE BASED ON RECORD DOCUMENTS FURNISHED BY THE APPLICANT AND DEEMED RELIABLE. A TOPOGRAPHIC SURVEY WAS NOT PERFORMED FOR THIS PROJECT. DERRA DESIGN, INC. DOES NOT GUARANTEE THE ACCURACY OF PROPERTY LINES, EASEMENTS, UTILITY LINES AND/OR EXISTING STRUCTURE HEIGHT AS INDICATED ON THESE PLANS.



SITE PLAN



NORTH
SCALE 1"=50'-0"

Dept.	Approved	Date
A&C		
FE		
RF		
INT		
EE		
OPB		
SEC/IT		

verizon wireless
15505 Sand Canyon Ave.
Building "D", First Floor
Irvine, CA 92618
(949) 266-7000

**"FIEVES ROAD"
(AWS-LTE)
30100 1/2 AGOURA ROAD
AGOURA HILLS, CA 91301**

derra

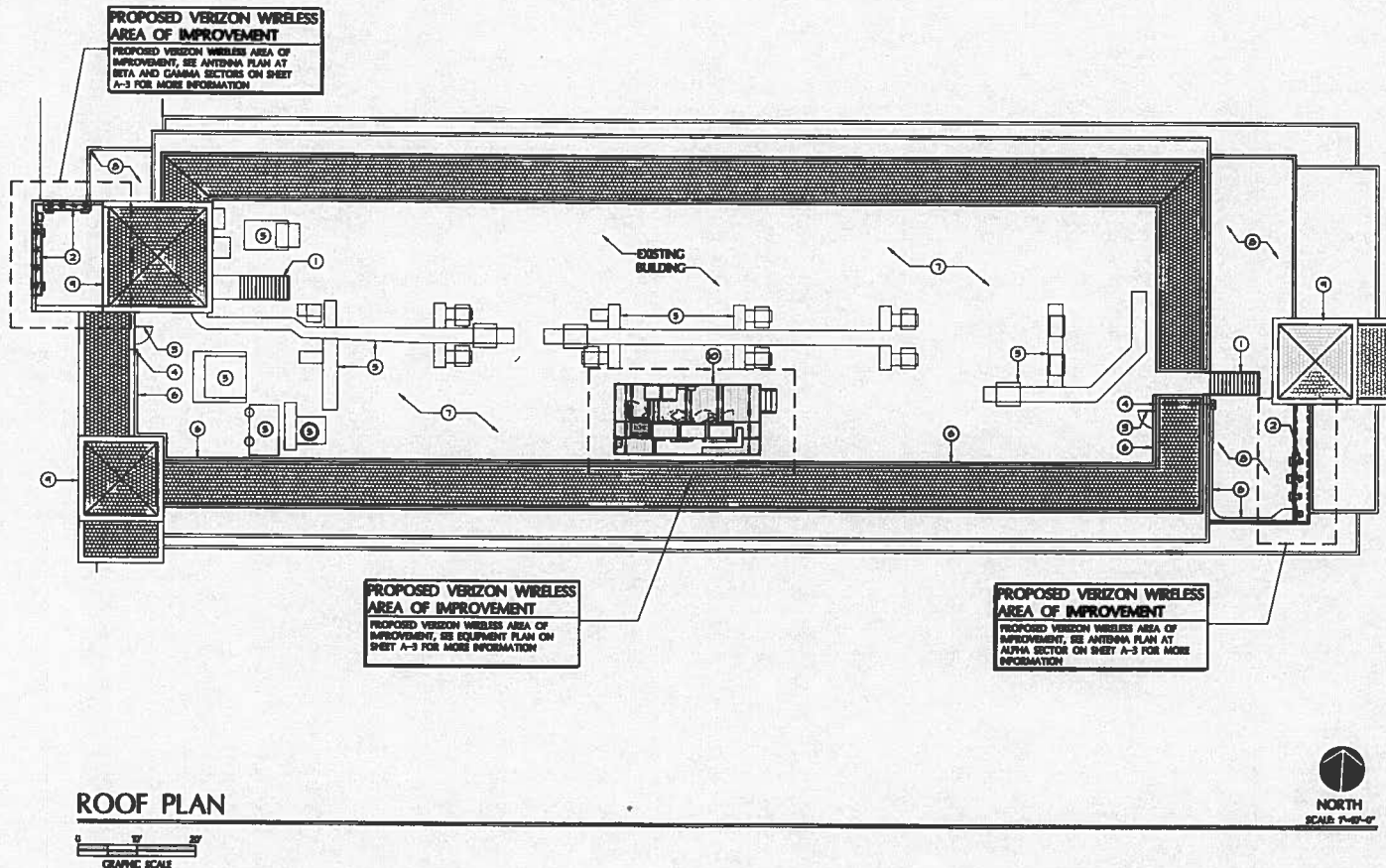
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A-1

KEYNOTES:

- ① EXISTING ROOF ACCESS LADDER
- ② EXISTING VERIZON WIRELESS PANEL ANTENNAS CONCEALED WITHIN EXISTING HALL
- ③ EXISTING ACCESS PANEL AT MANSARD ROOF
- ④ EXISTING COAX CABLE ENTRY AT MANSARD ROOF
- ⑤ EXISTING MECHANICAL EQUIPMENT AT ROOF DECK
- ⑥ EXISTING VERIZON WIRELESS COAX CABLE TRAY MOUNTED ON PARAPET WALL
- ⑦ EXISTING ROOF DECK
- ⑧ EXISTING LOWER ROOF
- ⑨ EXISTING CUPOLA STRUCTURE
- ⑩ EXISTING VERIZON WIRELESS EQUIPMENT PLATFORM

NOTE:
THESE PLANS ARE BASED ON RECORD DOCUMENTS FURNISHED BY THE APPLICANT AND DEEMED RELIABLE. A TOPOGRAPHIC SURVEY WAS NOT PERFORMED FOR THIS PROJECT. DERRA DESIGN, INC. DOES NOT GUARANTEE THE ACCURACY OF PROPERTY LINES, EASEMENTS, UTILITY LINES AND/OR EXISTING STRUCTURE HEIGHT AS INDICATED ON THESE PLANS.



Disc	Approved Date
ASDC	
RE	
INT	
EE	
CPG	
ECUT	

verizon wireless
15505 South Capistrano Ave.
Building 101, 1st Floor
Irvine, CA 92618
(949) 288-7000

"REYES ROAD"
(AWS-LITE)
30100 1/2 AGOURA ROAD
AGOURA HILLS, CA 91301
ROOF PLAN
CONSTRUCTION DRAWINGS

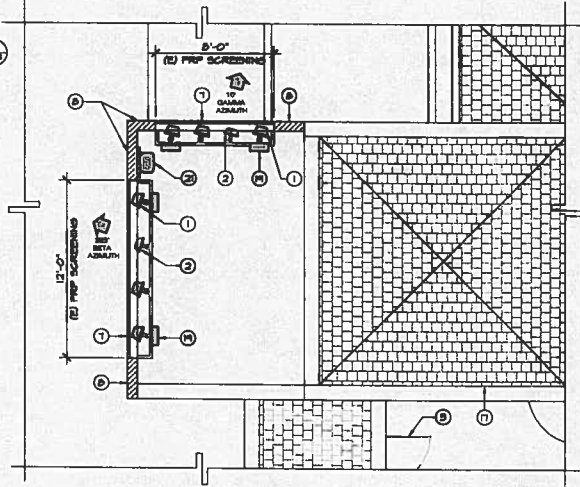
derra
1000 N. Highway 101, Suite 100
Agoura Hills, CA 91301
(818) 480-1000

Revision No.	Rev. Description	Rev. Date
1	SEE 03 1000	
2		
3		
4		
5		

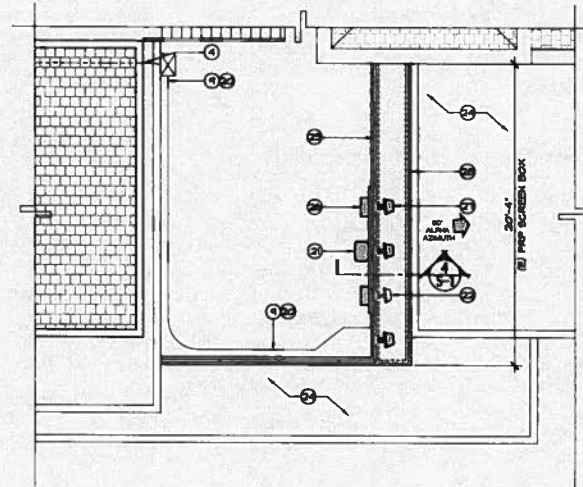
A-2

KEYNOTES:

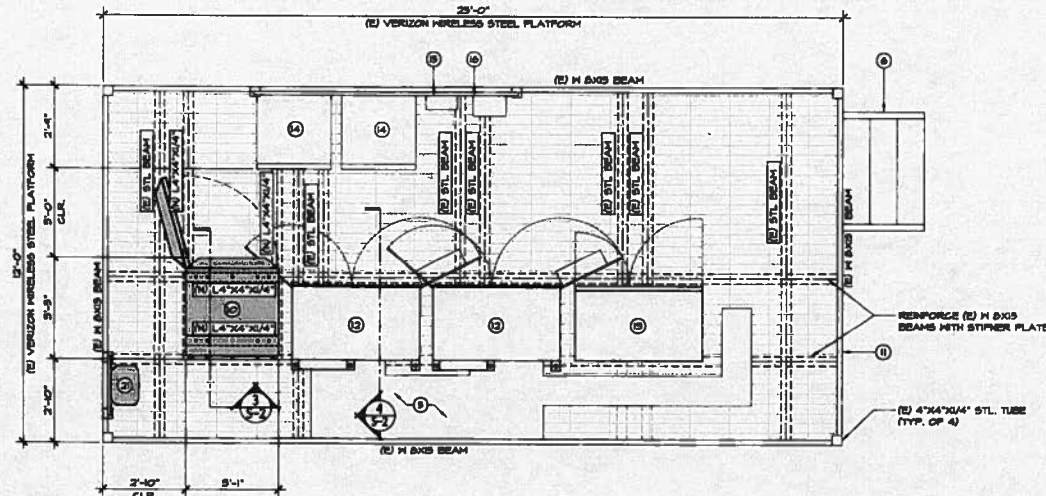
- 1 EXISTING PREVIOUSLY APPROVED VERIZON WIRELESS PANEL ANTENNAS TO BE REMOVED AND REPLACED WITH NEW PANEL ANTENNAS MOUNTED ON EXISTING ANTENNA PIPE MOUNTS AND CONCEALED BEHIND EXISTING FRP SCREEN HALL (TYP. OF (B) AT BETA AND GAMMA SECTORS)
- 2 EXISTING VERIZON WIRELESS PANEL ANTENNAS CONCEALED WITHIN EXISTING HALL, TO REMAIN UNCHANGED
- 3 EXISTING ACCESS PANEL AT BACK OF MANSARD ROOF
- 4 EXISTING COAX CABLE ENTRY AT MANSARD ROOF
- 5 EXISTING VERIZON WIRELESS COAX CABLE TRAY ON STEEL PLATFORM
- 6 EXISTING VERIZON WIRELESS PLATFORM ACCESS STAIRS
- 7 EXISTING VERIZON WIRELESS FRP SCREEN
- 8 EXISTING MASONRY HALL
- 9 EXISTING VERIZON WIRELESS COAX CABLE TRAY MOUNTED ON PARAPET
- 10 REMOVE/REPLACE EXISTING PREVIOUSLY APPROVED SBC CABINET WITH NEW VERIZON WIRELESS COMSCOPE RBA-12 CABINET TO BE MOUNTED ON EXISTING STEEL PLATFORM
- 11 EXISTING VERIZON WIRELESS STEEL PLATFORM
- 12 EXISTING VERIZON WIRELESS CMO CABINET ON EXISTING STEEL PLATFORM
- 13 EXISTING VERIZON WIRELESS 8402 LTE CABINET ON EXISTING STEEL PLATFORM
- 14 EXISTING VERIZON WIRELESS TELCO CABINETS MOUNTED ON EXISTING H-FRAME
- 15 EXISTING VERIZON WIRELESS ELECTRICAL PANEL MOUNTED ON EXISTING H-FRAME
- 16 EXISTING VERIZON WIRELESS FIBER JUNCTION BOX MOUNTED ON NEW H-FRAME (BELOW)
- 17 EXISTING CAPOLA WITH MANSARD ROOF, TO REMAIN UNCHANGED
- 18 EXISTING PARAPET FRP SCREEN HALL/ PARAPET
- 19 PROPOSED VERIZON WIRELESS RRUS TO BE MOUNTED ON EXISTING ANTENNA PIPE MOUNT CONCEALED BEHIND EXISTING FRP SCREEN HALL, TYP. OF (2) PER SECTOR
- 20 VERIZON WIRELESS TO INSTALL NEW HYBRID FLEX CABLES CONCEALED WITHIN EXISTING VERIZON WIRELESS COAX CABLE TRAY
- 21 PROPOSED VERIZON WIRELESS UN-STRUT MOUNTED RAYCAP BOX
- 22 EXISTING VERIZON WIRELESS PANEL ANTENNAS MOUNTED BEHIND FRP SCREEN/ PARAPET HALL, TO REMAIN UNCHANGED, TYP. OF 2 PER SECTOR, S.C. TO FIELD VERIFY EXACT LOCATION AND POSITION
- 23 EXISTING RAIL ON TOP OF EXISTING PARAPET/ FRP SCREEN HALL
- 24 EXISTING LOWER ROOF
- 25 NOT USED
- 26 PROPOSED VERIZON WIRELESS RRUS MOUNTED & CONCEALED ON BACK SIDE OF PARAPET HALL
- 27 PREVIOUSLY APPROVED VERIZON WIRELESS PANEL ANTENNAS TO BE REMOVED AND REPLACED WITH NEW PANEL ANTENNAS MOUNTED ON EXISTING ANTENNA PIPE MOUNTS AND CONCEALED BEHIND EXISTING FRP SCREEN/ PARAPET (S.C. TO FIELD VERIFY EXACT LOCATION AND POSITION) (TYP. AT ALPHA SECTOR)
- 28 VERIZON WIRELESS TO REPLACE PART OF (B) HALL WITH (N) 2'-0" FRP SCREEN TO ACCOMMODATE (N) PANEL ANTENNAS



ANTENNA PLAN AT BETA AND GAMMA SECTORS



ANTENNA PLAN AT ALPHA SECTOR



EQUIPMENT PLAN



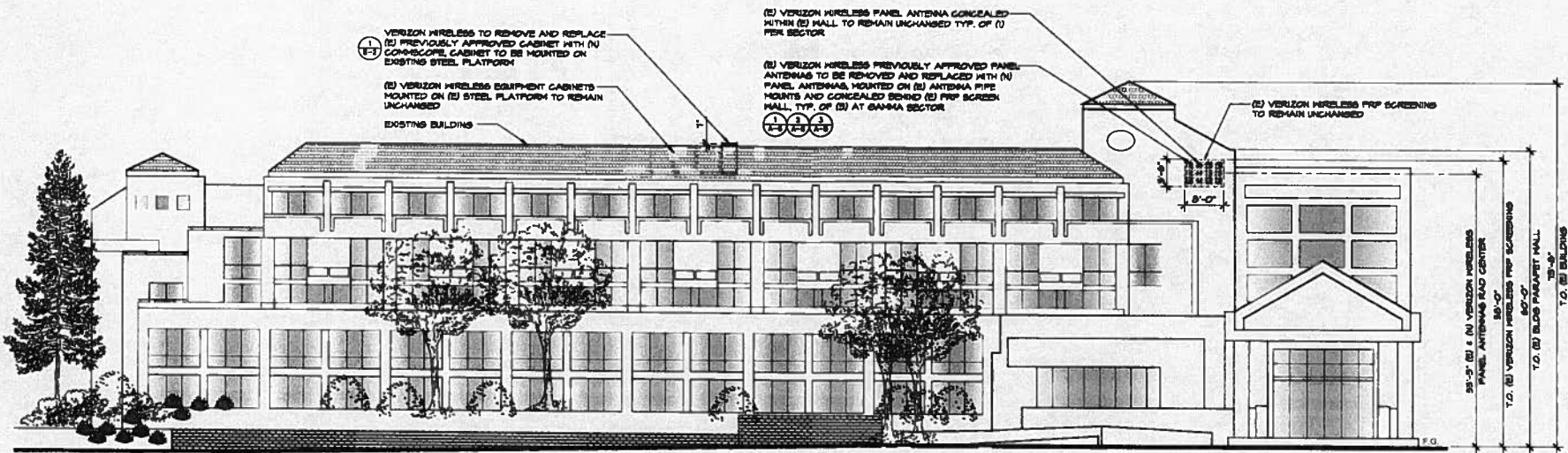
Design	Approved	Date
ARCH		
MECH		
ELECT		
PLUMB		
HAZARDOUS		
ENVIRONMENTAL		
OTHER		

verizon wireless
15500 Santa Monica Ave.
Building 17, 17th Floor
Irvine, CA 92618
(949) 288-7000

"REYES ROAD"
(AWS-LTE)
30100 1/2 AGOURA ROAD
AGOURA HILLS, CA 91301
EQUIPMENT & ANTENNA PLANS
CONSTRUCTION DRAWINGS

dera
ARCHITECTS
10000 WILLOW GROVE AVENUE
SUITE 100
LOS ANGELES, CA 90024
(310) 551-1000

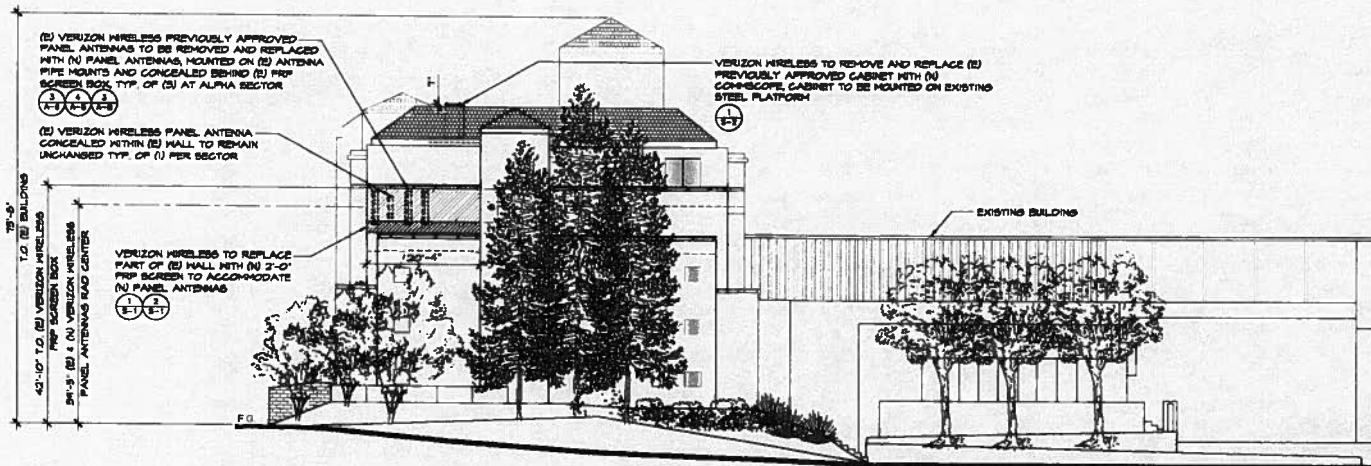
Revision	By	Date
1		
2		
3		
4		
5		



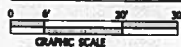
NORTH ELEVATION



SCALE 1/2"=1'-0"



EAST ELEVATION



SCALE 1/2"=1'-0"

Disc.	Approved	Date
ASG		
RF		
INT		
EE		
OPR		
ECUT		

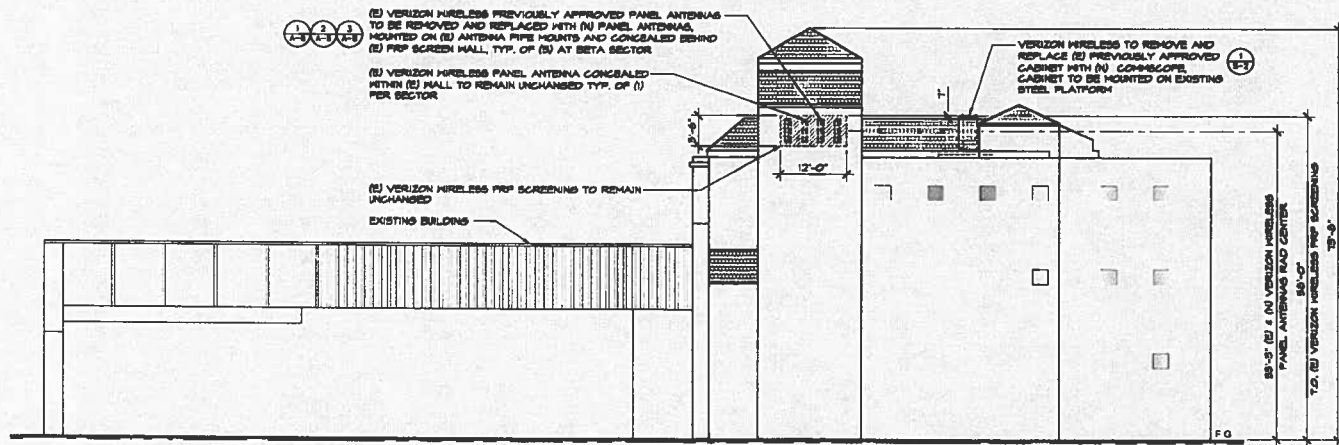
verizon wireless
 14500 Sand Canyon Ave.
 Building 17, 17th Floor
 Irvine, CA 92618
 (949) 286-7000

