

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: April 7, 2016

TO: Planning Commission

APPLICANT: Kerry Gold
Kerry Gold Design Group
638 Lindero Canyon #432
Oak Park, CA 91377

CASE NOS.: CUP-01118-2015 and VAR-01119-2015

LOCATION: 27306 Oak Summit Road

REQUEST: Request for a Conditional Use Permit to construct a 3,305 square-foot two-story single-family residence with a 560 square-foot attached two-car garage; request for a variance to allow retaining walls to exceed the 6'-0" height limit; and making a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL DETERMINATION: Exempt from the California Environmental Quality Act (CEQA) per Section 15303(a) of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve CUP Case No. CUP-01118-2015 and Variance Case No. VAR-01119-2015, subject to conditions, based on the findings of the attached draft Resolution.

ZONING DESIGNATION: RS-3-10,000 (Residential Single-Family, 10,000-square-foot minimum lot size)

GENERAL PLAN DESIGNATION: RS (Residential Single-Family)

PROJECT BACKGROUND AND DESCRIPTION

On April 11, 1985, the Planning Commission considered a Conditional Use Permit (CUP) application (Case No. 84-CUP-015) filed by the property owner at the time, Mr. Kurt Vanderhorst, to build a two-story single-family residence over an attached two-car garage at the ground level, a swimming pool and a spa on a 0.34 acre parcel located on the east side of Oak Summit Road, at 27306 Oak Summit Road, in the Liberty Canyon neighborhood.

At the request of the applicant, the case was continued from both the February 14, 1985, and March 14, 1985, public hearings. The original staff recommendation for the February 14, 1985 public hearing was denial because the geotechnical investigation did not verify that the proposed development was safe to develop; the geotechnical investigation lacked specifics; and no justification was provided by the applicant for the proposed 2:1 cut slope. A staff memorandum to the Planning Commission, dated April 3, 1985, indicated that an updated geotechnical report was submitted, addressing the City Building Official's concerns, and therefore the staff recommendation to the Planning Commission was changed from denial to approval with conditions. The first public hearing for this project occurred on April 11, 1985.

On April 11, 1985, the Planning Commission heard from two property owners on Oak Summit Road and the President of the Liberty Canyon Homeowners' Association about the adequacy of the geotechnical report. The Planning Commission voted unanimously to continue the case to May 23, 1985 to allow the geology reports to be studied by the City Engineer and the City consulting geologist.

At the May 23, 1985 hearing, based upon a request by Mr. Vanderhorst for more time to study the suggestions from the City's consulting geologist, the Commission voted unanimously to continue this case to July 11, 1985.

During the Planning Commission public hearing of July 11, 1985, the applicant verbally stated his intention to withdraw his pending application and to submit a new application that addressed staff's and the Commissioner's comments and included their requested information. The Commission voted unanimously in favor of accepting the property owner's withdrawal of the application. Mr. Vanderhorst never resubmitted an application.

The property has remained vacant and has been sold to BX Construction, LLC. On behalf of BX Construction, LLC, Kerry Gold is requesting at this time an approval of a CUP to construct a 3,305 square-foot two-story single-family residence with a 560 square-foot attached two-car garage on the same parcel, which is now zoned Residential Single Family, 10,000-square-foot minimum lot size (RS-3-10,000). The project would require retaining walls to exceed the six-foot (6'-0") height limit established for retaining walls in order to support the proposed construction, which requires approval of a variance. On June 26, 2015, staff mailed a courtesy notice regarding the application to surrounding property owners and the Liberty Canyon Homeowner's Association.

This hillside lot rises approximately 100 feet in elevation from the average street elevation of Oak Summit Road (854 feet) to the average rear or east elevation (954 feet) of the lot, with an average slope of 43 percent. New single-family homes on property with an average slope of ten percent or greater require a CUP and are subject to review by the Planning Commission. The subject parcel has an average topographic slope of 43 percent. Since the slope exceeds 10 percent, the project is subject to the City's Hillside Ordinance standards and, therefore, requires approval of a CUP.

The proposed single-family residence is a permitted use in the Residential Single-Family District (RS) zone and would meet the required development standards relative to lot coverage, height and building setbacks as listed in the Zoning Ordinance (Code). Listed below are the proposed development data pertaining to the project:

Pertinent Data		
	Proposed	Allowed/Required
Lot Size	15,452 sq. ft.	10,000 sq. ft. min.
Public Street Frontage	65.9 ft.	75 ft. min.
Lot Width	79.7 ft.	90 ft. min.
Lot Depth	215 ft.	100 ft. min.
Building Height	32 ft.	35 ft. max.
Building Sizes		
Residence (First Floor)	1,195 sq. ft.	
Residence (Second Floor)	1,550 sq. ft.	
Total Residence	2,745 sq. ft.	
Attached Garage	560 sq. ft.	
First Floor Covered Porch	125 sq. ft.	
Second Floor Covered Balcony	50 sq. ft.	
Total Attached Structures	735 sq. ft.	
TOTAL	3,480 sq. ft.	Max. 25% (3,863 sq. ft.)
Bldg. Lot Coverage		
Residence	1,195 sq. ft.	
Attached Garage	560 sq. ft.	
First Floor Covered Porch	125 sq. ft.	
TOTAL	1,880 sq. ft.	Max. 35% (5,408 sq. ft.)
Setbacks		
Front (West)	25 ft.	25 ft. min.
Rear (East)	137 ft.	25 ft. min.
Left Side (North)	12 ft.	10 ft. min.*
Right Side (South)	10 ft.	10 ft. min.*
No. of Oak Trees		
On-Site	0	n/a
Off-Site	0	n/a
Average Topographic Slope	43%	10%

*Must be combined 22 ft., with no side less than 10 ft.

STAFF ANALYSIS

Site Plan

The proposed residence and attached garage, which occupy thirteen (13) percent of the lot, have been proposed in the lower portion of the 15,452 square-foot parcel, near the west end of the lot. The project includes a proposed lower floor elevation (attached garage) at an elevation of 858 feet, which is four (4) feet above Oak Summit Road. The front of the house faces west. The 20-foot-wide driveway access to the two-car garage, located at the front of the house, is provided from Oak Summit Road. The adjacent properties to the north and south of the lot are vacant. The lots directly across Oak Summit Road from the subject property are developed with single-family homes. An existing hillside single-family home is present on a nearby property located to the south of the subject property. The Los Angeles County Fire Department has tentatively approved the applicant's site plan for the required access.

The RS zone allows for a maximum 35 percent lot coverage for lots that are 10,000 square-feet or larger. The footprint of the proposed residence, attached garage, and covered porch total 1,880 square feet, or 12 percent of the lot area, meeting the requirement.

The proposed residence would be two-story over a garage and stepped upward along the natural terrain of the hillside. The lots immediately adjacent to the subject property are vacant and steeply sloped upward from Oak Summit Road, similar in percentage slope to the subject property. A lot further to the south, on the same side of Oak Summit Road as the subject property contains a 2,444 square foot, two-story, single-family residence on a 56,339 square-foot lot. Across Oak Summit Road to the west are several single-story residences built as part of a residential tract. They range in size from 1,386 square feet to 1,670 square feet, and are situated on lots ranging in size from 11,324 square feet to 47,936 square feet. The proposed size of the applicant's residence would be larger than the largest existing home across the street by 1,680 square feet (almost double the size), and is larger than the existing home on the same side of Oak Summit Road by approximately 900 square feet. Still, the proposed residence would meet the height, lot coverage, and setback Code requirements.

Hillside Development Standards

The project is subject to the City Hillside Ordinance (Code Section 9652.13B), which establishes development criteria within sensitive areas, such as hillside lots. The regulations protect hillside areas from incompatible development and preserve the natural terrain, quality environment, and aesthetic character while encouraging creative, innovative and safe residential development. The Hillside Ordinance encourages minimal grading that relates to the natural contours of the land, and minimal disturbance to the natural areas of the site. It requires appropriate erosion and drainage control protection measures, and ridgeline protection. With regard to design, the Ordinance encourages architectural enrichments and variation in roof massing and low profile roofs, as well as breaking up building masses through variety in materials and fenestration placement. Native or naturalized plants and natural landform planning are required.

The Hillside Ordinance (Section 9652.13.D) includes a requirement for view preservation, calling for the retention of natural landforms and protecting views in hillside areas by locating dwelling units in such a manner as to avoid obstructing the view of natural landforms from other dwelling units. The proposed dwelling unit would be situated 25 feet from Oak Summit Road, respecting the minimum front yard setback requirement of the zoning district. The natural terrain of the subject property is steeply sloped (43 percent) from Oak Summit Road to the rear property line. The location of the residence on the lower end of the steeped terrain would preserve the public views of the ridgeline at the rear of the property.

The Hillside Ordinance includes a requirement for on-site open space preservation. The minimum amount of area to remain in undisturbed open space is related to the average slope of the property. The average slope of the subject property is 43 percent. For parcels that have an average slope of greater than 35 percent, the Hillside Ordinance requires that at least 97.5 percent of the lot remain in undisturbed open space. Strict application of the Code would prohibit the use of the subject property for development. The Hillside Ordinance, however, provides that in hillside areas where the land parcel contains an area of less than five (5) acres and the density or open space requirements of the Hillside Ordinance would prohibit the use of such parcel otherwise permitted, a CUP is required and one residential dwelling unit is allowed (Section 9652.13.B (a) through (d)). In accordance with the Hillside Ordinance, the CUP requires a minimum of sixty-five (65) percent of open space on the parcel.

As addressed further below (see Public Works/Engineering), the project would be required to comply with measures to minimize storm water pollution, erosion, and other drainage impacts, and the project has been conditioned as such.

As discussed in further detail below (see Architectural Design), the architectural style of the proposed dwelling is Craftsman-inspired and traditional, much in keeping with the architectural style of the adjacent homes on Oak Summit Road. The building colors and materials will be natural earth tones. The design of the façade provides architectural elements to break up the building mass as viewed from Oak Summit Road. And, as discussed in further detail below (see Oak Trees and Landscaping), the Planting Plan consists of native trees and a series of native and ornamental vegetative species. The project has been conditioned to incorporate more native species in the rear yard and more naturalistic plantings as called for in the Hillside Ordinance, and in consideration of the site's location adjacent to open space areas. Therefore, the proposed project would comply with the building design and landscaping requirements of the City's Hillside Ordinance.

Variance Request

A variance to allow retaining walls to exceed the six-foot (6'-0") height limit is being requested. The subject property consists of a steep upslope lot with a 43 percent grade, and requires the structures to be built into the slope for practical feasibility and aesthetic reasons of minimizing the grading of the slope. Because of the required front yard setback, the structure has to be built into the hill. Retaining walls would be required to provide adequate support and allow for access to all portions of the development, including Code required

access from the upper level to the street and the Los Angeles County Fire Department access by way of stairs to all portions of the dwelling.

Due to the existing terrain and steep lot conditions, the retaining walls in the rear yard are required to support the dwelling, and the walls along the north-eastern portion of the lot that support the entry stairs, would exceed six feet (6'-0") in height, and therefore would require a variance. The retaining wall heights are called out on Plan Sheet A1.1, and would range in height from two feet to fourteen feet.

Architectural Design

The applicant is proposing a Craftsman-like traditional style architecture that includes earth-tone building materials, particularly tan colored horizontal siding on exterior walls, sand-colored trim boards and white fascia boards and columns, a natural stone façade at the garage level with a coordinating stone veneer chimney, and a charcoal gray clay tile roof. The residence would have a staircase leading up to a covered porch entryway, a balcony at the upper level facing the street, and three gable-roof pitches at the upper level also, facing the street. Decorative columns are proposed along the covered porch at the front entrance of the residence, as well as on the upper level balcony, providing depth and dimension to the structure. The roof is designed using multi-level roof lines to provide variation. The proposed garage doors are paneled to provide harmonious dimension in conjunction with the natural stone façade at that level of the residence. The 440 square-foot driveway is composed of impermeable material (concrete), set in a square pattern with 12 concrete squares in a three-by-four pattern, separated by a narrow strip of permeable surface (gravel or sod) to allow for some permeability on the overall surface.

The Architectural Review Panel (ARP) reviewed the project and upon review of the original plans, the ARP suggested that the gable roofs on the front elevation be adjusted to be of similar size; that the fireplace be widened and increased in height; that the orientation of the front door be changed to create a more defined entry space inside the house; and that the windows be bordered with a stucco finish instead of a battened wall application. These suggestions were given for greater compatibility with the Architectural Design Standards and Guidelines. The ARP also requested some revisions to the site plan to better understand the property boundary, the relationship between the property and City limit, and verification of the slope percentage of the driveway and transition from the street to the driveway. The applicant made the requested revisions, with the exception of changing the building materials around the windows and revising the orientation of the front entry. The applicant's justifications for not making the requested changes are that the battened wall application around the windows better suits the Craftsman-like traditional architectural style of this home, and the property owner preferred the entry as proposed because it creates a useable front porch and better suits the floorplan. Staff supports the plans as currently proposed by the applicant.

The most prominent elevation visible from the street would be the west elevation, which from Oak Summit Road appears to be a two-story dwelling over a garage. The dwelling is proposed to step upward from the street along the hillside, such that the least visible elevation from the street, the rear of the dwelling, appears to be a single-story. The building design incorporates the residence into the hillside so that it blends in visually

with the terrain. The residence is situated below the ridgeline at the rear of the lot to preserve the natural setting and maximize open space on the lot to the greatest extent possible. The average height of the proposed residence is 32 feet, which does not exceed the maximum height of 35 feet allowed for a residence in the RS zone.

Public Works/Engineering Department

The Public Works/Engineering Department has reviewed the proposed Grading Plan and requires that Oak Summit Road be improved along the property street frontage. The street improvements are to include a new driveway approach, sewer connection to the existing lateral, an asphalt concrete overlay along the project frontage, and connection to the existing eight-inch main sewer line in Oak Summit Road in front of the subject parcel. All improvements must be reviewed and approved by the City Engineer. The applicant must submit a Grading Plan, Erosion and Sediment Control Plan, and Standard Urban Stormwater Mitigation Plan to the City Engineer for review and approval prior to construction, and comply with the "Low Impact Development" requirements of the Code pertaining to drainage and storm water.

The proposed project site would be adequately served by the necessary public service facilities. The applicant would be required to provide connection to the existing water, sewer, and storm drain systems, which are adequate to accommodate the project, and connect to other utilities.

The City's Geotechnical Consultant has reviewed the geotechnical reports prepared for this project and concurs with staff's recommendations that the project be approved from a geotechnical perspective at this planning stage. A further geotechnical report will be submitted to the city prior to issuance of grading permits. The Geotechnical Consultant concurs with the report prepared for this project by Schick Geotechnical, Inc., as amended by the Addendum letter dated February 18, 2016 (received via email by the City's Geotechnical Consultant on February 23, 2016, per reference in the City's Geotechnical consultant's review sheet). The project has been conditioned to address the comments in the City's Geotechnical Consultant's February 24, 2016 review sheet during the Building and Safety Department plan check.

Construction traffic trips and related vehicular routes would be reviewed and approved by the City Engineer prior to the issuance of a Grading Permit and Encroachment Permit (for work in the public right-of-way), with the intent to minimize impacts to the neighbors from construction vehicles.

Building Department

The Building Department has reviewed the proposed plans and requires that all exterior materials used for the dwelling meet the Very High Fire Hazard Severity Zone as outlined in the Code. The project would be subject to the 2013 California Building Code, including, but not limited to, the installation of fire sprinklers and handrails for all exterior stairs with more than four risers.

Landscaping

Since the applicant is proposing to grade the hillside slope, the applicant was required to prepare a landscape plan for the City's review. The proposed landscape plan is a mix of trees, including two sycamore trees and one Coast Live Oak, shrubs and other ground coverings. The plant palette contains a mix of both native and non-native ornamental plants. The preliminary landscape plan was reviewed by the City Landscape Consultant, who recommends that the applicant submit final, detailed landscape and irrigation plans for review by the City Landscape Consultant and the Planning Director prior to Building Permit issuance, and subject to attached conditions. The final plans would be reviewed for slope stabilization and the incorporation of further native plant species and naturalized planting patterns in the rear yard, to be consistent with the Hillside Ordinance and in consideration of the adjacent open space areas.

The fuel modification plan that was submitted with the proposed project was reviewed and approved by the County of Los Angeles Fire Department.

General Plan Consistency

Staff finds the project will be consistent with the following applicable General Plan goals and policies:

Goal LU-7: Livable and Quality Neighborhoods. Neighborhoods that provide a variety of housing types, densities, and design, and a mix of uses and services that support the needs of their residents.

- *Policy LU-7.1 Neighborhood Conservation.* Maintain the uses, densities, character, amenities, and quality of Agoura Hills' residential neighborhoods, recognizing their contribution to the City's identity, economic value, and quality of life for residents.
- *Policy LU-7.2 Housing Character and Design.* Require that new and renovated housing within existing single- and multi-family neighborhoods be located and designed to maintain their distinguishing characteristics and qualities, including prevailing lot sizes; building form, scale, massing, and relationship to street frontages; architectural design; landscape; property setbacks; and comparable elements. Continue to implement the City's Architectural Design Standards and Guidelines to ensure that residential units are designed to sustain the high level of architectural design quality and the character of the existing land forms that characterize the Agoura Hills neighborhoods, in consideration of the following principles as identified in the Standards and Guidelines:
 - Harmony with the natural land forms and native vegetation
 - Response to the local climate (through proper building orientation, appropriate glazing, use of overhangs, shading devices, native vegetation, etc.)
 - Reflection of the highest standards of adjacent buildings and the neighborhood style[s], proportions, colors, and materials

The proposed single-family residence conforms to the required building coverage, height, scale, massing, and setbacks of the Code. The colors would be neutral and lighting would be limited to landscape lighting. The architectural style is Craftsman-like and traditional, in keeping with the general architectural design of the neighboring homes along Oak Summit Road.

Therefore, the proposed project is consistent with Policies LU-7.1 and LU-7.2.

- *Policy LU-7.7 Environmental Setting.* Protect and enhance the unique features of Agoura Hills' residential neighborhoods that have contributed to a high-quality aesthetic environment, including the preservation of scenic and visual resources, a quality built environment, open space resources, and attractive streetscapes.

The proposed project involves the construction of a two-story single-family dwelling home over an attached garage on a steep upslope lot. The single-family dwelling has an attached garage on the lower level. No unique biological species or oak trees are present on the site. The proposed dwelling conforms to the natural slope of the property such that the dwelling is as close to the street as possible, thereby maintaining the public view of the ridgeline from Oak Summit Road and preserving the scenic and visual resources of the neighborhood. In addition to the proposed landscaping on the property, including a proposed oak tree planted in the rear yard, the project includes the addition of two sycamore trees in the front yard, thereby creating a more attractive streetscape than the current vacant lot, devoid of trees.

Therefore, the proposed project is consistent with Policy LU-7.7.

Goal LU-9 Single-Family Neighborhoods. Maintenance of the identity, scale, and character of the City's distinct residential neighborhoods.

- *Policy LU-9.1 Neighborhood Identity.* Maintain the distinguishing characteristics that differentiate by topography, parcel size, housing scale and form, and public streetscapes Agoura Hills' single-family neighborhoods.

The lot is similar in size and topography to the lots on the same side of Oak Summit Road as the subject property. The lot is larger in area than the lots immediately across the street, which are flatter, but has much less useable space than those lots due to the steep up-slope of the subject lot. Retaining walls are required to create useable space on the subject lot. The project has been designed to maintain architectural compatibility with the surrounding neighborhood, while conforming to the steep natural terrain of the project site. The project meets the Code-required setbacks, height and lot coverage. Therefore, the proposed project is consistent with Policy LU-9.1.

Goal LU-19. Maintenance of Open Spaces. Open space lands that provide an attractive environmental setting for Agoura Hills and visual relief from development, protect the

viability of natural resources and habitat, offer passive recreational opportunities for residents and visitors, and protect residents from the risks of natural hazards.

- *Policy LU-19.4 Conserve Natural Hillides.* Encourage the conservation of natural hillides in new and existing development in the City's hillside areas, including limitations on density and building scale; maintenance of an appropriate distance from hillides, ridgelines, creek beds, and other environmental resources; prevention of erosion; preservation of viewsheds; and protection of the natural contours of the land. Encourage cluster developments in sensitive areas to preserve and reduce the impact to natural lands.

The proposed project would be built as close as possible to the front setback, thereby preserving the entire 137-foot rear setback in its natural hillside form and protecting the viability of natural resources and habitat. The project is designed consistent with the Hillside Ordinance, and the residence is stepped up the slope to preserve the topography. Therefore, the proposed project is consistent with Policy LU-19.4.

Environmental Review

The project has been determined to be Categoricaly Exempt from CEQA per Section 15303(a) of the CEQA Guidelines. This exemption includes, but is not limited to, the construction of a single-family residence. No significant environmental impacts are expected from development of this project. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines including but not limited to subsection (c) which relates to unusual circumstances.

RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. CUP-01118-2015 and Variance Case No. VAR-01119-2015, subject to the attached conditions, based on the findings of the attached Draft Resolution.

ATTACHMENTS

1. Draft Resolution and Conditions of Approval
2. Colored Elevations of the Residence and Colors and Material Board
3. Vicinity Map
4. Reduced copies of project plans
5. Photographs of applicants' lot
6. Geotechnical Report, dated December 19, 2015, amended on February 18, 2016

Case Planner: Michelle D'Anna, Contract Planner

ATTACHMENT 1

DRAFT RESOLUTION AND CONDITIONS OF APPROVAL

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-01118-2015 FOR THE CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE AT 27306 OAK SUMMIT ROAD; APPROVING VARIANCE CASE NO. VAR-01119-2015 TO ALLOW RETAINING WALLS TO EXCEED THE SIX-FOOT HEIGHT LIMIT; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Kerry Gold Design Group with respect to the real property located at 27306 Oak Summit Road (Assessor's Parcel Number 2064-017-022), requesting the approval of a Conditional Use Permit (Case No. CUP-01118-2015) to construct a 3,305 square-foot two-story single-family residence with a 560 square-foot attached two-car garage, and a Variance (Case No. VAR-01119-2015) to allow retaining walls to exceed the six-foot (6'-0") height limit. A public hearing was duly held on April 7, 2016, at 6:30 p.m. by the Planning Commission in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds for the Conditional Use Permit, pursuant to the Agoura Hills Municipal Code Section 9673.2.E, that:

A. The proposed use is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The proposed project is located within the Residential Single-Family (10,000 square-foot minimum lot size) (RS) zoning district, which allows for the development of single-family residences. The RS zone allows for a maximum 35 percent lot coverage for lots that are 10,000 square feet or larger. The subject property is 15,452 square feet and the applicant has proposed a single-family residence. The Hillside Ordinance requires that at least 97.5 percent of the lot remain in undisturbed open space for parcels that have an average slope of greater than 35 percent. However, due to the steep slope of the subject property (43 percent), strict application of the Zoning Code would prohibit the use of the subject property. The Hillside Ordinance also requires a minimum average acreage per dwelling unit of 20 acres for parcels that have an average slope of greater than 35 percent. Although the subject parcel is

only 0.34 acres, strict applicant of the density requirements would prohibit the use of the subject property. Thus, in accordance with Zoning Code Sections 9652.13 (A) and (B) one residential dwelling unit is proposed that meets the criteria established by this Code Section. Specifically, the subject parcel was lawfully created on March 31, 1965, prior to the adoption of the Hillside Ordinance in 2011. There has been no change in ownership of the parcel occurring after the adoption of the Hillside Ordinance that would result in the parcel no longer being considered part of a larger parcel of land, a private septic system will not be installed, and the minimum percent of required open space on the parcel will be sixty-five (65) percent. Therefore, the City's minimum development standards have been met for the proposed residence, including those addressing lot coverage, building height, hillside development, and building setbacks from the property lines.

B. The proposed use is compatible with the surrounding properties and the City's Architectural Design Standards and Guidelines. The proposed single-family residence would be located in an existing single-family neighborhood of the City. While many of the existing homes are single-story, the proposed two-story dwelling unit would meet the height, lot coverage, setback, and other requirements of the zoning district. The proposed building materials of the residence that include earth-tone horizontal siding and trim boards, white fascia boards and columns, natural stone veneer, and charcoal gray clay roof tiles, are compatible with the neighboring structures and the natural environment. The building design is compatible with the topography of the property, in that it incorporates the residence into the hillside by stepping the structure upward from the street to follow the natural terrain. The residence is situated below the ridgeline to preserve the natural setting and maximize open space on the lot to the greatest extent possible.

C. The proposed use and the conditions under which the project will be operated or maintained, will not be detrimental to the public health, safety or welfare, in that the proposed use will ensure adequate light, air and privacy, and open space to surrounding properties. The proposed two-story structure is situated on the lowest portion of the on-site hillside slope, which will preserve the views and privacy of the surrounding properties and meet the view preservation standards of the City's Hillside Ordinance. The project complies with the maximum allowable building height limitations of hillside properties. Geological, geotechnical, and drainage studies, as well as landscape plans, have been provided and approved by the City's consultants. Vehicular access to the property will be provided via Oak Summit Road. The applicant will be required to construct the project in full compliance with the City's Building Code. The proposed project site would be adequately served by the necessary public service facilities. The applicant would be required to provide connection to the existing water, sewer, and storm drain systems, which are adequate to accommodate the project, and connect to other utilities.

