



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: February 4, 2016

TO: Planning Commission

APPLICANT: Katherine A. Neff
28441 Lewis Place
Agoura Hills, CA 91301

CASE NOS.: CUP-01113-2015 and OAK-01116-2015

LOCATION: 28445 Lewis Place
(A.P.N. 2061-023-002)

REQUESTS: Request for a Conditional Use Permit to construct a 3,203 square-foot, single-story, single-family residence, a 695 square-foot attached, three-car garage, and a 640 square-foot second dwelling unit; a request for an Oak Tree Permit to encroach into the protected zone of 6 off-site oak trees for the proposed construction; and a request to make a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL DETERMINATION: Exempt from the California Environmental Quality Act (CEQA) per Section 15303(a) of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Conditional Use Permit Case No. CUP-01113-2015 and Oak Tree Permit Case No. OAK-01116-2015, subject to conditions, based on the findings of the attached draft Resolution.

ZONING DESIGNATION: RS-(2)-20,000-IH (Residential Single-Family-Indian Hills Design Overlay District); OS-R (Open Space-Reserved)

GENERAL PLAN DESIGNATION: RS – (Residential Single Family); OS-R (Open Space-Reserved)

PROJECT BACKGROUND AND DESCRIPTION

The applicant/property owner, Katherine A. Neff, is requesting approval of a Conditional Use Permit (CUP) to construct a new 3,203 square foot, single-story, single-family residence, a 695 square-foot attached three-car garage, and a 640 square-foot second dwelling unit on a vacant lot located at 28445 Lewis Place. The lot is split between the Residential Single-Family (RS)/Indian Hills (IH) Design Overlay and the Open Space Reserved (OS-R) zones. The project would encroach within the protected zone of six (6) off-site oak trees for the proposed construction, which requires approval of an Oak Tree Permit.

The subject site consists of a 23.6 acre pennant-shaped parcel of hillside land that extends from Agoura Road to the main west-trending ridge on the south, of which 90,000 square feet of the lot is in the RS zone. The size of the property exceeds the minimum 20,000 square-foot size requirement of the residential zoned portion of the lot. Development is proposed only on the northern portion of the subject parcel in a 9,900 square foot location zoned RS/IH where the parcel is closest to Lewis Place. The proposed development area is relatively flat and is pre-graded on the ridge of the property with descending slopes to the north toward Agoura Road and south. Total variation in elevation within this portion of the site is approximately 100 feet and occurs over a horizontal distance of approximately 200 feet. The remaining area of the subject parcel, a portion of which is in the RS/IH zone, and all of the portion in the OS-R zone, would not be developed. The homes in the IH zone are custom homes. Existing custom single-family homes are located on the adjacent properties to the east and a recently approved single-family home is under construction to the east. Vacant parcels are located to the west of the proposed development site. The parcel abuts the City boundary on the south, beyond which are the Santa Monica Mountains.

New single-family homes are subject to review by the Planning Commission. Since the parcel has an average topographic slope that exceeds 10 percent (39.8 percent), the project is subject to the City Hillside Ordinance Standards, and requires approval of a Conditional Use Permit.

The proposed single-family residence is a permitted use in the Residential Single-Family (RS) zone and the project would meet the required development standards. Listed below are the development data pertaining to the project:

Pertinent Data		
	Proposed	Allowed/Required
Lot Size	1,028,016 square feet (23.6 acres)	20,000 square feet
Building Height	20.4 feet	35 feet maximum
Building Sizes		
Single-Story Home	3,203 square feet	N/A
Attached Garage	695 square feet	N/A
Second Dwelling Unit	640 square feet	700 square feet
Total	4,538 square feet	N/A

Building Coverage		
Residence	3,203 square feet	N/A
Attached Garage	695 square feet	N/A
Second Dwelling Unit	640 square feet	700 square feet
Total	4,758 (0.46 percent)	35% maximum
Building Setbacks		
Front (North)	185 feet	25 feet minimum
Rear (South)	1,663 feet	25 feet minimum
Left Side (West)	12 feet	10 feet minimum (22 feet combined)
Right Side (East)	25 feet	10 feet minimum (22 feet combined)

STAFF ANALYSIS

Site Plan

The proposed single-story residence, attached garage and second dwelling unit would be situated on the flat northerly portion of the lot, thereby reducing the amount of grading of the site, maintaining the natural vegetation on the hillside to the rear of the lot, and preserving adjacent neighbors' views, while exceeding the minimum yard setback distances for the RS-20,000 zone. The zoning district height limit for the proposed residence is 35 feet. The subject parcel is also subject to the Hillside Development Standards, further restricting the allowable height to 15 feet above the rear yard setback line. The overall building height of the residence would be 20.4 feet, which is below the 35 foot maximum height allowed for the RS zone, and would not exceed the maximum allowable height of 15 feet above the rear (south) setback line, as required per Hillside Ordinance (AHMC Section 9607.1.A). The front of the residence would face north, towards Agoura Road, with the attached three-car garage on the east side of the residence, facing the easterly property line. The second unit would be located behind the residence to the southeast. A 20-foot wide driveway, to be shared with the existing residence of 28441 Lewis Place directly east via an easement, and with access taken from Lewis Place, would serve the three-car garage. The Los Angeles County Fire District has tentatively approved the site plan for the required access.

The RS-20,000 zone requires a minimum front and rear yard setback of 25 feet each. The residence would be setback 185 feet from the front (north) property line, and 1,663 feet from the rear (south) property line. The required combined minimum side yard setback of 22 feet with not less than 10 feet on one side is being met by the applicant proposing 12 feet for the west side yard and 25 feet for the east side yard.

The proposed 640 square-foot, detached second dwelling unit at the rear of the residence is an allowed use in the RS zone and complies with the maximum allowed size of a second dwelling unit of 700 square feet. The exterior building materials and colors of the second unit are required to be substantially the same as the primary unit (AHMC Section 9283.1.G). The second unit would match the residence, which complies with this development standard. A second unit is defined as being an attached or detached dwelling unit that provides a complete, independent living facility for one or more

persons, and includes permanent provisions for living, sleeping, eating, cooking, and sanitation. Second units that are ancillary to a primary residence on the lot are typically processed without discretionary review, but because it is proposed with the residence, it is included in this application.

The Zoning Ordinance allows detached accessory structures to be a maximum height of 14 feet, and they must maintain a minimum of 10 feet from the rear property line or to any main building and five (5) feet from the side property line. They cannot occupy more than 25 percent of the rear yard and no more than 40 percent of the buildable area in combination with any other accessory buildings on the site. The proposed second dwelling unit would be located on a 640 square-foot portion of the 23.6 acre lot. The proposed structure would be located 100 feet from the west side property line, 17.5 feet from the east property line, 10 feet from the main structure, and 1,626 feet from the rear property line, which meets the requirement. Parking for the second unit would be provided within the primary residence's three-car garage, which is allowed per the Zoning Ordinance.

The project's total building coverage is 4,758 square feet, or 0.46 percent of the lot, which is below the 35 percent maximum allowable building coverage in the RS-20,000 zone.

Hillside Development Standards

The project is subject to City Hillside Ordinance regulations (AHMC Section 9652.13B) applicable to hillside development, which establishes development criteria within sensitive areas, such as hillside lots. The regulations protect hillside areas from incompatible development and preserve the natural terrain, quality environment, and aesthetic character while encouraging creative, innovative and safe residential development.

The Hillside Ordinance (AHMC Section 9652.13.B) includes a requirement for on-site open space preservation. The minimum amount of area to remain in undisturbed open space is related to the average slope of the property. The parcel has an average slope of 39.8 percent. The Hillside Ordinance requires that at least 97.5 percent of the existing lot remain in undisturbed open space for parcels that have an average slope greater than 35 percent, with the remaining 2.5 percent of the lot allowed for development. The proposed project meets this requirement because 98.7 percent of the parcel would remain undisturbed. The proposed footprint of the residence (including the house, garage, and second unit, but excluding the driveway and yard areas) is 4,758 square feet, or 0.46 percent, which complies with the maximum allowed lot coverage of 35 percent for the RS-20,000 zone.

In evaluating the compatibility of the design and the size of the structure with other Indian Hills properties, staff found that the proposed residence is similar in design to other structures. The size of the neighboring homes, excluding garage space, varies from 1,216 to 3,593 square feet and most have two stories. The most recently built home, or those under construction, in Indian Hills are summarized in the following table:

Lot Square Footage	Residence Square Footage	Location
14,710	1,862	Renee Drive
6,302	2,463	Renee Drive
23,960	2,607	Laura La Plante
7,000	2,518	Laura La Plante
23,108	3,593	Lewis Place
13,129	2,547	Lewis Place
5,619	2,174	Lewis Place

Thus, the applicant's 3,203 square-foot home on a 1,028,016 square-foot parcel provides significantly more open space and is one level, resulting in a much less dense appearance. At the same time, the proposed residence is to be sited adjacent to existing homes and near Lewis Place to provide visual continuity in the neighborhood while also preserving the majority of the site further west and south, similar to other homes recently approved in the neighborhood. There are no floor area limitations for this neighborhood.

