



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: April 7, 2016

APPLICANT: Pouya Payan
16816 Harper Street
Encino, CA 91436

TO: Planning Commission

CASE NOS.: CUP-01080-2015 and VAR-01081-2015

LOCATION: 28254 Laura La Plante Drive
(A.P.N. 2061-017-007)

REQUEST: Request for approval of a Conditional Use Permit to construct a 2,549 square-foot residence and a 577 square-foot, attached, two-car garage; a request for a Variance from Zoning Ordinance Section 9243.3.F to provide 18-foot combined side yards instead of the minimum 22 feet and to provide a side yard setback less than the 10-foot minimum; and from Section 9606.2.D to construct retaining walls in excess of 3.5 feet in height in the front yard area and 6 feet in height in other yard areas.

ENVIRONMENTAL DETERMINATION: Exempt from CEQA per Section 15303(a)

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. CUP-01080-2015 and Variance Request VAR-01081-2015 subject to conditions, based on the findings of the attached Draft Resolution.

ZONE DESIGNATION: RS-(2)-20,000-IH (Residential Single-Family – Indian Hills Design Overlay District)

GENERAL PLAN DESIGNATION: RS – Residential Single-Family

PROJECT BACKGROUND AND DESCRIPTION

The applicant is requesting approval of a Conditional Use Permit (CUP) to construct a 2,549 square-foot, two-story, single-family residence and a tucked-under, 577 square-foot, two-car garage on a vacant lot. A CUP is required for proposed development on lots with an average topographic slope in excess of ten percent. In this instance, the average topographic slope of the property is 35 percent. The subject parcel is located on the south side of Laura La Plante Drive, approximately 100 feet from the intersection of Laura La Plante Drive and Lewis Road. The in-fill lot is 6,068 square feet in size and is located in the Residential Single-Family (RS) and the Indian Hills (IH) Design Overlay zones. The applicant is applying for a Variance for the following: (1) deviate from the minimum ten-foot side yard setback to provide eight (8) feet of setback on the west and deviate from the required total combined side yard setback of 22 feet by providing 18 feet total combined; (2) provide retaining walls with a height in excess of three and a one-half (3.5) feet in the front yard area; and (3) provide retaining walls with a height in excess of six (6) feet in other yard areas. An analysis of the Variance request is provided further below for the Planning Commission's review.

Listed below are the proposed development data pertaining to the project:

Development Standards	Existing	Proposed	Allowed/ Required
1. Lot Size	6,068 sq.ft.	Same	20,000 sq.ft.
2. Lot Width	52 ft.	Same	90 ft.
3. Lot Depth	112 ft.	Same	100 ft.
4. Building Size			
House:			
First Floor	None	1,304 sq.ft.	n/a
Second Floor	None	<u>1,245 sq.ft.</u>	n/a
		2,549 sq.ft.	
Garage:	None	577 sq.ft	n/a
5. Building Height¹			
a. Hillside Lots:	None	15 ft.	15 ft. at rear setback line
b. Overall Structure:	None	35 ft.	35 ft. from average grade
6. Lot Coverage²	None	23.6%	35% max.

¹ Hillside lots have two maximum height standards: 1. Maximum height of the structure at the rear yard setback line because the rear of the lot is higher than the front and 2. The overall height of the house as viewed from the street.

² The lot coverage includes only the footprint of all the structures.

7. Building Setbacks	None	Front: 26 to 39 ft.	25 ft. min.
		Rear: 25.5 to 33.5 ft	25 ft. min.
		Side: 8 and 10 ft.	10 and 12 ft. min.

STAFF ANALYSIS

A. Site Plan

This small, steeply sloped and irregularly shaped lot provides challenges in meeting the Residential – Single Family (RS) zoning and hillside zoning standards. The existing, non-conforming lot is 6,068 square feet in size, smaller than the required minimum lot size of 20,000 square feet. The lot width and public street frontage is less than the required minimums. As such, the lot is existing, non-conforming relative to the size requirements. Per Municipal Code Section 9702(A), however, a legally created lot that no longer conforms to the lot size standards of the zoning district is considered “non-detrimental” and otherwise permitted uses within the district are permitted on such lots, subject to all other provisions of the district.

The proposed location of the house on the site is intended to minimize encroachments into all required side yards, meet the slope requirement for the driveway approach into the garage and meet the maximum allowed height of the house in the rear of the lot. The house is a two-story design with a tucked under garage. The overall building height is 35 feet, which complies with the maximum allowable height of the RS zone and it also complies with the maximum height of the roof line of 15 feet above the rear setback line per the Hillside Ordinance (Municipal Code Section 9607.1.A). The project meets the setback in the front and the rear yards of a minimum of 25 feet with 26-29 feet in the front and 25-33.5 in the rear. The house would be placed at 25 feet from the closest corner of the structure to the front property line and 35 feet to the furthest corner of the structure to the front property line for an average of 30 feet. The house would be set back 25.5 feet to the closest point of the rear property line and 32.5 at the furthest point of the rear property line for an average of 29 feet.

Section 9652.13.B of the Municipal Code requires residential lots with a slope of 35 percent to reserve 92.5 percent of the site as open space. The section further provides that in the event of the foregoing opening space limitations would prohibit the use of the parcel otherwise permitted (i.e. a single-family residence), one residential dwelling unit shall be permitted on the parcel provided, among other items, that the parcel was lawfully created prior to the adoption of this Municipal Code section; a private septic system will not be installed for a dwelling unit on a parcel of less than one acre; and a Conditional Use Permit (CUP) is granted. The proposed project would meet the three necessary conditions, despite the reduced open space coverage of 872 square feet or 14.37 percent of the total parcel. Without this exception, the minimum open space requirement would be 5,613 square feet which would restrict the development area to 455 square feet.

Section 9605.6 discusses projections in the front and rear yards. It states that a balcony may project no more than six (6) feet into a required yard provided that such structure will not reduce a yard to less than five (5) feet. It further explains that such structure

shall be cantilevered or supported only by necessary columns. Finally, a balcony projecting from a higher story may extend over a lower balcony and shall not be deemed a roof for the lower balcony. The project proposes two balconies on the front elevation and one on the rear elevation. One corner of the front balconies encroaches a maximum of six (6) feet in the front yard leaving a yard of 19 feet. One corner of the rear balcony encroaches a maximum of four (4) feet in the rear yard, resulting in a yard of 21 feet. As designed, the project complies with this provision of the Zoning Ordinance.

The RS zone requires a side yard setback of 22 feet combined, with no less than ten (10) feet on any one side. The proposed side yard setback along the eastern property line ranges from the narrowest distance of ten (10) feet to the widest distance of 14.5 feet for an average of 12.25 feet. Along the western property line, however, the proposed distance between the house and the property line is eight (8) feet along the full length, instead of the required minimum 12 feet. So, the project requires a Variance that would permit a reduction in the minimum side yard on one side, and from a 22-foot combined required side yard setback to a proposed 18-foot combined side yard setback. The request represents a 22 percent overall reduction of the combined setback requirement.

In order to provide a building pad and outdoor space around the home (on all sides, and particularly in the rear yard) on this steeply sloped lot, and given the limited availability of flat land area on the property, retaining walls are needed along sloped areas. Per the Building and Safety Department's requirement, the rear retaining wall must be set back a minimum of 15 feet from the structure and the side retaining wall a minimum of five feet. In this case, there is not enough room on the site to stack multiple six (6)-foot high retaining walls to achieve the same result, so the applicant proposes to build two walls, one six (6) feet high and one (9) feet high. The exposed face of the wall, which constitutes the height of the wall, will be (9) feet at its highest point and will be reduced to six (6) feet as it connects to the side retaining walls. The walls, which are proposed along the sides of the property, gradually decreases in height to reach 42 inches in the front yard on the west side and 48 inches on the east side. Most of the wall areas are below the adjacent grades so they are not visible from the neighbors' properties. Although the wall is below the grade of the adjacent properties, the exposed face of the wall from the finished grade to the top of the wall is still subject to the maximum height requirement. The applicant requests a Variance to exceed the maximum allowable height of the wall by 50 percent from six (6) feet to nine (9) feet. The slope of the site, and the need to cut into the hillside in this area to construct the residence, along with the limited space available to design a series of retaining walls less than six (6) feet each to achieve the same result, necessitates the construction of a taller retaining wall along the rear and side yards.

The retaining wall Variance request also includes retaining walls that are proposed to be constructed in the front yard. The Zoning Ordinance restricts the height of those walls to three and one half (3.5) feet whether these walls are used as garden walls above ground or as retaining walls and below the average grade. Although the walls are at the maximum allowable six (6) feet in height as permitted in any other areas of the lot, the proposed walls are located in the front yard and consequently must adhere to the height restriction of three and one half (3.5) feet as specified by Section 9606.2.A. In this case, the proposed walls are required to support the slope along the west side of the driveway

to comply with Fire Department access requirements. The Zoning Ordinance also permits a guard rail above the retaining wall, the height of which may vary depending on the total height of the retaining portion of the wall.

Staff determined the square footage of the other nearby residences for comparison and to evaluate the potential compatibility between the proposed home and the neighborhood. A square footage analysis of the residential properties surveyed with known square footage of the residence and the size of the parcels is provided to further evaluate compatibility. A survey of the 50 built homes located in the vicinity revealed square footages varying from 812 to 3,008 square feet. Lot sizes varied from 3,721 to 23,889 square feet. With the exception of one unusually large lot (23 acres), the average residence square footage for the cluster of residences was 2,000 with an average lot size of 9,009 square feet. In this case, the applicant is requesting a 2,549 square-foot house on a 6,068 square-foot lot. The ratio between the size of the living space and of the parcel, which represents a floor area ratio and typically expressed as a decimal number, is approximately 0.41 versus 0.22 based on the neighborhood average.

In evaluating the compatibility of the design and the size of the structure with other Indian Hills properties, staff found that the proposed residence design is similar to all other two story structures in the area.

B. Hillside Development

Section 9652.13.A of the Municipal Code establishes a dwelling density for parcels of various sizes and various slope percentages. The applicant's property is a single hillside lot, smaller than the lot size specified by the RS zone, and the size required for the existing slope percentage. The parcel is 6,068 square feet or 0.14 acres with a 35 percent slope. The minimum lot size for the zoning district is 20,000 square feet and the minimum average acreage per dwelling unit is one unit per 20 acres under the Hillside Ordinance. Therefore, the lot is existing, non-conforming in size. Additionally, Section 9652.13.B. requires that hillside lots provide a minimum square footage of open space on site. The Ordinance further states that lots with a 31-35 percent slope provide 92.5 percent of open space. On small parcels, this can be prohibitive to the construction. The project is only able to provide 14.37 percent of the total parcel as undeveloped area, or 872 square feet. The remainder of the space is occupied by the footprint of the residence and other structures required to provide access all around the residence. Section 9652.13. A and B of the Hillside Ordinance, however, provides that in hillside areas where the parcel of land contains an area of less than five (5) acres and the density or open space requirement would prohibit the use of such a parcel otherwise permitted, a CUP may be issued to allow one single-family home on the lot.

View preservation is also a requirement of hillside development. Per Section 9652.13.D, projects shall take into consideration viewsheds. The applicant has taken into consideration the potential impacts on the neighbors and their views by situating the residence on the lowest elevation of the lot; meeting the front and rear yard requirements of the zoning district; and meeting the height limitation for the zoning district. The roofline of the home is below the property ridgeline at the rear of the lot.

As addressed further below, the project would be required to comply with measures to minimize storm water pollution, erosion, and other drainage impacts, and the project has been conditioned as such. In addition, as discussed in further detail below, the architectural style of the proposed dwelling is contemporary with a flat roof, articulated elevations which adapts more easily to this irregularly shaped lot. The building colors and materials are compatible with neighboring residences. Furthermore, the project was conditioned to provide more native species in the rear yard and more naturalistic planting in consideration of the site's location adjacent to open space areas. Therefore, the proposed project would comply with the building design and landscaping requirements of the City's Hillside Ordinance.

Other qualitative measures of the development on hillside lots include the location of buildings in relation to ridgelines. The General Plan identifies a primary ridgeline at 1,200 feet above sea water along the southern City boundary between the Indian Hills residential neighborhood and the southern City boundary. The project property boundary is located over 800 feet from and 200 feet below the primary ridgeline so the view of the ridgeline is protected.

C. Architectural Design

The residence is a two-story contemporary design with a garage immediately below. The design reflects the steep and narrow characteristics of the site. The contemporary design allows the building envelope to follow the angled property lines and be leaner where the lot is narrower, whereas a more traditional style of architecture may require a more boxy and less flexible design. Portions of the building are set back vertically and horizontally to further minimize the impacts of the mass. The walls are proposed to be stuccoed with a dark grey color with reveal lines.

Bronze windows with single panes were selected. A glass handrail for the lower balcony allows for views. The second story and the second floor balcony cantilever over the first floor to create a patio cover for the balcony below. The front door would be a wooden door stained in a light brown tone and the garage door would be a metal sectional painted to match the stucco. The applicant also proposes a concrete driveway. The applicant provided a roof with a well where the air conditioning equipment would be located, eliminating visual impacts and noise impacts to neighbors.

The Architectural Review Panel typically recommends that designs include offsetting the first floor and the second floor to provide a non-uniform footprint, adding balconies, adding windows or other architectural features, extending roof overhangs, and providing interesting roof lines, all of which this design accomplishes. The Panel made further recommendations regarding the landscaping and suggested additional screening of the retaining wall in the rear yard to maintain the look of a natural hillside that the neighbors are accustomed to seeing.

Two-story custom homes are prevalent in the neighborhood, as the typical width of a lot in Indian Hills precludes expansive single-story floor plans or many options to enter the house. The east and west elevation windows are strategically placed to minimize impacts on the neighbors' privacy. The first floor windows on the east elevation would be

screened by the retaining wall built to support the side yard. The second floor windows, which provide lighting into a master bedroom, second bathroom and laundry room, would be proposed with either curtains or translucent glass. The first floor windows on the west elevation would be partially screened from neighboring views by a retaining wall, and few windows are provided on the second floor in order to reduce potential impacts to the adjacent properties to the west. The second floor windows are functional as they were designed to provide lighting and ventilation for two bathrooms rather than for view purposes.

Some neighbors expressed concerns to staff regarding view protection and the compatibility of the architectural style with the existing residences in the neighborhood. Indian Hills neighborhood consists of custom homes built over several decades and does not have one dominant style of architecture. The existing homes are two and three levels. One other house was approved on Laura La Plante Drive with a flat roof, similar to that proposed. The project designer lowered the height of the structure by reducing the plate height for each floor. The designer also added a rear yard retaining wall in front of the taller retaining wall to screen the first wall with a landscaping planter. The project is conditioned to provide larger starting plant material so the landscaping would reach maturity sooner and provide the intended screening and blending effects. Furthermore, the project provides solid shades for the second story windows to increase privacy to the neighbors.

D. Landscaping

With regard to the landscaping, hillside properties must be landscaped for slope stabilization. As a matter of safety once the soil is exposed and new slopes are created, landscaping should be reintroduced. The slopes will need to be planted with a plant material acceptable to the City Landscape Consultant and the irrigation system reviewed in order to eliminate possible slope failure. The project includes landscaping in all the yard areas and specifically along the east and west sides of the property where the property line is closest to the adjacent structures. The preliminary Landscape Plan shows some species in the rear yard that are not locally native. Given the site's location near a Significant Ecological Area and preserved open space of the Santa Monica Mountains to the south, a condition has been added to require all vegetation planted in the rear yard to be locally native. The City Landscape Consultant has conditioned the project accordingly.

E. Engineering

The applicant has estimated 800 cubic yards of cut soil and an equal quantity as export and no import of soil is required. The parcel is encumbered by an access easement at the northwest corner of the driveway. The easement requires the applicant to allow his neighbor to use the applicant's front yard to access his own property. The easement will remain after the development of the parcel and does not require any modifications to it. The Engineering Department has conditioned the applicant to obtain the neighbors' approval before a grading permit is issued. The document would detail the work to be performed in the easement area specifically pertaining to above ground and below ground

structures so the neighbor can make arrangements to exit and enter his/her property during the construction phase.

A Hydrology Report was prepared by Tala Associates and approved by the Engineering Department. Upon project construction, the existing drainage pattern would be maintained with runoff draining toward Laura La Plante Drive. Curb and drain outlets would be constructed at the storm drain outlets to control the effects of erosion. "Low Impact Development" measures to protect water quality that are part of the Agoura Hills Municipal Code require the treatment of water before it is released into the storm drain system. In this case, the water would be filtered before it reaches the rip rap at the outlets.

The applicant would be required to provide a pavement overlay on Laura La Plante Drive the length of the parcel frontage as a result of new services being placed in the roadway and the roadway shall be finished with curb and gutter. No other street improvements are required. The applicant would be connecting to a sewer line located on Lewis Road, 100 feet away.

Other than a five-foot wide pedestrian access all around the residence, the Fire Department has not requested additional improvements on the site.

F. Geotechnical

The City's Geotechnical Consultant has reviewed the geotechnical report prepared by West Coast Geotechnical for this project and finds the project acceptable with certain conditions. The conditions are included in Exhibit A attached to the Conditional Use Permit draft Resolution of Approval.

G. General Plan Consistency

The project would be consistent with the following applicable General Plan goals and policies:

Goal LU-7 Livable and Quality Neighborhoods

Neighborhoods that provide a variety of housing types, densities, and design, and a mix of uses and services that support the needs of their residents.

- Policy LU-7-1 Neighborhoods Conservation. Maintain the uses, densities, character, amenities, and quality of Agoura Hills' residential neighborhoods, recognizing their contribution to the City's identity, economic value, and quality of life for residents.