D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance, with the exception of retaining wall height for which a variance from the Zoning Ordinance is being sought. The project meets the development standards of the underlying zone relative to the required lot coverage, building height,

and building setbacks. Strict application of Zoning Ordinance Section 9652.13(B) would require 97.5 percent of the subject property to remain in open space, since the slope of the subject property is greater than 35 percent. The proposed residence is located and designed to incorporate the existing terrain into the site plan to the maximum extent possible, but since the lot is only 15,452 square feet, strict application of Zoning Ordinance Section 9652.13(B) would prohibit the use of this parcel. Zoning Ordinance Section 9652.13(B) states that in the event that open space limitations prohibit the use of a parcel of land otherwise permitted by the Zoning Ordinance, one residential dwelling unit shall be permitted on such parcel provided that: such parcel was lawfully created prior to the adoption of the Zoning Ordinance Section; a change in ownership occurring after the adoption of this Zoning Ordinance Section has not resulted in such parcel no longer being considered part of a larger parcel of land; a private septic system will not be installed; and, a conditional use permit is granted for the dwelling unit. The subject property meets all of the exception criteria and, therefore, complies with this Section and all other applicable provisions of the Zoning Ordinance.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community in that the project will meet the minimum yard setback requirements for the RS zone. The residence will be placed 25 feet from Oak Summit Road, respecting the minimum front yard setback requirement of the zoning district. The natural terrain of the subject property is steeply sloped (43 percent) from Oak Summit Road to the rear property line. Locating the residence on the lower end of the steeped terrain will preserve the public views of the ridgeline at the rear of the property. The closest home is directly across the street from the subject property, approximately 45 feet from the subject property's front property line. In addition, the proposed use is one single family home to be developed in the RS Zone, which is the appropriate use for this parcel and, accordingly, its location in proximity to other single family homes would not threaten the overall diversity of the community.

F. The proposed use is consistent with the City's General Plan. The proposed residence is located and designed to incorporate the existing terrain into the site plan to the maximum extent possible, and to minimize grading and preserve viewsheds, as called for in Policy LU-8.3 of the General Plan. Regarding Land Use Policies LU-7.1 and LU-7.2, the proposed single-family residence conforms to the required building coverage, scale, massing, and setbacks required per the Code. The colors will be neutral and the architectural style is traditional, in keeping with the architectural design of the neighboring homes along Oak Summit Road. Regarding Land Use Policy LU-7.7, the proposed dwelling conforms to the natural slope of the property such that the dwelling is as close to the street as possible, thereby maintaining the public view of the ridgeline from Oak Summit Road and preserving the scenic and visual resources of the neighborhood. Regarding Land Use Policy LU-9.1, the proposed project has been carefully designed to maintain the housing scale and form of the surrounding neighborhood, while conforming to the steep natural terrain of the project site. And, regarding Land Use Policy LU-19.4, the proposed project is designed consistent with the Hillside Ordinance. The residence is stepped up the slope to preserve the topography.

Section 4. The Planning Commission finds, pursuant to Section 9652.15.A and Section 9652.18 of the Agoura Hills Municipal Code, which establish special regulations for hillside development areas, that:

A. The proposed project, as conditioned, is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood mud flow, erosion hazards or other hazards. The project has been conditioned to comply with the Low Impact Development (LID) requirements of the Code to protect storm water quality and drainage, and will require the following: an approved Grading Plan; Erosion and Sediment Control Plan; and a Standard Urban Stormwater Mitigation Plan. A geotechnical report has been approved by the City Geological Consultant with conditions that shall become a project requirement and which concludes that the proposed use will not threaten the stability of the hillside. The City Public Works/Engineering Department has also reviewed the project and imposed conditions. Both sets of conditions will ensure the project would be consistent with safety requirements and no pose significant threat to life or property. Final geotechnical reports are required for review by the City prior to grading permit issuance.

B. The proposed project, as conditioned, is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project does not protrude above the on-site ridgeline and will not block neighbors' views of the ridgeline. There are no known significant biological or cultural resources on-site. The majority of the site will be protected as open space.

C. The proposed project can be provided with essential public services and is consistent with the objectives and policies of the General Plan. All utility services will be brought to the parcel without interference to the existing infrastructure, and the project will connect to the sewer system. The project will be consistent with General Plan Goal LU-1 and Policy LU-1.2 that provide for well-planned development, efficient use of infrastructure and primarily infill of existing developed areas in that the site is an infill lot and public services are available to easily serve the site. A private septic system is prohibited in accordance with the Hillside Ordinance.

D. The proposed development, as conditioned, will complement the community character and benefit current and future community residents. On the same side of Oak Summit Road further south of the subject property exists a two-story home that is stepped uphill similar to the building design of the proposed residence on the subject property. Directly across the street from the subject property are several existing one-story single family residences, each approximately 1,450 square feet in size. The proposed dwelling is approximately twice the size of the existing homes across from the subject property along Oak Summit Road, but also sits on a lot that is larger than those across the street. The terrain of the subject property is steeply sloped such that development of the site is limited and much of the property will remain in open space and not usable. Given the specifics of the site, the proposed dwelling would complement the community character of the neighborhood because it is a single-family dwelling with an

attached garage, similar in architectural style to the neighboring residences. The proposed building materials of the residence that include earth-tone horizontal siding and trim boards, white fascia boards and columns, natural stone veneer, and charcoal gray clay roof tiles, are compatible with the neighboring dwellings and the natural environment. The building design is compatible with the topography of the property, in that it incorporates the residence into the hillside by stepping the structure upward from the street to follow the natural terrain. The residence is situated below the ridgeline to preserve the natural setting and maximize open space on the lot to the greatest extent possible.

E. The proposed development, as conditioned, is consistent with the general design and construction standards set forth in the Hillside Ordinance, including standards for view preservation, fire protection, erosion control, drainage control, ridgelines, building design, and landscaping.

Section 5. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds for the variance, pursuant to Section 9676.2.E. of the Agoura Hills Municipal Code, that:

A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of this article deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. The site presents constraints due to the average upslope of the lot being 43 percent, which necessitates retaining walls to develop the property. Unless the applicant is permitted to construct a retaining wall in excess of six feet, the property could not be developed as a single family home, which is a privilege currently enjoyed by other properties located in the hillside neighborhood and under the same RS zoning classification.

B. The granting of the variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated. There are currently several vacant lots on the same side of Oak Summit Road as the subject property, all of which have a steep upslope and may also require a variance for retaining walls upon development. The developed lots in close proximity to the site are not as steeply sloped, and so do not pose the same development constraints.

C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in impractical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The proposed project is subject to the City's Hillside Ordinance, which includes a requirement for on-site open space preservation. The minimum amount of area to remain in undisturbed open space is related to the average slope of the property. The average slope of the subject property is 43 percent. For parcels that have an average slope of greater than 35 percent, the Hillside Ordinance requires that at least 97.5 percent of the lot remain in undisturbed open space. Strict application of the Zoning Code would prohibit the use of the subject property. However, since the proposed project

meets the criteria listed in Code Section 9652.13B (a) through (d), one residential dwelling unit is permitted. The only way that a dwelling, or any structure for that matter, would be feasible on the site would be to construct retaining walls higher than six feet in order to stabilize the slope behind the dwelling and allow for adequate access to all portions of the development, such as required fire access. The additional height of the retaining wall ensures that the maximum amount of open space can be safely maintained on the parcel, in furtherance of one purpose of the Hillside Ordinance.

D. The granting of the variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The project has been conditioned to comply with the Low Impact Development (LID) requirements of the Code, and will require the following: an approved grading plan; Erosion and Sediment Control Plan; and a Standard Urban Stormwater Mitigation Plan. A geotechnical report has been approved by the City Geological Consultant with conditions that shall become a project requirement. The City Public Works/Engineering Department has also reviewed the project and imposed conditions. Both sets of conditions will ensure the project would be consistent with safety requirements and no pose significant threat to life or property. Final geotechnical reports are required for review by the City prior to grading permit issuance.

E. The granting of the variance will allow a single family home to be built, which is consistent with the character of the surrounding area. The architectural style of the proposed dwelling is Craftsman-inspired and traditional, much in keeping with the architectural style of the adjacent homes on Oak Summit Road. The proposed residence is larger in size than the other structures on the same block, but is not substantially larger than the average homes within the surrounding neighborhood, and meets Code requirements. The size of the homes directly across the street from the subject property, excluding garage space, appears to be approximately 1,450 square feet each and single-story. The applicant's home is proposed at 2,745 square feet with two-stories. The neighboring smaller single-story homes were built as part of a residential tract development and have flatter lots that allow for much more useable space on those properties. The subject lot is much larger in square footage, but due to the steep slope of the terrain, does not provide for much useable space. The useable space, rather, is being geotechnically configured with retaining walls in order to accommodate the construction of a single-family dwelling and provide for a modest outdoor living space.

Section 6. The project is a request for one single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303(a) (New Construction or Conversion of Small Structures). No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines including but not limited to subsection (c) which relates to unusual circumstances.

Section 7. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. CUP-01118-2015 and Variance Case

Resolution No. _____

Page 7

No. VAR-01119-2015, subject to the attached conditions in Exhibit A incorporated herein by reference, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 7th day of April 2016, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

John O'Meara, Chairperson

ATTEST:

Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case Nos. CUP-01118-2015 and VAR-01119-2015)

PLANNING DEPARTMENT CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts, all conditions of this permit with the Department of Planning.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plan, Drainage Plan, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Director of Planning.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless this permit is used within two (2) years from the date of City approval, Conditional Use Permit Case No. CUP-01118-2015 and Variance Case No. VAR-01119-2015 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of Building Permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.36 per square foot for residential construction. On May 9, 2016, the fee will be \$3.48 per square foot for residential construction.
15. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
16. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist and Native American monitor, as appropriate, can examine the find and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning.
17. If human remains are unearthed, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the developer/contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) thought to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assess the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City.
18. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
19. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
20. A pre-construction conference shall be held prior to the issuance of a grading permit, with all construction personnel involved with the grading operations.

21. If substantial changes are made to the approved Preliminary Landscape Plan, as determined by the Planning Director, the revised Landscape Plan shall be subject to approval by the Planning Commission.
22. To the extent feasible, the applicant shall not remove or otherwise disturb vegetation, prepare the site, or conduct any other construction related activities within the work areas to avoid impacts to breeding and/or nesting birds from February 1 through September 1, the recognized breeding, nesting and fledging season for raptor and bird species. If such activities in the work areas during the breeding and nesting season cannot be avoided, then prior to any ground or vegetation disturbing activities, the City shall have a qualified biologist/ornithologist acceptable to the City Planning Department conduct a survey of all breeding and nesting habitats within the work areas and vicinity within one (1) week of construction or vegetation clearing activities. The extent of the survey buffer area surrounding the site shall be established by the biologist to ensure that direct and indirect effects to nesting/breeding birds are avoided. A report discussing the results of the bird survey shall be submitted for review by the City Planning Department prior to any vegetation removal, site preparation or construction activity. If active nests are found within the survey area, activities within a 300-foot radius (500 feet for raptors) shall not be allowed until an appropriate buffer can be established. Limits of construction to avoid a nest site shall be established in the field with flagging and stakes or construction fencing. Activities within the buffer area shall be postponed or halted at the discretion of a biological monitor until the nest is vacated and juveniles have fledged, and there is no evidence of a second attempt at nesting. If a state or federally listed species is found, the CDFW and/or the USFWS, as applicable, shall be notified within 24 hours of the sighting, and construction work shall not occur until concurrence has been received that operations may proceed. The biologist shall record the results of the recommended protective measures described above to document compliance with applicable state and federal laws pertaining to the protection of native birds, and provide the documentation to the City Planning Department upon completion of the work and prior to issuance of a Certificate of Occupancy.
23. Retaining wall material shall be stucco per the approved elevation plans.
24. A minimum of sixty-five (65) percent of open space shall be provided on the parcel.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

25. This project shall be subject to the 2013 California Residential, Mechanical, Plumbing, Electrical Code, Energy Codes and Agoura Hills Municipal Code (AHMC).
26. All exterior materials used for eaves, sidings, porch, patio, decks, carport and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).

27. A two percent (2%) slope away from the structure for drainage (on the first 5 feet) all around the new structure(s) shall be provided.
28. The applicant shall note on the plans that all new or replaced windows will be tempered on at least one side of the dual pane, or a 20 minute rated window or glass blocks per Section 704A.3.2.2 of the 2013 California Building Code.
29. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Mechanical, Electrical, Plumbing, Energy Plans, plans will need to be submitted to Building and Safety Department for plan review and approval. Please be advised that this is a preliminary review and does not constitute a final Building and Safety approval.
30. Fire Sprinklers will be required for all new structures per Section 903.2, Article VIII of the Agoura Hills Municipal Code 903.2.
31. A soils report is required to be submitted to the Building and Safety Department for this project.
32. Per AQMD Rule 445, only fireplaces fueled by gas (such as gas logs) may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted. Please refer to the Building Department handout regarding AQMD Rule 445.
33. Handrails shall be required for exterior stairs with four (4) or more risers per 2013 California Building Code Section 311.7.8.
34. Los Angeles County Fire Department review and approval will be required for all new structures.

PUBLIC WORKS/ENGINEERING DEPARTMENT CONDITIONS

35. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
36. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet Las Virgenes Municipal Water District standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Public Works/Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.

37. Applicant shall pay all applicable Transportation Impact Fees (TIF) to the Building and Safety Department prior to the issuance of the Grading Permit. The current fee is \$3,094 per unit.
38. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements, monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's standards and file the necessary information with the County Recorder's office.
39. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals, water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Public Works/Engineering Department until this detailed utility information is included on the plans.
40. The Grading Plan shall show locations of all oak trees, if any, within the vicinity of the site. Applicants shall adhere to all requirements pertaining to oak trees as outlined in the City's Oak Tree Consultant's conditions of approval, if any.
41. Prior to permitting, the applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
42. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
43. Building Permits shall not be issued until the applicant has obtained a permit from Las Virgenes Municipal Water District for water and sewer connection.
44. Prior to permitting, the applicant shall provide a title report not older than 30 days.
45. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the City Public Works/Engineering Department at (818) 597-7322 for approved City certification forms.
46. Prior to permitting, all public improvements shall be designed in accordance with City Code, specifications, approved Specific Plan (as applicable), and/or approved Conditions of Approval for the area. The applicant shall install a new driveway approach, connect to existing lateral for sewer connection, and all water appurtenances shall be per Las Virgenes Municipal Water District's standards.

47. The following existing street being cut for new services or being finished with curb and gutter shall require an asphalt concrete overlay: Oak Summit Road along the project frontage.
48. This property is within the Las Virgenes Municipal Water District's (LVMWD) service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
49. Applicant shall connect to the existing 8-inch main sewer line in Oak Summit Road in front of this parcel. (Reference Sewer Drawing Number C02-0183-02).
50. Applicant shall use existing laterals, whenever provided, for connection to the public sewer system.
51. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
52. Applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
53. This project shall be subject to the Low Impact Development (LID) requirements of Chapter 5 of Article V of the Agoura Hills Municipal Code.
54. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented for this project during construction to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.

55. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Stormwater Mitigation Plan (SUSMP) shall be submitted to and approved by the Public Works/Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Stormwater Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
56. All remaining fees/deposits required by the Engineering Department must be paid in full prior to issuance of Grading Permit.
57. All requirements including construction of improvements covered in Condition 47 must be completed to the satisfaction of the City Engineer.
58. The applicants' Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City for City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (as-built) Drawings, satisfactory to the City, are submitted.
59. The applicants shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
60. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Public Works/Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
61. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL CONDITIONS

62. The applicant shall comply with all the City Geotechnical Consultant's (GeoDynamics, Inc.) Conditions of Approval letter dated February 24, 2016, which is incorporated herein by this reference.

LANDSCAPING CONDITIONS

63. The Final Landscape Plan shall substantially conform to the Preliminary Landscape Plan prepared by Alan Bernstein, AIA + ASLA, as approved by the City of Agoura Hills Planning Commission.
64. Prior to the approval of a grading permit, the applicant shall submit three (3) sets of Final Landscape and Irrigation Plans for review by the City Landscape Consultant and approval by the Planning Director. A California – licensed Landscape Architect shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans. The Landscape and Irrigation Plan shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.
65. At the time of the Final Landscape Plan submittal, the project Landscape Architect shall provide the City with written confirmation that the project Landscape Architect has reviewed the civil engineering drawings and that the Landscape Plan is not in conflict with the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID).
66. Planting Plans shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees shall be 15 gallon. The minimum size of shrubs shall be five (5) gallon except shrubs planted as groundcovers and or as accent planting, which may be one (1) gallon size. Plant sizes may be increased on some projects at the discretion of the Planning Director. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
67. The Final Landscape Plans shall include the following notes:
 - a. The project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans.
 - b. Identification of the total square footage of the landscape area within the project.
68. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
69. With the Final Landscape Plans, three (3) copies of planting and irrigation details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, instillation details and post installation maintenance.

70. The approved landscaping shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
71. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
72. The Final Landscape Plan shall be approved by the Fuel Modification Unit of the County of Los Angeles Fire Department, as appropriate, prior to the issuance of a Building Permit.
73. Landscaping and irrigation installation shall be subject to inspection and approval by the Planning Department prior to final Building Permit inspection.
74. Consistent with the City Hillside Ordinance and to be compatible with the adjacent open space area, the Final Landscape Plan shall consist of locally native and/or naturalized plants, and of natural landform planting, including trees and shrubs arranged in informal masses.

LOS ANGELES COUNTY FIRE DEPARTMENT CONDITIONS

75. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a Building Permit.

SOLID WASTE MANAGEMENT CONDITIONS

76. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
77. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The

Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

78. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

ATTACHMENT 2
COLORED ELEVATION OF THE RESIDENCE AND
COLORS AND MATERIALS BOARD



RENDERING

PROJECT: 27306 Oak Summit Road
Agoura Hills, CA. 91301

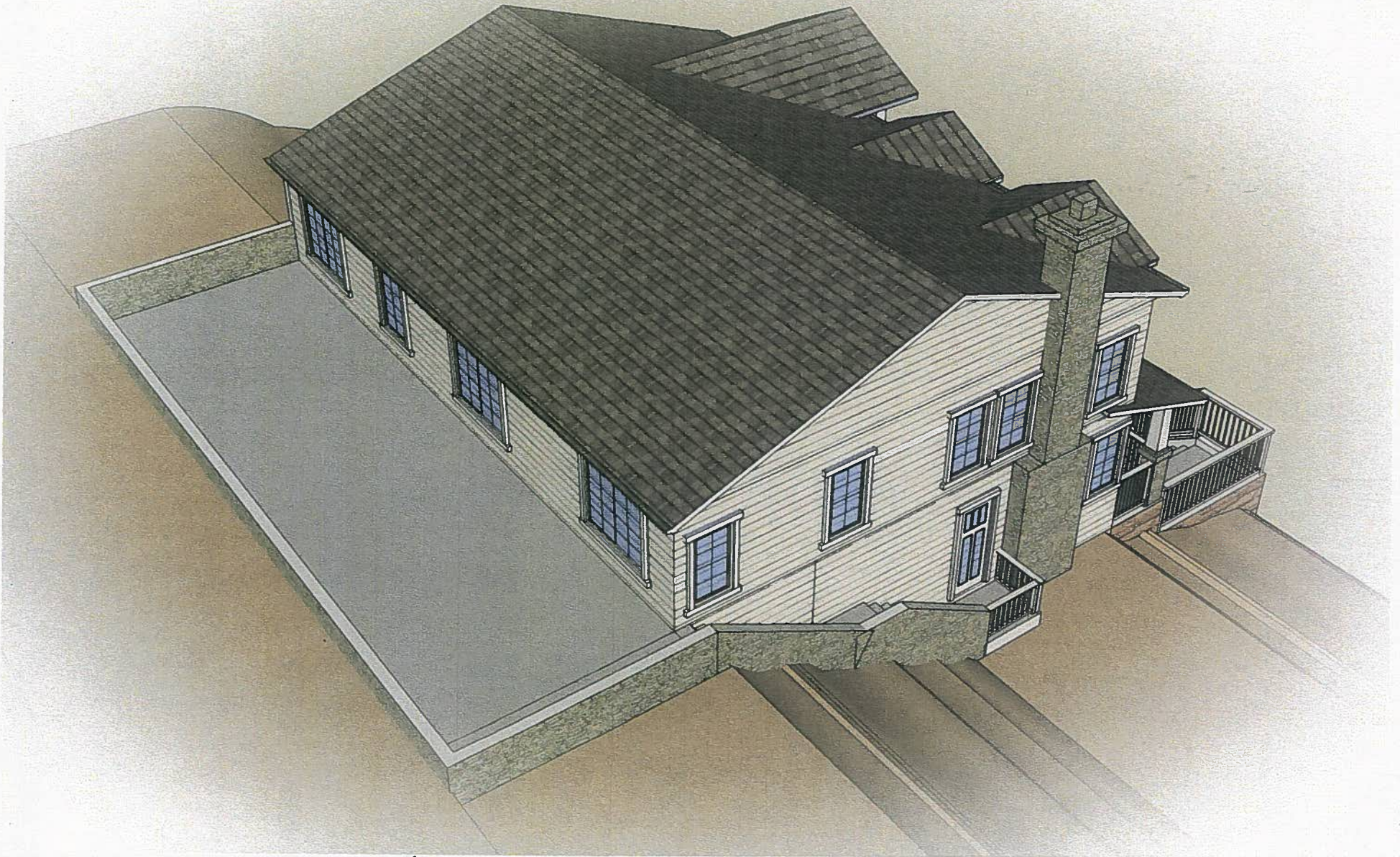
Kerry Gold Design Group
638 Lindero Canyon Rd. #432
Oak Park, CA. 91377



PROJECT: 27306 Oak Summit Road
Agoura Hills, CA. 91301

Kerry Gold Design Group
638 Lindero Canyon Rd. #432
Oak Park, CA. 91377

Kerry Gold Design Group
638 Lindero Canyon Rd. #432
Oak Park, CA. 91377



27306 Oak Summit Rd.
Agoura Hills, CA. 91301



740C

BEHR EXTERIOR
PAINTS:

740C-1 ^U
Seaside Sand

FASCIA BOARDS, STAIR
RAILING, WD. COLUMNS

740C-2 ^U
Cozy Cottage

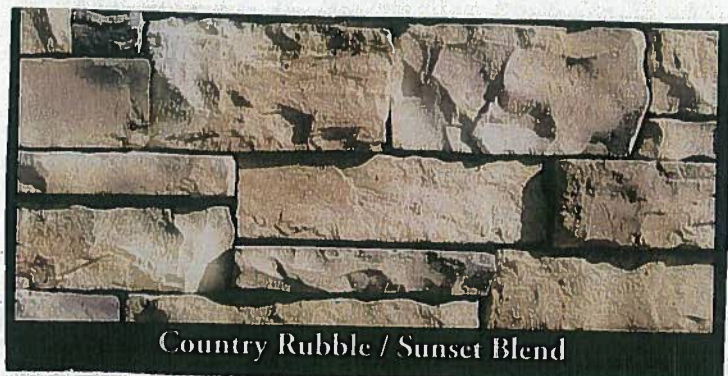
VERTICAL SIDING
TRIM BOARDS

740C-3 ^M
Oat Straw

HORIZONTAL SIDING



EAGLE ROOFING:
FLAT TILE
#5699 CHARCOAL RANGE



CORONADO:
STONE VENEER, CHIMNEY

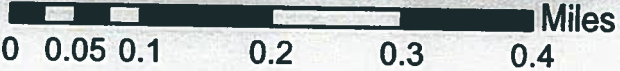
ATTACHMENT 3

VICINITY MAP

City of Agoura Hills

Vicinity/Zoning
Map

CONDITIONAL USE PERMIT CASE NO. CUP-01118-2015
VARIANCE REQUEST CASE NO. VAR-01119-2015



ATTACHMENT 4
REDUCED COPIES OF PROJECT PLANS

NEW RESIDENCE

For

BX CONSTRUCTION, LLC

WINDOW SCHEDULE						DOOR SCHEDULE								
SYTH	BWDTH	HEIGHT	TYPE	MATERIAL	SCREEN	REMARKS	SYTH	BWDTH	HEIGHT	TKC	TYPE	MATERIAL	GLASS	REMARKS

ROOM FINISH SCHEDULE										
ROOMS	FLOORS		WALLS		CEILING		CABINETS		BASE CASE / CROWN	
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH

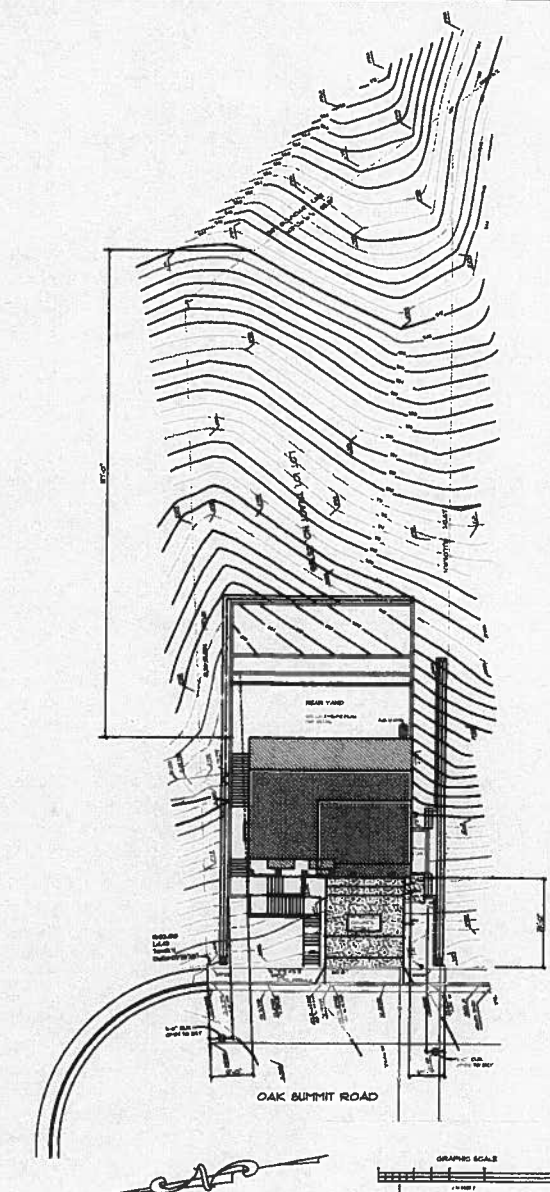
SHEET INDEX		
SHT. NO.	SHEET TITLE	SHT. NO.
A-1	COVER SHEET, SITE PLAN, SCHEDULES, SUPPLY	B-1
A-1	SITE PLAN LAYOUT AND SURVEY	B-2
A-2	GARAGE, MAIN + UPPER LEVEL F.L.R. PLNS.	B-3
A-3	EXTERIOR ELEVATIONS	B-4
A-4	EXTERIOR ELEVATIONS	B-5
A-5	ROOF PLAN	G-1
A-6	REFLECTED CLG. + ELEC. PLANS	BURV
GRN	GREEN BUILD NOTES AND STANDARDS	BSP-1
T-24	TITLE 24 ENERGY COMPLIANCE	SE-1
T-24	RESIDENTIAL MANDATORY MEASURES	G-1
L-1	PLANTING PLAN	G-2
L-2	PLANTING LEGEND + NOTES	G-3
L-3	PLANTING DETAILS + SPECS.	
L-4	IRRIGATION PLANS	
L-5	IRRIGATION DETAILS + LEGEND	
L-6	IRRIGATION DETAILS + SPECS.	
L-7	FIRE DEPT. NOTES	
L-8	LANDSCAPE DRAINAGE + SOIL PLAN	
L-9	LANDSCAPE PAVING + DETAILS	

PROJECT SUMMARY	
CONSTRUCTION, TYPE V-B	
OCCUPANCY GROUP: R-301	
ZONING: RS - (S) - 10,000	
NEW SINGLE FAMILY DWELLING WITH ATTACHED TWO CAR GARAGE	
SQUARE FOOTAGE ANALYSIS	
NEW MAIN LEVEL	1,333 SQ. FT.
NEW UPPER LEVEL	1,890 SQ. FT.
TOTAL HABITABLE	2,748 SQ. FT.
NEW TWO CAR GARAGE	360 SQ. FT.
TOTAL STRUCTURE	3,305 SQ. FT.
MAIN LEVEL COVERED PORCH	05 SQ. FT.
UPPER LEVEL COVERED BALCONY	80 SQ. FT.
TOTAL LOT COVERAGE (FOOTPRINT + COVERED PORCH + BALCONY)	1,898 SQ. FT. (170' X 125' X 50')
LOT SIZE	5,483 SQ. FT.
TOTAL ALLOWABLE COVERAGE (38% X 15,482)	5,406 SQ. FT.

GENERAL NOTES

- All dimensions on these architectural drawings are to face of stud, to face of assembly, to center-line or as indicated. Dimensions shall take precedence over scaled drawings and specifications shall take precedence over notes on drawings. All architectural drawings shall be considered complementary.
- Contractor shall furnish all labor, materials and services necessary to complete the work as indicated on these architectural drawings and specifications.
- Contractor shall be solely responsible for construction means, methods, scheduling and safety. Contractor shall keep site reasonably clean and secure against crime during working hours. Protect project against crime and weather over night and over periods of delay or work stoppage longer than 24 hours to prevent damage, theft and vandalism. Contractor shall make reasonable efforts to keep all unauthorized persons off site during construction. At the end of construction, contractor shall thoroughly clean project, including but not limited to all existing flooring and all other exposed surfaces.
- Contractor shall be solely responsible for obtaining all inspections and utility permits required by all applicable government officials. Notify architect at least 24 hours before all building inspections. All work and procedures shall conform to local building codes and regulations and to the Uniform Building Code most current edition. Bring all conflicts, omissions, and errors discovered on these architectural drawings to the attention of the architect prior to doing work.

B. Contractor, sub-contractor and all of their employees shall verify all existing conditions and dimensions in the field before start of the work and shall become thoroughly familiar with these architectural drawings and specifications before submitting bids on any part of the project.



LEGAL DESCRIPTION
 LOT NO. 101
 TRACT NO. 29165
 A.P.N. 2064 - 01 - 022

JOB ADDRESS
 2306 OAK SUMMIT ROAD
 AGOURA HILLS, CA 91001

SITE PLAN 1/8" = 1'-0"

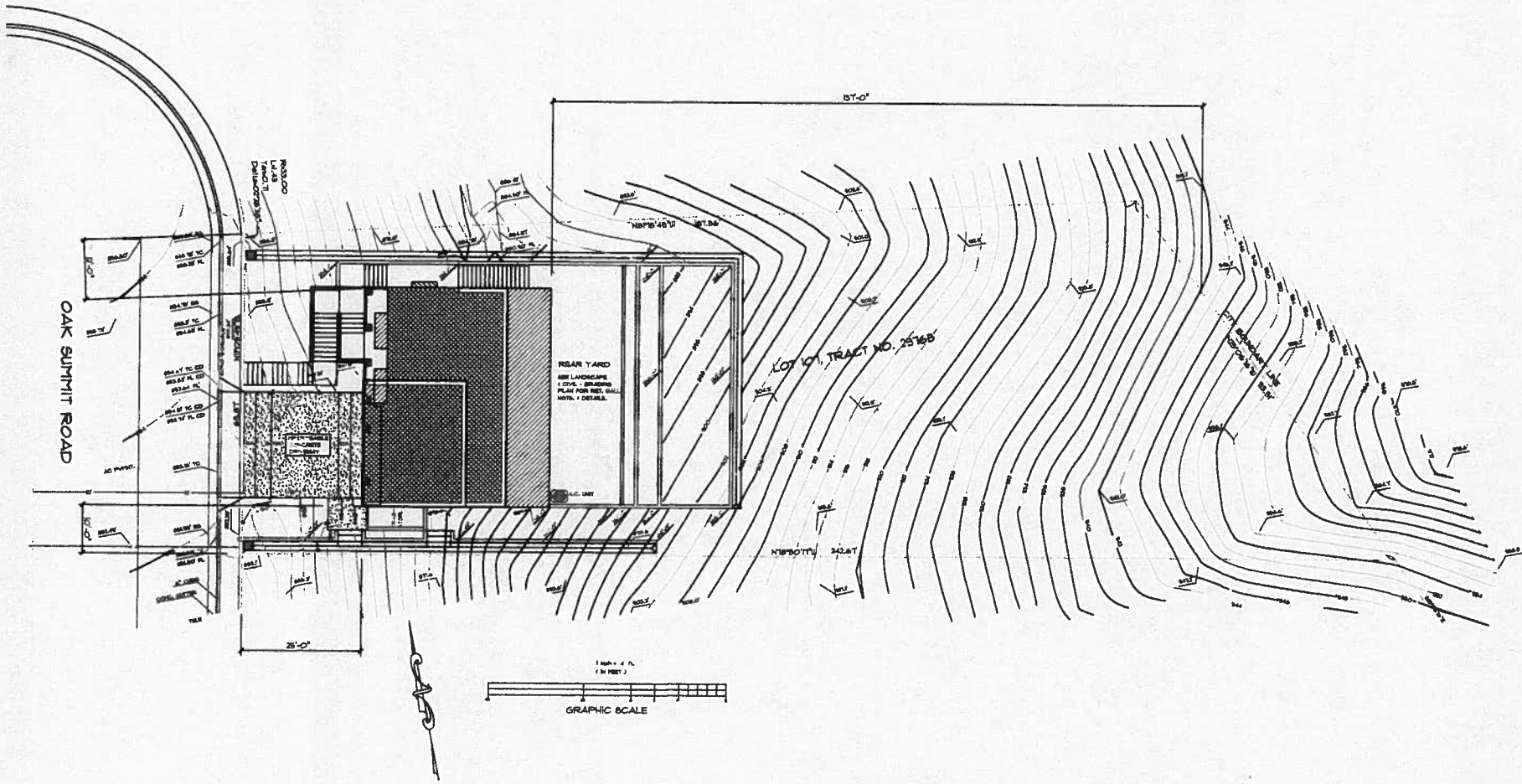
Revisions

ARCHITECTURAL DESIGN
 KERRY GOLD
 DESIGN GROUP

KERRY GOLD ARCHITECTURAL DESIGN
 616-486-7130
 630 Lindero Canyon Rd. #432 Oak Park, CA 91377

DATE
 14-30-11

BY
 A



Revisions

NEW RESIDENCE Plan
EX CONSTRUCTION, LLC
 18711 Starling Avenue, Riverside, CA 92503

KERRY GOLD ARCHITECTURAL DESIGN
KERRY GOLD 618-442-7110
DESIGN GROUP 698 Lindero Canyon Rd #492 Oak Park, CA 91107

Date

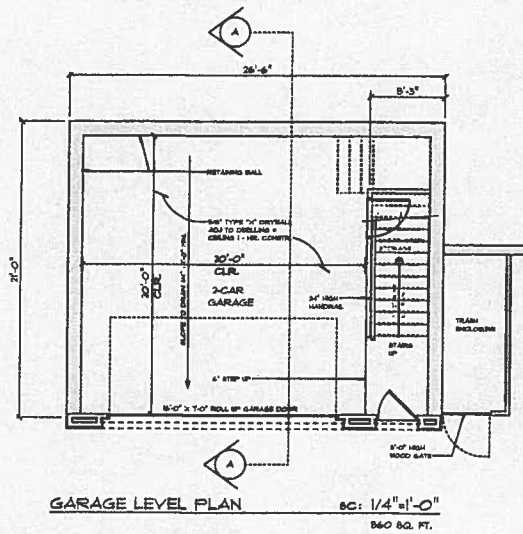
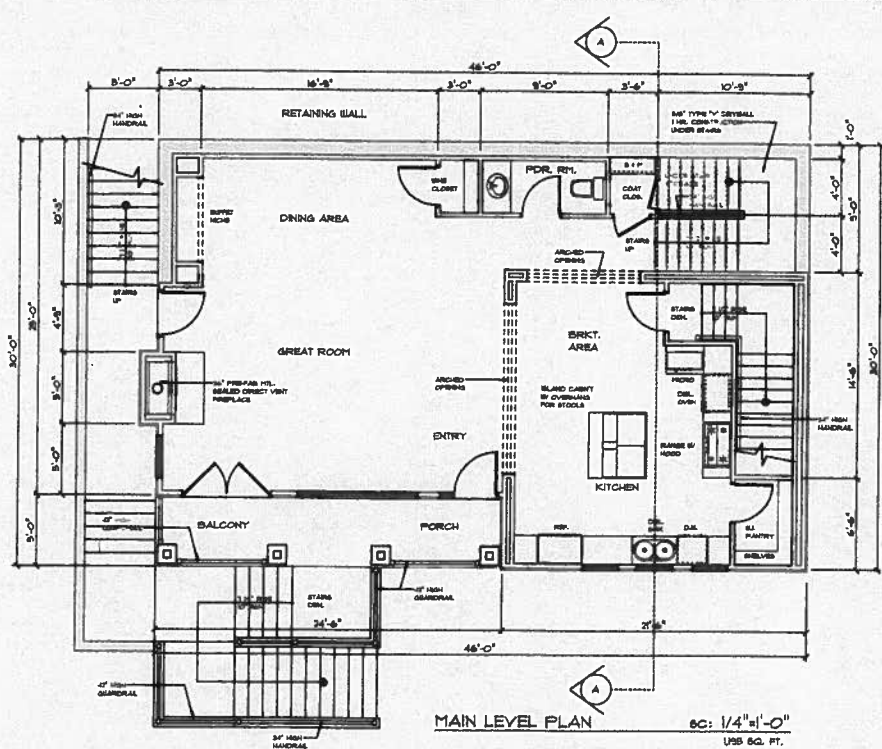
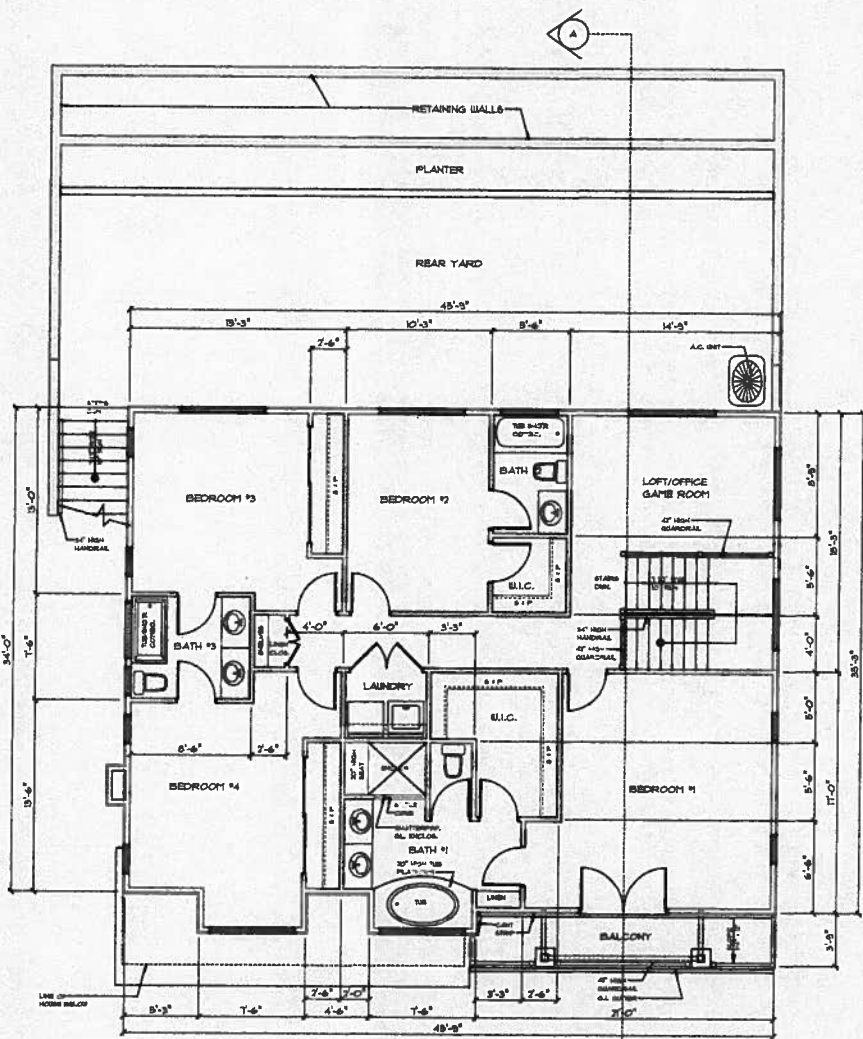
Job No.

14-20-11

Sheet

A

1.1



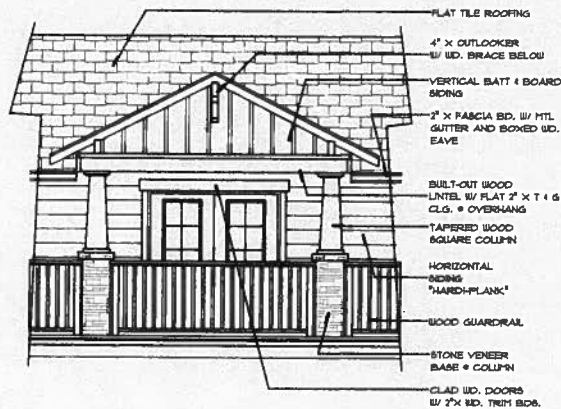
Revisions

ARCHITECTURAL DESIGN
 KERRY GOLD DESIGN GROUP
 632 Linden Canyon Rd #555 Oak Park, CA 91377
 916-486-7120

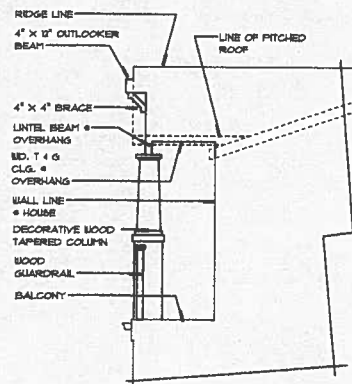
EX CONSTRUCTION, LLC
 1828 Sterling Avenue, Riverside, CA 92503

Date: _____
 Job No.: 1420-11
 Sheet: A

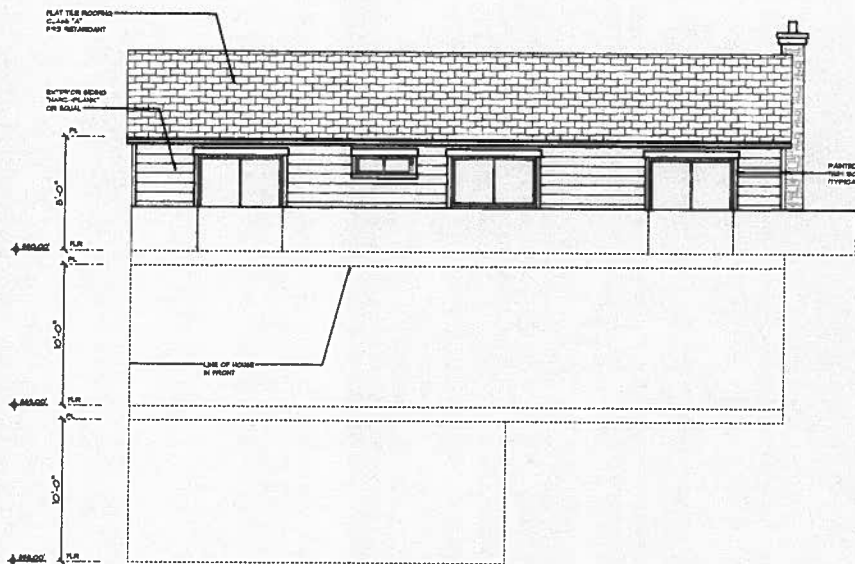
2



ELEVATION DETAIL ec: 3/8"=1'-0"



SECTION DETAIL ec: 3/8"=1'-0"



REAR ELEVATION ec: 1/4"=1'-0"



FRONT ELEVATION ec: 1/4"=1'-0"

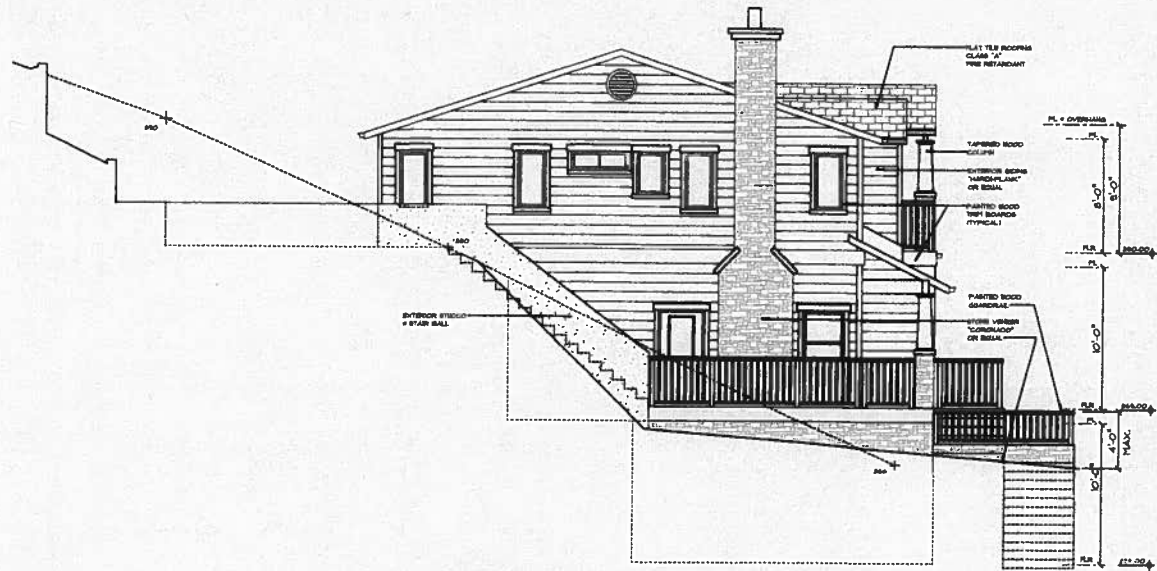
Revisions

NEW RESIDENCE FOR
EX CONSTRUCTION, LLC
 16711 Starling Avenue, Riverside, CA 92503

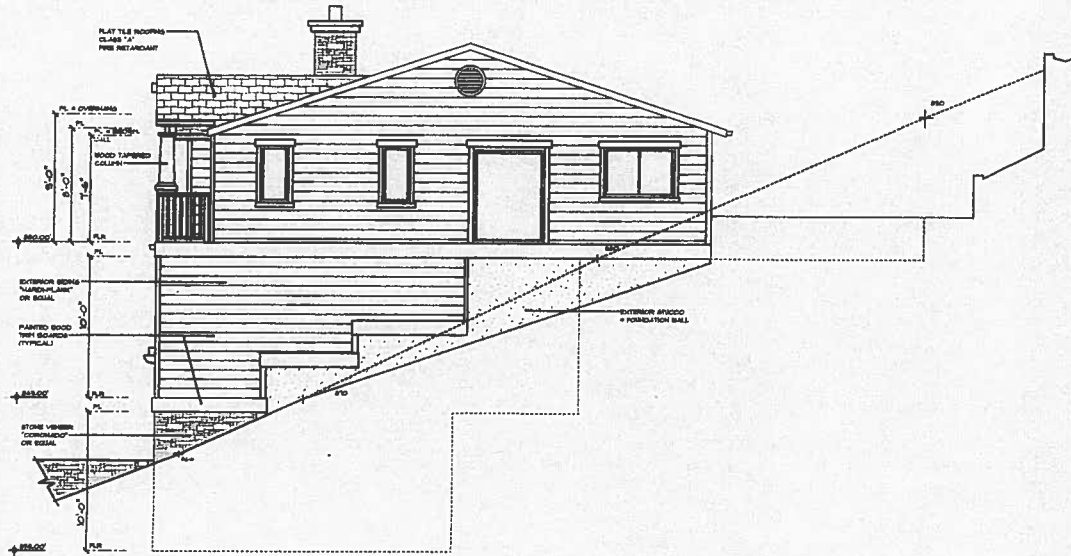
ARCHITECTURAL DESIGN
KERRY GOLD
 DESIGN GROUP
 658 Lindero Canyon Rd. #312 Oak Park, CA 91157
 618-466-7120

Date
 Job No. 14-20-1
 Sheet

A
 3



LEFT SIDE ELEVATION sc: 1/4"=1'-0"



RIGHT SIDE ELEVATION sc: 1/4"=1'-0"

Revisions

BX CONSTRUCTION, LLC
16711 Bantling Avenue, Riverside, CA 92503

ARCHITECTURAL DESIGN
KERRY GOLD
DESIGN GROUP
698 Lindero Canyon Rd. #492, Oak Park, CA 91377

Date
Job No.
14-20-11
Sheet

A

Revisions

ROOF SPECIFICATIONS

USE COMPOSITION SHINGLES, APPROX. 6" PER SQUARE FOOT MANUF. EAGLE, ICBO NUMBER

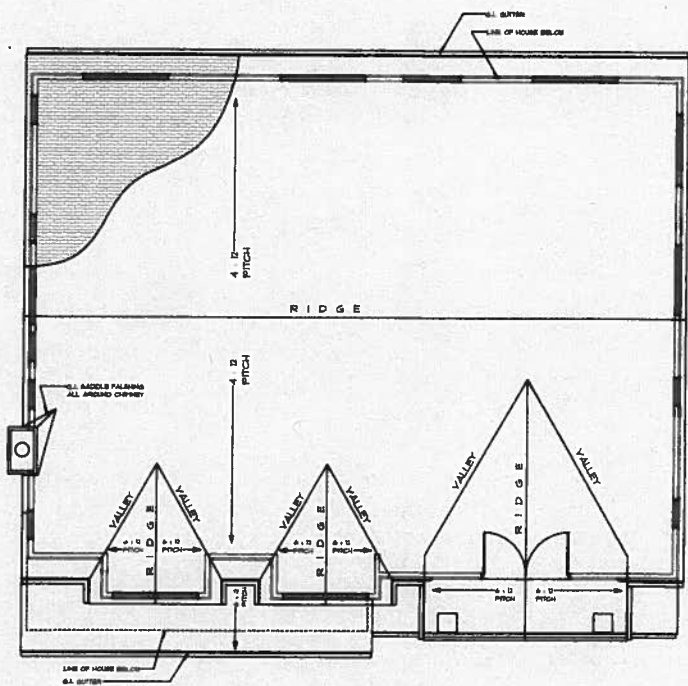
USE 1/2" CDX PLYWOOD SHEATHING WITH 30# FELT STRIPS OVER

CLASS "A" FIRE RETARDANT ROOF.