The purpose of the Indian Hills Design Overlay district is to address the natural area in this part of the City. The overlay requires buildings to be reviewed for: compatibility of colors and materials; conformance to existing terrain; and appearance from adjacent street, distant arterials, and the freeway. Based on the discussion below under "Architectural Review," the materials and colors would be considered compatible with the surrounding natural environment. The home would be sited on an existing pad, minimizing changes to the existing grade and contours. Because the property would be visible from portions of Agoura Road and U.S. Highway 101, the building has been designed to be single-story with articulating features on all elevations to create attractive views from offsite, while minimizing visual impacts from Agoura Road and the freeway, and the existing hillside landscaping would partially screened the house from public view.

Architectural Review

The Indian Hills neighborhood consists of custom homes that were built over decades. The single-story residence is composed of natural elements and materials and earth tone colors. Proposed exterior building materials and colors consist of stone veneer siding and columns; tan colored stucco exterior walls; stucco chimney; black wrought iron railings; stained wood trim, corbels and window shutters; and a clay tile roof. The entry doors to the residence would be metal dark bronze with glass pane. The garage doors would be stained wood and the 20-foot wide driveway to access the attached three-car garage as well as the walkways around the residence and the patios would be brick pavers.

The City Architectural Review Panel (ARP) has commented on the proposed architectural plans and recommended revising the appearance of the front (north) elevation of the residence, adding shutters on the sides of the windows and revising the application of the stone veneer on the exterior walls. These revisions have been incorporated in the plans.

Engineering/Public Works Review

The Engineering/Public Works Department has reviewed the proposed grading plan, and will require the applicant to install an asphalt concrete overlay along the property frontage on Lewis Place. Final street plans and drainage plans would be subject to approval by the City Engineer prior to issuance of a grading permit.

The residence is proposed to be situated on the flatter portion of the lot to minimize grading. According to the preliminary grading plan submitted by the applicant, proposed grading of the property would require 306 cubic yards of cut, 351 cubic yards of fill, and 45 cubic yards of export. The finished floor elevation of the residence is proposed at an elevation of 994 feet, which is approximately 14 feet lower than the average adjacent street (Lewis Place) elevation. Proposed grading includes required retaining walls along the southern side of the house, around the perimeter of the guesthouse and along the down slope side of the driveway. The retaining walls would range from two (2) feet to six (6) feet in height, consistent with the Municipal Code. The retaining walls consist of stucco finish with flagstone cap. The residence would be served by the public sewer system.

The City's Geotechnical Consultant has reviewed the geotechnical reports prepared for this project, and recommends that the project be approved from a geotechnical perspective at this planning stage.

Construction traffic trips and related vehicular routes would be reviewed and approved by the City Engineer prior to the issuance of a grading permit, with the intent to minimize impacts to the neighbors from construction vehicles.

Oak Tree Review

An Oak Tree Report was prepared by L. Newman Design Group, Inc. on May 7, 2015. There are six (6) protected scrub oak trees that form a single canopy located on the adjacent residential property to the east. The proposed plans indicate that grading would be required within the protected zone of the six (6) off-site scrub oak trees (Trees A, B, C, D, E and F) located at the east boundary of the site in order to install the retaining walls and construct the driveway. This encroachment would amount to a total of approximately forty percent of the oak trees' protected zone. The work, if performed carefully using hand tools, as conditioned, would allow for preservation of the tree. The City Oak Tree Consultant supports the encroachment with conditions.

Landscape Review

Since the topographic slope of the property exceeds 10 percent, the applicant was required to prepare a landscape plan for the City's review. The City's Landscape Consultant supports the preliminary landscape plan submitted for this project, finding it to be in general compliance with the City Landscape Ordinance, but recommends the applicant submit final, detailed landscape and irrigation plans for review by the City Landscape Consultant and the Planning Director prior to building permit issuance. The final plans would be reviewed for slope stabilization and to ensure the incorporation of

native, drought resistant plants, and would be subject to the most current requirements of the City Landscape Ordinance, including compliance with State Water Efficient Landscape Ordinance requirements.

General Plan Consistency

Staff finds the project would be consistent with the following applicable General Plan goals and policies:

Goal LU-9: Single-Family Neighborhoods.

Maintenance of the identity, scale, and character of the City's distinct residential neighborhoods.

- *Policy LU-9.1 Neighborhood Identity.* Maintain the distinguishing characteristics that differentiate by topography, parcel size, housing scale and form, and public streetscape Agoura Hills' single-family neighborhoods.

The project complies with Goal LU-9 in that the project has been carefully designed to maintain the housing scale and form of the surrounding neighborhood.

Goal LU-31: Hillside Neighborhoods.

A predominately hillside open space area with limited residential development at low densities, and reflecting the area's slopes and natural topography.

- *Policy LU-31.3 Site Design and Development.* Require that housing units be located and designed to reflect the area's hillside topography and natural landscapes, with their footprints conforming to topographic contours, orientation to preserve view corridors, and form and massing scaled to be subordinate to the natural setting.
- *Policy LU-31.5 Landscapes.* Requires that development landscapes respect and transition with those of surrounding natural open spaces, while providing adequate fire protection.

The project complies with Goal LU-31 in that the proposed residence is located and designed to incorporate the existing terrain into the site plan to the maximum extent possible and to minimize grading and preserve viewsheds. The proposed residence would be located within the pre-graded, flat pad area of the property. The difference in elevation from the street (Lewis Place) to the finish floor elevation is approximately thirteen (13) feet. The project has been designed to meet the hillside height requirement. The large undeveloped open space would retain natural vegetation.

Environmental Review

The proposed single-family residence has been determined by staff to be Categorically Exempt from the California Environmental Quality Act (CEQA), in accordance with Section 15303(a) (new construction or conversion of small structures) and is not subject

to the preparation of a Negative Declaration or Environmental Impact Report. The exemption includes, but is not limited to, the construction of a single-family residence.

RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Conditional Use Permit Case No. CUP-01113-2015, and Oak Tree Permit Case No. OAK-01116-2015, subject to conditions, based on the findings of the attached Draft Resolution.

ATTACHMENTS

- Exhibit A: Conditional Use Permit Draft Resolution and Conditions
- Exhibit B: Letter from Public
- Exhibit C: Colored Elevation of the Residence and Colors and Material Board
- Exhibit D: Vicinity Map
- Exhibit E: Reduced Copies of Project Plans
- Exhibit F: Photographs of Applicant's Lot and Surrounding Parcels

Case Planner: Renee Madrigal, Associate Planner

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-01113-2015 FOR THE CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE AT 28445 LEWIS PLACE; AN OAK TREE PERMIT CASE NO. OAK-01116-2015 TO ENCROACH WITHIN THE PROTECTED ZONE OF 6 OFF-SITE OAK TREES FOR THE PROPOSED CONSTRUCTION; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Katherine A. Neff with respect to the real property located at 28445 Lewis Place (Assessor's Parcel Number 2061-023-002), requesting the approval of a Conditional Use Permit (Case No. CUP-01113-2015) to construct a 3,203 square-foot, single-story, single-family residence, a 695 square-foot, attached three-car garage, and a 640 square-foot second dwelling unit; and an Oak Tree Permit (Case No. OAK-01116-2015) to encroach within the protected zone of six 6 off-site oak trees for the proposed construction. A public hearing was duly held on February 4, 2016, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California; and notice of the time, date and place and purpose of the aforesaid hearing was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to the Agoura Hills Municipal Code Section 9673.2.E, that:

A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The proposed project is located within the Residential Single-Family (RS) zone and the Indian Hills (IH) Design Overlay zoning districts, which allow for the development of single-family residences. The City's minimum development standards have been met for the proposed residence with regard to building coverage, building height, building setbacks from the property lines, and architectural design standards.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The proposed building design and building materials of the residence include stucco exterior walls with stained wood trim, window shutters, corbels and garage doors; dark bronze metal entry door; stone siding and columns; black wrought iron railings; and a clay tile roof are compatible with the neighboring structures. The project is in

compliance with the City's Architectural Design Standards and Guidelines and the standards of the Indian Hills Design Overlay District.

C. The proposed use, as conditioned, and the conditions under which the project will be operated or maintained, will not be detrimental to the public health, safety or welfare, in that the proposed use will ensure adequate light, air and privacy, and open space to surrounding properties. The proposed single-story residence would be situated on the flatter portion of the site's hillside slope, and will help preserve the views and privacy of the surrounding properties. The project complies with the maximum allowable building height limitations of hillside properties. Geological, geotechnical, and drainage studies, as well as landscape plans, have been provided and approved by the City's consultants. Vehicular access to the property will be provided via Lewis Place. The applicant will be required to construct the project in full compliance with the City's Building Code. The site will be served by the public sewer system.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. The project meets the development standards of the underlying zone (RS-20,000) relative to the required building coverage, building height, and building setbacks and those of the IH overlay zone. The project complies with the 97.5 percent open space required pursuant to the Hillside Ordinance Municipal Code Section 9652.13.B.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community in that the project will meet the minimum yard setback requirements for the RS zone. The residence will be placed an appropriate distance from Lewis Place to preserve public views. The closest home is approximately 60 feet to the west of the residence, which provides sufficient distance from a similar use.