The project complies with Goal LU-7 in that the project is a single-family residence comparable to other single-family residences in the Indian Hills residential neighborhood in that it adheres to the building coverage, height, scale and commonly found stack design in the RS zone.

- Policy LU-7-2 Housing Character and Design. Require that new and renovated housing within existing single- and multi-family neighborhoods be located and designed to maintain their distinguishing characteristics and qualities, including prevailing lot sizes; building forms, scale, massing, and relationship to street frontages; architectural design; landscape; property setback; and comparable elements. Continue to implement the City's Architectural Design Standards and Guidelines to ensure that residential units are designed to sustain the high level of architectural design quality and the character of the existing lands forms that characterize the Agoura Hills neighborhoods, in consideration of the following principles as identified in the Standards and Guidelines.
 - Harmony with the natural land forms and native vegetation
 - Response to the local climate (through proper building orientation, appropriate glazing, use of overhangs, shading devices, native vegetation, etc.)
 - Reflection of the highest standards of adjacent buildings and the neighborhood style[s], proportions, colors, and materials

The project is consistent with the City's Architectural Design Standards and Guidelines recommendations with respect to design and form in relation to a narrow and steep lot. The contemporary design allows for a flat roof that minimizes view impacts on the hillside. The building incorporates balconies to provide various architectural features with shading devices, such as the wide roof overhang and horizontal bars to provide additional privacy. The dark sand colors of the building and the garage door help the structure blend in its environment by being a low reflecting, neutral color. The proposed single-family residence conforms to the required building coverage, height, front and rear yard setbacks for the RS zone, and scale and massing by breaking up the building envelope vertically and horizontally for the first and second floors.

Goal LU-9 Single Family Neighborhoods

Maintenance of the identity, scale and character of the City's distinct residential neighborhoods.

- Policy LU-9.1 Neighborhood Identity. Maintain the distinguishing characteristics that differentiate by topography, parcel size, housing scale and form, and public streetscapes in Agoura Hills' single-family neighborhoods.

The project complies with Goal LU-9 and Policy LU-9.1 by remaining in scale with the other residences in the neighborhood. The house is designed with a tucked-under garage which allows for a narrower footprint and a flat roof to reduce the effect of the mass as viewed from the street. The front yard improvements are limited to a driveway and a stair case to the front door. The transition into the private property from the public roadway will be like the adjacent properties with a rolled curb. The side yards are used for access to the rear yard. As proposed, the project complies with the Goal LU-9 and Policy LU-9.1.

Goal LU-31 Hillside Neighborhoods

A predominantly hillside open space area with limited residential development at low densities, and reflecting the area's slopes and natural topography.

- Policy LU-31.3 Site Design and Development. Require that housing units be located and designed to reflect the area's hillside topography and natural landscapes, with their footprints conforming to topographic contours, orientation to preserve view corridors, and form and massing scaled to be subordinate to the natural setting.

Although the lot is small and non-conforming, the project complies with Goal LU-31 by placing the house at the lowest elevation possible and maintaining the same orientation as existing homes on the north and south side of Laura La Plante Drive, and providing a building envelope that is narrow to fit in the width of the lot. The project remains in scale with the neighborhood average square footage and location on the lot. As proposed, the building does not encroach further into the hillside than the other residences on the same street.

- Policy LU-31.5 Landscapes. Require that developed landscapes respect and transition with those of surrounding natural open spaces, while providing adequate fire protection.

As conditioned, the project complies with Policy LU-31.5 by providing native landscaping consistent with the adjacent hillside and open spaces areas and complying with the Los Angeles County Fire Department – Fuel Modification Division's requirement to not contribute to the fuelling zones.

H. Environmental Review

Staff has determined the proposed project of a single-family residence is Categorically Exempt from the California Environmental Quality Act (CEQA), in accordance with Section 15303(a) (New Construction or Conversion of Small Structures). No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines including but not limited to subsection (c) which relates to unusual circumstances.

I. Variance Request Summary

The applicant is requesting a Variance from three provisions of the Zoning Ordinance: (1) Section 9243.3.F to allow a reduced side yard setback for the proposed project; and (2) Section 9606.2.A to allow a retaining wall exceeding the maximum height in a front yard area; and (3) Section 9606.2.D to allow a retaining wall exceeding the maximum height in the rear yard area.

In order for the Planning Commission to grant approval of the Variance, each of the following five (5) findings must be made pursuant to Section 9676.2.E. of the Zoning Ordinance:

1. Required Finding:

Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other property owners in the vicinity and under identical zoning classification.

Staff Analysis

The RS zone requires a 22-foot combined side yard setback from the structure to the side property lines and no less than ten (10) feet on any one side. As proposed, there would be a total side yard setback of 18 feet and the western side yard setback would be eight (8) feet. The lot width varies from 50 feet at the front to 64 feet at the rear. The applicant has proposed the narrow side yard on the west, where the adjacent residences are placed the furthest from the property line and the widest side yard (east) where the adjacent residence is the closest to the property line. In the Indian Hills neighborhood, many side yards are non-conforming given the smaller sized lots. Variances for reduced side, front and rear yard setbacks have been approved in order for a residence to be constructed. In particular, this small, non-conforming lot of 6,068 square feet (less than the allowed minimum lot size of 20,000 square feet), is steeply sloped and irregular in shape. Unless a variance is issued for the side yard setback, the property could not be developed in a manner consistent with other, similar sized property in the Indian Hills neighborhood. The applicant is mindful of the impacts to the neighboring houses and has attempted to limit privacy impacts on neighboring yards by strategically placing the windows on the east and west elevations so there are no direct views to the neighbors side and rear yards.

As the lot is steeply sloped, the topography requires the use of retaining walls in the front yard for pedestrian and vehicular access that exceed the maximum allowed three and one-half (3.5) feet tall in the front yard. These walls will be concealed by landscaping, as they are built as part of a landscape planter. The highest wall proposed in the front yard setback (6 feet high) does not exceed the maximum allowable retaining wall height that can be built outside of the front yard setback area. One retaining wall up to 9 feet high is proposed along the rear yard to create a building pad and outdoor space around the residence on this steep hillside lot. To avoid such tall retaining walls, an option is to create a series of lower walls of no greater than six (6) feet in height. However, this would necessitate a much larger horizontal area, which is not available on this small, non-conforming size lot.

2. Required Finding:

The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone.

Staff Analysis

Some neighboring homes in the Indian Hills community on similar sized lots have non-conforming setbacks all around. The proposed narrow side yard was chosen on the west side where off-site structures are located at the furthest point from the property line of this site in order to maximize the effect of having structures close to one another. The size of the proposed home and the amount of hardscape are similar to most residential properties in Indian Hills. Given that other properties in the neighborhood share characteristics of this property, the Variance will not constitute a grant of special privileges.

The retaining walls are necessary to provide a building pad and yard areas, given the steep slope on the site.

3. Required Finding:

The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance.

Staff Analysis

If strictly enforced, the sideyards' setbacks would reduce the width of the structure even further and cause the rooms to be impractical in size and shape. The site's western property line abuts the rear yard of three properties. The alignment of the residences on these lots veer away from the proposed house in a southwest direction, providing a separation between structures of 32 to 34 feet, diminishing the impacts of the reduced side yard on adjacent yards and residences.

The location of the proposed residence provides for the required front yard setback. However, given the steep slope of the site, retaining walls exceeding three and one-half (3.5) feet are necessary in the front yard setback. If the building footprint is located closer to the front property line, walls may not be required in the front yard area. Yet, the minimum front yard setback would not be met in that circumstance. Retaining walls exceeding six (6) feet high are necessary along the side and rear property lines due to the steep slopes and need to accommodate a building pad and limited outdoor spaces on a small lot.

4. Required Finding:

The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity.

Staff Analysis

The reduced side yard setback will still allow for access all around the house as required by the Los Angeles County Fire Department. The City Geotechnical Consultant and the Building Official have approved the project in concept for the required minimum distance between retaining walls and the main structure to protect life and property. Furthermore, the slopes are required to be landscaped to stabilize the soils and the drainage was analyzed so as to not impact neighboring properties.

The walls will comply with the Building Code requirement and will not impeach views to the traffic travelling eastbound on Laura La Plante Drive and will not block neighbors' access into their property.

5. Required Finding:

The granting of the Variance will be consistent with the character of the surrounding area.

Staff Analysis

Many of the existing homes in the vicinity of the proposed site are located on small and non-conforming lots in terms of size and have non-conforming side yards. The proposed design reflects an effort to preserve the neighbors' privacy by locating the reduced side yard setback on the west side, where existing off-site homes are further away. The proposed residence's square footage is similar to those in the vicinity as well as the building coverage.

The retaining walls are similar to those in the neighborhood, which are also greater than six (6) feet high, and will be screened from public view with climbing landscaping.

RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. CUP-01080-2015 and Variance Request Case No. VAR-01081-2015, subject to conditions, based on the findings of the attached Draft Resolutions.

ATTACHMENTS

1. Draft Resolution for Conditional Use Permit with Exhibit A Conditions of Approval
2. Draft Resolution for Variance Request with Exhibit A Conditions of Approval
3. Vicinity Map
4. Reduced Copies of Project Plans
5. Photographs of Surrounding Properties, Photo-Simulations, and Color & Material Board

CASE PLANNER: Valerie Darbouze, Associate Planner



ATTACHMENT 1

**DRAFT RESOLUTION FOR CONDITIONAL USE PERMIT
WITH EXHIBIT A CONDITIONS OF APPROVAL**

DRAFT RESOLUTION NO. 16-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-01080-2015 FOR THE CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE LOCATED AT 28254 LAURA LA PLANTE DRIVE; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Pouya Payan with respect to the real property located at 28254 Laura La Plante Drive (Assessor's Parcel No. 2061-017-007), requesting approval of a Conditional Use Permit to allow the construction of a new 2,549 square-foot residence and a 577 square-foot, attached garage (Case No. CUP-01080-2015).

Section II. The project is a request for one single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303(a) (New Construction or Conversion of Small Structures). The project would not have a significant effect on the environment because it does not exceed the maximum allowable number of structures on one parcel and it is not located in an environmentally sensitive area. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines including but not limited to subsection (c) which relates to unusual circumstances.

Section III. The Planning Commission of the City of Agoura Hills considered the applications at a public hearing held on April 7, 2016 at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Conditional Use Permit.

Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds for the Conditional Use Permit, pursuant to Section 9673.2.E. of the Agoura Hills Zoning Ordinance, that:

A. The proposed use, as conditioned, is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located, and will comply with each of the applicable provisions of the Zoning Ordinance. The proposed project is located within the Residential Single-Family District zone and the Indian Hills Design Overlay District, which allows for the development of single-family residences. Although the subject parcel does not meet the minimum lot size required for the district, Municipal Code Section 9702(A)

permits uses within the district on such non-conforming lots, subject to all other provisions of the district. With the exception of the variances, the City's minimum development standards have been met for the proposed two-story residence with regard to building front and rear yard, height, coverage and architectural design standards. The project is consistent with the Hillside Development standards in that it does not impact views of the hillsides and a primary ridgeline, and the property is proposed to be developed to minimize storm water pollution, erosion, and other drainage impacts. Furthermore, the project will be landscaped to blend with the adjacent open space zoned parcels.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The project will contribute to the aesthetic value of the neighborhood as a whole. The proposed contemporary architecture and building materials, which include gray colored stuccoed walls, a flat roof, metal and glass guardrails, is a better fit for this narrow and hillside lot. The project was reviewed by the City's Architectural Review Panel and was found to be in compliance with the City's Architectural Design Standards and Guidelines.

C. The proposed use, as conditioned, and the conditions under which the project will be operated or maintained will not be detrimental to the public health, safety or welfare, in that the proposed use will ensure adequate light, air, open space to surrounding properties and privacy by obscuring views from the second story windows. The proposed two-story structure provides sufficient separation between the proposed building and adjacent residences. Geological, geotechnical and drainage studies, as well as landscape plans, have been provided and approved by the City's Consultants. Vehicular access to the property will be provided via Laura La Plante Drive. The applicant will be required to provide a pavement overlay the length of the parcel frontage and to construct the project in full compliance with the City's Building Code. The site will be served by the public sewer system.

D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance, except for the portions of the project requiring variances. The project meets the development standards of the underlying zone relative to the required front, and rear yard setback, building coverage, height, and all but one hillside development standard. Section 9652.13.A provides that in hillside areas where the parcel of land contains an area of less than five (5) acres and the density or open space requirement would prohibit the use of such a parcel otherwise permitted, a Conditional Use Permit may be issued to allow one single-family home on the lot. Furthermore, Section 9652.13.B. states that one residential dwelling unit shall be permitted on a parcel when the project complies with all other hillside development criteria, in the event it exceeds the 7.5 percent development area established for a parcel with a 35 percent slope.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community. The eclectic neighborhood includes homes with various styles of architecture with one or two-stories. The contemporary style of the residence fits with the unique size and topography of the existing in-fill lot.

F. The proposed use, as conditioned, is consistent with the City's General Plan. The project complies with Goal LU-9 and Policy LU-9.1 in that it maintains the identity, scale and character of the Indian Hills neighborhood by providing a design similar to other residences with a

smaller footprint and tucked-under garage and meeting most of the development standards of the zone. The project is consistent with Goal LU-31 and Policy LU-31.3 and LU-31.5 which dictate that houses are designed to reflect the hillside topography and natural landscapes and appropriate landscape transition with the adjacent undeveloped properties while maintaining fire protection. The house is placed at the lowest elevation possible to preserve views, and as conditioned, provides native on-site landscaping. The planting will provide for a naturalistic landscape transition to the natural open space on the adjacent hillsides and comply with the Los Angeles County Fire Department Fuel Modification requirements.

Section VI. Hillside Development Review.

Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9652.15. A of the Agoura Hills Zoning Ordinance, that:

A. The proposed use, as conditioned, is located and designed so as to protect the safety of current and future community residents and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood mud flow, erosion hazards or other hazards. The City Geotechnical Consultant has reviewed the parcel and has concluded that the project, as conditioned, will not threaten life and property.

B. The proposed project, as conditioned, is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project is not located in a significant biotic area, preserved open space area, or known cultural resource area. The project does not protrude above protected ridges and complies with the minimum rear yard and front yard setbacks to minimize viewshed impacts. The placement of the second story windows also reduces privacy impacts to adjoining neighbors. The proposed landscaping would be planted in a naturalistic fashion, and would incorporate natives in the rear yard, with the goal to preserve the natural habitat in the Santa Monica Mountains near the Significant Ecological Area.

C. The proposed project can be provided with essential public services and is consistent with the objectives and policies of the general plan. All utility services will be brought to the parcel without interference to the existing infrastructure, and the project will connect to the sewer system. The project will be consistent with General Plan Goal LU-1 and Policy LU-1.2 that provide for well planned development, efficient use of the infrastructure and primarily infill of existing developed areas in that the site is an infill lot and public services are available to easily serve the site.

D. The proposed project will complement the community character and benefit current and future community residents. The proposed size is consistent with the average size of homes in the neighborhood and the neighbor's eclectic architectural style. Section 9652.13. A and B permit a home to be built on a non-conforming lot, as long as the lot is a legal lot created prior to the adoption of this Municipal Code section, connected to the public sewer system, and reviewed by way of a Conditional Use Permit, which this project has demonstrated.

Section VII. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. CUP-01080-2015, subject to the attached conditions, with respect to the property described in Section I hereof.

Section VIII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 7th day of April, 2016, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

John O'Meara, Chair

ATTEST

Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case Nos. CUP-01080-2015)

PLANNING DEPARTMENT CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicant has agreed in writing that he is aware of, and accept, all conditions of this permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plans, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Planning Director.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property for the primary residence, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless this permit is used within two (2) years from the date of City approval, Conditional Use Permit Case No. CUP-01080-2015 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of Building Permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.36 per square foot for residential construction. The fee will be increased on May 9, 2016, to \$3.48 per square-foot of residential construction.
15. If human remains are unearthed, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the developer/contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) thought to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assessed the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City."All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
16. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
17. A pre-construction conference shall be held prior to the issuance of a Grading Permit, with all construction personnel involved with the grading operations in attendance.
18. The applicant shall install curtains to the second floor windows and/or install translucent glass wherever possible to protect the neighbors' privacy.
19. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this Condition.
20. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, and employees from and against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves the right, at its own option, to choose

its own attorney to represent the City, its officers, employees, and agents in the defense of the matter.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

21. All exterior materials used for eaves, sidings, porch, patio, decks, carport, canopies and other similar structures shall meet the Very High Fire Hazard Severity Zone as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code.
22. A two percent (2%) slope away from the structure for drainage (on the first 5 feet) all around the new structure(s) shall be provided.
23. The applicant shall note on the final plans that all new windows will be tempered on at least one side of the dual pane, or a 20 minute rated window or glass blocks per Section 704A.3.2.2 of the 2013 California Building Code.
24. This project is subject to the 2013 California Building, Mechanical, Plumbing, Electrical, Energy Codes, and Green Building Codes and Agoura Hills Municipal Code.
25. Per AQMD Rule 445 only fireplaces fueled by gas (such as gas logs) may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted.
26. Fire Sprinklers will be required for all new structures per Section 903.2, Article VIII of the Agoura Hills Municipal Code 903.2.
27. A soils report is required to be submitted to the Building and Safety Department for this project.
28. Los Angeles County Fire Department review and approval will be required for all new structures.
29. Las Virgenes Municipal Water District approval will be required.

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

30. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
31. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.