PROVIDE ALL 26 GA. G.I. FLASHING AS REQUIRED BY CODE.

PROVIDE ATTIC VENTILATION EQUAL TO 1 SQUARE INCH FOR EVERY 10 SQUARE FEET OF ATTIC SPACE. USE GABLE END VENTS.

PROVIDE GUTTERS AND DOWNSPOUTS. CONDUCT ALL ROOF DRAINAGE TO STREET VIA A NON-EROSIVE DEVICE AT 2 1/2" MINIMUM.



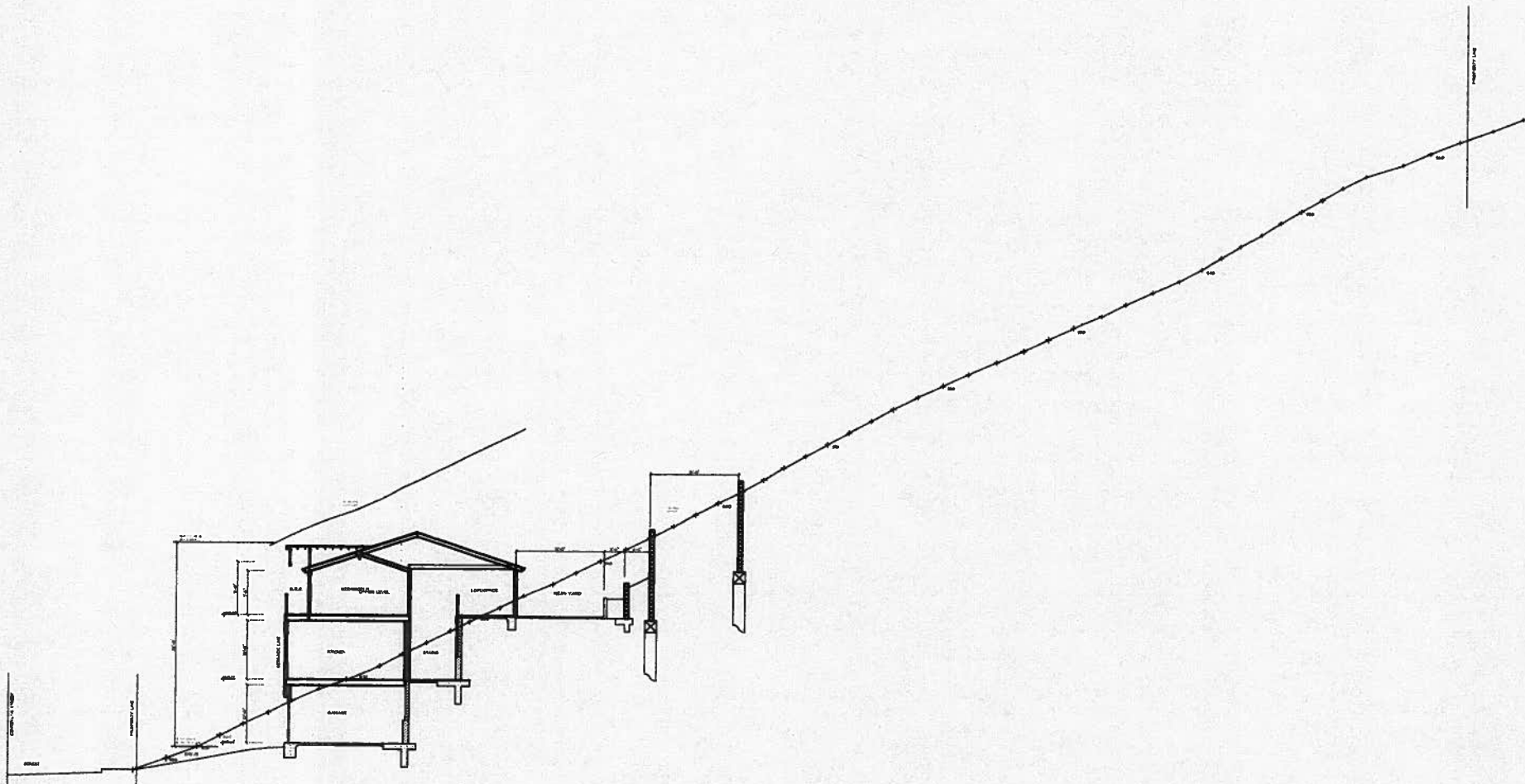
ROOF PLAN sc: 1/4"=1'-0"

NEW RESIDENCE FOR
BX CONSTRUCTION, LLC
16711 Standing Avenue, Riverside, CA 92503

KERRY GOLD ARCHITECTURAL DESIGN
KERRY GOLD 614-466-7100
DESIGN GROUP 636 Lindero Canyon Rd. #492 Oak Park, CA 91577

Date
Job No.
14-20-11

Sheet
A



CONSTRUCTION SITE SECTION

ec. 1/8"=1'-0"

Revisions

NEW RESUBMITTAL NO.
EX CONSTRUCTION, LLC
 1871 Esplanade Avenue, Riverside, CA 92503

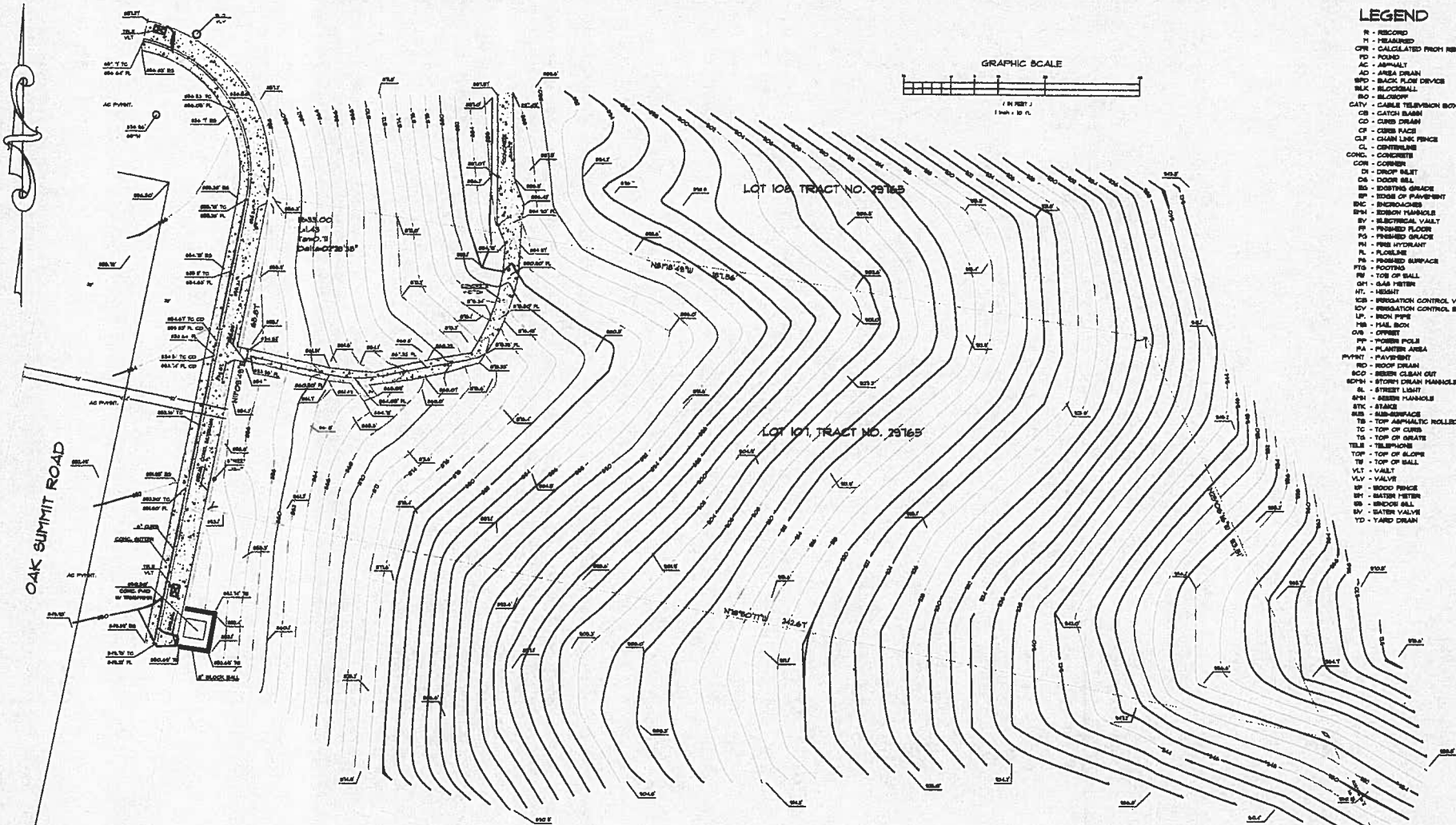
KERRY GOLD ARCHITECTURAL DESIGN
KERRY GOLD DESIGN GROUP
 634 Linden Canyon Rd #452 Oak Park, CA 91377
 618-486-7130

Date

Job No.
14-20-11

Sheet

SS



- ### LEGEND
- R - RECORD
 - RF - REFINISHED
 - CRS - CALCULATED FROM RECORD
 - FD - FOUND
 - AC - ASPHALT
 - AD - AREA DRAIN
 - BRD - BRICK DRAIN
 - BL - BLOCK WALL
 - BO - BLOSSOM
 - CATV - CABLE TELEVISION BOX
 - CS - CATCH BASIN
 - CD - CURB DRAIN
 - CF - CURB FACE
 - CLF - CHAIN LINK FENCE
 - CL - CENTERLINE
 - COND - CONCRETE
 - CON - CONCRETE
 - DI - DIRT PALET
 - DS - DOOR SILL
 - EG - EXISTING GRADE
 - EP - EDGE OF PAVEMENT
 - ENG - ENCLOSURES
 - EM - EXISTING MANHOLE
 - EV - ELECTRICAL VAULT
 - FF - FINISHED FLOOR
 - FG - FINISHED GRADE
 - FR - FIBER OPTIC
 - FL - FLOORING
 - FS - FINISHED SURFACE
 - FTS - FOOTING
 - FB - TOP OF BALL
 - GH - GAS METER
 - HT - HEIGHT
 - ICB - IRRIGATION CONTROL VALVE
 - ICV - IRRIGATION CONTROL BOX
 - IP - IRON PIPE
 - MB - MAIL BOX
 - OP - OFFSET
 - PP - POWER POLE
 - PA - PLASTER AREA
 - PV - PAVEMENT
 - RD - ROOF DRAIN
 - SCD - SEWER CLEAN OUT
 - SMH - STOREY DRAIN MANHOLE
 - SL - STREET LIGHT
 - SMH - SEWER MANHOLE
 - STC - STAKE
 - RS - SUB-SURFACE
 - TS - TOP ANTI-MATRIC ROLLED BERRY
 - TC - TOP OF CURB
 - TO - TOP OF GRADE
 - TLB - TELEPHONE
 - TOP - TOP OF SLOPE
 - TV - TOP OF VALVE
 - VL - VALVE
 - VV - VALVE
 - WF - WOOD FENCE
 - WF - WATER METER
 - WB - WINDOW SILL
 - WV - WATER VALVE
 - YD - YARD DRAIN

Revisions

NEW PERMITS FOR
EX CONSTRUCTION, LLC
 18711 Sterling Avenue, Riverside, CA 92503

KERRY GOLD ARCHITECTURAL DESIGN
KERRY GOLD 614-942-7120
DESIGN GROUP 694 Lindero Canyon Rd #932, Oak Park, CA 91777

Chris
 Jeff Min
 11-20-11
 Sheet

Survey

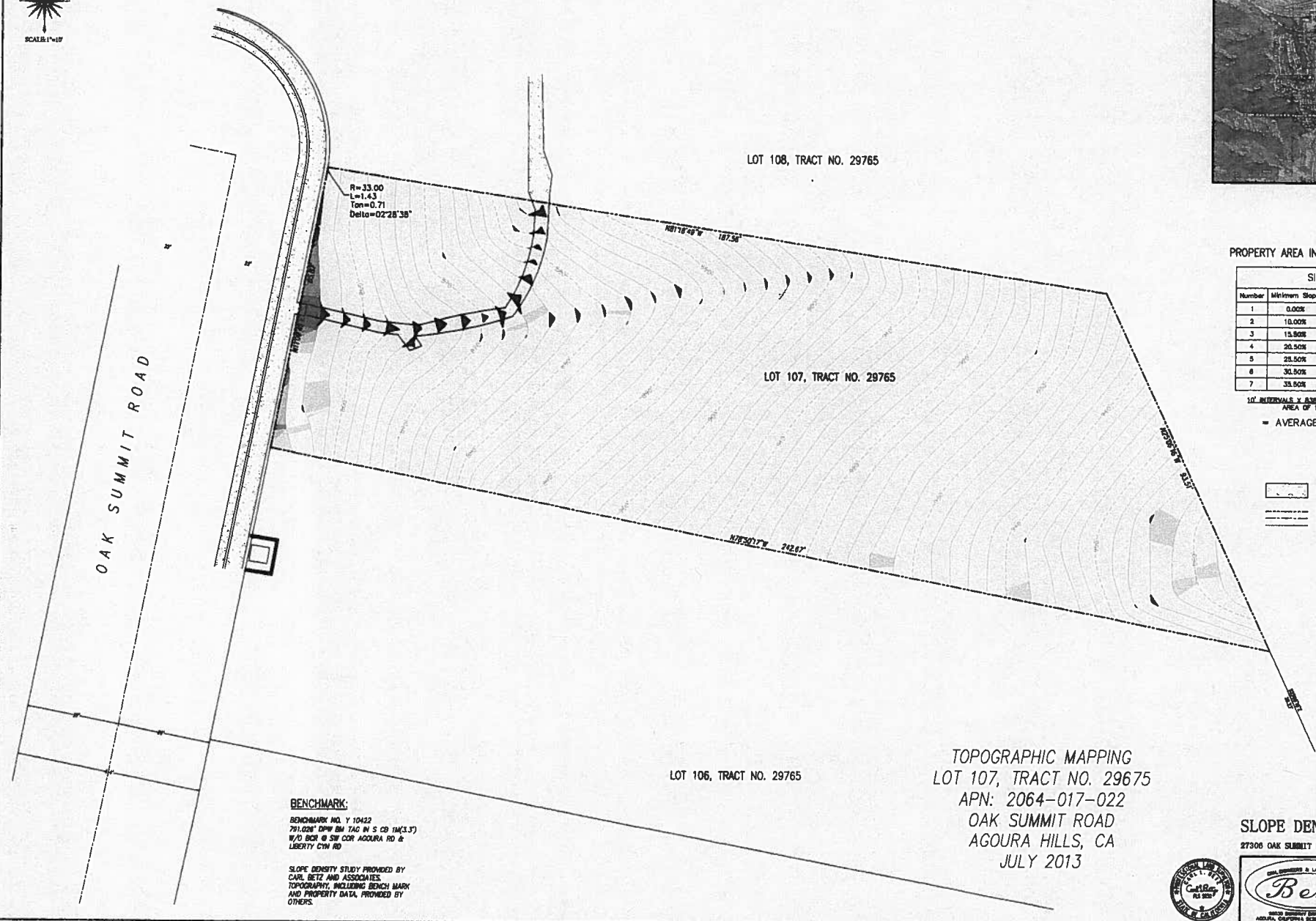
LOT 106, TRACT NO. 29165

TOPOGRAPHIC MAPPING
LOT 107, TRACT NO. 29675
APN: 2064-017-022
OAK SUMMIT ROAD
AGOURA HILLS, CA
JULY 2013

BENCHMARK:
 BENCHMARK NO. Y 10432
 "MILLEN" CURB B.M. TAG IN S CS
 1183.31' NAD 83 COR. 4 881 COR.
 AGOURA RD & LIBERTY CYN RD

Coast & Valley
 State of California
 Professional Engineer License No. 4281
 1848 La Poudre Canyon, Visalia, CA 93208
 559-232-2444 or Fax 559-232-4499

U.C. D-8334



R=33.00
L=1.43
Tan=0.71
Delta=02°28'38"

LOT 108, TRACT NO. 29765

LOT 107, TRACT NO. 29765

LOT 106, TRACT NO. 29765

OAK SUMMIT ROAD

PROPERTY AREA IN SQUARE FEET = 15452.51

Slopes Table			
Number	Minimum Slope	Maximum Slope	Area
1	0.00%	10.00%	90.36
2	10.00%	15.00%	1.25
3	15.00%	20.00%	38.89
4	20.00%	25.00%	48.21
5	25.00%	30.00%	33.84
6	30.00%	35.00%	219.83
7	35.00%	Vertical	15019.03

10' INTERVALS X 100' AT LENGTH BY CONTOUR X 100
AREA OF 15452.51 SQUARE FEET
= AVERAGE SLOPE OF 54.25%

- CONCRETE
- BOUNDARY OF PROPERTY IN QUESTION
- CENTER LINE OF STREET
- PROPERTY LINE GEOMETRY

BENCHMARK:
BENCHMARK NO. Y 10422
791.028' DWP BM TAG IN S CO 1M(3.3')
W/O BCK @ SW COR AGOURA RD &
LIBERTY CWN RD

SLOPE DENSITY STUDY PROVIDED BY
CARL BETZ AND ASSOCIATES
TOPOGRAPHY, INCLUDING BENCH MARK
AND PROPERTY DATA, PROVIDED BY
OTHERS.

TOPOGRAPHIC MAPPING
LOT 107, TRACT NO. 29675
APN: 2064-017-022
OAK SUMMIT ROAD
AGOURA HILLS, CA
JULY 2013

SLOPE DENSITY STUDY
27306 OAK SUMMIT ROAD, AGOURA HILLS, CA 91301



GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 6 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL SOILS AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT: PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT: PRIOR TO THE REALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THIS REPORT SHALL BE BY THE SUPERVISOR OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN ASSEMBLY SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPRESSION TESTS, AS WELL AS A MAP SHOWING THE LINES OF FILL, LOCATION OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL PERSONAL DITCHES, VERTICALLY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL BENCHMARKS AND PLUMBING ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKFILLS AND DETAILS. GEOLOGIC CONDITIONS REQUIRING GRADING CORRECTIONS MUST BE DETICED ON AN ASSEMBLY COLORED MAP.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
 - A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
 - ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

PUBLIC UTILITIES / SERVICES

- WATER:** LAS VEGAS MUNICIPAL WATER DISTRICT
4222 LAS VEGAS ROAD
DALLAS, CA 94522
(916) 384-4125
- ELECTRICAL:** SOUTHERN CALIFORNIA Edison
3825 FOOTBALL DRIVE
THOUSAND OAKS, CA 91321
(805) 464-7254
- TELEPHONE:** SBC (PAC BELL)
14291 RAYBURN STREET, 6115
VAN NEUSE, CA 94488
(916) 372-2322
- GAZ:** SOUTHERN CALIFORNIA GAS
3425 OAKDALE AVENUE
CHATEAUVILLE, CA 94513
(916) 791-2224
- SEWER:** LA COUNTY, DEPT. OF PUBLIC WORKS
GENERAL MAINTENANCE DIVISION
1550 S. FREDERICK AVENUE, BLDG. 40 EAST
ALAMOGORA, CA 94522
(916) 380-2222
- CABLE:** ADELPHI SA
3222 TILLER ROAD
REINDEY PARK, CA 94522
(916) 372-4213
- CABLE:** CHARTER COMMUNICATIONS
3825 CROSBORNER ROAD
MANSFIELD, CA 94522
(916) 482-8915
- CALTRANS:** CALTRANS
2828 REDWOOD BOULEVARD
TAYCANA, CA 94522
(916) 382-1422



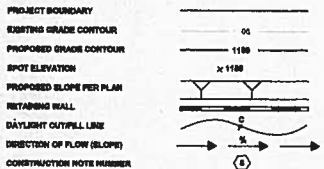
INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

ABBREVIATIONS

- | | |
|-------------------------|---------------------------|
| AC - ASPHALTIC CONCRETE | NO - NATURAL GROUND |
| BF - BOTTOM OF FOOTING | NTS - NOT TO SCALE |
| CB - CATCH BASIN | PL - PROPERTY LINE |
| CF - CURB FACE | POB - POINT OF BEGINNING |
| E - CENTERLINE | SDM - STORM DRAIN MANHOLE |
| CLP - CURB LINE PENCE | SRM - SEWER MANHOLE |
| CD - CLEAN OUT | SB - BARRANTY SEWER |
| CB - CATCH BASIN | TS - TOP OF SOILS |
| DL - DAYLIGHT | TC - TOP OF CURB |
| SB - SOLE OF BUTTER | TT - TOP OF FOOTING |
| EP - EDGE OF PAVEMENT | TS - TOP OF DRIVE |
| FF - FINISHED FLOOR | TW - TOP OF WALL |
| FG - FINISHED GRADE | TYP - TYPICAL |
| FH - FIRE HYDRANT | WM - WATER METER |
| FL - FLOWLINE | WV - WATER VALVE |
| FS - FINISH SURFACE | |
| HC SPP - HANDICAP RAMP | |
| HP - HIGH POINT | |
| INV - INVERT | |

LEGEND AND SYMBOLS



STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE SWPPP PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE REVIEWED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF GASES POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND SHOW THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL GROUND DRAINAGE STRUCTURES (UNLESS OTHERWISE APPROVED BY THE CITY). CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF THREE TIMES PER YEAR, ORCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.
- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (916) 897-7236, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."

OAK TREE NOTES

LEGAL DESCRIPTION

LOT NO. 107, TRACT NO. 29785
APN # 2004-017-022
AGOURA HILLS, CA.

