



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: November 5, 2015

TO: Planning Commission

APPLICANT: Barrey Robles for Serbin
Barrey Robles AIA-Architect
4500 Regents Court,
Westlake Village, CA 91361

CASE NOS.: CUP-01032-2014 and OAK-01033-2014

LOCATION: 28454 Renee Drive (A.P.N. 2061-021-040)

REQUESTS: Request for a Conditional Use Permit to construct a 1,862 square-foot, single-story, single-family residence with a 466.5 square-foot, attached two-car garage; a request for an Oak Tree Permit to encroach into the protected zone of four on-site oak trees for the proposed construction; and a request to make a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL DETERMINATION: Exempt from the California Environmental Quality Act (CEQA) per Section 15303 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Conditional Use Permit Case No. CUP-01032-2014 and Oak Tree Permit Case No. OAK-01033-2014, subject to conditions, based on the findings of the attached draft Resolution.

ZONING DESIGNATION: RS-(2)-20,000-IH (Residential Single-Family – Indian Hills Design Overlay District)

GENERAL PLAN DESIGNATION: RS - Residential Single Family

PROJECT BACKGROUND AND DESCRIPTION

On August 24, 2011, the City Council approved an appeal of the Planning Commission's denial of two separate Conditional Use Permit applications to develop new single-family residences on two vacant contiguous lots (lots 4 and 5) owned by the same person. Lot 4 was approved to build a 1,874 square-foot, two-story residence with an attached 616 square-foot, two-car garage on a 6,462 square-foot lot located at 28458 Renee Drive. An Oak Tree Permit was also approved to allow encroachment within the protected zone of six oak trees and removal of one oak tree for the proposed construction. Lot 5 was approved to build a 2,431 square-foot, two-story residence with an attached 568 square-foot, two-car garage on a 5,940 square-foot lot located at 28454 Renee Drive. An Oak Tree Permit was also approved to allow encroachment within the protected zone of seven oak trees oak tree for the proposed construction.

Entitlements have since expired and the two vacant lots were sold and recently merged into one lot by an administrative Lot Line Adjustment (14-LLA-003) recorded January 8, 2015. The vacant hillside lot size is currently 14,710 square feet, which includes the vacation of Renee Drive, and is located on the south side of Renee Drive.

A new application has been submitted by Barrey Robles, architect for Evan Serbin (new owner), requesting approval of a Conditional Use Permit (CUP) to construct a new 1,862 square-foot, single-story, single-family residence with a 466.5 square-foot, attached two-car garage at 28454 Renee Drive, in the Residential Single-Family (RS) and the Indian Hills Design Overlay (IH) zones. The project would encroach within the protected zone of four on-site oak trees for the proposed construction, which requires approval of an Oak Tree Permit.

The subject site was pre-graded prior to City incorporation. The site's topography consists of a relatively flat pad with ascending slopes to the southwest and descending slopes to the northeast. Total variation in elevation within the subject site is approximately 35 feet. A two-story single-family residence is on the adjacent property located to the west, and a single-story, single-family residence is on the adjacent property to the rear (south) of the subject property. Renee Drive abuts the property to the north and east.

New single-family homes are subject to review by the Planning Commission. Since the parcel has an average topographic slope that exceeds 10 percent (33.5 percent), the project is subject to the City Hillside Ordinance, and therefore requires approval of a Conditional Use Permit.

The proposed single-family residence is a permitted use in the Residential Single-Family (RS) zone and the project would meet the required development standards. Listed below are the proposed development data pertaining to the project:

Pertinent Data

	<u>Proposed</u>	<u>Allowed/Required</u>
1. Lot Size	14,710 square feet	20,000 square feet
2. Building Size		
First Floor	1,862.0 square feet	N/A
Garage	<u>466.5 square feet</u>	<u>N/A</u>
Total	2,328.5 square feet	N/A
3. Building Height	17.5 feet	35 feet maximum
4. Building Coverage		
Residence	1,862.0 square feet	N/A
Attached Garage	466.5 square feet	N/A
Trellis	<u>120.0 square feet</u>	<u>N/A</u>
Total	2,448.5 (16.6 percent)	35% maximum
5. Building Setbacks		
Front (North)	26 feet	25 feet minimum
Rear (South)	82 feet	25 feet minimum
Side (East)	11 feet	10 feet minimum (22 ft. combined)
Side (West)	23 feet	10 feet minimum (22 ft. combined)
6. No. of Oak Trees On-Site	14 retained (encroachment of 4)	N/A
7. Average Topographic Slope	33.5 percent	N/A

STAFF ANALYSIS

Site Plan

The proposed single-story residence would be situated on the flat, lower, northerly portion of the previously graded lot, thereby reducing the amount of grading of the site, maintaining the natural vegetation on the hillside to the rear of the lot, and preserving adjacent neighbors' views, while exceeding the minimum yard setback distances for the RS-20,000 zone. Vehicular access to the property would be taken from Renee Drive by a single driveway located on the north side of the lot. The Los Angeles County Fire District has tentatively approved the site plan for the required access. The applicant is also proposing a trellis at the east side of the residence.

Hillside Development Standards

The Hillside Ordinance includes a requirement for on-site open space preservation. The minimum amount of area to remain in undisturbed open space is related to the average slope of the property. The parcel has an average slope of 33.5 percent. The Hillside Ordinance requires that at least 92.5 percent of the existing lot remain in undisturbed open space for parcels that have an average slope of 31-35 percent. The maximum amount of development area, including the residence, garage, driveway and yard areas should not exceed 7.5 percent of the lot, per the Hillside Ordinance, which staff finds is not practical. The lot size is 14,710 square feet and is non-conforming since a minimum 20,000 square-foot lot is required for the zone.

However, in cases where it is not practical to meet the open space requirements of the Hillside Development Standards, the Planning Commission reviews maximum allowable development on a case-by-case basis and has discretion regarding the amount of lot coverage based on elements, such as the existing lot and proposed building size, oak tree encroachment, and paving materials without the need for a Variance request. Staff finds that the proposed building coverage of 2,448.5 square feet, or 16.6 percent, complies with the maximum 35 percent lot coverage allowed in the RS-20,000 zone.

The lot was graded before the City's incorporation and left undeveloped for many years. The residence would be situated on an already existing pad and minimal fill will be proposed to re-contour the land. A minor cut is proposed for the proposed driveway and to provide the minimum required setback between the structure and the toe of the slope. Although the project exceeds the maximum amount of hillside coverage, the applicant designed the project to meet the Hillside Development standards height requirement as well as all the development standards for the underlying zone.

In evaluating the compatibility of the design and the size of the structure with other Indian Hills properties, staff found that the proposed residence is similar in design to other structures. The size of the neighboring homes, excluding garage space, varies from 1,216 to 3,593 square feet and most have two stories. The most recently built or under construction homes in Indian Hills include a 2,463 square-foot home on Renee Drive on a 6,302 square-foot parcel; a 2,607 square-foot home on Laura La Plante Drive on a 23,960 square-foot parcel; a 3,593 square-foot home on Lewis Place on a 23,108 square-foot parcel; a 2,547 square-foot home on a 13,129 square-foot parcel located on Lewis Place; a 2,174 square-foot home on a 5,619 square-foot parcel located on Lewis Place; and a 2,518 square-foot home on a 7,000 square-foot parcel on Laura La Plante Drive. Thus, the applicant's 1,862 square-foot home on a 14,710 square-foot parcel appears compatible with other homes recently approved in the neighborhood. There are no floor area limitations for this neighborhood.

The purpose of the Indian Hills Design Overlay District is to address the natural area in this part of the City. The overlay requires buildings to be reviewed for: compatibility of colors and materials; conformance to existing terrain; and appearance from adjacent

street, distant arterials, and the freeway. Based on the discussion below, the materials and colors are compatible with the surrounding natural environment. The home would be sited on an existing pad, minimizing changes to the existing grade and contours. The view to the property would not be visible from Agoura Road or U.S. Highway 101. Nonetheless, the building has been designed with articulating features on all elevations to create attractive views to the home from offsite.

Architectural Review

The single-story residence is composed of natural elements and materials. Proposed exterior building materials consist of tan colored stucco building walls with a smooth finish, brown wood headers, wooden beams, wooden trellis, stone siding (earth tones), stone veneer chimney, red brick eave trim, columns, arch openings, and a slate colored tile roof. The entrance door to the residence, side door, and garage door would be of wood stain. Brown vinyl windows are proposed on the entire house. The adjacent house to the west does not have windows facing the lot.

The City Architectural Review Panel (ARP) has commented on the proposed architectural plans and recommended the front entrance be expanded, the trellis height be reduced, and plantings be provided under the garage window. In response the applicant has modified his design by expanding the entrance to give more prominence, reducing the height of the trellis for better proportion, and adding a planter below the garage window for added aesthetic value.

Engineering/Public Works Review

The Engineering/Public Works Department has reviewed the proposed grading plan, and is requiring the applicant to install a driveway approach, and widen the asphalt concrete pavement to 20 feet minimum along the property frontage on Renee Drive, which is a private street. The applicant is proposing a CUDO water storage and infiltration system on the east portion of the lot. Final street plans and drainage plans would be subject to approval by the City Engineer prior to issuance of a grading permit. The grading of the site will be minimal, requiring 213 cubic yards of cut, 68 cubic yards of fill, and 145 cubic yards of export. The finished floor elevation of the residence is proposed at an elevation of 1,003 feet, which is approximately 11 feet higher than the average adjacent street elevation. Proposed grading includes required retaining walls to support the long driveway around the front of the residence. The sloped rear yard would require a retaining wall in order to comply with the building code requirements for sufficient distance between the residence and the toe of the rear slope. The retaining walls consist of split face block and will range from half a foot to six feet in height. The residence would be served by the public sewer system. The City's Geotechnical Consultant has reviewed the geotechnical reports prepared for this project, and recommends that the project be approved from a geotechnical perspective at this planning stage.

Construction traffic and related vehicular routes would also be reviewed by the City Engineer prior to the issuance of a grading permit, with the intent to minimize impacts to the neighbors.

Oak Tree and Landscaping Review

There are 14 on-site oak trees located within the middle portion of the rear yard of the property. The current plans indicate that retaining walls would be located in the protected zone of four on-site oak trees (Oak Tree No. 1, 2, 3 and 12) and grading encroachment would be required within the protected zone of the four oak trees in order to construct the proposed retaining walls at the rear of the residence. The City Oak Tree Consultant supports the encroachment with conditions.

Since the topographic slope of the property exceeds 10 percent, the applicant is required to prepare a landscape plan for the City's review. The City's Landscape Consultant supports the preliminary landscape plan submitted for this project, finding it to be in general compliance with the City Landscape Ordinance, but recommends the applicant submit final, detailed landscape and irrigation plans for review by the City Landscape Consultant and the Planning Director prior to building permit issuance. The final plans would be reviewed for slope stabilization and to ensure the incorporation of native, drought resistant plants, and would be subject to the most current requirements of the City Landscape Ordinance.

Environmental Review

The project has been determined by staff to be Categorically Exempt from the California Environmental Quality Act, in accordance with Section 15303. The exemption includes, but is not limited to, the construction of a single-family residence.

RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Conditional Use Permit Case No. CUP-01032-2014, and Oak Tree Permit Case No. OAK-01033-2014 subject to conditions, based on the findings of the attached Draft Resolution.

ATTACHMENTS

- Exhibit A: Conditional Use Permit Draft Resolution and Conditions
- Exhibit B: Colored Elevations of the Residence and Colors and Material Board
- Exhibit C: Vicinity Map
- Exhibit D: Reduced Copies of Project Plans
- Exhibit E: Photographs of Applicants' Lot and Surrounding Parcels

Case Planner: Renee Madrigal, Associate Planner

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-01032-2014 FOR THE CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE AT 28454 RENEE DRIVE; AN OAK TREE PERMIT CASE NO. OAK-01033-2014 TO ENCROACH WITHIN THE PROTECTED ZONE OF FOUR ON-SITE OAK TREES FOR THE PROPOSED CONSTRUCTION; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Barrey Robles for Evan Serban with respect to the real property located at 28454 Renee Drive (Assessor's Parcel Number 2061-021-040), requesting the approval of a Conditional Use Permit (Case No. CUP-01032-2014) to construct a 1,862 square-foot, single-story, single-family residence and a 466.5 square-foot attached two-car garage, and an Oak Tree Permit (Case No. OAK-01033-2014 to encroach within the protected zone of four on-site oak trees for the proposed construction. A public hearing was duly held on November 5, 2015, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California; and that notice of time, date and place and purpose of the aforesaid was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to the Agoura Hills Municipal Code Section 9673.2.E, that:

A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The proposed project is located within the Residential Single-Family zone and the Indian Hills Design Overlay zoning districts, which allow for the development of single-family residences. The City's minimum development standards have been met for the proposed residence with regard to building coverage, building height, building setbacks from the property lines, and architectural design standards.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The proposed building design and building materials of the residence include stucco exterior walls with brown trim; brown vinyl windows and French doors; stained entry door, side door and garage door; stone siding; brick eave trim, columns, and arch openings; black wrought iron railings; and a brown concrete slate tile roof are compatible

with the neighboring structures and the topography of the property. The project is in compliance with the City's Architectural Design Guidelines and standards of the Indian Hills Design Overlay District.

C. The proposed use, as conditioned, and the conditions under which the project will be operated or maintained will not be detrimental to the public health, safety or welfare, in that the proposed use will ensure adequate light, air and privacy, and open space to surrounding properties. The proposed residence is situated on the lower, flatter portion of the site's hillside slope, which will preserve the views and privacy of the surrounding properties. The project complies with the maximum allowable building height limitations of hillside properties. Geological, geotechnical, and drainage studies, as well as landscape plans, have been provided and approved by the City's Consultants. Vehicular access to the property will be provided via Renee Drive. The applicant will be required to construct the project in full compliance with the City's Building Code. The site will be served by the public sewer system.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. The project meets the development standards of the underlying zone relative to the required lot coverage, building height, and building setbacks. The lot was pre-graded, which has resulted in prior disturbance of the natural terrain of the property. Although the proposed developed area exceeds 7.5 percent, which means that the project does not comply with the 92.5 percent open space requirement pursuant to Municipal Code Section 9652.13.B, one residential dwelling unit shall be permitted on a parcel when the project complies with all of the necessary criteria. This property complies with the criteria in Section 9652.13.B, and thus, the project does not need to comply with the 7.5 percent open space limitation. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community in that the project will meet the minimum yard setback requirements for the RS zone. The residence will be placed an appropriate distance from Renee Drive to preserve public views. The closest home is approximately 35 feet to the west, which provides sufficient distance from a similar use.

F. The proposed use, as conditioned, is consistent with the City's General Plan. The proposed residence is located and designed to incorporate the existing terrain into the site plan to the maximum extent possible and to minimize grading and preserve viewsheds as called for in Policy LU-31.3 of the General Plan. The difference in elevation from the street (Renee Drive) to the finish floor elevation is approximately 15 feet. The proposed project has been carefully designed to maintain the housing scale and form of the surrounding neighborhood, as called for in Goal LU-9 and Policy LU-9.1 of the General Plan.

Section 4. The Planning Commission finds, pursuant to Section 9652.15.A and B of the Agoura Hills Municipal Code, which establishes special regulations for hillside development areas, that:

A. The proposed project is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood mud flow, erosion hazards or other hazards. A geotechnical report has been approved by the City Geotechnical Consultant.

B. The proposed project is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project does not protrude above protected ridges, and minimally blocks neighbors' views.

C. The proposed project can be provided with essential public services and is consistent with the objectives and policies of the General Plan. All utility services will be brought to the parcel without interference to the existing infrastructure.

D. The proposed development will complement the community character and benefit current and future community residents. The proposed house and lot size are consistent with neighboring homes.

Section 5. Based on the evidence presented at the public meeting, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9657.5.C.3 of the Agoura Hills Municipal Code, that:

A. The proposed construction and encroachment within the protected zone of four on-site oak trees, as conditioned, will be accomplished without endangering the health of the remaining trees on the subject property. The oak tree impacts are concentrated in the south vicinity of the parcel.

B. The encroachment into the protected zone of the oak trees will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated. The approved grading plan for the construction of the project ensures adequate property drainage both on-site and off-site.

C. No removal or relocation of oak trees is requested for the construction of the retaining walls. The proposed oak tree permit relates only to the encroachment into the protected zone of four oak trees, which is considered a minor disturbance to four on-site oak tree. The requested use on the private property can be accomplished without the endangerment of the health of the oak tree.

Section 6. The project is a request for one single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) and is not subject to a negative declaration or environmental impact report.