"REYES ROAD"
 (AWS-LTE)
 30100 1/2 AGOURA ROAD
 AGOURA HILLS, CA 91301
 ELEVATIONS
 CONSTRUCTION DRAWINGS

derra
 4000 E. Derran Avenue, Suite 100
 (949) 450-0000 FAX (949) 450-0000

Revision	By	Date
1	USE OF 2000	
2		
3		
4		
5		

A-4



WEST ELEVATION



SCALE 3/32"=1'-0"

Disc.	Approved	Date
ARC		
RE		
RF		
IR		
EE		
OPS		
ECOUT		

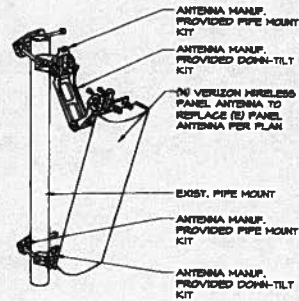
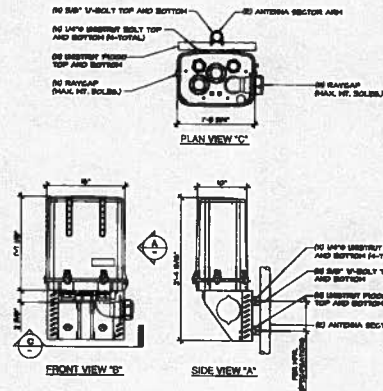
verizon wireless
 15505 Sand Canyon Ave.
 Irvine, CA 92618
 (949) 235-7000

"REYES ROAD"
 (AWS-LTE)
 30100 1/2 AGOURA ROAD
 AGOURA HILLS, CA 91301
 ELEVATIONS
 CONSTRUCTION DRAWINGS

derra
 1001 L. Broun Street, Suite 100
 Irvine, CA 92618
 (949) 235-7000

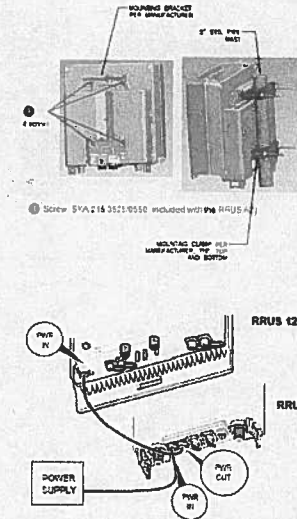
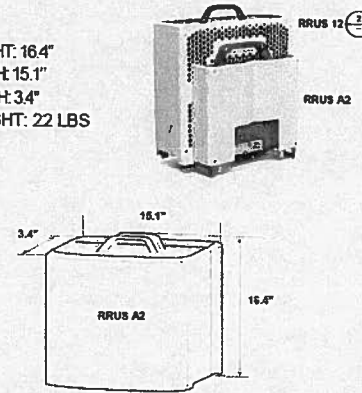
Revision	By	Date
1	W. B. B. B.	
2		
3		
4		
5		

CASE NO. **A-5**



Band	PCS	SW/S
Product Name	RRUS A2 B2	RRUS A2 B4
Product Number	KTC 101-290-1	KTC 101-290-1
Tx power	N/A	N/A
RA Channels	2	2
Dimensions (HxWxD)	10.4x15.1x3.4	10.4x15.1x3.4
Weight	22 lbs	22 lbs
HW Availability	Jan. '14	Jan. '14
SW Dependency	L13A	L13A

HEIGHT: 16.4"
WIDTH: 15.1"
DEPTH: 3.4"
WEIGHT: 22 LBS



verizon wireless
15505 Bayview Canyon Ave.
Irvine, CA 92618
(949) 295-7000

"REYES ROAD"
(AWS-LTE)
301.00 1/2 AGOURA ROAD
AGOURA HILLS, CA 91301
ARCHITECTURAL DETAILS &
EQUIPMENT SPECIFICATIONS
CONSTRUCTION DRAWINGS

derra
1700 WEST 10TH AVENUE, SUITE 100
DENVER, CO 80202
(303) 733-1111

A-8

YCAP PIPE MOUNTING DETAIL

SCALE: 1" = 1'-0"

5

ANTENNA MOUNTING

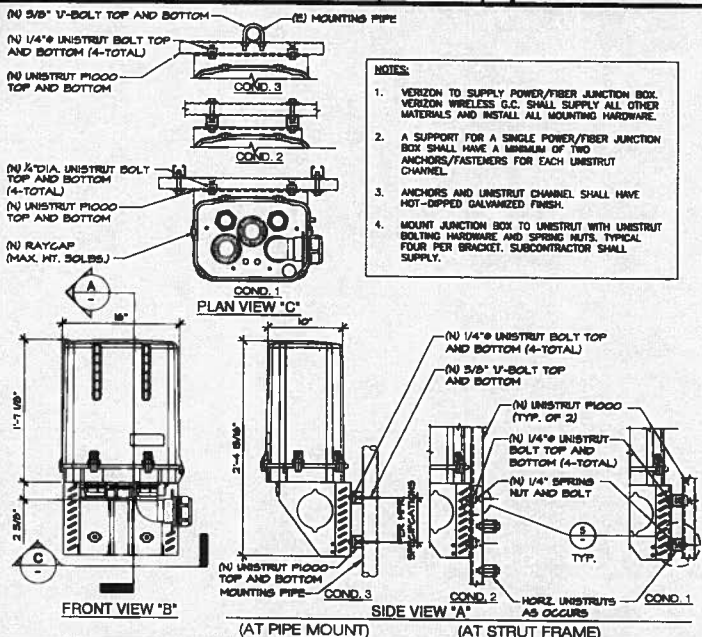
SCALE: 3" = 1'-0"

3

RRUS-12 WITH A2 MODULES SPECIFICATIONS

SCALE: NTS

1



YCAP POWER/FIBER JUNCTION BOX MOUNTING DETAIL

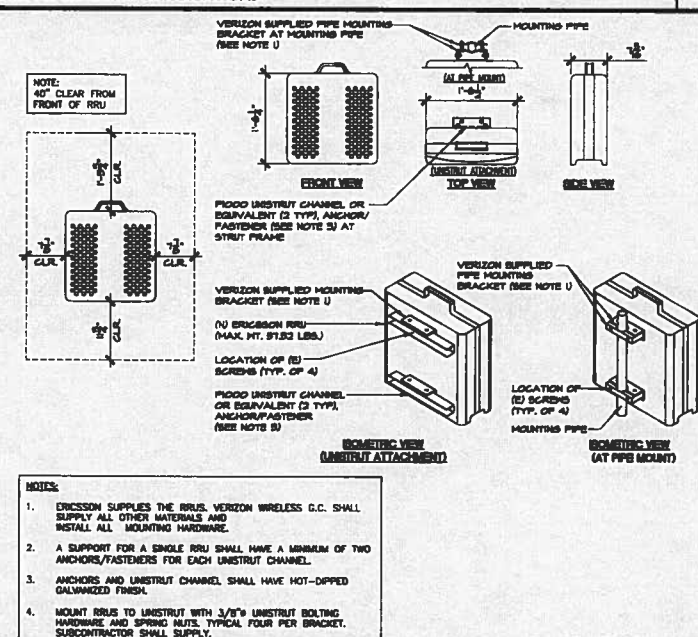
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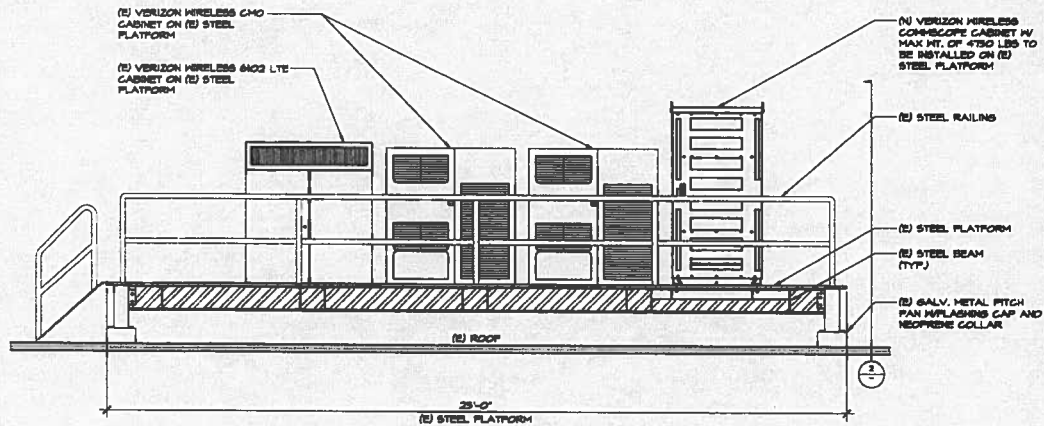
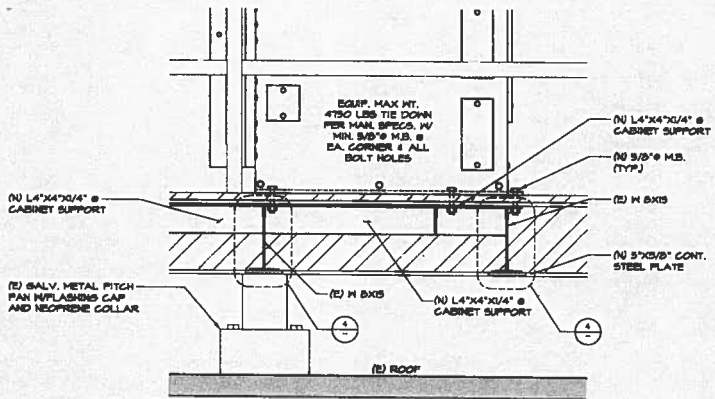
4

RRU-12 MOUNTING DETAIL

SCALE: 1" = 1'-0"

12





Dist.	Approved	Date
AKC		
RE		
RF		
MT		
CP		
ECUT		

verizon wireless
18500 Sand Canyon Ave.
Irvine, CA 92618
(949) 256-7000

"REYES ROAD"
(AWS-LTE)
30100 1/2 AGOURA ROAD
AGOURA HILLS, CA 91301
STRUCTURAL DETAILS
CONSTRUCTION DRAWINGS

derra
1725 WEST 10TH STREET, SUITE 100
LOS ANGELES, CA 90015
(213) 480-0000 FAX: (213) 480-0001

REVISIONS	DATE	BY	CHKD
1	10/12/15	AKC	
2			
3			
4			

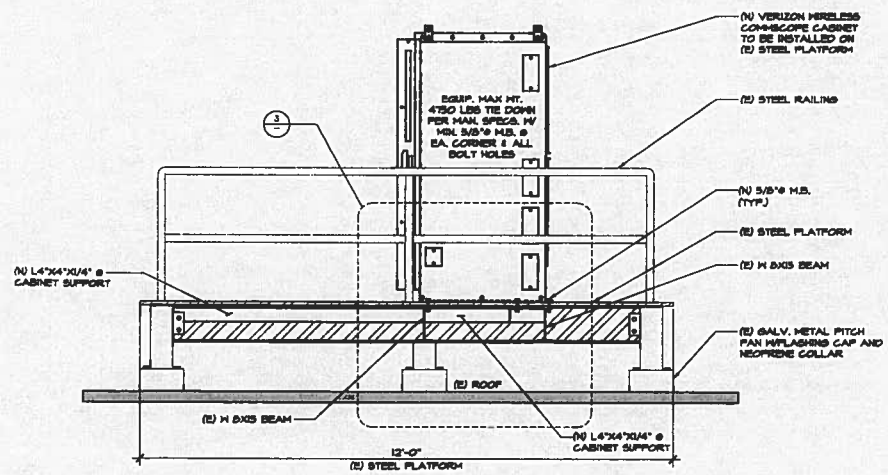
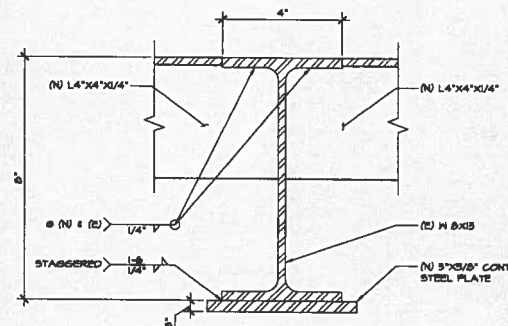
S-2

COMMSCOPE CABINET MOUNTING DETAIL

SCALE:
1-1/2" = 1'-0"

COMMSCOPE CABINET MOUNTING DETAIL

SCALE:
1/2" = 1'-0"



COMMSCOPE CABINET MOUNTING DETAIL

SCALE:
1-1/2" = 1'-0"

COMMSCOPE CABINET MOUNTING DETAIL

SCALE:
1/2" = 1'-0"



CASE NO. WIRE-01027-2014

**FOR THE PROPERTY LOCATED AT
30100 AGOURA ROAD, AGOURA HILLS**

Exhibit D
Photo-simulations of Proposed Wireless Telecommunications Facilities



REYES ROAD

CITY OF AGOURA HILLS
30100 1/2 AGOURA ROAD AGOURA HILLS, CA 91301
2015 FEB 18 PM 4:40
CITY CLERK



VIEW 1



LOCATION

©2013 Google Maps



EXISTING



PROPOSED

LOOKING SOUTH FROM PARKING LOT

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.



REYES ROAD

30100 1/2 AGOURA ROAD AGOURA HILLS, CA 91301



VIEW 2

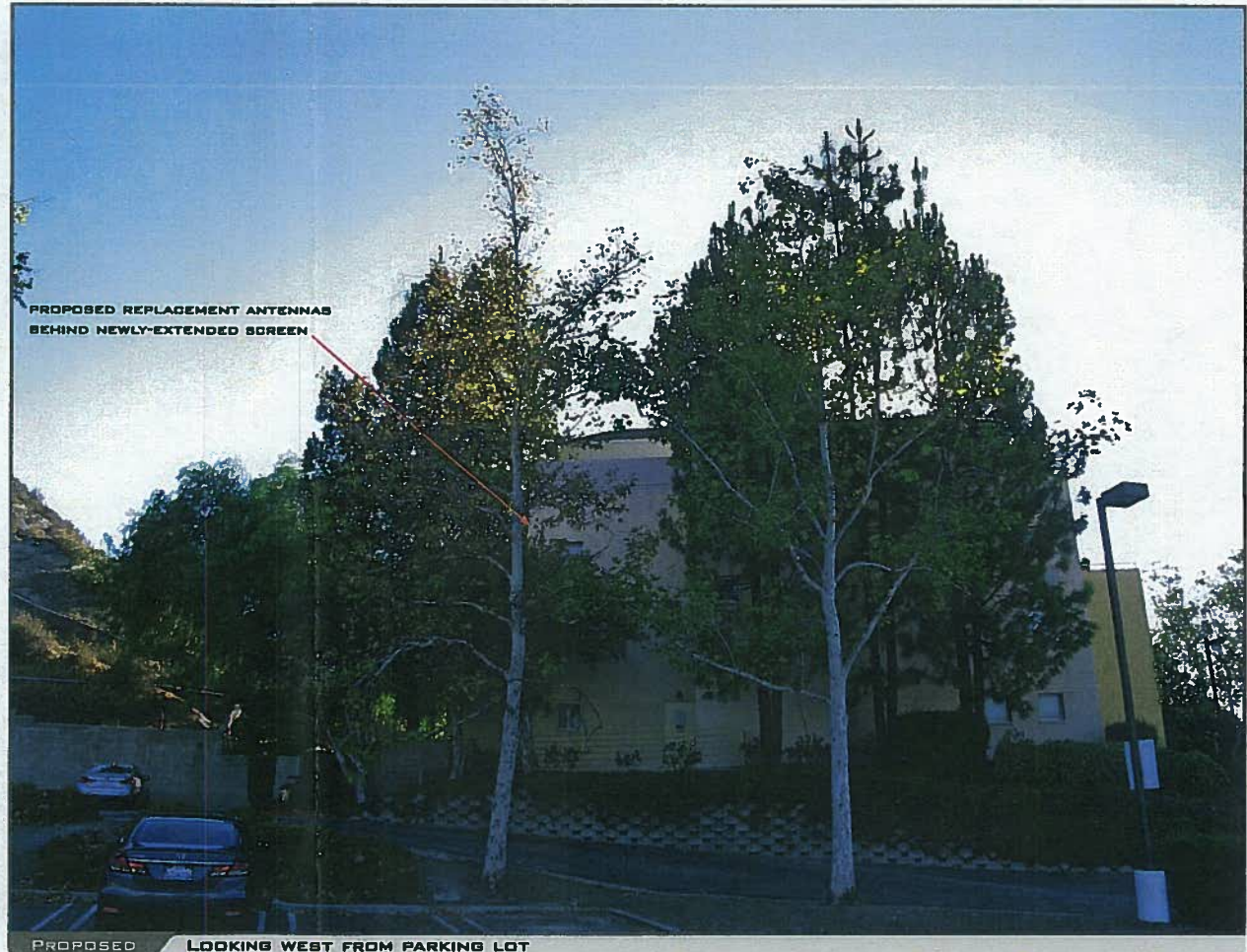


LOCATION

©2013 Google Maps



EXISTING



PROPOSED REPLACEMENT ANTENNAS
BEHIND NEWLY-EXTENDED SCREEN

PROPOSED LOOKING WEST FROM PARKING LOT

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.



REYES ROAD

30100 1/2 ABOURA ROAD ABOURA HILLS, CA 91301



VIEW 3

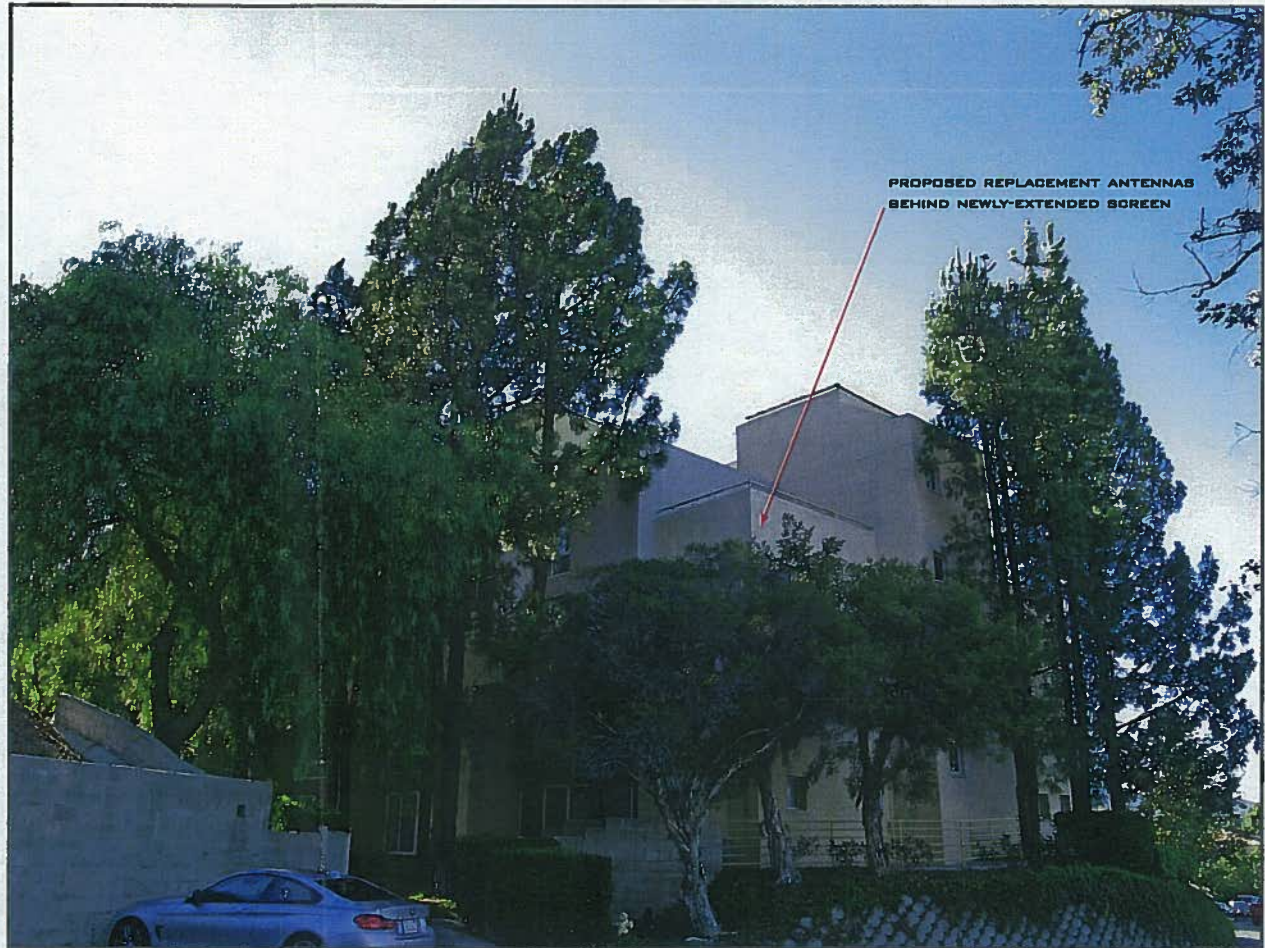


LOCATION

©2013 Google Maps



EXISTING



PROPOSED

LOOKING NORTHWEST FROM PARKING LOT

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.