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
C1.01	GRADING PLAN COVER SHEET
C1.02	GRADING PLAN MAP SHEET
C1.03	GRADING PLAN DETAILS / SECTIONS
ESTIMATED EARTHWORK QUANTITIES	
ESTIMATED CUT:	ESTIMATED EXPORT: _____ CY
ESTIMATED FILL:	ESTIMATED IMPORT: _____ CY
ESTIMATED OVER-EXCAVATION:	_____ CY
BENCHMARK:	
DESCRIPTION: BM NO. _____	ELEVATION: _____ SURVEY DATE: _____
RECORD DRAWING STATEMENT	
I, _____ HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK OR SHEET NO. _____ THROUGH _____ SHOWN AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.	
REGISTERED CIVIL ENGINEER	DATE _____
DATE _____	TIME _____
DATE _____	TIME _____
SOILS APPROVAL	
THIS PLAN HAS BEEN REVIEWED, AND IS IN COMPLIANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____	
REGISTERED GEOLOGIST	DATE _____
DATE _____	TIME _____
DATE _____	TIME _____

OWNER	
NAME:	EX CONSTRUCTION
ADDRESS:	11971 STEWARTS AVE., UNIT "C", REVEREND, CA 92693
REPRESENTATIVE:	EVAN WARD
TELEPHONE:	(951) 898-0412
CIVIL ENGINEER	
NAME:	WEST COAST TECHNICAL CONSULTANTS, INC.
ADDRESS:	1187 S. LOS ANGELES AVE., C114, BIRN VALLEY, CA 92604
REPRESENTATIVE:	ROBERT D. LINDA, P.E.
TELEPHONE:	(714) 312-8821
GEOTECHNICAL ENGINEER	
NAME:	
ADDRESS:	
REPRESENTATIVE:	
TELEPHONE:	
VICINITY MAP	

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY:	CITY OF AGOURA HILLS APPROVAL		GRADING AND DRAINAGE PLAN FOR LOT NO. 107, TRACT NO. 29785 AGOURA HILLS, CA.
PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RANMO ADEVA CITY ENGINEER	DATE	03/30 TIME 12:15/07 EXP DATE	SHEET _____ OF _____ CITY OF AGOURA HILLS DWG. NO. _____	

Legend:

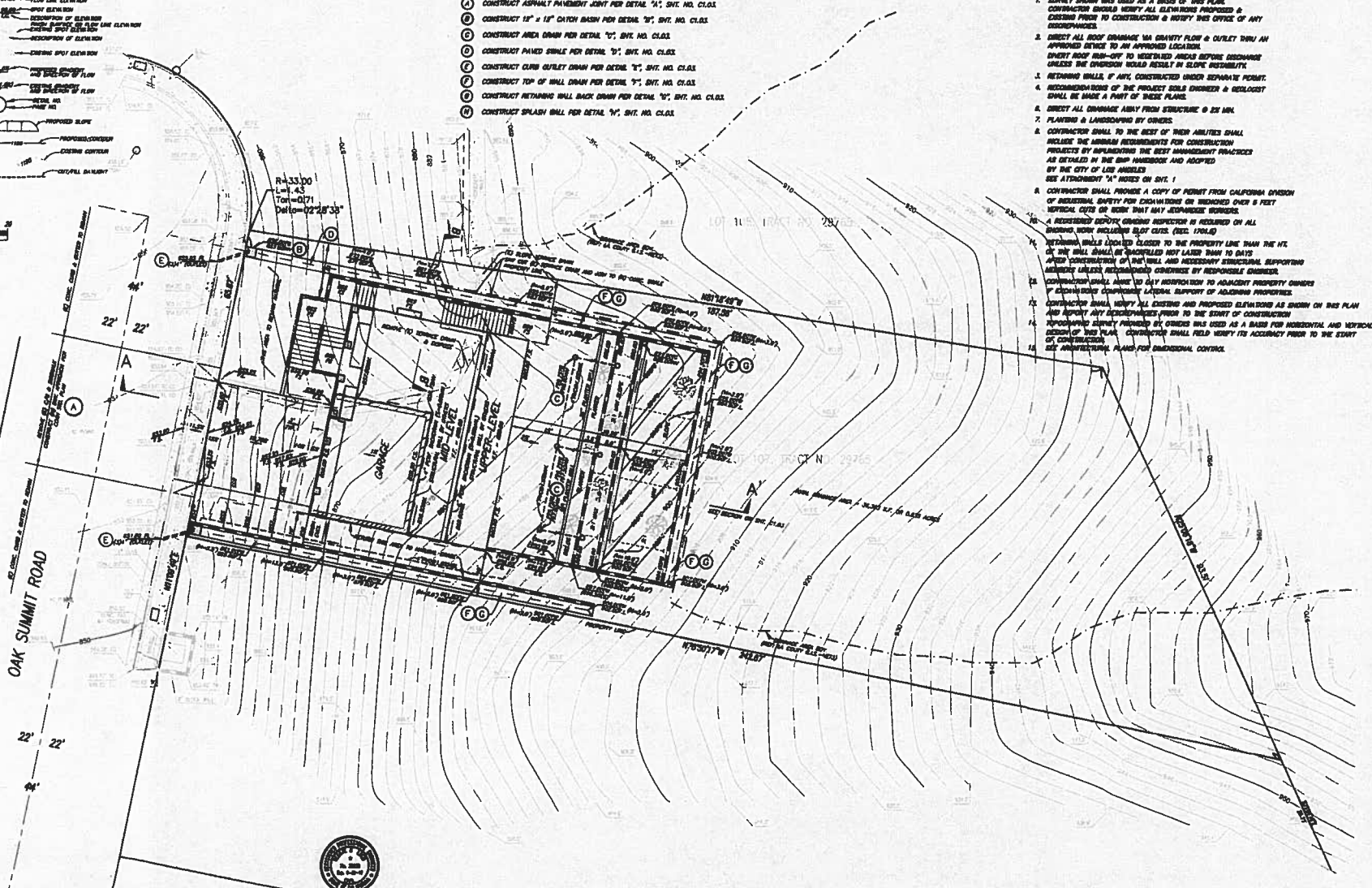
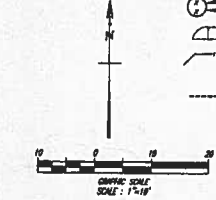
PL	PROPOSED FINISHED SURFACE	—	EXISTING SPOT ELEVATION
PS	PROPOSED SURFACE	—	DESCRIPTION OF ELEVATION
PC	TOP OF CURB	—	TOP OF CURB ELEVATION
LC	TOP OF WALL	—	TOP OF WALL ELEVATION
LS	TOP OF SLOPE	—	TOP OF SLOPE ELEVATION
FR	FENCE	—	DESCRIPTION OF ELEVATION
DC	DRAIN CURB	—	DESCRIPTION OF ELEVATION
DS	DRAIN SPOT	—	DESCRIPTION OF ELEVATION
DF	DRAIN FLOW	—	DESCRIPTION OF ELEVATION
DR	DRAIN RAMP	—	DESCRIPTION OF ELEVATION
DRS	DRAIN SLOPE	—	DESCRIPTION OF ELEVATION
DRS	DRAIN SLOPE	—	DESCRIPTION OF ELEVATION
DRS	DRAIN SLOPE	—	DESCRIPTION OF ELEVATION
DRS	DRAIN SLOPE	—	DESCRIPTION OF ELEVATION
DRS	DRAIN SLOPE	—	DESCRIPTION OF ELEVATION
DRS	DRAIN SLOPE	—	DESCRIPTION OF ELEVATION
DRS	DRAIN SLOPE	—	DESCRIPTION OF ELEVATION
DRS	DRAIN SLOPE	—	DESCRIPTION OF ELEVATION

Construction Notes:

- ① CONSTRUCT ASPHALT PAVEMENT JOINT PER DETAIL "A", SHT. NO. C1.02
- ② CONSTRUCT 12" x 18" CATCH BASIN PER DETAIL "B", SHT. NO. C1.02
- ③ CONSTRUCT AREA DRAIN PER DETAIL "C", SHT. NO. C1.02
- ④ CONSTRUCT PAVED DRIVE PER DETAIL "D", SHT. NO. C1.02
- ⑤ CONSTRUCT CURB OUTLET DRAIN PER DETAIL "E", SHT. NO. C1.02
- ⑥ CONSTRUCT TOP OF WALL DRAIN PER DETAIL "F", SHT. NO. C1.02
- ⑦ CONSTRUCT RETAINING WALL BACK DRAIN PER DETAIL "G", SHT. NO. C1.02
- ⑧ CONSTRUCT SPLASH WALL PER DETAIL "H", SHT. NO. C1.02

General Notes:

- 1. SURVEY SHOWN WAS USED AS A BASIS FOR THIS PLAN. CONTRACTOR SHALL VERIFY ALL ELEVATIONS PROPOSED & EXISTING PRIOR TO CONSTRUCTION & NOTIFY THE OFFICE OF ANY DISCREPANCIES.
- 2. DIRECT ALL DRAINAGE TO GRAVITY FLOW & OUTLET THRU AN APPROVED DEVICE TO AN APPROVED LOCATION. EXISTING ROOF RUN-OFF TO VEGATED AREAS BEFORE DISCHARGE UNLESS THE ENGINEER WOULD RESULT IN SOLE INSTABILITY.
- 3. RETAINING WALLS IF ANY, CONSTRUCTED UNDER SEPARATE PERMIT. A REGISTERED GEOTECHNICAL ENGINEER & GEOLOGIST SHALL BE MADE A PART OF THESE PLANS.
- 4. DIRECT ALL DRAINAGE AWAY FROM STRUCTURE & EX. INF.
- 5. PLANTING & LANDSCAPING BY OWNER.
- 6. CONTRACTOR SHALL TO THE BEST OF THEIR ABILITIES SHALL INCLUDE THE NECESSARY INSTRUMENTS FOR CONSTRUCTION PROJECTS BY MAINTAINING THE BEST MANAGEMENT PRACTICES AS DETAILED IN THE BMP HANDBOOK AND ADOPTED BY THE CITY OF LOS ANGELES. SEE ATTACHMENT "A" NOTES ON SHEET 1.
- 7. CONTRACTOR SHALL PROVIDE A COPY OF PERMIT FROM CALIFORNIA DIVISION OF INDUSTRIAL SAFETY FOR EXCAVATIONS OR REDUCED OVER 8 FEET VERTICAL CUTS OR MORE THAT ANY NEIGHBORING BORDERS.
- 8. A REGISTERED GEOTECHNICAL ENGINEER IS REQUIRED ON ALL EXCAVATIONS DEEPER THAN 5 FEET (SEE 17094.4). RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE 1/2 OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 7 DAYS AFTER COMPLETION OF WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBER UNLESS OTHERWISE SPECIFIED BY REGISTERED ENGINEER. CONTRACTOR SHALL HAVE TO OBTAIN PERMISSION TO ADJACENT PROPERTY OWNERS TO EXCAVATE NECESSARY LATERAL SUPPORT OF ADJACENT PROPERTIES.
- 9. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS AS SHOWN ON THIS PLAN AND REPORT ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
- 10. PROPOSED SURVEY PROVIDED BY OWNER WAS USED AS A BASIS FOR HORIZONTAL AND VERTICAL CONTROL OF THIS PLAN. CONTRACTOR SHALL FIELD VERIFY ITS ACCURACY PRIOR TO THE START OF CONSTRUCTION. SEE ARCHITECTURAL PLANS FOR DIMENSIONAL CONTROL.



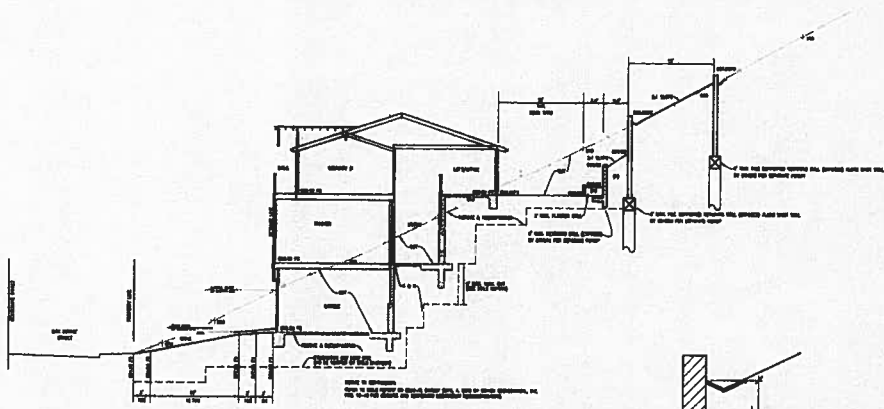
PREPARED BY:
WEST COAST TECHNICAL CONSULTANTS, INC.
1157 S. LOS ANGELES BLVD., C118
SUN VALLEY, CA. 91350
(818) 316-0884

LO 106, TRACT NO. 29765
CITY OF AGOURA HILLS APPROVAL

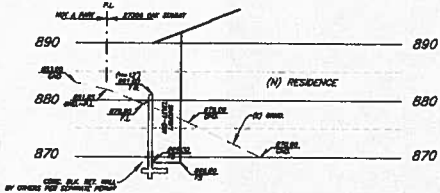
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PROJECT ENGINEER	DATE	REVIEWED BY	DATE	DATE	DATE
RODNEY R. LINDSEY, P.E.					

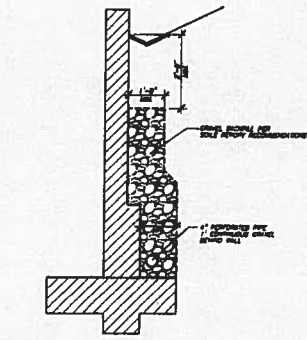
GRADING AND DRAINAGE PLAN
FOR
LOT NO. 107, TRACT NO. 29765
AGOURA HILLS, CA.
SHEET 01.02 OF 3



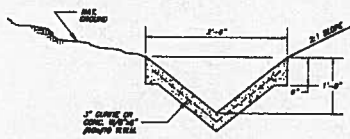
SECTION A-A'
SCALE 1" = 16' HORIZ.



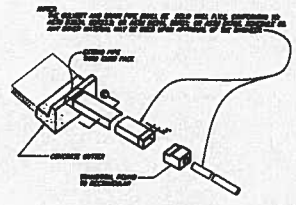
SECTION B-B'
SCALE 1" = 16' HORIZ.



TYPICAL BACKFILL DETAIL



PAVED SWALE
NO SCALE
(TOE OF SLOPE)

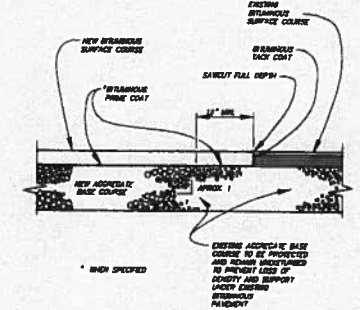


CURB OUTLET DETAIL

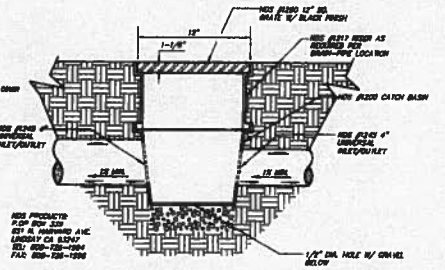
SECTION C

GRADE	SECTION A	SECTION B	SECTION C
1	2'	2'	2'
2	2'	2'	2'
3	2'	2'	2'
4	2'	2'	2'

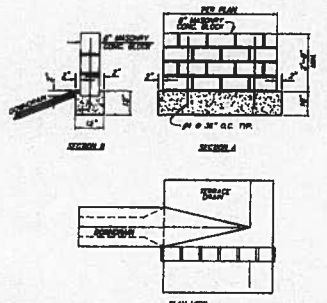
1. ALL PROPOSED GRADES AND FINISHES FOR DRIVE AND SIDEWALK SHALL BE SHOWN ON THIS PLAN. ALL EXISTING GRADES AND FINISHES SHALL BE SHOWN ON THIS PLAN.
2. EXISTING GRADES SHALL BE SHOWN ON THIS PLAN. ALL EXISTING GRADES SHALL BE SHOWN ON THIS PLAN.
3. ALL FINISHES FOR DRIVE AND SIDEWALK SHALL BE SHOWN ON THIS PLAN.
4. ALL FINISHES FOR DRIVE AND SIDEWALK SHALL BE SHOWN ON THIS PLAN.
5. FINISH GRADE IN DRIVE SHALL BE 1/4" TO 3/4" FROM FINISH GRADE.
6. FINISH GRADE IN SIDEWALK SHALL BE 1/4" TO 3/4" FROM FINISH GRADE.



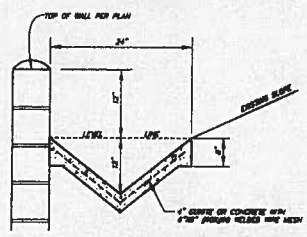
ASPHALT PAVEMENT JOINT DETAIL
NO SCALE



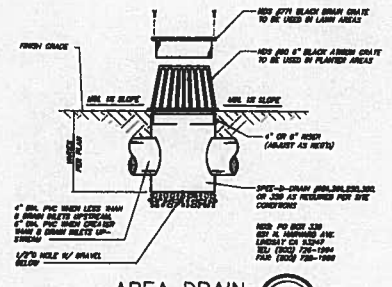
12" X 12" AREA DRAIN
NO SCALE



SPLASH WALL
NO SCALE



TOP OF WALL DRAIN
NO SCALE



AREA DRAIN
NO SCALE



PREPARED BY:
WEST COUNTY TECHNICAL CONSULTANTS, INC.
1147 E. LIND ANGELES BLVD., SUITE 0118
DANA POINT, CA 92629
(714) 254-8884

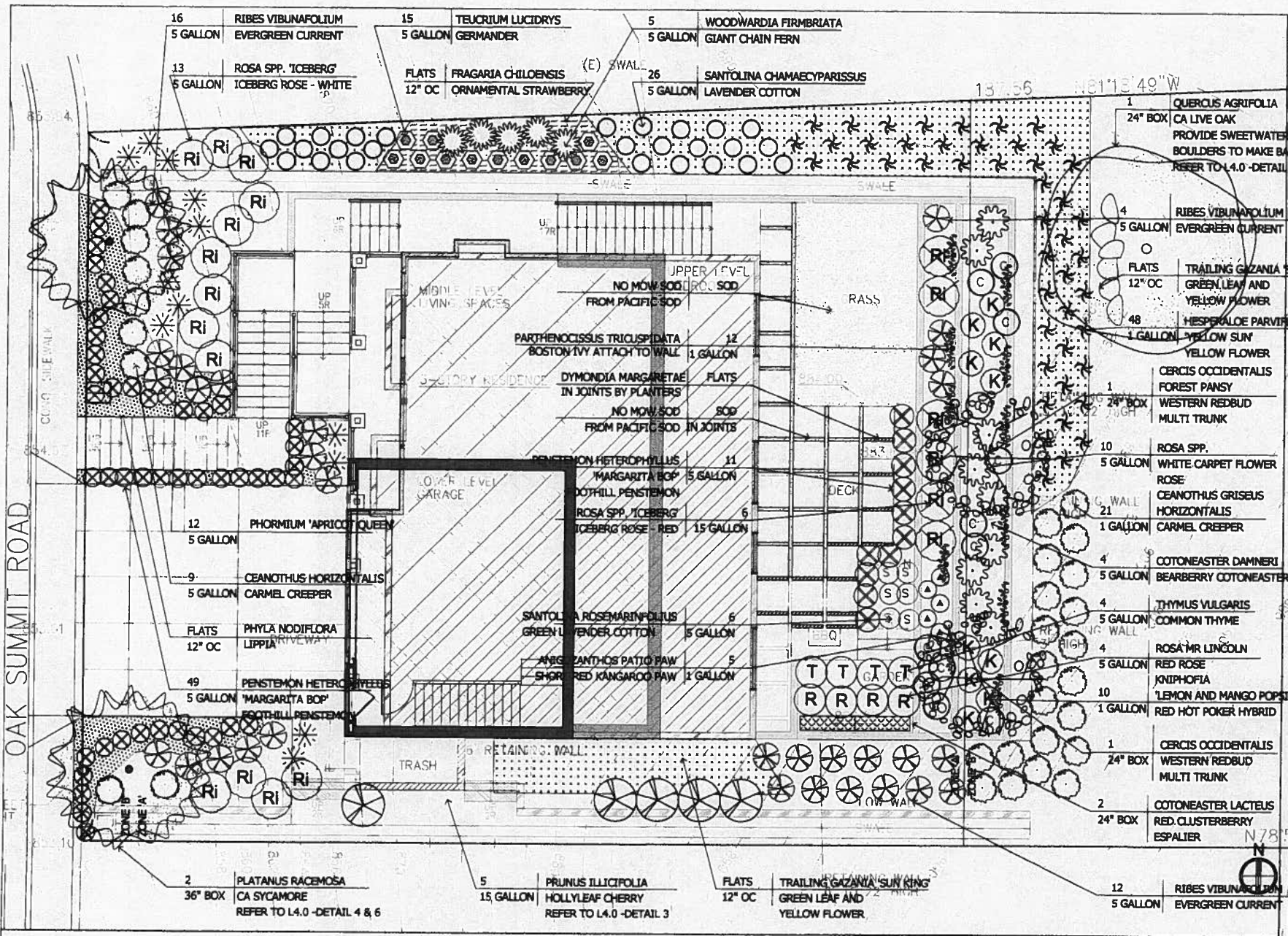
PROJECT ENGINEER
RENEE R. LARSON, P.E.

CITY OF AGOURA HILLS APPROVAL

REVIEWED BY: _____ DATE: _____
HENI BERGICHAH
CITY ENGINEER

GRADING AND DRAINAGE PLAN
FOR
LOT NO. 107, TRACT NO. 28785
AGOURA HILLS, CA.

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE



OAK SUMMIT ROAD

16	RIBES VIBUNAFOLIUM 5 GALLON EVERGREEN CURRENT	15	TEUCRIUM LUCIDRYS 5 GALLON GERMANDER	5	WOODWARDIA FIRMBRIATA 5 GALLON GIANT CHAIN FERN	
13	ROSA SPP. 'ICEBERG' 5 GALLON ICEBERG ROSE - WHITE	FLATS	FRAGARIA CHILOENSIS 12" OC ORNAMENTAL STRAWBERRY	(E) SWALE	26	SANTOLINA CHAMAECYPARISSUS 5 GALLON LAVENDER COTTON

1	QUERCUS AGRIFOLIA 24" BOX CA LIVE OAK PROVIDE SWEETWATER BOULDERS TO MAKE BASIN REFER TO L4.0 - DETAIL 4 & 5
4	RIBES VIBUNAFOLIUM 5 GALLON EVERGREEN CURRENT
FLATS	TRAILING GAZANIA 'SUN KING' 12" OC GREEN LEAF AND YELLOW FLOWER
48	HESPERALOE PARVIFLORA 1 GALLON YELLOW SUN YELLOW FLOWER
1	CERCIS OCCIDENTALIS 24" BOX FOREST PANSY WESTERN REDBUD MULTI TRUNK
10	ROSA SPP. 5 GALLON WHITE CARPET FLOWER ROSE
1	Ceanothus griseus 21 1 GALLON HORIZONTALIS CARMEL CREEPER
4	COTONEASTER DAMNERI 5 GALLON BEARBERRY COTONEASTER
4	THYMUS VULGARIS 5 GALLON COMMON THYME
4	ROSA 'MR LINCOLN' 5 GALLON RED ROSE KNIPHOFIA
10	1 GALLON LEMON AND MANGO POPPONES RED HOT POKER HYBRID
1	CERCIS OCCIDENTALIS 24" BOX WESTERN REDBUD MULTI TRUNK
2	COTONEASTER LACTEUS 24" BOX RED CLUSTERBERRY ESPALIER
12	RIBES VIBUNAFOLIUM 5 GALLON EVERGREEN CURRENT

ALAN BERNSTEIN, AIA + ASLA
ARCHITECTS + LANDSCAPE ARCHITECTS
4200 CORONA DEL MAR, STE. 200-0
WESTLAKE VILLAGE, CA 91362
P. 818 707 1015
F. 818 707 7228
www.alanber.com

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SHEETS

L1	PLANTING PLAN
L2	PLANTING LEGEND AND NOTES
L3	PLANTING DETAILS
L4	IRRIGATION PLAN AND SPECIFICATION
L5	IRRIGATION LEGEND AND NOTES
L6	IRRIGATION DETAILS AND SPECIFICATION
L7	FIRE DEPARTMENT NOTES
L8	LANDSCAPE DRAINAGE
L9	LANDSCAPE PAVING PLAN
L10	LANDSCAPE PAVING DETAIL

LEGAL DESCRIPTION:
LOT 107, TRACT 28795
APN NUMBER: 2004-017-022

08.15.2013	City Council
04.23.2013	City Council
02.28.2013	LA County Fire Department Submittal
	Other

OWNER
BY CONSTRUCTION
EVAN WANG, OWNER
11873 STERLING AVE, UNIT 'K'
FRESNO, CA 95233
PHONE: 561-505-9412

PROJECT
LANDSCAPE PLANS FOR:
27305 OAK SUMMIT ROAD
AGOURA HILLS, CALIFORNIA 91301

SHEET
PLANTING PLAN

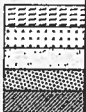
Scale:	Date:	Draw. No.
AS SHOWN	08-01-13	L1.0

PLANTING PLAN SCALE 1'-0" = 1/4"