Section 7. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. CUP-01032-2014 and Oak Tree Permit No. OAK-01033-2014, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

Resolution No. _____

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PASSED, APPROVED and ADOPTED this 5th day of November 2015, by the following vote to wit:

AYES: (0)

NOES: (0)

ABSENT: (0)

ABSTAIN: (0)

Linda Northrup, Chairperson

ATTEST:

Doug Hooper, Secretary

CONDITIONS OF APPROVAL
(Case Nos. CUP-01032-2014 and OAK-01033-2014)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicant has agreed in writing that he is aware of, and accept, all Conditions of this Permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plans, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all Conditions of Approval have been complied with as determined by the Planning Director.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless this permit is used within two (2) years from the date of City approval, Conditional Use Permit Case No. CUP-01032-2014 and Oak Tree Permit Case No. OAK-01033-2014 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of Building Permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.36 per square foot for residential construction.
15. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
16. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Planning Director agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine the find and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Planning Director.
17. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
18. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

19. All exterior materials used for eaves, sidings, porch, patio, decks, carport, canopies and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).
20. A two percent (2%) slope away from the structure for drainage (on the first 5 feet) all around the new structure(s) shall be provided.
21. A soils report is required to be submitted to the Building and Safety Department for this project.
22. The applicant shall note on the final plans that all new windows will be tempered on at least one side of the dual pane, or a 20 minimum rated window or glass blocks per Section 704A.3.2.2 of the 2013 California Building Code.

23. This project is subject to the 2013 California Building, Mechanical, Plumbing, Electrical, and Energy Codes.
24. Los Angeles County Fire Department review and approval will be required for all new structures.

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

25. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
26. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
27. Applicant shall pay all applicable Transportation Impact Fees (TIF) to the Building and Safety Department at the rate in affect at the time of grading permit issuance. The current TIF is \$3,094
28. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements, monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's standards and file the necessary information with the County Recorder's office.
29. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals, water meter size and location, invert elevations and grades for all gravity lines. The Grading Plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
30. The Grading Plan shall show locations of all oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to oak trees as outlined in the City's Oak Tree Consultant's conditions of approval.
31. Prior to permitting, the applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.

32. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
33. Prior to issuance of permits from the Engineering Department, this project will require the applicant to obtain a permit from Las Virgenes Municipal Water District and Los Angeles County Department of Public Works Sewer Division.
34. Prior to permitting, the applicant shall provide a title report not older than 30 days.
35. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the City Engineering Department at (818) 597-7322 for approved City certification forms.
36. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The applicant shall widen asphalt concrete to 20 feet minimum, install a driveway approach, extend the 8" main sewer line, install a lateral for connection, and all water appurtenances shall be per Las Virgenes Municipal Water District's standards.
37. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The applicant shall widen the asphalt concrete and install a rolled curb along the property frontage, install a driveway approach, and extend the sewer main line to the easterly property line & construct a lateral for connection, and all water appurtenances shall be per LVMWD standards.
38. The following existing street(s) being cut for new services or being finished with curb and gutter may require an asphalt concrete overlay: Renee Drive along the property frontage.
39. This property is within the Las Virgenes Municipal Water District (LVMWD) service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
40. No sewer line is available for direct connection. The closest line is approximately 165 feet away. Applicant's Engineer shall prepare an improvement plan for a sewer main extension to provide 0.4 percent minimum grade.
41. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
42. Applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual, is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
43. This project shall be subject to the Low Impact Development (LID) requirements of Chapter 5 of Article V of the Agoura Hills Municipal Code.

44. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Public Works/Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
45. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
46. All remaining fees/ deposits required by the Engineering Department must be paid in full prior to issuance of grading permit.
47. All requirements including construction of improvements covered in condition number 36 must be completed to the satisfaction of the City Engineer.
48. The applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City for City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (as-built) Drawings, satisfactory to the City, are submitted.
49. The applicants shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.

50. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Public Works/Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
51. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL CONDITIONS

52. The applicant shall comply with all the items in City Geotechnical Consultant's (GeoDynamics, Inc.) Conditions of Approval letter dated June 2, 2015.

OAK TREE CONDITIONS

53. No damage shall occur within the protective zone (the area within the dripline of an oak tree and extending to a point at least 5 feet outside the dripline, or 15 feet from the trunk[s] of the tree, whichever distance is greater) of a protected oak tree without an approved permit from the City.
54. Exclusionary fencings consisting of chain-link, orange snow drift mesh fencing, or other suitable material shall be placed just outside of the protective zone of preserved oak trees during construction activities, so that access within the protective zones is prohibited during the construction phase of the project. Any work that will be conducted within the protective zone of an oak tree shall be accomplished under the direct supervision of a qualified arborist.
55. Care must be taken to limit grade changes near the protected zone of any oak tree. Grade changes can lead to plant stress from oxygen deprivation or oak root fungus at the root collar of oaks. Minor grade changes further from the trunk are not as critical but can negatively affect the health of the tree if not carefully monitored by a certified arborist. The grade shall not be lowered or raised around the trunks (i.e., within the protected zone) of any oak tree without prior authorization from the City.
56. No storage of equipment, supplies, vehicles, or debris shall be permitted within the protected zone of any oak tree.
57. No dumping of construction wastewater, paint, stucco, concrete, or any other clean-up waste shall occur within the protected zone of any oak tree or uphill from the protected zone.
58. No temporary structures shall be placed within the protected zone of any oak tree not permitted for removal or encroachments.

59. If pruning is required, pruning shall be limited to the removal of dead wood, and stubs, or removal of branches 2 inches in diameter or less. Pruning methods shall be conducted in accordance with the guidelines published by the National Arborist Association. In no case shall more than 20 percent of the tree canopy of any oak tree be removed. Cuts over 2 inches in diameter shall require authorization by permit from the County.
60. Irrigation water shall not reach within 15 feet of any oak trunk or within the protected zone of an oak tree.
61. If vegetation is proposed within the protective zone of an oak tree, plants shall be limited to drought tolerant species suitable for planting beneath oak trees.
62. A post-construction monitoring report shall be prepared and submitted by a qualified arborist describing the measures implemented during construction to preserve oak trees on the property.
63. If the root zone of a preserved oak tree is impacted by pruning of roots greater than 2-inches in diameter, or if any roots were inadvertently impacted during construction, follow-up monitoring shall be conducted by a qualified arborist within no less than 6 months following the pruning or impact. A 6-month monitoring report shall be prepared and submitted by a qualified arborist describing the condition of the oak tree compared to the tree's health condition as reported in the most current Oak Tree Report.
64. If at the end of the monitoring period it is determined that an oak tree dies as a result of construction activities, the tree shall be replaced in accordance with the provisions of the City's Oak Tree Ordinance and adopted Oak Tree Preservation Guidelines, and Municipal Code (Section 9657). Any replacement tree shall be monitored by a qualified arborist at 12 months following installation, and a subsequent report shall be prepared and submitted to the City by a qualified arborist indicating the health of the tree at the end of the 12-month period.

LANDSCAPING CONDITIONS

65. Prior to the approval of a Grading Permit, the applicant shall submit three sets of landscape and irrigation plans, meeting the following requirements, for review by the City Landscape Consultant and approval by the Planning Director:
 - a. The final landscape plan shall generally conform to the Planting Plan prepared by L. Newman Design Group, Inc., dated October 10, 2015. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed 30 inches by 42 inches in size. Plans shall be a minimum of 22 inches by 36 inches in size.

- d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals 20 feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, rights-of-way, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
66. The Planting Plan shall indicate the botanical name and size of each plant.
67. Plant symbols shall depict the size of the plants at maturity.
68. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
69. The landscape plans shall prominently display the following notes:
- All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
 - All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
 - Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
70. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.

71. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
72. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - Design and static pressures
 - Point of connection
 - Backflow protection
 - Valves, piping, controllers, heads, quick couplers
 - Gallon requirements for each valve
73. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
74. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
75. All plant material shall be considered compatible with Sunset Zone 18. A native and naturalistic planting scheme is recommended to preserve and enhance the native environmental context in which the development will occur.
76. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
77. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.
78. The landscape plan must be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department prior to the issuance of Building Permits.

FIRE DEPARTMENT CONDITIONS

79. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a Building Permit.

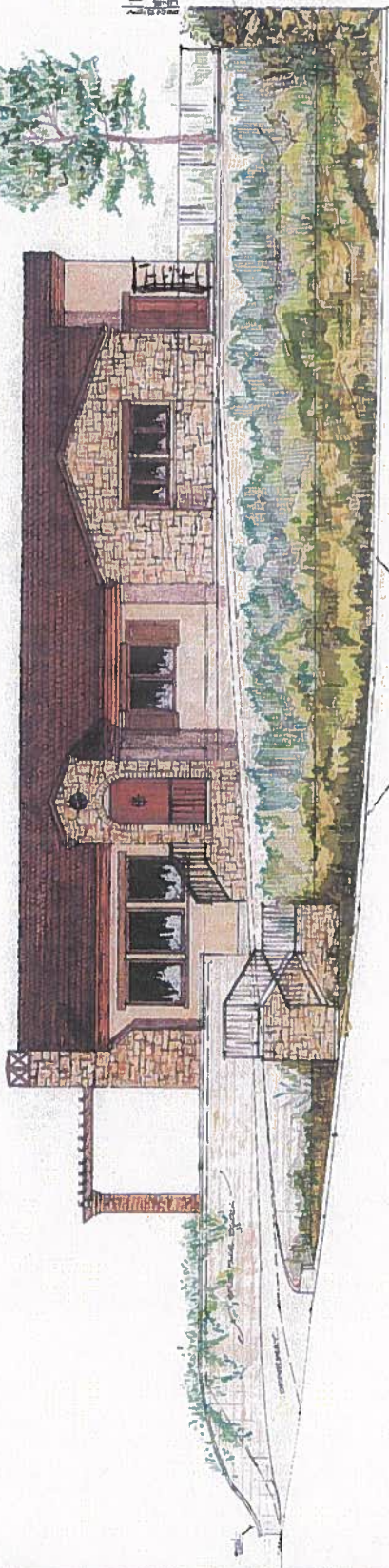
SOLID WASTE MANAGEMENT STANDARD CONDITIONS

80. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
81. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
82. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

SPECIAL CONDITIONS

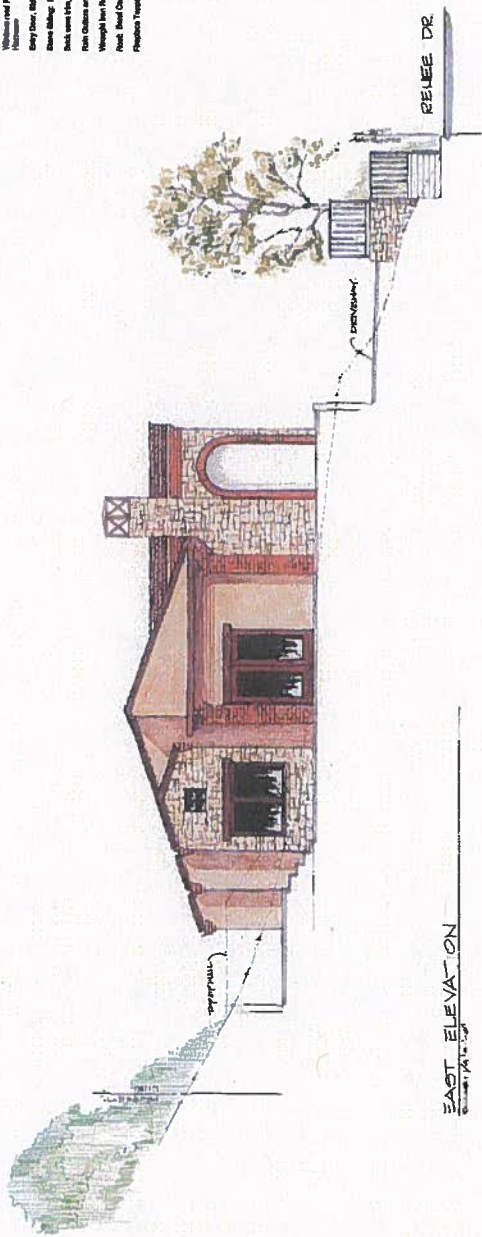
83. A pre-construction conference shall be held prior to the issuance of a grading permit, with all construction personnel involved with the grading operations.

END



RENEES DRIVE

NORTH ELEVATION
SCALE: 1/4" = 1'-0"



RENEES DR

EAST ELEVATION
SCALE: 1/4" = 1'-0"

Roofs: Smooth Stone Shingles, Clay; Clay Shingles; Spanish Tiles; Slate
 Wood: Hardwood, Maple, Oak, Dark Stained Hardwood
 Windows and French Doors: Light Stained Hardwood
 Entry Door: Solid Wood and Glass Door
 Stone Walling: Blended Stone Finish
 Siding: Vertical Slat Siding
 Deck: Composite Decking
 Railings: Wood
 Paint: Exterior Paint
 Finish: Hardwood Floors
 Lighting: Outdoor Lighting
 Landscaping: Lawn, Shrubs, Trees
 Fencing: Wood Fencing
 Driveway: Asphalt Driveway
 Garage: Attached Garage
 Pool: In-ground Pool
 Pool Deck: Composite Decking
 Pool Fencing: Wood Fencing
 Pool Lighting: Outdoor Lighting
 Pool Accessories: Pool Accessories
 Pool Furniture: Pool Furniture
 Pool Covers: Pool Covers
 Pool Maintenance: Pool Maintenance
 Pool Repairs: Pool Repairs
 Pool Safety: Pool Safety
 Pool Water: Pool Water
 Pool Water Treatment: Pool Water Treatment
 Pool Water Filtration: Pool Water Filtration
 Pool Water Heating: Pool Water Heating
 Pool Water Circulation: Pool Water Circulation
 Pool Water Distribution: Pool Water Distribution
 Pool Water Collection: Pool Water Collection
 Pool Water Storage: Pool Water Storage
 Pool Water Treatment: Pool Water Treatment
 Pool Water Filtration: Pool Water Filtration
 Pool Water Heating: Pool Water Heating
 Pool Water Circulation: Pool Water Circulation
 Pool Water Distribution: Pool Water Distribution
 Pool Water Collection: Pool Water Collection
 Pool Water Storage: Pool Water Storage

EXTERIOR ELEVATIONS

NO. OF SHEETS	1
SHEET NO.	1
TITLE	EXTERIOR ELEVATIONS
DATE	
SCALE	
PROJECT NO.	
CLIENT	
ARCHITECT	
DATE	

BING & BIRNBAUM ARCHITECTS
 4000 RAYBURN DRIVE, SUITE 100
 AUSTIN, TEXAS 78751
 TEL: (512) 325-1234
 FAX: (512) 325-1234

RENEES DRIVE RESIDENCE
 LOTS 4 & 5 RENEES DRIVE
 AQUINA HILLS, CA 91301
 APN# 2061-021-038 & 036

EXTERIOR ELEVATIONS

DATE: _____

SCALE: _____

DATE	_____
SCALE	_____
PROJECT	_____
CLIENT	_____
ARCHITECT	_____

SINGLE FAMILY RESIDENCE
LOTS 4 & 5 RENEZ DRIVE
AGOURA HILLS, CA 91301
APN# 2061-021-033 & 036

Barry Robles ARCHITECT
ARCHITECTURE PLANNING
400 Regency Court, Westlake Village, California 91381
TELEPHONE (818) 891-4348 FAX (818) 898-3730



SOUTH ELEVATION



WEST ELEVATION



RENEZ DRIVE

- 1 Stucco: Smooth Santa Barbara Finish, Color: Dunn Edwards Verona Beach DE6135
 - 2 Wood Headers, Beams, Trellis: Dunn Edwards Weathered Brown DEC756
 - 3 Windows & French Doors: Milgard Tuscany Vinyl in Espresso, Bronze Hardware
 - 4 Entry Door, Side Door and Garage Doors: Stained Min-Wax 'Mahogany'
 - 5 Stone Siding: El Dorado Stone Rough Cut Autumn Leaf (Earth tones)
 - 6 Brick eave trim, columns, and arch openings: Red brick
- Rain Gutters and downspouts: Copper
- Wrought Iron Railings: Flat Black
- 7 Roof: Boral Concrete Slate Tile, Energy Star Cool Roof (CRRC) Charcoal Brown Blend
- Fireplace Topper: Copper



SINGLE FAMILY RESIDENCE
LOTS 4 & 5 RENEE DRIVE
AGOURA HILLS, CA 91301
APN# 2061-021-035 & -036

barrey robles aia • ARCHITECT
 ARCHITECTURE PLANNING INTERIORS

lilaf marie robles

4500 REGENTS COURT
 WESTLAKE VILLAGE, CALIFORNIA 91361
 (818) 991-4218

Owner: Mr. Evan Serbin
 6433 Hedding Street
 Los Angeles, CA 90045
 (310) 670-7727

Vicinity Map/Zoning Map
Conditional Use Permit Case No. CUP-01032-2014 and
Oak Tree Permit Case No. OAK-001033-2014





Barry Robins and Associates - ARCHITECT
 15300 Wilshire Blvd., Suite 1000, Culver City, CA 90230
 TEL: (310) 440-8888 FAX: (310) 440-8889

SHANK FAMILY RESIDENCE
 2844 RENE DRIVE
 AGOURA HILLS, CA 91301

SITE PLAN

DATE	10/1/00
SCALE	1/8" = 1'-0"
PROJECT NO.	00-000
CLIENT	SHANK FAMILY
PROJECT NAME	SHANK FAMILY RESIDENCE

BUILDING ANALYSIS

DATE: 10/1/00
 ADDRESS: 2844 Rene Drive, Agoura Hills, California 91301
 CLIENT: SHANK FAMILY
 PROJECT: SHANK FAMILY RESIDENCE
 DRAWING NO.: 00-000
 SHEET NO.: 1/1

Lot Area: 14,720.00 S.F. (0.34 Acres)

Highly Sloped (15% or more)	1,200 S.F.	8.2%
Steeply Sloped (12% to 15%)	1,800 S.F.	12.2%
Level (2% to 12%)	11,720 S.F.	79.6%

Permitted Uses: Single-Family Residential, Single-Family Detached (SFR)

Front Yard Setback: 10.00' (Minimum)

Side Yard Setback: 5.00' (Minimum)

Front and Side Setback: 5.00' (Minimum)

Front and Side Setback: 10.00' (Minimum)

Front and Side Setback: 15.00' (Minimum)

Front and Side Setback: 20.00' (Minimum)

Front and Side Setback: 25.00' (Minimum)

Front and Side Setback: 30.00' (Minimum)

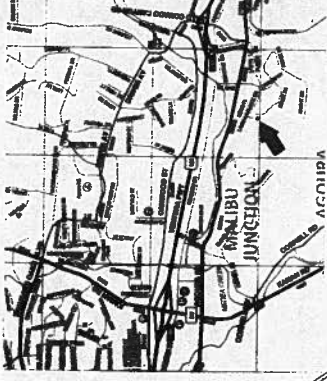
Front and Side Setback: 35.00' (Minimum)

Front and Side Setback: 40.00' (Minimum)

Front and Side Setback: 45.00' (Minimum)

Front and Side Setback: 50.00' (Minimum)

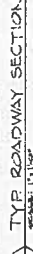
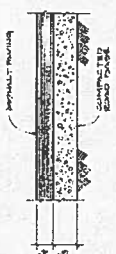
VICINITY MAP



1. Provide appropriate site plan information including but not limited to: lot area, lot coverage, setbacks, easements, and other site plan information. The site plan shall be prepared in accordance with the requirements of the applicable local ordinance and the California Building Code and the California Fire Code.

