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DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

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DATE: September 17, 2015

TO: Planning Commission

APPLICANTS: Jose Fulginiti  
18034 Ventura Boulevard, Suite 512  
Encino, CA 91316

CASE NOS.: CUP-01044-2014 and OAK-01101-2015

LOCATION: 28443 Foothill Drive (2055-019-027)

REQUEST: Request for a Conditional Use Permit to construct a 4,278 square-foot, two-story, single-family residence (including a 763 square-foot basement) with a 497 square-foot attached two-car garage, and a swimming pool and spa; a request for an Oak Tree Permit to encroach within the protected zone of one on-site oak tree for the proposed construction; and a request to make a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL DETERMINATION: Exempt from the California Environmental Quality Act (CEQA) per Section 15303 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Conditional Use Permit Case No. CUP-01044-2014 and Oak Tree Permit Case No. OAK-01101-2015, subject to conditions, based on the findings of the attached draft Resolution.

ZONING DESIGNATION: RV-OA-EQ (Very Low Density Residential-Old Agoura Design Overlay-Equestrian Overlay)

GENERAL PLAN DESIGNATION: RV (Very Low Density Residential)

## I. PROJECT BACKGROUND AND DESCRIPTION

The applicant/owner of a vacant parcel located at 28443 Foothill Drive, Jose Fulginiti, is requesting approval of a Conditional Use Permit (CUP) to construct a new 4,278 square-foot, two-story, single-family residence (includes a 763 square-foot basement) on the parcel with a 497 square-foot, attached two-car garage. The one-acre parcel is located in the Very Low Density Residential-Old Agoura Design-Equestrian Overlay (RV-OA-EQ) zoning districts. The project would encroach within the protected zone of one on-site oak tree for the proposed construction, which requires approval of an Oak Tree Permit.

The hillside parcel is located on the north side of Foothill Drive, and consists of southwest-facing slopes. The narrow, rectangular-shaped parcel rises approximately 126 feet in elevation from the average street elevation (1,000 feet) of Foothill Drive, to the average rear or north elevation (1,126 feet) of the lot, and has an average topographic slope of 26 percent. Existing single-family homes are on the adjacent properties located to the west, north and across the street to the south of the subject property. The adjacent property to the east of the lot is vacant.

New single-family homes are subject to review by the Planning Commission. Since the parcel has an average topographic slope that exceeds 10 percent (26 percent), the project is subject to the City Hillside Ordinance standards and, therefore, requires approval of a Conditional Use Permit application.

The proposed single-family residence is a permitted use in the Very Low Density Residential (RV) zone and would meet the required development standards relative to lot coverage, height and building setbacks. Listed below are the proposed development data pertaining to the project:

### Pertinent Data

	<u>Proposed</u>	<u>Allowed/ Required</u>
1. Lot Size:	1 acre (existing) (43,560 sq. ft.)	1 acre min. (43,560 sq. ft.)
2. Building Height:	35 ft.	35 ft. max.
3. Building Sizes:		
First Floor	1,805 sq. ft.	N/A
Second Floor	1,710 sq. ft.	N/A
Basement	<u>763 sq. ft.</u>	N/A
Total Habitable Area	4,278 sq. ft.	
Attached Garage	497 sq. ft.	N/A
Balcony (front)	261 sq. ft.	N/A
Entry Porch (front)	50 sq. ft.	N/A

Deck (above rear covered patio)	436 sq. ft.	N/A
Covered Patio (rear)	540 sq. ft.	N/A
Pool and Spa	400 sq. ft.	N/A
Covered Pool Patio	330 sq. ft.	N/A
4. Bldg. Lot Coverage:		
Residence	2,000 sq. ft.	
Porch	50 sq. ft.	
Covered Patios/Deck	540 sq. ft.	
Covered Pool Patio	330 sq. ft.	
Swimming Pool Area	<u>400 sq. ft.</u>	
Total	3,320 sq. ft. (7.6%)	Max. 25% (10,890 sq. ft.)
5. Building Setbacks from Property Lines:		
Front (South)	26 ft.	25 ft. min.
Rear (North)	487 ft.	25 ft. min.
Left Side (West)	12 ft.	12 ft. min.
Right Side (East)	12 ft.	12 ft. min.
6. No. of Oak Trees:		
On-Site	4 retained	N/A
7. Average Topographic Slope:	26%	N/A

## II. STAFF ANALYSIS

### Site Plan

The proposed residence, which would occupy 5.9 percent of the lot, is proposed to be situated at the lower, flatter, south portion of the parcel, thereby reducing the amount of grading of the site, while meeting or exceeding the minimum yard setback distances for the RV zone. The lot includes a proposed first-floor topographic elevation of 1,015 feet, which would be approximately 15 feet above Foothill Drive (1,000 feet) and a distance of 26 feet from the street. The driveway and garage are on the same level, parallel to Foothill Drive. The proposed 497 square-foot, attached two-car garage would be at a finish floor elevation of 1,006 feet, which would be approximately nine feet lower than the first floor level of the house, and approximately six feet above the street level of Foothill Drive, and is also a distance of 26 feet from the street. A staircase in the garage connects the garage to the interior first floor of the house. Also within the garage, a door directly connects the garage to the proposed 763 square-foot basement located at the same finished floor elevation of 1,006, which includes a playroom, laundry room, bedroom and bathroom. The applicant is also proposing a 540 square-foot covered patio/deck at the rear of the residence. The 400 square-foot swimming pool and spa are proposed approximately 19 feet (north) from the covered patio/deck and approximately nine feet east from the proposed 330 square-foot, free-standing covered pool patio. The 12-foot wide driveway access, located on the east side of the property, is provided from Foothill Drive. The Los

Angeles County Fire District has tentatively approved this site plan for the required access.

The footprint of the proposed residence, covered patios, porch, and swimming pool area totals 3,320 square feet, or 7.6 percent of the lot area. The Hillside Ordinance requires that at least 77.5 percent of the lot remain in undisturbed open space for parcels that have an average slope of 26-30 percent. Thus, the maximum amount of construction area must not exceed 22.5 percent of the lot. Currently, the project meets this requirement because 92.4 percent of the parcel, which has a 26 percent slope, would remain open space.

The Old Agoura Residential Design Guidelines recommend a maximum 5,271 square feet of floor area (12.1 percent) based on the size and topography of the lot. The applicant has proposed a floor area of 9.8 percent or 4,278 square feet of the lot. The 4,278 square feet is below the maximum recommended floor area of 5,271 square feet. The proposed residence is not the largest in the immediate neighborhood. Across Foothill Drive and to the east is a 4,848 square-foot, two-story, single-family residence on an acre parcel. Across Foothill to the south is a 5,207 square-foot, two-story, single-family residence on a half acre parcel. To the west of Foothill Drive is a 4,890 square-foot, two-story, single-family residence on a five acre parcel. Staff finds the proposed size of the applicant's residence would be consistent and slightly smaller than the most recently approved homes in the surrounding area.

The project was reviewed for compliance with the Equestrian Overlay District, which requires properties to accommodate for a potential horse keeping area of at least 1,500 square feet in size that could include a 144 square-foot covered stall with a corral and a 150 square-foot area for hay and tack storage. Furthermore, the location of the equestrian area must be accessible from the street for veterinary care and the delivery of supplies. The proposed site plan identifies a 1,500 square-foot horse keeping area located north of the proposed swimming pool, and includes a 500 square-foot area located to the east of the swimming pool, which would be able to accommodate horse facilities and meet the Old Agoura Design Overlay requirement for equestrian use of the property. The proposed horse keeping area would be accessed from the proposed on-site driveway via a 7.5-foot wide pathway.

### Architectural Design

The property is located within the Old Agoura Design Overlay District, which calls for the preservation of the semi-rural character of the community and promotion of the natural environment with the utilization of natural materials and earth-tone colors. The architectural style of the proposed residence is more contemporary than most homes in the immediate neighborhood. However, the applicant is proposing rural contemporary style architecture that includes earth-tone building materials of beige colored stucco exterior walls with a smooth finish, brown and green trim, exposed wood beams, stone and wood siding, stone veneer chimney, brown aluminum windows, aluminum color metal railing, and a grey colored metal roof. The entrance door to the residence would be solid wood with tempered glass pane. The roof is designed using multi-level roof lines. The proposed garage door would be dark brown in color and the driveway to access the

attached two-car garage would be semi-permeable interlocking pavers. The overall height of the proposed residence would be 35 feet, not exceeding the maximum height of 35 feet allowed for a residence in the RV zone. The proposed basement is not considered a story for height purposes because more than half of its height is below the average level of the adjoining ground. The City Architectural Review Panel (ARP) found the architectural style of the proposed residence to be in keeping with the Old Agoura Design Overlay requirements and the City Architectural Design Standards and Guidelines. The Old Agoura Homeowners Association has also reviewed the project. A copy of their letter is attached to the report for the Commission's review.

#### Engineering Department

The Engineering Department has reviewed the proposed grading plan and requires the applicant to install a rolled curb and widen the asphalt concrete pavement along the applicant's entire lot frontage on Foothill Drive. The project does not require an equestrian trail along the street frontage. Grading required for the proposed project includes 720 cubic yards of cut, 380 cubic yards of fill and 340 cubic yards of import to create the building pad elevations, access driveway, and useable yard areas. Proposed grading includes required retaining walls to support the driveway and pool area. The new, low retaining wall proposed along the easterly side of the driveway, extending toward the rear of the property, would begin with a height of one-half foot at the southerly end and end at a height of two feet. Half the length of the retaining wall would include a wood fence on top, not to exceed a total height of five feet. The retaining wall around the perimeter of the pool area is proposed at five to six feet high. A concrete block wall exists along the westerly side of the property that is to remain. The City's Geotechnical Consultant has reviewed the geotechnical reports prepared for this project and recommends that the project be approved from a geotechnical perspective at this planning stage.

Construction traffic and related vehicular routes would also be reviewed by the City Engineer prior to the issuance of a grading permit, with the intent to minimize impacts to the neighbors.

#### Oak Trees and Landscaping

There are three young multi-trunk Coast Live Oak trees (*Quercus agrifolia*) of protected size located on the site near the westerly property line. The trunk diameter of the trees at three-and-one-half feet above grade measure as follows (as shown on the landscape plan): Tree 90 – one two-inch diameter trunk and one-inch diameter trunk (three-inches total); Tree 91 – two two-inch diameter trunks (four-inches total); and Tree 92 – one five-inch diameter trunk and three four-inch diameter trunks (17-inches total). The current plans indicate that grading encroachment would be required within the protected zone of one on-site Coast Live Oak tree (*Quercus agrifolia*) located at the southwest boundary of the site in order to construct a five-foot fire access route. The work, if performed carefully using hand tools, as conditioned, would allow for preservation of the tree.

Since the topographic slope of the property exceeds 10 percent, the applicant was required to prepare a landscape plan, primarily for slope stability, for review. The City Landscape Consultant, who supports the preliminary landscape plan, but recommends the applicant submit final, detailed landscape and irrigation plans for review by the City Landscape Consultant and the Planning Director prior to building permit issuance. The final plans will be reviewed for slope stabilization and the incorporation of native, drought resistant plants.

#### Environmental Review

Staff has determined that the project has been determined to be Categorically Exempt from the California Environmental Quality Act per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence.

### **III. RECOMMENDATIONS**

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. CUP-01044-2014 and Oak Tree Permit Case No. OAK-01101-2015, subject to Conditions, based on the findings of the attached Draft Resolution.

### **IV. ATTACHMENTS**

- Conditional Use Permit Draft Resolution and Conditions
- Letter from Old Agoura Homeowners Association
- Colored elevations of the residence
- Vicinity map
- Reduced copies of project plans
- Photographs of applicant's lot

Case Planner: Renee Madrigal, Associate Planner

DRAFT RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-01044-2014 FOR THE CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE AT 28443 FOOTHILL DRIVE; An OAK TREE PERMIT CASE NO. OAK-01101-2015 TO ENCROACH WITHIN THE PROTECTED ZONE OF ONE ON-SITE OAK TREE FOR THE PROPOSED CONSTRUCTION; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Jose Fulginiti with respect to the real property located at 28443 Foothill Drive (Assessor's Parcel Number 2055-019-027), requesting the approval of a Conditional Use Permit (Case No. CUP-01044-2014) to construct a 4,278 square-foot, two-story, single-family residence (includes a 763 square-foot basement) with a 497 square-foot attached two-car garage, and a swimming pool and spa, and an Oak Tree Permit (Case No. OAK-01015-2014) to encroach within the protected zone of one on-site oak tree for the proposed construction. A public hearing was duly held by the Planning Commission on September 17, 2015, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California; and that notice of time, date and place and purpose of the aforesaid was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to the Agoura Hills Municipal Code Section 9673.2.E, that:

A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The proposed project is located within the Very Low Density Residential-Old Agoura Design-Equestrian Overlay (RV-OA-EQ) zoning districts, which allow for the development of single-family residences. The City's minimum development standards have been met for the proposed residence with regard to lot coverage, building height, and building setbacks from the property lines.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The proposed building design and building materials of the residence that include stucco exterior walls with brown and green trim, stone and wood siding, exposed

wood beams, metal railing, and a metal roof, are compatible with the neighboring structures and the topography of the property. The residence is to be located in the lower, flatter portion of a sloped lot to minimize grading and to reduce visual impacts as viewed from Foothill Road. The project is in compliance with the City's Architectural Design Guidelines and standards of the Old Agoura Design Overlay District.

C. The proposed use, as conditioned, and the conditions under which the project will be operated or maintained will not be detrimental to the public health, safety or welfare, in that the proposed use will ensure adequate light, air and privacy, and open space to surrounding properties. The proposed residence is situated in the lower, flatter portion of the on-site hillside slope, which will preserve the views and privacy of the surrounding properties. The project complies with the maximum allowable building height limitations of hillside properties. Geological, geotechnical, and drainage studies, as well as preliminary landscape plans, have been provided and approved by the City's Consultants. Vehicular access to the property will be provided via Foothill Drive. The applicant is required to construct the project in full compliance with the City's Building Code.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. The project meets the development standards of the underlying zone relative to the required lot coverage, building height, and building setbacks. The incorporation of permeable or semi-permeable driveway and hardscape materials will reduce runoff.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community in that the project will meet the minimum yard setback requirements for the RV zone. The residence will be placed an appropriate distance from Foothill Drive, to preserve public views. The distance to the closest home is approximately 33 feet to the west.