REYES ROAD

30100 1/2 AGOURA ROAD AGOURA HILLS, CA 91301



VIEW 4

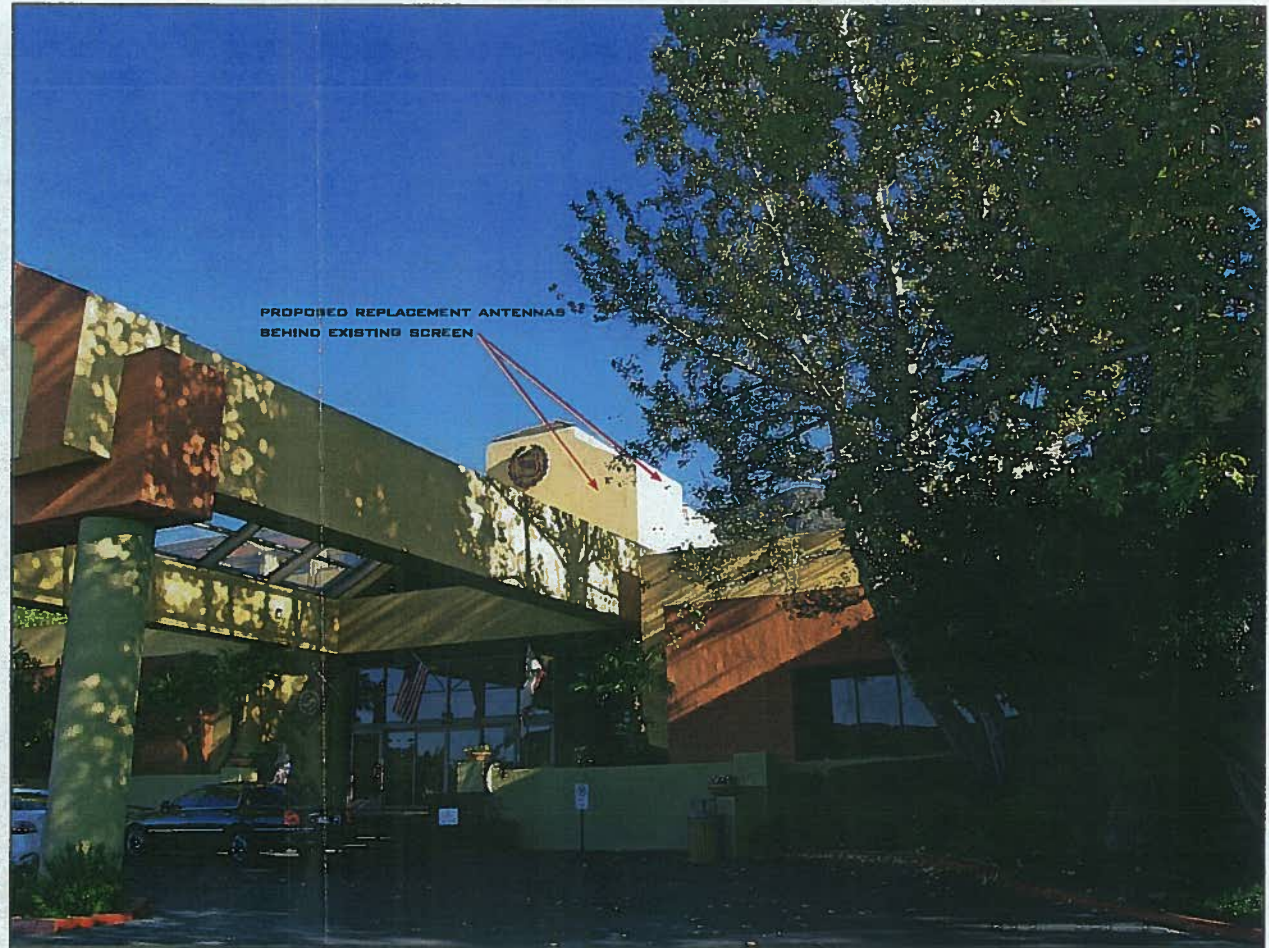


LOCATION

©2013 Google Maps



EXISTING



PROPOSED REPLACEMENT ANTENNAS
BEHIND EXISTING SCREEN

PROPOSED

LOOKING SOUTHEAST FROM PARKING LOT

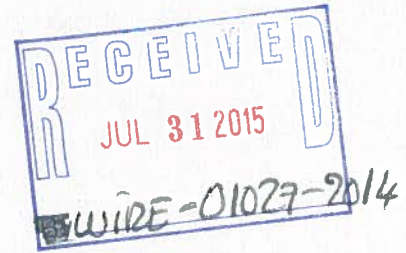
ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.



CASE NO. WIRE-01027-2014

**FOR THE PROPERTY LOCATED AT
30100 AGOURA ROAD, AGOURA HILLS**

**Exhibit E
Applicant's Attachments to Application**



SUPPLEMENTAL APPLICATION FORM FOR WIRELESS TELECOMMUNICATIONS FACILITIES

The City of Agoura Hills recognizes that the provision of wireless telecommunication facilities, including distributed antenna systems (DAS), are highly technical enterprises subject to various federal, state, and local regulations. This supplemental application form is designed to obtain necessary and required technical information in support of a Public Right-of-Way Encroachment Permit, minor Conditional Use Permit (CUP) or Conditional Use Permit (CUP) (or any combination) for a new or modified wireless telecommunications facility project, including a DAS project, within the City of Agoura Hills ("WTF Project").

Completion of this supplemental application is a mandatory document for a WTF Project. This form assists the City of Agoura Hills to comply with its duties under Section 9661 et seq. and other provisions of the Agoura Hills Municipal Code; the Telecommunications Act of 1996 (including 47 U.S.C. §§ 253, 332); the FCC Shot Clock Order ("FCC 09-99"); California Public Utilities Code Sections 7901 and 7901.1; the California Environmental Quality Act ("CEQA"); the provisions of California Government Code Sections 65850.6 and 65964; and other local, state, and federal laws, regulations, and court decisions. The City of Agoura Hills requires that the applicant provide this information to assist it in creating a written administrative record containing substantial evidence sufficient to permit the City of Agoura Hills' informed consideration of your request, and to determine the duties, rights and obligations of the City of Agoura Hills and the applicant/owner of the proposed project.

No application for a new WTF Project or for a modification of an existing WTF Project shall be determined complete, or be considered for determination of completeness until all required responses to this supplemental application form and required attachments are completed and tendered to the City of Agoura Hills.

If you do not believe that a specific item of information is necessary or applies to your application, mark the item on this form with the words, "Not Applicable" and attach a detailed written explanation as to the basis for your belief (e.g., "Question 94.7 does not apply to this application because the proposed WTF Project has no microwave transmission element.") An unsupported statement such as "Question 94.7 does not apply" is insufficient, and the determination of completeness of your application will be delayed while you provide a meaningful and detailed explanation.

Every page of this form including this page and the last page must be tendered to the City of Agoura Hills. Each page including this page and the last page must be initialed where indicated. The last page must also be completed, signed, and dated. Please note that item numbers are intentionally non-sequential; do not re-number.

Questions about this form or the information required by this form should be directed to the City of Agoura Hills Planning and Community Development Department planner assigned to your project.

Findings Required for Approval of a WTF Project

In addition to findings necessary to approve a conditional use permit or minor conditional use permit, as applicable, no permit will be granted for a wireless telecommunications facility or a wireless telecommunications collocation facility unless all of the following findings are made by the reviewing authority:

1. The proposed facility has been designed and located in compliance with all applicable provisions of Division 11 of Part 2, Chapter 6, Article IX of the Agoura Hills Municipal Code entitled "Wireless Telecommunications Facilities" ("Division 11").
2. The proposed facility has been designed and located to achieve compatibility with the community.
3. The applicant has submitted a statement of its willingness to allow other carriers to collocate on the proposed wireless telecommunications facility wherever technically and economically feasible and where collocation would not harm community compatibility.
4. Noise generated by equipment will not be excessive, annoying nor be detrimental to the public health, safety, and welfare and will not exceed the standards set forth in Division 11. (See A.H.M.C. Section 9661.7)

In addition to the above findings, approval of a permit for a wireless telecommunications facility or a wireless telecommunications collocation facility that will be located in the public right-of-way may be granted only if the following findings are made by the reviewing authority:

1. The applicant has provided substantial written evidence supporting the applicant's claim that it has the right to enter the public right-of-way pursuant to state or federal law, or the applicant has entered into a franchise agreement with the city permitting them to use the public right-of-way.
2. The applicant has demonstrated that the facility will not interfere with the use of the public right-of-way and existing subterranean infrastructure and will not interfere with the city's plans for modification of such location and infrastructure. (See A.H.M.C. Section 9661.7)

Exceptions pertaining to any provision of Division 11, including, but not limited to, exceptions from findings that would otherwise justify denial, may be granted by the reviewing authority at a noticed public hearing if the reviewing authority makes the finding that (i) denial of the facility as proposed would violate state and/or federal law, or (ii) a provision of Division 11, as applied to applicant, would deprive applicant of its rights under state and/or federal law. An applicant may only request an exception at the time of applying for a wireless telecommunications facility permit or wireless telecommunications facility collocation permit. (See A.H.M.C. Sections 9661.19 and 9661.20 for additional requirements and restrictions.)

1.00: **Project Location, Description of Project, Type of Permit and Applicant Information**

1.01: WTF Project Physical Address (if any): 30100 Agoura road Agoura Hills, CA

1.02: WTF Project Site Number (if any): U-3003-C

1.03: Assessor's Parcel Number: 2061-005-048

1.04: Type of Facility for which Permit is Requested (Check only one) ☒ Wireless Telecommunications Facility

☐ Wireless Telecommunications Collocation Facility

1.05: Type of Permit Requested ☐ Minor Conditional Use Permit

☐ Conditional Use Permit

☐ Conditional Use Permit with an Exception

☐ Amendment to Minor CUP

☒ Amendment to CUP

1.10: Project Owner is:
(Owner of the WTF Project)

Name:

Title:

Firm Name:

Address 1:

Address 2:

City:

State:

Zip:

Main Tel:

1.11: Legal Business Name of Applicant

Name: VERIZON Wireless

Title:

Firm Name:

Address 1: 15505 SAND CANYON AVE

Address 2:

City: Irvine

State: CA

Zip: 92618

Main Tel:

1.12 Applicant's Representative is:

Name: Aaron Whiting / CORE

Title: TONING MANAGER

Firm Name: CORE Development

Address 1:
Address 2:
City: State: Zip:
Main Tel: Ext:
Direct Tel:
Work Fax:
Mobile Tel:
Email Address:
Website:

1.13 WTF Operator

Name:
Title:
Firm Name:
Address 1:
Address 2:
City: State: Zip:
Main Tel:

1.14 Property Owner is
(The owner of the real property where
the WTF Project will be located and/or
the personal property to which the
WTF Project will be attached. If more
than one, list all as an attachment.)

Name:
Title:
Firm Name:
Address 1:
Address 2:
City: State: Zip:
Main Tel:

1.16: Property Characteristics and Zoning:

Attach legal description of property and designate as Attachment 1.16A.

Initial here A.W to indicate that Attachment 1.16A is attached.

Parcel Size: _____ Width: _____ Depth: _____

General Plan Land Use: SEE PREVIOUS APPLICATION

Zoning: _____

Current Use: _____

Are any trees present on the property or within 250 feet of the property?
____ Yes X No

If yes, attach a detailed explanation describing the species of trees and indicate their location respective to the project site as Attachment 1.16B.

Initial here _____ to indicate that Attachment 1.16B is attached.

If oak trees are present onsite or within 250 feet of the site, an oak tree report may be required, and possibly an oak tree permit.

Are any trees impacted by the proposal? ____ Yes X No If yes, attach a detailed explanation describing impact on existing trees as Attachment 1.16C. An oak tree report and permit may be required.

Initial here _____ to indicate that Attachment 1.16C is attached.

- 1.17: Is this an application for a Wireless Telecommunications Collocation Facility?

X Yes ____ No

If yes, when answering each request for information about the WTF Project, describe or depict the wireless telecommunications collocation facility as it will be initially built, and all collocations at full build-out, including, but not limited to, all antennas, antenna support structures and accessory equipment.

Initial here AW to acknowledge compliance with this requirement.

- 1.20: Description of WTF Project. Attach a full written description of the proposed WTF Project, its purpose, and specifications, including the height and diameter of the facility, together with evidence that demonstrates that the proposed facility has been designed to the minimum height and diameter required from a technological standpoint for the proposed site. Designate the description of the WTF Project as "Attachment 1.20."

Initial here AW to indicate that Attachment 1.20 is attached.

- 1.21: Attach a detailed site and engineering plan of the proposed facility containing the exact proposed location of the facility in relation to the site and other structures, poles and trees, as well as depicting the dimensions of the facility and design characteristics, created by a qualified licensed engineer and in accordance with requirements set by the Director. Designate the plans as "Attachment 1.21."

Initial here AW to indicate that Attachment 1.21 is attached.

- 1.22: Attach a photograph and model name and number of: (a) all antennas, (b) the telecommunications tower or other structure for mounting the wireless telecommunications facility, and (c) any accessory equipment being proposed. These photos may be combined with the photos requested in Section 7.00.

Initial here AW to indicate that Attachment 1.22 is attached.

- 1.23: Attach a noise study prepared by a qualified acoustic engineer documenting the level of noise to be emitted by the proposed facility and its potential effects on surrounding uses. Designate the noise study as "Attachment 1.23." The noise study may be

waived by the Director of Planning and Community Development if not applicable to the project.

Initial here A. ✓ to indicate that Attachment 1.23 is attached, if required.

- 1.24: Attach a conceptual landscape plan showing existing trees and all proposed landscaping, concealment and screening with a discussion of how the chosen material at maturity will screen the site. Generally describe irrigation methods. Designate the conceptual landscape plan as "Attachment 1.24." The conceptual landscape plan may be waived by the Director of Planning and Community Development if not applicable to the project.

Initial here _____ to indicate that Attachment 1.24 is attached, if required.

- 1.25: Attach a description of the maintenance and monitoring program for the WTF Project. Designate the maintenance and monitoring program as "Attachment 1.25."

Initial here A. ✓ to indicate that Attachment 1.25 is attached.

- 1.30: Will the WTF Project be installed in the City's public right-of-way?
____ Yes X No

- 1.31: If the answer to 1.30 is No proceed to 2.00.

- 1.32: Is the Project Owner and/or WTF Operator claiming a right to place wireless telecommunication facilities within the City's public right-of-way because the Project Owner and/or WTF Operator is a telephone corporation as that term is defined in California Public Utilities Code Section 234?
____ Yes ____ No

If the answer to 1.32 is "Yes", complete the following certification:

I, _____, hereby certify that each of the Project Owner, and the WTF Operator, if different from the Project Owner, is a telephone corporation as that term is defined in California Public Utilities Code Section 234.

Signature: _____ Date: _____
Title: _____

If the answer to 1.32 is "No", attach a detailed written statement fully and expansively describing why the Project Owner and/or the WTF Operator believes it has a right to place wireless telecommunication facilities within the City's public right-of-way. Designate this attachment, "Attachment 1.32."

Initial here _____ to indicate that Attachment 1.32 is attached.

- 1.34: Will the WTF Project require the installation or replacement of any utility or other type of pole or other antenna support structure in the public right-of-way?
____ Yes ____ No

If yes, attach a detailed written statement fully and expansively describing why the proposed pole will comply with the applicable ordinance. Designate this attachment, "Attachment 1.34."

Initial here _____ to indicate that Attachment 1.34 is attached.

2.00: Project Owner Information and CPCN Information

- 2.01: Attach a letter of agency appointing the Applicant's Representative as the agent for the Project Owner listed in 1.10 in connection with this application. Designate the letter of agency as "Attachment 2.01."

Initial here A.W. to indicate that Attachment 2.01 is attached.

- 2.02: Attach a letter of agency appointing the Applicant's Representative as the agent for the underlying Property Owner listed in 1.14 and written authorization by any and all property owners authorizing the placement of the facility on the property owner's property. Designate the letter of agency and authorization as "Attachment 2.02."

Initial here A.W. to indicate that Attachment 2.02 is attached.

- 2.03 Does the Project Owner hold a California Public Utilities Commission Certificate of Public Convenience and Necessity ("CPCN") for any service provided by this WTF Project? ☒ Yes ☐ No

- 2.04: If the answer to 2.03 is Yes, provide a true and complete copy of the Project Owner's CPCN and mark it as "Attachment 2.04."

Initial here A.W. to indicate that the required Attachment 2.04 is attached.

- 2.05 Aside from the Project Owner's CPCN, does the Applicant believe that another CPCN covers any service provided by this WTF Project? ☐ Yes ☒ No

- 2.06: If the answer to 2.05 is Yes, provide a true and complete copy of that CPCN and mark it as "Attachment 2.06."

Initial here _____ to indicate that the required Attachment 2.06 is attached.

- 2.07: Attach a written description identifying the geographic service area for the subject installation, accompanied by a master plan, including maps, that identifies the location of the proposed facility in relation to all existing and planned facilities maintained within the City by each of the applicant, operator, and owner, if different entities. The master plan shall reflect all locations anticipated for new construction and/or modifications to existing facilities, including collocation, within two years of submittal of the application. Longer range conceptual plans for a period of five years shall also be provided, if available.

Initial here AW to indicate that the required Attachment 2.07 is attached.

- 2.08: Attach a written statement of the applicant's willingness to allow other carriers to collocate on the proposed wireless telecommunications facility wherever technically and economically feasible and aesthetically desirable and where collocation would not harm community compatibility. Mark this statement as "Attachment 2.08."

Initial here AW to indicate that Attachment 2.08 is attached.

3.00: FCC License / FAA Compliance / RF Safety Disclosure Information

- 3.01: For each person/legal entity that will be using the wireless site, provide the information in Sections 3.00 and 4.00. If more than one person/legal entity, provide separate information for each person/legal entity using the WTF Project site.

Does this WTF Project involve or relate to a Distributed Antenna System (DAS)?

 Yes X No

Note to DAS providers named in 1.10: Unless the DAS provider is the FCC licensee for the proposed WTF Project, or the non-licensee to be transmitted from the site for its own purposes, the information provided in response to Sections 3 and 4 must also be provided by every individual wireless licensee or non-licensee to be transmitted via the WTF Project identified in Section 1.00 of this form. That information must be provided on the letterhead of each entity. Each such response must also be signed by an authorized person, and that person's printed name and title, address and telephone number must be shown on the letter.

- 3.02: Has Project Owner been granted all Federal Communication Commission licenses necessary to provide the services that will be provided by this WTF Project?

X Yes No

- 3.03: If the answer to 3.02 is No, attach detailed explanation of the status of any pending licenses and Applicant's plans to acquire such licenses as "Attachment 3.03."

Initial here to indicate that the required Attachment 3.03 is attached.

3.05: For questions 3.03 through 3.09 inclusive, disclose all information for each proposed Radio Frequency signal emitter ("RF Emitter") at the WTF Project site.

3.06: Legal Name of RF Emitter: *SEE PREVIOUS SUBMISSION*

3.07: RF Emitter's Address Line 1: *Attachment "A"*
3.05 → 3.12

3.08: RF Emitter's Address Line 2:

3.09: RF Emitter's Phone number:

3.10: RF Emitter's Fax number:

3.11: RF Emitter's Contact Email
address:

3.12: Use of facility: ☐ Amateur Radio¹
(Check all that apply) ☐ Broadcast Radio
☐ Broadcast TV
Notice: Applicants not operating ☐ Cellular telephone
under their own FCC license(s) ☐ Enhanced Specialized Mobile Radio
must mark "Other" and disclose ☐ Microwave
all information required here for ☐ PCS telephone
all entities that use the ☐ Paging
WTF Project. ☐ Specialized Mobile Radio
☐ WiMax/WIFI
☐ Other(s) (specify): _____

3.13: WTF Project latitude & longitude: N _____ W _____

3.14: Specify DATUM used above: ☐ WGS84 ☐ NAD23 ☐ NAD83
☐ Other DATUM (specify): _____

3.15: Project maximum height (ft AGL):

3.16: Bottom of lowest transmitting
antenna (ft AGL):

3.17: RF Emissions ("Rad") center of
the lowest transmitting antenna
(ft AGL):

¹ If the sole use of the facility will be for an amateur station as defined by the FCC, 47 C.F.R. Part 97 of the Commission's Rules, or its successor regulation, you do not need to submit this supplemental application form.

3.18: For each licensee (i.e., "ABC Wireless" or "XYZ Wireless"), and for each radio service (i.e., "PCS" or "Cellular"), complete and attach a separate two-page "Appendix A" form from "A Local Government Official's Guide to Transmitting Antenna RF Emission Safety: Rules, Procedures, and Practical Guidance" available by download directly from the FCC at <http://www.fcc.gov/oet/rfsafety/> (the "Appendix A Form"). Ensure that all proposed emissions from this WTF Project are accounted for on the Appendix A Forms you submit.

Distributed Antenna System (DAS) providers and all other who are not licensed by the FCC for the radio services proposed for this WTF Project and identified in 3.09: Unless the DAS provider is the FCC licensee for the proposed WTF Project or the emissions from the site are solely for the DAS provider's own transmissions, the DAS provider must also provide an Appendix A Form completed by each wireless carrier or wireless service provider to be transmitted through the WTF Project at each wireless site. Appendix A Forms completed by a DAS provider are unacceptable if they are not the FCC licensee for the particular wireless service(s) to be transmitted through the WTF Project.

Designate all completed Appendix A Forms as "Attachment 3.18."