32. Applicant shall pay all applicable Transportation Impact Fees (TIF) to the Building and Safety Department prior to the issuance of the Grading Permit. The current fee is \$3,094 per unit.
33. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements, monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
34. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals, water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
35. The Grading Plan shall show locations of all Oak trees, if any, within the vicinity of the site. Applicants shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak tree Consultant's conditions of approval, if any.
36. Prior to permitting, the applicants shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original Mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
37. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
38. Building Permits shall not be issued until the applicant has obtained a permit from Las Virgenes Municipal Water District for water and sewer connection.
39. Prior to permitting, the applicant shall provide a title report not older than 30 days.
40. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the City Engineering Department at (818) 597-7322 for approved City certification forms.
41. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved conditions of approval for the area. The applicant shall install a new driveway approach, install a 6 inch lateral for sewer connection, and all water appurtenances shall be per Las Virgenes Municipal Water District's standards.

42. The following existing street being cut for new services or being finished with curb and gutter shall require an asphalt concrete overlay: Laura La Plante Drive along the property frontage.
43. This property is within the Las Virgenes Municipal Water District's (LVMWD) service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
44. Applicant shall notify in writing the owner(s) of 28258 Laura La Plante Drive regarding the existing driveway approach and other improvements and/or planting that might be impacted during the construction of this project. Proof of this notification shall be provided to the City by the applicant.
45. Applicant shall connect to the existing 8-inch main sewer line in **Laura La Plante Drive** in front of this parcel. [Ref. Sewer Drawing # C02-0228-01]
46. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
47. Applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual, is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
48. This project shall be subject to the Low Impact Development (LID) requirements of Chapter 5 of Article V of the Agoura Hills Municipal Code.
49. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.

50. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
51. All remaining fees/deposits required by the Engineering Department must be paid in full prior to issuance of grading permit.
52. All requirements including construction of improvements covered in condition number 39 must be completed to the satisfaction of the City Engineer.
53. The applicants' Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City for City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (as-built) Drawings, satisfactory to the City, are submitted.
54. The applicants shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
55. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
56. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL CONDITIONS

57. The applicant shall comply with all the items in the City Geotechnical Consultant's (GeoDynamics, Inc.) Conditions of Approval memorandum dated May 7, 2015, which is incorporated herein by this reference.

LANDSCAPE AND IRRIGATION CONDITIONS

58. The Final Landscape Plans shall substantially conform to the Landscape Preliminary Plan prepared by Labyrinth Design Studio as approved by the City of Agoura Hills Planning Commission.

59. Prior to the approval of a Grading Permit, the applicant shall submit three (3) sets of Final Landscape and Irrigation Plans for review by the City Landscape Consultant and approval by the Planning Director. A California – licensed Landscape Architect shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of approval shall also be submitted with the Landscape and Irrigation Plans. The Landscape and Irrigation Plan shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.
60. At the time of the Final Landscape Plans submittal, the project Landscape Architect shall provide the City with written confirmation that he/she has reviewed the civil engineering drawings and that the Landscape Plan is not in conflict with the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID).
61. Planting Plans shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees shall be 24 inch box size, the vines, *Trachelospermum jasminoides* shall be 15 gallon size and attached to the wall, the minimum size of shrubs shall be 5 gallon except shrubs planted as groundcovers and or as accent planting, which may be 1 gallon size. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
62. The Final Landscape Plans shall include the following notes:
 - a. The project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans.
 - b. Identification of the total square footage of the landscape area within the project.
63. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system and calculations that demonstrate the landscape water use complies with the city adopted Model Water Efficient Landscape Ordinance.
64. With the Final Landscape Plans, three (3) copies of planting and irrigation details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, instillation details and post installation maintenance.
65. The approved landscaping shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
66. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.

67. The Final Landscape Plan shall be approved by the Fuel Modification Unit of the County of Los Angeles Fire Department prior to the issuance of a Building Permit.
68. Landscaping and irrigation installation shall be subject to inspection and approval by the Planning Department prior to final Building Permit inspection.
69. On the Final Landscape Plan, all species planted in the rear yard, which is adjacent to permanent open space and near a Significant Ecological Area, shall be locally native.

SOLID WASTE MANAGEMENT CONDITIONS

70. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
71. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
72. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END



ATTACHMENT 2

**DRAFT RESOLUTION FOR VARIANCE REQUEST
WITH EXHIBIT A CONDITIONS OF APPROVAL**

DRAFT RESOLUTION NO. 16-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING VARIANCE REQUEST CASE NO. VAR-01081-2015 TO PROVIDE 18-FOOT COMBINED SIDE YARDS INSTEAD OF THE MINIMUM 22 FEET AND TO PROVIDE A SIDE YARD SETBACK LESS THAN THE 10-FOOT MINIMUM; AND TO CONSTRUCT RETAINING WALLS IN EXCESS OF THREE AND ONE HALF FEET IN HEIGHT IN THE FRONT YARD AREA AND SIX FEET IN HEIGHT IN OTHER YARD AREAS FOR THE PROPERTY LOCATED AT 28254 LAURA LA PLANTE DRIVE; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Pouya Payan with respect to the real property located at 28254 Laura La Plante Drive (Assessor's Parcel No. 2061-017-007), requesting approval of a Variance to provide 18-foot combined side yards instead of the minimum 22 feet; to provide a side yard setback of eight feet (8) which is less than the ten (10)-foot minimum; and to construct a six (6) foot front yard retaining wall in excess of the maximum height of three and one half feet (3.5); and to construct nine (9) foot rear retaining wall in excess of the maximum height of six (6) feet in connection with constructing a 2,541 square-foot home and attached 577 square-foot garage (Case No. VAR-01081-2015).

Section II. The project is a request for one single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303(a) (New Construction or Conversion of Small Structures). The project would not have a significant effect on the environment because it does not exceed the maximum allowable number of structures on one parcel and it is not located in an environmentally sensitive area. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines including but not limited to subsection (c) which relates to unusual circumstances.

Section III. The Planning Commission of the City of Agoura Hills considered the application at a public hearing held on April 7, 2016, at 6:30 p.m. in the Council Chambers, City Hall, at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Sections 9676.2 and 9243.3.F. of the Agoura Hills Municipal Code, that:

Side Yard Setback:

- A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other property owners in the vicinity and under identical zoning classification. The RS zone requires a 22-foot combined side yard setback from the structure to the side property lines and no less than ten (10) feet on any one side. As proposed, there would be a total side yard setback of 18 feet and the western side yard setback would be eight (8) feet. The lot width varies from 50 feet at the front to 64 feet at the rear. The applicant has proposed the narrow side yard on the west, where the adjacent residences are placed the furthest from the property line and the widest side yard (east) where the adjacent residence is the closest to the property line. In the Indian Hills neighborhood, side yards are non-conforming given the smaller sized lots. Variances for reduced side, front and rear yard setbacks have been approved in order for a residence to be constructed. In particular, this small, non-conforming lot of 6,068 square feet (less than the allowed minimum lot size of 20,000 square feet), is steeply sloped and irregular in shape. Unless a variance is issued for the side yard setback, the property could not be developed in a manner consistent with other, similar sized properties in the Indian Hills neighborhood. The applicant is mindful of the impacts to the neighboring houses and has attempted to limit privacy impacts on neighboring yards by strategically placing the windows on the east and west elevations so there are no direct views to the neighbors side and rear yards.
- B. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone. Some neighboring homes in the Indian Hills community on similar sized lots have non-conforming setbacks all around. The proposed narrow side yard was chosen on the west side where off-site structures are located at the furthest point from the property line of this site in order to maximize the effect of having structures close to one another. The size of the proposed home and the amount of hardscape are similar to most residential properties in Indian Hills. Given that other properties in the neighborhood share characteristics of this property, the Variance will not constitute a grant of special privileges.
- C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. If strictly enforced, the minimum sideyards' setbacks would reduce the width of the structure even further and cause the rooms to be impractical in size and shape. The site's western property line abuts the rear yard of three properties. The alignment of the residences on these lots veer away from the

proposed house in a southwest direction, providing a separation between structures of 32 to 34 feet, diminishing the impacts of the reduced side yard on adjacent yards and residences.

- D. The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The reduced side yard setback will still allow for access all around the house as required by the Los Angeles County Fire Department. The City Geotechnical Consultant and the Building Official have approved the project in concept for the required minimum distance between retaining walls and the main structure to protect life and property. Furthermore, the slopes are required to be landscaped to stabilize the soils and the drainage was analyzed so as to not impact neighboring properties.
- E. The granting of the Variance will be consistent with the character of the surrounding area. Many of the existing homes in the vicinity of the proposed site are located on small and non-conforming lots in terms of size and have non-conforming side yards. The proposed design reflects an effort to preserve the neighbors' privacy by locating the reduced side yard setback on the west side, where existing off-site homes are further away. The proposed residence's square footage is similar to those in the vicinity as well as the building coverage.

Section VI. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9676.2 and 9606.2.D of the Agoura Hills Municipal Code, that:

Retaining Walls:

- A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other property owners in the vicinity and under identical zoning classification. As the lot is steeply sloped, the topography requires the use of retaining walls in the front yard for pedestrian and vehicular access that exceed the maximum allowed three and one-half (3.5) feet tall. These walls will be concealed by landscaping, as they are built as part of a landscape planter. The highest wall proposed in the front yard setback (6 feet high) does not exceed the maximum allowable retaining wall height that can be built outside of the front yard setback area. One retaining wall up to nine (9) feet high is proposed along the rear yard to create a building pad and outdoor space around the residence on this steep hillside lot. Although the applicant could potentially install a series of lower walls of no greater than six (6) feet in height in order to avoid such tall retaining walls. This approach would necessitate a much larger horizontal area, which is not available on this small, non-conforming size lot. With no other feasible option to adequately address retention, this Variance would ensure that the property can be developed into a single family home as other property owners in the vicinity have done under the same zoning classification.

- B. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone. The retaining walls are necessary to provide a building pad and yard areas, given the steep slope on the site. Other properties in the neighborhood have similar limitations with respect to hillside grading and in some circumstances would require a similarly sized retention wall.
- C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The location of the proposed residence provides for the required front yard setback. However, given the steep slope of the site, retaining walls exceeding three and one-half (3.5) feet are necessary in the front yard setback. If the building footprint is located closer to the front property line, walls may not be required in the front yard area. Yet, the minimum front yard setback would not be met in that circumstance. Retaining walls exceeding six (6) feet high are necessary along the side and rear property lines due to the steep slopes and need to accommodate a building pad and limited outdoor spaces on a small lot.
- D. The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The walls will comply with the Building Code requirement and will not impact views to the traffic travelling eastbound on Laura La Plante Drive and will not block neighbors' access into their property.
- E. The granting of the Variance will be consistent with the character of the surrounding area. The retaining walls are similar to retaining walls on other properties, which are also greater than six (6) feet high, and will be screened from public view with climbing landscaping.

Section VII. Based on the aforementioned findings, the Planning Commission hereby approves Variance Case No. VAR-01081-2015 subject to the attached conditions in Exhibit A with respect to the property described in Section I hereof.

Section VIII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 7th day of April, 2016, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John O'Meara, Chair

Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case No. VAR-01081-2015)

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all conditions of this permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits (Site Plan; Elevation Plans; Floor Plans, Roof Plan, and Grading Plan) approved on April 7, 2016.
4. It is hereby declared to be the intent that if any provision of this permit is held or declared to be invalid, the permit shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a condition of this action that if any condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. Unless the approval is used within two (2) years from the date of City approval, Case No. VAR-01081-2015 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
7. The Variance Case No. VAR-01081-2015 is valid only in conjunction with Conditional Use Permit Case No. CUP-01080-2015 and the conditions of approval therein.
8. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this Condition.
9. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, and employees from and against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter.

END



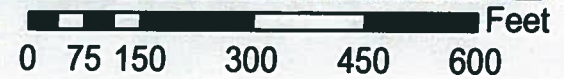
ATTACHMENT 3

VICINITY MAP

City of Agoura Hills

CONDITIONAL USE PERMIT CASE NO. CUP-01080-2015
VARIANCE REQUEST CASE NO. VAR-01081-2015

Vicinity/Zoning
Map





ATTACHMENT 4

REDUCED COPIES OF PROJECT PLANS

28254 LAURA LA PLANTE

AGOURA HILLS, CA 91301



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TEL: (310) 845-6462
E-MAIL: nimayy@gmail.com

PROJECT:
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OWNER:
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SHAHIN BENYAMIN
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E-MAIL: nimayy@gmail.com

VICINITY MAP



SHEET INDEX

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- A-1.0 TITLE SHEET
- A-1.2 SLOPE ANALYSIS 1
- A-1.3 SLOPE ANALYSIS 2 & 3
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- A-3.1 FIRST FLOOR & GARAGE PLAN
- A-3.2 SECOND FLOOR AND ROOF PLAN
- A-5.1 FRONT (SOUTH) ELEVATION & BACK (NORTH) ELEVATION
- A-5.2 EAST & WEST ELEVATION
- A-6.1 SECTION A-A LINE OF SIGHT & SECTION B-B
- A-6.2 SECTION @ RETAINING WALLS D-D & E-E
- A-6.3 SECTION C-C, SECTION F-F AND DETAILS
- A-8.0 DOOR AND WINDOW SCHEDULE
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- L-1 PLANTING PLAN
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- SHEET 2 OF 5 GRADING PLAN
- SHEET 3 OF 5 EROSION CONTROL PLAN
- SHEET 4 OF 5 DETAIL
- SHEET 5 OF 5 SUBMIT DETAIL

LEGAL DESCRIPTION

LEGAL DESCRIPTION:
TRACT: 6703
BLOCK: 6
LOT: 7
MAP REFERENCE NUMBER:
PARCEL ID NUMBER:
ASSESSOR PARCEL NUMBER: 2081-017-007

GENERAL NOTES

1. SEPARATE PERMIT NEEDS FOR (S.A.C. 304)
 - A. WALLS AND FENCING LOCATED WITHIN THE REAR FRONT SETBACK AND RETAINING WALLS.
 - B. GRADING, RETAINING WALLS, ELECTRICAL, MECHANICAL, AND PLUMBING
 - C. BRIDGING STAIRS
 - D. AUTOMATIC FIRE SPRINKLER SYSTEM
2. SEWER SHALL BE CAPPED AND APPROVED (OBTAIN PLUMBING PERMIT)
NOTE: IF THE STRUCTURE IS CONNECTED TO A SEWER, THE SEWER MUST BE CAPPED PRIOR TO THE ISSUANCE OF THE DEMOLITION PERMIT.
3. BUILDING OR STRUCTURES SHALL BE CONNECTED AS BEING FREE FROM ASBESTOS BY A CERTIFIED PERSON OR FIRM PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT.
4. BUILDING PERMIT IS NEEDED FOR:
 - A. ASBESTOS REMOVAL.
 - B. TREE REMOVAL.
 - C. GRADING.
5. A PRE-CONSTRUCTION MEETING IS NEEDED PRIOR TO BUILDING PERMIT.
6. DRAINAGE PIPING SERVING FIXTURES LOCATED BELOW THE MAIN SEWER LEVEL OR BELOW THE NEXT UPSTREAM MANHOLE SHALL BE PROTECTED FROM BACK FLOW WITH AN APPROVED BACKFLOW VALVE (UPC 710)
7. ALL BASIC DETECTORS SHALL BE 120 VOLT "STATE FIRE MARSHAL" APPROVED DEVICES INSTALLED IN ACCORDANCE WITH THEIR LISTING AND WITH A BATTERY BACK-UP.
8. AN APPROVED TYPE OF GARBAGE GRINDER READILY ACCESSIBLE AND PROPERLY CONNECTED TO THE SEWER BRANCH SHALL BE PROVIDED
9. A LICENSED SURVEYOR SHALL LAY OUT THE STRUCTURE ON THE SITE AND SHALL PROVIDE A CERTIFICATE AND PLAN INDICATING THE STRUCTURES ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS. SUCH CERTIFICATE OR PLAN SHALL BE SUBMITTED TO THIS DEPARTMENT PRIOR TO FOUNDATION INSPECTION.
10. AN APPROVED SANITARY TIE-IN SHALL BE PROVIDED FOR THE SITE PRIOR TO COMMENCING WORK. IT SHALL BE LOCATED WITHIN THE REAR 25' OF THE PROPERTY AND AT LEAST 30' FROM ANY OTHER PROPERTY LINE, UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL.
11. BUILDING INSPECTION SHALL NOT BE DONE UNLESS ELECTRICAL, PLUMBING AND MECHANICAL WORK HAS BEEN COMPLETED AND SIGNED OFF BY THE DEPARTMENT.
12. PLUMBING FIXTURES SHALL BE OF WATER CONSERVATION TYPE. ALL WATER CLOSET SHALL BE LOW FLUSH AND SHOWER HEAD LOW FLOW TYPE.
13. AN APPROVED TYPE OF GARBAGE GRINDER READILY ACCESSIBLE AND PROPERLY CONNECTED TO THE SEWER BRANCH SHALL BE PROVIDED
14. AN APPROVED SEISMIC GAS SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE METER AND BE READILY CONNECTED TO THE EXTENSION OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER URBANIZATION 17L874-FOR WORK OVER \$10,000.)
15. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE METER-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES (OVERHEAD OR HOT) THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

AREA TABULATION

LOT SIZE	IRREGULAR 50 FT. X 134 FT.			
LOT AREA	0,068 SQ. FT.			
DESCRIPTION	HVAC	FOOT PRINT	BASEMENT	FLOOR AREA
FIRST FLOOR	—	1,438 SQ. FT.	— SQ. FT.	1,304 SQ. FT.
SECOND FLOOR	—	—	—	1,245 SQ. FT.
SUB-TOTAL FLOOR AREA =		— SQ. FT.	—	2,549 SQ. FT.
GARAGE (U-1)		—	577 SQ. FT.	—
TOTAL =		1,438 SQ. FT.	577 SQ. FT.	2,549 SQ. FT.
TOTAL BUILDING AREA =		—		3,126 SQ. FT.
FOR AREA CALCULATION SEE SHEET A-1.0				
TOTAL IMPERVIOUS AREA = 2,469 S.F.				