F. The proposed use, as conditioned, is consistent with the City's General Plan. The proposed residence is located and designed to incorporate the existing terrain into the site plan to the maximum extent possible to minimize grading and to preserve view sheds, as called for in Policy Section LU-8.3 of the General Plan. The difference in elevation from the street (Foothill Drive) to the first floor elevation is approximately 15 feet.

Section 4. The Planning Commission finds, pursuant to Section 9652.15.A of the Agoura Hills Municipal Code, which establishes special regulations for hillside development areas, that:

A. The proposed project is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood mud flow, erosion hazards or other hazards. A geotechnical report has been approved by the City Geological Consultant, which is recommended for approval at a planning feasibility



stage. Final geotechnical reports are required for review by the City prior to grading permit issuance.

B. The proposed project is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project does not protrude above protected ridgelines and will not significantly block neighbors' views.

C. The proposed project can be provided with essential public services and is consistent with the objectives and policies of the general plan. All utility services will be brought to the parcel without interference to the existing infrastructure.

D. The proposed development will complement the community character and benefit current and future community residents. The proposed size of the house is consistent with neighboring homes.

Section 5. The project is a request for one single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) and is not subject to a negative declaration or environmental impact report.

Section 6. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. CUP-01044-2014 and Oak Tree Permit Case No. OAK-01101-2015, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 17th day of September, 2015, by the following vote to wit:

AYES: (0)  
NOES: (0)  
ABSENT: (0)  
ABSTAIN: (0)

\_\_\_\_\_  
Linda Northrup, Chairperson

ATTEST:

\_\_\_\_\_  
Doug Hooper, Secretary

**CONDITIONS OF APPROVAL**  
(Case Nos. CUP-01044-2014 and OAK-01101-2015)

**STANDARD CONDITIONS**

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicants have agreed in writing that they are aware of, and accept, all Conditions of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plans, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all Conditions of Approval have been complied with as determined by the Director of Planning.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless this permit is used within two (2) years from the date of City approval, Conditional Use Permit Case No. CUP-01044-2014 and Oak Tree Permit Case No. OAK-01101-2015 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.36 per square foot for residential construction.
15. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
16. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Planning Director agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning.
17. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
18. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

#### BUILDING AND SAFETY DEPARTMENT CONDITIONS

19. All exterior materials used for eaves, sidings, porch, patio, decks, carport and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).
20. A two percent (2%) slope away from the structure for drainage (on the first 5 feet) all around the new structure(s) shall be provided.
21. A soils report is required to be submitted to the Building and Safety Department for this project.
22. The applicant shall note on the final plans that all new or replaced windows will be tempered on at least one side of the dual pane, or a 20 minimum rated window or glass blocks per Section 704A.3.2.2 of the 2010 California Building Code.

23. This project is subject to the 2013 California Building, Mechanical, Plumbing, Electrical, and Energy Codes.
24. As part of the permitting process and prior to building permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Plumbing, Energy Plans, plans shall be submitted to the Building and Safety Department for plan review and approval.
25. Per AQMD Rule 445 only fireplaces fueled by gas (such as gas logs) may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted.
26. Fire Sprinklers will be required for this project per Section 903.2, Article VIII of the Agoura Hills Municipal Code.
27. Handrails shall be required for exterior stairs with four (4) or more risers (2013 California Residential Code Section 311.7.8).
28. Hillside setbacks shall be met per Agoura Hills Municipal Code Section 1805.3.2.
29. Los Angeles County Fire Department review and approval will be required for all new structures.
30. Pool fencing shall be provided. If utilizing the perimeter fencing for this purpose, the fence must meet the pool fencing requirement for the height, type, latch and swing of door, etc.

#### ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

31. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
32. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at [www.ci.agoura-hills.ca.us](http://www.ci.agoura-hills.ca.us).
33. Applicant shall pay all applicable Transportation Impact Fees (TIF) to the Building and Safety Department prior to the issuance of the grading permit.
34. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements, monuments are damaged or destroyed, the applicant shall retain a licensed

land surveyor or civil engineer to reset those monuments per City's standards and file the necessary information with the County Recorder's office.

35. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals, water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
36. The Grading Plan shall show locations of all oak trees, if any, within the vicinity of the site. Applicants shall adhere to all requirements pertaining to oak trees as outlined in the City's Oak Tree Consultant's conditions of approval, if any.
37. Prior to permitting, the applicants shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
38. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
39. Building Permits shall not be issued until the applicant has obtained a permit from Las Virgenes Municipal Water District for water and sewer connection.
40. Prior to permitting, the applicant shall provide a title report not older than 30 days.
41. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the City Engineering Department at (818) 597-7322 for approved City certification forms.
42. Prior to permitting, the applicant shall notify in writing the owner(s) of 28445 Foothill Drive regarding the existing improvements (wall, fence, drainage swale, etc.) that will remain along the westerly property line. Said written notification shall mention who owns and who will be responsible for the maintenance of these improvements in perpetuity.
43. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The applicant shall widen the asphalt concrete and install a rolled curb along the property frontage, install a driveway approach, and extend the sewer main line to the easterly property line & construct a lateral for connection, and all water appurtenances shall be per LVMWD standards.
44. The following existing street being cut for new services or being finished with curb and gutter may require an asphalt concrete overlay: Foothill Drive along the property frontage.

45. This property is within the Las Virgenes Municipal Water District (LVMWD) service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
46. No sewer line is available for direct connection. The closest line is approximately 70 feet away. Applicant's Engineer shall prepare an improvement plan for a sewer main extension to provide 0.4 percent minimum grade.
47. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
48. Applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual, is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
49. This project shall be subject to the Low Impact Development (LID) requirements of Chapter 5 of Article V of the Agoura Hills Municipal Code.
50. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
  - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
  - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
  - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
  - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
51. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.

52. All remaining fees/ deposits required by the Engineering Department must be paid in full prior to issuance of grading permit.
53. All requirements including construction of improvements covered in condition number 42 must be completed to the satisfaction of the City Engineer.
54. The applicants' Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City for City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (as-built) Drawings, satisfactory to the City, are submitted.
55. The applicants shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: [www.agoura-hills.ca.us](http://www.agoura-hills.ca.us).
56. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
57. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

#### GEOTECHNICAL CONDITIONS

58. The applicant shall comply with all the City Geotechnical Consultant's (GeoDynamics, Inc.) Conditions of Approval letter dated May 7, 2015.

#### OAK TREE CONDITIONS

59. No oak trees shall be removed as a result of the proposed project and all oak trees located on the property shall be preserved in perpetuity.
60. All new subsurface ground disturbance that will occur within the protective zone of an oak tree shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant. If vegetation clearing or grading is not feasible within the protective zone with the use of hand tools, mechanical equipment may be allowed so long as a certified arborist is present to ensure that no impacts occur to the oak tree.
61. Prior to the start of any work or mobilization at the site, protective fencing shall be installed. Oak trees shall be fenced at the approved work limits, in accordance with Article IX, Appendix A, Section V.C.1.1. The applicant or his oak tree consultant shall consult the

City Oak Tree Consultant to determine the exact fencing configuration and appropriate fencing material.

62. The applicant shall provide a minimum of 48 hours notice to the City Oak Tree Consultant prior to the start of approved work within the protected zone of any oak tree.
63. No grading, scarifying or other soil disturbance shall be permitted within the portion of a protected zone of any oak tree except as specifically required to complete the approved scope of work and in accordance with this oak tree permit.
64. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
65. No irrigation or planting shall be installed within the dripline of any existing oak tree unless specifically approved by the City Oak Tree Consultant and the Planning Director.
66. Prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
67. No pruning of live wood of an oak tree shall be permitted unless specifically authorized by the City Oak Tree Consultant and/or following an approved oak tree permit. Any authorized pruning shall be performed by a qualified arborist under the direct observation of the applicant's oak tree consultant. All pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.
68. No herbicides shall be used within 100 feet of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
69. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of an oak tree within five working days of the completion of said work. The letter(s) shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

#### LANDSCAPING CONDITION

70. Before the City accepts the landscape as final and complete, the project landscape architect shall inspect and certify that the landscape has been installed as per the City approved plans.



#### FIRE DEPARTMENT CONDITIONS

71. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a building permit.

#### SOLID WASTE MANAGEMENT STANDARD CONDITIONS

72. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
73. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
74. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

#### SPECIAL CONDITIONS

75. A pre-construction conference shall be held prior to the issuance of a grading permit, with all construction personnel involved with the grading operations.

END

**Old Agoura Home Owners Association  
Planning and Zoning Committee**

July 27, 2015

Attn: City of Agoura Hills Planning Dept.

Re: Foothill Dr. Lot 4 of block 7, Tract No. 84- APN 2055-0-9-027

The Planning and zoning committee, from the Old Agoura Home Owners Association has visited the subject site, and reviewed the plans by Aude-Mar Inc. for Toba Properties LLC. (No dates or revisions at this time on the plans)

The proposed project consist of a new house, which stated, will be under the maximum square footage, height and lot coverage allowed. The plans show, a proposed pool, deck being located north of the proposed residence.

The contemporary design of this house with the stone, wood beams, articulation and design elements are architecturally nicely done. All the elevations have nice articulation and design elements. The house has been designed to work well with the sloping lot. The colors of the house appear to be warm and consistent with the natural environment.

Before we can recommend approval, we would like to see the following adjustments made as stated in our previous comments dated 10/15/2015.

- 1- Plans that shows reasonable access will be provided for equestrian use. We suggest, building the north south facing retaining (in the back patio area) wall on the east side of the property, at least 7.6' west of the property line, (align with the lower wall above the driveway).
- 2- Provide 1,500 ft. horse keeping area above the pool area and deck.

Thank you for the opportunity to comment on this project. Please feel free to call if the Planning commission, or the applicant has any questions. We can be reached at 818-599-6842.

Thank you.

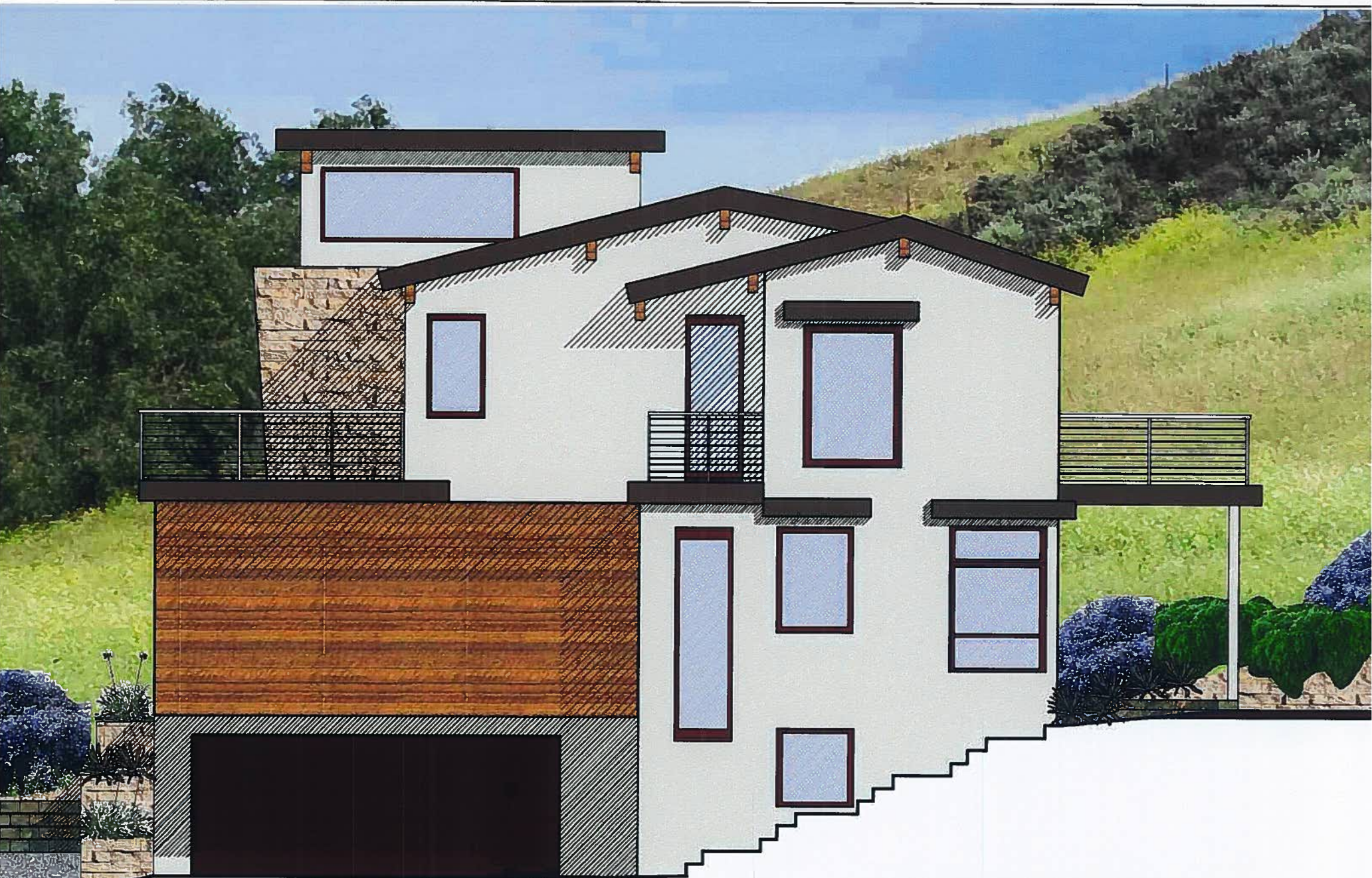
DANIEL FARKASH

Phil Ramuno  
Daniel Farkash  
Mike Colabella





SOUTH ELEVATION



# EAST ELEVATION

SCALE: 1:80



# NORTH ELEVATION

SCALE: 1:80



# WEST ELEVATION

SCALE: 1:80



**Conditional Use Permit Case No. CUP-01044-2014 and  
Oak Tree Permit Case No. OAK-01101-2015 (Applicant: Fulginiti)**



# New Single Family Residence 28443 Foothill Dr., Agoura Hills, CA 91301

**PROPERTY LEGAL DESCRIPTION**

Lot 4 of Block 7 of Tract No. Eighty Four Hundred Fifty One, County of Los Angeles, State of California, as per Map Recorded in Book 104, pages 79 to 90 Inclusive of Maps, in the office of the County recorder of Said County.