For WTF collocation projects: In addition to the Appendix A Form(s) which you must submit in connection with the WTF Project identified in this application, you must also submit an Appendix A Form for each collocated RF emitter. Designate any additional RF safety compliance information as "Attachment 3.18-A."

For consistency, all Appendix A forms submitted must use effective radiated power (ERP) units of measure. Do not use effective isotropic radiated power (EIRP). To verify your understanding of this requirement, you must append the letters "ERP" following each wattage listing in each Appendix A form you submit.

Initial here A. W to indicate that all required Attachment 3.18 and 3.18-A forms are attached.

3.19: Considering your response in Attachment 3.18, above, and any other identifiable RF emitters that FCC OET Bulletin 65 requires be evaluated in connection with this WTF Project, are all portions of this WTF Project cumulatively "categorically excluded" under FCC OET 65 requirements? ☐ Yes ☒ No

If the answer to 3.19 is "No", the Applicant must also provide a technically detailed report certified by a qualified radio frequency engineer indicating the amount of radio frequency emissions expected from the proposed facility and associated accessory equipment, as well as the cumulative impacts of the other existing facilities at the site to the extent permitted by federal law, including co-located facilities, and stating that emissions from the proposed facility individually and combined with the cumulative emissions of on-site facilities will not exceed standards set by the Federal Communications Commission. Designate this attachment, "Attachment 3.19."

Initial here A. W to indicate that Attachment 3.19 is attached.

3.20: Does the WTF Project design or location require the Applicant to file an FAA Form 7460 or other documentation under Federal Aviation Regulation Part 77.13 et seq, or under the FCC rules? ☐ Yes ☒ No

3.21: If the answer to 3.20 is "No" proceed to 4.00.

3.22: Attach complete copies of all required FAA/FCC forms including all attachments and exhibits, including, without limitation, FAA Form 7460. Designate this attachment, "Attachment 3.22."

Initial here _____ to indicate that Attachment 3.22 is attached.

4.00: WTF Project Purpose

4.01: Indicate the dominant purpose of the WTF Project (check one or more, then proceed as directed):

☒ Add network capacity without adding significant new RF coverage area. Proceed to 4.10.

☐ Provide significant new radio frequency coverage in an area not already served by radio frequency coverage. Proceed to 4.10.

☐ Increase the existing RF signal level in an area with existing radio frequency coverage: Proceed to 4.10.

☐ Other: Proceed to 4.07.

4.07 Attach a written statement fully and expansively describing all portions or elements of the "Other" dominant purpose of this WTF Project. Designate this Exhibit, "Attachment 4.07."

Initial here _____ to indicate that Attachment 4.07 is attached.

4.10 Is this WTF Project intended to close or reduce what the applicant asserts to be a "significant gap" in its network? ☐ Yes ☒ No

If the answer to 4.10 is "No" proceed to 4.20.

4.12 Attach a written statement fully and expansively describing the following:

- a. A clear description of the geographic boundary of the claimed significant gap area.
- b. Identify the size of the area, in units of square miles, of the claimed significant gap.
- c. Explain exactly the definition of the term “significant gap” as it applies to this WTF Project.
- d. Explain exactly how the definition of significant gap term defined in 4.12(d) was developed, and identify who developed that definition, and when the definition was developed.
- e. Discuss, if known, whether the significant gap term defined in 4.12(d) is identical to that term as used by some or all wireless carriers in the City of Agoura Hills and/or the wireless industry as a whole, or whether that information is unknown.
- f. Specify whether the definition of “significant gap” provided in 4.12(d) is the same definition used in this application by this Project Owner in all of its prior projects submitted to the City of Agoura Hills, and if not, explain all differences and the reasons for the differences.
- g. Discuss in detail all of the following in relation to the claimed significant gap area only. Where you have relied on external data sources, identify those sources in detail your response.
 1. Whether claimed significant gap affects significant commuter highway, and if so, name each highway, and how affected.
 2. Describe in detail the nature and character of that area or the number of potential users in that area who may be affected by the claimed significant gap.
 3. Describe whether the proposed facilities are needed to improve weak signals or to fill a complete void in coverage, and provide proof of either.
 4. If the claimed significant gap covers well traveled roads on which customers lack roaming capabilities, identify all such well traveled roads by name within the claimed significant gap area and provide road use information about each such road.
 5. If any “drive test” has been conducted within the claimed significant gap area, discuss in detail the methodology of how the test(s) was conducted, including details about the test equipment model numbers and location of the test equipment and antennas in or on the test vehicle, and provide all of the objective data collected during the drive test in .XLS or .CSV or similar portable spreadsheet format.
 6. If the claimed significant gap affects a commercial district, show the boundaries of the district on the map.
 7. If the claimed significant gap poses a public safety risk, describe in detail the claimed risk, and then expansively discuss the basis for this claim.

- h. If the claimed significant gap is based in whole or in part on factors regarding any factor related to switching center capacity; dropped calls; failed hand-offs; interference from or to other cell sites; pilot channels; site hopping; degraded RXQUAL; degraded Ec/Io; and/or any failure to meet any carrier transmission goal or percentage goal, attach at least the most recent twelve months of historical data by month documenting at least (1) the results or numerical data of each claimed parameter; (2) the wireless carrier's numerical and percentage requirements for each such claimed perimeter; (3) the total number of calls attempted for each month both successfully and unsuccessfully completed; (4) the total number of calls that were not completed including failed originations; failed hand-offs; and non-normal call terminations; and (5) for every such claimed parameter that is not categorized by way of number or percentage, provide the data in the way kept by the carrier.
- i. Provide all other relevant information you want the City of Agoura Hills to consider when evaluating your claim of a significant gap.

Designate this attachment, "Attachment 4.12." Initial here _____ to indicate that Attachment 4.12 is attached.

- 4.13 Attach a street-level map showing the geographic boundary of the claimed significant gap stated in 4.12(a) using the same standards as in 6.02.

Designate this attachment, "Attachment 4.13." Initial here _____ to indicate that Attachment 4.13 is attached.

- 4.14 Is the proposed WTF Project the least intrusive means to close the significant gap claimed and described in 4.12? ____ Yes ____ No

- 4.15 If the answer to 4.14 is "No" proceed to 4.20.

- 4.16 Attach a written statement fully and expansively describing at a minimum why this WTF Project is the least intrusive means to close the significant gap claimed and described in 4.12. Your written statement should include the following:

- a. Identify and discuss all alternative sites and means considered to close the significant gap claimed and described in 4.12.
- b. Discuss whether two or more sites in lieu of the site proposed in Section 1.00 could close the significant gap claimed and described in 4.12, or to reduce the significant gap to be less than significant, with less impact on the community as compared with a single site. If the answer is "No," please explain in narrative format the basis for that answer.
- c. Discuss whether a requirement that one or more sites be used in place of the site proposed in Section 1.00 would prohibit or have the effect of prohibiting the applicant from providing any interstate or intrastate telecommunications service.

If the response asserts that a prohibition or effective prohibition would occur, explain in detail in narrative form all of the reasons why it would.

- d. Include and attach all information whatsoever you relied on in reaching your affirmative determination in 4.14.
- e. Include any other information you want the City of Agoura Hills to consider when it makes findings regarding whether the proposed WTF Project is the least intrusive means of closing the significant gap claimed and described in 4.12, or to reduce the significant gap to be less than significant.

Designate this Attachment, "Attachment 4.16."

Initial here _____ to indicate that Attachment 4.16 is attached. Proceed to 4.20

- 4.20 If any portion of the WTF Project is to utilize radio spectrum that does not require an FCC license, identify in detail the portions of the WTF Project that will use unlicensed spectrum.

Designate this attachment, "Attachment 4.20."

Initial here _____ to indicate that Attachment 4.20 is attached.

- 4.25 Is this WTF Project designed to use any form of direct site-to-site radio interconnection (i.e., microwave or donor/donee configuration, for example) with other existing or currently planned site? ☐ Yes ☒ No
- 4.26: If the answer to 4.25 is "No" proceed to 5.00.
- 4.27: Attach a detailed written statement fully and expansively describing the radio interconnection proposed, and identify all other existing or planned sites that will be interconnected with this WTF Project. Designate this attachment, "Attachment 4.27."

Initial here _____ to indicate that Attachment 4.27 is attached.

5.00: Build-Out Requirements

- 5.01: Do any of the radio services identified in 3.09 above require the licensee to provide specific radio frequency/population build-out coverage pursuant to the underlying FCC license? ☐ Yes ☒ No
- 5.02: If the answer to 5.01 is "No" proceed to 6.00.
- 5.03: Have all of the FCC build-out requirements as required by all licenses covering all radio services proposed at this WTF Project been met? ☐ Yes ☐ No
- 5.04: If the answer to 5.03 is "Yes" proceed to 6.00.

- 5.05: Disclose by licensee call sign identified in Section 3.02 all remaining build-out requirements/obligations which have yet to be met, and the known or estimated date when the remaining build-out requirements will be met. Designate this attachment "Attachment 5.05."

Initial here _____ to indicate that Attachment 5.05 is attached.

- 5.10 Will this proposed site be interconnected via radio frequency transmissions to any other site or sites now constructed, proposed, or anticipated? For the purpose of this question, interconnection includes one or more radio frequency links to provide 'back-haul' from this site to a switching center or centralized node location.
____ Yes ____ No

- 5.11: If the answer to 5.10 is "No" proceed to 6.00.

- 5.15 Identify by physical address (or if none, by geographic description) all other sites, regardless of whether now constructed, proposed, or anticipated, that are to be interconnected with this WTF Project site. Disclose in technical detail the proposed method of interconnection. Designate this attachment, "Attachment 5.15."

Initial here _____ to indicate that Attachment 5.15 is attached.

6.00: Radio Frequency Coverage Maps

- 6.01: Where a licensee intends to provide radio frequency coverage from the WTF Project to an identified geographic coverage, the coverage maps and information requested in Section 6 are required attachments.

Distributed Antenna System (DAS) providers and all others who are not licensed by the FCC for the radio services proposed for this WTF Project and identified in 3.09: You must provide radio frequency coverage maps prepared by the FCC licensee(s) that will control the RF emissions from this WTF Project. Radio frequency coverage maps required here that are completed by a DAS provider are unacceptable if they are not the FCC licensee or in full control of the RF emitters for the particular wireless service transmitted through the WTF Project.

If no geographic coverage area is identified, initial here AW and proceed to 7.00.

- 6.02 For the coverage maps required here, the following mandatory requirements apply. Failure to adhere to these requirements may delay your application's determination of completeness.

- a. The size of each submitted map must be no smaller than 11 x 8.5 inches. Each map must be of the same physical size and map area scale. Each map must use the same base map (i.e., same streets and legends shown on all).

- b. If the FCC rules for any proposed radio service defines a minimum radio frequency signal level that level must be shown on the map in a color easily distinguishable from the base paper or transparency layer, and adequately identified by RF level and map color or gradient in the map legend. If no minimum signal level is defined by the FCC rules you must indicate that in the legend of each RF coverage map. You may show other RF signal level(s) on the map so long as they are adequately identified by objective RF level and map color or gradient in the map legend.

- 6.03: Provide a map consistent with the requirements of 6.02 showing the existing RF coverage within the City of Agoura Hills on the Applicant's same network, if any (if no existing coverage, so state). This map should not depict any RF coverage to be provided by the WTF Project. Designate this attachment "Attachment 6.03."

Initial here A.W to indicate that Attachment 6.03 is attached.

- 6.04: Provide a map consistent with the requirements of 6.02 showing the RF coverage to be provided only by the WTF Project. This map should not depict any RF coverage provided any other existing or proposed wireless sites. Designate this attachment "Attachment 6.04."

Initial here A.W to indicate that Attachment 6.04 is attached.

- 6.05: Provide a map consistent with the requirements of 6.02 showing the RF coverage to be provided by the WTF Project and by all other existing wireless sites on the same network should the WTF Project site be activated. Designate this attachment "Attachment 6.05."

Initial here A.W to indicate that Attachment 6.05 is attached.

7.00: WTF Project Photographs and Photo Simulations for Visual Impact Analysis

The following items 7.01 through 7.03 may be waived by the Director of Planning and Community Development, if not applicable to the project.

- 7.01: The Applicant shall attach an accurate visual impact analysis showing the maximum silhouette, viewshed analysis, color and finish palette and proposed screening for the facility, including scaled photo simulations. Designate this attachment "Attachment 7.01."

Initial here A.W to indicate that Attachment 7.01 is attached, if required.

- 7.02 The Applicant shall submit photo simulations consistent with the following standards:

- a. Minimum size of each base photo and each photo simulation must be 10 x 8 inches (landscape orientation). Each base photo and matching photo simulation must be the same size. Single sheets of 11 x 8.5 inches showing base photos and

photo simulations on the same page are unacceptable.

- b. All elements of the WTF Project as proposed by the Applicant which can be seen from any point at ground level, or from any level within or on buildings within 500 feet of the WTF Project, must be shown in one or more close-in photo simulations (i.e., panel antennas, omni-directional antennas, GPS antennas, antenna camouflage devices, cable trays; equipment cabinets; working lights; etc.), including color and finish palette.
- c. The overall WTF Project as proposed by the Applicant must be shown in six or more area photo simulations, three taken within a 500 feet radius and three taken within a three mile radius. Base photographs must, at a minimum, be taken from widely scattered positions separated by 120 degrees. A map detail showing each location where a photograph was taken, the proposed site, and the direction to the site from each photo location must be included. Base photographs taken from locations that have some physical feature obscuring the WTF Project site, and the photo simulations associated with those same base photographs, are not acceptable.

Attach all base photographs and photo simulations to this application marked as Attachment 7.02.

The purpose of the photo simulations is to allow the City of Agoura Hills to visualize the WTF Project as completed, therefore the number of site photos, and photo simulations, and the actual or simulated camera location of these photos and photo simulations are subject to City of Agoura Hills determination. The Applicant should submit photos and photo simulations consistent with these instructions, and be prepared to provide additional photos and photo simulations should they be requested by the City of Agoura Hills.

The Applicant certifies by initialing in the space following this paragraph that all of the photos and photo simulations provided in Attachment 7.01 are accurate and reliable photographic representations of the current WTF Project site and the proposed WTF Project to be constructed or modified, and that the Applicant is fully aware that the City of Agoura Hills will rely on all of the photos and photo simulations provided in Attachment 7.01 when it considers approval of this WTF Project and later when determining project completion.

Applicant's initials: A.W., if required. (If not initialed, this application may be deemed incomplete by the City of Agoura Hills.)

7.03: Attach a detailed written description of efforts taken to blend the WTF Project with the surrounding area. Designate this attachment as "Attachment 7.03."

Initial here A.W. to indicate that Attachment 7.03 is attached, if required.

8.00: Alternative Candidate Sites

8.02: Has the Applicant or Project Owner or anyone working on behalf of the Applicant or Project Owner secured or attempted to secure any leases or lease-options or similar formal or informal agreements in connection with this WTF Project for any sites other than the proposed WTF Project site? ☐ Yes ☒ No

8.03: If the answer to 8.02 is "No," proceed to 8.05.

8.04: Provide the physical address of each such other location, and provide an expansive technical explanation as to why each such other site was disfavored over the WTF Project site. Designate this attachment "Attachment 8.04."

Initial here _____ to indicate that Attachment 8.04 is attached.

8.05: Considering this proposed site, is it the one and only one location within or outside of the City of Agoura Hills that can possibly meet the objectives of the WTF Project?

☐ Yes ☐ No SEE ATTACHMENT 8.00 ON THE ENCLOSED LETTER.

8.06: If the answer to 8.05 is "No," proceed to 10.00.

8.07: Provide a technically expansive and detailed explanation supported as required by comprehensive radio frequency data and all other necessary information fully describing why the proposed site is the only location within or outside of the City of Agoura Hills that can possibly meet the radio frequency objectives of the WTF Project. Explain, in exact and expansive technical detail, all of the objectives of this WTF Project.

Designate this attachment "Attachment 8.07."

Initial here _____ to indicate that Attachment 8.07 is attached.

9.00: Exceptions

9.01: Is Applicant requesting any exceptions to the Agoura Hills Municipal Code provisions governing the WTF Project (e.g., the location, design and development standards, or any other requirement relating to the WTF Project)? ☐ Yes ☒ No

If yes, provide a technically expansive and detailed explanation of the exception requested and why it is being requested. Discuss in depth all physical constraints that exist, including topography and surrounding structures, which the exception is attempting to overcome. Designate this explanation as Attachment 9.01.

Initial here _____ to indicate that Attachment 9.01 is attached.

9.02: Please check the basis for requesting the exception (check all that apply):

☐ Denial of the facility as proposed would violate California state law.

___ Denial of the facility as proposed would violate federal law.

___ A provision of the Agoura Hills Municipal Code, as applied to Applicant, would deprive Applicant of its rights under California state law.

___ A provision of the Agoura Hills Municipal Code, as applied to Applicant, would deprive Applicant of its rights under federal law.

For each statement checked above, provide an expansive and detailed explanation of Applicant's basis for the statement, including citations to applicable law. Designate this explanation as Attachment 9.02.

Initial here _____ to indicate that Attachment 9.02 is attached.

NOTE: If applicant is claiming that the exception is needed because a regulation would otherwise prohibit or have the effect of prohibiting the Applicant from providing any interstate or intrastate telecommunications service (e.g., it is needed to close a significant gap in service in its network), Applicant must answer and provide all information requested in Sections 4.10 through 4.16 and Sections 6.01 through 6.05.

- 9.03: Depending upon the exception requested, additional information and studies may be required as deemed necessary by the Director to allow the City to evaluate the request for an exception.

[Remainder of Page Intentionally Left Blank]

10.00: Identification of Key Persons

10.01: Identify by name, title, company affiliation, work address, telephone number and extension, and email address the key person or persons most knowledgeable regarding this WTF Project so that the City of Agoura Hills may contact them with questions regarding the WTF Project:

- 10.10 (1) Person responsible for the final site selection for the WTF Project:
10.11 Name: *SEE PREVIOUS APPLICATION*
10.12 Title:
10.13 Company Affiliation:
10.14 Work Address:
10.15 Telephone / Ext.:
10.16 Email Address:
- 10.20 (2) Person responsible for the radio frequency engineering of the WTF Project:
10.21 Name:
10.22 Title:
10.23 Company Affiliation:
10.24 Work Address:
10.25 Telephone / Ext.:
10.26 Email Address:
- 10.30 (3) Person responsible for rejection of other candidate sites evaluated, if any:
10.31 Name:
10.32 Title:
10.33 Company Affiliation:
10.34 Work Address:
10.35 Telephone / Ext.:
10.36 Email Address:
- 10.40 (4) Consultant working on the WTF Project, if any:
10.41 Name:
10.42 Title:
10.43 Company Affiliation:
10.44 Work Address:
10.45 Telephone / Ext.:
10.46 Email Address:

- 10.50 If more than one key person is now or was involved in any of the functions identified in this section at or before the time of the submission of this form, attach a separate sheet providing the same information for each additional person, and identifying which function or functions are/were performed by each additional person.

Designate this attachment "Attachment 10.50."

Initial here _____ to indicate that the information above is complete and there is no Attachment 10.50, or initial here _____ to indicate that Attachment 10.50 is attached.

14.00 Deposit for Review of Application

- 14.01 The Director of Planning and Community Development is authorized to retain on behalf of the City an independent, qualified consultant to review any application for a permit for a wireless telecommunications facility or wireless telecommunications collocation facility. This consultant is paid for by the Applicant.

A review deposit may be required pursuant to a resolution adopted by the City Council. The review fee deposit covers the cost of review of the application by the wireless consultant, if any, and the City Attorney.

Initial here A.W. to acknowledge that a deposit may be required with this application and that the cost of the wireless consultant review, and City Attorney review, will be charged against the deposit amount. Applicant may be required to deposit additional funds beyond the initial deposit pursuant to the City Council Resolution. Any funds remaining in the deposit account upon completion of application review will be refunded to the Applicant.

15.00 Additional Information Required by Director

- 15.01 Any other information and/or studies determined necessary by the Director of Planning and Community Development may be required. Please provide the following additional information:

16.00 Additional Information Optionally Provided by the Applicant

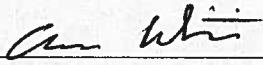
- 16.01 You are invited and encouraged to provide any additional written information that you wish the City of Agoura Hills to consider in connection with your proposed WTF Project.

If you wish to attach additional information, designate this attachment "Attachment 11."

Initial here _____ to indicate that Attachment 11 is attached,
or initial here X ~~AW~~ to indicate that there is no Attachment 11 provided by the applicant.

20.00: Certification of Accuracy and Reliability

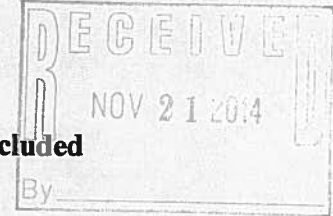
20.01: The undersigned certifies on behalf of itself, the Applicant, the Project Owner and the WTF Operator that the plans, information and representations provided in and attached to this form are true, correct and complete to the best of the undersigned's knowledge and belief, and that the information provided here should be relied upon by the City of Agoura Hills as being accurate and complete when the City of Agoura Hills evaluates this WTF Project. Furthermore, the undersigned understands that failure to provide the plans and information required by this supplemental application may result in this application not being accepted as complete for filing and/or processing.

<u></u>	<u>ZONING MANAGER</u>
Signature	Title
<u>AARON WHITING</u>	<u>AWhiting@CORE.US.COM</u>
Print Name	Provide Email Address
<u>CORE Development Services</u>	<u>714.290.6146</u>
Print Company Name	Provide Telephone Number
<u>7.31.15</u>	
Date Signed	

[Last Page: Remember to sign above and initial below.]