2. Provide the appropriate information and data to the Building Code and Fire Code. The Building Code and Fire Code shall be used to determine the appropriate setbacks, lot coverage, and other site plan information. The Building Code and Fire Code shall be used to determine the appropriate setbacks, lot coverage, and other site plan information.

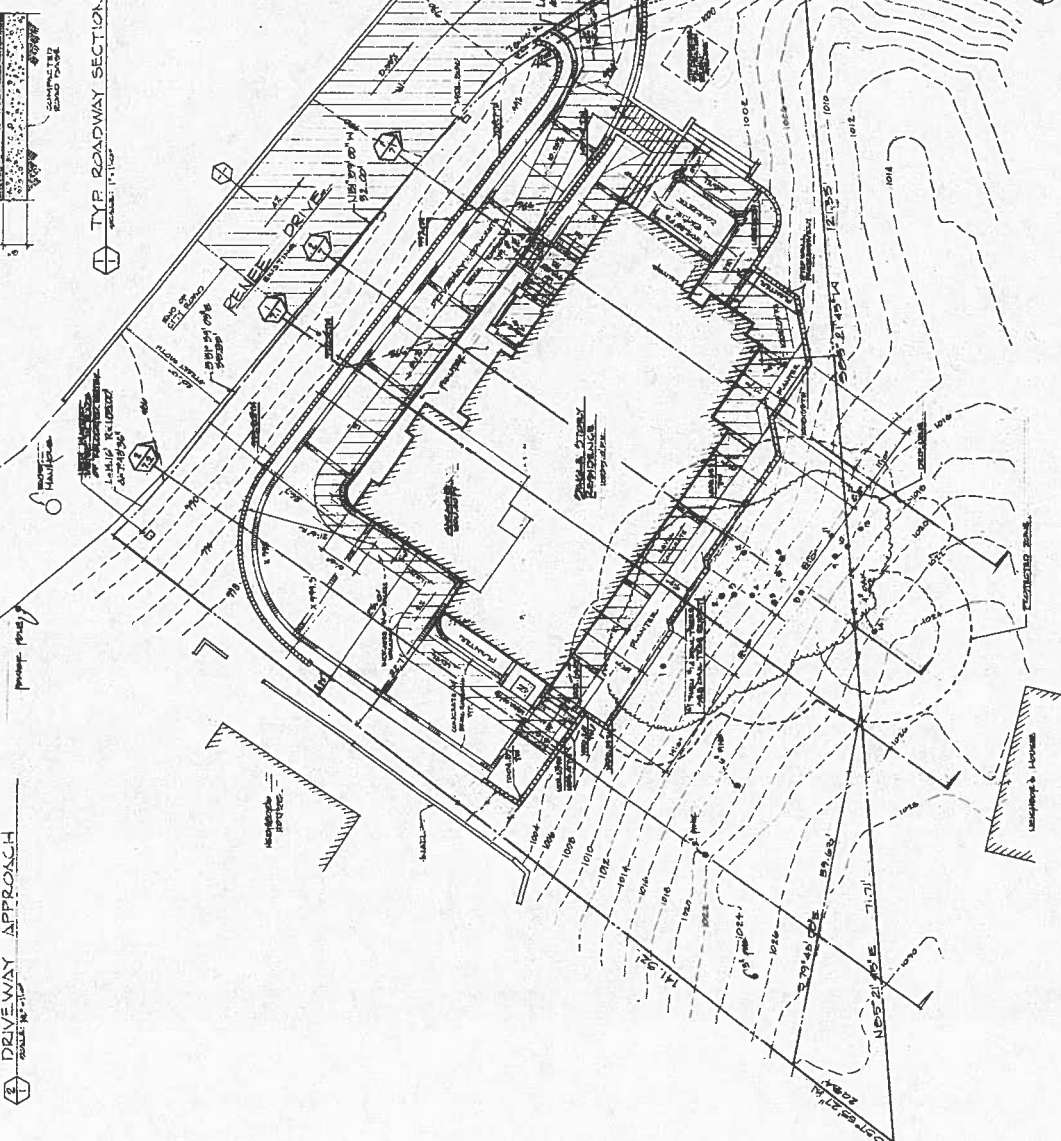
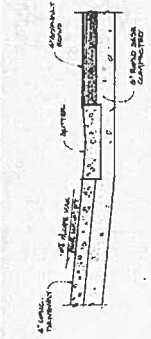
DATE: 10/1/00
 SCALE: 1/8" = 1'-0"



LAUNZA LA PLANTE DRIVE

RENE DRIVE

AGOURA HILLS ROAD



SITE PLAN
 SCALE: 1/8" = 1'-0"

DATE: 10/1/00
 SCALE: 1/8" = 1'-0"



Barry Robbins and Associates - ARCHITECT
 4000 FORTY-EIGHT AVENUE, SUITE 200
 TEL: (415) 353-1234 FAX: (415) 353-1235

SINGLE FAMILY RESIDENCE
 EVAN SEMBIN
 28458 RENEE DRIVE
 AGOURA HILLS, CA 91301

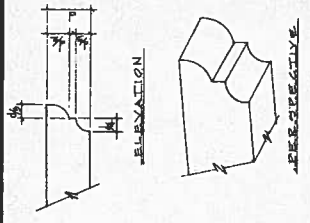
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2	LEAFERS DETAIL
3	ROOF RAKE DETAIL
4	COLUMN DETAIL
5	SKYLIGHT DETAIL
6	TYPICAL STONE VENEER
7	STONE VENEER & STAR WALLS
8	VENEER & CONCRETE OR MASONRY
9	CORBEL DETAIL

DETAILS

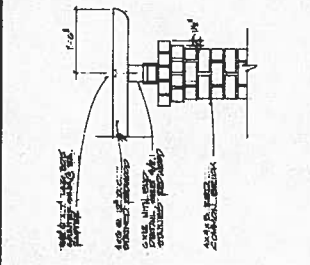
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BY	BR
CHECKED BY	BR

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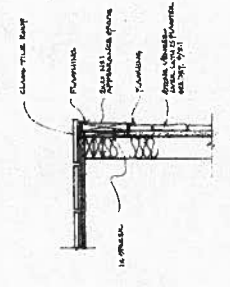
Mr. Evan Sembin
 28458 Renee Drive
 Agoura Hills, CA 91301
 (415) 353-1234



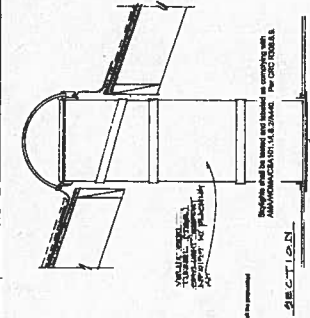
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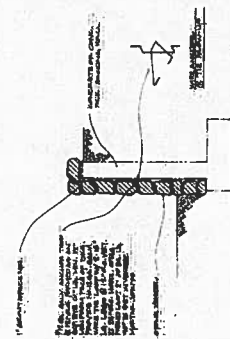
4 COLUMN DETAIL
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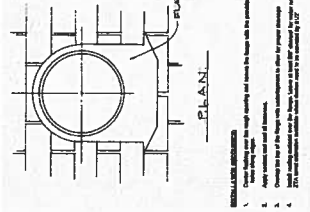
8 ROOF RAKE DETAIL
 SCALE: 1/4" = 1'-0"



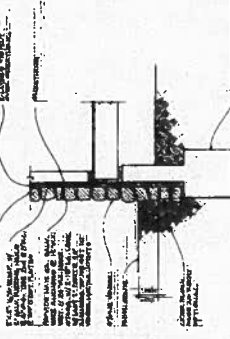
5 SKYLIGHT DETAIL
 SCALE: 1/4" = 1'-0"



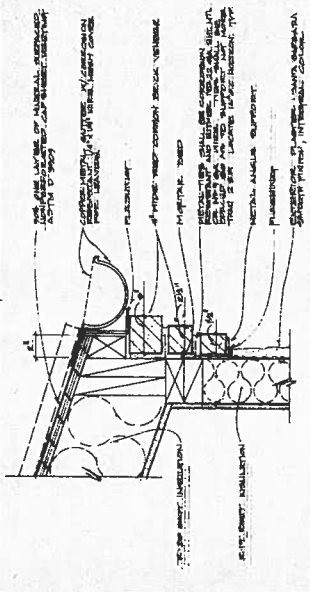
7 STONE VENEER & STAR WALLS
 SCALE: 1/4" = 1'-0"



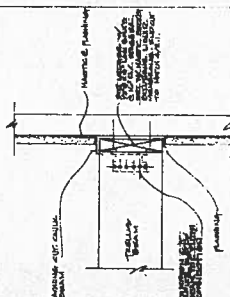
6 TYPICAL STONE VENEER
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8 VENEER & CONCRETE OR MASONRY
 SCALE: 1/4" = 1'-0"



1 ROOF EAVE DETAIL
 SCALE: 1/4" = 1'-0"



2 LEAFERS DETAIL
 SCALE: 1/4" = 1'-0"



BERRY POLK AND ASSOCIATES
 ARCHITECTS
 4200 Regency Court, Suite 100, Walnut Creek, California 94597
 (925) 938-4478 FAX (925) 938-2700

SINGLE FAMILY RESIDENCE
2845A RENEE DRIVE
 AGOURA HILLS, CA 91301

SCHEDULES
DETAILS

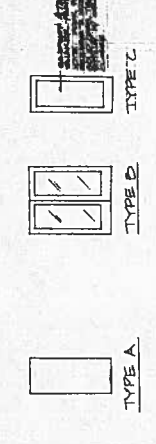
NO.	DATE	BY
1		
2		
3		
4		
5		

3

DOOR SCHEDULE

NOTES

- All doors to be color grade as listed.
- Provide threshold in accordance with schedule. Schedule shall be furnished to contractor at least 14 days prior to start of work. Schedule shall be furnished to contractor at least 14 days prior to start of work.
- All door frames to be color grade as listed. Schedule shall be furnished to contractor at least 14 days prior to start of work. Schedule shall be furnished to contractor at least 14 days prior to start of work.
- Doors shall be color grade as listed. Schedule shall be furnished to contractor at least 14 days prior to start of work. Schedule shall be furnished to contractor at least 14 days prior to start of work.
- Doors shall be color grade as listed. Schedule shall be furnished to contractor at least 14 days prior to start of work. Schedule shall be furnished to contractor at least 14 days prior to start of work.



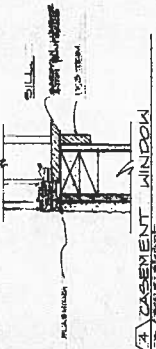
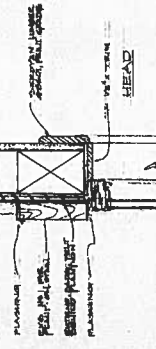
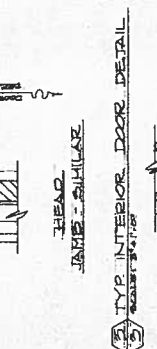
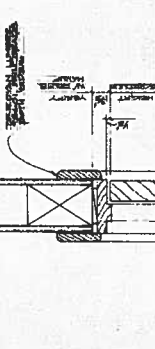
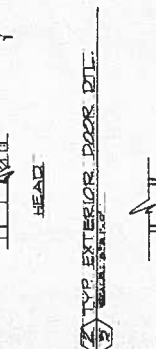
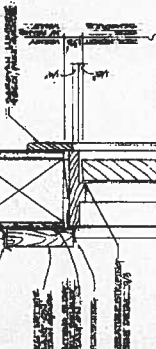
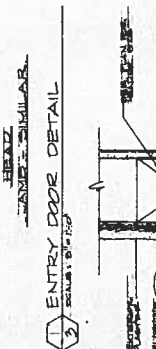
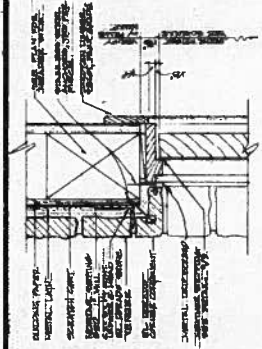
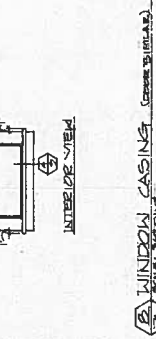
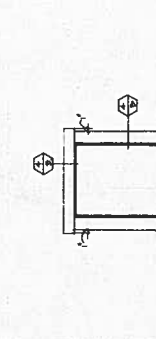
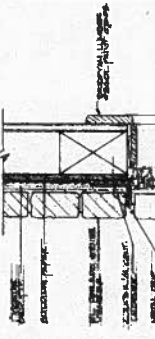
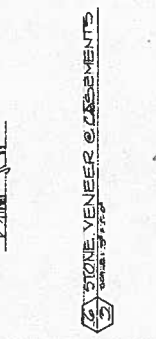
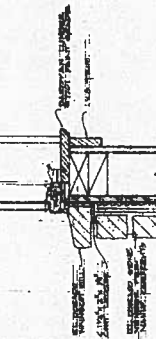
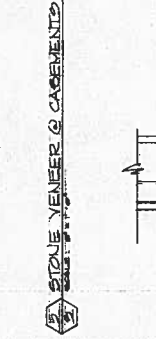
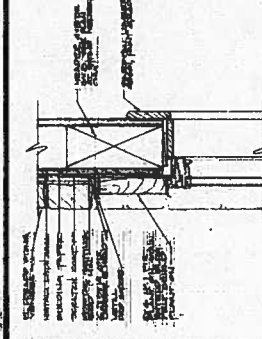
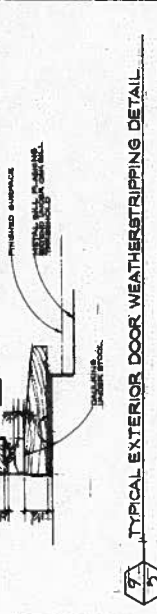
WINDOW SCHEDULE

All window in business locations must be identified by a label (numbered) in every window. Label shall be furnished to contractor at least 14 days prior to start of work. Label shall be furnished to contractor at least 14 days prior to start of work.