F. The proposed use, as conditioned, is consistent with the City's General Plan. The proposed residence is located and designed to incorporate the existing terrain into the site plan to the maximum extent possible and to minimize grading and preserve viewsheds, as called for in Goal LU-31 and Policy LU-31.3 of the General Plan. The difference in elevation from the street (Lewis Place) to the finish floor elevation is approximately 13 feet. The landscaping will respect and transition with the surrounding natural open space, while providing adequate fire protection, as called for in Goal LU-31 and Policy LU-31.5. The undeveloped open space would retain natural vegetation. The proposed project has been carefully designed to maintain the housing scale and form of the surrounding neighborhood, as called for in Goal LU-9 and Policy LU-9.1 of the General Plan.

Section 4. The Planning Commission finds, pursuant to Section 9652.15.A and B of the Agoura Hills Municipal Code, which establishes special regulations for hillside development areas, that:

A. The proposed project is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood mud

flow, erosion hazards or other hazards. A geotechnical report has been approved by the City Geotechnical Consultant, who recommends that the project be approved from a geotechnical perspective at this planning feasibility stage. The project would comply with all Building Code requirements for construction in fire hazard areas. The project is not located in a flood hazard area.

B. The proposed project is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project is not located in a significant biotic area or known cultural resource area. The majority of the site would remain in natural open space. The project does not protrude above protected ridges, and minimally blocks neighbors' views.

C. The proposed project can be provided with essential public services and is consistent with the objectives and policies of the General Plan as outlined in Section 3.F. All utility services will be brought to the parcel without interference with the existing infrastructure.

D. The proposed development will complement the community character and benefit current and future community residents. The proposed size, materials, and colors of the house is consistent with neighboring homes.

Section 5. Based on the evidence presented at the public meeting, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9657.5.C.3 of the Agoura Hills Municipal Code, that:

A. The proposed construction and encroachment within the protected zone of six (6) off-site oak trees, as conditioned, will be accomplished without endangering the health of the remaining trees on the subject property. The oak tree impacts are concentrated off-site to the east.

B. The encroachment into the protected zone of the oak trees will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated. The approved grading plan for the construction of the project ensures adequate property drainage both on-site and off-site to minimize erosion.

C. No removal or relocation of oak trees is requested for the construction of the retaining walls and driveway. The proposed Oak Tree Permit relates only to the encroachment into the protected zone of six (6) oak trees, which is considered a minor disturbance to six (6) off-site oak trees. The requested use on the private property can be accomplished without the endangerment of the health of the oak trees.

Section 6. The project is a request for one single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303(a) (New Construction or Conversion of Small Structures) and is not subject to a negative declaration or environmental impact report.

Section 7. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. CUP-01113-2015 and Oak Tree Permit No. OAK-01116-2015, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 4th day of February 2016, by the following vote to wit:

AYES: (0)

NOES: (0)

ABSENT: (0)

ABSTAIN: (0)

John O'Meara, Chairperson

ATTEST:

Doug Hooper, Secretary

CONDITIONS OF APPROVAL
(Case Nos. CUP-01113-2015 and OAK-01116-2015)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicant has agreed in writing that he is aware of, and accept, all Conditions of this Permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plans, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all Conditions of Approval have been complied with as determined by the Planning Director.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property for the primary residence, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage. One (1) covered or enclosed parking space shall be provided on the subject property for the second unit, and shall be subject to the City Parking Standards for its size and location.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire

Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless this permit is used within two (2) years from the date of City approval, Conditional Use Permit Case No. CUP-01113-2015 and Oak Tree Permit Case No. OAK-01116-2015 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of Building Permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.36 per square foot for residential construction.
15. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
16. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Planning Director agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine the find and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Planning Director.
17. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
18. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

19. All exterior materials used for eaves, sidings, porch, patio, decks, carport, canopies and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).
20. A two percent (2%) slope away from the structure for drainage (on the first 5 feet) all around the new structure(s) shall be provided.
21. The applicant shall note on the final plans that all new windows will be tempered on at least one side of the dual pane, or a 20 minute rated window or glass blocks per Section 704A.3.2.2 of the 2013 California Building Code.

22. This project is subject to the 2013 California Building, Mechanical, Plumbing, Electrical, Energy Codes, and Green Building.
23. Per AQMD Rule 445 only fireplaces fueled by gas (such as gas logs) may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted.
24. Fire Sprinklers will be required for all new structures per Section 903.2, Article VIII of the Agoura Hills Municipal Code 903.2.
25. A soils report is required to be submitted to the Building and Safety Department for this project.
26. Los Angeles County Fire Department review and approval will be required for all new structures.
27. Las Virgenes Municipal Water District approval will be required.
28. Hillside setbacks shall meet the Agoura Hills Municipal Code Section 1805.3.2. (See guest house retaining wall.)

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

29. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
30. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
31. Applicant shall pay all applicable Transportation Impact Fees (TIF) to the Building and Safety Department at the rate in affect at the time of grading permit issuance. The current TIF is \$3,094.
32. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements, monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's standards and file the necessary information with the County Recorder's office.
33. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals, water meter size

and location, invert elevations and grades for all gravity lines. The Grading Plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.

34. The Grading Plan shall show locations of all oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to oak trees as outlined in the City's Oak Tree Consultant's conditions of approval.
35. Prior to permitting, the applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
36. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
37. Prior to issuance of permits from the Engineering Department, this project will require the applicant to obtain a permit from Las Virgenes Municipal Water District and Los Angeles County Department of Public Works Sewer Division.
38. Prior to permitting, the applicant shall provide a title report not older than 30 days.
39. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the City Engineering Department at (818) 597-7322 for approved City certification forms.
40. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The applicant shall install a sewer line saddle and lateral for connection, and all water appurtenances shall be per Las Virgenes Municipal Water District's standards.
41. The following existing street(s) being cut for new services or being finished with curb and gutter shall require an asphalt concrete overlay: Lewis Place along the property line.
42. This property is within the Las Virgenes Municipal Water District (LVMWD) service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
43. The applicant shall connect to the existing 8-inch sewer line in Lewis Place. (Reference Sewer Drawing No. C02-120-01 and 02.)
44. Applicant shall use existing laterals, whenever provided, for connection to the public sewer system.

45. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
46. Applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual, is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
47. This project shall be subject to the Low Impact Development (LID) requirements of Chapter 5 of Article V of the Agoura Hills Municipal Code.
48. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Public Works/Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
49. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
50. All remaining fees/ deposits required by the Engineering Department must be paid in full prior to issuance of grading permit.
51. All requirements including construction of improvements covered in condition number 36 must be completed to the satisfaction of the City Engineer.
52. The applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of

Record Drawings reflecting all change orders during construction, must be submitted to the City for City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (as-built) Drawings, satisfactory to the City, are submitted.

53. The applicant shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
54. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Public Works/Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
55. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL CONDITIONS

56. The applicant shall comply with all the items in City Geotechnical Consultant's (GeoDynamics, Inc.) Conditions of Approval memorandum dated July 30, 2015.

OAK TREE CONDITIONS

57. The Oak Tree Permit application shall be amended accordingly to address encroachments to Trees A, B, C, D, E and F, opposed to Tree OP-1 as it currently stands.
58. The Oak Tree Preservation Program described in the Oak Tree Report shall include monitoring by a qualified arborist during any pruning, trenching or other encroachments that would occur within the protective zone of oak trees in order to ensure that the construction-related encroachments do not impair the health of the trees. Monitoring shall include remedial measures if roots are encountered during trenching or subsurface work.
59. All subsurface ground disturbances that will occur within the protective zone of an oak tree shall be performed using hand tools under the direct observation of the applicant's oak tree consultant. If work within the protective zone is not feasible with the use of hand tools, mechanical equipment may be allowed so long as a certified arborist is present to directly observe activities to ensure that no impacts occur to the oak tree and to prescribe measures for avoiding major impacts to roots.
60. Prior to the start of any work or mobilization at the site, protective fencing shall be installed at the limits of encroachment within the protective zone of Tree's A, B, C, D, E and F. Fence installation shall be verified by the City Oak Tree Consultant prior to initiating project construction.

61. Prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the oak trees at that time.
62. The applicant shall provide a minimum of 48 hours' notice to the City Oak Tree Consultant prior to the start of approved work within the protected zone of any oak tree.
63. No grading, scarifying or other soil disturbance shall be permitted within the portion of a protected zone of any oak tree, except as specifically indicated on the project plans and as approved in accordance with this oak tree permit.
64. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
65. No irrigation or planting shall be installed within the dripline of any existing oak tree unless specifically approved by the City Oak Tree Consultant and the Planning Director.
66. No pruning of live wood of an oak tree (including branches and roots) shall be permitted unless specifically authorized by the City Oak Tree Consultant and/or following an approved oak tree permit. Any authorized pruning shall be performed by a qualified arborist under the direct observation of the applicant's oak tree consultant. All pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.
67. No herbicides shall be used within 100 feet of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
68. Avoid using any tree/root seals to treat pruned roots. It is best to cut roots with a sharp pruning saw so that cuts are clean (i.e., not jagged). This will allow lateral roots to grow and supplement water/nutrient uptake from the loss of the cut root. However, rooting hormone may be applied to the cut root, so long as it is applied properly according to the product label.
69. The applicant's consulting arborist shall submit certification letters for all work completed within the protected zone of an oak tree within five working days of the completion of said work. The letter(s) shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

LANDSCAPE AND IRRIGATION CONDITIONS

70. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape and irrigation plans meeting the following requirements, for review by the City

Landscape Consultant and approval by the Planning Director. A California-licensed landscape architect shall prepare, stamp and sign the plans. The landscape plan shall comply with the City Landscape and Irrigation Ordinance.