PLANT LEGEND

SIZE QUANTITY PLANT USE

SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	PLANT USE
TREES				
CERCIS OCCIDENTALIS	WESTERN REDBUD MULTI TRUNK LOW BRANCHING	24" BOX	1	NATIVE PLANT - 20' FROM STRUCTURE REFER TO SHT L3 DETAIL 3 AND 4
CERCIS OCCIDENTALIS FOREST PANSY	WESTERN REDBUD MULTI TRUNK LOW BRANCHING - RED LEAF	24" BOX	1	NATIVE PLANT - 20' FROM STRUCTURE REFER TO SHT L3 DETAIL 3 AND 4
PLATANUS RACEMOSA	CA SYCAMORE	36" BOX	2	NATIVE PLANT + WEST FACING SUN CONTROL 20' FROM STRUCTURE -REFER TO SHT L3 DET 4 AND 6
QUERCUS AGRIFOLIA	CA LIVE OAK LOW BRANCHING	24" BOX	1	NATIVE + EROSION CONTROL 30' FROM STRUCTURE -REFER TO SHT L3 DET 4 AND 5
SHRUBS				
* ALL SHRUBS REFER TO SHEET L3 DETAIL 2				
AMIGOZANTHOS 'PATIO PAW'	SHORT RED KANGAROO PAW	1 GALLON	5	ORNAMENTAL COLOR
CONTONEASTER LACTEUS	RED CLUSTERBERRY	24" BOX	2	ORNAMENTAL TO SCREEN 17' WALL NO VINES ON STRUCTURES. OK ON WALLS OR TRELLIS, NOT ADJOINING STRUCTURE
CEANOTHUS GRISEUS HORIZONTALIS	CARMEL CREEPER	5 GALLON	30	EROSION CONTROL - ZONE B/C ONLY
COTONEASTER DAMNARI	BEARBERRY COTONEASTER	5 GALLON	12	ORNAMENTAL GROUND COVER
HESPERALOE PARVIFLORA 'YELLOW SUN'	HESPERALOE YELLOW FLOWER	1 GALLON	48	ORNAMENTAL COLOR
KNIPHOFIA 'LEMON AND MANGO POPSICLE'	RED HOT POKER	5 GALLON	10	ORNAMENTAL COLOR
PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY ATTACH TO WALL	1 GALLON	12	VINE - DO NOT ATTACHED TO HOUSE
PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'	FOOTHILL PENSTEMON	5 GALLON	60	NATIVE + ORNAMENTAL COLOR
PHORNILUM 'APRICOT QUEEN'	FLAX	5 GALLON	12	TEXTURE AND COLOR
PRUNUS ILLICIFOLIA	HOLLYLEAF CHERRY	15 GALLON	5	HEDGE TO REDUCE 3 STORY HOUSE MASS 15' FROM STRUCTURE. HEDGE MAINTAIN 6'-6" MAX.
RIBES YIBURNIFOLIUM	EVERGREEN CURRENT	5 GALLON	32	NATIVE GROUND COVER
ROSA SPP. 'ICEBERG'	ICEBERG ROSE - RED	5 GALLON	4	ORNAMENTAL COLOR
ROSA SPP.	WHITE CARPET FLOWER ROSE	5 GALLON	10	ORNAMENTAL COLOR
ROSA SPP. 'ICEBERG'	ICEBERG ROSE - WHITE	5 GALLON	13	ORNAMENTAL COLOR
ROSE SPP	MR LINCOLN - RED	5 GALLON	4	ORNAMENTAL COLOR
SANTOLINA CHAMAECYPARISSIS	LAVENDER COTTON	5 GALLON	26	EROSION CONTROL
SANTOLINA ROSEMARINIFOLIUS	GREEN LAVENDER COTTON	5 GALLON	6	ORNAMENTAL
TEUCRIUM LUCIDRYS	GERMANDER	5 GALLON	12	ORNAMENTAL AND EROSION CONTROL
THYMUS VULGARIS	COMMON THYME	5 GALLON	4	ORNAMENTAL COLOR
WOODWARDIA FIRMBRIATA	GIANT CHAIN FERN	5 GALLON	5	NATIVE + EROSION CONTROL
GROUND COVER				
* ALL GROUND COVERS REFER TO SHEET L3 DETAIL 1				
FRAGARIA CHILOENSIS	ORNAMENTAL STRAWBERRY	FLAT		EROSION CONTROL
GAZANIA 'SUN KING'	TRAILING GAZANIA	FLAT		EROSION CONTROL
NO MOW SOD FROM PACIFIC SOD	LOW WATER SOD	SOD		PLAY AREA
PHYLA MODIFLORA	LIPPIA	FLAT		EROSION CONTROL
DYMONDIA MARGARETAE	NO COMMON NAME	FLAT		IN PAVING JOINTS



PLANTING LEGEND

WORK PROCESS

- WEED, CLEAN, TRIM TREES AND REMOVE DEAD PLANT MATERIAL
- REMOVE CONSTRUCTIONS DEBRIS AND THOROUGHLY RAKE SITE
- INSTALL IRRIGATION SYSTEM
- TEST IRRIGATION SYSTEM AND REVIEW COVERAGE AND OTHER WIND BLOW SEEDS
- APPLY HERBICIDE TO KILL GERMINATED PLANTS
- WAIT MANUFACTURERS RECOMMENDED TIME PERIOD AND THEN REMOVE DEAD PLANT MATERIAL AND PROPERLY DISPOSE
- DELIVER TREES AND LARGE SHRUBS
- HAVE OWNERS REPRESENTATIVE INSPECT TREES AND LARGE PLANT MATERIAL
- PLANT TREES AND LARGE SHRUBS
- DELIVER SHRUBS AND GROUND COVERS
- HAVE OWNERS REPRESENTATIVE INSPECT SHRUBS AND GROUND COVERS
- INSTALL SHRUBS
- INSTALL JUTE NETTING
- INSTALL GROUND COVERS FROM FLATS
- PROVIDE 120 CALENDAR DAY MAINTENANCE PERIOD TO ESTABLISH PLANTS

PLANTING WORK PROCESS

SOIL PREPARATION AND PLANTING NOTES

1. AREA PREPARATION FOR PLANTING

- OVER THE ENTIRE AREA PREPARE THE SOIL AS FOLLOWS:
- REMOVE ALL ROCKS, CONSTRUCTION DEBRIS, PAINT, PLASTER, CONSTRUCTION SPILL AREAS AND DISPOSE OF PROPERLY.
 - CONTACT WALLACE LABS TO COLLECT TWO SAMPLES FROM 2 AREAS AND PROVIDE 1 ANALYSIS FROM EACH AREA JUST BEFORE STARTING CONSTRUCTION-- WALLACE LABS, 365 CORAL CIRCLE, EL SEGUNDO, CALIFORNIA, TEL: 310-615-0016.
 - ROTO-TILL THE SOIL TO PER SHEET L6 SOILS PLAN
 - REFER TO SOILS PLAN ON SHEET L8. ADD TOP SOIL AND ADD SOIL AMENDMENTS PER SOILS REPORTS BY WALLACE LABS.
 - AFTER PLANTING MULCH ALL AREAS WITH 2" LAYER OF NITROGENIZED WOOD CHIPS (GORILLA MD).
 - USE FOOTHILL SOILS TOP SOIL (661) 254-086.

FOR BID PURPOSES ONLY, PER 1,000 SQUARE FEET:

- ADD 6 CUBIC YARDS ORGANIC AMENDMENT FROM FOOTHILL SOILS (661) 254-0867.
 - ADD 50 POUNDS OF AGRICULTURAL GYPSUM PER 1000 SQUARE FEET
 - ADD 40 POUNDS OF GROW POWER PLUS PER 1000 SQUARE FEET
 - ROTO-TILL THE AMENDMENTS INTO THE TOPSOIL
- FRONT YARD: 4" LAYER OF TOPSOIL INTO TOP 12" OF NATIVE SOIL
SIDE YARD: 1" LAYER OF TOPSOIL INTO TOP 3" OF NATIVE SOIL
REAR YARD GRASS: 12" LAYER OF TOPSOIL AND INTO TOP 12" OF NATIVE SOIL
REAR YARD PLANTER: 24" LAYER OF TOPSOIL MIXED WITH 75% NATIVE SOIL

2. TREE AND SHRUB PLANTING IN GROUND

- PREPARE THE HOLE FOR THE PLANT AS SHOWN ON THE DETAILS ON SHEET L3
- THE BACKFILL MIX SHALL BE
75% ON-SITE SOIL
25% FOOTHILL SOILS ORGANIC AMENDMENT
18 POUNDS OF GROW POWER PLUS PER CUBIC YARD
MIX THOROUGHLY BEFORE PUTTING INTO THE PLANT PIT
ADD AMENDMENTS SPECIFIED BY WALLACE LABS
- IN THE BACKFILL MIX PLACE AGRIFORM TABLETS 4" FROM THE SURFACE. THE QUANTITY TO BE AS SPECIFIED BY THE MANUFACTURER
- AFTER PLANTING MULCH ALL AREAS WITH 2" LAYER OF NITROGENIZED WOOD CHIPS (GORILLA MD).

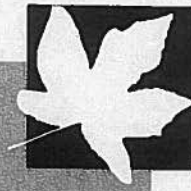
3. MAINTENANCE

- FERTILIZE ALL PLANTING AREAS EVERY 30 DAYS WITH 20 POUNDS OF GROW POWER PLUS PER 1000 SQUARE FEET
- THE MAINTENANCE PERIOD IS TO BE 120 CALENDAR DAYS.

SOIL PREPARATION

- PROVIDE AN ALLOWANCE FOR THE FOLLOWING:
10- 1 GALLON PLANTS
7- FLATS OF COLOR
- PROVIDE PHOTOS OF ALL TREES FOR OWNER APPROVAL
- ALL SLOPED AREAS TO HAVE A LAYER OF JUTE NETTING.
- CONTACT AND MEET WITH LANDSCAPE ARCHITECT (818) 707-9215 BEFORE BEGINNING WORK.
- PROVIDE 2 SOIL SAMPLES OF GRADED SOIL CONDITIONS FROM WALLACE LABS BEFORE BEGINNING WORK.

ADDITIONAL PLANTING NOTES



ALAN BERNSTEIN, AIA + ASLA
ARCHITECTS + LANDSCAPE ARCHITECTS
6761 CORONA AVENUE, STE. 500-A
WESTLAKE VILLAGE, CA. 91362
P. 818 707 9219
F. 818 707 7209
E. alan@alanbernst.com

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LEGAL DESCRIPTION:
LOT 1077, TRACT 297965
APN NUMBER: 2064-017-022

09.14.2015	City Redlines
04.23.2015	Client Redlines
03.28.2015	LA County Fire Department Redlines
	Other: Revision or Issue

OWNER:
BK CONSTRUCTION
EVAN WANG, OWNER
11671 STERLING AVE, UNIT 'K'
RIVERSIDE, CA 92509
PHONE: 951-500-9112

PROJECT:
LANDSCAPE PLANS FOR:
27305 OAK SUMMIT ROAD
AGOURA HILLS, CALIFORNIA 91301

SHEET:
PLANTING LEGEND AND NOTES

Scale: 1/8" = 1'-0"
Date: 09-01-15
Dwg. No. **L2.0**

LANDSCAPE GENERAL NOTES

1.00 GENERAL
1.01 DESCRIPTION
1.02 REQUIREMENTS AND REGULATORY AGENCIES
1.03 DESIGN AND CONSTRUCTION NOTES

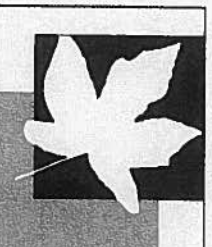
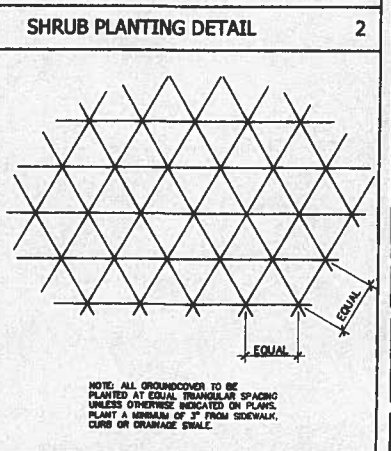
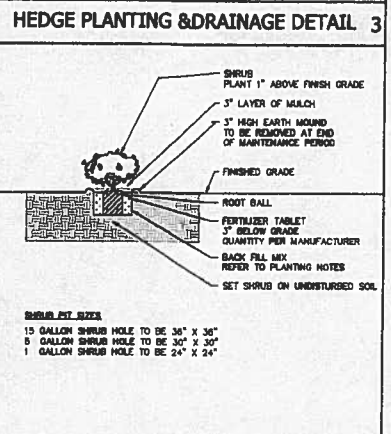
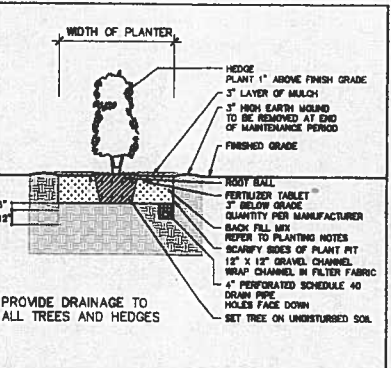
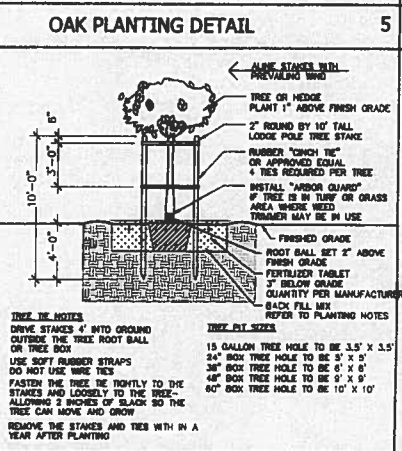
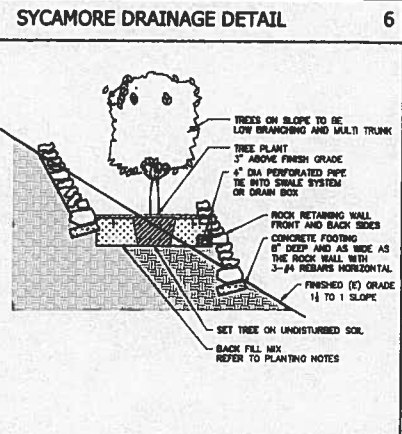
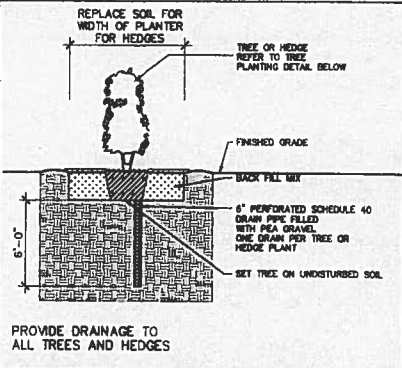
LANDSCAPE PLANTING SPECIFICATION

1.01 GENERAL
1.01.1 RELATED DOCUMENTS
1.01.2 DESCRIPTION
1.01.3 MATERIALS
1.01.4 INSTALLATION
1.01.5 MAINTENANCE
1.02 PLANTING
1.03 PLANTING
1.04 PLANTING
1.05 PLANTING
1.06 PLANTING
1.07 PLANTING
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LANDSCAPE MAINTENANCE

1.01 GENERAL
1.01.1 DESCRIPTION
1.01.2 MATERIALS
1.01.3 INSTALLATION
1.01.4 MAINTENANCE
1.02 PLANTING
1.03 PLANTING
1.04 PLANTING
1.05 PLANTING
1.06 PLANTING
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1.20 PLANTING



ALAN BERNSTEIN, AIA + ASLA
ARCHITECTS + LANDSCAPE ARCHITECTS
2736 OAK SUMMIT ROAD
AGOURA HILLS, CALIFORNIA 91301

LEGAL DESCRIPTION:
LOT 107, TRACT 25765
APN NUMBER: 2084-017-022

Table with columns for Date, Client, and Revision/Issue.

CONSTRUCTION
EVAN WANG, OWNER
11671 STERLING AVE, UNIT 'N'
RIVERSIDE, CA 92503
PHONE: 951-508-9412

LANDSCAPE PLANS FOR:
2736 OAK SUMMIT ROAD
AGOURA HILLS, CALIFORNIA 91301

PLANTING DETAILS & SPECIFICATIONS

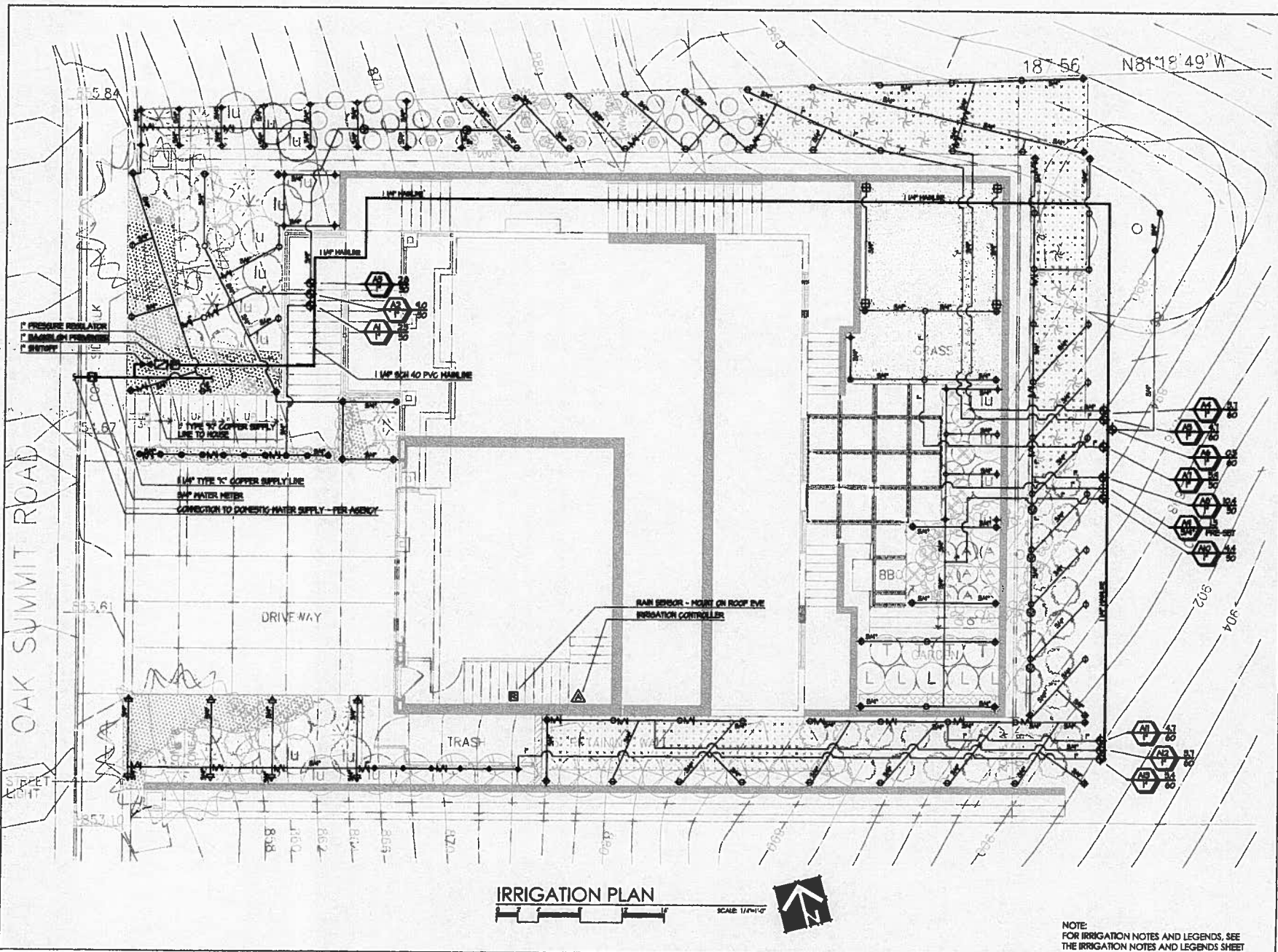
NOTE: ALL GROUNDWORK TO BE PLANTED AT EQUAL TRIANGLE SPACING UNLESS OTHERWISE INDICATED ON PLANS. PLANT A MINIMUM OF 2\"/>

Scale: AS SHOWN Date: 09-20-16 L3.0

PLANTING SPECIFICATION

TREE PLANTING DETAIL 4

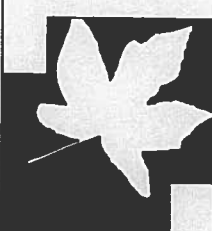
GROUND COVER SPACING DETAIL NTS 1



IRRIGATION PLAN
SCALE 1/4"=10'



NOTE:
FOR IRRIGATION NOTES AND LEGENDS, SEE
THE IRRIGATION NOTES AND LEGENDS SHEET



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J.M. MORRISON RLA
2010 148 SOUTH STREET
VANOCANON, VAN COVINA
PHONENO: 626-768-9140



82.28.2813	LA County Fire Department Substation
Date:	Revision or Date

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PROJECT
LANDSCAPE PLANS FOR:
27306 OAK SUMMIT ROAD
AGOURA HILLS, CALIFORNIA 91301

SHEET
IRRIGATION PLAN

Drawn:	Drawn No.:
Scale:	Date:
AS 10/2012	02-01-12

L4.0

PRESSURE CALCULATIONS

Table with columns: SITE PARTICULARS, PRESSURE OBTAINED FROM DATE PRESSURE OBTAINED, HANDH Pressure @ P.O.G., HANDH Pressure @ P.O.G., PRESSURE REGULATOR SET TO, HANDH WATER PRESSURE AFTER PRESSURE REGULATOR, PLAN SHEET NO., VALVE STATION, and GPV.

Table 1: PRESSURE LOSS WITHOUT A PRESSURE REGULATOR P.O.G. with columns: GPV, LOSS, SIZE, TYPE OF PIPE, and PSI LOSS.

Table 2: PRESSURE LOSS THROUGH MAINLINE with columns: GPV, FEET, LOSS THRU MAINLINE, TYPE OF PIPE, and PSI LOSS.

Table 3: PRESSURE LOSS IN PSI AT STATION with columns: GPV, VALVE SIZE, LOSS THRU STATION SUBTOTAL, and PSI LOSS.

Table 4: PRESSURE CHANGE DUE TO ELEVATION with columns: ELEVATION AT P.O.G., ELEVATION AT LAST HEAD OF STATION, DIFFERENCE, LOSS/ANAL DUE TO ELEVATION SUBTOTAL, and PSI LOSS.

Table 5: PRESSURE LOSS CALCULATION AVAILABLE PRESSURE AT P.O.G., SUBSTRACT PRESSURE LOSS TOTAL FROM (A), and PRESSURE AVAILABLE AT BASE OF HEAD.

Table 6: PRESSURE CHECK with columns: PSI HEAD TO OPERATE (W/FACTOR DESIRED PERFORMANCE), PRESSURE AVAILABLE AT BASE OF HEAD FROM (A), and RESIDUAL PRESSURE (MAY BE ZERO OR GREATER).

Table 7: PRESSURE CHECK with columns: PSI HEAD TO OPERATE (W/FACTOR DESIRED PERFORMANCE), PRESSURE AVAILABLE AT BASE OF HEAD FROM (A), and RESIDUAL PRESSURE (MAY BE ZERO OR GREATER).

HEAD LEGEND

Table with columns: SYMBOL, PATTERN, DESCRIPTION, MAKE, BODY FEATURES, NOZZLE, PSI, RAD, GPM, IAH, and REMARKS.

IRRIGATION EQUIPMENT LEGEND

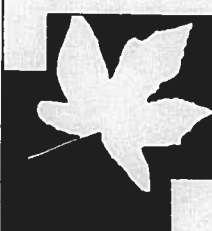
Table with columns: SYMBOL, DESCRIPTION, MANUFACTURER, MODEL, BODY SIZE PER PLAN, and REMARKS.

LANDSCAPE DRIPLINE LEGEND

Table with columns: SYMBOL, DESCRIPTION, MODEL, MAKE, DRIPLINE SPACING, PSI, RAD, GPM, IAH, and REMARKS.

IRRIGATION NOTES

- 1. THE WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL INCLUDE... 2. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS... 3. ALL PERMITS AND MATERIALS SHALL CONFORM TO UNIFORM... 4. AT THE END OF EACH WORK DAY, THE SITE SHALL BE CLEANED OF... 5. IT IS THE RESPONSIBILITY OF THESE PROFESSIONALS TO PROVIDE A COMPLETE... 6. DO NOT HASTILY REINSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE... 7. CONTRACTOR TO COORDINATE PERMS AND ELEVATIONS WITH LANDSCAPE... 8. BEFORE THE CONSTRUCTION OF IRRIGATION LINES AND... 9. ALL IRRIGATION LINES SHALL BE BURIED UNDER THE MINIMUM... 10. IRRIGATION LINES SHALL BE BURIED UNDER THE MINIMUM... 11. THE SCHEDULED WORK IS NOT CONSIDERED COMPLETE UNTIL ALL... 12. THE CONTRACTOR SHALL PROVIDE A MASTER SCHEDULE TO THE OWNER... 13. THESE PLANS COMPLY WITH THE PUBLIC LANDSCAPE ENGINEER... 14. DO NOT INSTALL UNLAWFUL NOZZLES ON SPRING UNLESS SPECIFICALLY... 15. IRRIGATION PLANS ARE DIMENSIONED FOR SPACING CLARITY... 16. ALL IRRIGATION LINES SHALL BE DIMENSIONED PER MANUFACTURER SPECIFICATIONS... 17. ALL IRRIGATION LINES SHALL BE DIMENSIONED PER MANUFACTURER SPECIFICATIONS... 18. ALL IRRIGATION LINES SHALL BE DIMENSIONED PER MANUFACTURER SPECIFICATIONS...



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These drawings, design concepts, specifications, and plans are the property of Alan Bernstein, AIA + ASLA, Architect + Landscape Architect...

Logo for Jeremi Morrison RLA with contact information and a stylized bird logo.

Table with columns: OWNER, PROJECT, LANDSCAPE PLANS FOR, AGOURA HILLS, CALIFORNIA 91301.