PROJECT SUMMARY

ZONING	R1	
FIRE ZONE	MOUNTAIN FIRE DISTRICT	
OCCUPANCY	SINGLE FAMILY (R-3) WITH ATTACHED GARAGE (U-1)	
TYPE OF CONSTRUCTION	TYPE V - N, (SPRINKLERS)	
NO. OF STORIES	TWO STORY OVER GARAGE	
CODE	2013 CBC	
LOCATION	REQUIRED	PROVIDED
NO. OF PARKING	2	2
HEIGHT OF BUILDING	35'-0" (MAX.)	35'-0"
FRONT SET BACK	(25')	25'-0"
SIDE SET BACK	22'-0" COMBINED	18'-0" COMBINED
REAR SET BACK	25'-0" (MIN.)	25'-0"

DIRECTORY

OWNER	TOPOGRAPHIC SURVEYOR	FIRE PREVENTION / LAND DEV.
POUYA PAYAN & SHAHIN BENYAMIN 16816 HALPER STREET ENCINO, CA. 91436 TEL (818) 200-5005 E-MAIL: pouyapayan@gmail.com	NORICH SURVEYING 1 SUNSET RIVER IRVINE, CA 92604 TEL (949) 726-9067	NANCY RODEHEFFER 5823 RICKENBACKER RD. COMMERCE, CA, 90040 TEL (323) 890-4243
LANDSCAPE ARCHITECT	CIVIL ENGINEER	MECHANICAL & ELEC. ENGINEER
LABYRINTH DESIGN STUDIO NIMA PAYAN 1600 SAWTELLE BLVD. #230 LOS ANGELES, CA, 90025 TEL (310) 845-6462 E-MAIL: nimayy@gmail.com	LABYRINTH DESIGN STUDIO HAMID AZARBIN, C64515 1600 SAWTELLE BLVD. #230 LOS ANGELES, CA, 90025 TEL (818) 200-5005 E-MAIL: pouya@archi10.com	
GEOTECHNICAL ENGINEER	GEOLOGICAL ENGINEERING	STRUCTURAL ENGINEER
CAL WEST GEOTECHNICAL JESSICA BORDER 889 PIERCE COURT, SUITE 101 THOUSAND OAKS CA 91360 (818) 991-7148	LAND PHASES INC. JACOB W. HOLT 5158 COCHRAN STREET SIMI VALLEY, CA 93063 TEL (805) 522-5174	

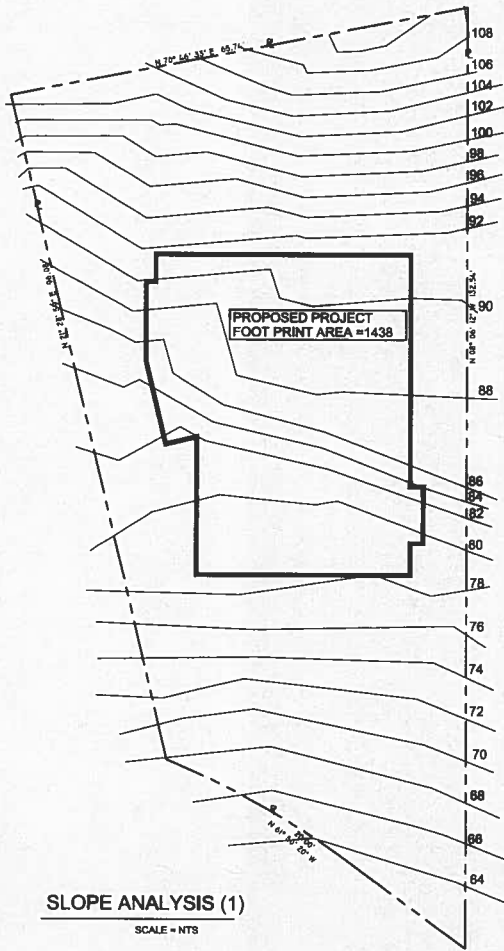
NO.	DATE	REVISION

SHEET TITLE

TITLE SHEET

SCALE: AS SHOWN
DRAWN: N.P.
START DATE: JULY 2014
JOB NUMBER: 28254 LAURA LA PLANTE
SHEET

A-1.0



TOTAL HEIGHT DIFFERENCE = 44'

$$S = \frac{I * L * 100}{A}$$

$$S = \frac{2 * 1065.5 * 100}{6068} = 35 \%$$

S = 35 %

MINIMUM OPEN SPACE SQUARE FOOTAGE = (6068*92.5 %) = 5613 Sq.Ft.

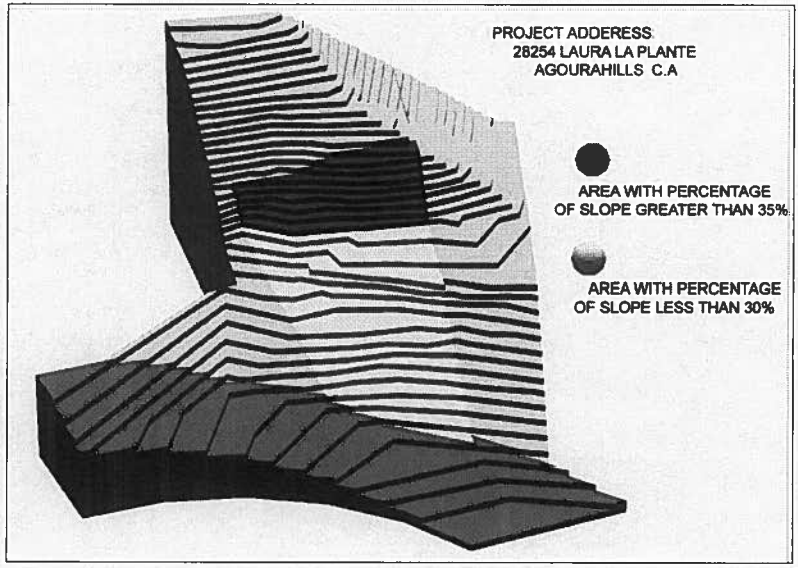
MAXIMUM AREA TO BE COVERED BY THE BUILDING = (6068*7.5 %) = 455 Sq.Ft.

NOTES

1. CONTOUR LINES ARE AT 2' INCREMENTS.
2. AREA = 6068 Sq.Ft. / AREA = 0.715 ACRES
3. RATIO OF STRUCTURES TO TOTAL LAND AREA = 0.249
4. RATIO OF PARKING SPACES TO BUILDING SQUARE FOOTAGE = 0.14
5. RATIO OF PARKING AREA TO TOTAL LAND AREA = 0.077
6. RATIO OF OPEN SPACE TO TOTAL LAND AREA = 0.751

PERCENT SLOPE	MINIMUM PERCENT OF PARCEL TO REMAIN IN OPEN SPACE	MAXIMUM PERCENT OF PARCEL TO BE COVERED BY BUILDING	HATCH TYPE
21-25	92.5	37.5	[Hatch pattern]
26-30	77.5	22.5	[Hatch pattern]
31-35	92.5	7.5	[Hatch pattern]
GREATER THAN 35	97.5	2.5	[Hatch pattern]

L = SUM OF THE LENGTH OF ALL CONTOUR LINES = 1065.5'
 I = CONTOUR LINE ELEVATION INTERVAL IN FEET = 2'
 A = NET AREA OF PARCEL IN SQUARE FEET = 6068
 S = AVERAGE SLOPE PERCENTAGE = 35 %

$$S = \frac{I * L * 100}{A}$$


14 02 2016
 02/17/2016

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PROJECT:
 SINGLE FAMILY RESIDENCE @
 28254 LAURA LA PLANTE
 AGOURA HILLS, CALIFORNIA

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NO.	DATE	REVISION
▲		
▲		
▲		
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▲		

SHEET TITLE
 SLOPE ANALYSIS
 1

SCALE: AS SHOWN
DRAWN: N.P.
START DATE: JULY 2014
JOB NUMBER: 28254 LAURA LA
SHEET

A-1.2



14 00 20 000
page 04 of 004

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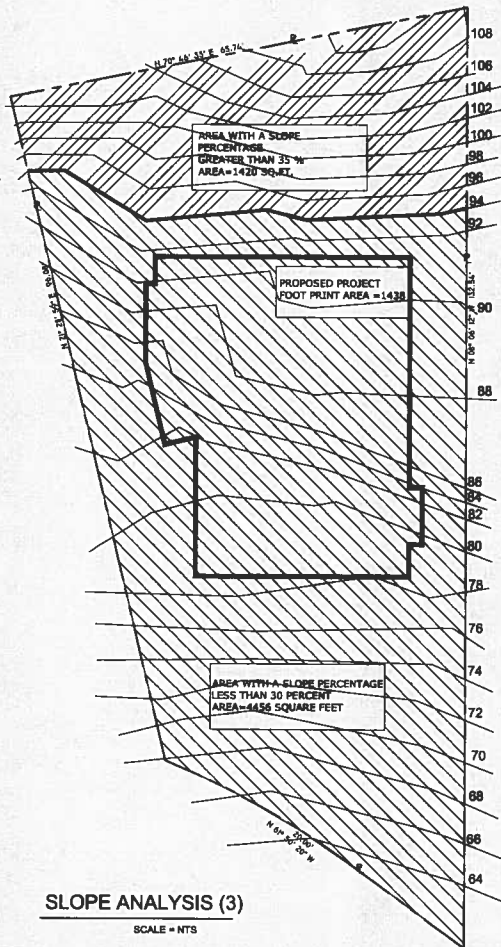
NO.	DATE	REVISIONS

SHEET TITLE
SLOPE ANALYSIS 2 & 3

SCALE: AS SHOWN
DRAWN: N.P.
START DATE: JULY 2014
JOB NUMBER: 28254 LAURA LA
SHEET

A-1.3

DRAWING DATE: 02/17/2018



HEIGHT DIFFERENCE =14'

$$S = \frac{2 * 414 * 100}{1420} = 58.3 \%$$

HEIGHT DIFFERENCE =30'

$$S = \frac{2 * 651 * 100}{4649} = 28.0 \%$$

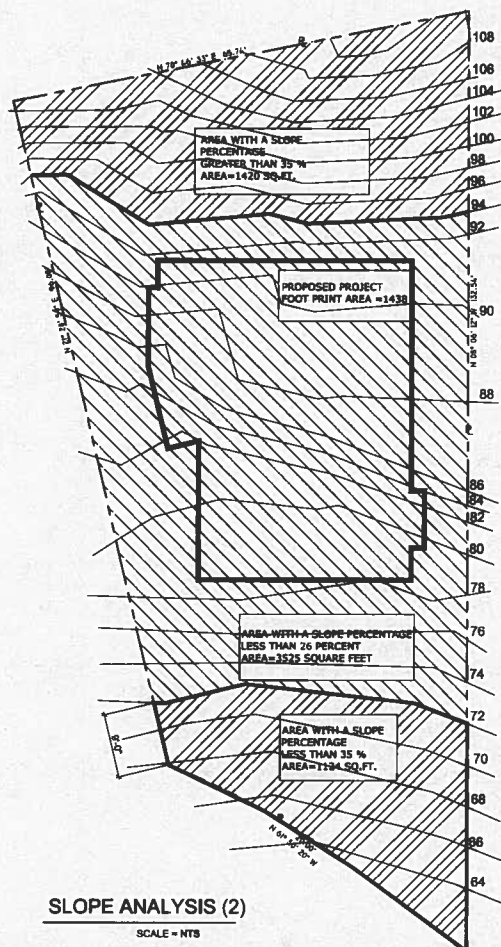
SLOPE ANALYSIS (3)

SCALE = NTS

MINIMUM OPEN SPACE SQUARE FOOTAGE =
(4649*77.5 %)+(1420 * 97.5) = 4987.5 Sq.Ft.

$\frac{\text{PROPOSED OPEN SPACE} * 100}{\text{MINIMUM OPEN SPACE SQUARE FOOTAGE}} = 82.18 \%$ PERCENT

MAXIMUM AREA TO BE COVERED BY THE BUILDING =
6068 - 4987.5 = 1080.5 Sq.Ft.



HEIGHT DIFFERENCE =14'

$$S = \frac{2 * 414 * 100}{1420} = 58.3 \%$$

HEIGHT DIFFERENCE =22'

$$S = \frac{2 * 455.5 * 100}{3525} = 25 \%$$

HEIGHT DIFFERENCE =8'

$$S = \frac{2 * 196 * 100}{1124} = 34.87 \%$$

SLOPE ANALYSIS (2)

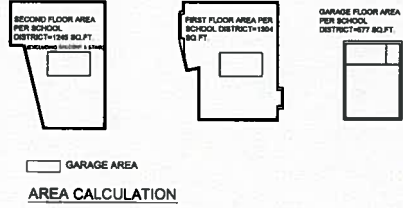
SCALE = NTS

MINIMUM OPEN SPACE SQUARE FOOTAGE =
(3525*62.5 %)+(1420 * 97.5 %)+(1124 * 92.5 %) = 4627.3 Sq.Ft.

$\frac{\text{PROPOSED OPEN SPACE} * 100}{\text{MINIMUM OPEN SPACE SQUARE FOOTAGE}} = 76.23 \%$ PERCENT

MAXIMUM AREA TO BE COVERED BY THE BUILDING =
6068 - 4627.3 = 1440.7 Sq.Ft. < 1438 Sq.Ft. PROPOSED PROJECT

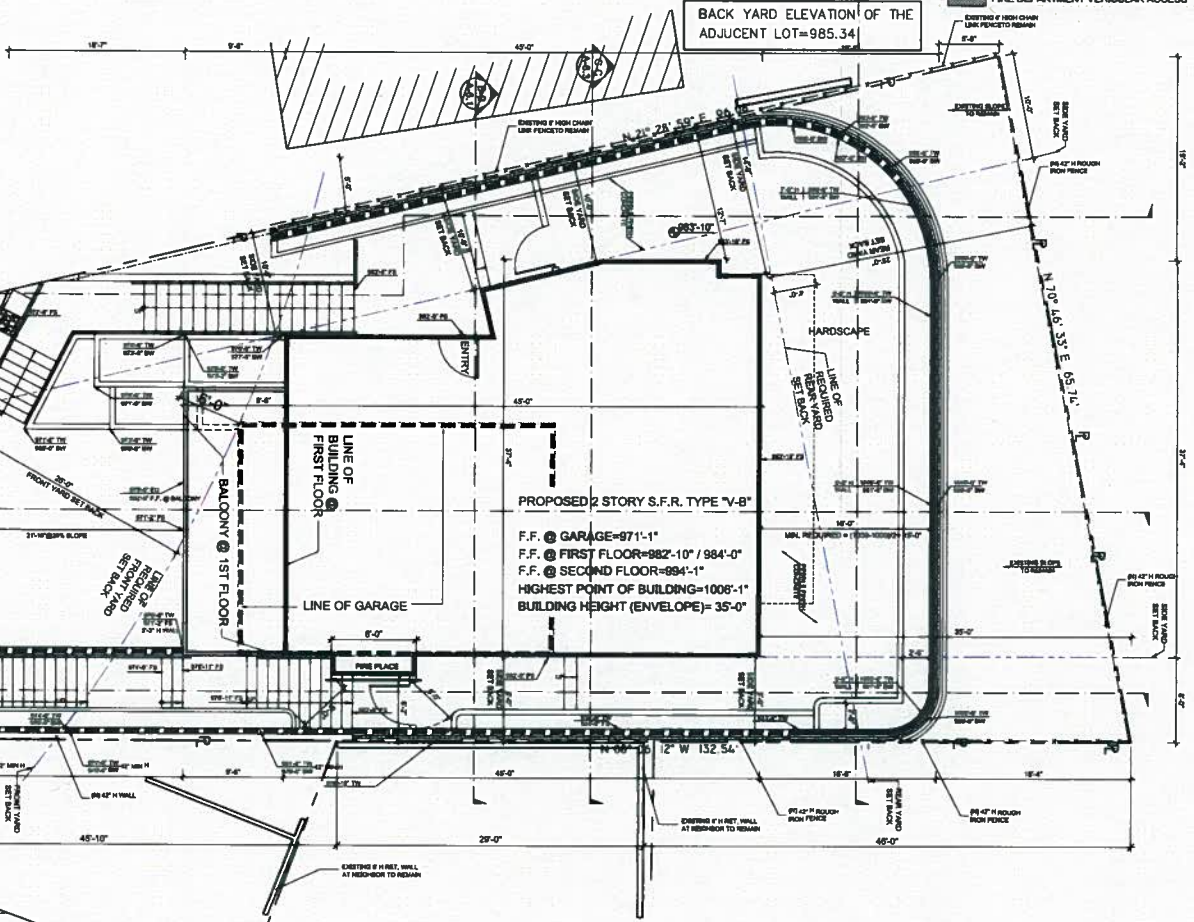
SYMBOL	LEGEND
██████████	MAX. 6' HIGH RET. WALL PER STRUCTURAL PLANS
▬▬▬▬▬▬	NON COMPLIANT >6' H REAR YARD RETAINING WALL
▬▬▬▬▬▬	MAX. 3' HIGH PLANTER WALL
▬▬▬▬▬▬	EXISTING CONTOUR LINES TO REMAIN
▬▬▬▬▬▬	MODIFIED CONTOUR LINES
▬▬▬▬▬▬	EXTERIOR WALLS
▬▬▬▬▬▬	PROPERTY LINES
▬▬▬▬▬▬	42" HIGH GUARD RAIL PER DETAIL 7 @ A-11.4
▬▬▬▬▬▬	MAX. 36" HIGH PLANTER WALL



PROJECT:
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E-MAIL: ninapayan@gmail.com



EASEMENT
AN EASEMENT FOR INGRESS AND
EGRESS FOR DRIVEWAY,
BEGINNING AT THE NORTH-WESTERLY
CORNER OF SAID LOT 7, THENCE 11 FEET
SOUTHERLY ALONG THE WEST LINE, THENCE
TO A POINT ON NORTH LINE 10 FEET EAST OF
THE NORTH WESTERLY CORNER, THENCE TO
THE POINT OF BEGINNING.