71. The final landscape plan shall generally conform to the Planting Plan prepared by L. Newman Design Group, Inc., Sheet LP-1, dated October 5, 2015, as approved by the City of Agoura Hills Planning Commission.
72. Any tree of heaven (*Ailanthus altissima*) is to be permanently eradicated. The Final Landscape Plans must contain a note to this effect and specify the method of eradication. *(include this condition only if Ailanthus are present on site)*
73. Prior to the approval of a grading permit, the applicant shall submit three (3) sets of Final Landscape and Irrigation Plans for review by the City Landscape Consultant and approval by the Planning Director. A California – licensed Landscape Architect shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans. The Landscape and Irrigation Plan shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.
74. At the time of the Final Landscape Plans submittal, the project Landscape Architect shall provide the City with written confirmation that he / she has reviewed the civil engineering drawings and that the Landscape Plan is not in conflict with the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID) .
75. Planting Plans shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees shall be 15 gallon. The minimum size of shrubs shall be 5 gallon except shrubs planted as groundcovers and or as accent planting, which may be 1 gallon size. Plant sizes may be increased on some projects at the discretion of the Planning Director. *(If necessary specify required plant sizes)*. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
76. The Final Landscape Plans shall include the following notes:
 - a. The project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans.
 - b. Identification of the total square footage of the landscape area within the project.
77. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.

78. With the Final Landscape Plans, three (3) copies of planting and irrigation details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, instillation details and post installation maintenance.
79. The approved landscaping shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
80. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
81. The Final Landscape Plan shall be approved by the Fuel Modification Unit of the County of Los Angeles Fire Department prior to the issuance of a building permit.
82. Landscaping and irrigation installation shall be subject to inspection and approval by the City Landscape Consultant and Planning Department, prior to final building permit inspection.

FIRE DEPARTMENT CONDITIONS

83. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a Building Permit.

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

84. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
85. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall

be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

86. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

SPECIAL CONDITIONS

87. A pre-construction conference shall be held prior to the issuance of a grading permit, with all construction personnel involved with the grading operations.
88. Bird Nesting Surveys and Nest Avoidance. No earlier than 14 days prior to construction or site preparation activities that would occur during the nesting/breeding season of native bird species potentially nesting on the site (typically February 1 through August 31), the Applicant shall have a field survey conducted by a qualified biologist satisfactory to the City Planning Department to determine if active nests of any bird species protected by the state or federal Endangered Species Acts, Migratory Bird Treaty Act, and/or the California Fish and Wildlife Code Sections 3503, 3503.5, or 3511 are present in the construction zone or within 300 feet of the construction zone. If active nests are found within the survey area, construction activities shall stop until consultation with the City Planning Department, CDFW, and USFWS (when applicable) is conducted and an appropriate setback can be established commensurate with the species involved (25 feet for urban-adapted species and up to 500 feet for certain raptors). A temporary construction fence barrier shall be erected around the buffer and clearing and construction within the fenced area shall be postponed or halted, at the discretion of a biological monitor, until the nest is vacated and juveniles have fledged, as determined by the biologist, and there is no evidence of a second attempt at nesting. The Applicant's biologist shall record the results of the survey(s) and recommended protective measures described above to document compliance with applicable state and federal laws pertaining to the protection of native birds, and provide such report to the City Planning Department prior to start of construction.

END

January 26, 2016

Renee Madrigal
Associate Planner

Planning Department
City of Agoura Hills
30001 Agoura Road
Agoura Hills, CA 91301

Dear Renee:

Please be advised I have reviewed proposed the project assigned the title: "CUP-01113-2015", to be located at 28445 Lewis Place, Agoura Hills. This proposed project is located about 100 yards from my home. It is my opinion that this proposed project meets and exceeds the expectations of our neighborhood's unpublished standards. The home is reasonably sized, along with the associated extra structure.

I am certain the development will be tastefully executed and in keeping with the other homes in this neighborhood. However, I would appreciate if the City would consider the following requests:

- 1.- Restrict construction hours on weekends to Saturdays from after 0800 and completing work and having the site secured by no later than 1600 Hours on Saturdays.
- 2.- While grading, trenching or otherwise moving Earth in any manner, use water to mitigate dust creation.
- 3.- I would like to ask that concrete pouring, cement mixing and delivery, heavy equipment and earth moving equipment should be restricted to operate during normal business hours, Monday – Friday only.

There should not be any heavy equipment operated on weekends. However, tradesman, such as plumbers, electricians, roofers, dry wallers and cabinetmakers are welcome to work on Saturdays.

Thank you

Sincerely,
Dan Motta
28320 Laura LaPlante Drive
Agoura Hills, CA 91301

dmotta@raypak.com





Stucco & Trim



Stone



Roof



Stone & Trim



Garage Door, Stone & Roof



Railing

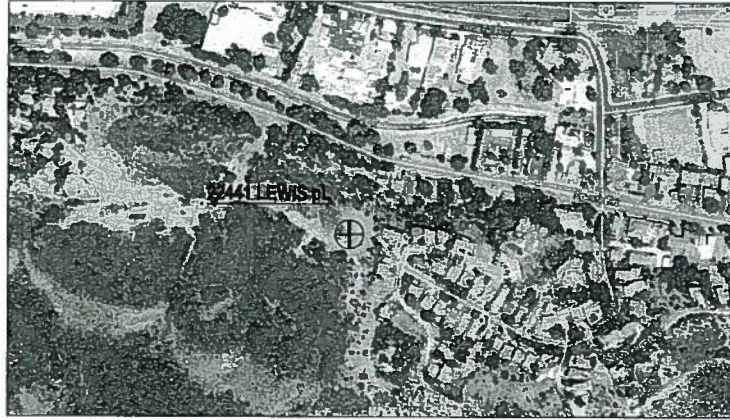


Driveway

28445 Lewis Place, Agoura Hills, CA 91301 - Neff Residence

Conditional Use Permit Case No. CUP-01113-2015 &
Oak Tree Permit Case No. OAK-01116-2015 (Neff)
A.P.N. 2061-023-002



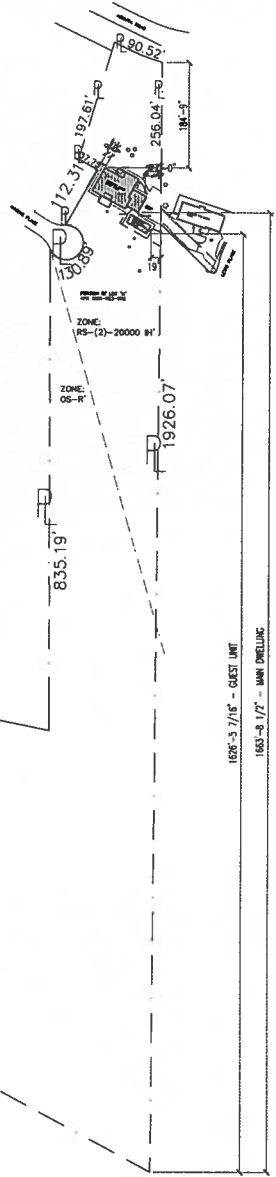


VICINITY MAP. 2
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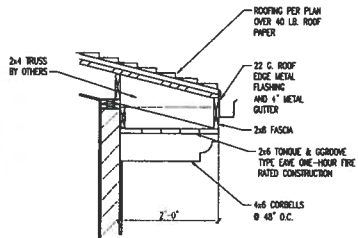
NOTES

1. ALL EXTERIOR MATERIALS USED FOR FENCES, SIDINGS, PORCH, PATIO, GARAGE AND OTHER SIMILAR STRUCTURES NEED TO MEET THE VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ) AS OUTLINED IN CHAPTER 2 ARTICLE VII IN AGOURA HILLS MUNICIPAL CODE (AMC).
2. ALL NEW WINDOWS WILL BE TEMPERED ON AT LEAST ONE SIDE OF THE DUAL FRAME, OR 20 MIN RATED WINDOW OR GLASS BLOCKS PER SECTION 704A.3.2.2 OF THE 2013 CALIFORNIA BUILDING CODE.
3. THIS PROJECT WILL BE SUBJECT TO THE 2013 CALIFORNIA RESIDENTIAL CODE, 2013 MECHANICAL CODE, 2013 CALIFORNIA PLUMBING CODE, 2013 ELECTRICAL CODE, 2013 ENERGY CODE. IF SUBMITTED ON OR AFTER JANUARY 1, 2016, THIS PROJECT WILL BE SUBJECT TO THE 2016 CALIFORNIA RESIDENTIAL CODE, 2016 MECHANICAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 ELECTRICAL CODE, 2016 ENERGY CODE.
4. FIRE SPRINKLERS FOR ALL NEW STRUCTURES WILL BE REQUIRED PER AGOURA HILLS MUNICIPAL CODE (AMC) 9203.2, INCLUDING THE STORAGE SHED AND GUEST HOUSE.
5. HANDRAILS WILL BE REQUIRED FOR ANY EXTERIOR STAIRS WITH FOUR (4) OR MORE RISERS [2013 CALIFORNIA RESIDENTIAL CODE SECTION 311.7.B].
6. LOS ANGELES COUNTY FIRE DEPARTMENT APPROVAL WILL BE REQUIRED FOR ALL NEW STRUCTURES.