For further information, contact:
City of Agoura Hills
Planning and Community Development Department
30001 Ladyface Court
Agoura Hills, California 91301
(818) 597-7309
www.ci.agoura-hills.ca.us

**Optional Checklist for Local Government
To Determine Whether a Facility is Categorically Excluded**



Purpose: The FCC has determined that many wireless facilities are unlikely to cause human exposures in excess of RF exposure guidelines. Operators of those facilities are exempt from routinely having to determine their compliance. These facilities are termed "categorically excluded." Section 1.1307(b)(1) of the Commission's rules defines those categorically excluded facilities. This checklist will assist state and local government agencies in identifying those wireless facilities that are categorically excluded, and thus are highly unlikely to cause exposure in excess of the FCC's guidelines. Provision of the information identified on this checklist may also assist FCC staff in evaluating any inquiry regarding a facility's compliance with the RF exposure guidelines.

BACKGROUND INFORMATION

1. Facility Operator's Legal Name: Verizon Wireless
2. Facility Operator's Mailing Address: 15505 Sand Canyon Avenue, Building D, 1st Floor, Irvine, CA 92618
3. Facility Operator's Contact Name/Title: Emran Elyas, RF Engineer
4. Facility Operator's Office Telephone: _____
5. Facility Operator's Fax: _____
6. Facility Name: Reyes Road
7. Facility Address: 30100 1/2 Agoura Road
8. Facility City/Community: Agoura Hills
9. Facility State and Zip Code: 91301
10. Latitude: 34 08' 39.5N
11. Longitude: 118 46' 45.11W

continue
→

Optional Local Government Checklist (page 2)

EVALUATION OF CATEGORICAL EXCLUSION

12. Licensed Radio Service (see attached Table 1): AWS LTE
13. Structure Type (free-standing or building/roof-mounted): Building
14. Antenna Type [omnidirectional or directional (includes sectored)]: Directional
15. Height above ground of the lowest point of the antenna (in meters): 15.9
16. ☐ Check if all of the following are true:
- (a) This facility will be operated in the Multipoint Distribution Service, Paging and Radiotelephone Service, Cellular Radiotelephone Service, Narrowband or Broadband Personal Communications Service, Private Land Mobile Radio Services Paging Operations, Private Land Mobile Radio Service Specialized Mobile Radio, Local Multipoint Distribution Service, or service regulated under Part 74, Subpart I (see question 12).
 - (b) This facility will not be mounted on a building (see question 13).
 - (c) The lowest point of the antenna will be at least 10 meters above the ground (see question 15).

If box 16 is checked, this facility is categorically excluded and is unlikely to cause exposure in excess of the FCC's guidelines. The remainder of the checklist need not be completed. If box 16 is not checked, continue to question 17.

17. Enter the power threshold for categorical exclusion for this service from the attached Table 1 in watts ERP or EIRP* (note: $EIRP = (1.64) \times ERP$): 1000 W ERP
18. Enter the total number of channels if this will be an omnidirectional antenna, or the maximum number of channels in any sector if this will be a sectored antenna: 1
19. Enter the ERP or EIRP per channel (using the same units as in question 17): 1803 Watts
20. Multiply answer 18 by answer 19: 1803 Watts
21. Is the answer to question 20 less than or equal to the value from question 17 (yes or no)?
NO

If the answer to question 21 is YES, this facility is categorically excluded. It is unlikely to cause exposure in excess of the FCC's guidelines.

If the answer to question 21 is NO, this facility is not categorically excluded. Further investigation may be appropriate to verify whether the facility may cause exposure in excess of the FCC's guidelines.

*"ERP" means "effective radiated power" and "EIRP" means "effective isotropic radiated power"

Ex: 3.19



WATERFORD

COMPLIANCE...FROM START TO SIGNAL

JUL 31 2015

WIRE-01027-2015

Radio Frequency Exposure Pre – Installation FCC Compliance Assessment

Site Specific Information

Site Name	Reyes Road	Categorically Excluded?	No
Street Address	30100 Agoura Road	5% Contributor To Areas Requiring Mitigation?	No
City, State, Zip	Agoura Hills, CA 91301		
Multi-Licensee Facility	No	Max % MPE (Predictive)	159% Occupational
Structure Type	Building	Max % MPE (Measured)	N/A
Broadcast Equipment	No	Assessment Date	August 25, 2014
# of Access Points	1	Assessment Purpose	Modification
Compliance Status	This Site Requires Mitigation		

<input type="checkbox"/>	Worst-case RF power density levels are BELOW the MPE for General Population/Uncontrolled Environments in accessible areas.
<input type="checkbox"/>	Worst-case RF power density levels are ABOVE the MPE for General Population/Uncontrolled Environments but BELOW the MPE for Occupational/Controlled environments.
<input checked="" type="checkbox"/>	Worst-case RF power density levels are ABOVE the MPE for Occupational/Controlled Environments but BELOW 10x the MPE for Occupational/Controlled environments.
<input type="checkbox"/>	Worst-case RF power density levels are ABOVE 10x the MPE for Occupational/Controlled environments.

Compliance Requirements	NOTICE GUIDELINES FOR WORKING IN RADIOFREQUENCY ENVIRONMENTS A. All personnel should have radiofrequency energy (RFE) awareness training. B. All personnel working in RFE areas must be authorized. C. Obey all posted signs. D. Assume all antennas are active. E. Before working on antennas, verify numbers and identify equipment and components. F. Maintain minimum 2 foot clearance from all antennas. G. Do not step in front of antennas. H. Use proper RF handling and marking procedures. I. Never touch a bare antenna cable or shielded cable without proper precautions. J. Do not operate bare shielded antennas in equipment rooms.	NOTICE 	CAUTION 	WARNING 	INFORMATION This is a Verizon Wireless Antenna Site Site ID: _____ For information, call: 800-264-6620	
	Guidelines	Notice	Caution	Warning	NOC Information	Barrier
Access Point	<input checked="" type="checkbox"/> [2]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [2]	<input type="checkbox"/>
Alpha	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/>
Beta	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/>
Gamma	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/>

Additional Compliance Requirement(s):

Waterford Consultants recommends coordinating with all transmitting licensees before performing services around RF emitters.

Consultant Legal Name:	Waterford Consultants	Phone/Fax:	703.596.1022
Address:	201 Loudoun Street Suite 300, Leesburg, Virginia 20175		

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1. Executive Summary

Verizon Wireless has contracted with Waterford Consultants, an independent Radio Frequency consulting firm, to conduct a Radio Frequency Exposure (RFE) Compliance **Pre-Installation Assessment** of the Reyes Road cell site. The following report contains a detailed summary of the Radio Frequency environment as it relates to Federal Communications Commission (FCC) and Occupational Safety & Health Administration (OSHA) Rules and Regulations for all individuals.

The **Verizon Wireless** antenna data was provided by:

Name:	Lynne Zablocki
Title:	Engineer
Date:	August 25, 2014
Region:	Los Angeles

This **Pre – Installation** compliance assessment and the report has been prepared and reviewed by:

	Prepare	Reviewer
Name:	Jerry Audi	Steven Nast Baier-Anderson
Title:	RF Technical Writer	Registered Professional Engineer
Date:	August 25, 2014	August 28, 2014

This report utilizes the following for predictive modeling of the ambient RF environment:

MPE Modeling Program: Roofmaster™ (See Section 7)


Required Modeling Assumptions: 100% Duty Cycle and Maximum Total Power Output.

Additional Modeling Assumptions:

Antenna radiation pattern files that characterize directivity and energy suppression values have been utilized to model each RF emitter at this location. If a manufacturer's antenna pattern is not available or the actual antenna model is unknown, Waterford Consultants has utilized a generic antenna pattern from a library of panel, omnidirectional, microwave and broadcast patterns that are representative of the actual antenna. Similarly, the effective radiated power values for each antenna, if not provided, has been assumed based on antenna type, carrier and region. Refer to the antenna inventory table for a listing of the emitter properties utilized in this report.

2. Proposed Site Characteristics

a. Structure

Physical Description		
Site Latitude (NAD 83)	34.14423	
Site Longitude (NAD 83)	-118.7785	
Site Elevation (AMSL)	968'	
Structure Height (AGL)	73.8	
Overall Structure Height	N/A	

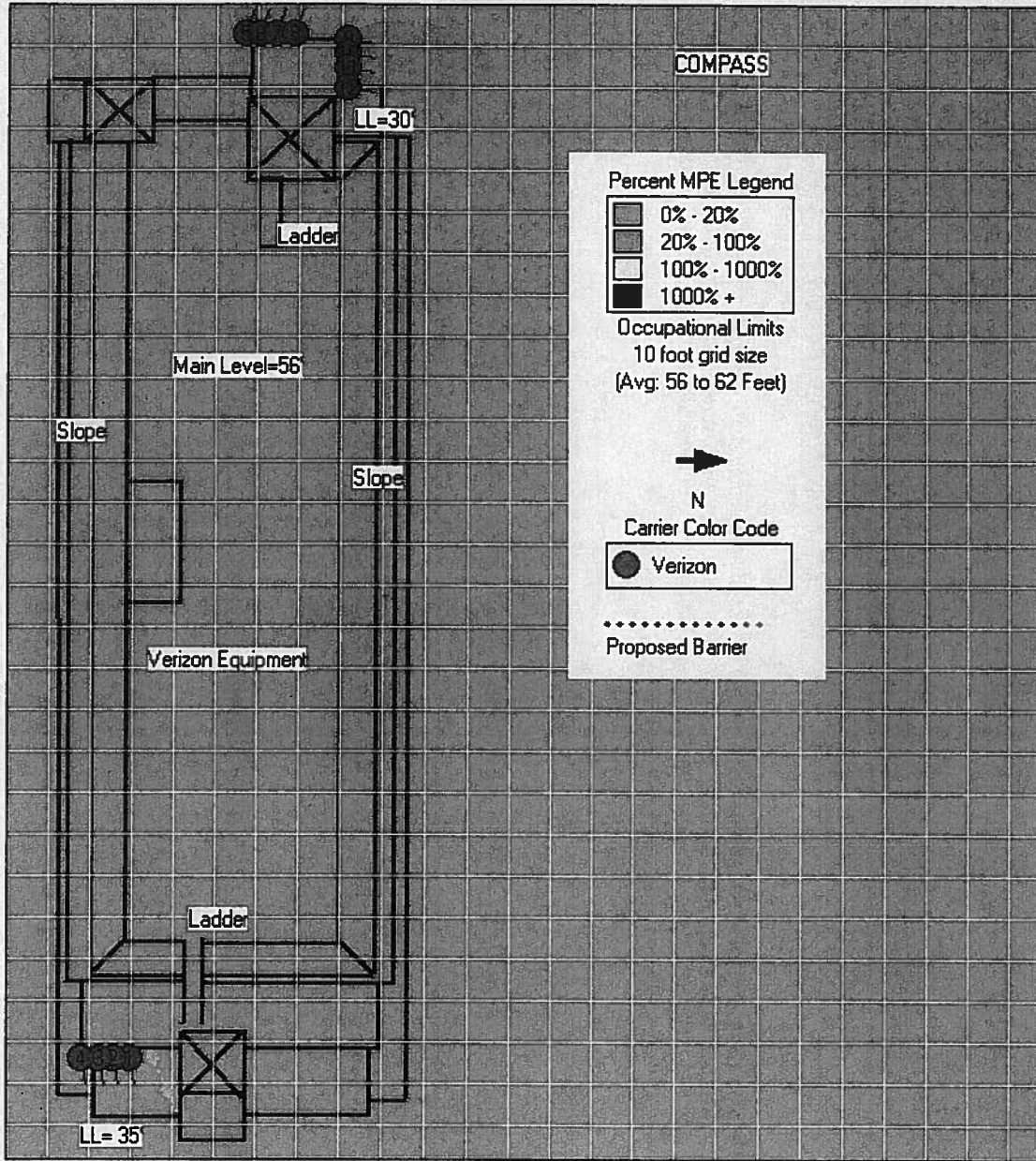
b. Antenna Inventory

Ant #	Operator	Antenna Make	Antenna Model	Type	Frequency (MHz)	Az (deg)	Downtilt (deg)	Horizontal Beam width	Ant (ft)	Antenna Gain (dBd)	Total ERP (watts)	Total EIRP (watts)	X (ft)	Y (ft)	Antenna Centerline Main Level (ft)
1	Verizon Wireless (Proposed)	Andrew	SBNH-1D6565B 08DT	Panel	725	80	0	70	6.0	12.86	1859	3050	21	10	40
1	Verizon Wireless (Proposed)	Andrew	SBNH-1D6565B 04DT	Panel	1900	80	0	57	6.0	16.06	2912	4777	21	10	40
2	Verizon Wireless (Proposed)	Andrew	SBNH-1D6565B 04DT	Panel	850	80	4	67	6.0	13.06	2180	3576	17	10	40
3	Verizon Wireless (Proposed)	Andrew	932LG65VTE-M-4DT	Panel	1900	80	0	65	5.0	15.40	2082	3415	13	10	40
4	Verizon Wireless (Proposed)	Andrew	SBNH-1D6565B 04DT	Panel	2100	80	0	65	6.0	15.70	2912	4777	9	10	40
5	Verizon Wireless (Proposed)	Andrew	SBNH-1D6565A 08DT	Panel	725	285	0	71	6.0	10.94	1859	3050	48	259	55
5	Verizon Wireless (Proposed)	Andrew	SBNH-1D6565A 04DT	Panel	1900	285	0	58	6.0	14.67	2912	4777	48	259	55
6	Verizon Wireless (Proposed)	Andrew	SBNH-1D6565A 04DT	Panel	850	285	4	66	6.0	11.65	2180	3576	52	259	55
7	Verizon Wireless (Proposed)	Andrew	932LG65VTE-M-4DT	Panel	1900	285	0	65	5.0	15.40	2082	3415	56	259	55
8	Verizon Wireless (Proposed)	Andrew	SBNH-1D6565A 04DT	Panel	2100	285	0	65	6.0	14.68	2912	4777	60	259	55
9	Verizon Wireless (Proposed)	Andrew	SBNH-1D6565A 04DT	Panel	725	10	0	71	6.0	11.10	1859	3050	73	258	55
9	Verizon Wireless (Proposed)	Andrew	SBNH-1D6565A 04DT	Panel	1900	10	0	58	6.0	14.67	2912	4777	73	258	55
10	Verizon Wireless (Proposed)	Andrew	SBNH-1D6565A 02DT	Panel	850	10	2	66	6.0	11.81	2180	3576	73	254	55
11	Verizon Wireless (Proposed)	Andrew	932LG65VTE-M-2DT	Panel	1900	10	0	65	5.0	15.40	2082	3415	73	251	55
12	Verizon Wireless (Proposed)	Andrew	SBNH-1D6565A 02DT	Panel	2130	10	0	65	6.0	14.70	2912	4777	73	246	55

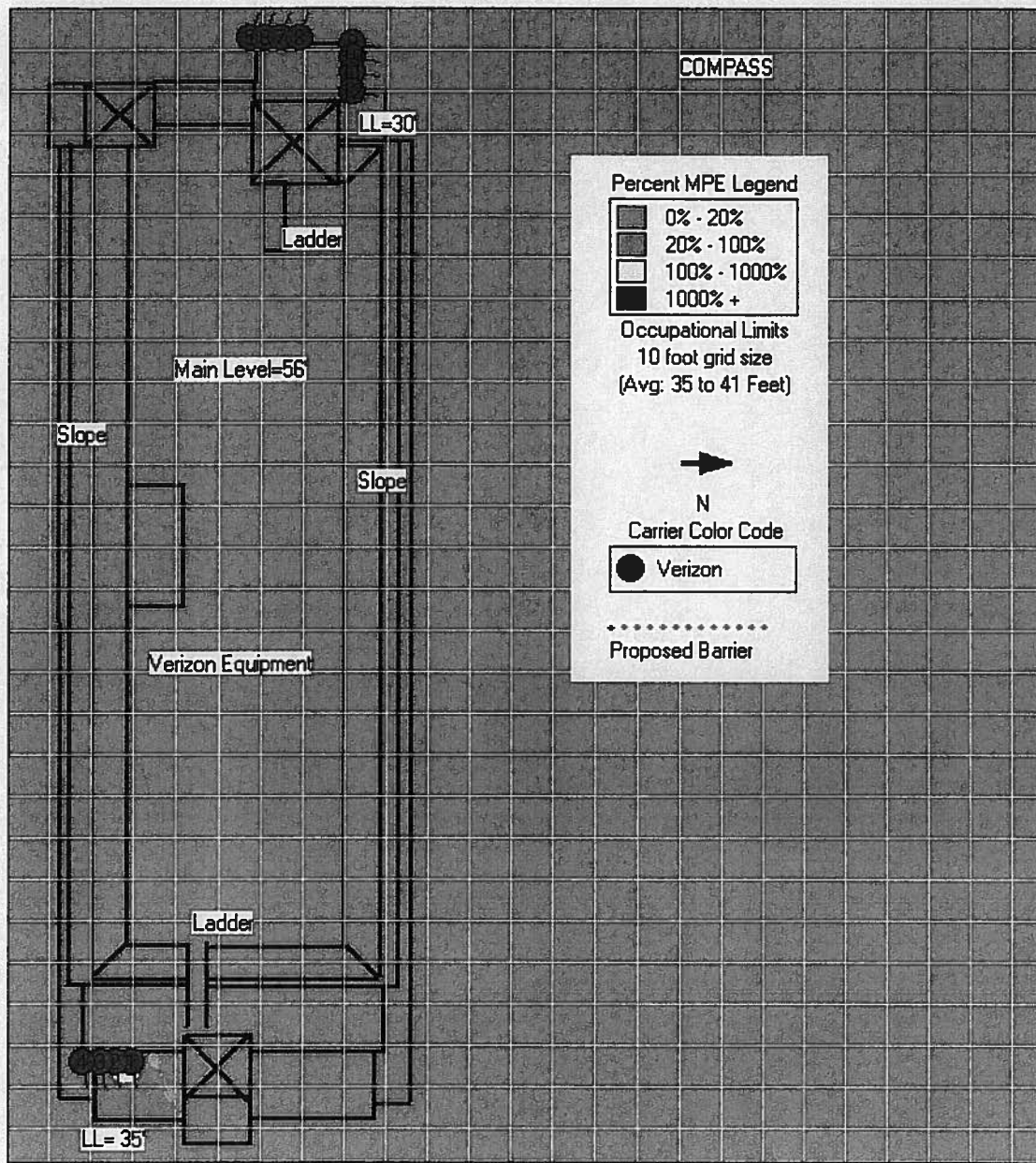
Note: As indicated in Section 1, "Additional Modeling Assumptions", Waterford Consultants has assumed transmission parameters for Unknown RF emitters based on similar installations found at other radio communications sites. Generic antenna models have been used where existing antenna part numbers or radiation patterns are not available. The frequencies presented in this table may have been assumed in order to represent the approximate band of operation and to support a worst-case calculation of power density.

3. Analysis

a. Predictive Model: All Transmitters

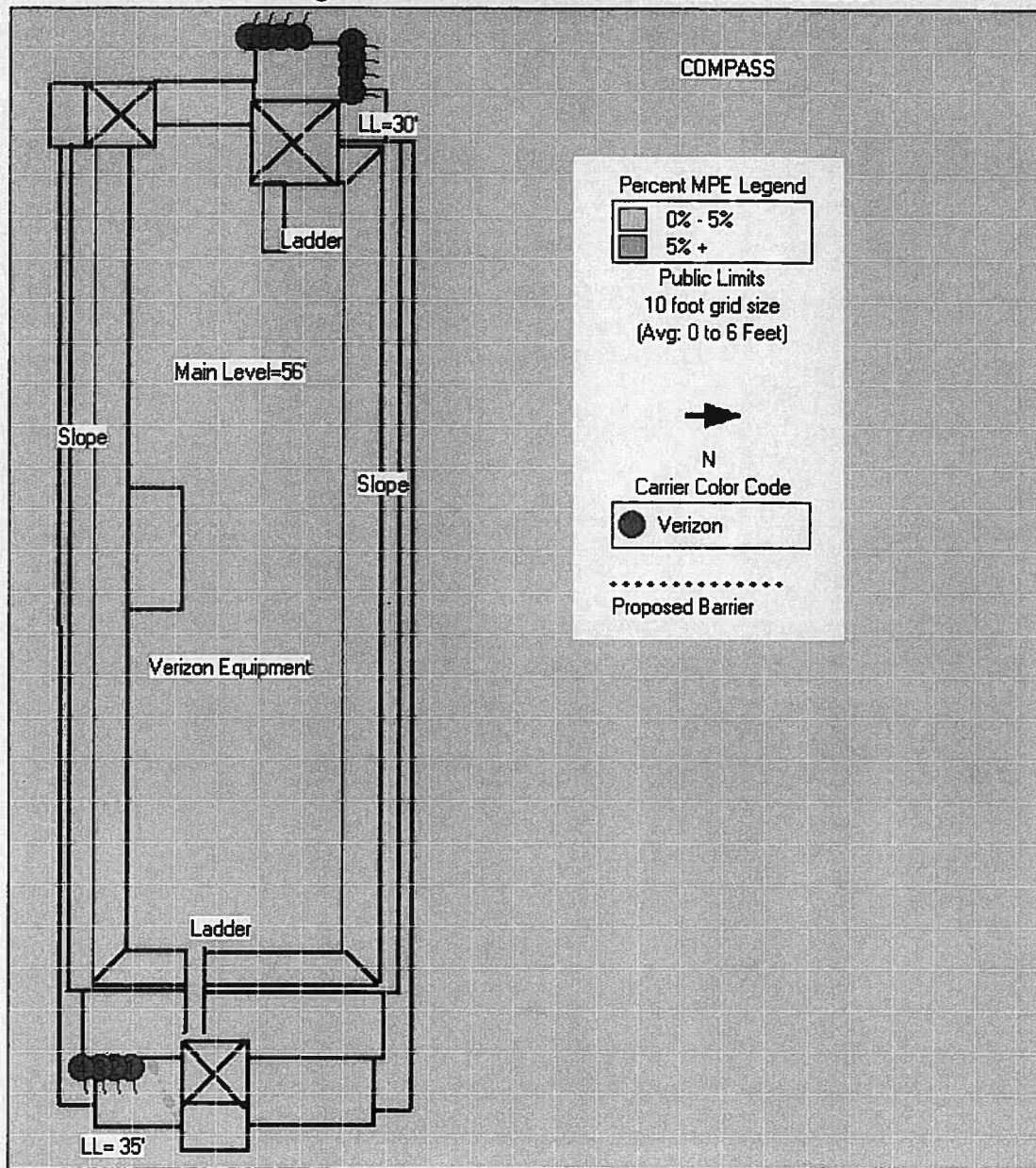


The reference plane for the plot is the main level.