① SITE PLAN
SCALE: 3/16"=1'-0"



TOP OF SLOPE AT THE DIRT ROAD = 1030

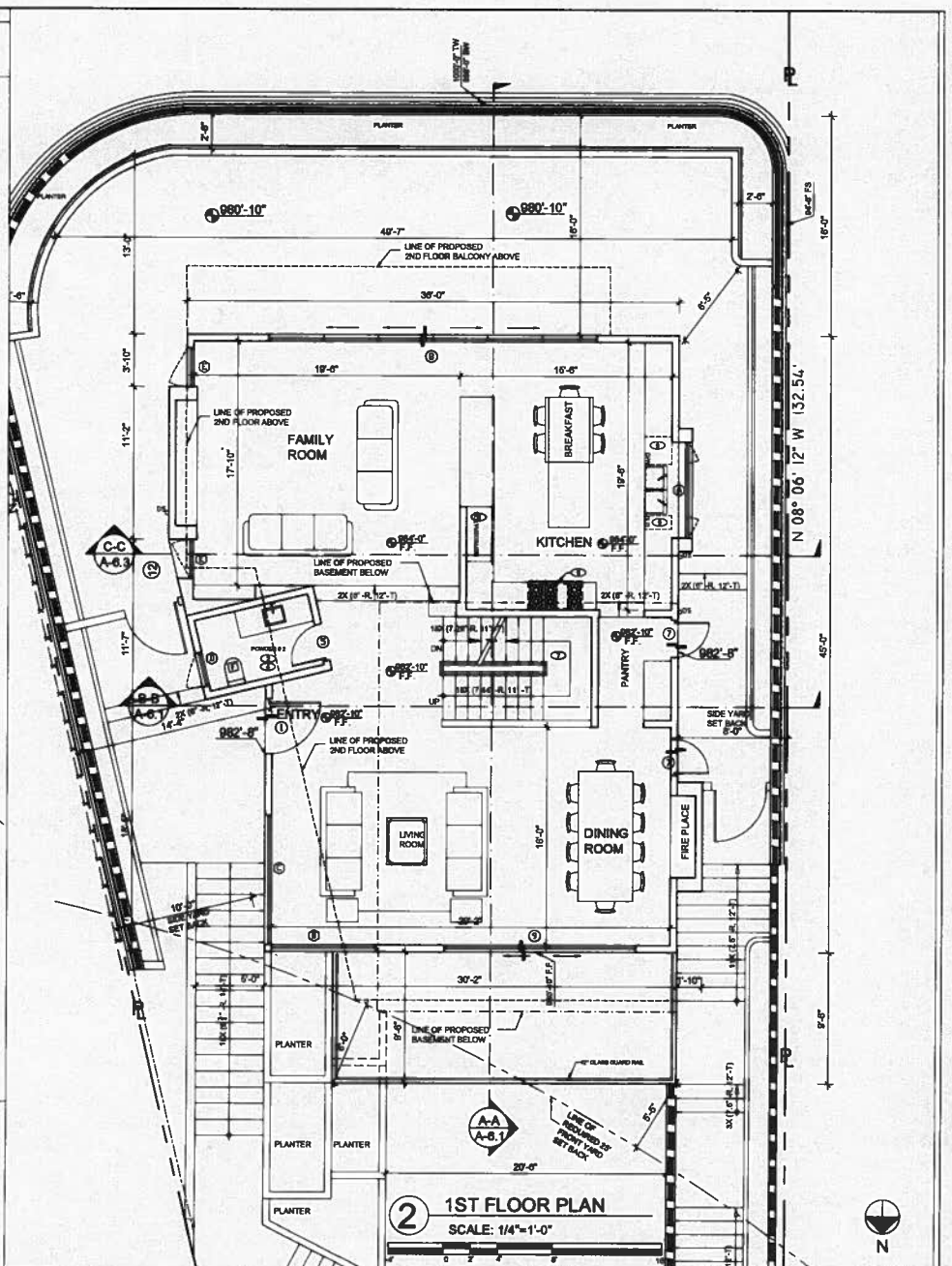
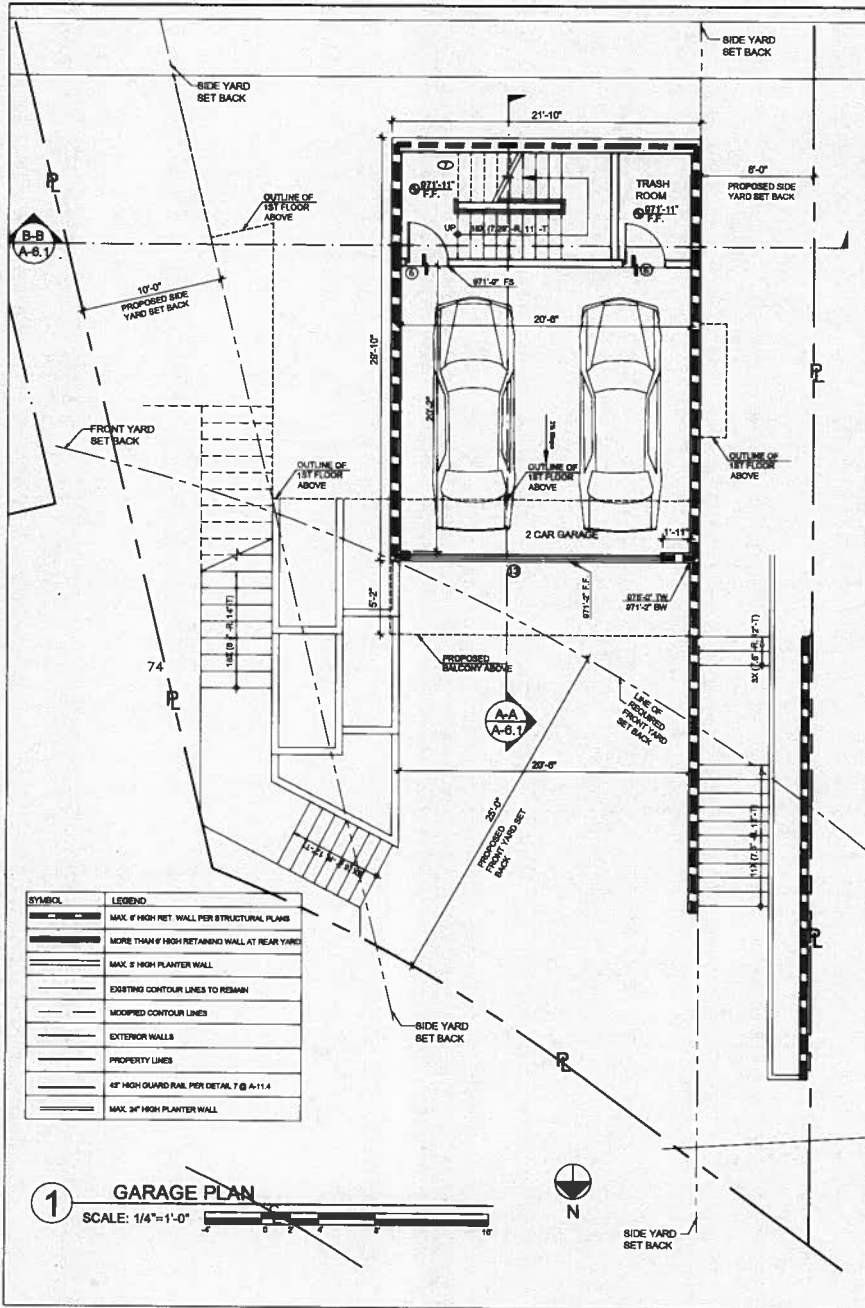
NO.	DATE	REVISIONS

SHEET TITLE
SITE PLAN

SCALE: AS SHOWN
DRAWN: N/P
START DATE: JULY 2014
JOB NUMBER 28254 LAURA L
SHEET

A-2.1

DRAWING DATE: 03/24/2018



14 20 20 202
msh@labyrinth.com

These drawings and specifications are for the information of the contractor and are not to be used for any other purpose without the written approval of the Designer.

PROJECT:
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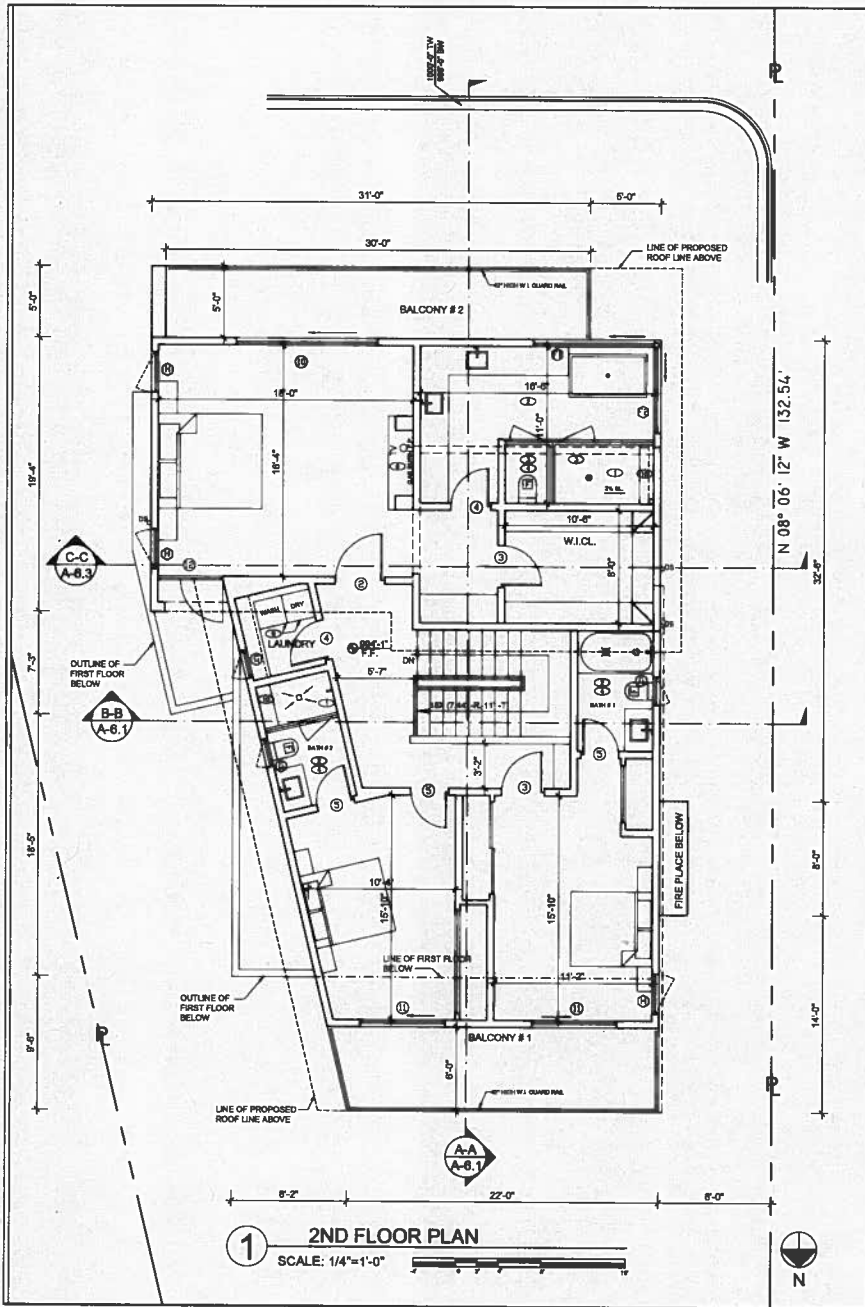
NO.	DATE	REVISIONS

SHEET TITLE
1ST FLOOR AND GARAGE PLAN

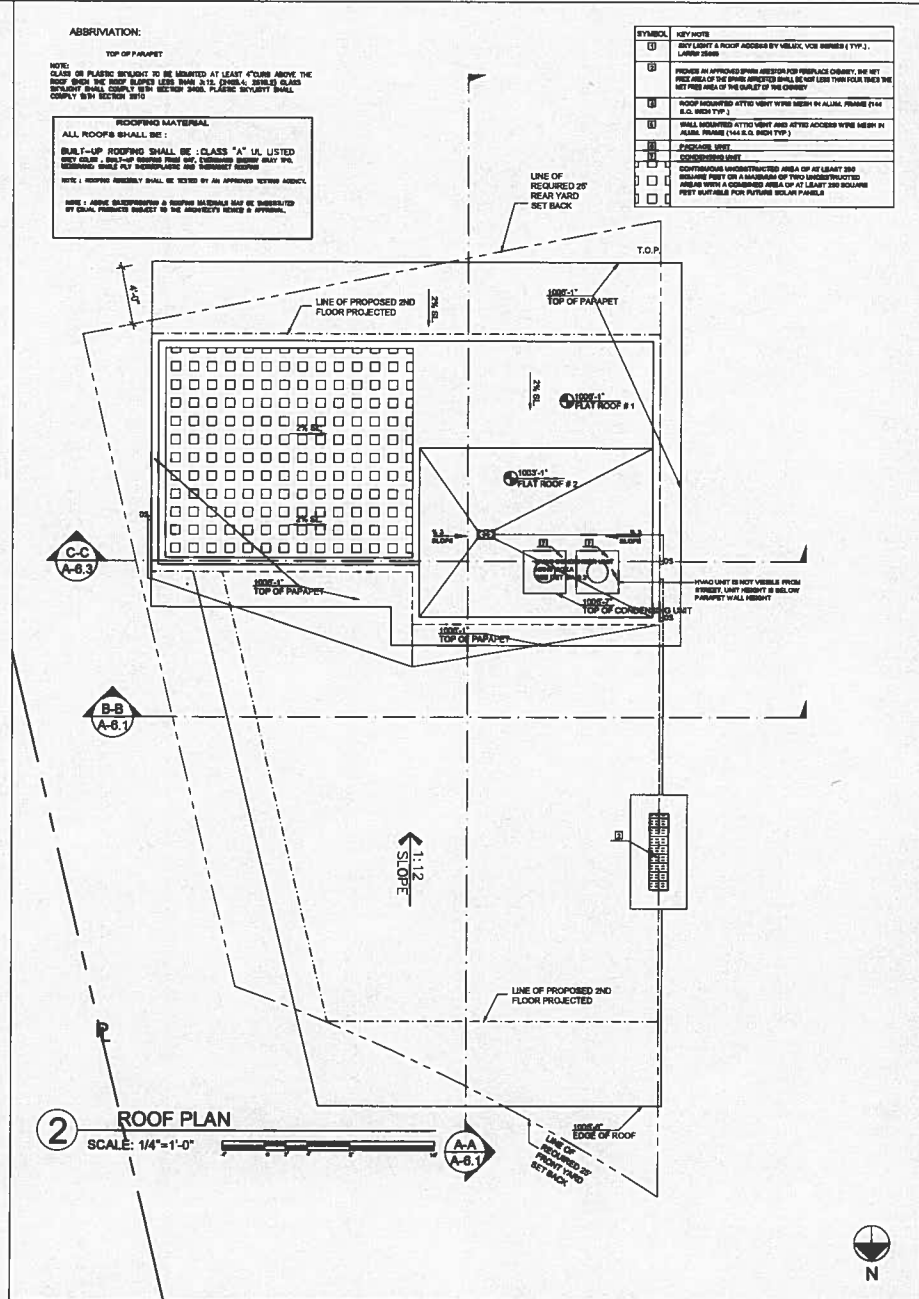
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DRAWN: N.P.
START DATE: JULY 2014
JOB NUMBER: 20254 LAURA LA PLANTE
SHEET

A-3.1

DRAWING DATE: 03/24/2019



1 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"



2 ROOF PLAN
SCALE: 1/4"=1'-0"

ABBREVIATION:

TOP OF PARAPET

NOTE:
CLASS OF PLASTIC BRUGHT TO BE MENTIONED AT LEAST 4" ONS ABOVE THE ROOF FROM THE ROOF SLOPE LESS THAN 3:12. (2)MIL. 30MIL. GLASS POLYESTER SHALL COMPLY WITH SECTION 0510. PLASTIC BRUGHT SHALL COMPLY WITH SECTION 0510.

ROOFING MATERIAL
ALL ROOFS SHALL BE:
BUILT-UP ROOFING SHALL BE: CLASS "A" UL LISTED WITH FELT. 2" MIN. THICKNESS SHALL BE 2" MIN. THICKNESS. 30MIL. GLASS POLYESTER SHALL COMPLY WITH SECTION 0510. PLASTIC BRUGHT SHALL COMPLY WITH SECTION 0510.

NOTE: ROOFING MATERIAL SHALL BE TESTED BY AN APPROVED TESTING AGENCY.

NOTE: ABOVE SUBSTITUTIONS & ROOFING MATERIALS MAY BE SUBSTITUTED BY EQUAL PRODUCTS SUBJECT TO THE ARCHITECT'S REVIEW & APPROVAL.