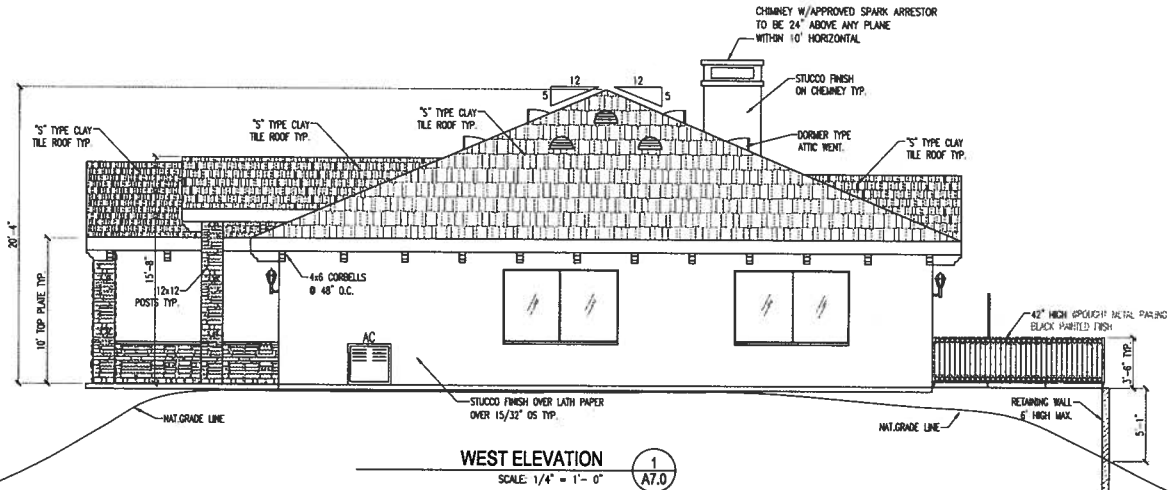
SITE PLAN 1
SCALE: 1" = 100' A2.0



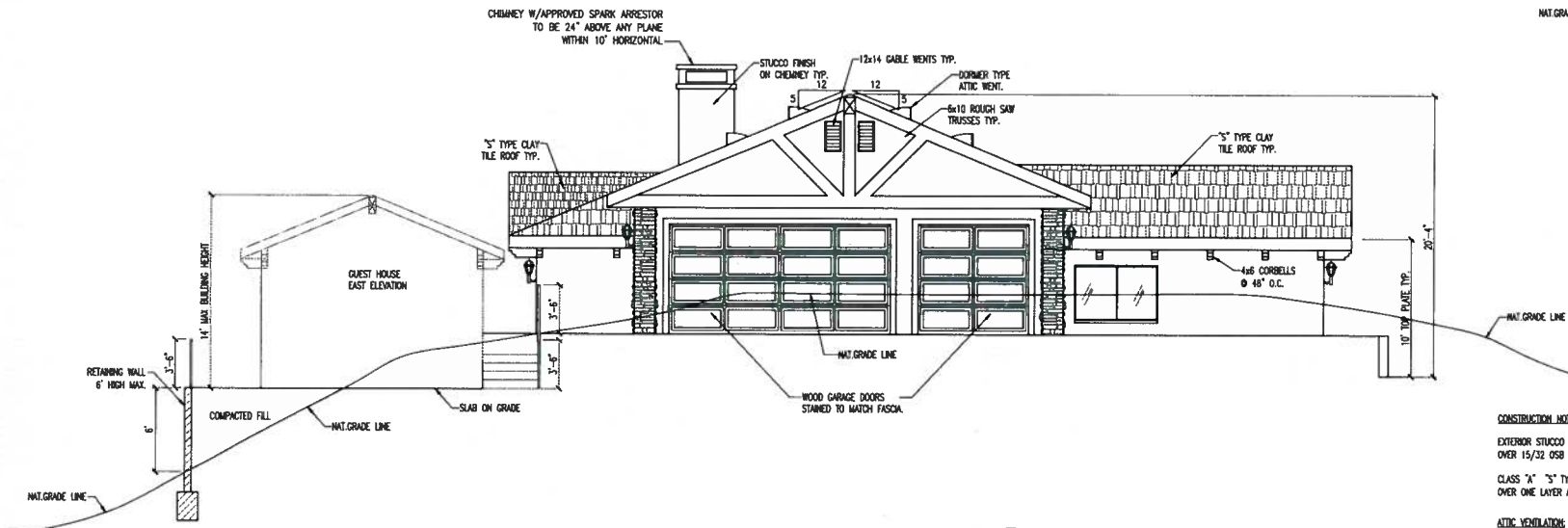
BUILDING PLANS PLANS - BLUEPRINTS 1428 CEDAR STREET NORTH HILLS, CA 91343 818-226-6078											
SHEET NO. _____ OF _____ SHEETS <input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION) <input type="checkbox"/> DESIGN DEVELOPMENT <input type="checkbox"/> Schematic <input type="checkbox"/> PERMIT <input type="checkbox"/> CONSTRUCTION DOCUMENT <input type="checkbox"/> CLIENT	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">DATE</td> <td style="width: 50%; text-align: center;">REVISION</td> </tr> <tr> <td style="text-align: center;"> </td> <td style="text-align: center;"> </td> </tr> <tr> <td style="text-align: center;"> </td> <td style="text-align: center;"> </td> </tr> <tr> <td style="text-align: center;"> </td> <td style="text-align: center;"> </td> </tr> <tr> <td style="text-align: center;"> </td> <td style="text-align: center;"> </td> </tr> </table>	DATE	REVISION								
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02 of 06											



EAVE DETAIL
SCALE: 1/4" = 1'-0"
3
A7.0



WEST ELEVATION
SCALE: 1/4" = 1'-0"
1
A7.0



EAST ELEVATION
SCALE: 1/4" = 1'-0"
2
A7.0

CONSTRUCTION NOTES:

EXTERIOR STUCCO FINISH OVER LATH PAPER OVER 15/32 OSB OVER 2x4 DF @16 O.C. TYP.

CLASS "A" 5" TYPE CLAY TILE ROOF TYP. OVER ONE LAYER ASTM TYPE 30 FELT, OVER 1/2" OSB.

ATTIC VENTILATION:

3100 SF, ATTIC/150 = 20.6 SF REQUIRED.

21 DOORMEYER VENTS @1.0 SF EACH EQUALS 21 SF, PROVIDED.

GRAPHIC SCALE: 1/4" = 1'-0"



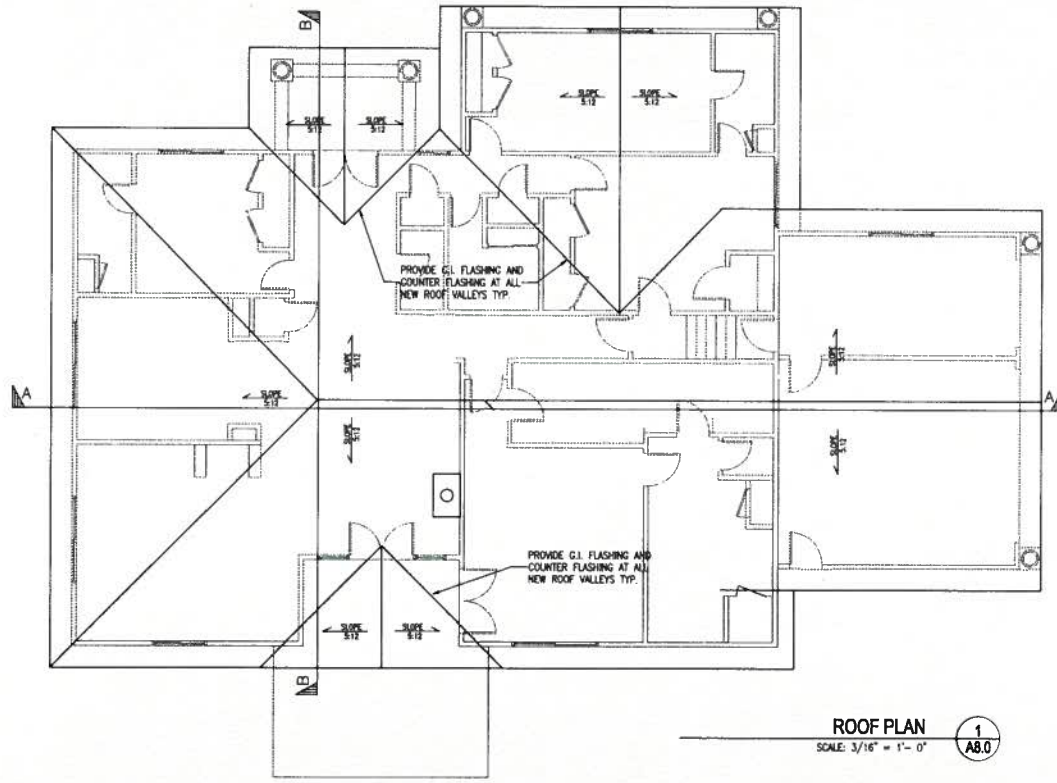
- REVISIONS:
- PRELIMINARY DESIGN AND CONSTRUCTION
 - DESIGN DEVELOPMENT
 - PERMIT
 - COMMERCIAL OCCUPANCY
 - CLAY