APN # 2055-019-027

**OWNER:**

**TOBA PROPERTIES LLC**  
18034 Ventura Blvd. ste 512  
Encino, CA 91316  
818-621-8075

**ARCHITECT:**

**SANDRA MARTIN, AIA**  
18034 Ventura Blvd. ste 512  
Encino CA 91356  
Ph# 818-344-7565

**STRUCTURAL ENGINEER:**

**JOHN HALMINGTON**  
P.O.Box 866  
Hawthorn, CA 90251  
Ph# 310-871-2582

**GEOLOGIST/ SOIL ENGINEER:**

**Richard Gladson**  
Senior Geologist  
GeoSystems, Inc.  
1545 Victory Blvd, 2nd Floor  
Glendale , CA 91201-9240

**SCOPE OF WORK:**

**NEW 2 STORY SINGLE FAMILY RESIDENCE**  
6 BEDROOMS, 6 1/2 BATHROOMS  
WITH ATTACHED 2-CAR GARAGE

**PROJECT INFORMATION**

OCCUPANCY: R-3, U  
ZONE: RV  
CONSTRUCTION TYPE: V-B  
NUMBER OF STORY: 2  
FIRE ZONE: VHFHSZ  
FIRE SPRINKLERS REQUIRED

**LOT SIZE:** 43,560 SQ. FT.  
**LOT AREA FOR SLOPE CALC.** 20,000 SQ. FT.  
**RESERVE FOR OPEN AREA** 23,560 SQ. FT.

**MAXIMUM ALLOWABLE FAR** 3,520 Sq. Ft.  
(See Slope Analysis)

**FLOOR AREA ANALYSIS**

-FIRST FLOOR AREA 1,805 SQ. FT.  
-SECOND FLOOR AREA 1,710 SQ. FT.

**TOTAL FLOOR AREA** 3,515 Sq. Ft.

-BASEMENT 763 SQ. FT.

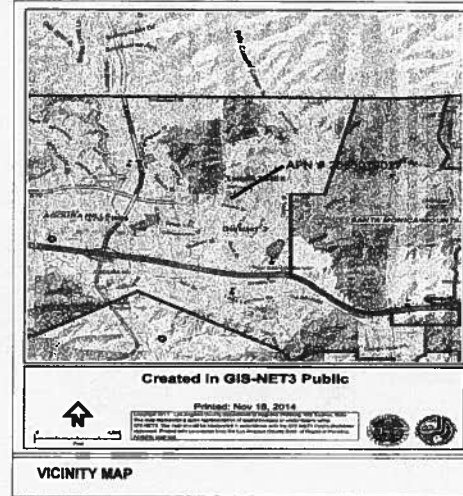
**TOTAL HABITABLE AREA** 4,278 SQ. FT.

UPPER DECK (BACK) 436.00 Sq. Ft.  
BALCONY ( FRONT) 261.00 Sq. Ft.  
COVERED PATIO 540.00 Sq. Ft.  
COVERED POOL PATIO 330.00 Sq. Ft.  
PORCH 50.00 Sq. Ft.  
POOL AND SPA 400.00 Sq. Ft.  
GARAGE AREA 497.00 Sq. Ft.

**BUILDING FOOTPRINT AREA** 2,000.00 Sq. Ft.  
(Includes Garage)  
COVERED PATIO AND PORCH 920.00 Sq. Ft.  
POOL AREA 400.00 Sq. Ft.  
**TOTAL IMPERVIOUS AREA** 3,320.00 Sq. Ft.

**LOT COVERAGE** 7.6 %

**MAX. BUILDING HEIGHT** 35' FT.



**DRAWING INDEX**

A-1	COVER SHEET
A-2	SITE PLAN
A-3	FIRST FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	BASEMENT- W/D SCHEDULES
A-6	ROOF PLAN
A-7	ELEVATIONS
A-8	ELEVATIONS
A-9	SECTIONS
C-1	SURVEY
C-2	SLOPE ANALYSIS
G-1 / G-2	GRADING PLANS
L-1/ L-3	LANDSCAPE PLANS

OWNER

**TOBA PROPERTIES**  
18034 Ventura Blvd Ste 512  
Encino, CA 91316  
818-344-7565

PROJECT NO. 18034 VENTURA BLVD STE 512

DATE 02/20/15

ARCHITECT Sandra Martin

OWNER TOBA PROPERTIES

PROJECT 18034 VENTURA BLVD STE 512

ARCHITECT Audio-Hier, Inc

OWNER 18034 Ventura Blvd Ste 512

ENCINO CA 91316

PH # 818-344-7565

PROJECT NO. 28443 FOOTHILL DR

2-story 5-bedrooms new Residence

with attached 2-car garage

DATE 02/20/15

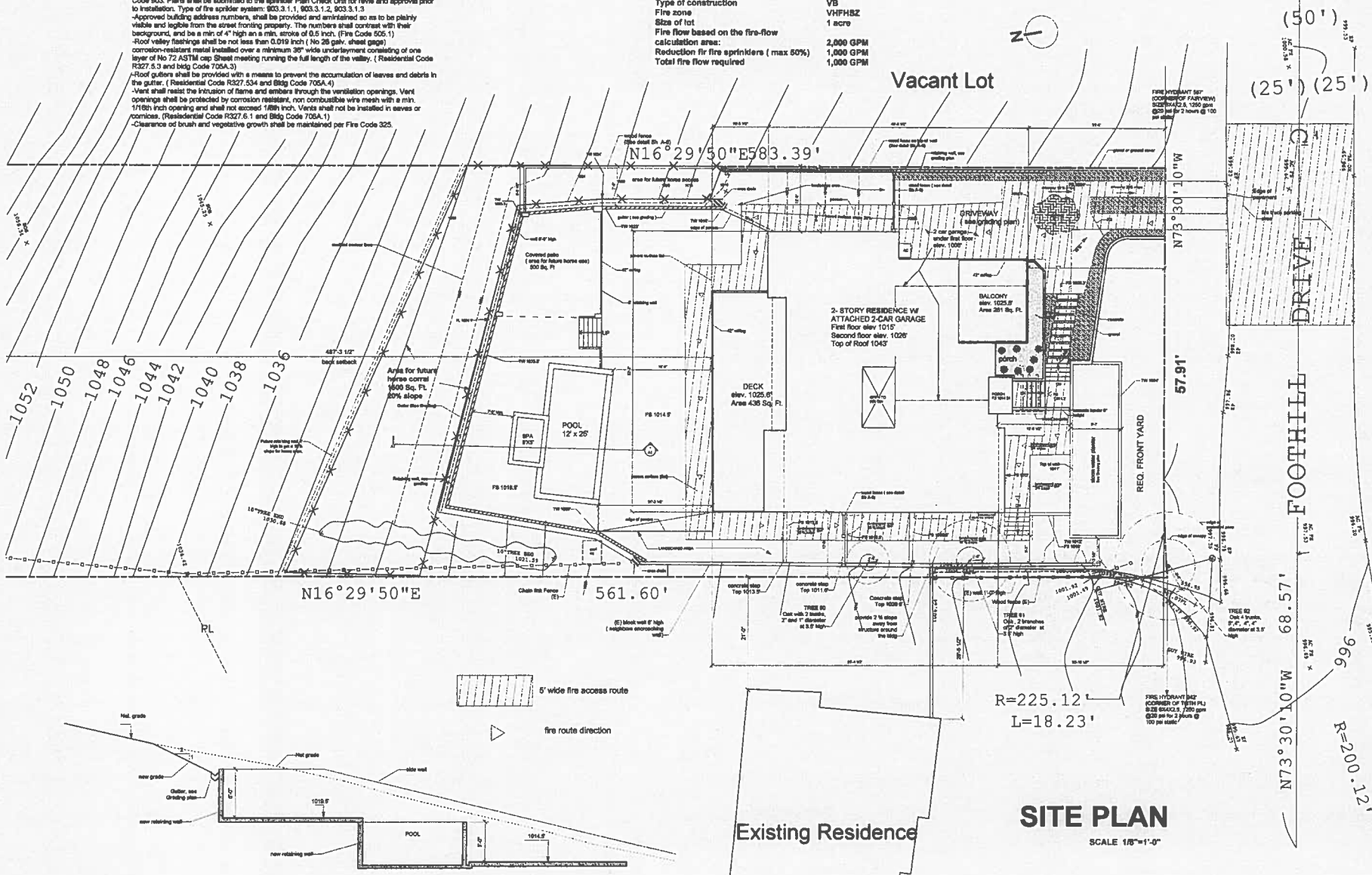
PROJECT A-1

COVER SHEET

**Fire Notes:**

- Provide an approved automatic fire sprinkler system as set forth by Bldg Code 903 and Fire Code 903. Plans shall be submitted to the regular Plan Check Unit for review and approval prior to installation. Type of fire sprinkler system: 903.3.1.1, 903.3.1.2, 903.3.1.3
- Approved building address numbers, shall be provided and unaministered so as to be plainly visible and legible from the street fronting property. The numbers shall contrast with their background, and be a min of 4" high on a min. stroke of 0.5 inch. (Fire Code 505.1)
- Roof valley fastenings shall be not less than 0.019 inch ( No 26 gage, sheet gage)
- Corrosion-resistant metal installed over a minimum 3/8" wide underlayment consisting of one layer of No 72 ASTM cap sheet meeting running the full length of the valley. ( Residential Code R327.5.0 and bldg Code 705A.3)
- Roof gutters shall be provided with a means to prevent the accumulation of leaves and debris in the gutter. ( Residential Code R327.5.34 and Bldg Code 705A.4)
- Vents shall resist the intrusion of flame and embers through the ventilation openings. Vent openings shall be protected by corrosion resistant, non combustible wire mesh with a min. 1/16th inch opening and shall not exceed 1/8th inch. Vents shall not be installed in eaves or cornices. (Residential Code R327.6.1 and Bldg Code 705A.1)
- Clearance of brush and vegetative growth shall be maintained per Fire Code 325.

Type of construction VB  
 Fire zone VHFHBSZ  
 Size of lot 1 acre  
 Fire flow based on the fire-flow calculation area:  
 Reduction fir fire sprinklers ( max 50%) 2,000 GPM  
 Total fire flow required 1,000 GPM



SECTION 1

**SITE PLAN**  
 SCALE 1/8"=1'-0"

OWNER:  
**TOBA PROPERTIES**  
 18034 Ventura Blvd ste 512  
 Encino, CA 91316  
 818-344-7565



Project No.	
Date for Review	
Project Name	
Location	
Sheet No.	B272013
Scale	
Checked By	
Drawn By	

Author:  
**Aude-Mar Inc**  
 18034 Ventura Blvd Ste 512  
 Encino CA 91316  
 PH # 818-344-7565

Project:  
**28443 FOOTHILL DR.**  
 2-story 2-bathrooms new Residence with attached 2-car garage

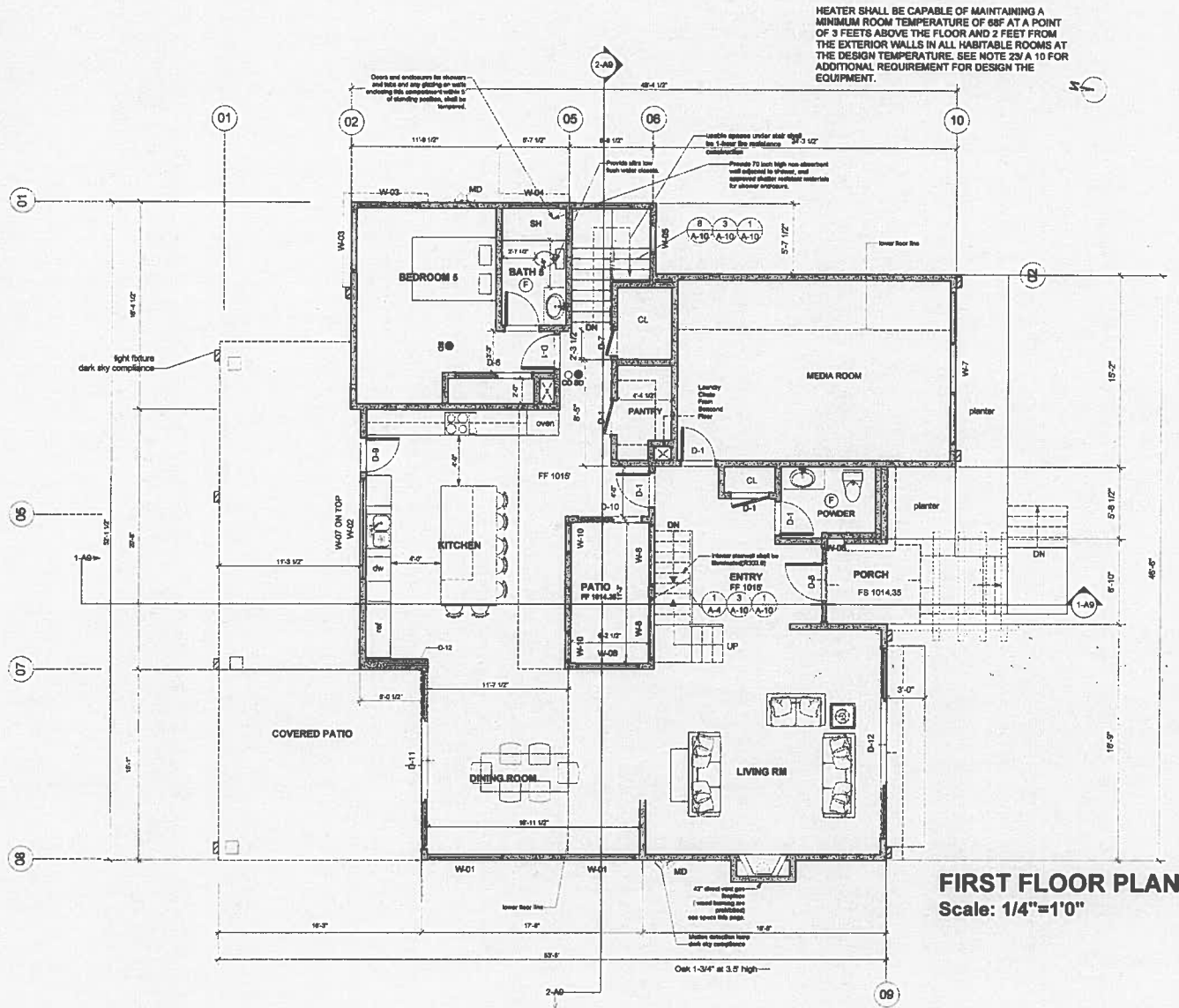
**SITE PLAN**

**SLOVT-30/35/40/45 SERIES**

**BIFFET WEST FIREPLACE SPECIFICATIONS**

Model No.	Height	Depth	Weight	Clearance
30	30"	30"	150 lbs	18" top, 6" sides
35	35"	35"	180 lbs	18" top, 6" sides
40	40"	40"	220 lbs	18" top, 6" sides
45	45"	45"	280 lbs	18" top, 6" sides