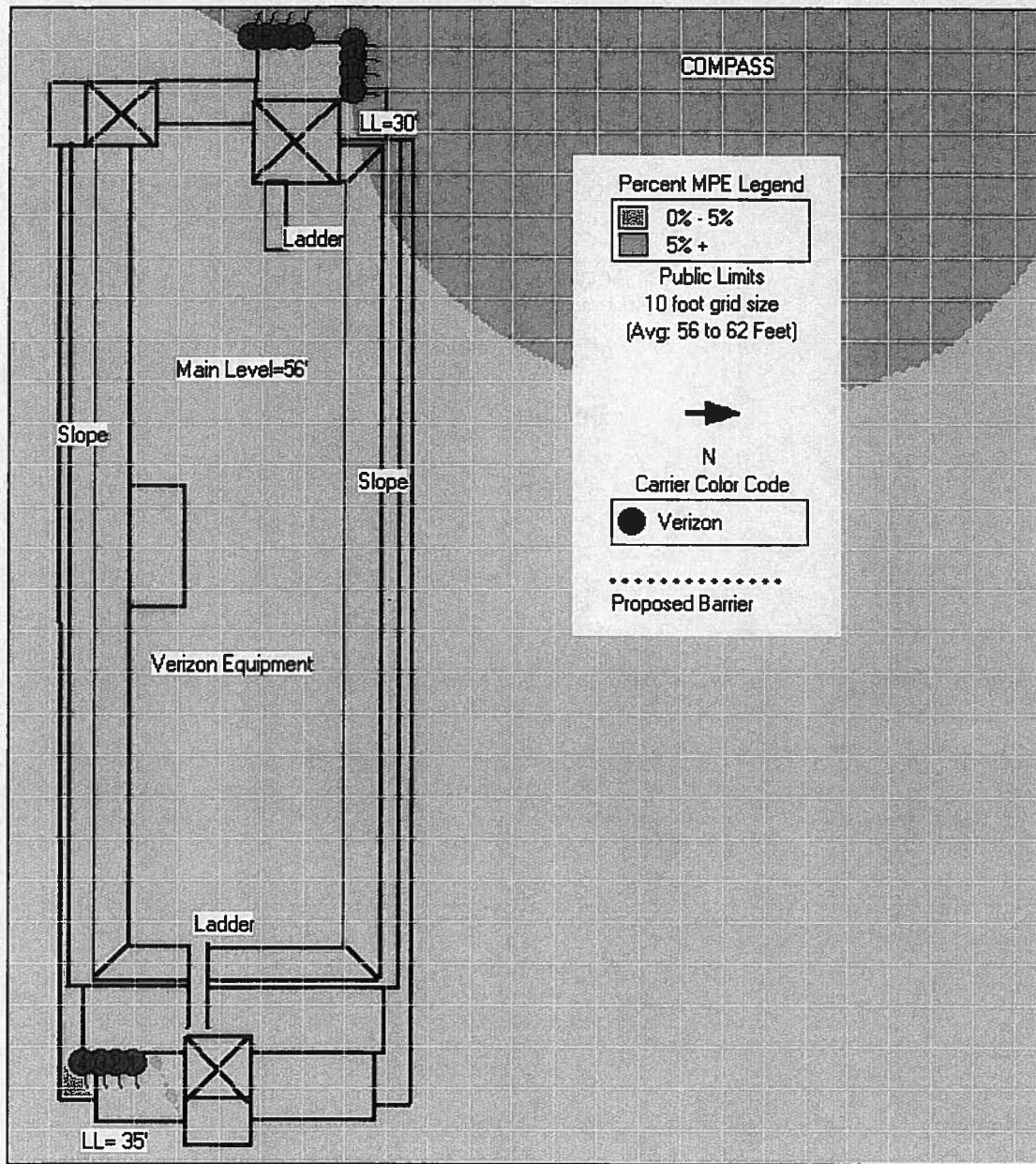


The reference plane for the plot is the lower level 35'.

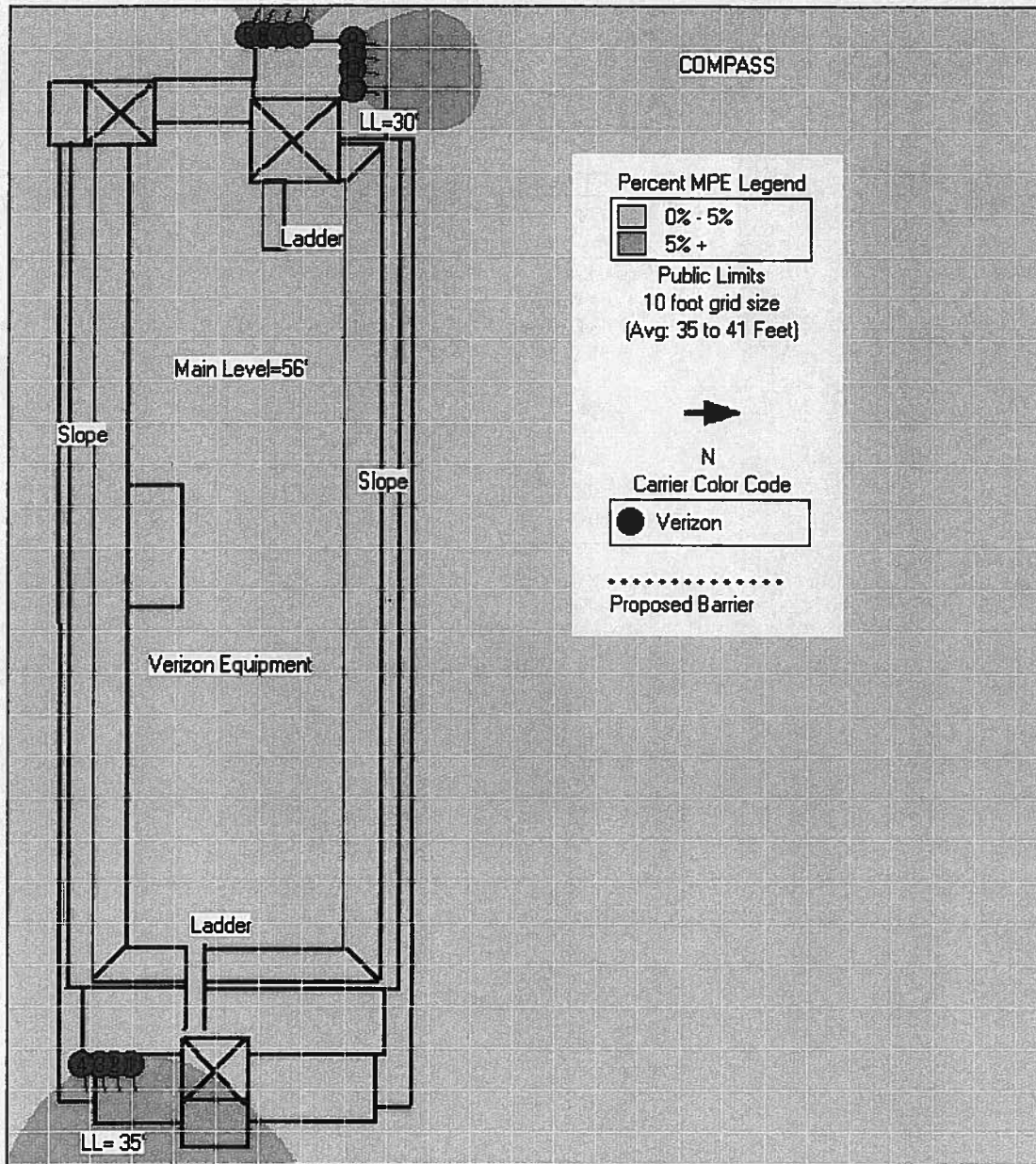
b. Predictive Model: Significant Contribution of Verizon Wireless



The reference plane for the plot is the ground level.



The reference plane for the plot is the main level.



The reference plane for the plot is lower rooftop 35'.

4. Conclusion

a. Conclusion Narrative

Description of MPE – Limit Exceeding Areas:

Ground Level Assessment

- Below General Public limits

Lower Rooftop Level (35') Assessment

- Above Occupational Limits

Main Rooftop Level (56') Assessment

- Below General Public limits

Verizon Significant Contribution Areas:

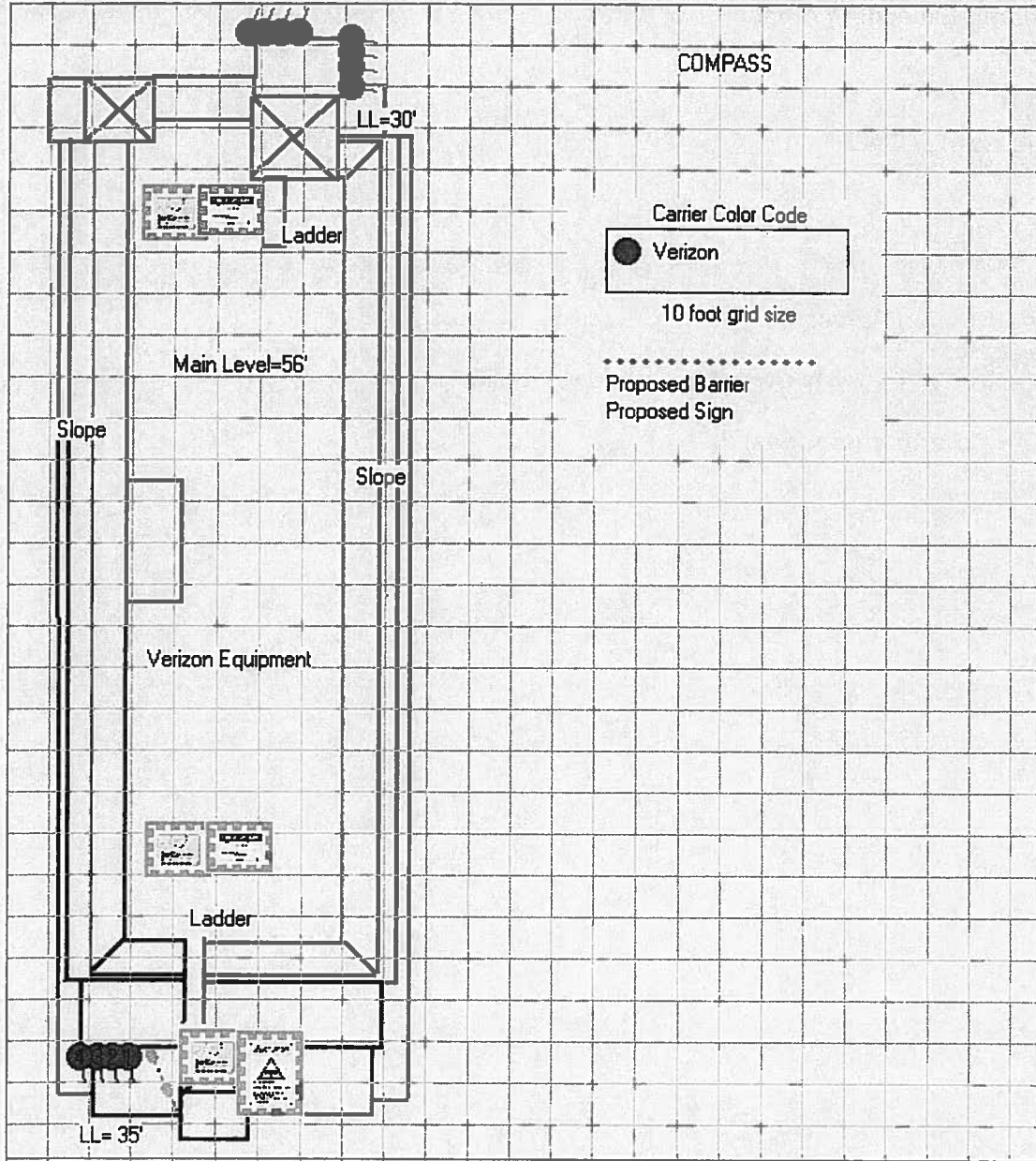
Verizon Wireless Alpha Sector





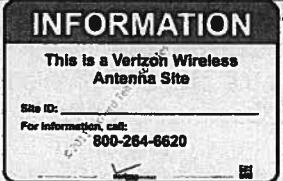

- Contribution exceeds 5% (GP) of predicted MPE at lower rooftop at 35'

Co – Locator Significant Contribution Areas:

No contribution from other carriers.

**b. Compliance Requirements
Signage/Barrier Diagrams**



Compliance Requirements						
	Guidelines	Notice	Caution	Warning	NOC Information	Barrier
Access Point	<input checked="" type="checkbox"/> [2]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [2]	<input type="checkbox"/>
Alpha	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/>
Beta	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/>
Gamma	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/>

Signage/Barrier Installation Detail

Site Access Point

- NOC Information sign required
- RF Guidelines sign required

Verizon Wireless Alpha Sector

- Barriers required
- RF Guidelines sign required
- Install Yellow Caution sign

or,

- Reduce Effective Radiated Power to reduce total MPE below General Public limits.
- Relocate antennas and/or raise centerlines to reduce total MPE below General Public limits.

Verizon Wireless Beta Sector

- No action required

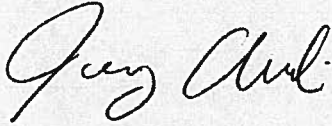
Verizon Wireless Gamma Sector

- No action required

5. Appendix A: RF Consultant Certifications


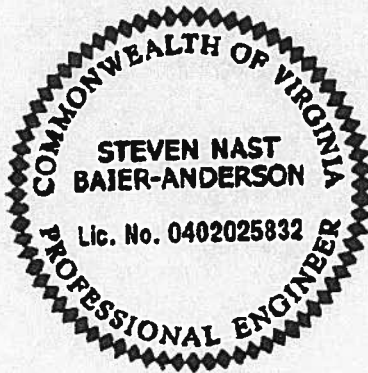
a. Prepare Certification

I, Jerry Audi, the preparer of this report, am fully aware of and familiar with the Rules and Regulations of both the Federal Communications Commissions (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation. I am also fully aware of and familiar with the Verizon Wireless Signage & Demarcation Policy. I have reviewed this Radio Frequency Exposure Assessment report and believe it to be both true and accurate to the best of my knowledge.



b. Reviewer Certification

I, Steven Nast Baier-Anderson, the reviewer and approved of this report, am fully aware of and familiar with the Rules and Regulations of both the Federal Communications Commissions (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation. I am also fully aware of and familiar with the Verizon Wireless Signage & Demarcation Policy. I have reviewed this Radio Frequency Exposure Assessment report and believe it to be both true and accurate to the best of my knowledge.


August 28, 2014
Steven Nast Baier-Anderson
Registered Professional Engineer
Commonwealth of Virginia Reg. No. 0402025832

2014.08.28 10:54:52 -04'00'

6. Appendix B: Reference Information

a. FCC Rules & Regulations

The Federal Communications Commission (FCC) has established safety guidelines relating to RF exposure from cell sites. The FCC developed those standards, known as Maximum Permissible Exposure (MPE) limits, in consultation with numerous other federal agencies, including the Environmental Protection Agency, the Food and Drug Administration, and the Occupational Safety and Health Administration. The standards were developed by expert scientists and engineers after extensive reviews of the scientific literature related to RF biological effects. The FCC explains that its standards "incorporate prudent margins of safety." The following represents explanations of the most applicable information:

Two Classifications for Exposure Limits

Occupational – Applies to situations in which persons are "exposed as a consequence of their <i>employment</i> " and are "fully aware of the potential for exposure and can <i>exercise control</i> over their exposure".	General Population – Applies to situations in which persons are "exposed as a consequence of their employment <i>may not be made fully aware</i> of the potential for exposure or <i>cannot exercise control</i> over their exposure". Generally speaking, those without significant and documented RF Safety & Awareness training would be in the General Population classification.
--	--

Environment Classification

Controlled – Applies to environments that are restricted or "controlled" in order to prevent access from members of the General Population classification.	Uncontrolled – Applies to environments that are unrestricted or "uncontrolled" that allow access from members of the General Population classification.
---	--

Limits for Occupational/Controlled Exposure		
Frequency	Power Density	Averaging Time
Range	(S)	$ E ^2$, $ H ^2$, or S
(MHz)	(mW/cm ²)	(minutes)
300-1500	$f/300$	6
1500-100,000	5	6
Limits for General Population/Uncontrolled Exposure		
Frequency	Power Density	Averaging Time
Range	(S)	$ E ^2$, $ H ^2$, or S
(MHz)	(mW/cm ²)	(minutes)
300-1500	$f/1500$	30
1500-100,000	1	30
$f = \text{frequency in MHz}$		

Significant Contribution to the RF Environment

Any carrier contributing an aggregate MPE percentage of 5 or more (to the applicable RF Environment Classification) is defined as a significant contributor. This means that if any area is determined to be out of compliance with FCC rules, all significant contributors are jointly responsible for correcting any deficiencies.

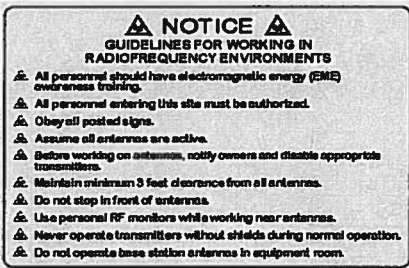



b. Occupational Safety and Health Administration (OSHA) Requirements

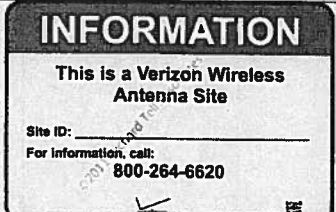
A formal adopter of FCC Standards, OSHA stipulates that those in the Occupational classification must complete training in the following: RF Safety, RF Awareness, and Utilization of Personal Protective Equipment. OSHA also provides options for Hazard Prevention and Control:

Hazard Prevention	Control
<ul style="list-style-type: none">Utilization of good equipmentEnact control of hazard areasLimit exposuresEmploy medical surveillance and accident response	<ul style="list-style-type: none">Employ Lockout/Tag outUtilize personal alarms & protective clothingPrevent access to hazardous locationsDevelop or operate an administrative control program

c. RF Signage

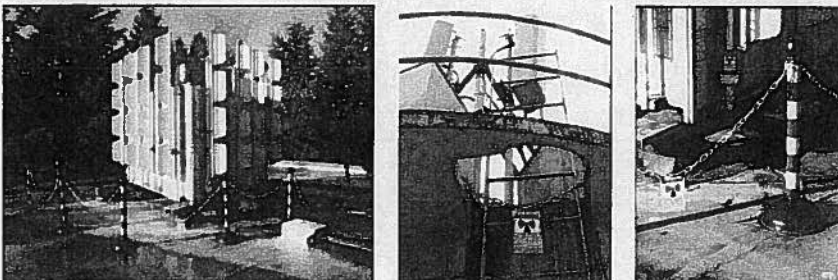
Areas or portions of any transmitter site may be susceptible to high power densities that could cause personnel exposures in excess of the FCC guidelines. These areas must be demarcated by conspicuously posted signage that identifies the potential exposure. Signage **MUST** be viewable regardless of the viewer's position.

Guidelines	Notice	Caution	Warning
Used anytime hazard signage is employed to achieve FCC compliance. This sign will inform visitors of the basic precautions to follow when working around radiofrequency equipment.	Used to distinguish the boundary between the General Population /Uncontrolled and the Occupational/Controlled areas. The limits associated with this notification must be less than the Occupational/Controlled MPE.	Identifies RF controlled areas where RF exposure can exceed the Occupational /Controlled MPE but below 10 x the Occupational/Controlled MPE.	Denotes the boundary of areas with RF levels substantially above the FCC limits, normally defined as those greater than ten (10) times the Occupational /Controlled MPE.
			

Information Sign
Information signs are used as a means to provide contact information for any questions or concerns. They will include specific cell site identification information and the Verizon Wireless Network Operations Center phone number.


d. Barriers

A barrier is any physical demarcation employed as a preventative and/or notification measure that one is entering into an area with RF power density levels greater than the General Population/Uncontrolled limit.



7. Appendix C: Roofmaster™

RoofMaster™ is the software package that Waterford Consultants created to model RF environments associated with multiple emitters where the potential exists for human exposure. Based on the computational guidelines set forth in OET Bulletin 65 from the Federal Communications Commission (FCC), RoofMaster™ considers the operating parameters of specified RF sources to predict the overall Maximum Permissible Exposure possible at a given location. These theoretical results represent worst-case predictions as emitters are assumed to be operating at 100% duty cycle.