EAST AND WEST ELEVATIONS OF MAIN DWELLING

CLIENT: KATHLENE NEFF
PROJECT: NEFF RESIDENCE PROJECT
ACCESSOR PARCEL NUMBER: 2081023002
AGGREGA, CALIFORNIA 91201

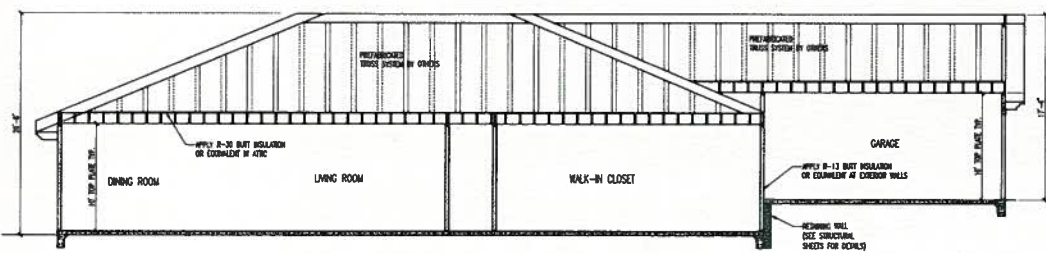
DATE: 05-05-2015
DRAWN: ELEMER
CHECKED: XXX
PROJECT NO: 23815

A7.0

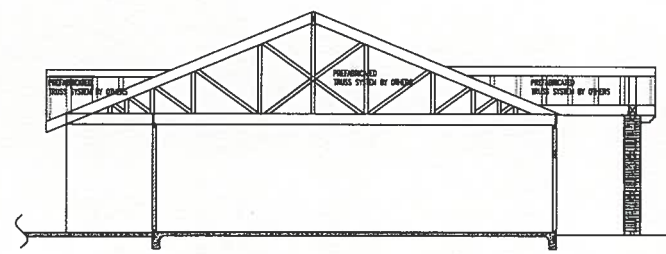


CONSTRUCTION NOTES:
 CLASS "A" CLAY "S" TILE ROOF TYP.
 OVER ONE LAYER ASTM TYPE 30 FELT, OVER 1/2" OSB.
 PROVIDE G.I. FLASHING AND COUNTER FLASHING AT ALL NEW ROOF VALLEYS.

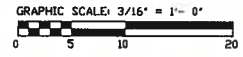
ROOF PLAN
 SCALE: 3/16" = 1'- 0" 1
A8.0



SECTION A-A
 SCALE: 3/16" = 1'- 0" 2
A8.0



SECTION B-B
 SCALE: 3/16" = 1'- 0" 3
A8.0



PLANS - BLUEPRINTS 1648 CASSELL STREET RIVERSIDE, CALIFORNIA 92504 TEL: 951-525-1071
SHEET NO. _____ PROJECT NO. _____ DATE: _____
CHECKED BY: _____ PREPARED BY: _____ <input type="checkbox"/> ARCHITECT <input type="checkbox"/> ENGINEER <input type="checkbox"/> SURVEYOR <input type="checkbox"/> CONTRACTOR <input type="checkbox"/> OTHER
MAIN DWELLING ROOF PLAN AND SECTIONS NEFF RESIDENCE PROJECT ACCESSOR PARCEL NUMBER: 2061028002 ASCHEVA, CALIFORNIA 91301
DRAWN BY: _____ DATE: 05-07-2015 DESIGNER: ELEMER CHECKED: XXX PROJECT NO.: 23615
A8.0
08 of 08

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOTECHNICAL REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP SHOWING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
- TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTIVE SOILS. IF THE EXPANSION INDEX IS GREATER THAN 13%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:30 AM TO 7:00 PM MONDAY THROUGH FRIDAY UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

PUBLIC UTILITIES / SERVICES

WATER: LAG VIRGENES MUNICIPAL WATER DISTRICT
4552 LAG VIRGENES ROAD
CALABASSAS, CA 91302
(818) 880-4110

ELECTRICAL: SOUTHERN CALIFORNIA Edison
3825 FOOTBALL DRIVE
THOUSAND OAKS, CA 91321
(805) 484-7010

TELEPHONE: SBC (PAC BELL)
10311 HAYBURN STREET, #114
VAN NUYS, CA 91411
(818) 375-8999

GAS: SOUTHERN CALIFORNIA GAS
9408 CARDWELL AVENUE
CHATTWORTH, CA 91311
(818) 791-3333

SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1404 S. PRESIDENT AVENUE, BLDG 49 BART
ALHAMBRA, CA 91803
(626) 288-3200

CABLE: ADELPHA
2322 TELLER ROAD
NOVATO CITY PARK, CA 91320
(805) 375-4213

CABLE: CHARTER COMMUNICATIONS
3604 CROSSCREEK ROAD
SULLY, CA 90288
(310) 438-0619

CALTRANS: CALTRANS
8000 REDSEA BOULEVARD
THERESA, CA 91358
(626) 282-1428



INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

ABBREVIATIONS

AC - ASPHALTIC CONCRETE	NO - NATURAL GROUND
BE - BOTTOM OF FOOTING	NT - NOT TO SCALE
CB - CATCH BASIN	PL - PROPERTY LINE
CF - CURB FACE	POB - POINT OF BEGINNING
C - CENTERLINE	SDMH - STORM DRAIN MANHOLE
CLP - CHAIN LINK FENCE	SMN - SEWER MANHOLE
CO - CLEAN OUT	SS - SANITARY SEWER
DB - DEBRIS BARR	TB - TOP OF BERM
DA - DAYLIGHT	TC - TOP OF CURB
ED - EDGE OF DRAINAGE	TF - TOP OF FOOTING
EP - EDGE OF PAVEMENT	TO - TOP OF GRATE
FF - FINISHED FLOOR	TT - TOP OF WALL
FG - FINISHED GRADE	TYF - TYPICAL
FH - FIRE HYDRANT	WN - WATER METER
FL - FLOWLINE	WV - WATER VALVE
FB - FINISH SURFACE	
HC ROP - HANDICAP RAMP	
HP - HIGH POINT	
IV - INVERT	

LEGEND AND SYMBOLS

PROJECT BOUNDARY:

EXISTING GRADE CONTOUR:

PROPOSED GRADE CONTOUR:

SPOT ELEVATION:

PROPOSED SLOPE PER PLAN:

RETAINING WALL:

DAYLIGHT CUTFILL LINE:

DIRECTION OF FLOW (SLOPE):

CONSTRUCTION NOTE NUMBER:

STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ONSITE POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ONSITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER PRESETS SHALL BE CLEANED OUT A MINIMUM OF THREE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 897-7366, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."

LEGAL DESCRIPTION

ASSASSOR PARCEL NO. (APN): 2091-023-002
PARTITION OF THE RANCHO LAG VIRGENES
25.18 MORE OR LESS ACRES THAT PART
8 OF AGOURA RD AND B AND 8 OF
TRACT NO 7861 OF COLORADO VEAR
834.26 AC ALLOT IN
LOT H

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
G-1	GRADING NOTES, LEGEND, VICINITY MAP
G-2	GRADING AND DRAINAGE PLAN
G-3	GRADING AND DRAINAGE NOTES & DETAILS
G-4	DRAINAGE DETAILS

ESTIMATED EARTHWORK QUANTITIES

ESTIMATED CUT: 300 CY ESTIMATED EXPORT: 45 CY
ESTIMATED FILL: 251 CY ESTIMATED IMPORT: 0 CY
ESTIMATED OVER-EXCAVATION: 375 CY

BENCHMARK:

DESCRIPTION: BM NO. 0711921 ELEVATION: 888.215 SURVEY DATE: 03-29-2015

RECORD DRAWING STATEMENT

I, JOSEPH EDEN, P.E., HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. G-1 THROUGH G-3, MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

JOSEPH EDEN, P.E. 04-28-15
REGISTERED CIVIL ENGINEER DATE C8888 RCE NO. EXP. DATE

SOILS APPROVAL

THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____

REGISTERED GEOLOGIST DATE RCE NO. EXP DATE
REGISTERED GEOTECHNICAL ENGINEER DATE RCE NO. EXP DATE

OWNER

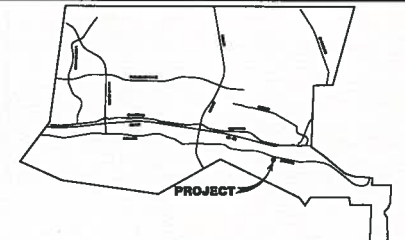
NAME: KEITH BLANKENBACH
ADDRESS: 28841 LEWIS PL., AGOURA HILLS, CA 91001
REPRESENTATIVE:
TELEPHONE: (918) 264-0313

CIVIL ENGINEER

NAME: JOSEPH EDEN, P.E.
ADDRESS: 14416 PRIMA ST., SUITE 'X', VAN NUYS, CA 91401
REPRESENTATIVE:
TELEPHONE: 818 788 1481

GEOTECHNICAL ENGINEER

NAME:
ADDRESS:
REPRESENTATIVE:
TELEPHONE:



VICINITY MAP

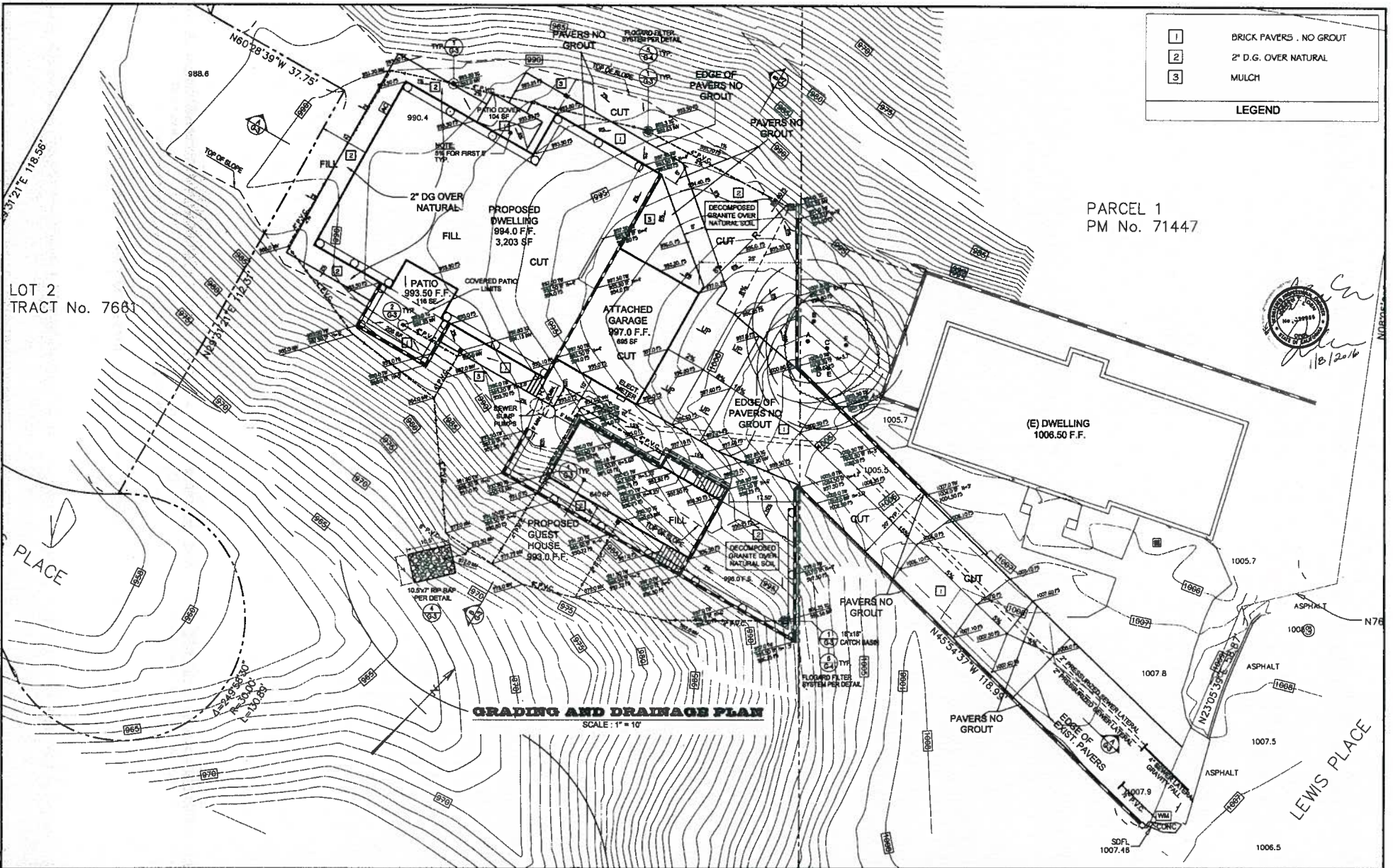
GRADING & DRAINAGE

SHEET 1 OF 4

CITY OF AGOURA HILLS DWG. NO.

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY:	CITY OF AGOURA HILLS APPROVAL:	REVIEWED BY:	DATE	DATE	DATE	DATE
					JOSEPH EDEN, P.E. PROJECT ENGINEER	04-28-15 DATE					
							RAMIRO S. ADEVA, P.E. CITY ENGINEER			C8888 RCE NO.	08/30/19 EXP DATE





1	BRICK PAVERS . NO GROUT
2	2" D.G. OVER NATURAL
3	MULCH
LEGEND	

PARCEL 1
PM No. 71447

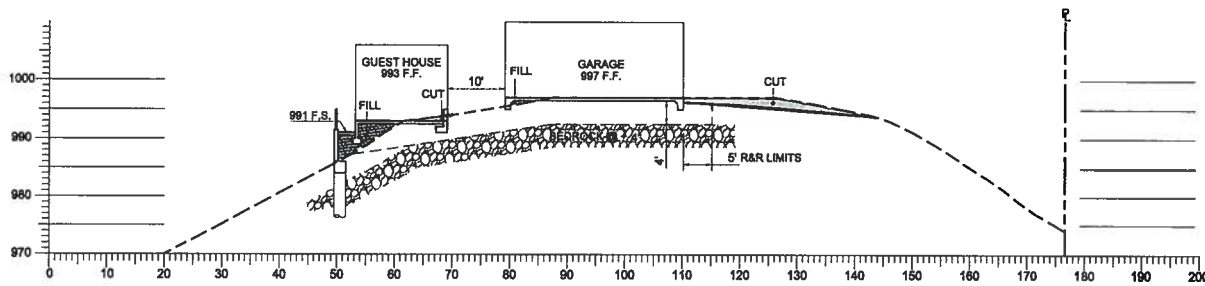
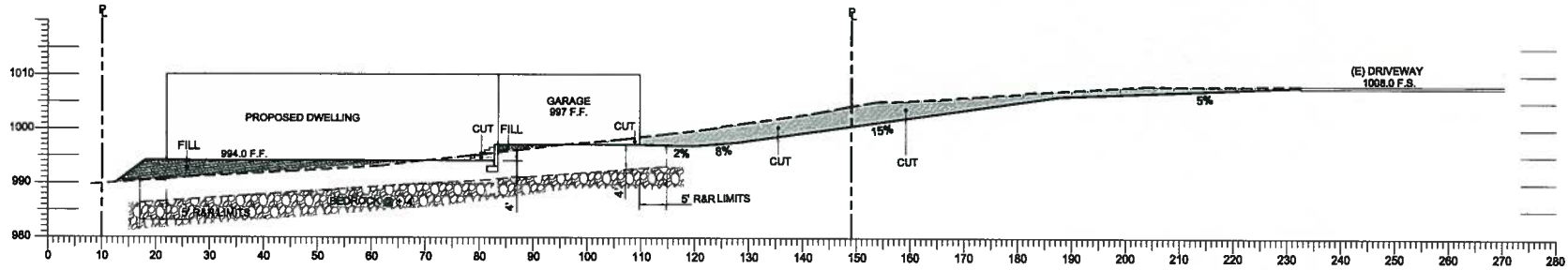
LOT 2
TRACT No. 7661



GRADING AND DRAINAGE PLAN
SCALE: 1" = 10'

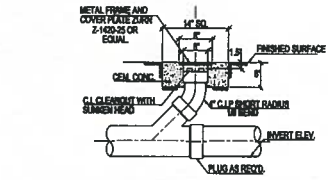
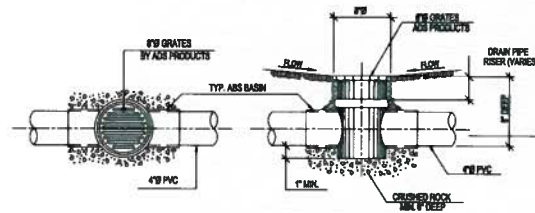
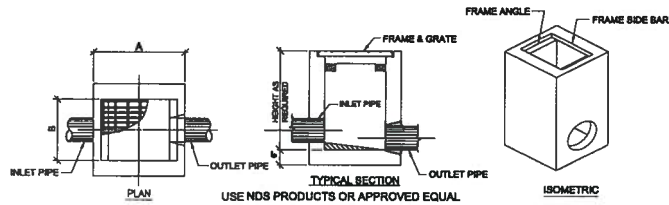
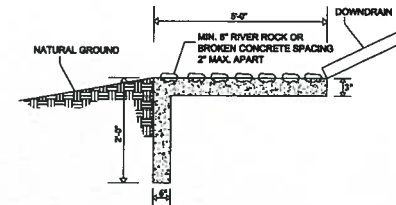
	PREPARED BY: JOSEPH EDEN, P.E. PROJECT ENGINEER 04-28-15 DATE	CITY OF AGOURA HILLS APPROVAL	REVIEWED BY: RAMIRO S. ADEVA, P.E. CITY ENGINEER DATE	08885 TICE NO. 09/30/16 EXP DATE		GRADING & DRAINAGE SHEET 2 OF 4
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S:\Projects\1611 - Projects\1611 - Program\LEWIS PLACE 28641 - AGOURA HILLS GRADING DRAINAGE EROSION SLOPE ANALYSIS\04 - Grading\28641 LEWIS PL. GDD.DWG. REV. 01-08-16.dwg, 1/8/2016 8:52:38 AM
 C:\Program Files\Autodesk\Map Tools\Map Tools\Map Tools.dwg



CUT
 FILL
 --- EXISTING GRADE
 ——— EXISTING GRADE

EARTHWORK CALCULATIONS:	
SECTION A:	SECTION B:
CUT AREA: • 254x20= 5280/27= 198 C.Y.	CUT AREA: • 40x50= 2000/27= 74 C.Y.
CUT AREA: • 10x31= 310/27= 11 C.Y.	CUT AREA: • 3.5x40= 140/27= 5 C.Y.
CUT AREA: • 11x50= 550/27= 20 C.Y.	FILL AREA: • 27x85= 1755/27= 65 C.Y.
FILL AREA: • 8.5x31= 263.5/27= 10 C.Y.	MAIN HOUSE REAR PATIO AREA FILL: • 53.7x20= 1074/27= 40 C.Y.
FILL AREA: • 105x50= 5250/27= 194 C.Y.	MAIN HOUSE PORCH AREA FILL: • 43.75x22= 962.5/27= 35 C.Y.