**SUPERIOR**



**FIRST FLOOR PLAN**  
Scale: 1/4"=1'0"

OWNER  
**TOBA PROPERTIES**  
18034 Ventura Blvd site 512  
Encino, CA 91316  
818-344-7565

ARCHITECT  
**SANDRA ORNELA**  
REGISTERED ARCHITECT  
C 32816

DATE  
10/27/2018

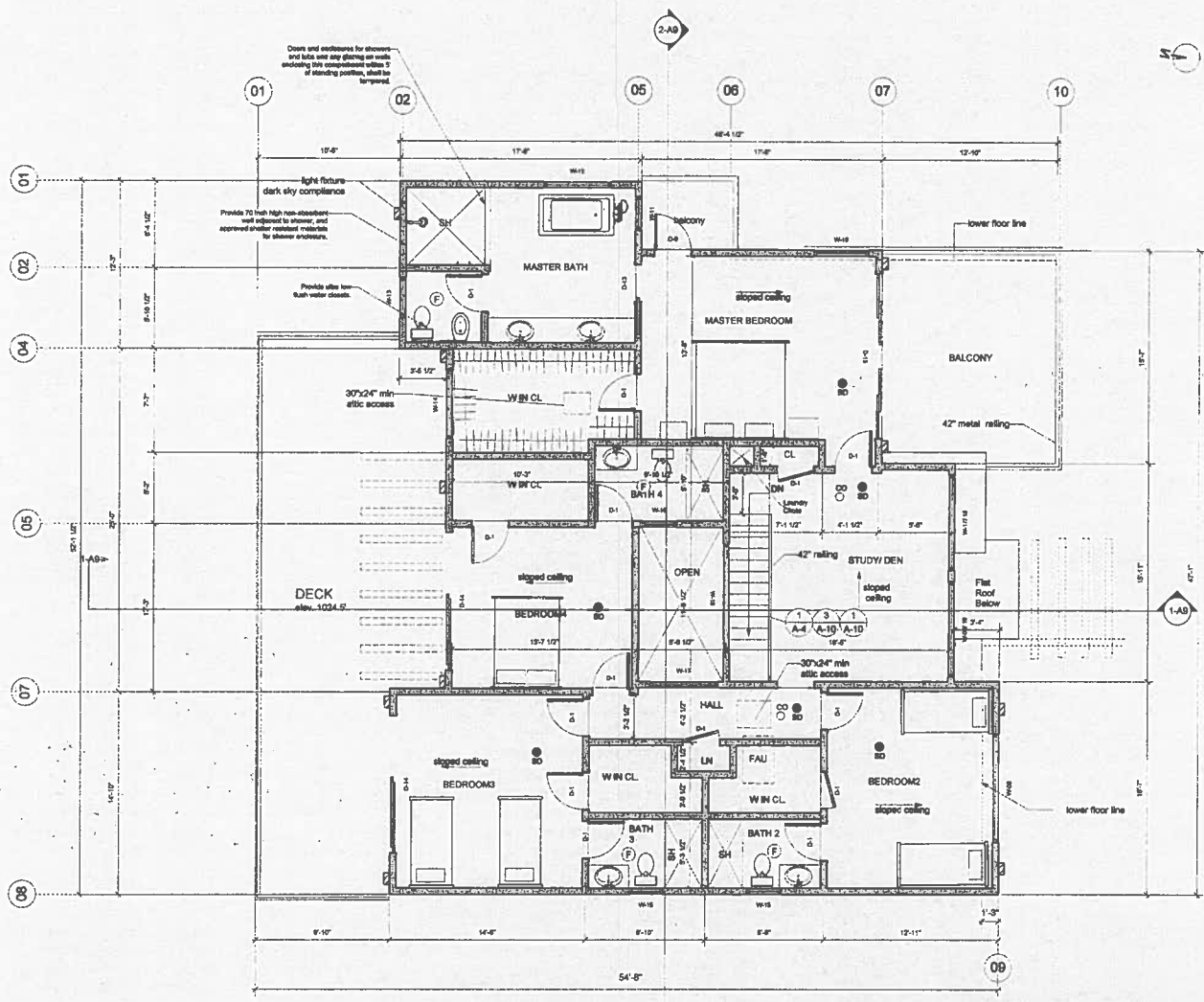
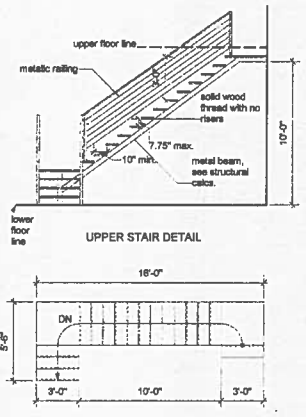
PROJECT  
18034 Ventura Blvd Site 512

PHASE  
FIRST FLOOR PLAN

20443 FOOTHILL DR.  
Encino, CA 91316  
with attached 2-car garage

**FIRST FLOOR PLAN**

A-3



(F) FAN TO BE ENERGY STAR COMPLIANCE AND CONTROLLED BY HUMIDISTAT

**SECOND FLOOR PLAN**  
 Scale: 1/4"=1'0"

OWNER:  
**TOBA PROPERTIES**  
 18034 Ventura Blvd Ste 512  
 Encino, CA 91316  
 818-344-7565



Prepared by:  
**Aude-Mar, Inc**  
 18034 Ventura Blvd Ste 512  
 Encino, CA 91316  
 PH # 818-344-7565

Project No:  
 28443 FOOTHILL DR.  
 2-story 5-bedrooms town Residence  
 with attached 2-car garage

**SECOND FLOOR PLAN**

Start	Width	Height	Location	Door Operation	Style	Notes / materials
1	2'-4"	6'-4"	entry	Swing Single	None	solid
2	2'-4"	6'-4"	garage	Swing Single	None	solid-1 for fire resistance/ self closing
3	16'-00"	6'-4"	garage	Overhead	None	overhead aluminum
4	6'-0"	6'-4"	dry room	Sliding Single	None	solid glass lites, exterior
5	2'-4"	6'-4"	closet	Swing Single	None	solid
6	3'-4"	6'-4"	closet	Sliding	None	solid
7	2'-4"	6'-4"	closet	Swing Single	None	solid
8	6'-4"	6'-4"	entry	Swing Single	None	solid
9	2'-4"	6'-4"	bathroom	Swing Single	None	solid glass lites, exterior
10	2'-4"	7'-4"	master bath	Sliding	None	solid glass lites, exterior/ or window on top
11	14'-0"	7'-4"	patio	Sliding	None	solid glass lites, exterior/ or window on top
12	13'-0"	7'-4"	patio	Sliding	None	solid glass lites, exterior/ or window on top
13	2'-4"	6'-4"	master bath	Swing Single	None	solid
14	16'-4"	7'-4"	patio	Sliding	None	solid glass lites, exterior/ or window on top
15	13'-0"	7'-4"	patio	Sliding	None	solid glass lites, exterior/ or window on top

Start	Qty	Width	Height	Location	Notes	Glass
1	2	8'-0"	8'-0"	Casement	FD	tempered bottle
2	3	8'-0"	8'-0"	Casement	FD	tempered bottle
3	2	5'-0"	8'-0"	Casement	FD	tempered bottle
4	1	4'-0"	4'-0"	Casement	FD	tempered bottle
5	3	3'-0"	12'-0"	FD	NO	tempered bottle
6	1	1'-0"	12'-0"	FD/CASING	NO	tempered bottle
7	1	12'-0"	1'-0"	FD	NO	tempered bottle
8	3	5'-0"	8'-0"	FD	NO	tempered bottle
9	1	2'-0"	8'-0"	CASING	NO	tempered bottle
10	2	2'-0"	8'-0"	FD	NO	tempered bottle
11	1	2'-0"	6'-0"	FD	NO	tempered bottle
12	1	3'-0"	8'-0"	Casement	NO	tempered bottle
13	1	2'-0"	7'-0"	Casement	NO	tempered bottle
14	1	8'-0"	1'-0"	FD	NO	tempered bottle
15	2	2'-0"	4'-0"	Casement	NO	tempered bottle
16	1	3'-0"	8'-0"	FD	NO	tempered bottle
17	1	2'-0" TO 2'-4"	8'-0"	FD/IRREGULAR	NO	tempered bottle
18	1	SEE DETAIL	SEE DETAIL	FD/IRREGULAR	NO	tempered bottle
19	1	8'-0"	2'-0" TO 4'-0"	FD/IRREGULAR	NO	tempered bottle
20	1	5'-0"	5'-0"	Casement	YES	tempered
21	1	4'-0"	4'-0"	Casement	YES	tempered
22	1	18'-0"	2'-0"	FD	NO	tempered
23	1	5'-0"	3'-0"	FD	NO	tempered bottle

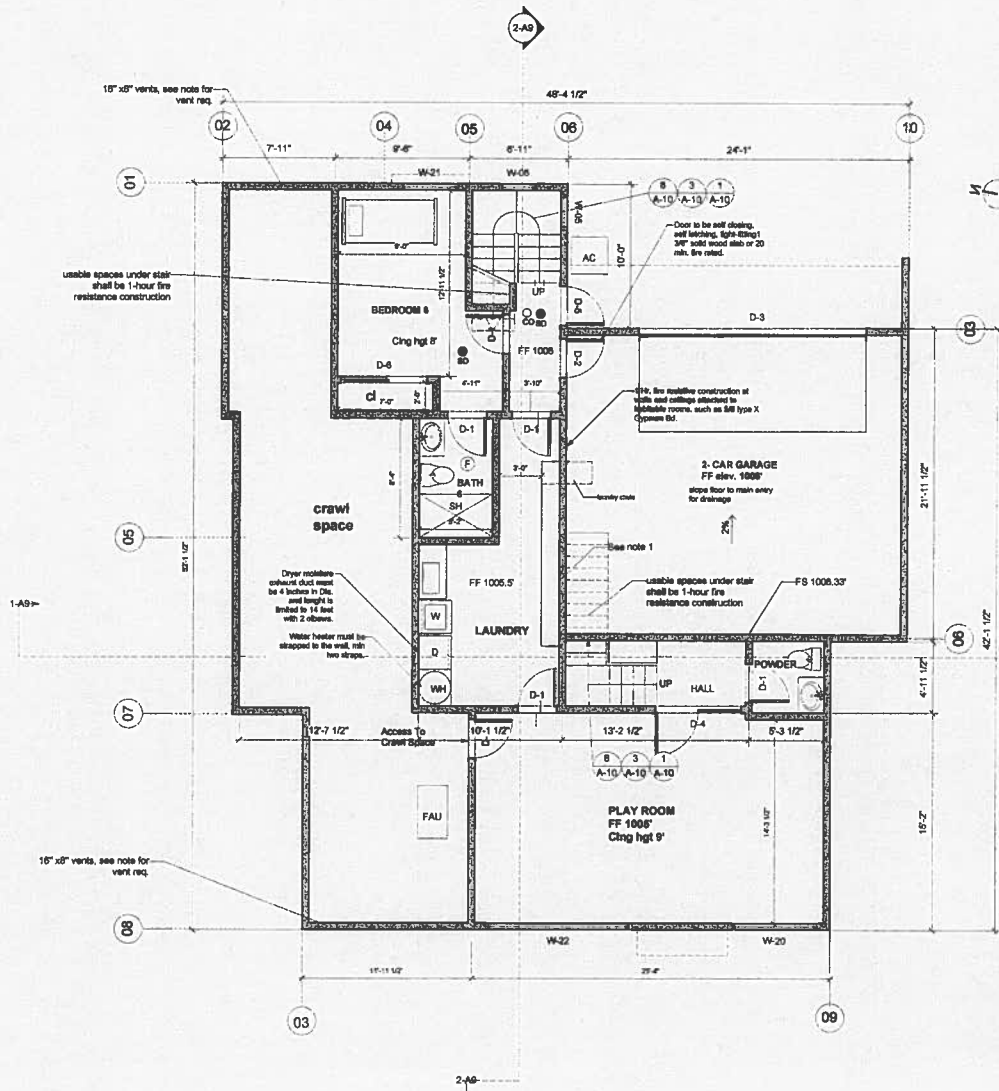
SEE DETAIL AT A-5 FOR IRREGULAR WINDOWS.

ALL WINDOWS AND GLASS DOORS ARE DOUBLE PANE WITH AT LEAST ONE OF THE GLASS TEMPERED

EXTERIOR MATERIALS SCHEDULE

OBJECT	MATERIAL	COLOR
WELLS	STUCCO, SAND FINISH	COLOR OF R-700 WELLS
NON-GLASS	REFLECTIVE METAL FLAKE DOUBLE FLAKE, NON GLASS, NON REFLECTIVE GLASS	COLOR OF GRANITE TILES
ENTRANCE DOOR	ALUMINUM VENTILATOR DOUBLE FLAKE, DOUBLE PANE	NON-REFLECTIVE
WHTO DOORS	ALUMINUM DOUBLE FLAKE, DOUBLE PANE, DOUBLE FLAKE, NON REFLECTIVE GLASS	NON-REFLECTIVE GRANITE TONER
SCREEN DOOR	WELLS, FLAKE	NON-REFLECTIVE
SCREEN FLOOR	WELLS, FLAKE	NON-REFLECTIVE
POURING FLOOR	WELLS, FLAKE	NON-REFLECTIVE
SCREENING	REFLECTIVE METAL FLAKE	NON-REFLECTIVE
GLASS COMPANION	STUCCO, SAND FINISH	COLOR OF GRANITE TILES
SCREEN	REFLECTIVE METAL FLAKE	COLOR OF GRANITE TILES
EXTERIOR LIGHTS	STUCCO, SAND FINISH, GRANITE TILES, GRANITE TILES, GRANITE TILES, GRANITE TILES	COLOR OF GRANITE TILES

NOTE: ALL EXTERIOR LIGHTS HAVE TO BE DARK COY COMPLIANCE, 90 WATTS AND 800 LUMENS MAX.



Note 1  
Ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 36 gage sheet steel or other approved material and there shall be no openings from the ducts into the garage (R302.6.2).

F FAN TO BE ENERGY STAR COMPLIANCE AND CONTROLLED BY HUMIDISTAT

Total basement perimeter 178' Ln. Ft.  
40% of 178' = 70 Ln. Ft.  
walls exposed to lightwells = 43 Ln. Ft.