IRRIGATION NOTES AND LEGENDS

Scale, Date, L5.0

IRRIGATION SPECIFICATIONS

- GENERAL SPECIFICATIONS**
 1.1.1. All materials shall be of the highest quality available.
 1.1.2. All materials shall be new, unused, and of the highest quality available.
 1.1.3. All materials shall be of the highest quality available.
 1.1.4. All materials shall be of the highest quality available.

- 1.2. TRENCHES AND EXCAVATIONS**
 A. All trenches and excavations shall be excavated to the required depth and width.
 B. All trenches and excavations shall be backfilled with compacted material.
 C. All trenches and excavations shall be covered with a suitable cover.

- 1.3. PIPING AND FITTINGS**
 A. All piping shall be of the highest quality available.
 B. All fittings shall be of the highest quality available.
 C. All piping and fittings shall be installed in accordance with the manufacturer's instructions.

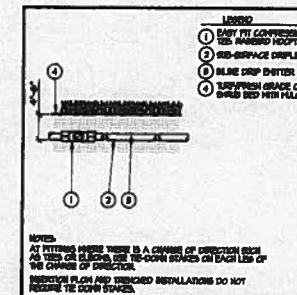
- 1.4. ELECTRICAL WIRING**
 A. All electrical wiring shall be of the highest quality available.
 B. All electrical wiring shall be installed in accordance with the National Electrical Code.
 C. All electrical wiring shall be protected from physical damage.

- 1.5. CONTROL SYSTEMS**
 A. All control systems shall be of the highest quality available.
 B. All control systems shall be installed in accordance with the manufacturer's instructions.
 C. All control systems shall be protected from physical damage.

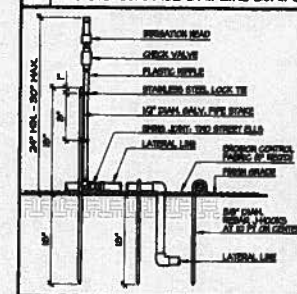
- 1.6. VALVES AND CONTROL DEVICES**
 A. All valves and control devices shall be of the highest quality available.
 B. All valves and control devices shall be installed in accordance with the manufacturer's instructions.
 C. All valves and control devices shall be protected from physical damage.

- 1.7. TESTING AND COMMISSIONING**
 A. All piping and fittings shall be tested in accordance with the manufacturer's instructions.
 B. All electrical wiring shall be tested in accordance with the National Electrical Code.
 C. All control systems shall be tested in accordance with the manufacturer's instructions.

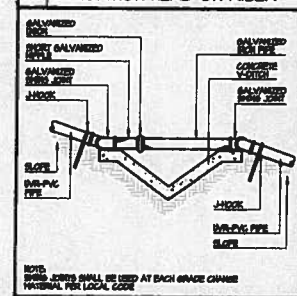
- 1.8. MAINTENANCE AND REPAIRS**
 A. All piping and fittings shall be maintained in accordance with the manufacturer's instructions.
 B. All electrical wiring shall be maintained in accordance with the National Electrical Code.
 C. All control systems shall be maintained in accordance with the manufacturer's instructions.



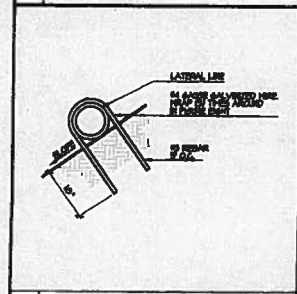
1.1 XFS SUB-SURFACE DRIFLINE BURIAL



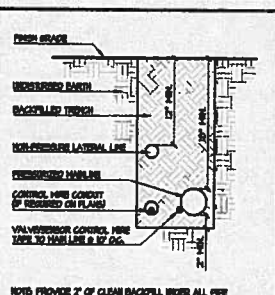
2.1 TRENCH IN PLANTING AREAS



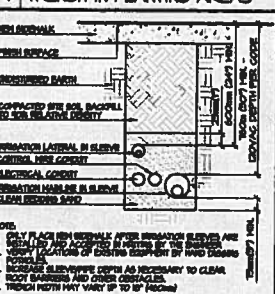
3.1 IRRIGATION HEAD ON RISER



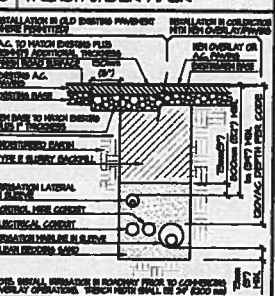
4.1 PIPE INSTALLATION @ V-DITCH



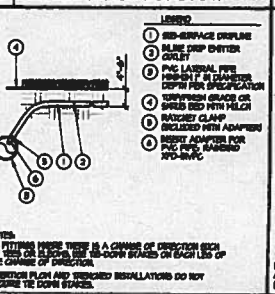
5.1 GATE VALVE



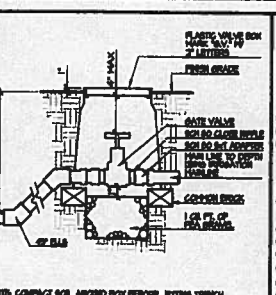
6.1 POP-UP HEAD



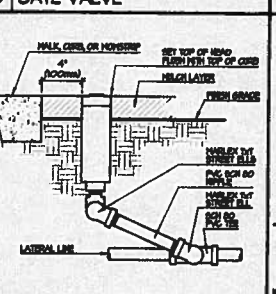
7.1 AIR RELIEF VALVE KIT



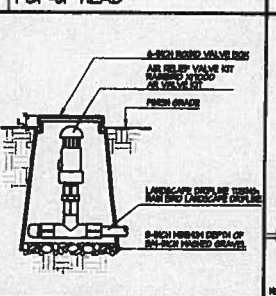
8.1 XFS SUB-SURFACE DRIFLINE FLESH POINT



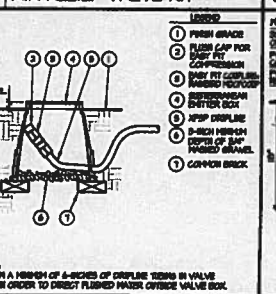
9.1 TRENCH UNDER ROADWAY



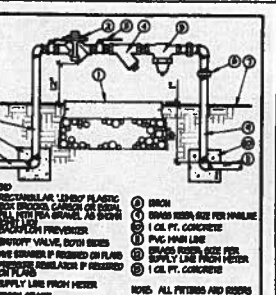
10.1 TRENCH UNDER WALK



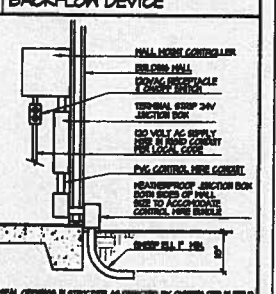
11.1 TRENCH UNDER ROADWAY



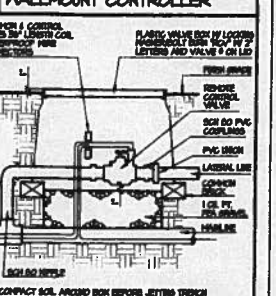
12.1 XFS SUB-SURFACE DRIFLINE INSERT



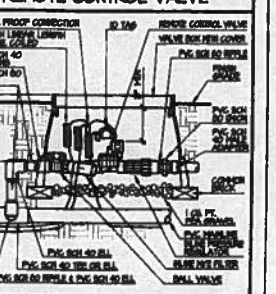
13.1 BACKFLOW DEVICE



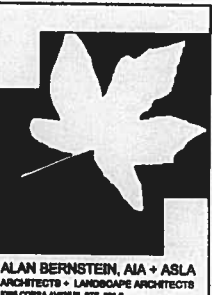
14.1 WALLMOUNT CONTROLLER



15.1 REMOTE CONTROL VALVE



16.1 UVR PIPE LINE INSTALLATION



ALAN BERNSTEIN, AIA + ASLA
 ARCHITECTS + LANDSCAPE ARCHITECTS
 2736 OAK SUMMIT ROAD, SUITE 200
 AGOURA HILLS, CALIFORNIA 91301



JEREMI MORRISON
 FLSA
 2736 OAK SUMMIT ROAD, SUITE 200
 AGOURA HILLS, CALIFORNIA 91301

OWNER: EVAN WANG, OWNER
 11871 STERLING AVE, UNIT K
 RIVERSIDE, CA 92503
 PHONE: 951-508-9112

PROJECT: LANDSCAPE PLANS FOR:
 27306 OAK SUMMIT ROAD
 AGOURA HILLS, CALIFORNIA 91301

SHEET: IRRIGATION DETAILS
 AND SPECIFICATIONS

Scale: AS SHOWN Date: 02-20-13

Sheet No: L6.0

APPROVED FOR THE FIRE DEPARTMENT

- 1. The Fire Department has reviewed the fire protection system proposed in the fire protection plan and has approved it for the fire department's use.
- 2. The Fire Department has reviewed the fire protection system proposed in the fire protection plan and has approved it for the fire department's use.
- 3. The Fire Department has reviewed the fire protection system proposed in the fire protection plan and has approved it for the fire department's use.
- 4. The Fire Department has reviewed the fire protection system proposed in the fire protection plan and has approved it for the fire department's use.
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- 10. The Fire Department has reviewed the fire protection system proposed in the fire protection plan and has approved it for the fire department's use.

Fire Department Comments

- 1. The Fire Department has reviewed the fire protection system proposed in the fire protection plan and has approved it for the fire department's use.
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Comments

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- 10. The Fire Department has reviewed the fire protection system proposed in the fire protection plan and has approved it for the fire department's use.

Section Information

The project owner is in compliance with the requirements of the Fire Department for the fire protection system proposed in the fire protection plan. The project owner is in compliance with the requirements of the Fire Department for the fire protection system proposed in the fire protection plan. The project owner is in compliance with the requirements of the Fire Department for the fire protection system proposed in the fire protection plan.

I hereby certify that the information contained herein is true and correct to the best of my knowledge and belief.

Certificate of Administration
for Fuel Modification Plan #3775

State of California
County of Riverside

On 11-13-18 before me, John W. Hester, Notary Public

Personally appeared Adrian Wang

WITNESSES my hand and official seal this 13th day of November, 2018.

Notary Public for
Evans Construction LLC
11671 Sterling Ave, Unit K
Riverside, CA 92503

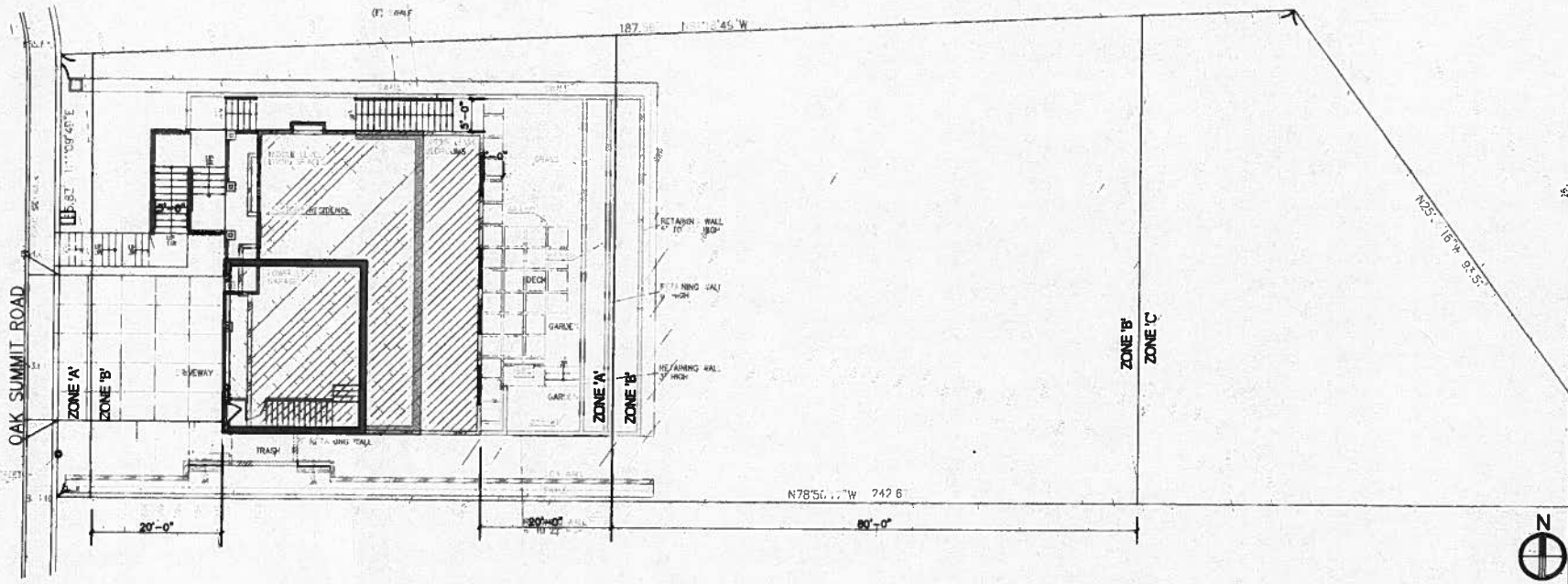
Fuel Modification System and Assembly

The undersigned, Evans Construction LLC, hereby certifies that the information contained herein is true and correct to the best of my knowledge and belief.

The undersigned, Evans Construction LLC, hereby certifies that the information contained herein is true and correct to the best of my knowledge and belief.

The undersigned, Evans Construction LLC, hereby certifies that the information contained herein is true and correct to the best of my knowledge and belief.

FIRE DEPARTMENT NOTES



SITE PLAN

SCALE 1"=0" = 1/8"

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LEGAL DESCRIPTION:
LOT 107, TRACT 29785

APN NUMBER: 2094-017-022

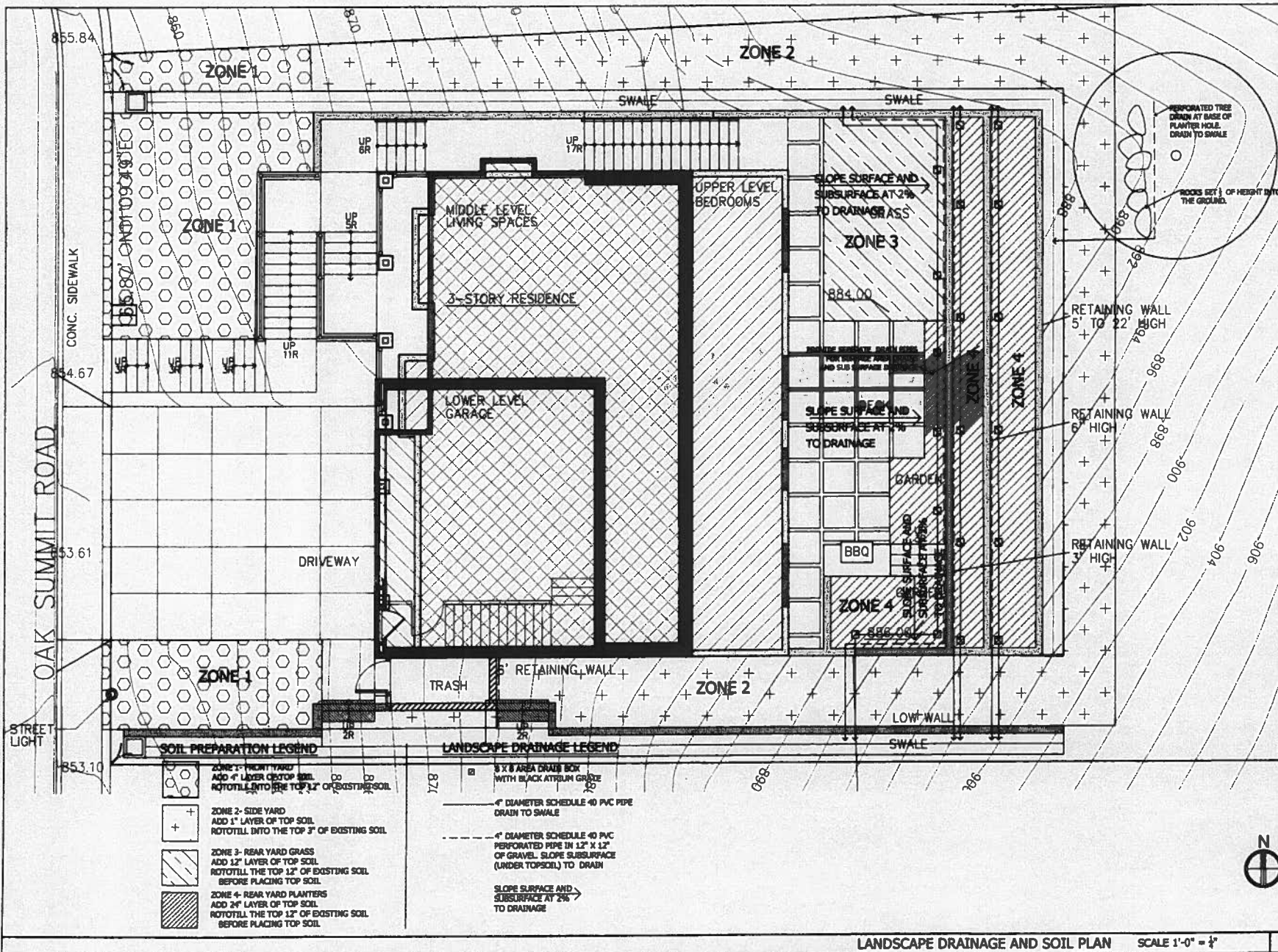
06.13.2015	City Revisions
04.23.2015	Client Revisions
02.28.2015	LA County Fire Department Submittal
Date:	Revision of Issue

OWNER:
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EVAN WANG, OWNER
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PHONE: 951-509-0412

PROJECT:
LANDSCAPE PLANS FOR:
17306 OAK SUMMIT ROAD
AGOURA HILLS, CALIFORNIA 91301

SHEET:
FIRE DEPARTMENT NOTES

Drawn By: **L7.0**



SOIL PREPARATION LEGEND

	ZONE 1- FRONT YARD ADD 4" LAYER OF TOP SOIL ROTOTILL INTO THE TOP 12" OF EXISTING SOIL
	ZONE 2- SIDE YARD ADD 1" LAYER OF TOP SOIL ROTOTILL INTO THE TOP 3" OF EXISTING SOIL
	ZONE 3- REAR YARD GRASS ADD 12" LAYER OF TOP SOIL ROTOTILL THE TOP 12" OF EXISTING SOIL BEFORE PLACING TOP SOIL
	ZONE 4- REAR YARD PLANTERS ADD 2" LAYER OF TOP SOIL ROTOTILL THE TOP 12" OF EXISTING SOIL BEFORE PLACING TOP SOIL

LANDSCAPE DRAINAGE LEGEND

	8' X 8' AREA DRAIN BOX WITH BLACK ATRIUM GRADE
	4" DIAMETER SCHEDULE 40 PVC PIPE DRAIN TO SWALE
	4" DIAMETER SCHEDULE 40 PVC PERFORATED PIPE IN 12" X 12" OF GRAVEL. SLOPE SUBSURFACE (UNDER TOPSOIL) TO DRAIN
	SLOPE SURFACE AND SUBSURFACE AT 2% TO DRAINAGE



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LEGAL DESCRIPTION:
LOT 107, TRACT 28768

APN NUMBER: 2664-017-022

01.13.2012	City Revisions
01.23.2012	Client Revisions
02.28.2012	LA County Fire Department Submittal
Date:	Revision or Issue

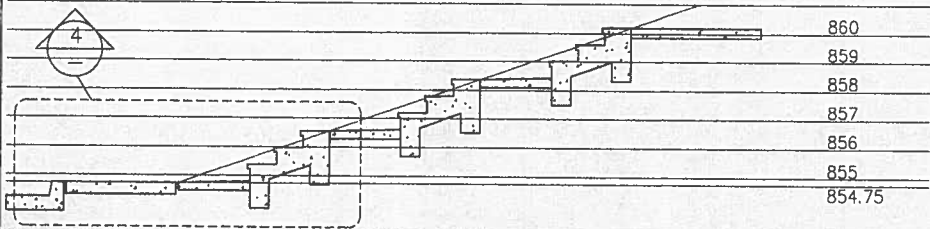
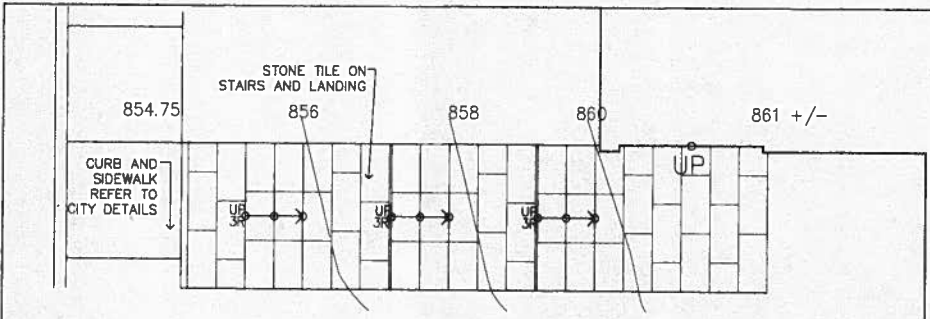
BY CONSTRUCTION
EVAN WANG, OWNER
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RIVERSIDE, CA 92503
PHONE: 951-209-9412

LANDSCAPE PLANS FOR:
27306 OAK SUMMIT ROAD
AGOURA HILLS, CALIFORNIA 91301

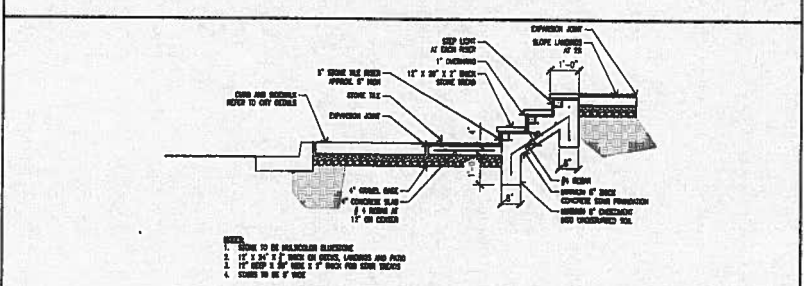
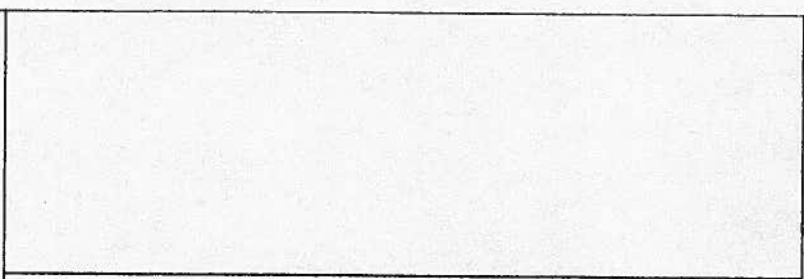
LANDSCAPE DRAINAGE AND SOIL PLAN

Scale:	Date:	L8.0
1" = 40'	07-01-12	

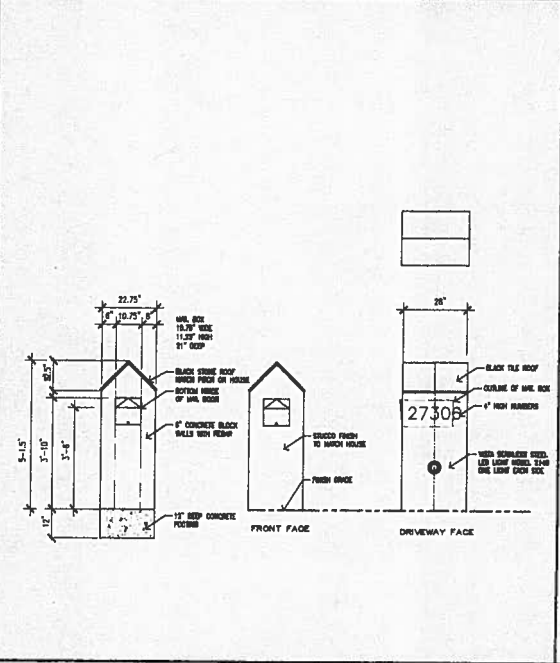
LANDSCAPE DRAINAGE AND SOIL PLAN SCALE 1"=0' = 4"



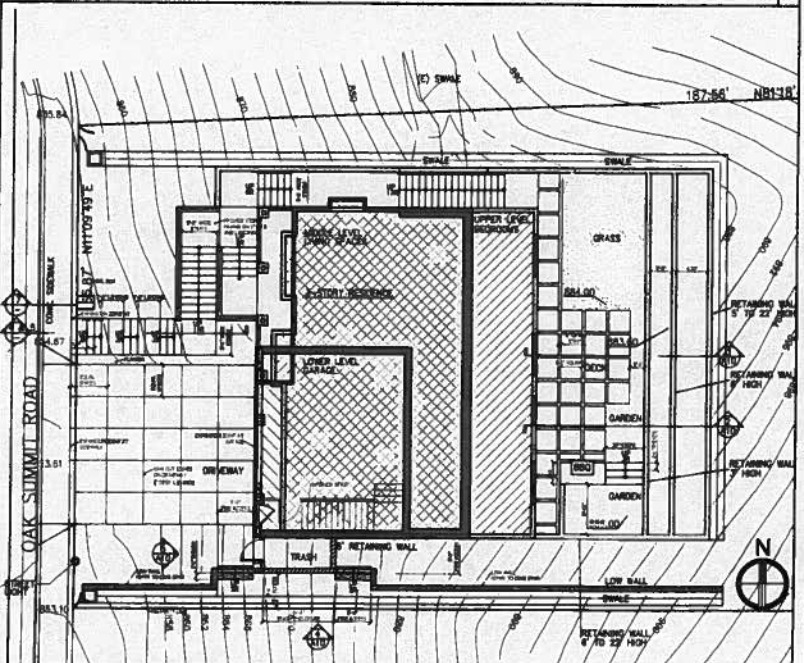
SECTION AT FRONT STEPS SCALE 1'-0" = 1/2" 5