NO.	W.C.N.	TYPE	TOTAL AREA	FINISH	MATERIAL	REMARKS
1	101	101	101	101	101	101
2	102	102	102	102	102	102
3	103	103	103	103	103	103
4	104	104	104	104	104	104
5	105	105	105	105	105	105
6	106	106	106	106	106	106
7	107	107	107	107	107	107
8	108	108	108	108	108	108
9	109	109	109	109	109	109
10	110	110	110	110	110	110
11	111	111	111	111	111	111
12	112	112	112	112	112	112
13	113	113	113	113	113	113
14	114	114	114	114	114	114
15	115	115	115	115	115	115
16	116	116	116	116	116	116
17	117	117	117	117	117	117
18	118	118	118	118	118	118
19	119	119	119	119	119	119
20	120	120	120	120	120	120

NOTES

- Window frames shall be color grade as listed. Schedule shall be furnished to contractor at least 14 days prior to start of work. Schedule shall be furnished to contractor at least 14 days prior to start of work.
- Window frames shall be color grade as listed. Schedule shall be furnished to contractor at least 14 days prior to start of work. Schedule shall be furnished to contractor at least 14 days prior to start of work.
- Window frames shall be color grade as listed. Schedule shall be furnished to contractor at least 14 days prior to start of work. Schedule shall be furnished to contractor at least 14 days prior to start of work.
- Window frames shall be color grade as listed. Schedule shall be furnished to contractor at least 14 days prior to start of work. Schedule shall be furnished to contractor at least 14 days prior to start of work.
- Window frames shall be color grade as listed. Schedule shall be furnished to contractor at least 14 days prior to start of work. Schedule shall be furnished to contractor at least 14 days prior to start of work.



FINISH NOTES

- ALL FINISHES TO BE PROVIDED WITH A 1/2" VENEER PAINT.
- ALL FINISHES TO BE PROVIDED WITH A 1/2" VENEER PAINT.
- ALL FINISHES TO BE PROVIDED WITH A 1/2" VENEER PAINT.
- ALL FINISHES TO BE PROVIDED WITH A 1/2" VENEER PAINT.
- ALL FINISHES TO BE PROVIDED WITH A 1/2" VENEER PAINT.

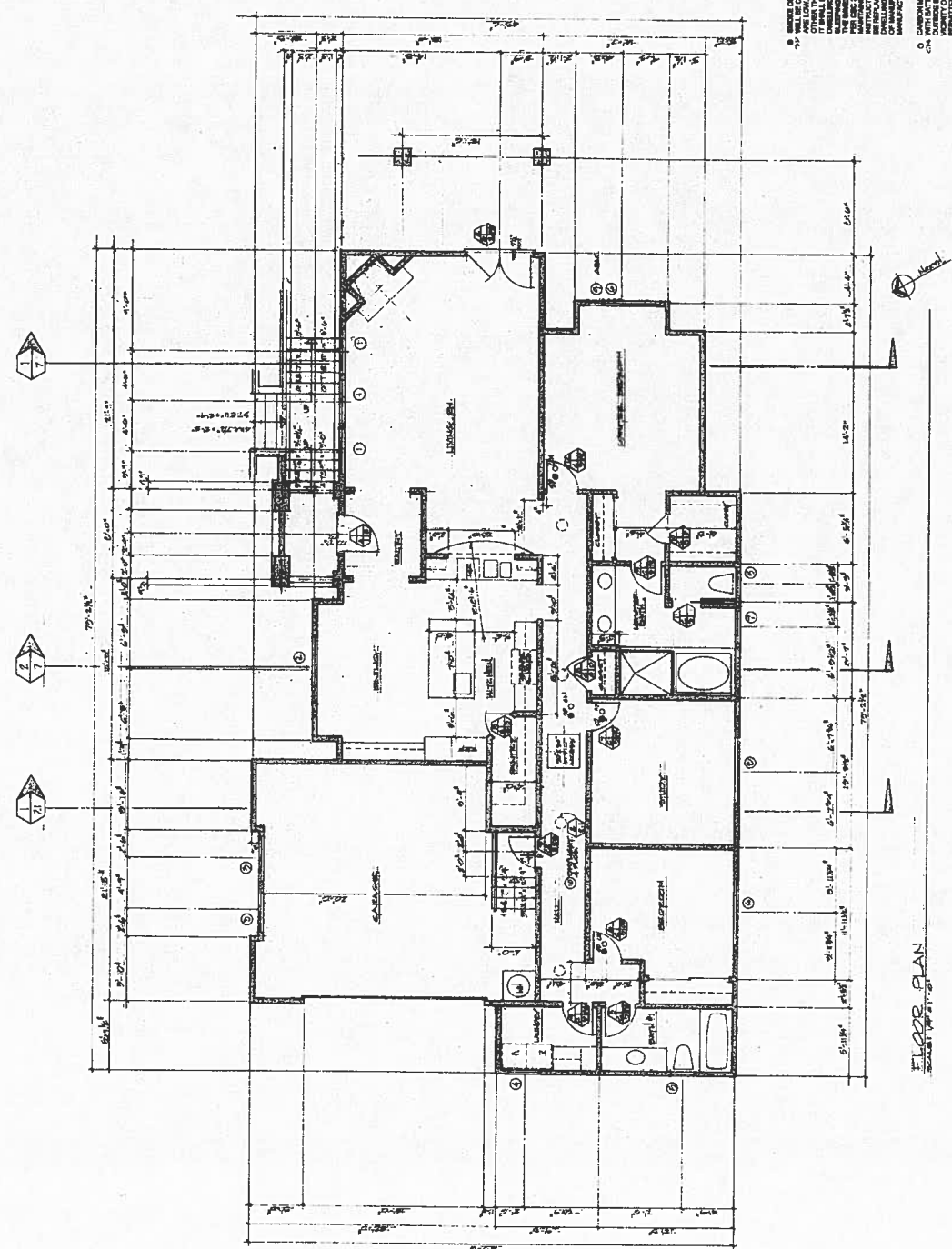


BATTERY POWERED, INC. - ARCHITECT
 4025 RAYMOND ROAD, SUITE 100
 SAN JOSE, CALIFORNIA 95128-3370

SINGLE FAMILY RESIDENCE
EVAN SERBIN
28454 RENEE DRIVE
AGOURA HILLS, CA 91301

FLOOR PLAN

NO.	DATE	BY
1	10/1/10	...
2
3
4
5



OWNER: EVAN SERBIN
 28454 RENEE DRIVE
 AGOURA HILLS, CA 91301

DATE: 10/1/10

BY: [Signature]

PROJECT NO. 10-1010

OWNER'S ATTORNEY: [Name]

OWNER'S ADDRESS: [Address]

OWNER'S PHONE: [Phone]

OWNER'S FAX: [Fax]

OWNER'S EMAIL: [Email]

OWNER'S OCCUPANCY: [Occupancy]

OWNER'S OCCUPANCY DATE: [Occupancy Date]

OWNER'S OCCUPANCY TYPE: [Occupancy Type]

OWNER'S OCCUPANCY STATUS: [Occupancy Status]

OWNER'S OCCUPANCY NOTES: [Occupancy Notes]

OWNER'S OCCUPANCY CONTACT: [Occupancy Contact]

OWNER'S OCCUPANCY CONTACT PHONE: [Occupancy Contact Phone]

OWNER'S OCCUPANCY CONTACT ADDRESS: [Occupancy Contact Address]

OWNER'S OCCUPANCY CONTACT CITY: [Occupancy Contact City]

OWNER'S OCCUPANCY CONTACT STATE: [Occupancy Contact State]

OWNER'S OCCUPANCY CONTACT ZIP: [Occupancy Contact ZIP]

OWNER'S OCCUPANCY CONTACT COUNTRY: [Occupancy Contact Country]

OWNER'S OCCUPANCY CONTACT WEBSITE: [Occupancy Contact Website]

OWNER'S OCCUPANCY CONTACT SOCIAL MEDIA: [Occupancy Contact Social Media]

OWNER'S OCCUPANCY CONTACT LINKEDIN: [Occupancy Contact LinkedIn]

OWNER'S OCCUPANCY CONTACT FACEBOOK: [Occupancy Contact Facebook]

OWNER'S OCCUPANCY CONTACT TWITTER: [Occupancy Contact Twitter]

OWNER'S OCCUPANCY CONTACT INSTAGRAM: [Occupancy Contact Instagram]

OWNER'S OCCUPANCY CONTACT PINTEREST: [Occupancy Contact Pinterest]

OWNER'S OCCUPANCY CONTACT YOUTUBE: [Occupancy Contact YouTube]

OWNER'S OCCUPANCY CONTACT GITHUB: [Occupancy Contact GitHub]

OWNER'S OCCUPANCY CONTACT STACKOVERFLOW: [Occupancy Contact StackOverflow]

OWNER'S OCCUPANCY CONTACT LEADIN: [Occupancy Contact LeadIn]

OWNER'S OCCUPANCY CONTACT LEADOUT: [Occupancy Contact LeadOut]

OWNER'S OCCUPANCY CONTACT LEADIN AND LEADOUT: [Occupancy Contact LeadIn and LeadOut]

OWNER'S OCCUPANCY CONTACT LEADIN AND LEADOUT AND LEADIN AND LEADOUT: [Occupancy Contact LeadIn and LeadOut and LeadIn and LeadOut]

OWNER'S OCCUPANCY CONTACT LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT: [Occupancy Contact LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut]

OWNER'S OCCUPANCY CONTACT LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT: [Occupancy Contact LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut]

OWNER'S OCCUPANCY CONTACT LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT: [Occupancy Contact LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut]

OWNER'S OCCUPANCY CONTACT LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT: [Occupancy Contact LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut]

OWNER'S OCCUPANCY CONTACT LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT AND LEADIN AND LEADOUT: [Occupancy Contact LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut and LeadIn and LeadOut]

FLOOR PLAN



Lawrey Robbins and Associates - ARCHITECT
1000 PAVANES COURT, WOODLAND HILLS, CALIFORNIA 91367
TELEPHONE (818) 709-4278 FAX (818) 709-4279

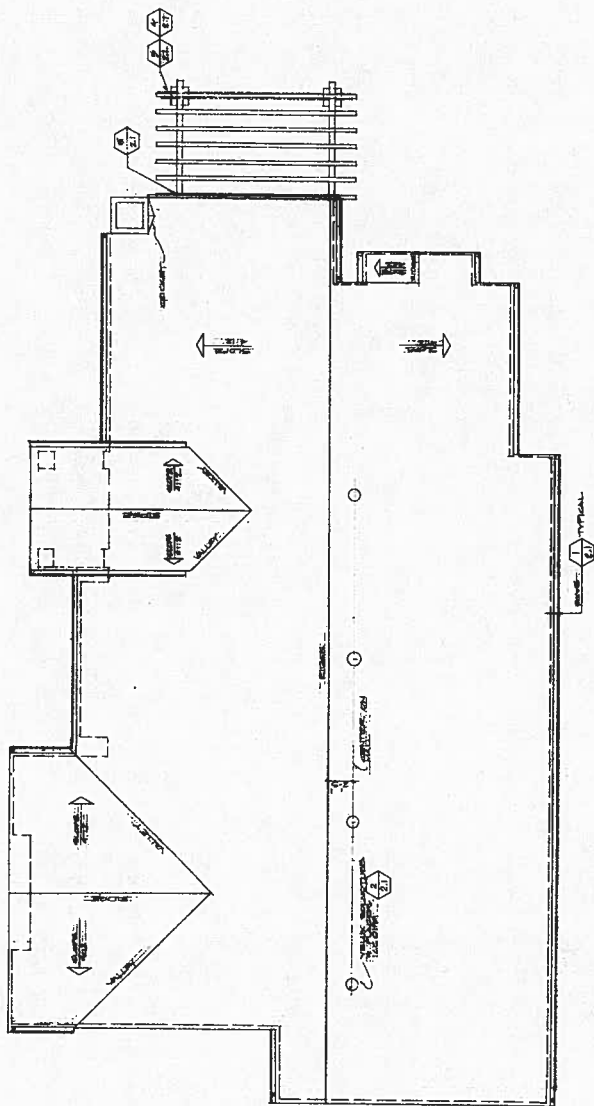
SINGLE FAMILY RESIDENCE
EVAN SERBIN
28454 RENEZ DRIVE
AGOURA HILLS, CA 91301

DATE	NOV 19 1998
PROJECT NO.	28454 RENEZ DRIVE
CLIENT	EVAN SERBIN
PROJECT TYPE	RESIDENTIAL

ROOF PLAN

NO.	5
DATE	NOV 19 1998
PROJECT NO.	28454 RENEZ DRIVE
CLIENT	EVAN SERBIN
PROJECT TYPE	RESIDENTIAL

Owner: Mr. Evan Serbin
18421 Woodbury Street
Van Nuys, CA 91411
916 707-7172



NOTES:
1. ALL ROOFING SHALL BE PERFORMED BY A LICENSED ROOFER.
2. ALL ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING MANUAL, 1997 EDITION, PAGES 2-101 THROUGH 2-104.

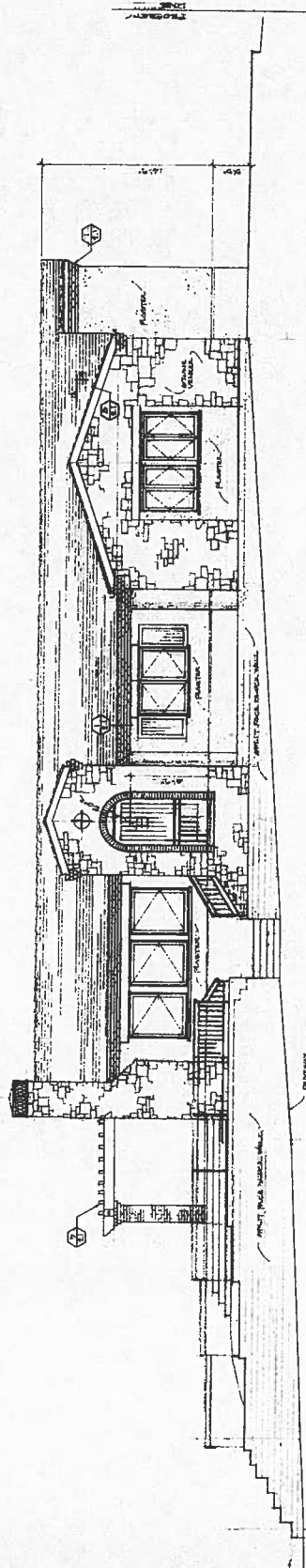
ROOF PLAN
SCALE: 1/4" = 1'-0"

Barney Johnson and Associates
 ARCHITECT
 51202 Via Camino, Suite 100, Woodside, Virginia, California 91362
 TEL: (818) 351-4477 FAX: (818) 351-4750

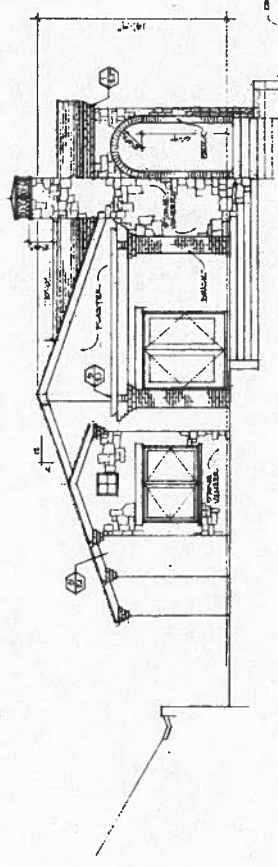
SINGLE FAMILY RESIDENCE
 EVAN SERBIN
 28454 RENEER DRIVE
 AGOURA HILLS, CA 91301

EXTERIOR ELEVATIONS

DATE	NOV 11 1994
BY	BARNEY JOHNSON
CHECKED BY	BARNEY JOHNSON
SCALE	AS SHOWN
PROJECT NO.	94-010
CLIENT	EVAN SERBIN
ADDRESS	28454 RENEER DRIVE
CITY	AGOURA HILLS, CA
STATE	CA
COUNTY	LOS ANGELES
ZONING	RS-1



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



EAST ELEVATION
 SCALE: 1/8" = 1'-0"

Materials: Smooth Stone Venetian Plaster, Clear Glass Windows, Vermont Stone (28454)
 Wood Siding, Shingles, Yellow Pine Siding, Mahogany Windows (28454)
 Windows and French Doors: Biggart Windows (Biggart Windows, 10700 Wilshire Blvd, Beverly Hills, CA 90210)
 Entry Door: Glass Door and Change Door: Mahogany (Mahogany, 10700 Wilshire Blvd, Beverly Hills, CA 90210)
 Stone Siding: © Charles Stone Rough Cut Natural Laid (Charles Stone, 10700 Wilshire Blvd, Beverly Hills, CA 90210)
 Brick Siding: © Charles Stone Rough Cut Natural Laid (Charles Stone, 10700 Wilshire Blvd, Beverly Hills, CA 90210)
 Iron Chimney and downspout: Copper
 Wrought Iron Mailbox: 18" Black
 Roof: Best Concrete with 7% Slope for Lead Cold Roof (CPRC) Charcoal Green Slate
 Porcelain Topper: Copper