Underfloor Ventilation required:  
Total crawl space 530 Sq. Ft.  
Required vent area= 528.8 Sq. Ft.  
provide 6 16"x8" vents (net vent area 96')  
total net area provided: 576 Sq. Ft.

VENT NOTE  
Vent shall resist the intrusion of flame and embers through the ventilation openings. Vent openings shall be protected by corrosion resistant, non combustible wire mesh with a min. 1/16th inch opening and shall not exceed 1/8th inch. Vents shall not be installed in eaves or cornices. (Residential Code R327.6.1 and Bldg Code 706A.1)

# BASEMENT PLAN

Scale: 1/4"=1'0"

TOBA PROPERTIES  
18034 Ventura Blvd Ste 512  
Encino, CA 91316  
818-344-7565

PROJECT NO:  
DATE:

APPROVED ARCHITECT:  
STEPHAN D'AMICO  
REGISTERED ARCHITECT  
STATE OF CALIFORNIA  
C 32215

OWNER:  
Aude-Mar, Inc.  
18034 Ventura Blvd Ste 512  
Encino CA 91316  
PH # 818-344-7565

DATE: 9/27/2016

PROJECT NO: 28443 FOOTHILLDR.  
2-story 3-bedrooms town Residence  
with attached 2-car garage

PROJECT TITLE: BASEMENT PLAN

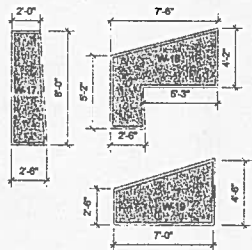
SCALE: 1/4"=1'0"

Total Attic space is 652 Sq. Ft.  
divided into two unconnected areas  
401 Sq. Ft and 251 Sq. Ft.

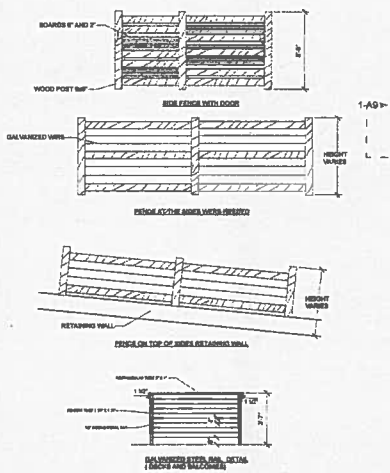
**Fire Notes:**

- Roof valley flashings shall be not less than 0.019 inch (No 26 galv. sheet gage) corrosion-resistant metal installed over a minimum 3/8" wide underlayment consisting of one layer of No 72 ASTM cap sheet meeting running the full length of the valley. ( Residential Code R327.5.3 and Bldg Code 705A.3)
- Roof gutters shall be provided with a means to prevent the accumulation of leaves and debris in the gutter. ( Residential Code R327.5.34 and Bldg Code 705A.4)
- Vents shall resist the intrusion of flame and embers through the ventilation openings. Vent openings shall be protected by corrosion resistant, non combustible wire mesh with a min. 1/16th inch opening and shall not exceed 1/8th inch. Vents shall not be installed in eaves or cornices (Residential Code R327.6.1 and Bldg Code 705A.1)

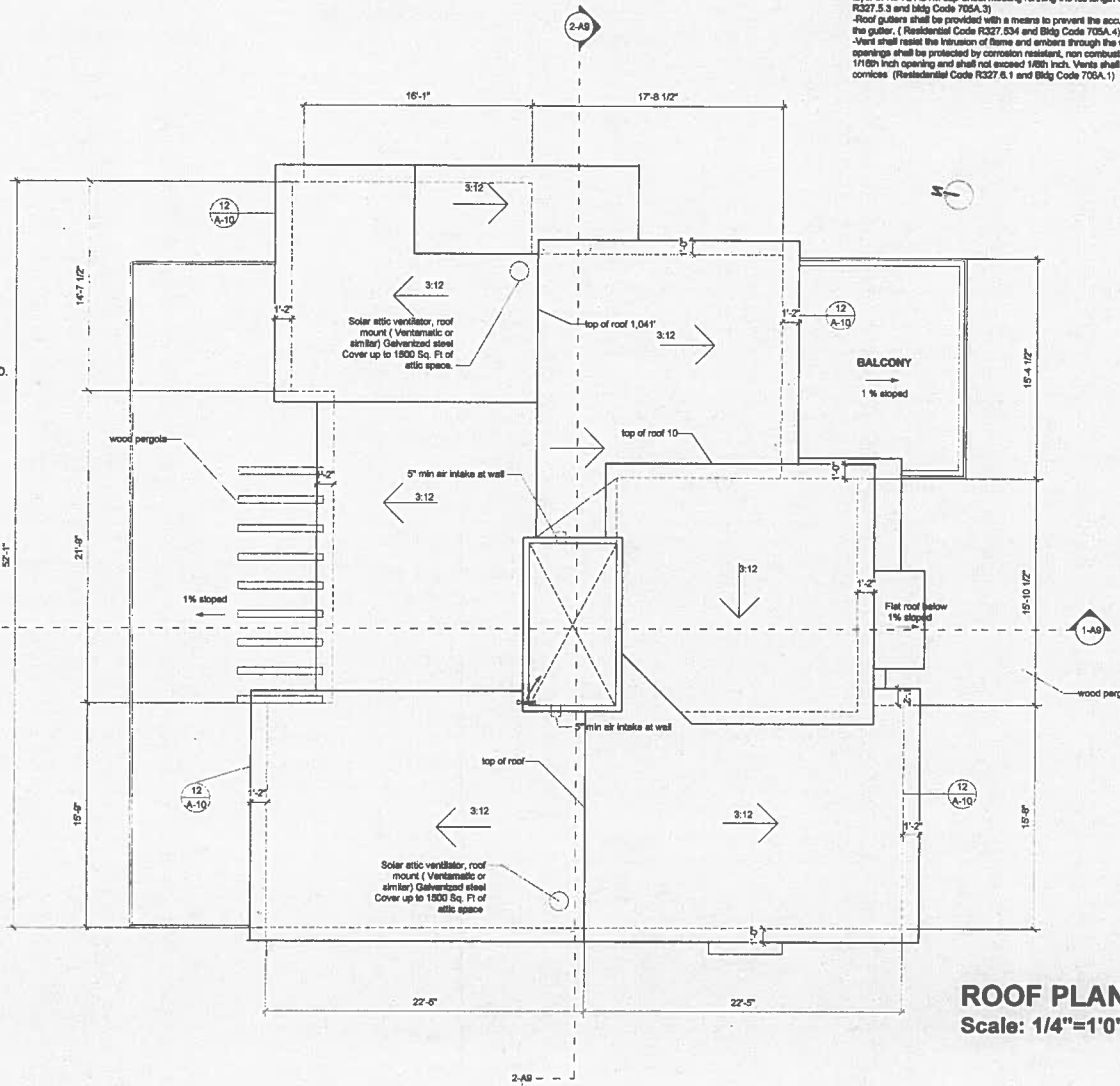
**IRREGULAR WINDOW DETAILS**



NOTE:  
DIMENSIONS OF THE WINDOWS ARE APPROXIMATE  
CONTRACTOR MUST VERIFY SIZES AFTER FRAMING IS FINISHED.



**FENCES AND RAILING DETAILS**



**ROOF PLAN**  
Scale: 1/4"=1'0"

**TOBA PROPERTIES**  
18034 Ventura Blvd Ste 512  
Encino, CA 91316  
818-344-7565



Architect:  
**Aude-Mair, Inc**  
18034 Ventura Blvd Ste 512  
Encino CA 91316  
PH # 818-344-7565

Project:  
**38443 Foothill Dr**  
2-400 5-bedroom new Residence  
with attached 2-car garage

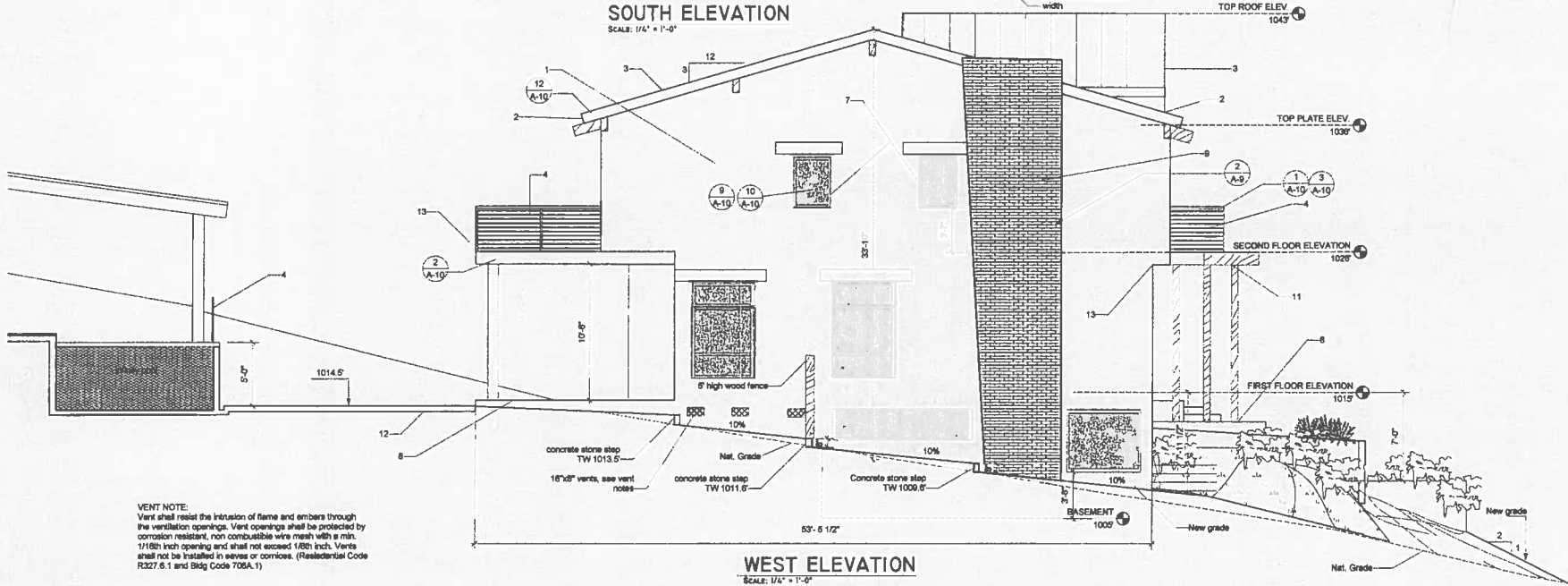
**ROOF PLAN**



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"


**ELEVATION NOTES:**

- 1- Three coats stucco system, smooth finish. Merlex P-182 Caramelo.
- 2- Three coats Stucco System, Smooth Finish, Merlex P-2397 Cilantro.
- 3- Sheet metal standing seam roofing, Custom Built Metals CB-100, Color Slate Grey.
- 4- 42" high metal railing with 4" max. spacing between Horizontal bars. Color Aluminum. See det. A-6.
- 5- Entrance Door, solid wood with tempered glass pane, color espresso brown.
- 6- Metallic, panelized garage door. Color: Espresso brown
- 7- Windows, Western window system, aluminum series, dual glass pane, one pane tempered, outside color Cinnamon Coast.
- 8- Multicolor slate tile, 12"x12"
- 9- Stone veneer. See material board
- 10- Wood siding. See Material Board.
- 11- Wood pergola, Cedar timber, column size 6x6 and beams at 4x8. Finish: Behr transparent weather proofing wood finish cedar natural tone ( or approved similar).
- 12- Interlocking concrete pavers, Angelus Paving Stones, 1 pattern, Sand-Stone-Mocha Colors.

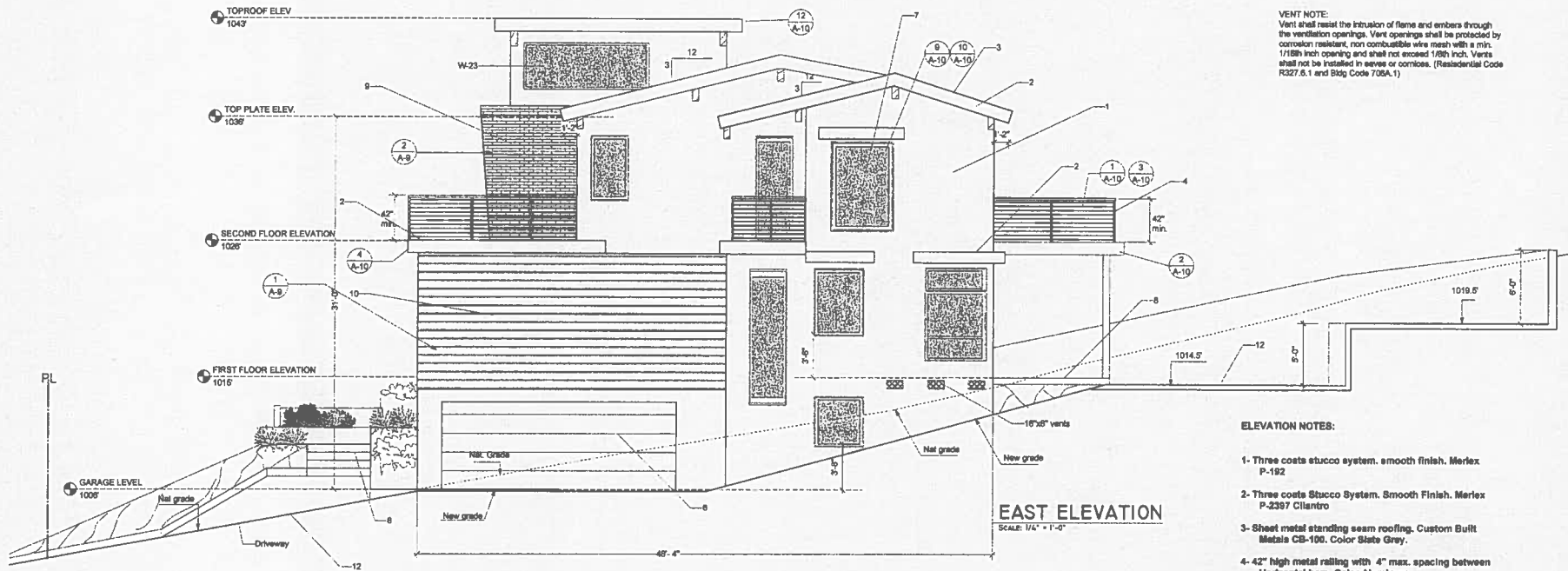


**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**VENT NOTE:**  
Vent shall resist the intrusion of flame and embers through the ventilation openings. Vent openings shall be protected by corrosion resistant, non combustible wire mesh with a min. 1/18th inch opening and shall not exceed 1/8th inch. Vents shall not be installed in eaves or cornices. (Residential Code R327.6.1 and Bldg Code 706A.1)