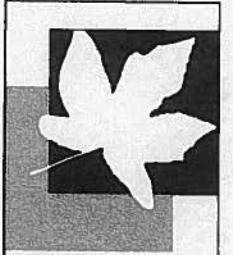
DETAIL AT FRONT STEPS SCALE 1'-0" = 1/2" 4



MAIL BOX 7



LANDSCAPE PAVING PLAN SCALE 1'-0" = 1/8" 1



ALAN BERNSTEIN, AIA + ASLA
 ARCHITECTS + LANDSCAPE ARCHITECTS
 5701 CEDAR AVENUE, SUITE 300-9
 WESTLAKE VILLAGE, CA 91381

P. 914 787 8210
 F. 914 787 7200
 E. alan@bernsteinarch.com

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LEGAL DESCRIPTION:
 LOT 107, TRACT 29765

APN NUMBER: 2094-017-022

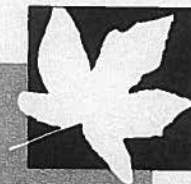
06.13.2015	City Review
04.23.2015	Client Review
02.28.2015	LA County Fire Department Submittal
Date	Revision of Issue

EX CONSTRUCTION
 EVAN HARRIS, OWNER
 13671 STERLING AVE, UNIT 1
 REVERSIDE, CA 92503
 PHONE: 951-509-9412

LANDSCAPE PLANS FOR:
 27306 OAK SUMMIT ROAD
 AGOURA HILLS, CALIFORNIA 91301

LANDSCAPE PAVING
 AND DETAILS

Scale: 1/8" = 1'-0"
 Date: 09-01-15
 L9.0



ALAN BERNSTEIN, AIA + ASLA
ARCHITECTS + LANDSCAPE ARCHITECTS
 5709 CORONA AVENUE, STE. 200-6
 WESTLAKE VILLAGE, CA 91362

P. 818 787 8218
 F. 818 787 7288
 E. alan@alanbernstein.com

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LEGAL DESCRIPTION:
 LOT 107, TRACT 29765
 APN NUMBER: 2094-017-022

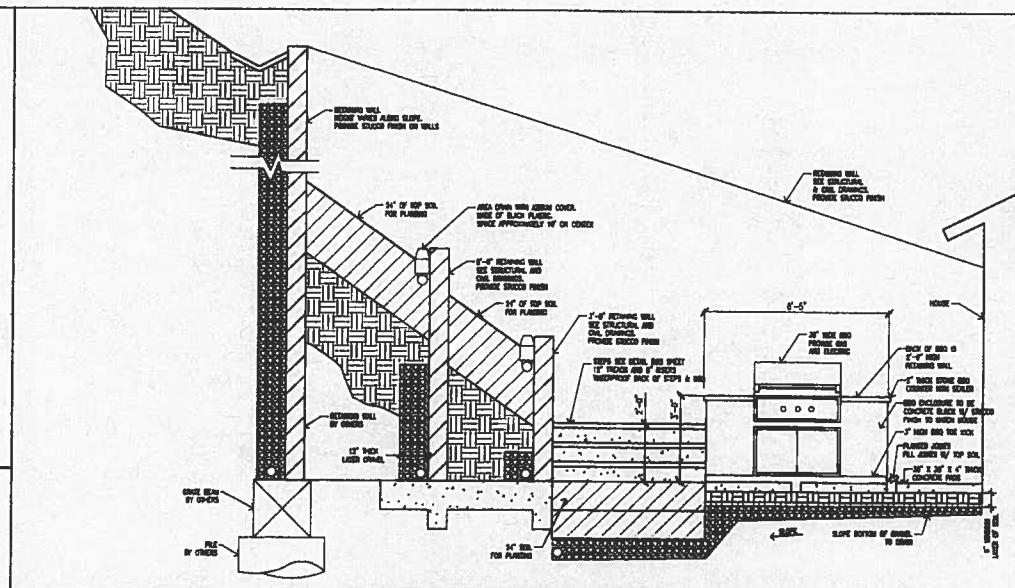
06.15.2015	City Review
04.23.2015	Client Review
02.26.2015	LA County Fire Department Submittal
01.01.2015	Revision of Issues

IN CONSTRUCTION
 EVAN WANG, OWNER
 11671 STERLING AVE, UNIT 'K'
 REVERSDIE, CA 92303
 PHONE: 951-509-9412

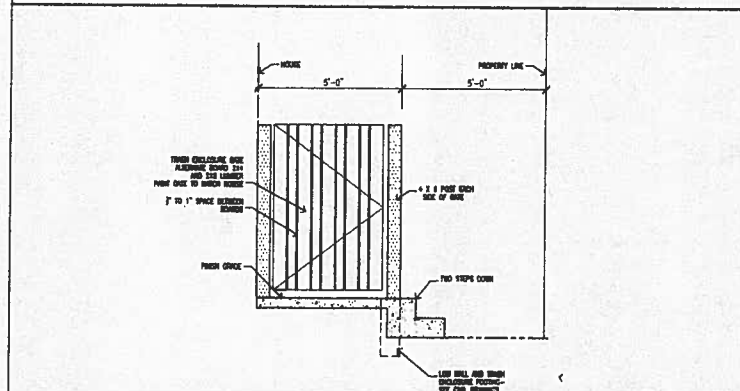
LANDSCAPE PLANS FOR:
 27306 OAK SUMMIT ROAD
 AGOURA HILLS, CALIFORNIA 91301

LANDSCAPE PAVING DETAILS

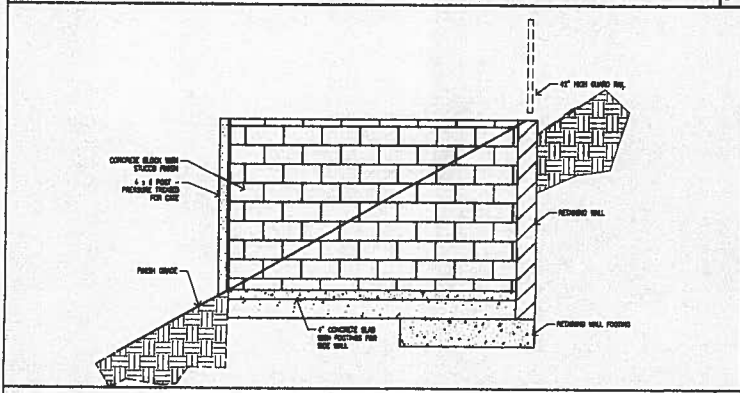
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 Scale: As Shown Date: 09-08-15



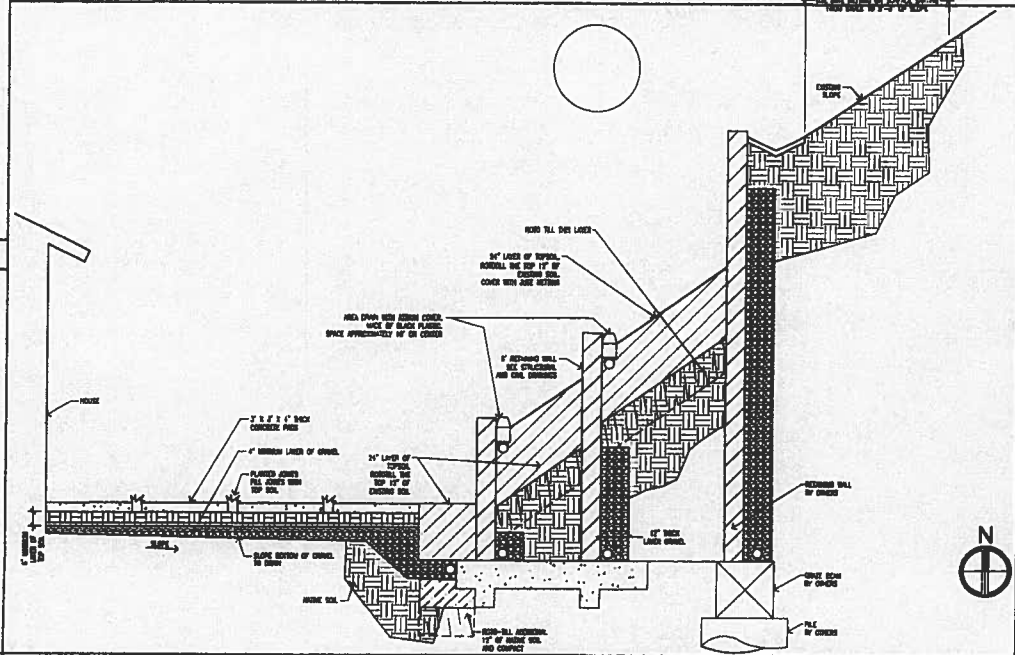
SECTION AT REAR YARD BBQ SCALE 1'-0" = 1/2"



DETAIL AT TRASH GATE SCALE 1'-0" = 1/2"



DETAIL AT TRASH ENCLOSURE SCALE 1'-0" = 1/2"

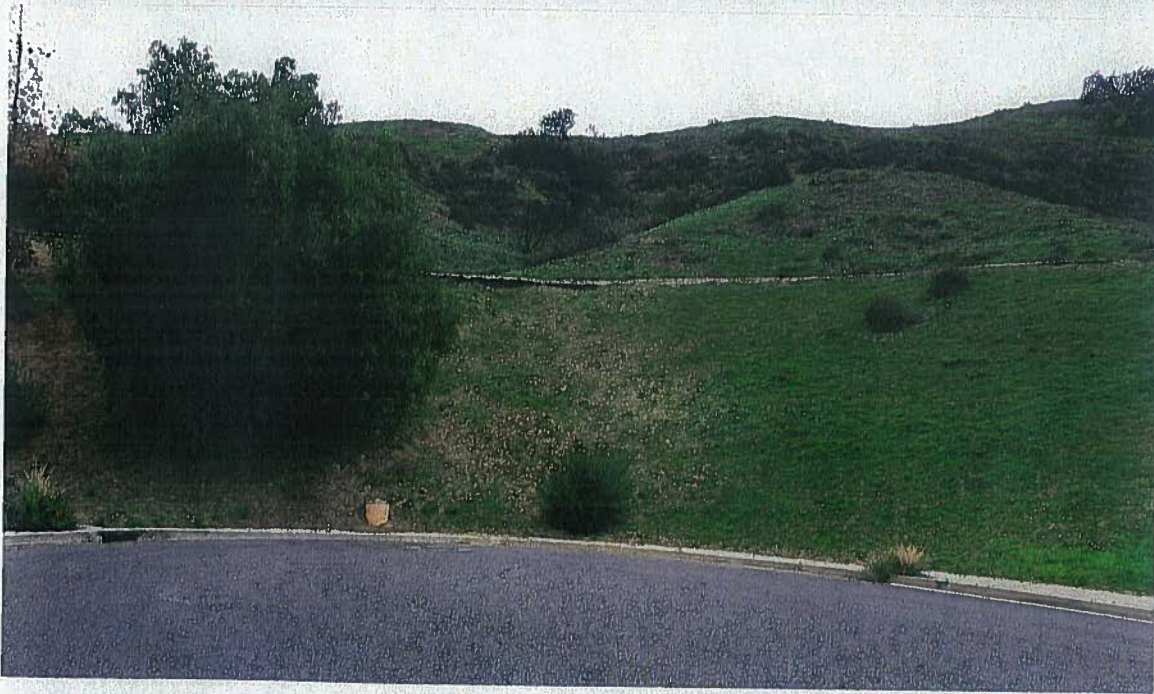


LANDSCAPE PAVING AT REAR YARD SCALE 1'-0" = 1/2"

ATTACHMENT 5
PHOTOGRAPHS OF APPLICANT'S LOT



① SUBJECT PROPERTY



②



③





ATTACHMENT 6
GEOTECHNICAL REPORT

SCHICK GEOTECHNICAL, INC.

Geology and Soils Engineering
Specializing in Residential
Hillside Properties

February 18, 2016
SG 8896-W

BX Construction LLC

Subject

Additional Response #2 to City Correction
Letter
Lot 107, Tract 29675
27306 Oak Summit Road
Agoura Hills, California

References:

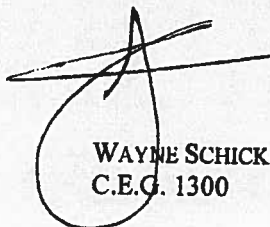
"Geologic and Soils Engineering Exploration, Proposed Residence, Lot 107, Tract 29675, 27306 Oak Summit Road, Agoura Hills, California," dated September 4, 2013;
City of Agoura Hills - Geotechnical Review Sheet, GDI #15.00103.0205, dated July 14, 2015;
"Response to City Correction Letter, Lot 107, Tract 29675, 27306 Oak Summit Road, Agoura Hills, California," dated October 13, 2015;
City of Agoura Hills - Geotechnical Review Sheet, GDI #15.00103.0205, dated November 24, 2015.

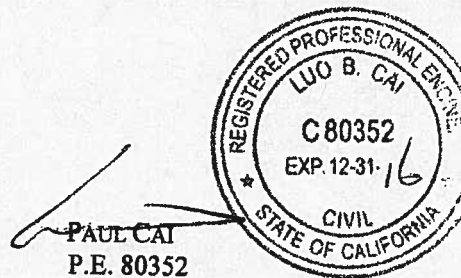
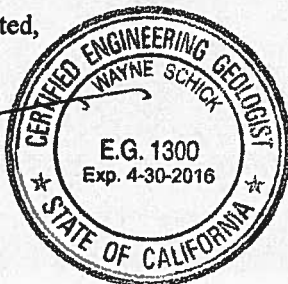
Dear Sirs:

Per your request, SGI is providing the following response to the referenced City of Agoura Hills Geotechnical Review Sheet. Page 2.103 of the plans indicates that retaining wall footings are to be embedded into both approved compacted fill and bedrock. The development plan indicates a 1:1 grade adjacent to portions of the retaining walls, however, a 2:1 is the maximum gradient allowed within compacted fill.

For stacked-type retaining walls, where the upper retaining wall is shown to be supported by engineered compacted fill and located within a 2:1 plane projected up from the base of an adjacent wall, the footing must be deepened to be founded below a 2:1 gradient (projected up from the base of the lower wall). All foundations must be properly embedded into bedrock or a uniform thickness of engineered compacted fill.

Respectfully submitted,


WAYNE SCHICK
C.E.G. 1300



Enc:

City of Agoura Hills - Geotechnical Review Sheet, GDI #15.00103.0205, dated November 24, 2015.

xc: (4) Addressee

SCHICK GEOTECHNICAL, INC.

Geology and Soils Engineering
Specializing in Residential
Hillside Properties

December 19, 2015
SG 8896-W

BX Construction LLC

FEB 04 2016

Subject

Response #2 to City Correction Letter
Lot 107, Tract 29675
27306 Oak Summit Road
Agoura Hills, California

References:

“Geologic and Soils Engineering Exploration, Proposed Residence, Lot 107, Tract 29675, 27306 Oak Summit Road, Agoura Hills, California,” dated September 4, 2013;
City of Agoura Hills - Geotechnical Review Sheet, GDI #15.00103.0205, dated July 14, 2015;
“Response to City Correction Letter, Lot 107, Tract 29675, 27306 Oak Summit Road, Agoura Hills, California,” dated October 13, 2015;
City of Agoura Hills - Geotechnical Review Sheet, GDI #15.00103.0205, dated November 24, 2015.

Dear Sirs:

Per your request, SGI is providing the following response to the referenced City of Agoura Hills Geotechnical Review Sheet. The site was revisited to obtain samples for laboratory testing.

Response to Item 1.

As anticipated for sandstone, the enclosed laboratory tests indicate that the onsite bedrock is not expansive. Based upon the lack of any significant expansion potential and laboratory tests of the bedrock, the recommended 12 inches of embedment is adequate for the recommended bearing value.

Response to Item 2.

Based upon the very thin layer of soil blanketing the bedrock and lack of any erosion slumps or scars, the potential for a slump is very low. The drainage discharge from the brow ditch s to be collected by a “V” shaped downdrain along the north portion of the proposed development and discharged at the street. The potential for erosion within the axis of the ascending swale has been addressed with the recommended 3-foot high diverter wall at the northeast portion of the rear yard retaining wall to divert drainage from the ascending swale to the “V” shaped downdrain. The axis of the ascending swale may be provided with a debris fence for additional protection. The ascending slope must be provided with erosion resistant drought tolerant vegetation.

Response to Item 3.

The footings for retaining walls above a nearby wall must be deepened to be founded below a 1:1 plane projected up from the base of the adjacent wall, which will require the use of friction piles. All walls where this condition exists, must be provided with friction piles.


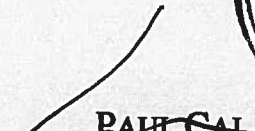
SCHICK GEOTECHNICAL, INC.

7650 Haskell Avenue, Suite D, Van Nuys, California 91406 Ph (818) 905-8011 Fx (818) 905-8114

Respectfully submitted,



WAYNE SCHICK
C.E.G. 1300



PAUL CAI
P.E. 80352

Enc:

City of Agoura Hills - Geotechnical Review Sheet, GDI #15.00103.0205, dated November 24, 2015.

xc: (4) Addressee

TABLE I - LOG OF TEST PITS

Test Pit Number	Depth (Feet)	Sample Location	Description
1	0 - 1 1 - 4		<p>Fill: silty sand, medium brown, dry, medium dense Bedrock: Sandstone, light brown, bedded, moderately hard, moderately weathered</p> <p>End at 4 feet; no water; no caving</p>
2	0 - 2 2 - 4		<p>Fill: silty sand, medium brown, dry, medium dense Bedrock: Sandstone, light brown, bedded, moderately hard, moderately weathered</p> <p>End at 4 feet; no water; no caving</p>
3	0 - 2 2 - 5		<p>Fill: silty sand, medium brown, dry, medium dense Bedrock: Sandstone, light brown, bedded, moderately hard, moderately weathered</p> <p>End at 5 feet; no water; no caving</p>
4	0 - 2 2 - 4		<p>Fill: silty sand, medium brown, dry, medium dense Bedrock: Sandstone, light brown, bedded, moderately hard, moderately weathered</p> <p>End at 4 feet; no water; no caving</p>
5	0 - 2 2 - 4		<p>Fill: silty sand, medium brown, dry, medium dense Bedrock: Sandstone, light brown, bedded, moderately hard, moderately weathered</p> <p>End at 4 feet; no water; no caving</p>

HS - hand sampler

B - bulk sample

TABLE I - LOG OF TEST PITS

Test Pit Number	Depth (Feet)	Sample Location	Description
6	0 - ½ ½ - 4		Fill: silty sand, medium brown, dry, medium dense Bedrock: Sandstone, light brown, bedded, moderately hard, moderately weathered End at 4 feet; no water; no caving
7	0 - 1 1 - 4		Fill: silty sand, medium brown, dry, medium dense Bedrock: Sandstone, light brown, bedded, moderately hard, moderately weathered End at 4 feet; no water; no caving

HS - hand sampler

B - bulk sample

C. Y. GEOTECH, INC.

Engineering Geology and Geotechnical Engineering

9428 Eton Avenue, Unit M, Chatsworth, California 91311
Tel: (818) 341-1899 Fax: (818) 341-1897 Email: cygeotech@sbcglobal.net

December 8, 2015

CYG-15-7704

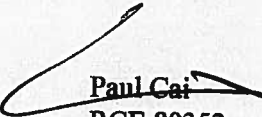
LABORATORY TESTING SERVICES

As requested by Mr. Wayne Schick of Schick Geotechnical, Inc. (SGI), C. Y. Geotech (CYG), Inc. has performed the laboratory tests as listed in Table 1 for SG project SG 8896-W, at 27306 Oak Summit Road, Agoura Hills, California. The testing procedures of ASTM (American Society for Testing and Materials) Standards were followed in the laboratory tests. The laboratory of CYG is certified by the City of Los Angeles Department of Building and Safety.

Client Name: Schick Geotechnical, Inc.
Project Name: SG/BX Construction LLC
SG Project No: SG 8896-W
Project Address: 27306 Oak Summit Road, Agoura Hills, California

The type and quantity of laboratory tests are listed in Table 1. The results of the laboratory test are summarized in Table 2. If you have any questions regarding the laboratory testing, please do not hesitate to call us.

Very truly yours,
C. Y. Geotech, Inc.


Paul Cai
RCE 80352



TEST PROCEDURES

Expansion Index Test

One expansion index test was performed on one bulk soil sample to determine the expansion potential of soil. The expansion index test was performed in general accordance with expansion test procedures in ASTM D-4829 to provide an assessment of the potential for expansion or heave that could be detrimental to foundation or slab performance. The following procedures were followed in the test: 1) compact the soil sample at degree of saturation between 48 and 52 percent in a 4.01-inch-diameter, 1.0-inch-high ring, 2) apply a vertical seating pressure of 144 psf to the sample, 3) add water to the test cell and saturate the soil sample, 4) record the soil expansion until the expansion of soil sample stops. The volume of swell is converted to an expansion index. Laboratory expansion index test indicated an expansion index of 1 for the tested soil.

Table 1. Type and Quantity of Laboratory Test

Laboratory Test	Quantity	ASTM Standard
Expansion Index	1	D-4829

Table 2. Result of the Expansion Index Test

Location	Depth ft	Soil Description	Expansion Index
Onsite	--	Light brown crushed sandstone	1

GeoDynamics, Inc.Applied Earth Sciences
Geotechnical Engineering & Engineering Geology ConsultantsDate: November 24, 2015
GDI #: 15.00103.0205**CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET**

To: ~~Valerie Barboise~~ *Michelle*

Project Location: 27306 Oak Summit Road, Agoura Hills, California.

Building & Safety #: CUP-01118-2015/VAR-01119-2015

Geotechnical Report: Schick Geotechnical, Inc. (2015), "Response to City Correction Letter, Lot 107, Tract 29675, 27306 Oak Summit Road, Agoura Hills, California," Project Number SG 8896-W, dated October 13, 2015.

Schick Geotechnical, Inc. (2013), "Geologic and Soils Engineering Exploration, Proposed Residence, Lot 107, Tract 29675, 27306 Oak Summit Road, Agoura Hills, California," Project Number SG 8096-W, dated September 4, 2013.

Plans: Kerry Gold Design Group (undated), "New Residence for BX Construction", Sheets A1-A5, L-1 through L-10, and Several survey & Grading plans".

Alan Bernstein AIA + ASLA (2015), "Landscape Plans for 27306 Oak Summit Road, Agoura Hills, California, 91301", Sheets L-1.0-L-10.0.

Betz Civil Engineers and Land Surveyors (2014), "Slope Density Study" 1 Sheet.

West Coast Technical Consultants, Inc. (undated), "Grading and Drainage Plan for Lot 107, Tract No. 29756, Agoura Hills, CA", Sheet C1.02 & C1.03.

Previous Reviews: July 14, 2015

FINDINGS**Planning/Feasibility Issues**

- Acceptable as Presented
- Response Required

Geotechnical Report

- Acceptable as Presented
- Response Required

REMARKS


Schick Geotechnical, Inc. (SGI; consultant) provided a response to the City of Agoura Hills geotechnical review letter dated July 14, 2015 regarding the residence proposed at 27306 Oak Summit Road, in the City of Agoura Hills, California. The proposed development includes the construction of a single-family residence with two levels of living space over a garage constructed a few feet above street grade. The structure will incorporate a series of retaining walls to create the floor levels. Separate retaining walls will be used to create a level rear yard. Retaining walls will range up to about 14 feet high. Other associated improvements include landscaping and flatwork. The structure will be of frame and stucco above a pile-supported foundation system.

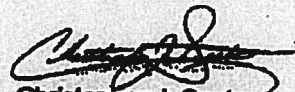
The City of Agoura Hills - Planning Department reviewed the referenced reports from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon a review of the submitted reports, we recommend the Planning Commission consider approval of Case # CUP-01118-2015/VAR-01119-2015. The Consultant should respond to the following Report Review comments prior to Building Plan-Check Approval. Plan-Check comments should be addressed in Building & Safety Plan Check. A separate geotechnical submittal is not required for plan-check comments.

10. Provide a note on the grading and foundation plans that states: "An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."

If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,
GeoDynamics, INC.


Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/15)


Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/16)