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY:
JOSEPH EDEN, P.E.
PROJECT ENGINEER

04-28-18
DATE

CITY OF AGOURA HILLS APPROVAL

REVIEWED BY: _____ DATE: _____

RAMIRO B. AZEVA, P.E.
CITY ENGINEER

08888
RCE NO.

09/30/18
EXP DATE



GRADING & DRAINAGE

Efficient
Catches pollutants with mesh that is easiest to catch, filter & clean.

Variable Design
Applications with the ability to be modified or used in new projects.

Treatment Train
Can be incorporated as well as "Treatment Train".

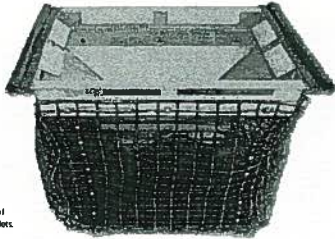
No Standing Water
Helps to reduce mosquito breeding and odor problems.

Focused Treatment
Removes petroleum hydrocarbons, TSS, and TSS.

Maximum Flexibility
Available in a variety of standard sizes to fit round and square inlets.

Economical
Requires a low set return on investment.

Three-year warranty to filter solids, trash & grease



Easy to install, inspect and maintain, even on small and confined sites

By the Numbers:
• Filter shall remove 90% of total suspended solids (TSS)
• Capture at least 25% of oil and grease and 50% of total petroleum hydrocarbons (TPH) associated with organic debris.
*Based on test results

Catch Basin Filter Test Results Summary

Item	% Filtered	% Not Caught	% Filtered
TSS	90	10	90
Oil & Grease	25	75	50
TPH	50	50	50

Multipurpose Catch Basin Insert designed to capture sediment, debris, trash & oils/grease from low (first flush) flows, even during the most extreme weather conditions.

The Flogard® Catch Basin Insert Filters provide solids filtration through a filter screen of filter liner, and hydrocarbon capture shall be effected using a non-leaching absorbent material contained in a pouch or similar removable restraint. They are recommended for areas subject to silt and debris as well as low-to-moderate levels of petroleum hydrocarbons (oils and grease). Examples of such areas are vehicle parking lots, aircraft ramps, truck and bus storage yards, business parks, residential and public streets.

Catch Basin Filter Competitive Feature Comparison

Evaluation of Catch Basin Filters (Based on flow-compatible units) (Scale 1-10)	Oldcastle Stormwater	Other Insert Filter Types**
Flow Rate	10	7
Removal Efficacy*	80%	45%
Capacity - Silt & Oil	7	7
Service Life	10	3
Installation - Ease of Handling / Installation	8	6
Ease of Inspections & Maintenance	7	7
Value	10	2

*Approximate based on field sediment removal testing in urban street application **ave Age

Long-Term Value Comparison (Based on flow-compatible units) (Scale 1-10)	Oldcastle Stormwater	Other Insert Filter Types
Unit Value - Initial (GAC) (lowest)	10	4
Installation Value (GAC) (lowest)	10	7
Alternative replacement (annual avg) (GAC) (lowest)	10	2
Maintenance replacement (annual avg) (GAC) (lowest)	10	10
Total cost w/ RCI (GAC) (lowest)	10	7
Total cost w/ RCI (GAC) (lowest)	10	5
Total Annual Avg Value (GAC) (lowest) avg over 20 years*	10	5



Combination Inlet



Flat Grated Inlet



Circular Frame Catch Basin



Captured debris from the Catch Basin Filter, Dana Point, CA

FLOGARD CATCH BASIN INSERT FILTER DETAIL A

5

N.T.S

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY:	DATE	CITY OF AGOURA HILLS APPROVAL:	DATE	REVIEWED BY:	DATE	CITY OF AGOURA HILLS	GRADING & DRAINAGE
					JOSEPH EDWIN, P.E. PROJECT ENGINEER	04-28-18			RAMIRO B. ADEVA, P.E. CITY ENGINEER		08/30/18 EXP DATE	SHEET 4 OF 4

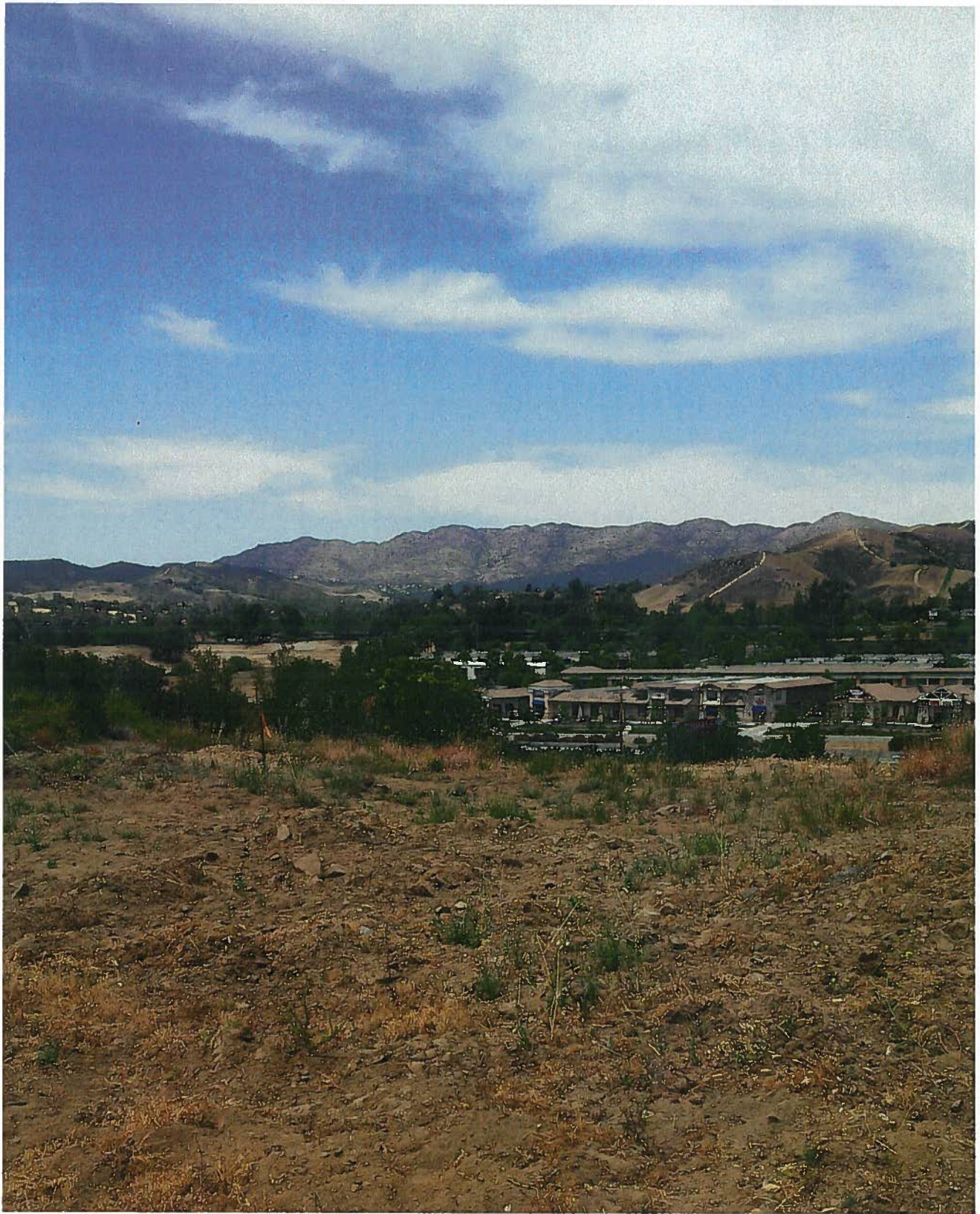


View from South



View West

28445 Lewis Place, Agoura Hills, CA 91301 - Neff Residence



View Northwest

28445 Lewis Place, Agoura Hills, CA 91301 - Neff Residence



View North

28445 Lewis Place, Agoura Hills, CA 91301 - Neff Residence



View Northeast

28445 Lewis Place, Agoura Hills, CA 91301 - Neff Residence