<p><b>OWNER:</b> TOBA PROPERTIES 18034 Ventura Blvd ste 512 Encino, CA 91316 818-344-7565</p>
<p><b>DESIGNER:</b> Aude-Mar, Inc 18034 Ventura Blvd Ste 512 Encino CA 91316 PH # 818-344-7565</p>
<p><b>PROJECT:</b> 28443 FOOTHILL DR. 2-story 5-bedroom new Residence with attached 2-car garage</p>
<p><b>ELEVATION</b></p>
<p>A-7</p>

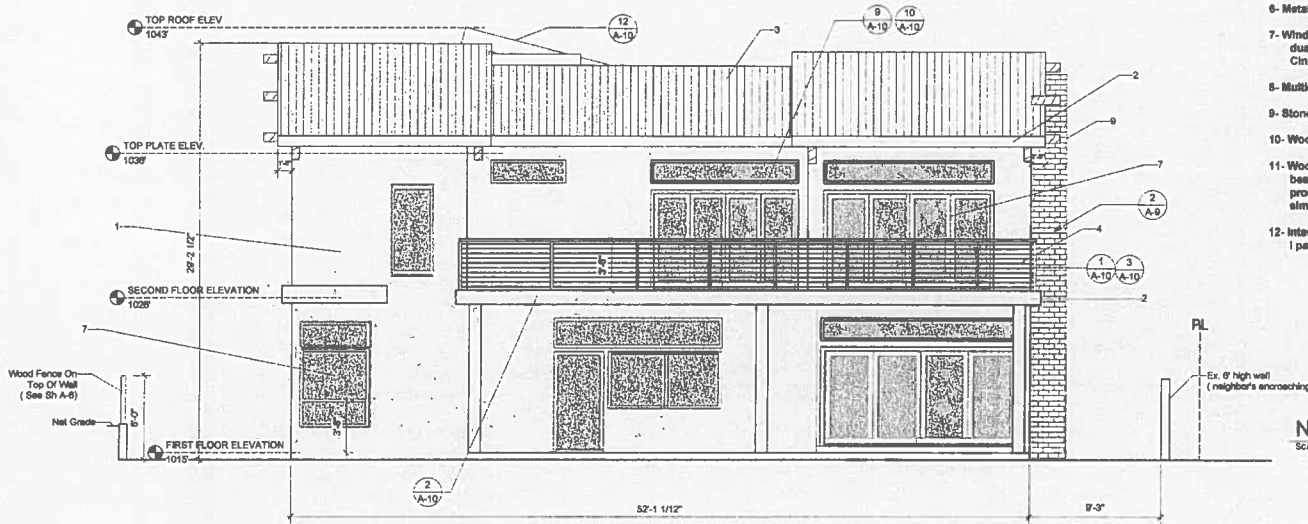




**VENT NOTE:**  
 Vents shall resist the intrusion of flame and embers through the ventilation openings. Vent openings shall be protected by corrosion resistant, non combustible wire mesh with a min. 1/16th inch opening and shall not exceed 1/8th inch. Vents shall not be installed in eaves or cornices. (Residential Code R327.5.1 and Bldg Code 708A.1)

**ELEVATION NOTES:**

- 1- Three coats stucco system, a smooth finish. Merlex P-192
- 2- Three coats Stucco System. Smooth Finish. Merlex P-2397 Clantro
- 3- Sheet metal standing seam roofing. Custom Built Metals CB-100. Color Slate Grey.
- 4- 42" high metal railing with 4" max. spacing between horizontal bars. Color Aluminum.
- 5- Entrance Door, solid wood with tempered glass pane. color espresso brown.
- 6- Metallic, paneled garage door. Color: Expresso brown
- 7- Windows, Western window system, aluminum series, dual glass pane, one pane tempered, outside color Cinnamon toast.
- 8- Multicolor slate tile, 12"x12"
- 9- Stone veneer. See material board
- 10- Wood siding. See Material Board.
- 11- Wood pergola, Cedar timber, column size 6x6 and beams at 4x6. Finish: Bahr transparent weather proofing wood finish cedar natural tone ( or approved similar).
- 12- Interlocking concrete pavers. Angelus Paving Stones. 1 pattern, Sand-Stone-Mocha Colors.



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

**TOBA PROPERTIES**  
 18034 Ventura Blvd Ste 512  
 Encino, CA 91316  
 818-344-7565

OWNER:



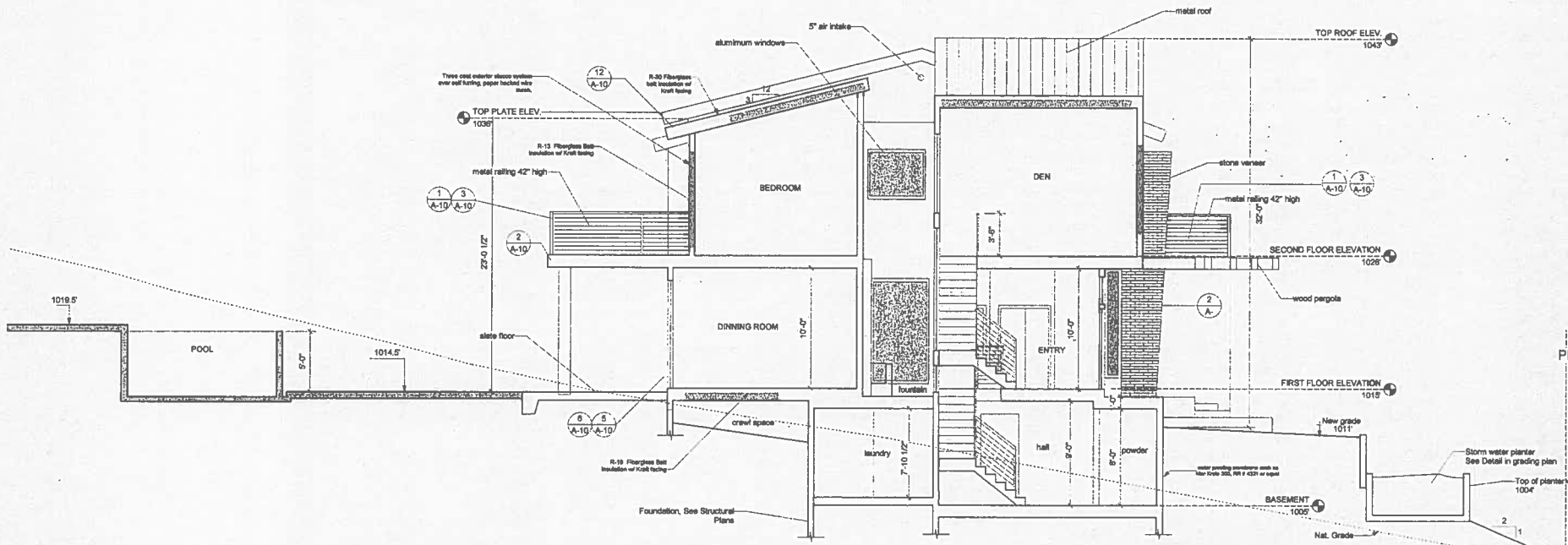
PROJECT:  
 18034 VENTURA BLVD STE 512  
 ENCINO, CA 91316

ARCHITECT:  
 Aude-Mar, Inc  
 18034 Ventura Blvd Ste 512  
 Encino CA 91316  
 PH # 818-344-7565

DATE: 28443 FOOTHILL DR.  
 2-story 3-bedroom new residence  
 with attached 2-car garage

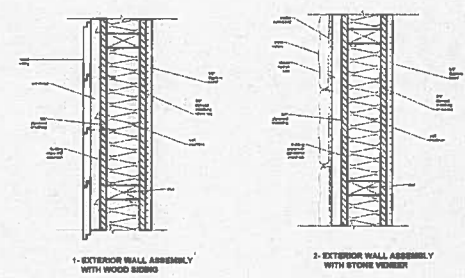
**ELEVATION**

A-8

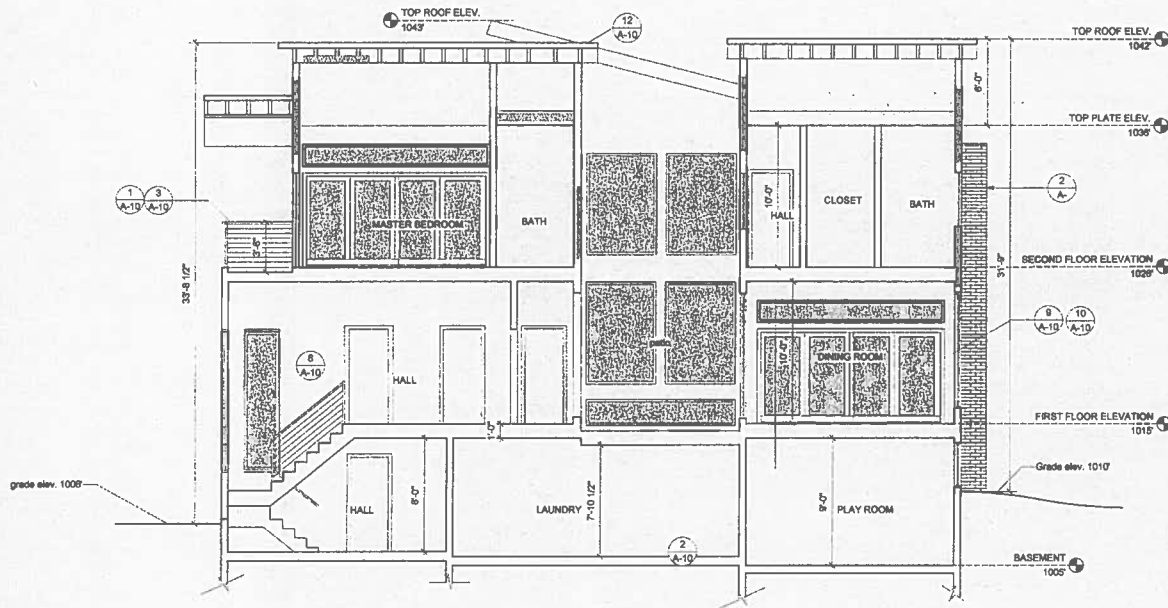


**SECTION 1**  
Scale: 1/4"=1'0"

**VENT NOTE:**  
Vent shall resist the intrusion of flame and embers through the ventilation openings. Vent openings shall be protected by corrosion resistant, non-combustible wire mesh with a min. 1/16th inch opening and shall not exceed 1/8th inch. Vents shall not be installed in eaves or cornices. (Residential Code R327.6.1 and Title Code 708A-1)



**SECTION 2**  
Scale 1/4"=1'-0"



TOBA PROPERTIES  
18034 Ventura Blvd Ste 512  
Encino, CA 91316  
818-344-7565

OWNER:

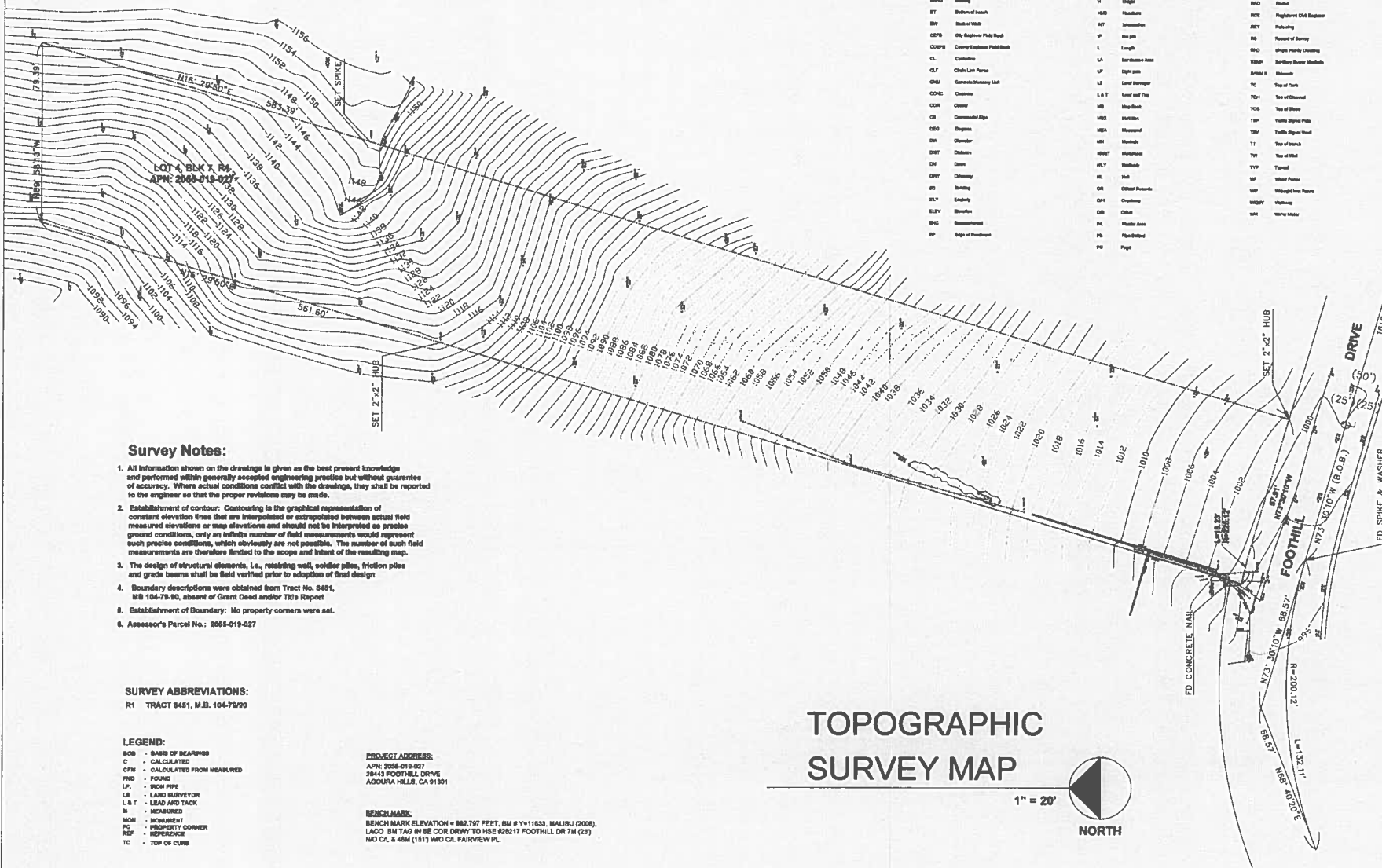
DESIGNED BY: LAMBA DANIEL & ASSOCIATES  
C 32516

DATE: 6/27/2015

PROJECT: 28443 FOOTHILL DR.  
2-story 5-bedrooms new Residence  
with attached 2-car garage