R. SERBIN, DR.



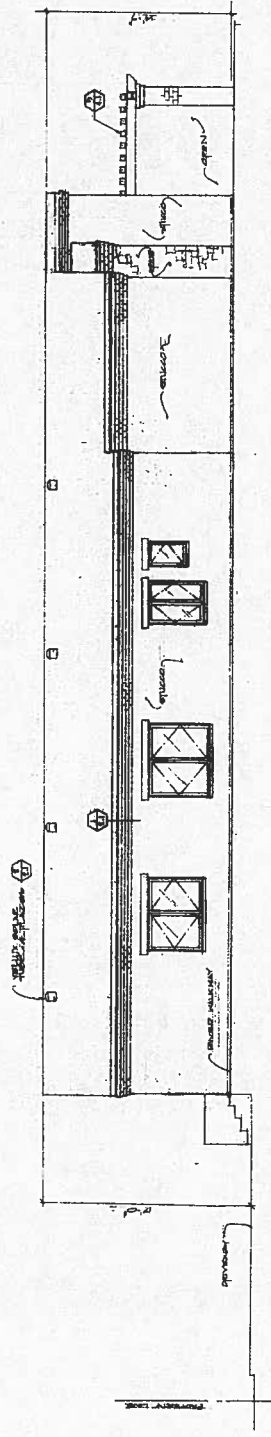
Barry Robbins and Associates
 ARCHITECTS
 4000 Poplar Court, Westlake Village, California 91391
 TELEPHONE (818) 891-4215 FAX (818) 891-2700

SINGLE FAMILY RESIDENCE
 EVAN SERBIN
 2854 RENEE DRIVE
 AGOURA HILLS, CA 91301

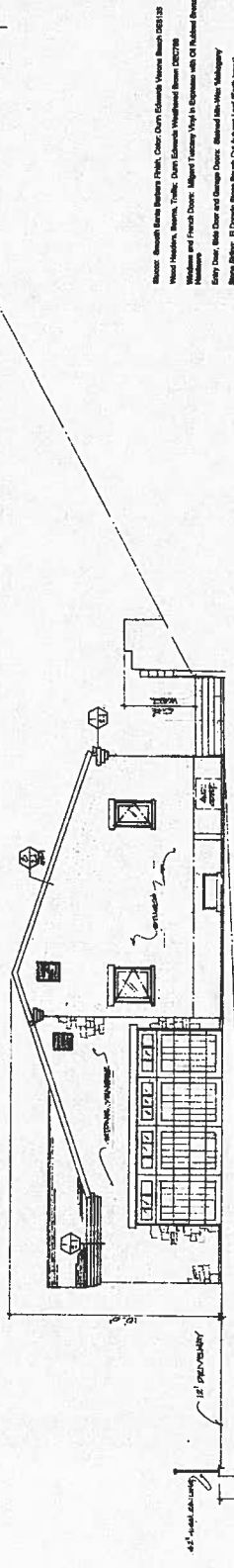
EXTERIOR
 ELEVATIONS

SCALE	1/4" = 1'-0"
DRAWN	LRP
CHECKED	LRP
DATE	10/29/95

6.1



SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"

Materials: Rough Sawn Hemlock #1&2; Cedar Clutch Glueless Veneer Beach 1202125
 Wood Hardware: Borms, Yalco, Duro Glueless Veneered Bronze 1202789
 Windows and French Doors: Milgard Tempra Vinyl in Espresso with Oil Rubbed Bronze
 Entry Door: Solid Cedar and Orange Stain; Stained Oak; White Mahogany
 Stone Siding: El Dorado Stone Range Old Auster Leaf (Black Sand)
 Brick: Solid Brick, redstone, 4 1/2" x 8" x 10" (Solid Sand)
 Metal: Cabinet and Appliances: Copper
 Hardware and Hardware: Copper
 Paint: Sherwin Williams: Flat Black
 Roof: Best Concrete Block Tile, Energy Star rated Cool Roof (EMER) Chemical Brown Block
 Foundation: Tropicor: Copper

Owner: M. Evan Serbin
 2854 Renee Drive
 Agoura Hills, CA 91301
 (818) 891-2727



Barry Robbins and Associates - ARCHITECT
 ARCHITECTS PLANNERS
 4000 Regency Court, Van Nuys, California 91411
 TELEPHONE (818) 781-8718 FAX (818) 781-3700

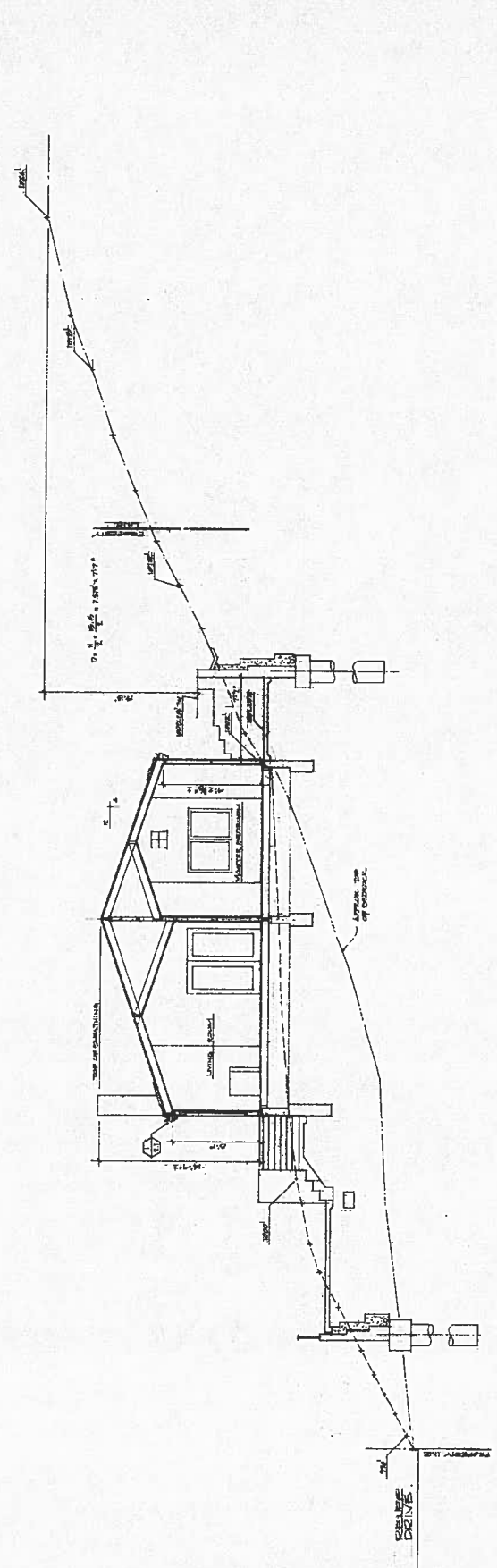
SMALL FAMILY RESIDENCE
 EVAN SERBIN
 28484 RENEZ DRIVE
 AGOURA HILLS, CA 91301

NO. OF SHEETS	12
NO. OF SHEETS USED	12
DATE	10/1/88
PROJECT NAME	SMALL FAMILY RESIDENCE

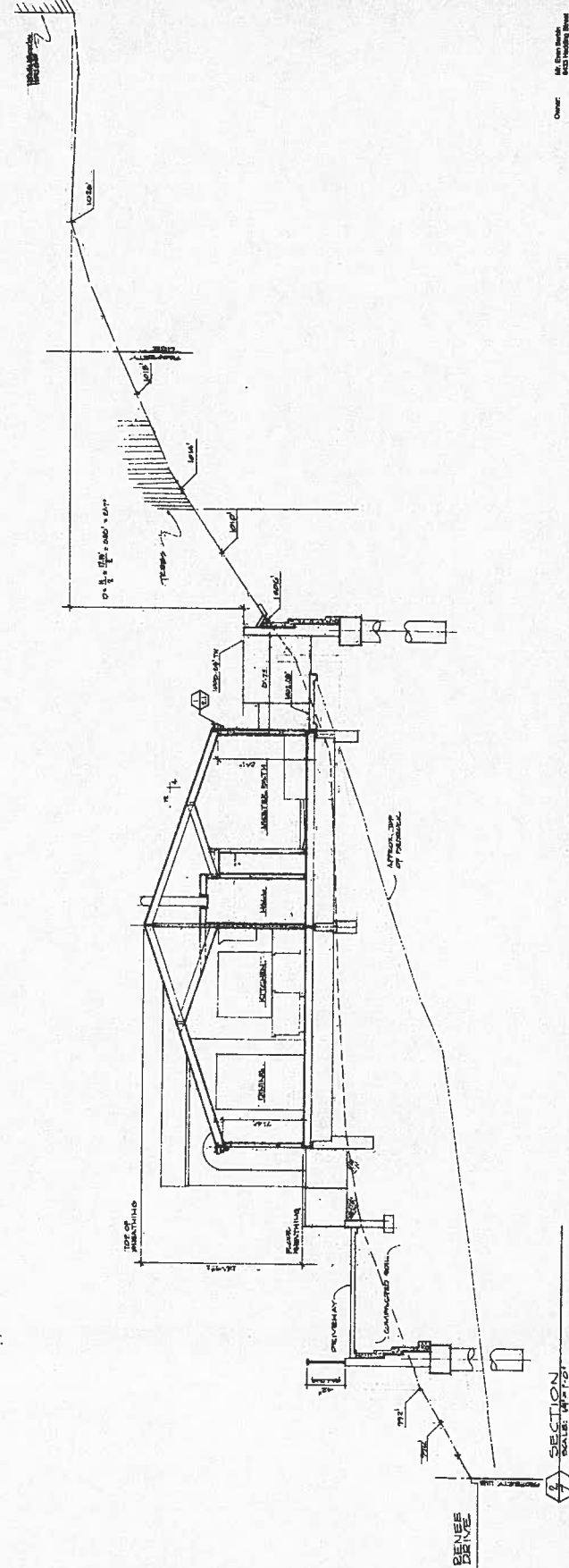
SECTIONS	
NO.	DESCRIPTION
1	SECTION 1
2	SECTION 2

DATE	10/1/88
SCALE	1/4" = 1'-0"
PROJECT	SMALL FAMILY RESIDENCE
NO.	1

Owner: Mr. Evan Serbin
 28484 Renez Drive
 Agoura Hills, CA 91301
 (818) 781-3700



SECTION 1
 SMALL FAMILY RESIDENCE



SECTION 2
 SMALL FAMILY RESIDENCE



Barney Pughon BBA - ARCHITECT
 ARCHITECTURE
 4000 Regency Court, Woodside, Virginia, California 91381
 TELEPHONE (415) 891-0716 FAX (415) 898-8730

SINGLE FAMILY RESIDENCE
 EVAN SERBIN
 28454 RENEZ DRIVE
 AGOURA HILLS, CA 91301

SECTIONS

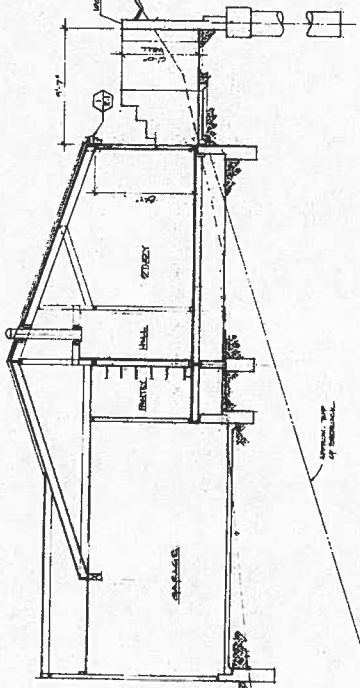
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12/1/77	3	REVISED
1/1/78	4	REVISED
2/1/78	5	REVISED
3/1/78	6	REVISED
4/1/78	7	REVISED
5/1/78	8	REVISED
6/1/78	9	REVISED
7/1/78	10	REVISED
8/1/78	11	REVISED
9/1/78	12	REVISED
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1/1/79	16	REVISED
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1/1/81	40	REVISED
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7/1/83	70	REVISED
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1/1/85	88	REVISED
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3/1/85	90	REVISED
4/1/85	91	REVISED
5/1/85	92	REVISED
6/1/85	93	REVISED
7/1/85	94	REVISED
8/1/85	95	REVISED
9/1/85	96	REVISED
10/1/85	97	REVISED
11/1/85	98	REVISED
12/1/85	99	REVISED
1/1/86	100	REVISED

71

Owner: Mr. Evan Serbin
 28454 Renez Drive
 Agoura Hills, CA 91301
 (714) 898-7777

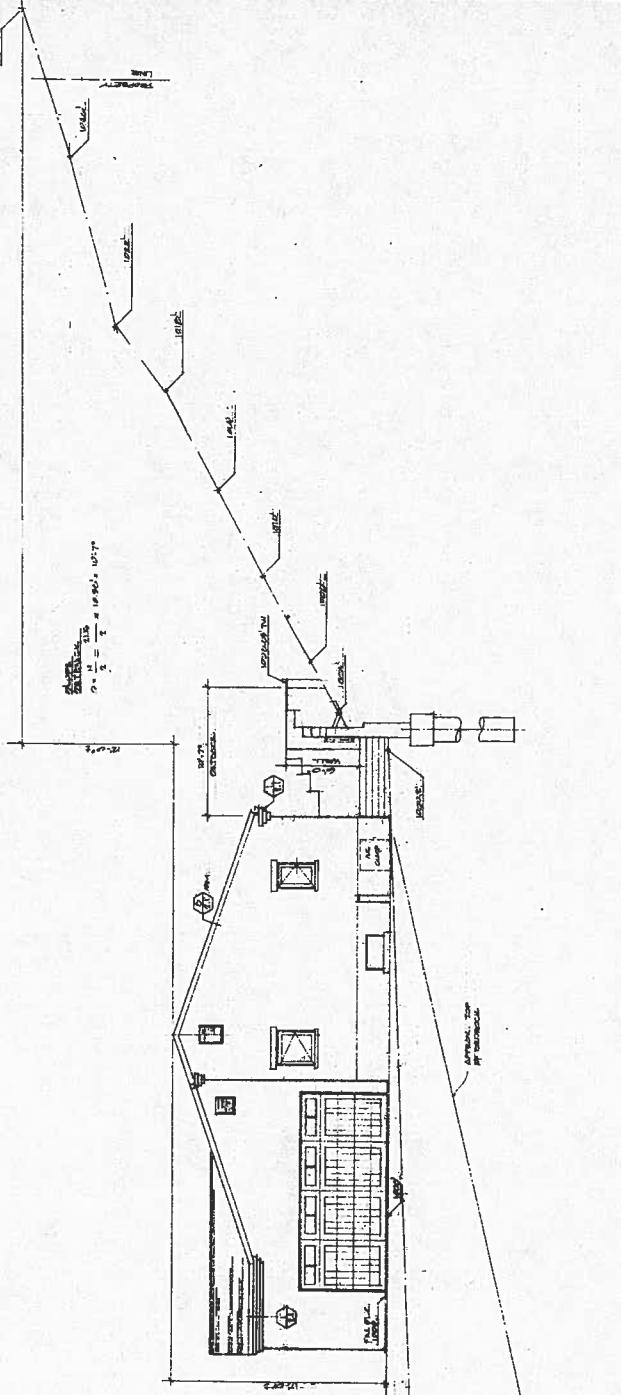
Scale: 1/4" = 1'-0"
 1/8" = 1'-0"
 1/16" = 1'-0"

Scale: 1/4" = 1'-0"
 1/8" = 1'-0"
 1/16" = 1'-0"



SECTION 1/1

SEE SHEET 70



SECTION 2/1

SEE SHEET 70

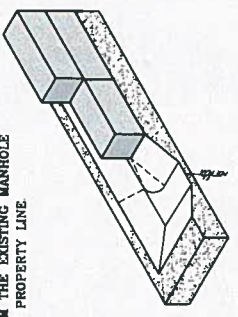
- L1 N37°55'27"E 15.16'
- L3 N88°28'46"W 15.00' (RADIAL)
- L4 S45°00'00"E 27.00' (REC.)
- L5 S61°00'12"E 25.64' (CALC.)
- L6 S62°23'29"E 38.13' (REC.)
- C5 R=90.00' D=9°02'06" L=14.19'
- C6 R=90.00' D=53°30'14" L=84.04'

CONSTRUCTION NOTES

- A) CONSTRUCT DRIVEWAY PER DETAIL "A" SHEET 3
- B) CONSTRUCT 12"x12" CATCH BASIN W-FGP-12FB PER DETAIL "B" SHEET 3
- C) CONSTRUCT AREA DRAIN PER DETAIL "C" SHEET 3
- D) CONSTRUCT 6" ADS N-12 WATERITE PIPE OR EQV. PER INVERT ELEVATIONS HEREON.
- E) CONSTRUCT THRU WALL DRAIN PER DETAIL "E" SHEET 3.
- F) CONSTRUCT TOP OF WALL SWALE PER DETAIL "F" SHEET 3.
- G) CONSTRUCT 24" WIDE CUTTER PER DETAIL "G" SHEET 4.
- H) CONSTRUCT 6" CURB AND 24" CUTTER PER APWA 120-1 A2-150(6).
- I) CONSTRUCT KRISTAR INFILTRATION SYSTEM (Lx6 Wx5.5'D) PER DETAIL "I" SHEET 4.
- J) CONSTRUCT SWALE RETURN PER DETAIL "J" HEREON.
- K) CONSTRUCT 24" MANHOLE(STORMWATER TREATMENT) W-FGP-24FB PER DETAIL "K" SHEET 3.
- L) CONSTRUCT OVEREXCAVATION AND RECOMPACTION 5' OUTSIDE FOOTPRINT AND 3' BELOW PROPOSED FOOTINGS.
- M) CONSTRUCT THRU WALL DRAIN PER DETAIL "M" SHEET 3.