SYMBOL	KEY NOTE
(1)	ROOF LIGHT & ROOF ACCESS BY MEANS: VOR NUMBER 1 TYP., LARRY DESS
(2)	PROVIDE AN APPROVED SPRINKLER FOR REPLACEMENT. BE SET FROM AREA OF THE SPRINKLER SHALL BE NOT LESS THAN FOUR TIMES THE SET FREE AREA OF THE SPRINKLER
(3)	ROOF MOUNTED ATTIC LIGHT WITH MESH IN ALUM. FRAME (1/4" O.D. 3/8" TYP.)
(4)	WALL MOUNTED ATTIC LIGHT AND ATTIC ACCESS WITH MESH IN ALUM. FRAME (1/4" O.D. 3/8" TYP.)
(5)	CONDENSING UNIT
(6)	PARAPET LIGHT
(7)	CONTINGUOUS UNOBSTRUCTED AREA OF AT LEAST 300 SQUARE FEET ON A MAXIMUM OF TWO UNOBSTRUCTED AREAS WITH A CONDENSING AREA OF AT LEAST 300 SQUARE FEET SUITABLE FOR FUTURE SOLAR PANELS



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paul@labyrinth.com

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NO.	DATE	REVISIONS

SHEET TITLE
2ND FLOOR AND ROOF PLAN

SCALE: AS SHOWN
DRAWN: N.P.
START DATE: JULY 2014
JOB NUMBER: 28254 LAURA LA PLANTE
SHEET

A-3.2



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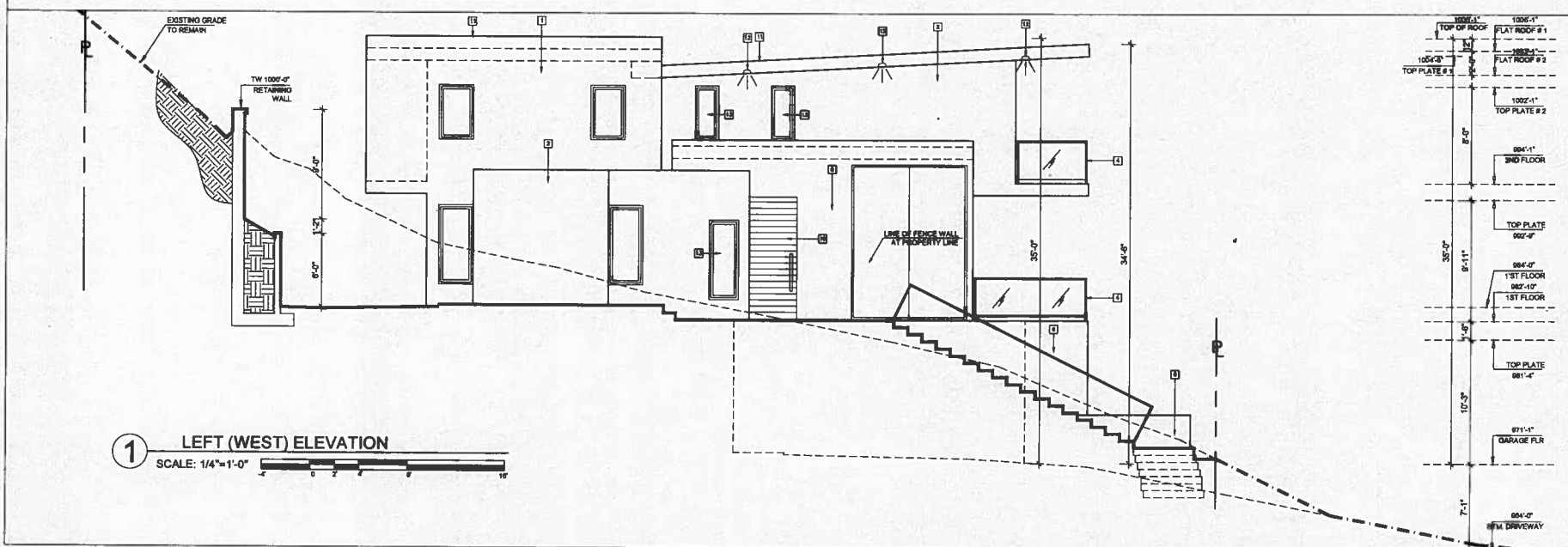
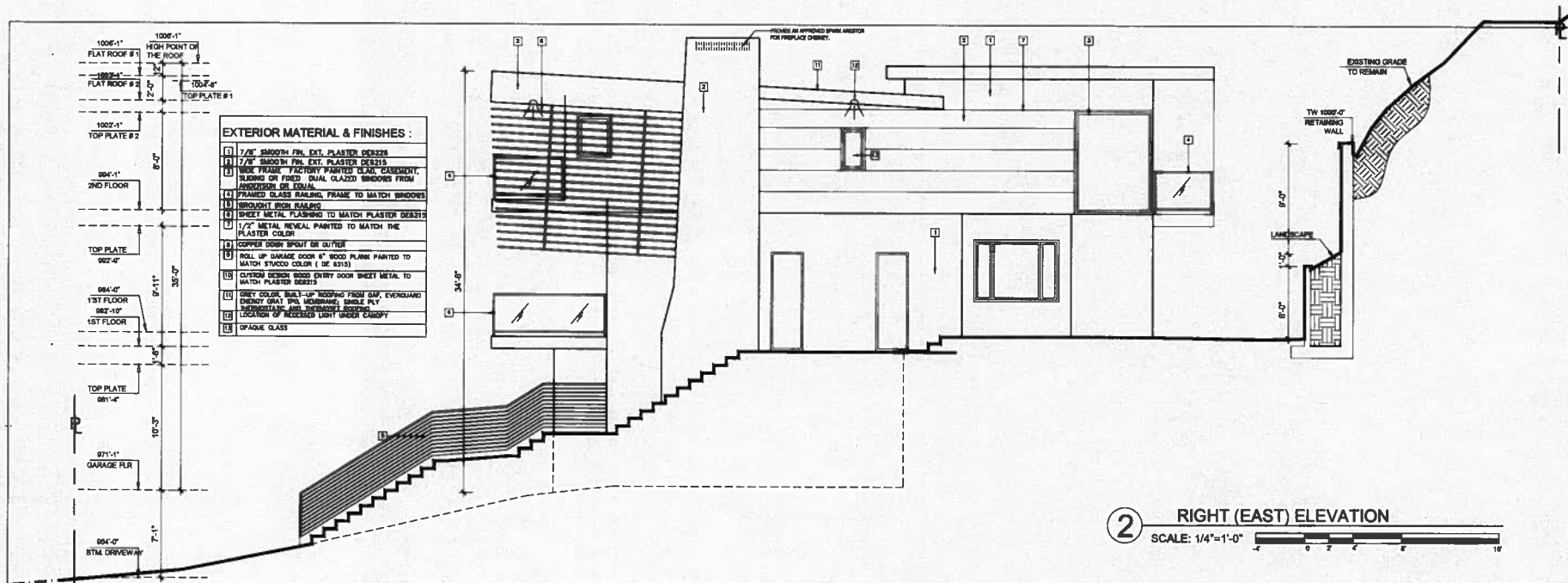
NO.	DATE	REVISIONS

SHEET TITLE
EAST & WEST ELEVATION

SCALE: AS SHOWN
DRAWN: N.P.
START DATE: JULY 2014
JOB NUMBER: 28254 LAURA LA
SHEET

A-5.2

DRAWING DATE: 03/24/2018





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DESIGN STUDIO

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NO.	DATE	REVISION

SHEET TITLE
SOUTH & NORTH ELEVATION

SCALE: AS SHOWN
DRAWN: N.P.
START DATE: JULY 2014
JOB NUMBER: 28254 LAURA L.P.
SHEET

A-5.1

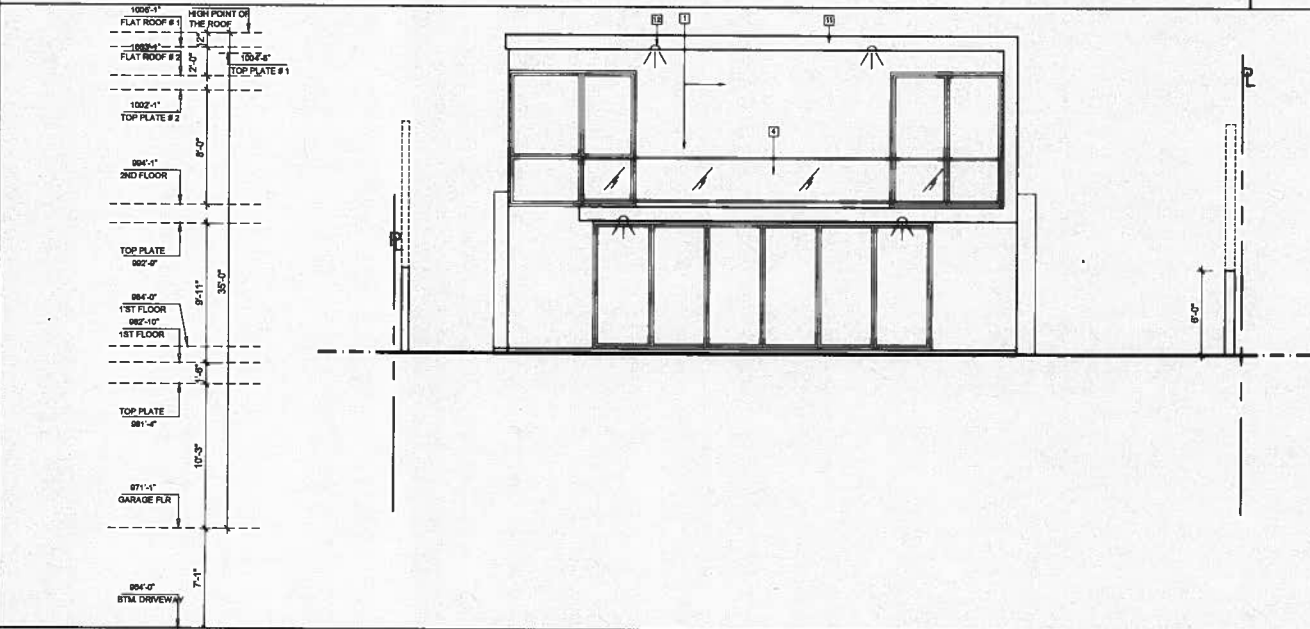
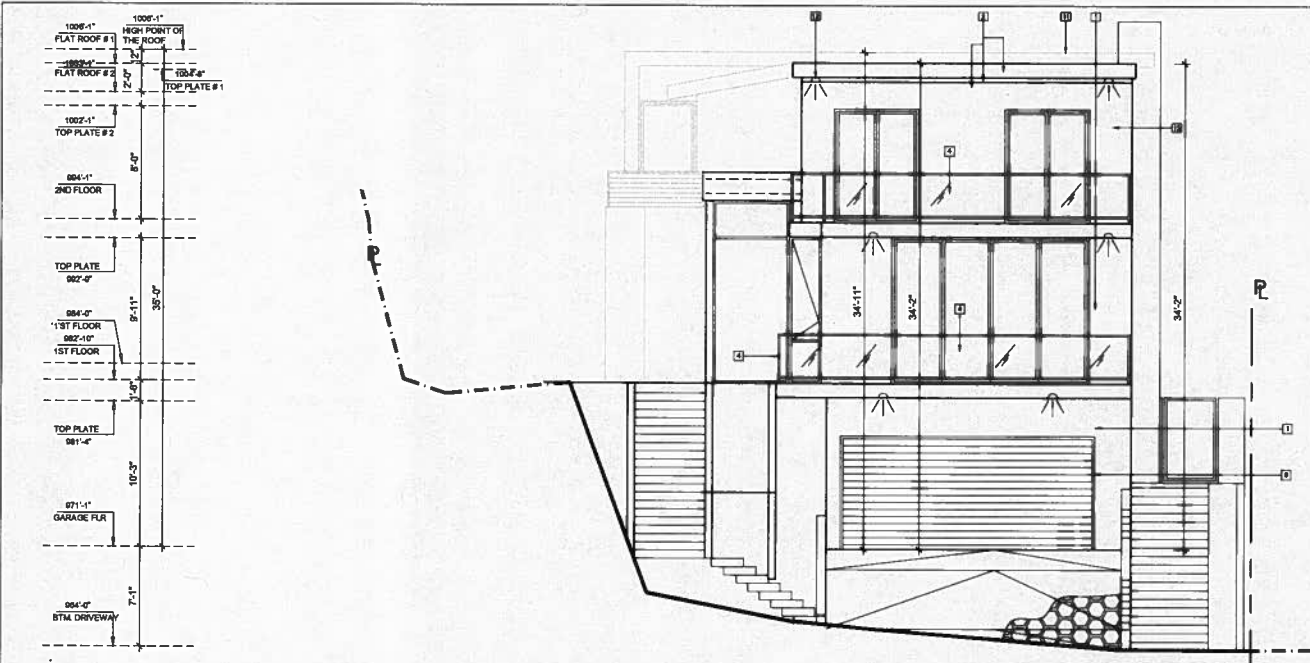
DRAWING DATE: 03/24/2018

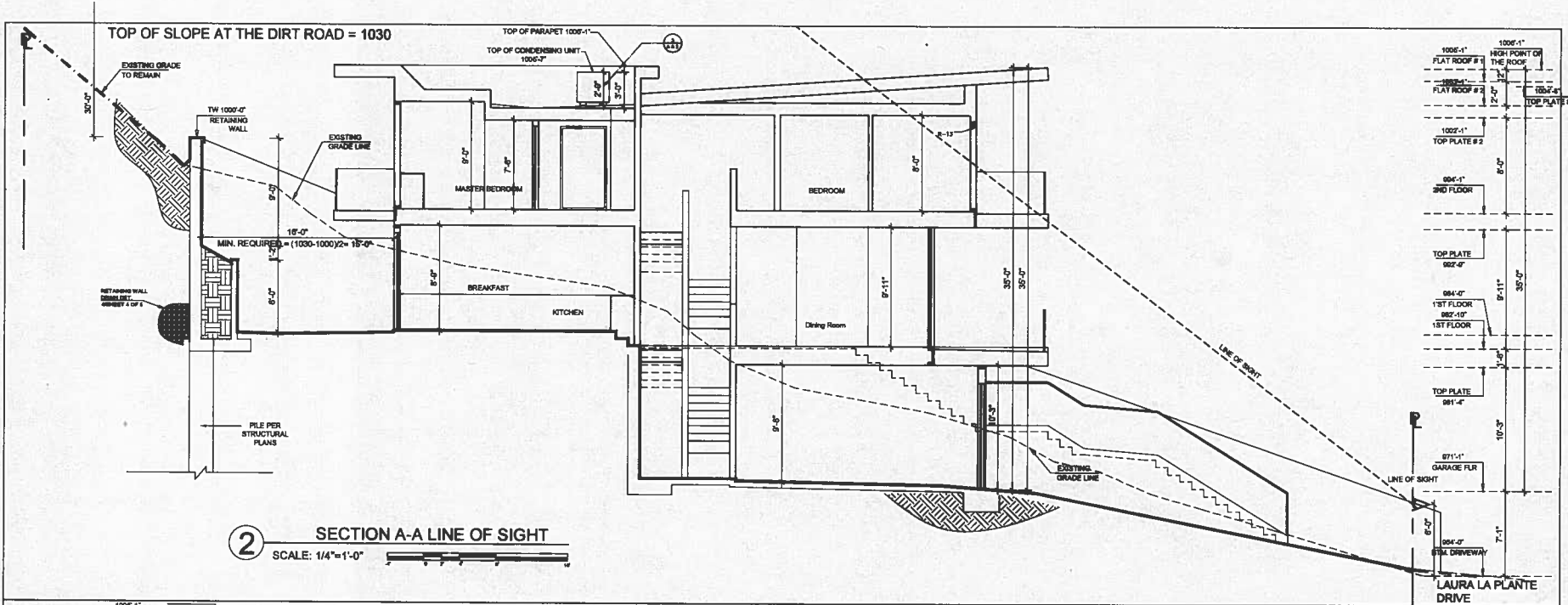
- EXTERIOR MATERIAL & FINISHES :**
- (1) 7/8" SMOOTH FIN. EXT. PLASTER DECKS
 - (2) 1/2" SMOOTH FIN. EXT. PLASTER DECKS
 - (3) WOOD FRAME FACTORY PAINTED CLAD, CASHEMIST, SLIDING OR FIXED DUAL GLAZED WINDOWS FROM PROVIDENCE OR LOAN.
 - (4) FRAMED GLASS RAILING FRAME TO MATCH WINDOWS
 - (5) BRIGHT IRON RAILING
 - (6) SHEET METAL FLASHING TO MATCH PLASTER DECKS
 - (7) 1/2" METAL REVEAL PAINTED TO MATCH THE PLASTER COLOR
 - (8) COPPER DOWN SPOUT OR OUTLET
 - (9) ROLL UP GARAGE DOOR 8" WOOD PLANK PAINTED TO MATCH STUCCO COLOR (SEE 0205)
 - (10) CUSTOM DESIGN WOOD CHERRY DOOR SHEET METAL TO MATCH PLASTER DECKS
 - (11) GREY COLOR, BUILT-UP ROOFING FROM GAF, EVERGUARD ENERGY STAR, PLS. UNDERLAY, SINGLE PLY MEMBRANE AND REINFORCED FIBERGLASS
 - (12) LOCATION OF RECESSED LIGHT UNDER CANOPY
 - (13) TYPICAL GLASS