SECTIONS

A-9



**Survey Notes:**

- All information shown on the drawings is given as the best present knowledge and performed within generally accepted engineering practice but without guarantee of accuracy. Where actual conditions conflict with the drawings, they shall be reported to the engineer so that the proper revisions may be made.
- Establishment of contour: Contouring is the graphical representation of constant elevation lines that are interpolated or extrapolated between actual field measured elevations or map elevations and should not be interpreted as precise ground conditions, only an infinite number of field measurements would represent such precise conditions, which obviously are not possible. The number of such field measurements are therefore limited to the scope and intent of the resulting map.
- The design of structural elements, i.e., retaining wall, soldier piles, friction piles and grade beams shall be field verified prior to adoption of final design.
- Boundary descriptions were obtained from Tract No. 8481, MB 104-79-90, absent of Grant Deed and/or TRS Report.
- Establishment of Boundary: No property corners were est.
- Assessor's Parcel No.: 2068-018-027

**SURVEY ABBREVIATIONS:**

R1 TRACT 8481, M.B. 104-79/90

**LEGEND:**

- SBM - BASE OF BEARING
- C - CALCULATED
- CFM - CALCULATED FROM MEASURED
- PRD - FOUND
- LP - IRON PIPE
- LS - LEAD SURVEYOR
- L & T - LEAD AND TACK
- M - MEASURED
- MCN - MONUMENT
- PC - PROPERTY CORNER
- REP - REPRESENTATIVE
- TC - TOP OF CURB

**PROJECT ADDRESS:**

APN: 2068-018-027  
 26440 FOOTHILL DRIVE  
 ACORN HILLS, CA 91501

**BENCHMARK:**

BEIHOH MARK ELEVATION = 882.707 FEET. BM # Y-11833, MALIBU (2090), LACO BM TAG IN SE COR DRYWY TO HSE 9282-17 FOOTHILL DR 7M (22) NO CL. & 48M (151) W/O CL FAIRVIEW PL.

**Survey Abbreviations:**

- AO - Arbitrary Origin
- AG - Aerial
- BL - Bench
- BLD - Building
- BN - Benchmark
- BS - Bench of Bench
- BSL - Bench of Slope
- BSM - Bench
- BT - Bench of Bench
- BV - Bench of Bench
- CSFB - City Engineer Field Book
- CCSFB - County Engineer Field Book
- CL - Centerline
- CLT - Chain Link Fence
- CMF - Concrete Manhole
- CCMC - Concrete
- COB - Corner
- CO - Commercial Edge
- COB - Corner
- DB - Diagonal
- DM - Dam
- DW - Drawing
- EP - Elevation
- EV - Elevation
- ELEV - Elevation
- EM - Elevation
- EP - Edge of Pavement

**Survey Abbreviations Cont'd:**

- FG - Fire gear
- FI - Fire Station
- F - Flag
- FSD - Found
- FP - Fire Station
- FP - Flag Station
- GS - Guard Station
- GTS - Guard Station
- LI - Light
- L - Light
- LA - Landmark Area
- LP - Light pole
- LS - Land Survey
- L & T - Lead and Tag
- LB - Lead Book
- COB - Corner
- CO - Commercial Edge
- COB - Corner
- DB - Diagonal
- DM - Dam
- DW - Drawing
- EP - Elevation
- EV - Elevation
- ELEV - Elevation
- EM - Elevation
- EP - Edge of Pavement

**Survey Abbreviations Cont'd:**

- FB - Footing
- FL - Footing Line
- FS - Footing Station
- FP - Footing Pole
- FP - Footing
- FST - Footing Station
- G - Gauge
- GAC - Gauge
- GCE - Highway Old Station
- GCT - Gauge
- HS - House of Henry
- W - High Priority Drawing
- EB - Erdos River Middle
- EB - Erdos
- TC - Top of Curve
- TD - Top of Curve
- TOB - Top of Bench
- TSP - Traffic Signal Pole
- TW - Traffic Signal West
- TI - Top of Inlet
- TW - Top of Wall
- TW - Top
- TW - Top
- TW - Top
- TR - Through Line Pole
- TR - Through Line Pole
- TR - Through Line Pole
- TR - Through Line Pole

**RB Engineers, Inc.**  
 2139 Pincrest Dr.  
 Alhambra, CA 91001  
 Ph: 626.794.3704 Fax: 626.626.1869  
 E-mail: resu@rbengineersinc.com

OWNER:  
 TORA PROPERTIES, LLC  
 26440 FOOTHILL DRIVE  
 ACORN HILLS, CA 91501

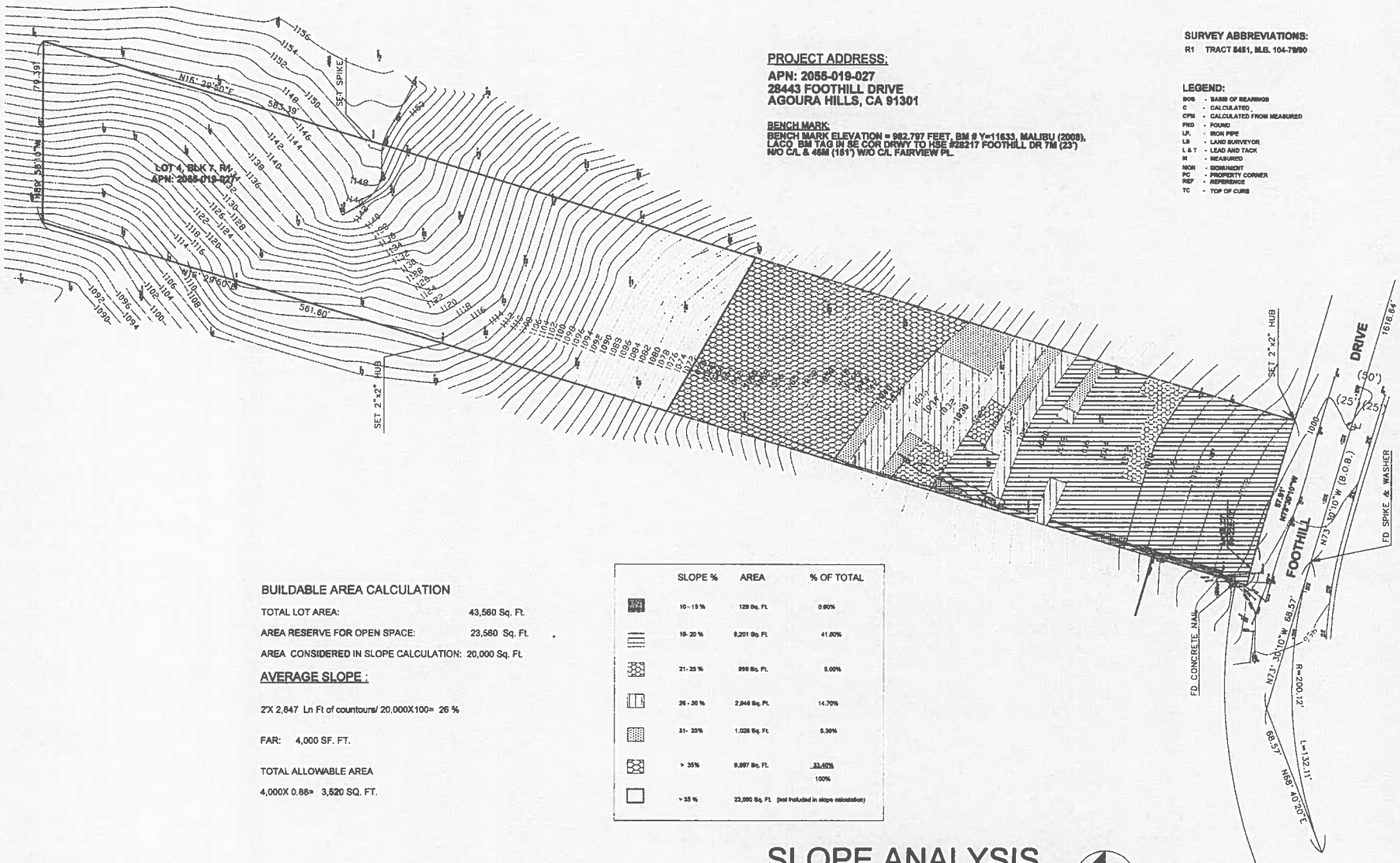
PROJECT DESCRIPTION:  
 PROPOSED SINGLE-FAMILY DWELLING

DATE: 7/25/14  
 SCALE: 1" = 16'  
 JOB: # RB15.05

BY: ADDRESS:  
 FOOHILL DR  
 ACORN HILLS, CA

TITLE OF SHEET:  
**TOPOGRAPHIC SURVEY MAP**

SHEET  
**C-1**  
 OF SHEETS



**PROJECT ADDRESS:**  
 APN: 2055-019-027  
 28443 FOOTHILL DRIVE  
 AGOURA HILLS, CA 91301

**BENCH MARK:**  
 BENCHMARK ELEVATION = 982.797 FEET, BM # Y=11633, MALIBU (2008),  
 LACO, BM TAG IN SE COR DRWY TO HSE #28217 FOOTHILL DR 7M (23)  
 N/O C/L & 48M (181) W/O C/L FAIRVIEW PL.

**SURVEY ABBREVIATIONS:**  
 R1 TRACT 8481, MLS. 104-7900

**LEGEND:**

- BOB - BASE OF BENCHMARK
- C - CALCULATED
- CPIB - CALCULATED FROM MEASURED
- PIB - FOUND
- LI - IRON PIPE
- LS - LAND SURVEYOR
- L & T - LEAD AND TACK
- M - MEASURED
- MON - MONUMENT
- PC - PROPERTY CORNER
- REF - REFERENCE
- TC - TOP OF CURB

**BUILDABLE AREA CALCULATION**

TOTAL LOT AREA: 43,560 Sq. Ft.  
 AREA RESERVE FOR OPEN SPACE: 23,560 Sq. Ft.  
 AREA CONSIDERED IN SLOPE CALCULATION: 20,000 Sq. Ft.

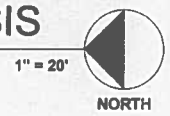
**AVERAGE SLOPE:**

ZX 2,847 Ln Ft of counts/ 20,000X100= 26 %  
 FAR: 4,000 SF. FT.

TOTAL ALLOWABLE AREA  
 4,000X 0.88= 3,520 SQ. FT.

SLOPE %	AREA	% OF TOTAL
10 - 15 %	129 Sq. Ft.	0.80%
16 - 20 %	8,201 Sq. Ft.	41.00%
21 - 25 %	898 Sq. Ft.	5.00%
26 - 30 %	2,949 Sq. Ft.	14.70%
31 - 35 %	1,028 Sq. Ft.	5.30%
> 35 %	6,887 Sq. Ft.	33.40%
> 35 %	22,000 Sq. Ft. (not included in slope calculation)	100%

**SLOPE ANALYSIS**



JOSE FILGIMTI, C.E.  
 SURVEYOR  
 15000 ELMWOOD STE 512  
 ENCIENO, CA 91318  
 LICENSE 532284 EXP. 12/31/15

THIS DOCUMENT IS THE PROPERTY OF THE SURVEYOR AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR.

**OWNER:**  
 TOMA PROPERTIES, LLC, 210, STE 212  
 ENCIENO, CA 91318  
**PROJECT DESCRIPTION:**  
 PROPOSED SINGLE FAMILY DWELLING

NO.	DATE	DESCRIPTION

DATE: 7/25/14  
 SCALE: 1" = 10'  
 JOB: # RB13.05

SITE ADDRESS:  
 FOOTHILL DR  
 AGOURA HILLS, CA

TITLE OF SHEET:  
 SLOPE ANALYSIS

SHEET  
**C-2**  
 OF SHEETS

**GRADING NOTES**

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
  - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
  - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
  - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBURANS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL, INCREASERS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
  - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

**PUBLIC UTILITIES / SERVICES**

- WATER: LAS VIRGENES MUNICIPAL WATER DISTRICT  
4322 LAS VIRGENES ROAD  
CALABASAS, CA 91302  
(818) 890-4119
- ELECTRICAL: SOUTHERN CALIFORNIA EDISON  
3809 FOOTHILL DRIVE  
THOUSAND OAKS, CA 91381  
(805) 484-7918
- TELEPHONE: SSC (PAC BELL)  
16381 BAYVIEW STREET, #116  
VAN NUYS, CA 91406  
(818) 373-8888
- GAS: SOUTHERN CALIFORNIA GAS  
8409 CALDWELL AVENUE  
CHULA VISTA, CA 91912  
(619) 791-3334
- SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS  
SEWER MAINTENANCE DIVISION  
1900 E. FREEMONT AVENUE, BLDG AS EAST  
ALHAMBRA, CA 91803  
(626) 300-3008
- CABLE: ADELPHIA  
2223 TELLER ROAD  
NEWBURY PARK, CA 91320  
(805) 374-2113
- CABLE: CHARTER COMMUNICATIONS  
3588 CROSSCREEK ROAD  
MILPITAS, CA 95028  
(415) 458-9515
- CALTRANS: CALTRANS  
848 REDWOOD BOULEVARD  
TARZANA, CA 91380  
(805) 358-1248



**INSPECTION NOTES**

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

**ABBREVIATIONS**

- |                         |                            |
|-------------------------|----------------------------|
| AC - ASPHALTIC CONCRETE | NG - NATURAL GROUND        |
| BF - BOTTOM OF FOOTING  | N7S - NOT TO SCALE         |
| CB - CATCH BASIN        | PL - PROPERTY LINE         |
| CF - CURB FACE          | POB - POINT OF BEGINNING   |
| C - CENTERLINE          | ROSH - STORM DRAIN MANHOLE |
| CLP - CHAIN LINK FENCE  | SMH - SEWER MANHOLE        |
| CO - CLEAN OUT          | SB - SANITARY SEWER        |
| DB - DESIGN BARRI       | TS - TOP OF SEWER          |
| DL - DAYLIGHT           | TC - TOP OF CURB           |
| EG - EDGE OF CUTTER     | TF - TOP OF FOOTING        |
| EP - EDGE OF PAVEMENT   | TG - TOP OF GRATE          |
| FF - FINISHED FLOOR     | TW - TOP OF WALL           |
| FG - FINISHED GRADE     | TYP - TYPICAL              |
| PH - PREE HYDRANT       | WM - WATER METER           |
| PL - FLOWLINE           | WV - WATER VALVE           |
| PS - FRESH SURFACE      |                            |
| HC RMP - HANDICAP RAMP  |                            |
| HP - HIGH POINT         |                            |
| INV - INVERT            |                            |

**STORMWATER POLLUTION NOTES**

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF GASETS POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC, "WET-WEATHER EROSION CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND SUPPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

**OAK TREE NOTES**

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 887-7360, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."