From the FCC document:

"The revised OET Bulletin 65 has been prepared to provide assistance in determining whether proposed or existing transmitting facilities, operations or devices comply with limits for human exposure to radiofrequency (RF) fields adopted by the Federal Communications Commission (FCC). The bulletin offers guidelines and suggestions for evaluating compliance."

http://transition.fcc.gov/Bureaus/Engineering_Technology/Documents/bulletins/oet65/oet65.pdf

8. Appendix D: Qualifications of Waterford Consultants, LLC

With more than 100 team-years of experience, Waterford Consultants, LLC [Waterford] provides technical consulting services to clients in the Radio Communications and antenna locating industry. Waterford retains professional engineers who are placed in responsible charge of the processes for analysis.

Waterford is familiar with 47 C.F.R. § § 1.1307(b)(3) and 1.1310 along with the general Rules, Regulations and policies of the FCC. Waterford work processes incorporate all specifications of FCC Office of Engineering and Technology, Bulletin 65 ("OET65"), from the website: www.fcc.gov/oet/rfsafety and follow criteria detailed in 47 CFR § 1.1310 "Radiofrequency radiation exposure Limits".

Within the technical and regulatory framework detailed above, Waterford developed tools according to recognized and generally accepted good engineering practices. Permissible exposure limits are band specific, and the Waterford computerized modeling tools correctly calculate permissible exposure based on the band(s) specified in the input data. Only clients and client representatives are authorized to provide input data through the Waterford web portal. In securing that authorization, clients and client representatives attest to the accuracy of all input data.

Waterford Consultants, LLC attests to the accuracy of the engineering calculations computed by those modeling tools. Furthermore, Waterford attests that the results of those engineering calculations are correctly summarized in this report

9. Appendix E: Statement of Limiting Conditions

Waterford Consultants has received data pertaining to RF environment provided by the client. Waterford Consultants will not be responsible for matters of a legal nature that affect the site or property. The property has been analyzed under the premise that it is under responsible ownership and management and our client has the legal right to conduct business at this facility.

Due to the complexity of some wireless sites, Waterford Consultants has created this report utilizing best industry practices and due diligence. Waterford Consultants cannot be held accountable or responsible for anomalies or discrepancies due to actual site conditions (i.e., mislabeling of antennas or equipment, inaccessible cable runs, inaccessible antennas or equipment, etc.) or information or data supplied by Wireless Carrier, the site manager, or their affiliates, subcontractors or assigns.

Waterford Consultants has provided the results of a computer generated model in this MPE Site Compliance Report to show approximate dimensions of the site, and the model results is included to assist the reader of the compliance report to visualize the site area, and to provide supporting documentation for Waterford Consultants' recommendations.

Waterford Consultants will not be responsible for any existing conditions or for any engineering or testing that might be required to discover whether adverse safety conditions exist. Because Waterford Consultants is not an expert in the field of mechanical engineering or building maintenance, this MPE Site Compliance Report must not be considered a structural or physical engineering report.

Waterford Consultants obtained information used in this MPE Site Compliance Report from sources that Waterford Consultants considers reliable and believes them to be true and correct. Waterford Consultants does not assume any responsibility for the accuracy of such items that were furnished by other parties.

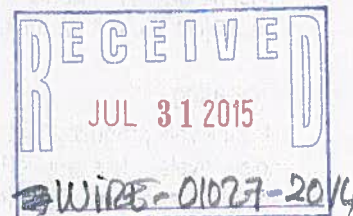


Hogle-Ireland

Noise Analysis

May 13, 2015

Aaron Whiting, Zoning Manager
Core Development Services
2749 Saturn Street
Brea, California 92821



Project: Verizon Wireless Reyes Road Construction and Operation
Location: Agoura Hills, California

Introduction

As requested, we have conducted an assessment for the modification and operation of the existing Verizon Wireless unmanned substation located at the Sheraton Agoura Hills Hotel (30100½ Agoura Road in Agoura Hills, California). The project (Reyes Road) includes the removal and replacement of one existing equipment cabinet, removal and replacement of nine existing previously approved panel antennas concealed inside of existing FRP screening, installation of six new remote radio units (RRUs), and three new raycap boxes. Work will also include the installation of new hybridflex cables within an existing coax cable tray and the modification to the alpha screen box.

The project site is located on the rooftop of the Sheraton Agoura Hills Hotel within the Ladyface Mountain Specific Plan area and is surrounded by commercial uses to the north, east, and west. The Santa Monica Mountains are located to the south of the site. There are no residential uses within a quarter mile of the project site.

City of Agoura Hills Municipal Code

Construction Activities

Pursuant to Section 9656.4(E) (Special Provisions) of the Agoura Hills Municipal Code, noise sources associated with construction, repair, remodeling, or grading of any real property that takes place between the hours of 7:00 AM and 8:00 PM on any day except Sunday or a legal holiday or between the hours of 9:00 AM and 8:00 PM on Sunday or a legal holiday is except from noise regulations.

Exterior Noise Standards

Pursuant to Section 9656.2 (Exterior Noise Standards) of the Agoura Hills Municipal Code, exterior noise shall not exceed 55 dBA between the hours of 7:00 and 10:00 PM and 50 dBA between the hours of 10:00 PM and 7:00 AM in residential zone districts.

Interior Noise Standards

Pursuant to Section 9656.3 (Interior Noise Standards) of the Agoura Hills Municipal Code, interior noise shall not exceed 45 dBA for all residential uses.

Noise Analysis

Construction

Pursuant to the Agoura Hills Municipal Code, construction activity is exempt provided that it occurs between the hours of 7:00 AM and 8:00 PM on any day except Sunday or a legal holiday or 9:00 AM and 8:00 PM on Sunday or a

Verizon Wireless Reyes Road
Construction and Operational Noise Assessment

legal holiday. With adherence to allowable construction times, the proposed removal and installation of equipment at the project site will be consistent with City standards.

Operation

Noise levels produced by the electrical cabinet were modeled utilizing SoundPLAN software in order to assess future noise levels. The SoundPLAN model is a three-dimensional noise modeling software that takes into account the shielding and reflective effects associated with intervening topography and nearby buildings. Noise levels were modeled at the commercial uses to the east and north of the project site. The project site is located at a greater elevation than the uses to the north. However, noise levels were modeled assuming flat topography as a worst case analysis.


All proposed equipment will be located on the rooftop of the Sheraton Agoura Hills, approximately 58 feet above ground surface. According to a telecommunications supplier's (Ericsson) description of RRUs, no acoustic noise will be generated by these devices. Based on personal communication with an Application Engineer at CommScope Technologies, the proposed CommScope SBNH-1D6565B antennas are passive devices and would not emit any noise. The electrical cabinet will be located at the southern portion of the rooftop. The cabinet itself, which is an enclosure, will be replaced. The existing electrical equipment within the cabinet will remain and will not be replaced. Noise from operation of the existing electrical equipment will remain unchanged. Because the proposed equipment will not emit any noise, noise modeling is not required. The long-term operational noise environment of the project site will not increase due to the installation of the proposed equipment.

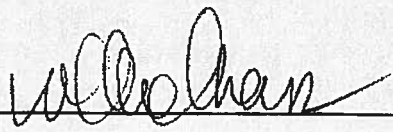
Conclusion

Based on the analysis provided above, installation and operation of the proposed equipment will be consistent with Municipal Code guidelines. Noise levels will not be generated by operation of the proposed equipment and will therefore not increase existing ambient noise levels at the project site. No additional noise baffling or mitigation is required.

Certification

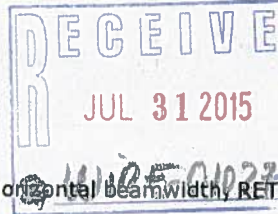
This analysis has been prepared for use by the Lead Agency to assess potential project-related noise impacts. This report does not make determinations of significance pursuant to CEQA because such determinations are required to be made solely in the purview of the Lead Agency. This analysis was performed by Christopher Brown (Director of Environmental Services) and Olivia Chan (Project Associate) of MIG, Inc. under contract with Core Development Services.



Christopher Brown
Director of Environmental Services

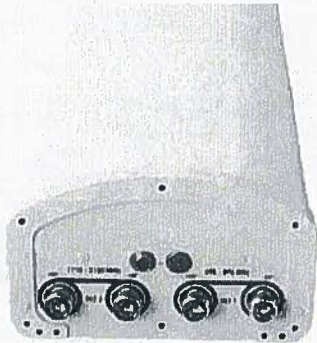
Olivia Chan
Project Associate

Product Specifications



SBNH-1D6565B

DualPol® Dual Band Antenna, 698–896 MHz and 1710–2180 MHz, 65° horizontal beamwidth, REE compatible variable electrical tilt



- Two DualPol® antennas under one radome
- Interleaved dipole technology providing for attractive, low wind load mechanical package
- Each antenna is independently capable of field adjustable electrical tilt
- Internal next generation actuator eliminates field installation and defines new standards for reliability
- Fully compatible with Andrew Teletilt® remote control system

CHARACTERISTICS

General Specifications

Antenna Type SmartBeam®
Brand DualPol® | SmartBeam® | Teletilt®
Operating Frequency Band 1710 – 2180 MHz | 698 – 896 MHz

Electrical Specifications

Frequency Band, MHz	698–806	806–896	1710–1880	1850–1990	1920–2180
Beamwidth, Horizontal, degrees	70	67	59	57	65
Beamwidth, Horizontal Tolerance, degrees	±3	±8	±2	±4	±6
Gain, dBd	12.9	13.1	16.3	16.1	15.7
Gain, dBi	15.0	15.2	18.4	18.2	17.8
Beamwidth, Vertical, degrees	12.3	10.8	5.5	5.1	4.8
Beam Tilt, degrees	0–10	0–10	0–6	0–6	0–6
Upper Sidelobe Suppression (USLS), typical, dB	15	15	15	15	15
Front-to-Back Ratio at 180°, dB	25	27	34	35	32
Front-to-Back Total Power at 180° ± 20°, dB	20	20	28	28	25
Cross Polarization Ratio (CPR) at Boresight, dB	24	18	25	25	22
Cross Polarization Ratio (CPR) at Sector, dB	10	8	10	10	8
Isolation, dB	30	30	30	30	30
Isolation, Intersystem, dB	30	30	30	30	30
VSWR Return Loss, db	1.5:1 14.0	1.5:1 14.0	1.5:1 14.0	1.5:1 14.0	1.5:1 14.0
Intermodulation Products, 3rd Order, 2 x 20 W, dBc	-150	-150	-150	-150	-150
Input Power, maximum, watts	400	400	300	300	300
Polarization	±45°	±45°	±45°	±45°	±45°
Impedance, ohms	50	50	50	50	50
Lightning Protection	dc Ground	dc Ground	dc Ground	dc Ground	dc Ground

Product Specifications

SBNH-1D6565B



Mechanical Specifications

Color	Light gray
Connector Interface	7-16 DIN Female
Connector Location	Bottom
Connector Quantity	4
Radome Material	Fiberglass, UV resistant
Wind Loading, maximum	617.7 N @ 150 km/h 138.9 lbf @ 150 km/h
Wind Speed, maximum	241.0 km/h 149.8 mph

Dimensions

Depth	181.0 mm 7.1 in
Length	1847.0 mm 72.7 in
Width	301.0 mm 11.9 in
Net Weight	21.5 kg 47.4 lb

Remote Electrical Tilt (RET) Information

Adjustment Time, full range, maximum	30 s
Annual Failure Rate, maximum	0.01%
Power Consumption, during motor movements, maximum	11.0 W
Power Consumption, idle state, maximum	2.0 W
Power Input	10-30 V
Protocol	3GPP/AISG 2.0 Multi-RET
RET Interface	RS-485 Male (input port, 1) RS-485 Female (daisy chain port, 1)
RET System	Teletilt®

Regulatory Compliance/Certifications

Agency

RoHS 2002/95/EC
China RoHS SJ/T 11364-2006
ISO 9001:2008

Classification

Compliant by Exemption
Above Maximum Concentration Value (MCV)
Designed, manufactured and/or distributed under this quality management system



INCLUDED PRODUCTS

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Product Specifications

SBNH-1D6565B



DB380

Pipe Mounting Kit for 2.4 - 4.5 in (60 - 115 mm) OD round members



DB5083

Downtilt Mounting Kit for 2.4 - 4.5 in (60 - 115 mm) OD round members

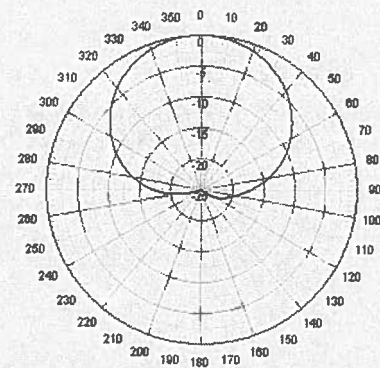
Product Specifications

SBNH-1D6565B

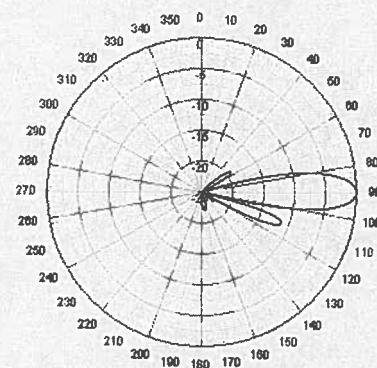


Horizontal Pattern

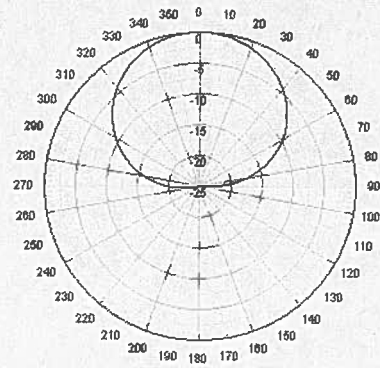
Vertical Pattern



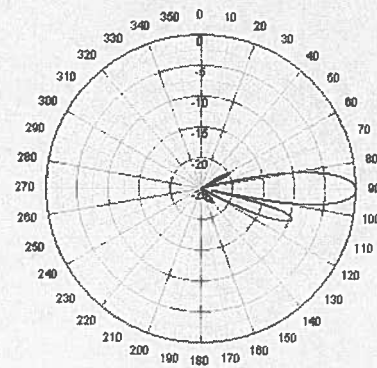
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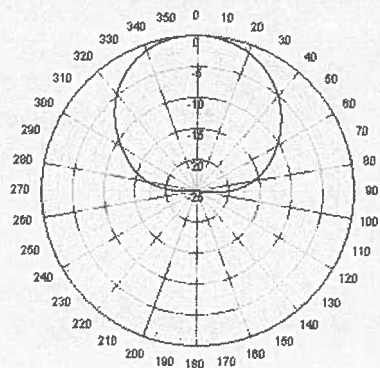
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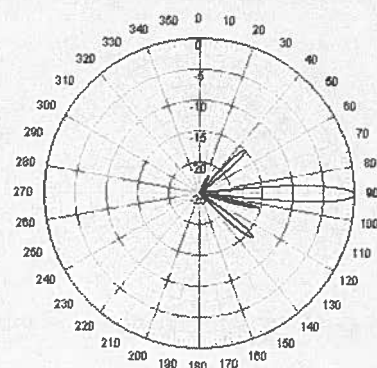
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Freq: 850 MHz, Tilt: 0°



Freq: 1730 MHz, Tilt: 0°



Freq: 1730 MHz, Tilt: 0°

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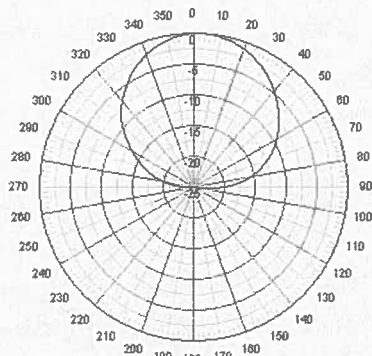
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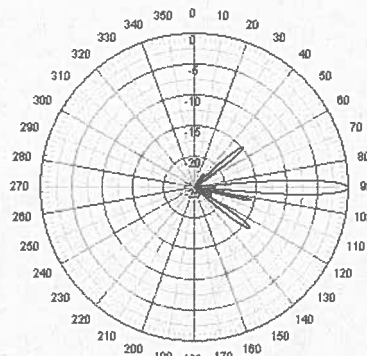
page 4 of 5
4/30/2011

Product Specifications

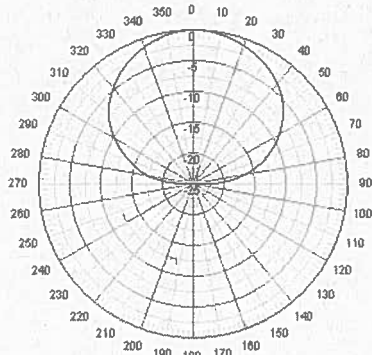
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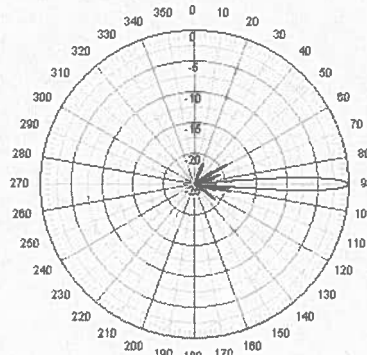
Freq: 1920 MHz, Tilt: 0°



Freq: 1920 MHz, Tilt: 0°



Freq: 2130 MHz, Tilt: 0°



Freq: 2130 MHz, Tilt: 0°

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CITY OF AGOURA HILLS

2015 FEB 18 PM 4:48

CITY CLERK

The Verizon Wireless logo, featuring a checkmark symbol above the word "verizon" in a bold, sans-serif font, followed by "wireless" in a smaller, italicized sans-serif font.

**Re: Verizon Wireless "Reyes Road" 30100 ½ Agoura Road
Agoura Hills, Ca 91301**

Future Collocation of Wireless Telecommunications Facilities and Equipment

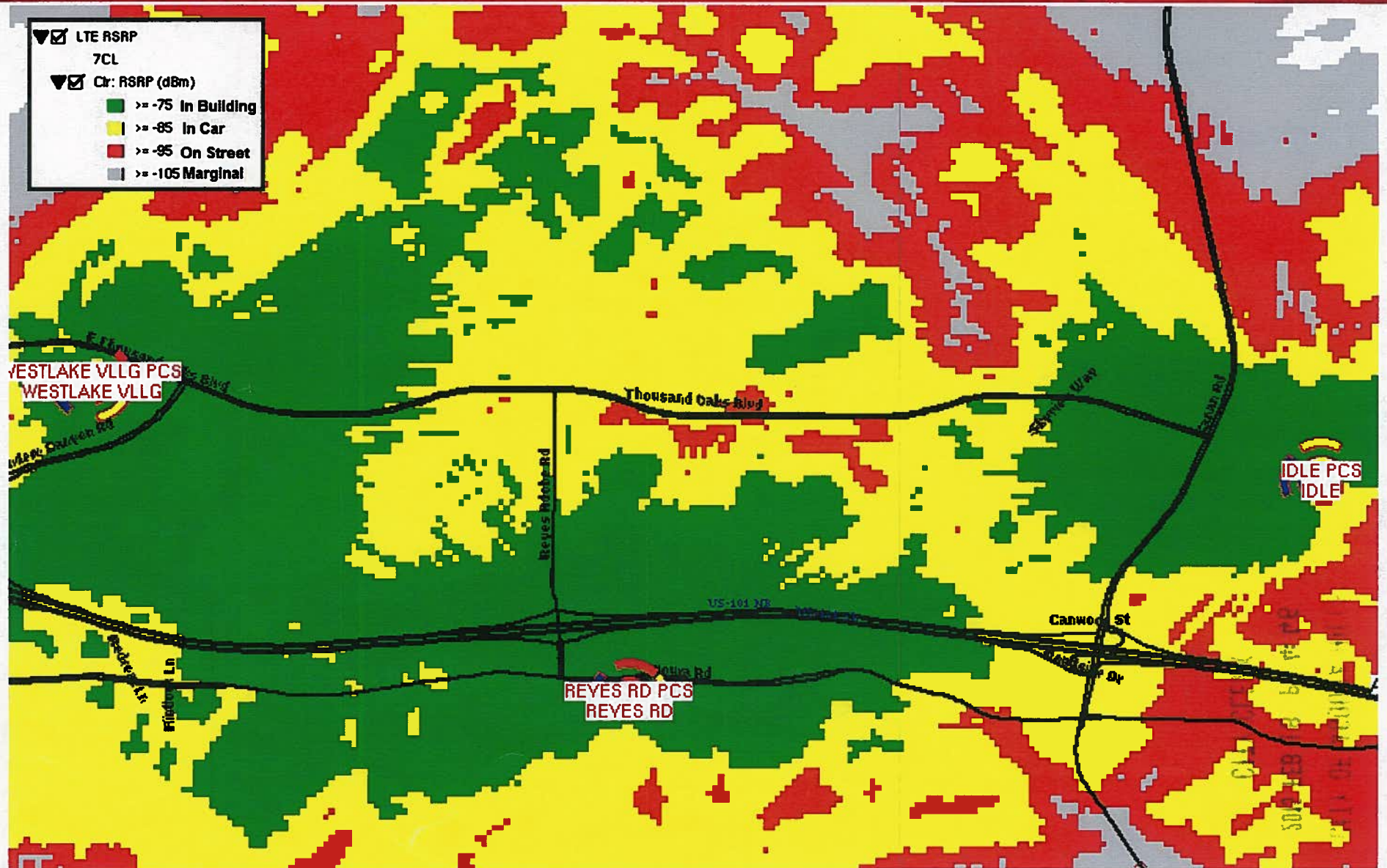
Verizon would be open to the possibility of another carrier collocating on the rooftop site in the future, given that they first are provided with all of the required information to assess and analyze the viability of the collocation (ie lease, intermod study to ensure clearance and no interference of signals, required vertical and horizontal separation between carriers' antennas shall be integrated in the design, structural calculations, etc), just as the city would require of any applicant before modifying any other wireless facility.