2 FRONT (SOUTH) ELEVATION
SCALE: 1/4"=1'-0"

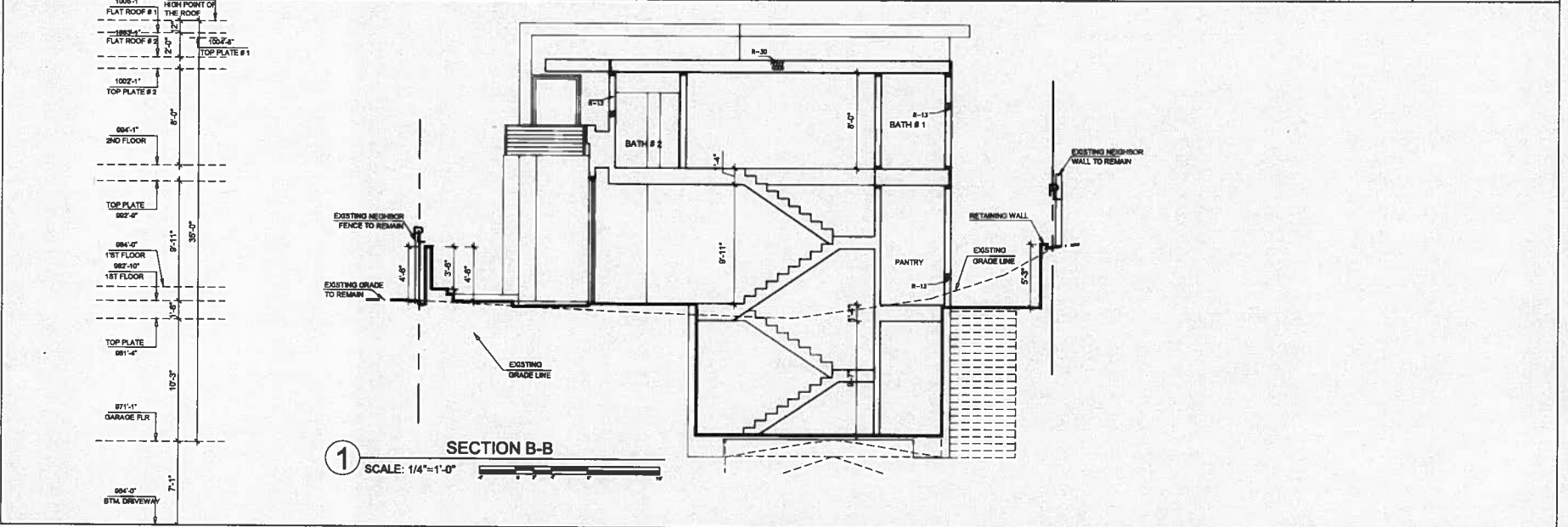


1 REAR (NORTH) ELEVATION
SCALE: 1/4"=1'-0"





2 SECTION A-A LINE OF SIGHT
SCALE: 1/4"=1'-0"



1 SECTION B-B
SCALE: 1/4"=1'-0"


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NO.	DATE	REVISION

SHEET TITLE
**SECTION
 A-A LINE OF
 SIGHT
 &
 SECTION B-B**

SCALE: AS SHOWN
 DRAWN: N.P.
 START DATE: JULY 2014
 JOB NUMBER: 28254 LAURA LA
 SHEET

A-6.1



LABYRINTH DESIGN STUDIO
14 38 38 888
page 1 of 1

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NO.	DATE	REVISIONS

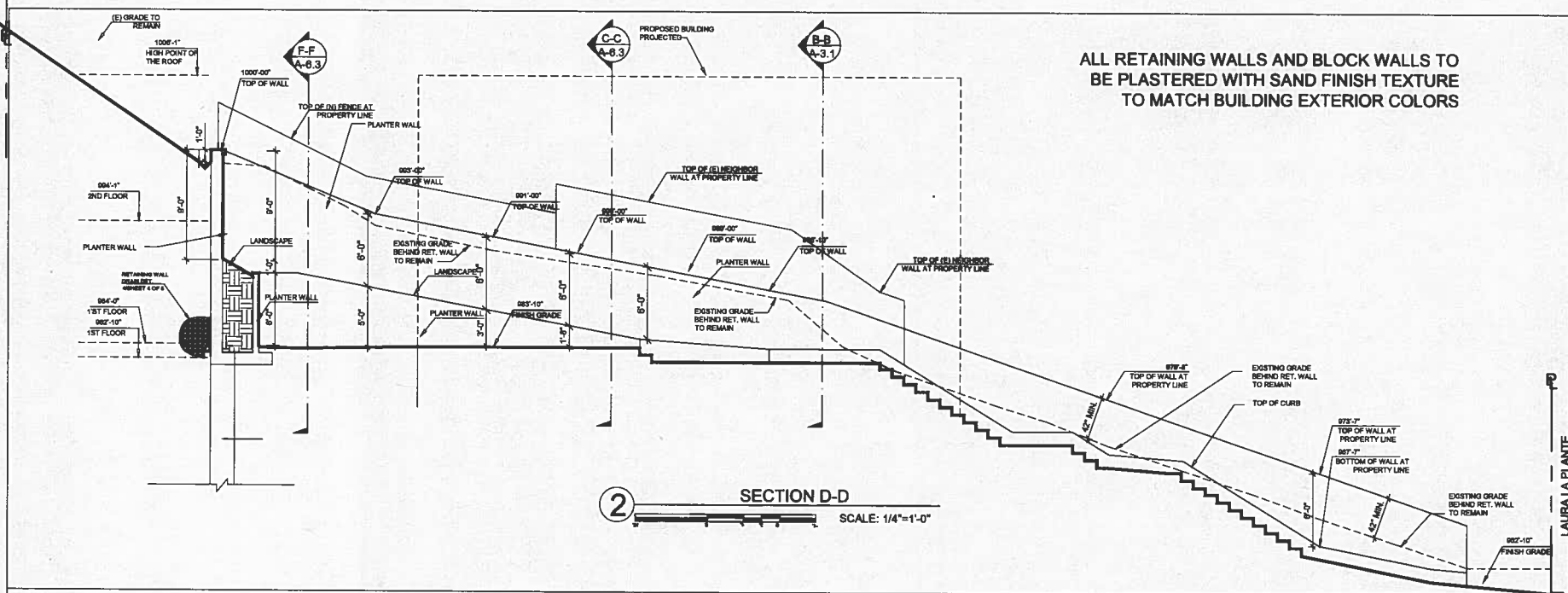
SHEET TITLE
**SECTION @
RETAINING
WALLS
D-D & E-E**

SCALE: AS SHOWN
DRAWN: N.P.
START DATE: JULY 2014
JOB NUMBER: 28254 LAURA LA
SHEET

A-6.2

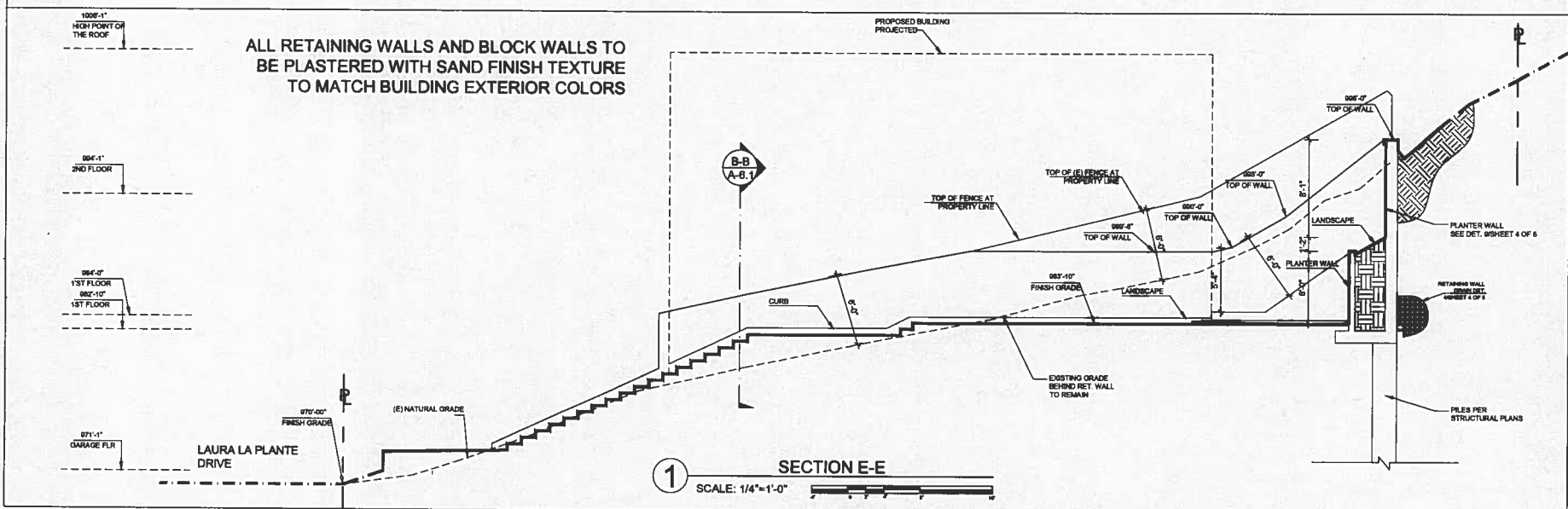
DRAWING DATE: 03/24/2018

**ALL RETAINING WALLS AND BLOCK WALLS TO
BE PLASTERED WITH SAND FINISH TEXTURE
TO MATCH BUILDING EXTERIOR COLORS**

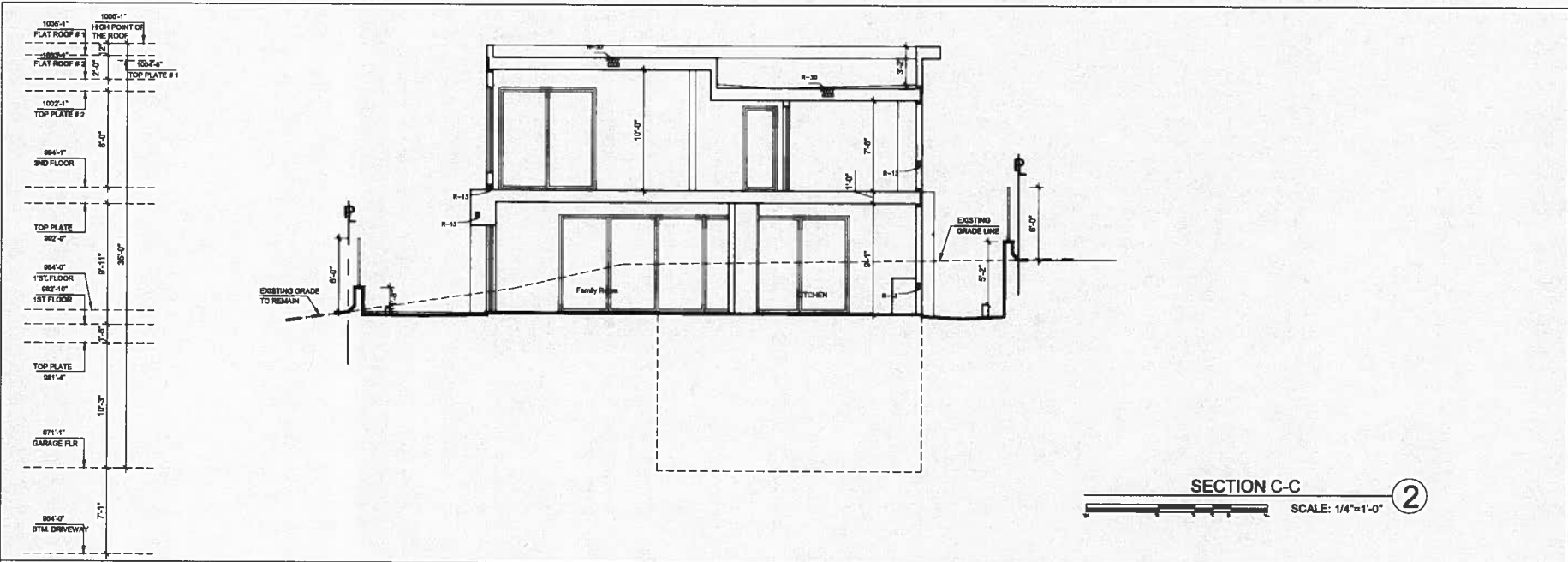


2 SECTION D-D
SCALE: 1/4"=1'-0"

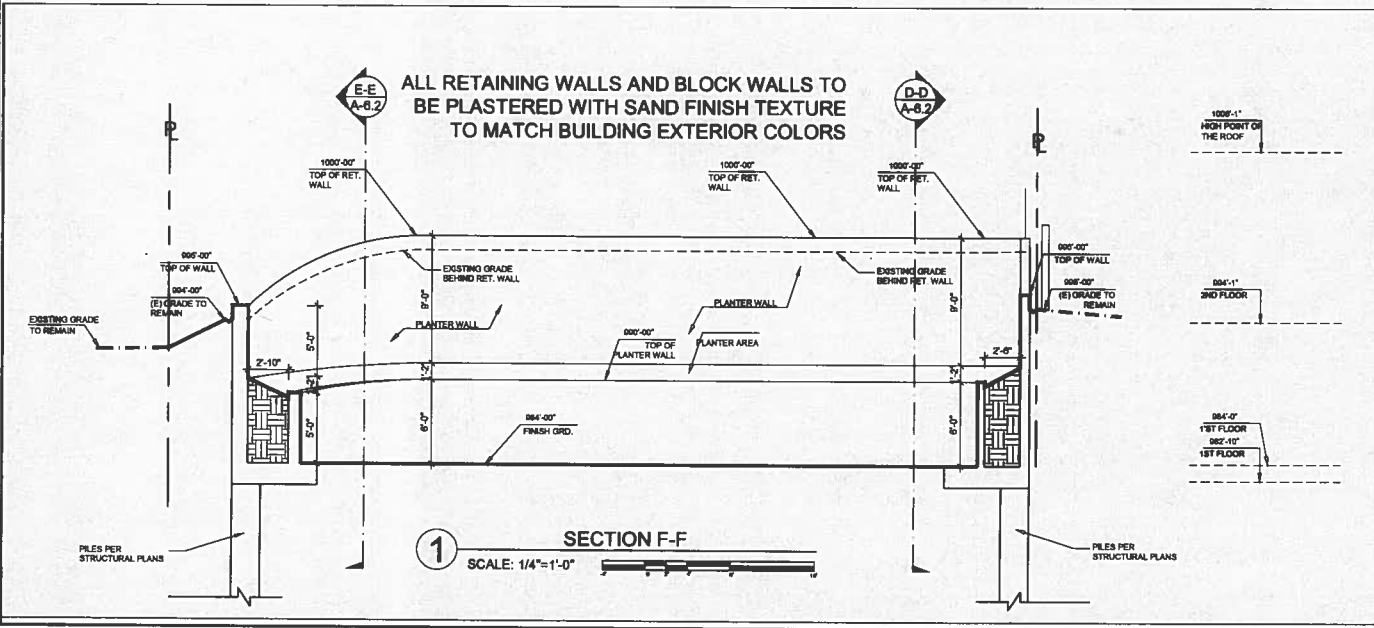
**ALL RETAINING WALLS AND BLOCK WALLS TO
BE PLASTERED WITH SAND FINISH TEXTURE
TO MATCH BUILDING EXTERIOR COLORS**



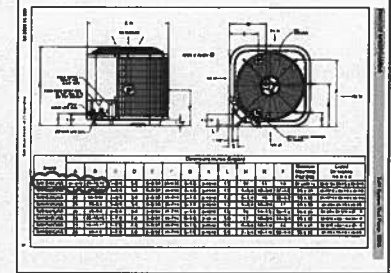
1 SECTION E-E
SCALE: 1/4"=1'-0"



SECTION C-C ②
SCALE: 1/4"=1'-0"



SECTION F-F ①
SCALE: 1/4"=1'-0"



HVAC IS UNIT NOT VISIBLE FROM STREET. SURROUNDING PARAPET WALLS ARE HIGHER THAN HVAC UNIT HEIGHT
HVAC UNIT SPECIFICATION ③