***SEWER MAIN LINE TO BE EXTENDED AS A PART OF THIS PROJECT FROM THE EXISTING MANHOLE AT THE NORTH SIDE OF THIS PROPERTY AND TERMINATE AT THE SOUTHERLY PROPERTY LINE.

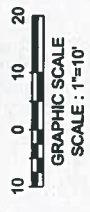
CURVE	BEARS	LENGTH	TANGENT
1	112.00'	112.00'	112.00'
2	112.00'	112.00'	112.00'
3	112.00'	112.00'	112.00'
4	112.00'	112.00'	112.00'
5	112.00'	112.00'	112.00'
6	112.00'	112.00'	112.00'
7	112.00'	112.00'	112.00'
8	112.00'	112.00'	112.00'
9	112.00'	112.00'	112.00'
10	112.00'	112.00'	112.00'



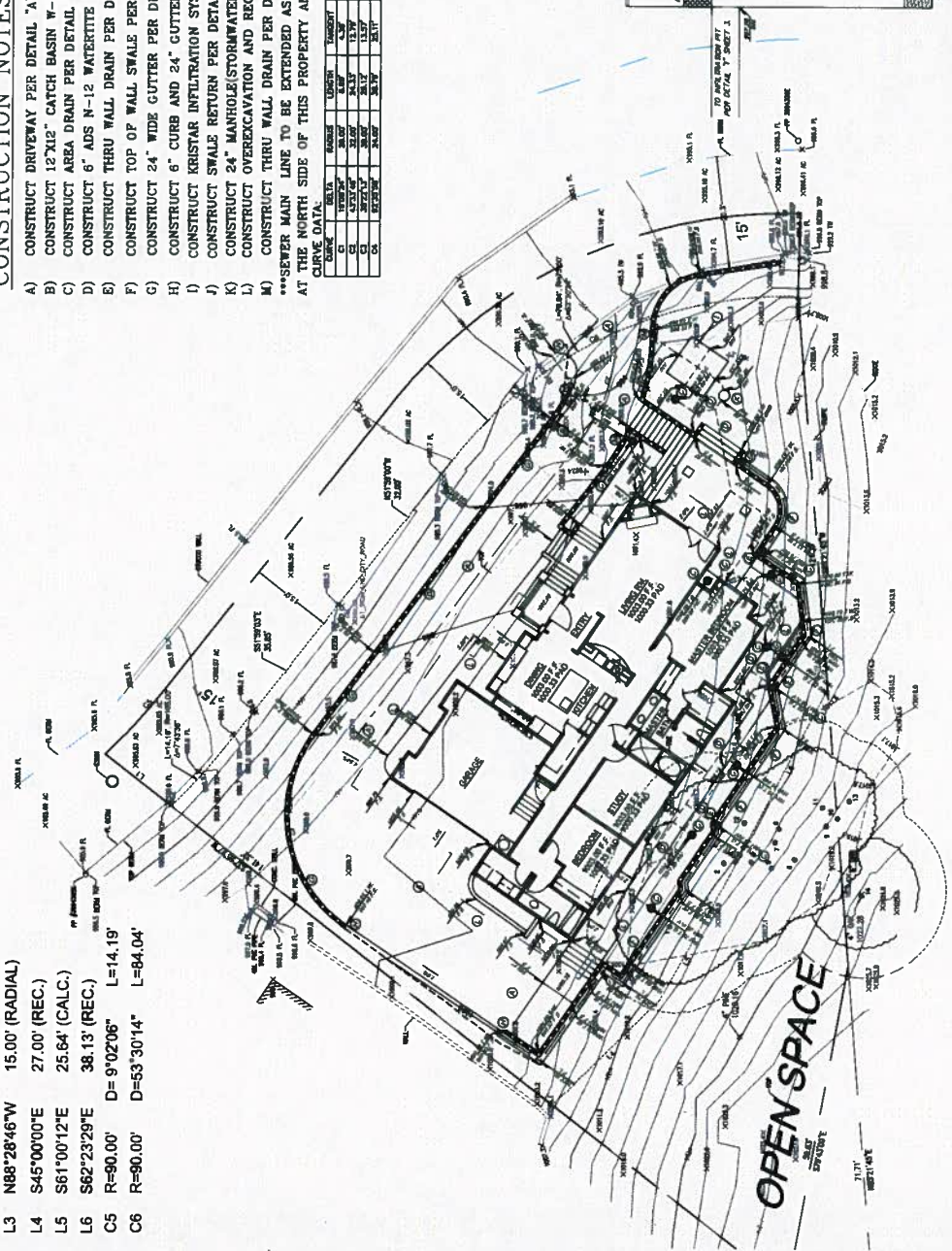
SWALE RETURN
NO SCALE



STORMWATER MANHOLE
NO SCALE



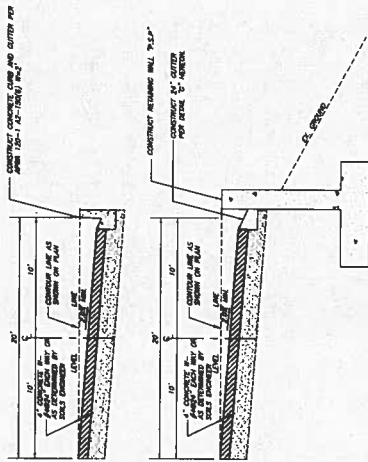
GRAPHIC SCALE
SCALE: 1"=10'



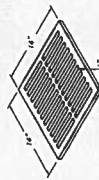
REV	SYMBOL	DESCRIPTION OF CHANGE	DATE

PREPARED BY: P.C.E. INC. 2881 CALIFORNIA ROAD #100 CALIFORNIA CA 91302 TEL: 818-448-2211 FAX: 818-448-2231	REVIEWED BY: DATE	DATE	DATE
PROJECT ENGINEER	CITY ENGINEER	DATE	DATE
CITY OF AGORA HILLS APPROVAL	DATE	DATE	DATE

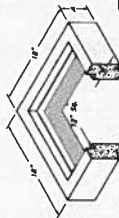
28454 RENEVE DRIVE	PROJECT NO. _____	SHEET # OF #
10-16-16	PROJECT NO. _____	SHEET # OF #



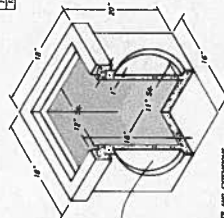
20 FOOT DRIVEWAY SECTION A
NO SCALE



C.L. CURB
BODY - 30' LBS



EXTENSION
BODY - 30' LBS



BODY
BODY - 30' LBS

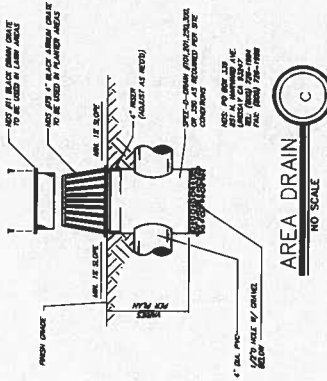
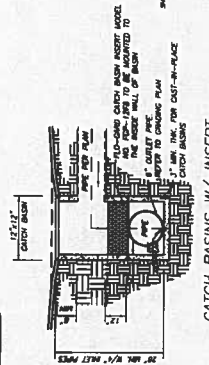
1/4" SLOPE SHALL BE MAINTAINED THROUGHOUT ALL TYPICAL CURB

NOTE: CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

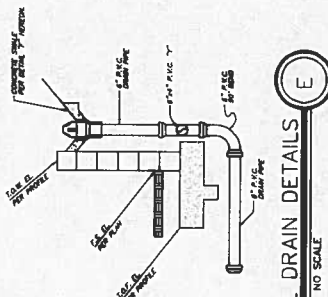
OPTIONAL INLET PIPES

12" X 12" CATCH BASIN B
NO SCALE

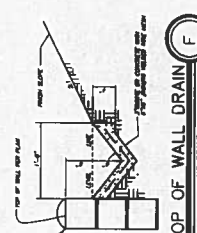
CATCH BASINS W/ INSERT



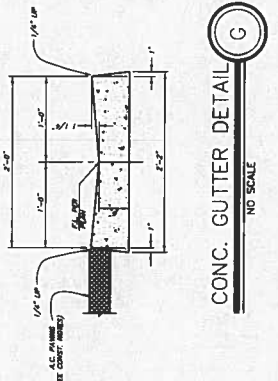
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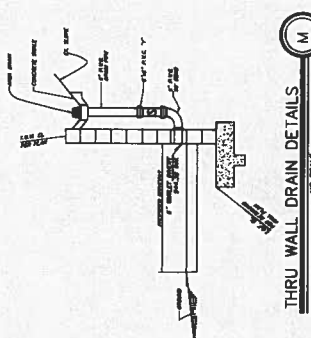
TYPICAL WALL DRAIN DETAILS E
NO SCALE



TOP OF WALL DRAIN F
NO SCALE



CONC. GUTTER DETAIL G
NO SCALE



THRU WALL DRAIN DETAILS M
NO SCALE

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY ENGINEER	DATE

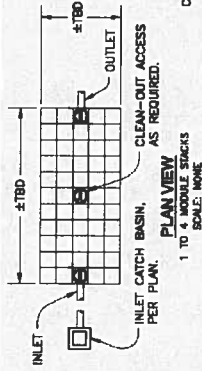
PREPARED BY:
P.C.G.E. INC.
2881 CALABAS ROAD #100 CALABAS CA 94015
TEL: (415) 947-1111 FAX: (415) 947-1111

CITY OF AGOURA HILLS APPROVAL

CITY OF AGOURA HILLS

28454 RENESE DRIVE
19-16-18 PROJECT NO. 2 OF 4
SHEET 3 OF 4

CUDO-IN-0003



OPTIONAL GEORGRID B-AXLE ON GRAVEL OR SAND. (TENSAR™ BK1200 OR EQUIVALENT) 12" MAXIMUM BELOW FINISHED GRADE AT SHALLOWEST POINT. SEE NOTE 1.

COMPACTED SOIL AS APPROVED AND RECOMMENDED BY PROJECT GEOTECHNICAL ENGINEER.

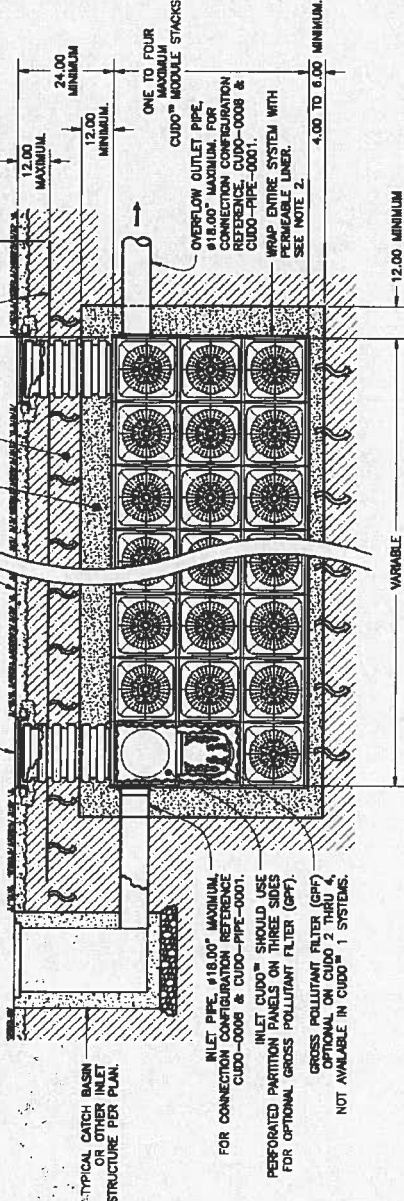
BACKFILL 12" MINIMUM ABOVE CUDO™ SYSTEM. COMPACTED AS REQUIRED BY PROJECT GEOTECHNICAL ENGINEER.

BACKFILL MATERIAL PER CUSTOMER BEDDING/BACKFILL SPECIFICATION.

924.00" MAINTENANCE/INSPECTION ACCESS COVERS TYPICAL FIELD Poured CONCRETE COLLAR REQUIRED, BY OTHERS.

VEGETATED OR LANDSCAPED SURFACE

3.00" (36.00") MINIMUM GEORGRID MATERIAL FROM EDGES OF TANK.



SECTION / CUTAWAY VIEW
SCALE: NONE

NOTES:

1. INSTALL GEORGRID LAYER, (TENSAR™ BK1200 OR EQUIVALENT) IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
2. SYSTEM ENGAGED ENTIRELY WITH NONWOVEN POLYPROPYLENE GEOTEXTILE FILTER FABRIC AS REQUIRED.
3. FIELD Poured CONCRETE COLLAR REQUIRED AROUND ALL ACCESS COVERS & HATCHES, BY OTHERS.
4. ALL EXTERNAL PIPING & ANGLES BY OTHERS. REFER TO PLANS.

KriStar Enterprises, Inc.

300 Eastern Pkwy, Seattle, WA 98107
PH: 206.461.8181, FAX: 206.461.8182, WWW.KRISTAR.COM

PRESENT'S DESIGN SHALL BE CONSIDERED AS A PRELIMINARY DESIGN. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND MATERIALS TO BE USED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

CUDO™ Stormwater Infiltration System

Typical Installation Detail
Vegetated Permeable Area

DO NOT SCALE DRAWING NONE JPR 7/21/08 0003 JPR 3/20/12 CUDO-IN-0003 B SHEET 1 OF 1



CUDO INFILTRATION SYSTEM
BY KRISTAR

NO SCALE

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	BY	DATE

DESIGNED BY:
P.O. BOX 100
2881 CALABAZAS ROAD F100 CALAMAS CA 95522
KATHLEEN J. SMITH, PE
PROJECT ENGINEER

REVIEWED BY: _____ DATE: _____
CITY ENGINEER

DESIGNED BY: _____ DATE: _____
PROJECT ENGINEER

SCALE: NONE REF: N/A

CITY OF AGORA HILLS APPROVAL



28454 RENEE DRIVE

10-16-18
PROJECT NO.

SHEET 1 OF 4

CITY OF AGORA HILLS DWG. NO.