Aaron Whiting (authorized agent)
Zoning Manager
CORE Development Services
2749 Saturn Street
Brea, CA 92821

2.07 (6.03)

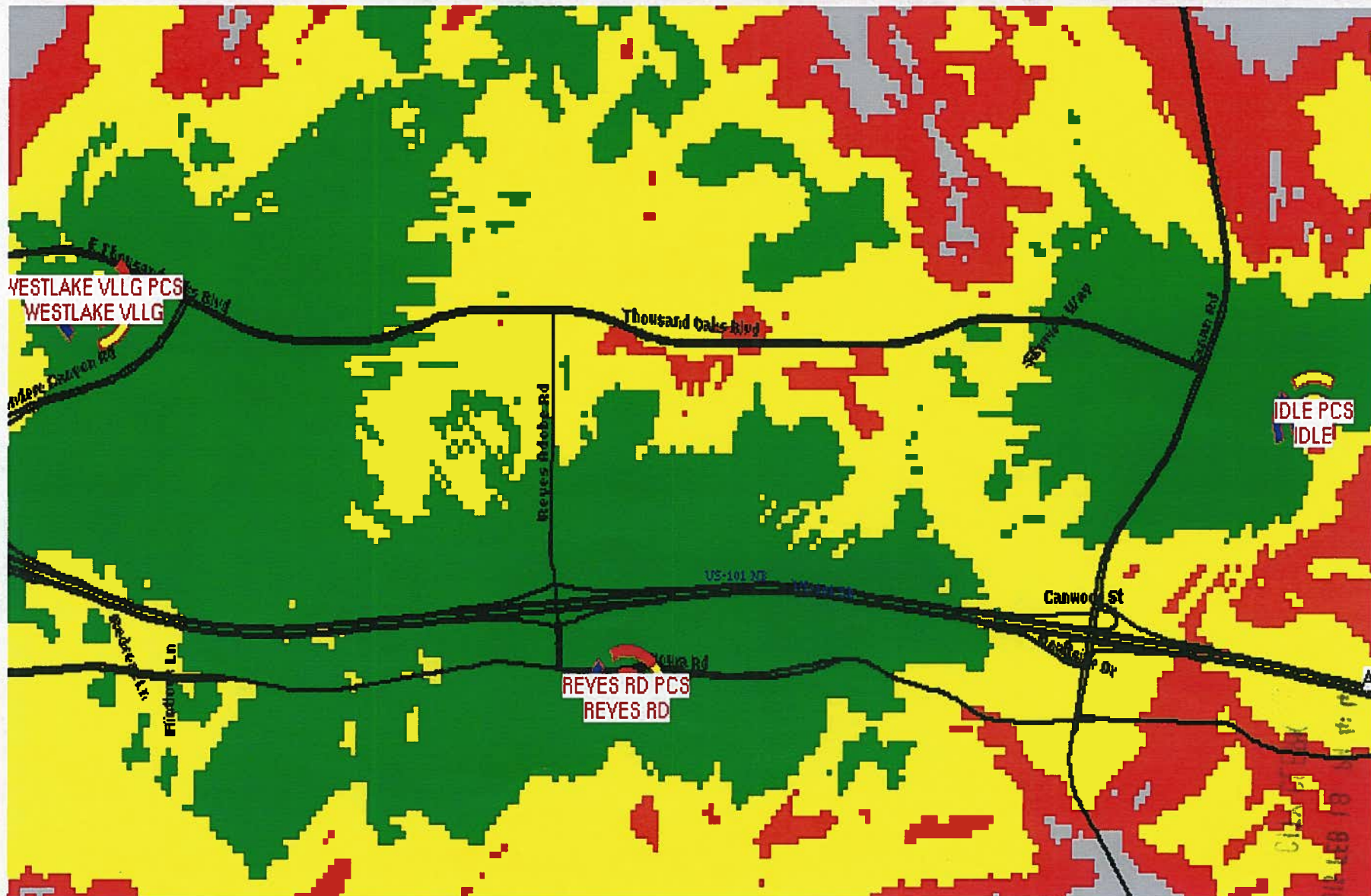


Reyes Rd before MOD





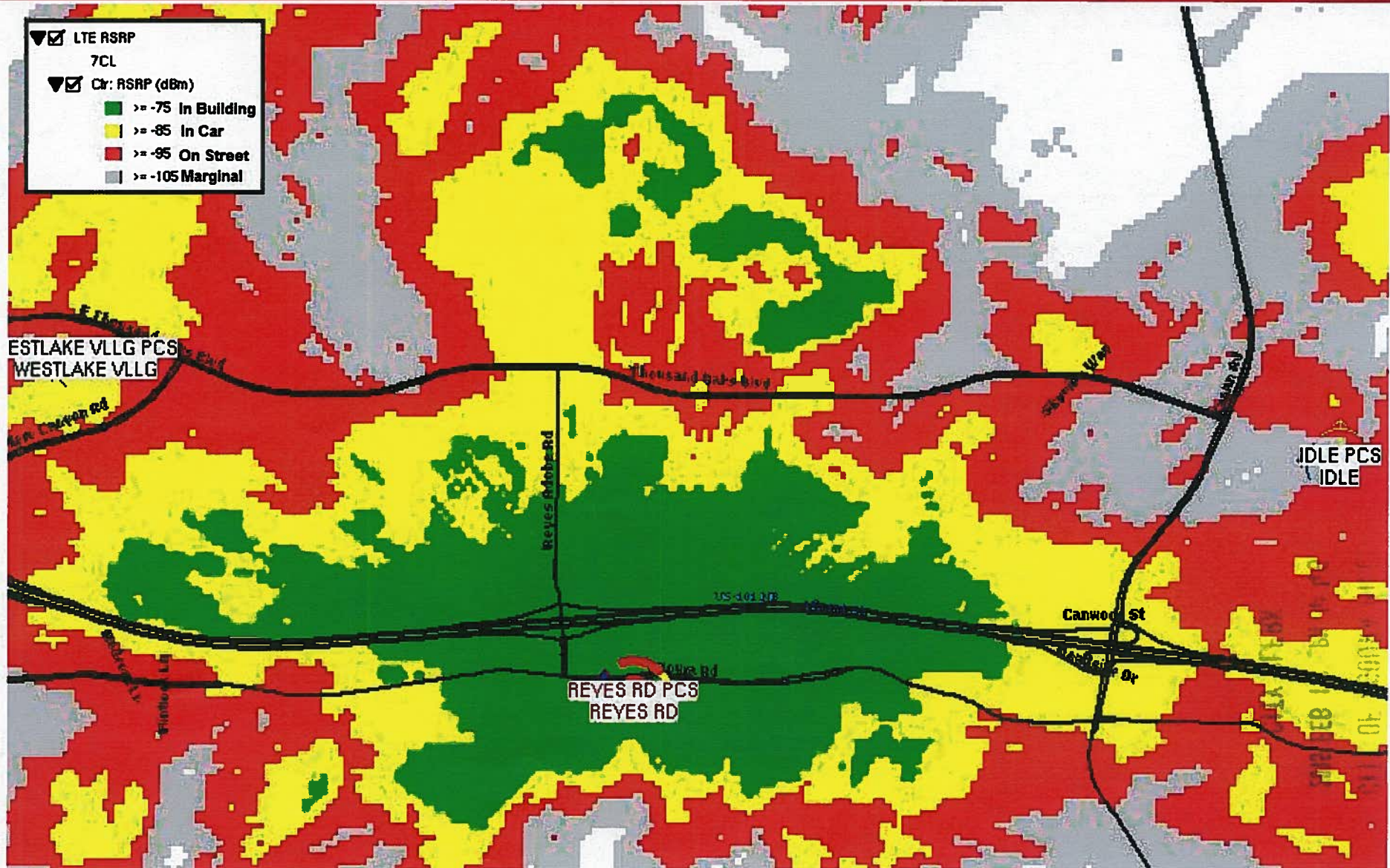
Reyes Rd After MOD



604



Reyes Rd Only





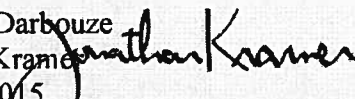


CASE NO. WIRE-01027-2014

**FOR THE PROPERTY LOCATED AT
30100 AGOURA ROAD, AGOURA HILLS**

**Exhibit F
Telecom Law Firm PC Wireless Planning Memorandum**

WIRELESS PLANNING MEMORANDUM

To: Ms. Valerie Darbouze
From: Jonathan L. Kramer 
Date: August 13, 2015
RE: Wire-0127-2014 (Verizon Wireless)
30100 ½ Agoura Road

The City of Agoura Hills ("City") requested we review the Verizon Wireless ("Verizon") permit request to upgrade its existing rooftop wireless site located at 30100 ½ Agoura Road (a hotel).

1. Current Project

At this location, Verizon currently operates a rooftop wireless site behind fiber reinforced plastic ("FRP") screen walls that generally involve twelve panel antennas in three sectors center-mounted at approximately 55 feet 3 inches above ground level ("AGL"). Verizon's base station equipment is located on the rooftop.

Now Verizon proposes to upgrade both its antennas and base station equipment. This section briefly describes the proposed upgrades as shown in the plans dated June 12, 2015 that was submitted with its permit application.

Verizon proposes to modify its existing site by removing and replacing one (1) existing equipment cabinet on the existing steel platform on the roof. It also proposes the removal and replacement of one (1) FRP screen in the alpha sector. Additionally, the plans call for the removal and replacement of nine (9) existing previously-approved panel antennas concealed inside of the FRP screening. To this, Verizon also intends to install six (6) new remote radio unit cabinets ("RRUs"), and three (3) new DC power surge protector cabinets for a total of nine (9) new cabinets. To connect the replaced and upgraded antennas and cabinets, Verizon will install new "Hybriflex" (DC power and fiber optic) cables within the existing coax cable trays on the roof. There will be some modifications to the alpha sector screen box at the east side of the existing building.

The existing FRP screen walls for the beta and gamma sectors will completely conceal the panel antennas and all the equipment associated with this site, therefore no visual change will occur for the overall outward appearance of the site. The FRP screen wall for the alpha sector is to be increased downwards by two (2) feet to accommodate larger antennas.

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2. Section 6409(a) Analysis

As a threshold matter, the City must determine whether Section 6409(a) of the Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. § 1455(a) (“**Section 6409(a)**”), governs this permit request. Generally, Section 6409(a) requires that local governments “may not deny, and shall approve,” certain requests to collocate with or modify an existing wireless tower or base station so long as that request will not “substantially change the physical dimensions” of the existing facilities.¹ Thus, Section 6409(a) may be outcome-determinative.

To determine whether Section 6409(a) applies, the City must apply the two-prong test to the permit request as described below. The statute applies only when the:

- (1) applicant requests to collocate, remove, or replace transmission equipment from an existing tower or base station; and
- (2) proposed project will not “substantially change the physical dimensions” of that tower or base station.

Critically, Section 6409(a) applies only when the applicant demonstrates both prongs are true. The statute does not apply when the applicant desires to construct an entirely new wireless communication facility or when the applicant desires to modify an existing site that substantially changes the physical dimensions of the existing tower or base station. Thus, local governments should always apply these prongs in the correct order.

On October 17, 2014, the Federal Communications Commission (“**Com-mission**”) voted to approve a set of federal rules to interpret Section 6409(a). On January 8, 2015, the Commission published these rules in the Federal Register. All of the FCC’s new rules are now effective.

¹ Section 6409(a) states in full:

(a) FACILITY MODIFICATIONS.—

(1) IN GENERAL.—Notwithstanding Section 704 of the Telecommunications Act of 1996 (Public Law 104–104) or any other provision of law, a State or local government may not deny, and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.

(2) ELIGIBLE FACILITIES REQUEST.—For purposes of this subsection, the term “eligible facilities request” means any request for modification of an existing wireless tower or base station that involves—

- (A) collocation of new transmission equipment;
- (B) removal of transmission equipment; or
- (C) replacement of transmission equipment.

(3) APPLICABILITY OF ENVIRONMENTAL LAWS.—Nothing in paragraph (1) shall be construed to relieve the Commission from the requirements of the National Historic Preservation Act or the National Environmental Policy Act of 1969.



2.1. Prong 1: Did the Applicant Submit an "Eligible Facilities Request"?

An "eligible facilities request" means a permit application to collocate, remove or replace transmission equipment on an existing wireless tower or base station.² As a practical matter, almost all permit applications for collocation or modification will constitute an eligible facilities request due to how broadly the Commission defines the relevant terms.

First, the request must impact a wireless tower or base station. The Commission defines a "wireless tower" as a structure solely or primarily constructed to support FCC-licensed antennas and their associated facilities.³ A "base station" means any non-tower structure that supports wireless transmission equipment with a valid permit for such use.⁴

Second, the request must involve collocation or modification of transmission equipment. "Collocation" means to install transmission equipment on an eligible support structure (i.e., an existing wireless tower or base station).⁵ "Transmission equipment" means "equipment associated with and necessary to" wireless sites and includes antennas, radio transceivers, cables, and backup power supplies.⁶

Here, Verizon submitted an "eligible facilities request" because it seeks to modify existing transmission equipment and add new collocated transmission equipment on an existing base station. The rooftop site cannot constitute a "wireless tower" because it was not constructed solely or primarily to support FCC-licensed antennas and their associated facilities. However, the building does qualify as a base station because it supports validly permitted wireless transmission equipment. The proposed antennas and other equipment are associated with and necessary to a wireless site. Accordingly, Verizon has submitted an eligible facilities request that satisfies the first prong in this analysis.

2.2. Prong 2: Does the Applicant Propose to "Substantially Change the Physical Dimensions of the Existing Wireless Tower or Base Station"?

Even when an applicant submits an eligible facilities request, as Verizon has in this matter, Section 6409(a) does not mandate approval unless the request will not substantially change the physical dimensions of the wireless tower or base station. In other words, the City is not obligation under Section 6409(a) to approve a project merely because it qualifies as an eligible facilities request.

The new FCC rule sets out a mostly objective test based on the structure type, measurable increases within a cumulative limit, and negative effects on site camouflage as follows:

² See 47 U.S.C. § 1455(a)(2).

³ See Order at ¶ 166.

⁴ See Order at ¶ 172.

⁵ See Order at ¶ 179. The Commission did not explicitly define "modification" but that term must at least include "removals" and "replacements."

⁶ See Order at ¶ 160.



1. **Height.** An eligible facilities request causes a substantial change when it increases the height (1) more than 10% or one additional antenna array not more than 20 feet higher for towers on private property, or (2) more than 10% or 10 feet (whichever is greater) for towers in the public rights-of-way and all base stations.
2. **Width.** An eligible facilities request causes a substantial change when it increases the tower width (1) more than 20 feet or the tower width at the level of the appurtenance (whichever is greater) for towers on private property, or (2) more than six feet for towers in the public rights-of-way and all base stations.
3. **Cabinets.** An eligible facilities request causes a substantial change when it involves more than the “standard number of new equipment cabinets for the technology involved” not to exceed four.
4. **Excavation.** An eligible facilities request causes a substantial change when it involves excavation (1) outside the lease or license area for towers and base stations on private property or (2) outside the proximity to the ground-mounted equipment for towers in the public rights-of-way.
5. **Camouflage.** An eligible facilities request causes a substantial change when it would defeat the existing concealment elements of the tower or base station.
6. **Noncompliance.** An eligible facilities request causes a substantial change when it would violate a prior condition of approval that does not conflict with the Commission standards for a substantial change.

Here, Verizon probably **does** propose to substantially change the physical dimensions of the existing base station because the proposed transmission equipment will increase the number of cabinets more than the “standard number of new equipment cabinets for the technology involved.” Verizon currently proposes to add six new RRU’s plus three new DC power surge protectors.

Another consideration, separate from Verizon’s plan to add six new RRU cabinets and three new DC power surge protectors, is that the City should carefully evaluate whether the existing site is in full compliance with all prior conditions of approval and permits for Verizon’s initial application. If the answer to this question is no (the site is not in full compliance with previous permits), then this would be an independent basis to find a substantial change in the physical dimensions of the site.

Verizon very likely **does** propose to “substantially change the physical dimensions of the existing base station,” which fails to satisfy the second prong in the Section 6409(a) analysis.



2.3. Section 6409(a) Summary

We conclude that it is unlikely that Section 6409(a) applies to this permit request. While Verizon submitted an eligible facilities request, under the Commission's interpretation, the proposed project will substantially change the physical dimensions of the existing base station by the addition of more than four new equipment cabinets. Accordingly, we believe this project should be considered by the City of Agoura Hills as a conditional use type of request to modify an existing wireless site under Section 332(c) (7) of the Telecommunications Act.

3. Physical Design Comments

We recommend that the City require as conditions of approval, in addition to any other conditions imposed, the following:

1. All existing FRP screens to remain shall be repainted and retextured to match the existing adjacent building structure; and
2. All new FRP screens shall be painted and textured to match the existing adjacent building structure; and
3. No portion of the existing permitted facility, nor any portion of the facility to be modified pursuant to this permit, shall be visible to the general public.

4. RF Emissions Compliance Evaluation

Verizon must comply with national RF emissions standards. The FCC completely occupies the field of RF safety standards in the United States. State and local governments cannot legally establish or enforce RF emissions standards—whether more strict, more lenient, or the same as the FCC standards. The FCC does, however, permit the City to determine whether a proposed wireless project meets the federal safety standards found at 47 C.F.R. §§ 1.1307 *et seq.* (“**FCC Rules**”) and FCC Office of Engineering and Technology Bulletin 65 (“**OET 65**”) RF safety requirements.

Wireless antennas generally do not require an in-depth environmental analysis when virtually inaccessible to the general public. The FCC Rules “categorically exclude” wireless antennas for “cellular radiotelephone services” when mounted (1) on a structure constructed solely to support wireless antennas and (2) more than ten meters above ground.⁷

Here, the FCC Rules do not categorically exclude the antennas because Verizon proposes to mount them on an occupied structure, here a hotel building. Accordingly, an additional analysis is necessary to determine whether the proposed antennas will comply with the FCC Rules.

⁷ See 47 C.F.R. § 1.1307(b)(1).



Verizon submitted a Waterford Consultants *Radio Frequency Exposure Pre-Installation FCC Compliance Assessment* report dated August 25, 2014 ("**Waterford Report**"). The Waterford Report concludes that the proposed site will comply with the FCC Rules but only with recommended signage at the roof access point and at the antenna sector zones.

Based on the proposed antenna frequencies and maximum transmitter power reported in the Waterford report, for each of the three sectors will have a "controlled access zone" extending outwards approximately 42 feet from the face of the antennas at approximately the same height as the antennas. The antennas for the alpha sector is directed towards a parking lot over a lower roof, while the beta and gamma sectors are pointed over the existing building well above a level that can be accessed by a human, therefore no further analysis is necessary for signal emissions once they leave the rooftop area of the building.

The fact that a site creates a controlled access zone does not necessarily mean that it violates the FCC Rules. Rather, a controlled access zone means that the carrier must affirmatively restrict public access to that area so that members of the general population (including trespassers) cannot unknowingly enter and be exposed to radio emissions in excess of those allowed by the FCC.

Waterford has proposed radio frequency signage for all sectors, as well as a physical barrier at the alpha sector as shown on page 12 of the Waterford Report. We agree with Waterford's recommendations, and we offer some additional recommendations to enhance the value of the RF warning signage.

We recommend that the City require as conditions of approval, in addition to any other conditions imposed, the following:

1. Permittee shall install and at all times maintain in good condition a "Network Operations Center Information" sign at the access point(s) to the roof. Verizon shall install the sign(s) required under this condition so that a person may clearly see and understand the sign before he or she accesses the roof;
2. Permittee shall install and at all times maintain in good condition sign exclusionary barrier for alpha sector as described on page 12 of the Waterford Report.
3. Permittee shall install and at all times maintain in good condition an "RF Caution" sign on the physical barrier it installed for the alpha sector. Verizon shall install the sign required under this condition so that a person may clearly see and understand the sign as he or she approaches the physical barrier;
4. Permittee shall install and at all times maintain in good condition an "RF Notice" adjacent to the beta and gamma sectors but not in front of the antennas. Verizon shall install the signs required under this condition so that a person may clearly

see and understand the sign as he or she approaches those antenna sectors from the roof; and

5. Permittee shall ensure that all signage complies with FCC OET Bulletin 65 or ANSI C95.2 for color, symbol, and content conventions. All such signage shall at all times provide a working local or toll-free telephone number to its network operations center, and such telephone number shall be able to reach a live person who can exert transmitter power-down control over this site as required by the FCC.

If Verizon complies with the conditions described in this memorandum, and all “future antennas” are rejected, then the City will have no basis to deny or further condition the project on the basis of RF emissions. If, however, Verizon does propose twelve antennas, then Waterford should be directed to conduct a new report considering all of the proposed antennas to be installed at this site.

5. Conclusion

Subject to the proposed conditions in this memorandum, we recommend that the City process this project as a conditional use request.

/jlk