**LEGAL DESCRIPTION**

LOT 4 IN BLOCK 7 OF "TRACT 8491, IN THE COUNTY OF LOS ANGELES AS PER MAP RECORDED IN BOOK 184 PAGES 78-80 INCLUSIVE OF MAPS IN THE OFFICE OF COUNTY RECORDER OF SANS COUNTY."

**LEGEND AND SYMBOLS**

- PROJECT BOUNDARY
- EXISTING GRADE CONTOUR
- PROPOSED GRADE CONTOUR
- SPOT ELEVATION
- PROPOSED SLOPE PER PLAN
- RETAINING WALL
- DAYLIGHT CUTFILL LINE
- DIRECTION OF FLOW (SLOPE)
- CONSTRUCTION NOTE NUMBER

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY:	CITY OF AGOURA HILLS APPROVAL
PROJECT ENGINEER	DATE
REVIEWED BY	DATE

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
E1	GRADING AND DRAINAGE COVER SHEET
E2	GRADING AND DRAINAGE PLAN

ESTIMATED EARTHWORK QUANTITIES			
ESTIMATED CUT:	720 CY	ESTIMATED EXPORT:	342 CY
ESTIMATED FILL:	388 CY	ESTIMATED IMPORT:	8 CY
ESTIMATED OVER-EXCAVATION:	132 CY		

BENCHMARK:			
DESCRIPTION: BM NO.	Y=11633	ELEVATION: 892.77 FT.	SURVEY DATE: 2008

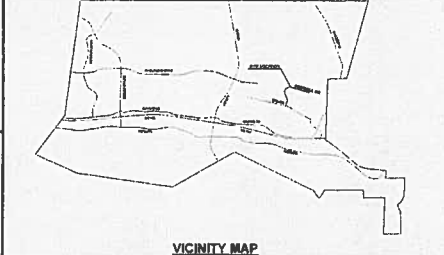
RECORD DRAWING STATEMENT			
I, _____ HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. _____ THROUGH _____ MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.			
REGISTERED CIVIL ENGINEER	DATE	RCE NO.	EXP. DATE

SOILS APPROVAL			
THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____			
REGISTERED GEOLOGIST	DATE	RCE NO.	EXP. DATE
REGISTERED GEOTECHNICAL ENGINEER	DATE	RCE NO.	EXP. DATE

OWNER	
NAME: TOBA PROPERTIES, INC	ADDRESS: 18634 VENTURA BLVD., #112 ENCINO, CA 91316
REPRESENTATIVE: JOSE FULGINTI	TELEPHONE: 818-431-8978

CIVIL ENGINEER	
NAME: JOSE FULGINTI	ADDRESS: 18634 VENTURA BLVD # 112 ENCINO CA 91316
REPRESENTATIVE:	TELEPHONE: 818-344-7568

GEOTECHNICAL ENGINEER	
NAME: GEOVITYS, INC	ADDRESS: 1643 VICTORY BLVD., 2ND FLOOR, GLENDALE, CA 91201
REPRESENTATIVE: RICHARD GLASSON	TELEPHONE: 818-488-4833

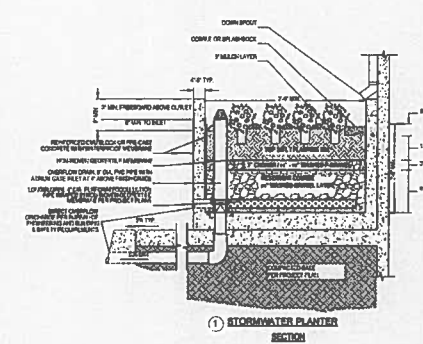
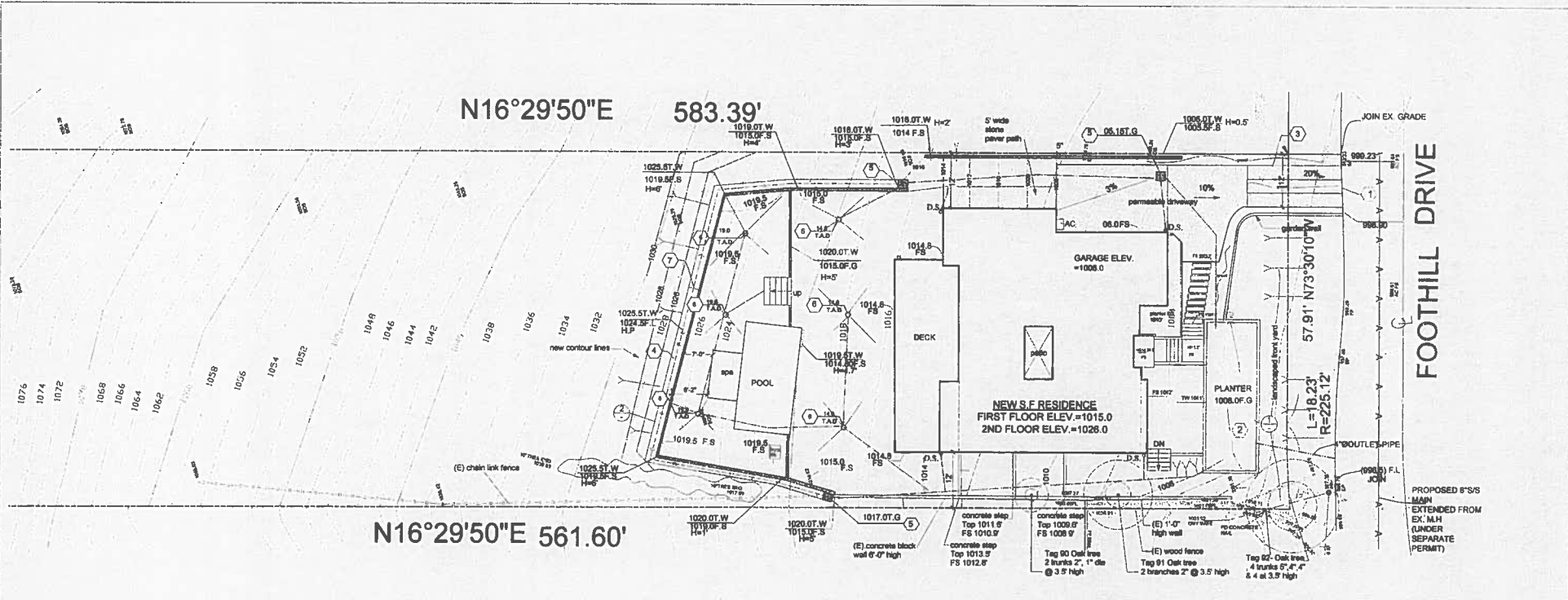


<p><b>GRADING &amp; DRAINAGE PLAN</b></p> <p>28443 FOOTHILL DRIVE AGOURA HILLS, CA</p>	<p><b>G-1</b></p> <p>SHEET ____ OF ____</p> <p>CITY OF AGOURA HILLS DWG. NO.</p>
--------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------

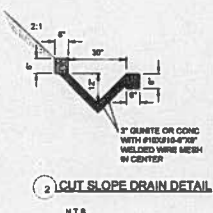
N16°29'50"E 583.39'

N16°29'50"E 561.60'

FOOTHILL DRIVE



- NOTES:**
1. AT LEAST 9 INCHES SHALL BE PROVIDED BETWEEN THE PLANTING SURFACE AND THE CREST OF EACH PLANTER.
  2. PLANTERS SHALL NOT BE LOCATED ON UNEVEN OR SLOPED SURFACES.
  3. TOP SOIL/PLANTING MIX IS AT LEAST 18" DEEP.
  4. TOP SOIL CONTAINS NO MORE THAN 30% COMPOST.
  5. MINIMUM GRAVEL LAYER SHALL BE 6" DEEP.
  6. DIRECT OVERFLOW DISCHARGE PER BUREAU OF ENGINEERING AND BUILDING AND SAFETY REQUIREMENTS.
  7. SEE PLANTERS BOX FACT SHEET FOR MORE INFORMATION.



4" PVC drain line sloped 1/4" per foot



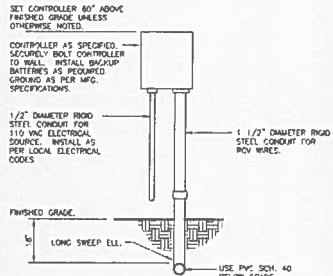
- CONSTRUCTION NOTES:**
1. CONCRETE STONE PAVERS TO MATCH EX. ASPHALT STREET LEVEL
  2. CONST. STORM WATER PLANTER PER DETAIL HEREON
  3. CONST. CONCRETE PAVERS DWY, W=12
  4. CONST. CONC. SWALE B=18", h=1", s=4"
  5. CONST. DROP INLET CATCH BASIN 18"x24"
  6. CONST. AREA DRAIN OR NDS DRAIN
  7. CONST. TOP OF CUT SWALE

REVISION #		SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO S. ADEVA CITY ENGINEER	DATE	0885 "ICE NO"	083018 EXP DATE	GRADING & DRAINAGE PLAN	G-2	SHEET 2 OF 2
PREPARED BY: JOSE PALOMINI, CE C-82294 EXP 12/5/16 18024 Ventura Blvd Ste 512 Encino, CA 91436 818-821-8878						CITY OF AGOURA HILLS APPROVAL						28443FOOTHILL DRIVE AGOURA HILLS, CA		CITY OF AGOURA HILLS DWG. NO.		



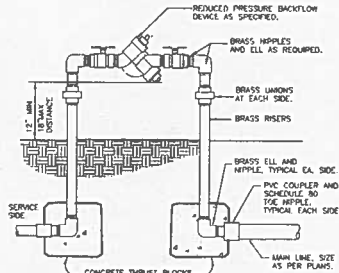






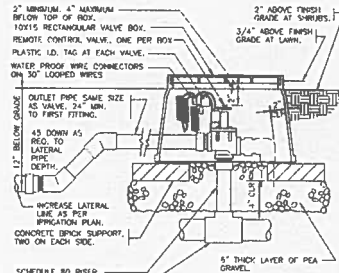
**A WALL MOUNT CONTROLLER**

328486.13-81



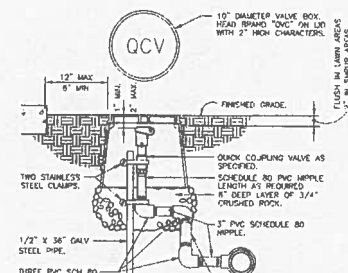
**B REDUCED PRESSURE BACKFLOW DEVICE**

328486.43-81



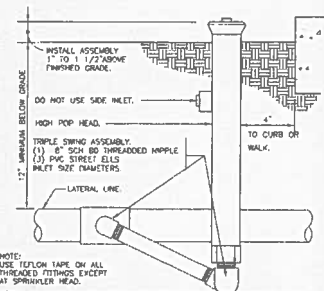
**C ELECTRIC REMOTE CONTROL VALVE**

328486.13-81



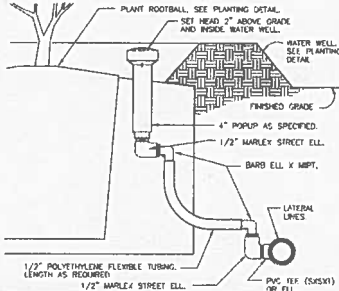
**D QUICK COUPLING VALVE IN BOX**

328486.43-82



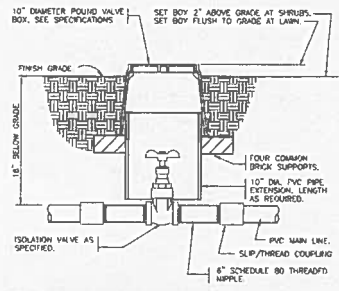
**E SHRUB SPRAY HIGHPOP PVC ASSEMBLY**

328483.29-21



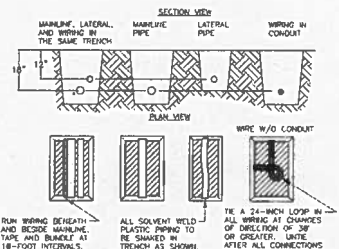
**F POPUP BUBBLER AT PLANT PIT**

328483.53-84



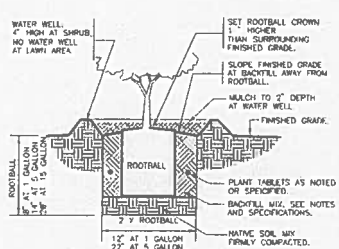
**G BRASS ISOLATION VALVE**

328486.33-81



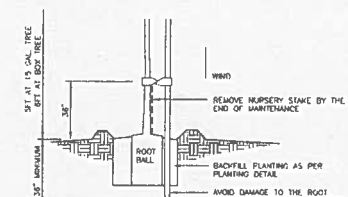
**H TRENCH DETAIL**

328486.76-80



**I SHRUB PLANTING**

328333.13-86



**J TREE SINGLE STAKE PLANTING**

DETAIL - F1

# LANDMARK DESIGN

## Landscape Architecture

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 THOUSAND OAKS, CA 91360  
 Ph 805.494.8155 Fx 805.494.9061  
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 WWW.LANDMARKDESIGN.COM

STAMP



CLIENT

TOBA PROPERTIES  
 18094 VENTURA BLVD., SUITE 512  
 ENCINO, CA 91316

PROJECT

RESIDENCE  
 FOOTHILL DR.  
 AGOURA HILLS, CA

PROJECT NUMBER

03601

DATE

08/27/15

REVISIONS

DRAWN AP CHECKED CR

SHEET TITLE

DETAILS

SCALE

1"=16'-0"



SHEET NUMBER

L-3