28458 RENEE DRIVE AGOURA HILLS, CA 91301

C/O BARREY ROBLES AIA ARCHITECT
4500 REGENTS COURT
WESTLAKE VILLAGE, CA 91361



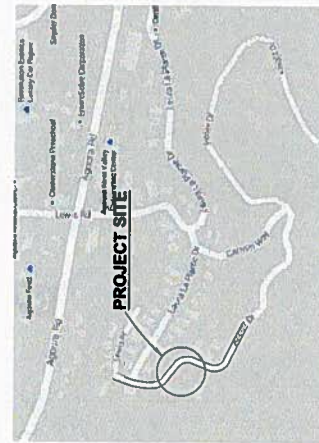
**L. Newman
Design Group, Inc.**

31300 Via Colinas ■ Suite 104
■ Westlake Village, CA 91362-3924
■ Phone: (818) 991-5056 ■ Fax: (818) 991-3478
■ E-mail: Indg@Indg.net

- Landscape Architecture
- Planning
- Horticulture
- Biological Restoration

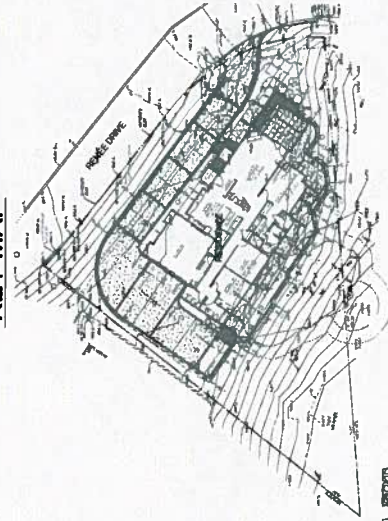


VICINITY MAP



NOT TO SCALE

KEY MAP



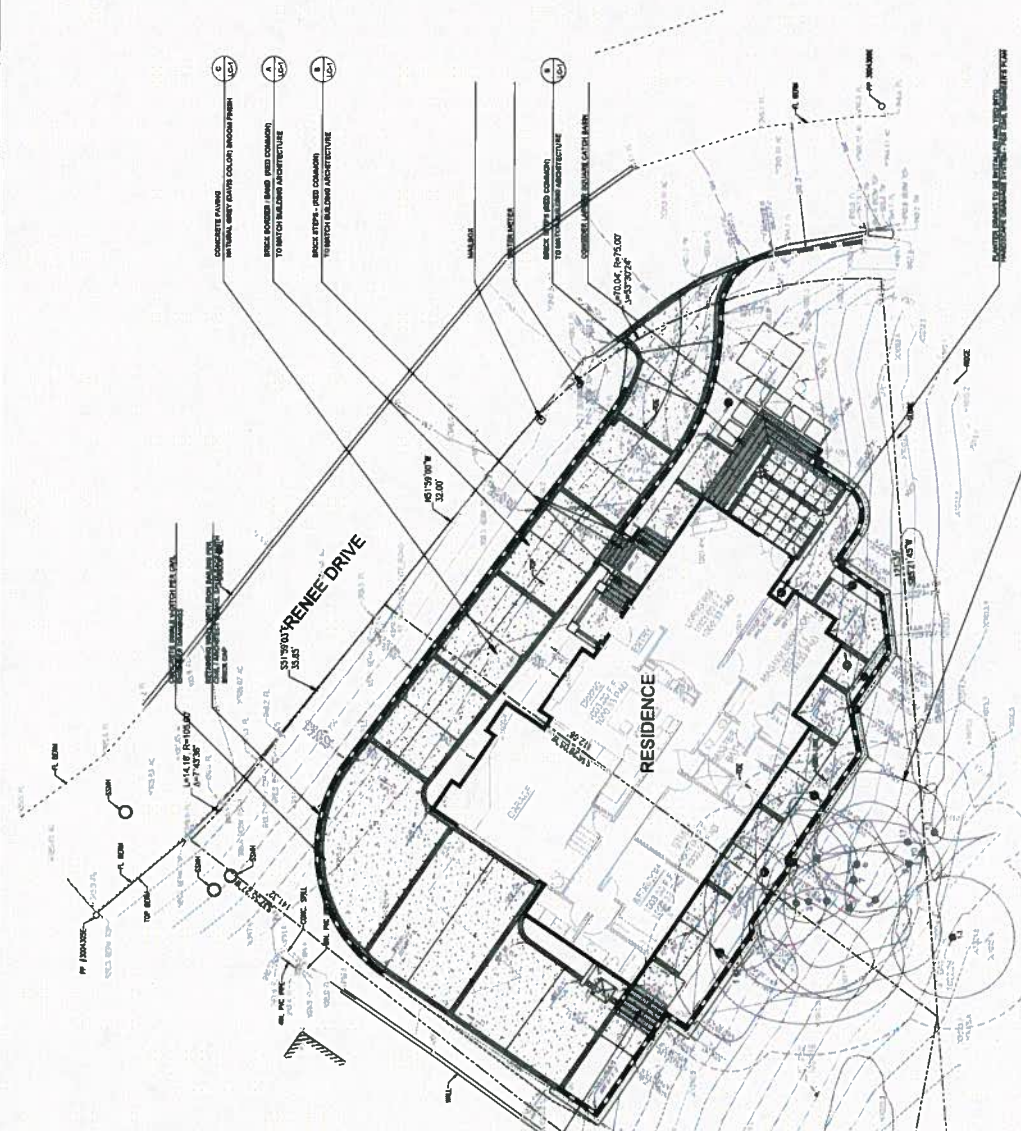
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INDEX OF DRAWINGS

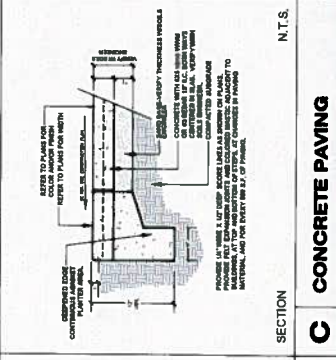
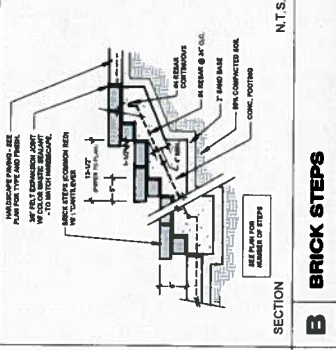
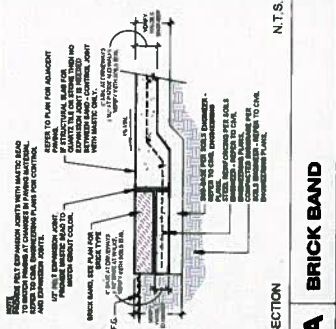
SHEET NO.	SHEET TITLE
LC-1	CONSTRUCTION
LI-1 AND LI-2	IRRIGATION
LP-1	PLANTING
LD-1 AND LD-2	DETAILS
LS-1	SPECIFICATIONS
FM-1	FUEL MODIFICATION PLAN

- CONCRETE PAVING SHALL BE FULLY ACCORDANT WITH THE SITE PRIOR TO CONSTRUCTION. DRAWINGS ARE DIAGNOSTIC AND ARE GENERALLY INDICATIVE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONCRETE PAVING IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS AS TO AVOID CONCRETE CRACKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONCRETE PAVING IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS AS TO AVOID CONCRETE CRACKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONCRETE PAVING IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS AS TO AVOID CONCRETE CRACKS.
- THE LANDSCAPE CONTRACTOR SHALL RECEIVE THE FINISHED SITE FROM THE GENERAL CONTRACTOR WITHIN PLUS OR MINUS ONE TENTH (1/10) OF ONE INCH. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SOIL, IMPORT OR REMOVAL, ASSESSMENT TO MAKE GRADE FOR THE APPROVED FINISH GRADING PLAN FOR THESE LOCATIONS, STAKE TREES AND OUTLINE SPECIFIED BOX SIZE. ROUTE EXCAVATION AND/OR ELECTRICAL AND IRRIGATION PIPING OUTSIDE.
- PAVING AND CONCRETE CONTRACTORS SHALL COORDINATE WITH ELECTRICAL AND MECHANICAL CONTRACTORS TO PROVIDE FOR ALL HOODS, CAPS, WIRING, CONDENSERS AND CONDENSATE PIPING AS INDICATED ON THE APPROVED MECHANICAL AND ELECTRICAL DRAWINGS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL HOODS, CAPS, WIRING, CONDENSERS AND CONDENSATE PIPING AS INDICATED ON THE APPROVED MECHANICAL AND ELECTRICAL DRAWINGS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. ALL HARDSCAPE SURFACES TO HAVE A 1% SLOPE TO DRAINAGE. CONTRACTOR TO REGRADE SITE AS NECESSARY TO AVOID WATER IN CONTACT WITH CONCRETE. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. ALL HARDSCAPE SURFACES TO HAVE A 1% SLOPE TO DRAINAGE. CONTRACTOR TO REGRADE SITE AS NECESSARY TO AVOID WATER IN CONTACT WITH CONCRETE.
- ALL MATERIALS IN CONTACT WITH CONCRETE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. ALL HARDSCAPE SURFACES TO HAVE A 1% SLOPE TO DRAINAGE. CONTRACTOR TO REGRADE SITE AS NECESSARY TO AVOID WATER IN CONTACT WITH CONCRETE.
- BRICK SELECTION TO MATCH BUILDING ARCHITECTURE.

BRICK STEPS AND CORNERS TO MATCH BUILDING ARCHITECTURE



SECTION	N.T.S.	SECTION	N.T.S.	SECTION	N.T.S.
A	BRICK BAND	B	BRICK STEPS	C	CONCRETE PAVING



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- Planning
- Horticulture
- Site Management

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E-mail: lndg@lndg.net

CONSTRUCTION

Job No. 2374-01
Date: 10-25-14
Drawn By: CD
Revision:

Client: EVAN SERBIN
Address: 420 DUNREY ROBLES ARCHITECT WESTLAKE VILLAGE, CA 91361
Project: 24655 RENEE DRIVE ANOCURA, N.L.S., CA 91361

Sheet: **LC-1** of **1**

SCALE: 1/8"=1'-0"

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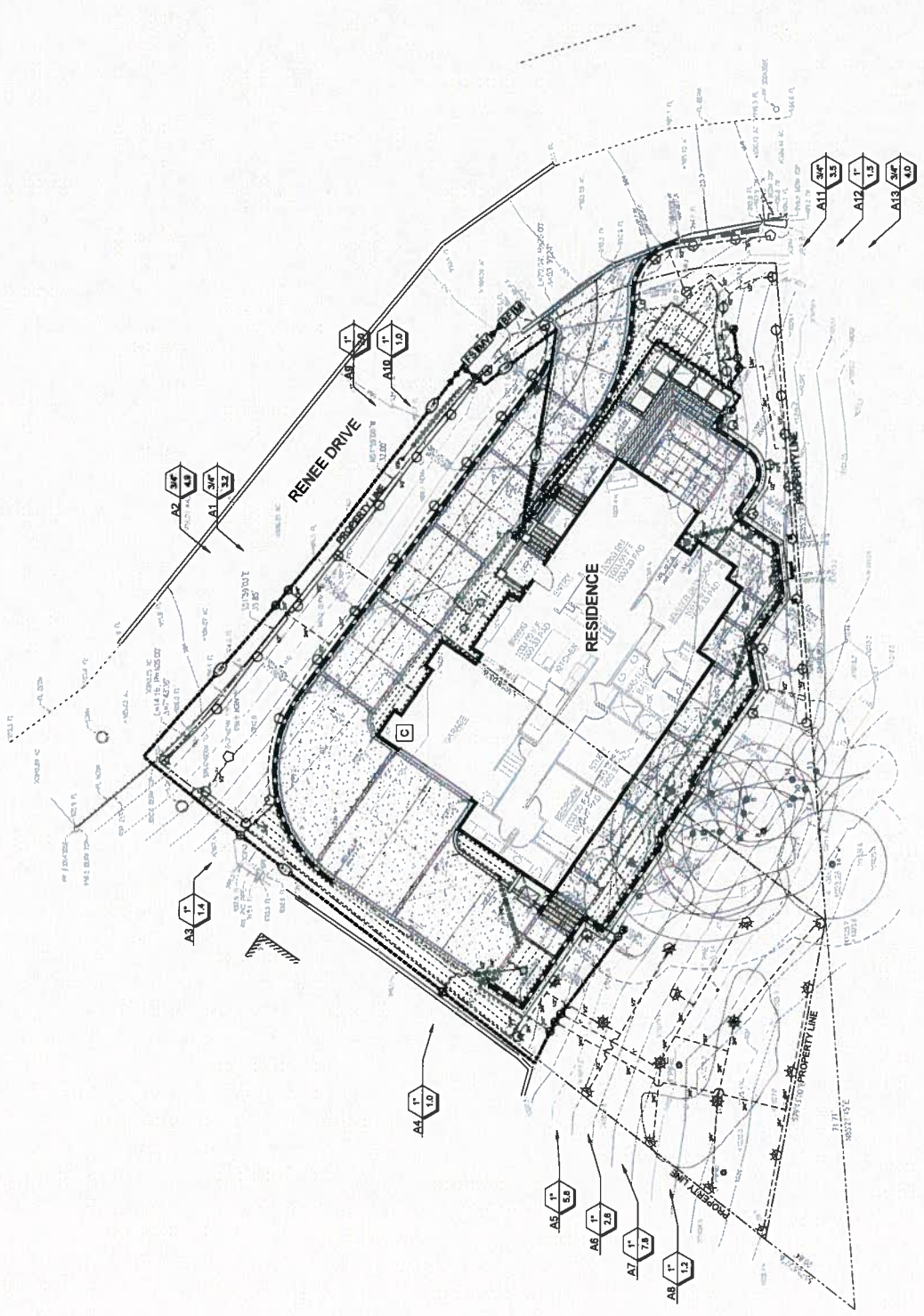


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CLIENT
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 WESTLAKE VILLAGE, CA 91381
 Project:
 2645 RENEE DRIVE
 AGUERA HILLS, CA 91301

IRRIGATION

Job No.	2376-01
Date	11-26-14
Drawn By	CD
Revision	



SCALE: 1/8"=1'-0"

REFER TO SHEET LI-2 FOR IRRIGATION NOTES, LEGEND AND WATER CALCULATIONS

BASE INFORMATION WAS DERIVED FROM THE LANDSCAPE ARCHITECT'S PLANS DATED 01/22/14 AND REVISED ON 01/25/14. THESE STRATEGIES ARE BASED ON THE INFORMATION PROVIDED BY THE LANDSCAPE ARCHITECT AND THE CLIENT. THE LANDSCAPE ARCHITECT HAS NOT CONDUCTED A VISUAL ANALYSIS OF THE PROJECT. THE LANDSCAPE ARCHITECT HAS NOT CONDUCTED A VISUAL ANALYSIS OF THE PROJECT. THE LANDSCAPE ARCHITECT HAS NOT CONDUCTED A VISUAL ANALYSIS OF THE PROJECT. THE LANDSCAPE ARCHITECT HAS NOT CONDUCTED A VISUAL ANALYSIS OF THE PROJECT.

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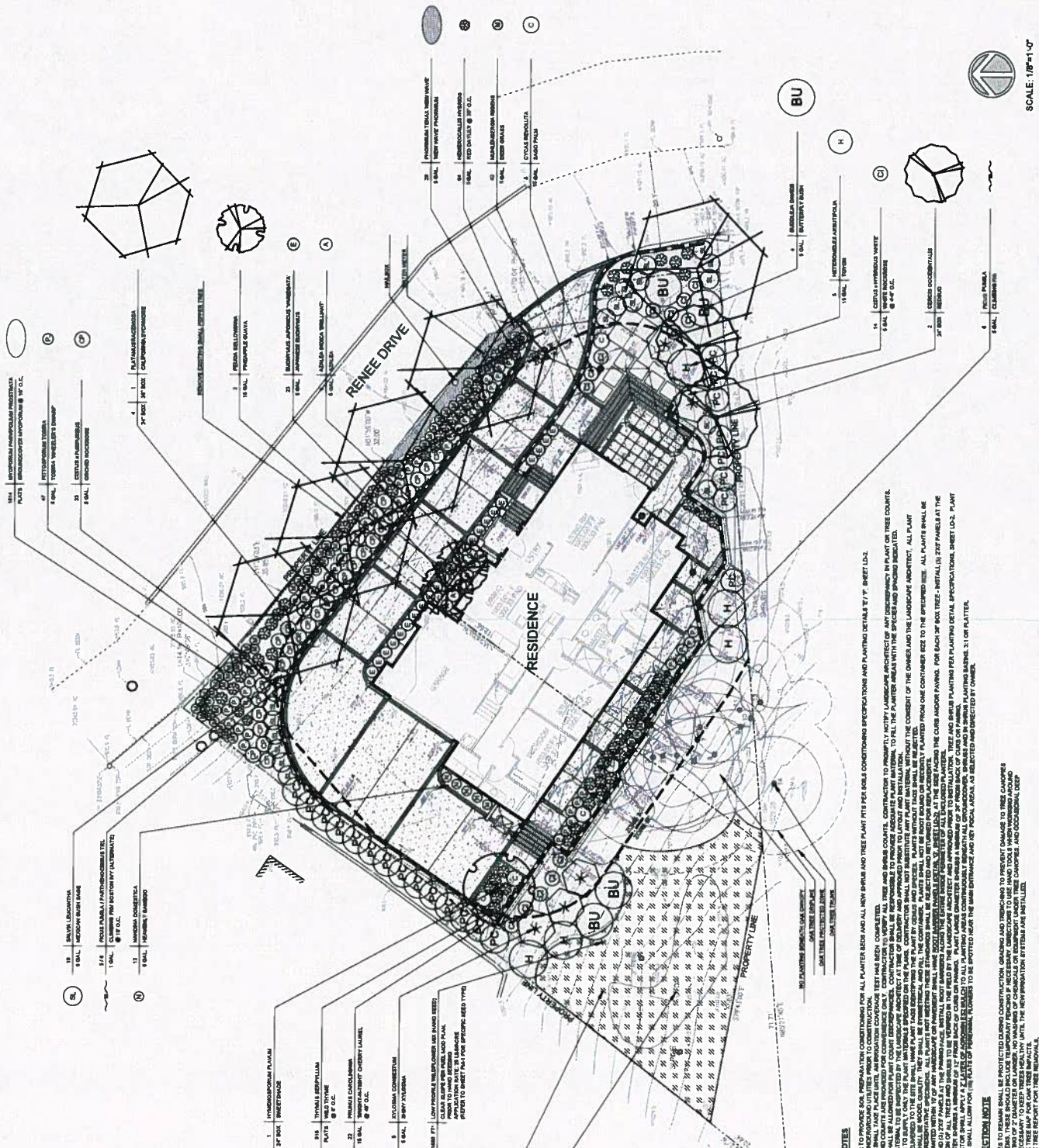
L. Newman Design Group, Inc.
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Client: EVAN SERBIN
Address: JENNIFER ROGERS ARCHITECT
 400 REDDYS COURT
 WESTLAKE VILLAGE, CA 91381
Project: 3468 BRIDGE DRIVE
 ANDORA HILLS, CA 91301

PLANTING

Job No.: 229141
Date: 10/28/14
Drawn By: CD
Revision:
Scale: 1/8" = 1'-0"

Sheet **LP-1** of **1**



PLANTING NOTES:
 1. CONTRACTOR TO PROVIDE SOIL PREPARATION CONDITIONS FOR ALL PLANTER BEDS AND ALL NEW SPRING AND TREE PLANT RITE PER SOIL CONDITIONING SPECIFICATIONS AND PLANTING DETAILS 2' P. SHEET L02.
 2. NO PLANTING SHALL TAKE PLACE UNTIL AN INSITUATION COVERAGE TEST HAS BEEN COMPLETED.
 3. ALL PLANTS SHALL BE SUPPLIED BY THE LANDSCAPE ARCHITECT AT THE TIME OF DELIVERY AND APPROVED PRIOR TO LAYOUT AND INSTALLATION.
 4. MATERIALS DELIVERED TO THE SITE SHALL BE IDENTIFIED BY THE PLANT BY CODE AND QUANTITY. PLANTS WITHOUT THESE SHALL BE REJECTED.
 5. ALL PLANTS MUST BE ROOT BRANDED OR WOUND BRANDED WITH AN IDENTIFIABLE BRAND NAME.
 6. ALL TREES PLANTED WITHIN 10' OF ANY ADJACENT OR WINDWARD SHALL HAVE SOIL WATERING SYSTEMS INSTALLED.
 7. FINAL LOCATIONS OF ALL TREES AND SHRUBS TO BE PROVIDED BY THE LANDSCAPE ARCHITECT AND APPROVED PRIOR TO INSTALLATION.
 8. THE CONTRACTOR SHALL APPLY A LAYER OF MULCH TO ALL PLANTING AREAS CONTAINING TREES AND SHRUBS.
 9. EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. GRADING AND TRENCHING TO PREVENT DAMAGE TO TREE CANOPIES AND ROOTS IS UNACCEPTABLE.
 10. ALL PLANTS SHALL BE INSTALLED AND WATERED AS NECESSARY TO KEEP THEM HEALTHY UNTIL THE NEW PLANTING BY ITEMS ARE INSTALLED.
 11. REFER TO GAN TREE REPORT FOR TREE DETAILS.

SCALE: 1/8" = 1'-0"

SEE SHEET PMS FOR PLANTING LEGEND

<p>A REMOTE CONTROL VALVE</p> <p>SECTION N.T.S.</p>	<p>B REMOTE CONTROL VALVE DRAIN SYSTEM</p> <p>SECTION N.T.S.</p>	<p>C GATE VALVE</p> <p>SECTION N.T.S.</p>	<p>D RP BACKFLOW DEVICE</p> <p>SECTION N.T.S.</p>	<p>E MASTER VALVE</p> <p>SECTION N.T.S.</p>
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<p>F CONTROLLER ASSEMBLY</p> <p>SECTION N.T.S.</p>	<p>G DRIPLINE - NETAFIM TECHLINE CV</p> <p>SECTION N.T.S.</p>	<p>H NETAFIM FITTINGS</p> <p>SECTION N.T.S.</p>	<p>I FIXED RISER ON GRADE</p> <p>SECTION N.T.S.</p>	<p>J FIXED RISER ON SLOPE</p> <p>SECTION N.T.S.</p>	<p>K PVC LATERAL ON GRADE</p> <p>SECTION N.T.S.</p>	<p>L TRENCH LATERAL & MANLINE</p> <p>SECTION N.T.S.</p>	<p>M SLEEVING</p> <p>SECTION N.T.S.</p>	<p>N HOSE BIB</p> <p>SECTION N.T.S.</p>	<p>O HUNTER - RZWS (ROOT ZONE WATER SYSTEM) 15 GALLON & 2 1/2\"</p> <p>SECTION N.T.S.</p>	<p>P AUTO LINE FLUSHING VALVE PLUMBED TO TECHLINE / HEADER LINE</p> <p>SECTION N.T.S.</p>	<p>Q DRIP SYSTEM INDICATOR</p> <p>SECTION N.T.S.</p>
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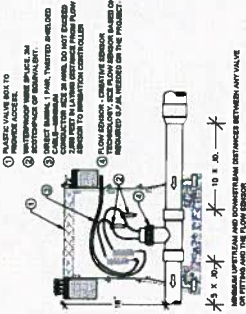
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Evan Serbin & Co.
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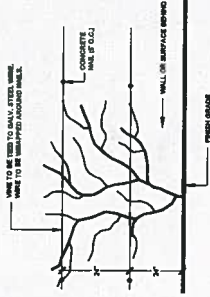
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<p>Sheet LD-1 of 2</p>	



A CST FLOW SENSOR

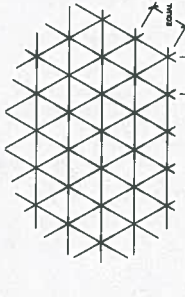
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B VINE TYING



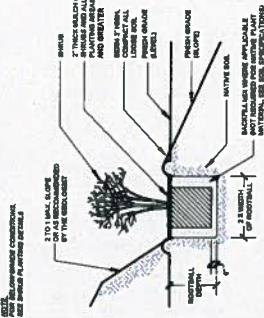
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C PLANT SPACING



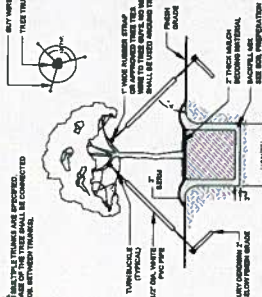
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D SHRUB PLANTING



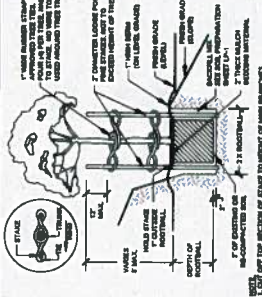
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E TREE GUYING



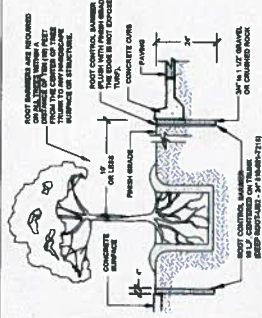
SECTION

F TREE STAKING



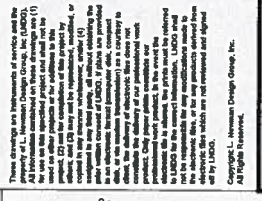
SECTION

G ROOT BARRIER



SECTION

H ROOT BARRIER



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EVAN SERBIN / RENEE DRIVE / LINDG JOB #2378-01



L. Newman Design Group, Inc.
 Landscape Architecture
 Horticulture
 Ecological Restoration

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Client: EVAN SERBIN
 Address: RENEE DRIVE, ARCHITECT
 4200 RESERVE COURT
 WESTLAKE VILLAGE, CA 91381
 Project: RENEE DRIVE
 ADDRESS: RENEE DRIVE
 ADDRESS: RENEE DRIVE, CA 91301

DETAILS

Job No.	2378-01
Date	10/27/14
Drawn By	CS
Revision	
REVISIONS - PROJECT COMMENTS	

1. SPECIFICATIONS

1.1 The work shall be performed in accordance with the specifications and drawings of the project. All materials and workmanship shall conform to the highest quality standards available.

1.2 The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

1.3 The Contractor shall maintain the site at all times in a neat and safe condition.

1.4 The Contractor shall provide a detailed schedule of work and progress reports.

1.5 The Contractor shall be responsible for the safety of all personnel and the public.

1.6 The Contractor shall provide a list of subcontractors and suppliers.

1.7 The Contractor shall be responsible for the cleanup of the site after completion of the work.

2. GENERAL NOTES

2.1 All work shall be performed in accordance with the specifications and drawings of the project. All materials and workmanship shall conform to the highest quality standards available.

2.2 The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

2.3 The Contractor shall maintain the site at all times in a neat and safe condition.

2.4 The Contractor shall provide a detailed schedule of work and progress reports.

2.5 The Contractor shall be responsible for the safety of all personnel and the public.

2.6 The Contractor shall provide a list of subcontractors and suppliers.

2.7 The Contractor shall be responsible for the cleanup of the site after completion of the work.

3. MATERIALS AND METHODS

3.1 All materials and workmanship shall conform to the highest quality standards available. All materials shall be approved by the architect before use.

3.2 The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

3.3 The Contractor shall maintain the site at all times in a neat and safe condition.

3.4 The Contractor shall provide a detailed schedule of work and progress reports.

3.5 The Contractor shall be responsible for the safety of all personnel and the public.

3.6 The Contractor shall provide a list of subcontractors and suppliers.

3.7 The Contractor shall be responsible for the cleanup of the site after completion of the work.

4. CONSTRUCTION

4.1 The Contractor shall be responsible for the construction of all structures and systems shown on the drawings.

4.2 The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

4.3 The Contractor shall maintain the site at all times in a neat and safe condition.

4.4 The Contractor shall provide a detailed schedule of work and progress reports.

4.5 The Contractor shall be responsible for the safety of all personnel and the public.

4.6 The Contractor shall provide a list of subcontractors and suppliers.

4.7 The Contractor shall be responsible for the cleanup of the site after completion of the work.

5. SCHEDULE

5.1 The Contractor shall provide a detailed schedule of work and progress reports.

5.2 The Contractor shall be responsible for the safety of all personnel and the public.

5.3 The Contractor shall provide a list of subcontractors and suppliers.

5.4 The Contractor shall be responsible for the cleanup of the site after completion of the work.

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5.6 The Contractor shall be responsible for the cleanup of the site after completion of the work.

5.7 The Contractor shall be responsible for the cleanup of the site after completion of the work.

6. SUBMITTALS

6.1 The Contractor shall submit a list of subcontractors and suppliers for review and approval.

6.2 The Contractor shall submit a detailed schedule of work and progress reports.

6.3 The Contractor shall be responsible for the safety of all personnel and the public.

6.4 The Contractor shall provide a list of subcontractors and suppliers.

6.5 The Contractor shall be responsible for the cleanup of the site after completion of the work.

6.6 The Contractor shall provide a list of subcontractors and suppliers.

6.7 The Contractor shall be responsible for the cleanup of the site after completion of the work.

7. GENERAL CONDITIONS

7.1 The Contractor shall be responsible for the safety of all personnel and the public.

7.2 The Contractor shall provide a list of subcontractors and suppliers.

7.3 The Contractor shall be responsible for the cleanup of the site after completion of the work.

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8. SIGNATURES

8.1 The Contractor shall be responsible for the cleanup of the site after completion of the work.

8.2 The Contractor shall provide a list of subcontractors and suppliers.

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L. Newman Design Group, Inc. Landscape Architecture, Horticulture, Biological Restoration

1300 Via Colina # Suite 104, # Phone: (918) 91-1222, # Fax: (918) 91-1272, # E-mail: lnp@lndg.com

EVAN SERBIN, ARCHITECT, WESTLAKE VILLAGE, CA 91381

Project: RENEEVE DRIVE, AGOURA HILLS, CA 91301

SPECIFICATIONS

Table with 4 columns: Job No. (2376-01), Drawn By (CS), Revision (7/23/11), and a blank row.

ALL INFORMATION WAS DERIVED FROM P.A.C.E. INC. AND RECEIVED BY THIS OFFICE ON DATE 07/16/10. THE DATE OF THE ORIGINAL DRAWING IS 07/16/10. ALL INFORMATION WAS DERIVED FROM P.A.C.E. INC. AND RECEIVED BY THIS OFFICE ON DATE 07/16/10. THE DATE OF THE ORIGINAL DRAWING IS 07/16/10. ALL INFORMATION WAS DERIVED FROM P.A.C.E. INC. AND RECEIVED BY THIS OFFICE ON DATE 07/16/10. THE DATE OF THE ORIGINAL DRAWING IS 07/16/10.



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 Westlake Village, CA 91362-3824
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 8 Civic Trail @ Irwindale

Client
 EVAN SERBIN
Address
 480 RESIDENTS COURT
 WESTLAKE VILLAGE, CA 91381
Project
 2408 RENEE DRIVE
 AUBURN HILLS, CA 91301

FUEL MODIFICATION

Job No. 2378-01
 Date 10/29/14
 Drawn By CD
 Reviewer
 Scale 1/8"=1'-0"

Sheet **FM-1** of 1

PROPOSED GROUNDCOVER AND VINE LIST

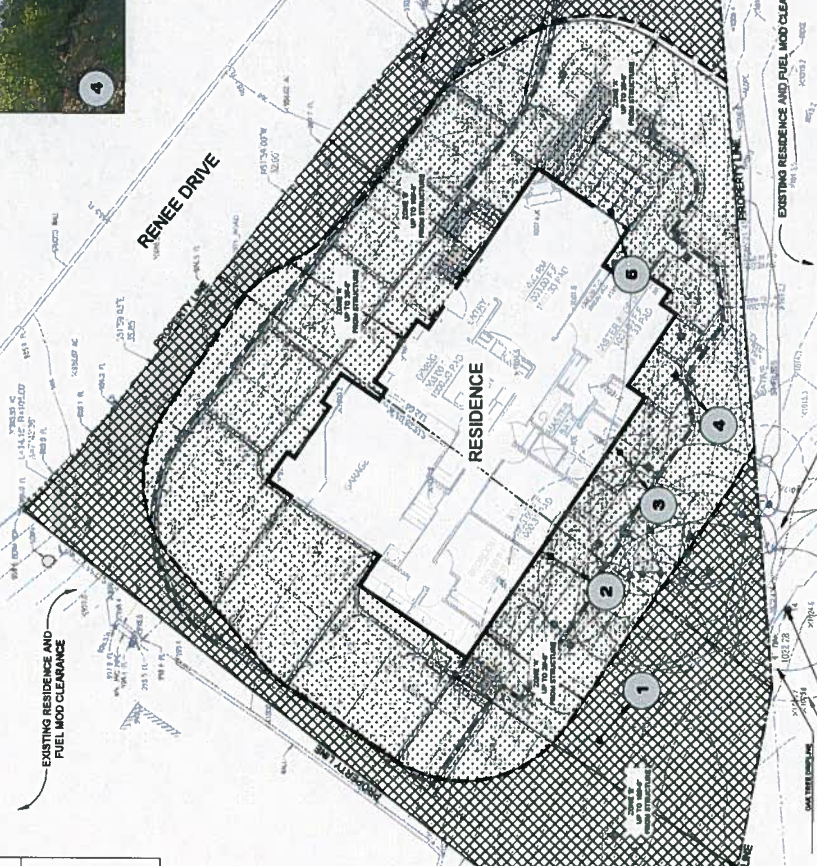
Item	Common Name	Size	Quantity	Notes
1	POZO PABLA	6 GALLON	5	REDWOOD
2	REDWOOD	6 GALLON	5	REDWOOD
3	REDWOOD	6 GALLON	5	REDWOOD
4	REDWOOD	6 GALLON	5	REDWOOD
5	REDWOOD	6 GALLON	5	REDWOOD
6	REDWOOD	6 GALLON	5	REDWOOD
7	REDWOOD	6 GALLON	5	REDWOOD
8	REDWOOD	6 GALLON	5	REDWOOD
9	REDWOOD	6 GALLON	5	REDWOOD
10	REDWOOD	6 GALLON	5	REDWOOD

PROPOSED TREES LIST

Item	Common Name	Size	Quantity	Notes
1	REDWOOD	6 GALLON	5	REDWOOD
2	REDWOOD	6 GALLON	5	REDWOOD
3	REDWOOD	6 GALLON	5	REDWOOD
4	REDWOOD	6 GALLON	5	REDWOOD

LOW PROFILE UNDERCOVER LDC - (2) (2) (2) (2)

Item	Common Name	Size	Quantity	Notes
1	REDWOOD	6 GALLON	5	REDWOOD
2	REDWOOD	6 GALLON	5	REDWOOD
3	REDWOOD	6 GALLON	5	REDWOOD
4	REDWOOD	6 GALLON	5	REDWOOD



FUEL MODIFICATION ZONE C
 207 SETBACK FROM BUILDING (OFF PROPERTY-NO CLEARANCE)

FUEL MODIFICATION ZONE B
 107 SETBACK FROM BUILDING

FUEL MODIFICATION ZONE A
 20 SETBACK FROM BUILDING

EXISTING RESIDENCE AND FUEL MOD CLEARANCE

EXISTING OAK GROUPING
 PRIMARILY SCRUB OAKS WITH ONE COAST LIVE OAK

EXISTING RESIDENCE AND FUEL MOD CLEARANCE

EXISTING OAK GROUPING
 PRIMARILY SCRUB OAKS WITH ONE COAST LIVE OAK

EXISTING RESIDENCE AND FUEL MOD CLEARANCE

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