LA 98-00-002
06/16/2014

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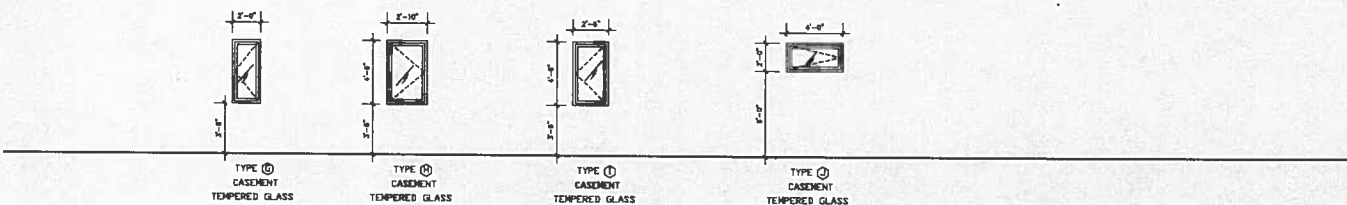
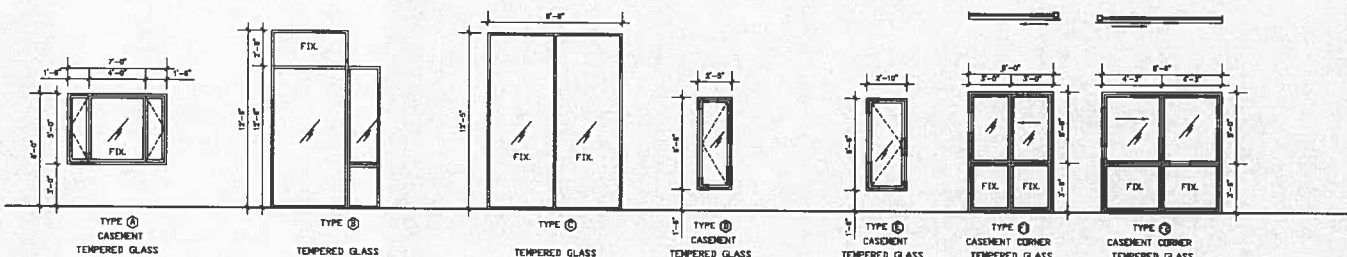
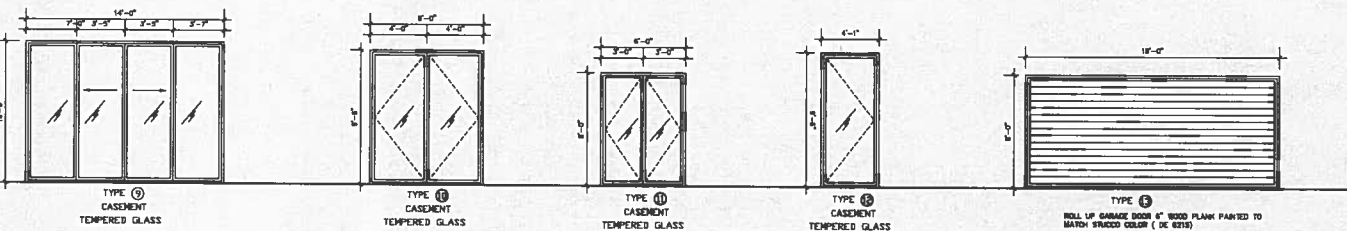
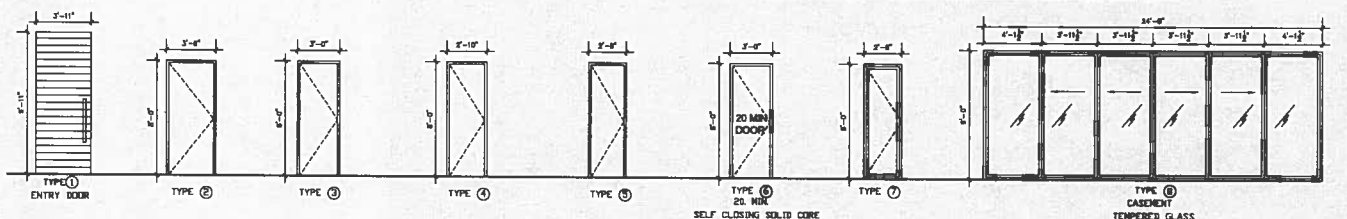
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SHEET TITLE
SECTION
C-C,
SECTION F-F
AND DETAILS

SCALE: AS SHOWN
DRAWN: N.P.
START DATE: JULY 2014
JOB NUMBER: 28254 LAURA LA
SHEET

A-6.3

VERY HIGH FIRE HAZARD ZONE: ALL GLASSES TO BE TEMPERED



DOOR SCHEDULE						
TYP	MAT.	FRAME	MAT.	FRS	GL.	REMARK
1	VB	SL	VF	STAIN	AL	ENTRY DOOR
2	VB	SL	VF	STAIN	AL	WOOD, CASEMENT
3	VB	SL	VF	STAIN	AL	WOOD, CASEMENT
4	VB	SL	VF	STAIN	AL	WOOD, CASEMENT
5	VB	SL	VF	STAIN	AL	WOOD, CASEMENT
6	VB	SL	VF	STAIN	AL	WOOD, CASEMENT
7	VB	SL	VF	STAIN	AL	WOOD, CASEMENT
8	VB	SL	VF	STAIN	AL	CASEMENT DOOR
9	VB	SL	VF	STAIN	AL	CASEMENT DOOR
10	VB	SL	VF	STAIN	AL	CASEMENT DOOR
11	VB	SL	VF	STAIN	AL	CASEMENT DOOR
12	VB	SL	VF	STAIN	AL	CASEMENT DOOR
13	VB	SL	VF	STAIN	AL	CASEMENT DOOR
14	VB	SL	VF	STAIN	AL	CASEMENT DOOR
15	VB	SL	VF	STAIN	AL	CASEMENT DOOR
16	VB	SL	VF	STAIN	AL	CASEMENT DOOR
17	VB	SL	VF	STAIN	AL	CASEMENT DOOR
18	VB	SL	VF	STAIN	AL	GARAGE DOOR

WINDOW SCHEDULE					
TYP	MAT.	FRAME	MAT.	FRS	GL.
ALL	ALA	VA	AL	VF	STAIN

AL - ALUMINUM VB - VOOD SL - GLASS
 ALL GLAZING WITHIN OF FINISH FLOOR MUST BE TEMPERED GLASS (TYP)
 ALL GLAZING IN DOORS MUST BE TEMPERED GLASS (TYP)

NOTE:

- 1-DOORS MUST OPEN OVER A LANDING NOT LESS THAN 1' BELOW THE INTERIOR EXCEPT WHERE THE DOOR DOES NOT swing OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 6" BELOW THE INTERIOR.
- 2-ALL WOOD EXTERIOR DOOR ARE SOLID CORE 1 3/4" THICK UNLESS OTHERWISE NOTED.
- 3-ALL WOOD EXTERIOR DOOR ARE SOLID CORE 1 3/4" THICK UNLESS OTHERWISE NOTED.
- 4-GLASS IN HAZARDOUS LOCATION SHALL BE TEMPERED 3003.3
- 5-GLASS IN DOORS AND EXTERIOR DOORS.
- 6-GLASS IN SLABS OF EXTERIOR DOORS.
- 7-DOORS AND EXTERIOR DOORS FOR HOT TUB, BATHING SHOWERS (ALSO GLAZING IN WALL ENCLOSED THESE COMPARTMENTS WITHIN 6" OF EXTERIOR SURFACE).
- 8-IF SPREAD 2" OF METALLIC EDGE OF CLOSED DOOR AND LESS THAN 1" OF EXTERIOR SURFACE.
- 9-GLAZING AND HANDRAILS.

- 10-GLASS IN DOORS AND EXTERIOR DOORS ARE FROM SIERRA PACIFIC DOOR AND WINDOW OR EQUAL.
- 11-GLASS IN DOORS AND EXTERIOR DOORS.
- 12-GLASS IN SLABS OF EXTERIOR DOORS.
- 13-DOORS AND EXTERIOR DOORS FOR HOT TUB, BATHING SHOWERS (ALSO GLAZING IN WALL ENCLOSED THESE COMPARTMENTS WITHIN 6" OF EXTERIOR SURFACE).
- 14-IF SPREAD 2" OF METALLIC EDGE OF CLOSED DOOR AND LESS THAN 1" OF EXTERIOR SURFACE.
- 15-GLAZING AND HANDRAILS.



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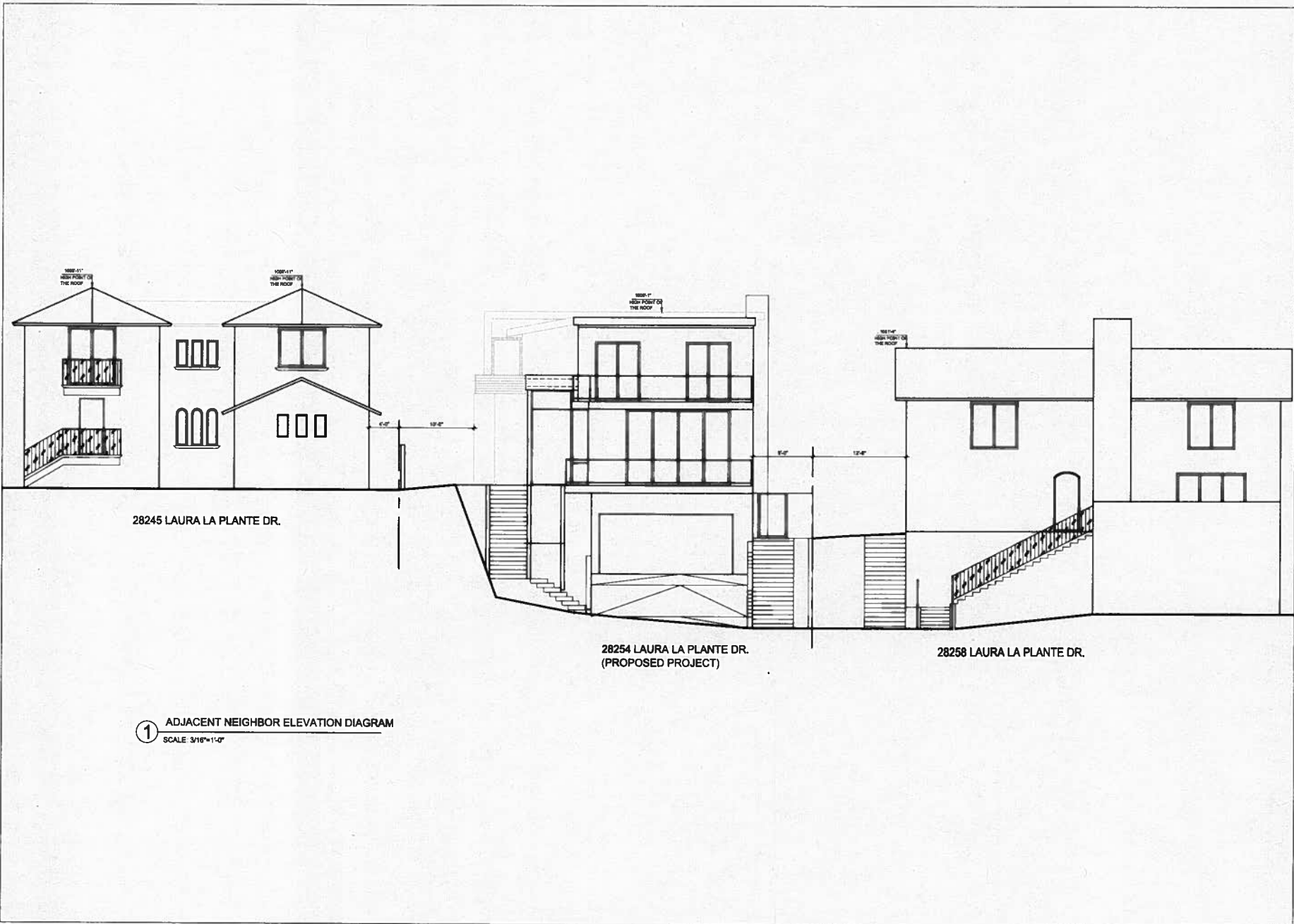
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NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		

SHEET TITLE
DOOR AND WINDOW SCHEDULE

SCALE: AS SHOWN
 DRAWN: N.P.
 START DATE: JULY 2014
 JOB NUMBER: 28254 LAURA LA
 SHEET

A-8.0



1 ADJACENT NEIGHBOR ELEVATION DIAGRAM
SCALE: 3/16"=1'-0"



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SHEET TITLE
**ADJACENT
NEIGHBOR
ELEVATION
DIAGRAM**

SCALE: AS SHOWN
DRAWN: N.P.
START DATE: JULY 2014
JOB NUMBER: 28254 LAURA LA
SHEET

A-9.0

GRADING NOTES

1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
2. A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
3. ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
4. ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
5. ANY CHANGES IN THE WORK HEREBIN SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
6. THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
7. REPORTS REQUIRED:
 1. ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 2. FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SOILS PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 3. AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTNESS TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBURAINS AND FLOWLINE ELEVATIONS, AND LOCAL AND ELEVATIONS OF ALL RETAINING WALL BACKFILLS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
 4. A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
 5. ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:30 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.
 6. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 2%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 7. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
 8. AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE THE RESULTS OF ALL COMPACTION TESTS AS WELL AS A MAP DEPICTING THE LIMITS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBURAINS AND FLOWLINE ELEVATIONS, AND LOCAL AND ELEVATIONS OF ALL RETAINING WALL BACKFILLS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
 9. DURING EXCAVATION FOR THE PROPOSED RETAINING WALL, THE CONSULTANT SHOULD VERIFY THE ASSUMPTION THAT THE TRENCH TO SLIGHTLY FRACTURED BEDROCK OCCURS WITHIN 5 TO 1 FEET OF THE EXISTING GEORIG SURFACE. SLOPE STABILITY ANALYSIS AND RETAINING WALL DESIGN SHOULD BE REVISED FOR ANY DEVIATION FROM THIS ASSUMPTION AND ADDITIONAL MITIGATION MEASURES SHOULD BE RECOMMENDED AS NECESSARY.
 10. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTING AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 2%, FOUNDATION AND SLAB SHOULD BE REVISED ACCORDINGLY.
 11. EXCAVATION SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.

PUBLIC UTILITIES / SERVICES

- WATER:** LAA WINDMILL MUNICIPAL WATER DISTRICT
1533 LAA WINDMILL ROAD
CALABASSA, CA 91301
(915) 898-4115
- ELECTRICAL:** SOUTHERN CALIFORNIA Edison
3400 FOOTBALL DRIVE
THOUSAND OAKS, CA 91321
(805) 494-7976, (805) 498-4388
(805) 494-7976, (805) 498-7944, Morgan.Lstrom@scg.com
SIC: 4900 (3613)
- TELEPHONE:** 1821 RAYNER STREET, #118
VAN NUYS, CA 91406
(915) 373-0820
- GAZ:** SOUTHERN CALIFORNIA GAS
6400 OAKDALE AVENUE
CHATTWORTH, CA 91313
(915) 791-3531
- SEWER:** LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1100 S. FRENCH AVENUE, BLDG. 40 EAST
ALHAMBRA, CA 91803
(626) 269-3300
- CABLE:** TIME WARNER
2523 TELLER ROAD
HERVILLY PARK, CA 91320
(909) 379-0215
- CABLE:** CHARLES COMMUNICATIONS
1806 CROCKER ROAD
MILLBRAE, CA 92058
(510) 488-0010
- CALTRANS:** CALTRANS
8601 BERSERDA BOULEVARD
TAYLORVILLE, CA 91768
(909) 398-1428

ABBREVIATIONS

- AC - ASPHALTIC CONCRETE
BP - BOTTOM OF FOOTING
CB - CATCH BASIN
C/P - CURB FACE
C - CENTERLINE
CLP - CHAIN LINK FENCE
CO - CLEAN OUT
DB - DRAIN BASIN
DL - DAYLIGHT
SB - EDGE OF SUBFLOT
EP - EDGE OF PAVEMENT
FP - FINISHED FLOOR
FG - FINISHED GRADE
FH - FREE HYDRAULIC
FL - FLOWLINE
FS - FRESH SURFACE
HC RMP - HANDICAP RAMP
HP - HIGH POINT
HW - HWOIST
PW - PAD ELEVATION
- NO - NATURAL GROUND
HTS - HOT TO SCALE
PL - PROPERTY LINE
POB - POINT OF BEGINNING
SMBR - STORM DRAIN MANHOLE
SMB - SEWER MANHOLE
SB - SANITARY SEWER
TS - TOP OF SEWER
TC - TOP OF CURB
TY - TOP OF FOOTING
TB - TOP OF GRADE
TW - TOP OF WALL
TYP - TYPICAL
WB - WATER METER
WV - WATER VALVE

NOTICE TO CONTRACTOR

- 1-CONTRACTOR AGREES THAT IN HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS; AND THAT THE CONTRACTOR SHALL OBTAIN, INDEMNIFY AND HOLD HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- 2-THE CONTRACTOR SHALL BE THE WASTE REDUCTION AND RECYCLING PLAN (WRRP) PRIOR TO ANY ACTION ON THIS PROJECT AND SHALL HANDLE THE WASTE MATERIALS AT CONSTRUCTION SITE TO ENSURE SALVAGE OR RECYCLING, AND SHALL FILL OUT THE POST-CONSTRUCTION WASTE REDUCTION/RECYCLING SUMMARY REPORT (WRWS REPORT) AND SHALL INCLUDE THE PERMIT NUMBER ISSUED AT PUBLIC COURTER AT CITY HALL ON THE REPORT.

**SINGLE FAMILY RESIDENCE
28254 LAURA LA PLANTE DRIVE
AGOURA HILLS, CA 91301**

UNDERGROUND STRUCTURES

ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR OTHERS AND THOSE SHOWN ON THE RECORDS EXAMINED ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. THE OWNER BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO AGREES TO ASSUME LIABILITY AND TO HOLD UNDERGROUND MANHOLE FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSEER, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED LOCATED AT MANHOLE WITH THAT REPORTED OR SHOWN ON RECORDS EXAMINED. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT AT (800) 422-4133 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF WORK.



INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS AT THE FOLLOWING STAGES OF WORK.

STORMWATER POLLUTION NOTES

1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ONSITE POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
2. A SITE-SPECIFIC, "WET-WEATHER EROSION CONTROL PLAN" SHALL BE PREPARED BY CONSTRUCTION WITH THE SWPPP, AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THESE LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND RE-REVISITED FROM OCTOBER 1ST THROUGH APRIL 15TH.
3. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ONSITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER BERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

1. APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (915) 697-7864, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES".

LEGAL DESCRIPTION:

LOT 7 IN BLOCK 6 OF TRACT 8763, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BLOCK 148 PAGES 88 TO 94 INCLUSIVE OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LOT#7 BLOCK#6 TRACT#8763
AP#28 2061-017-007

PREPARED BY: Harri R. Azaroh,



PROJECT ENGINEER DATE: 11/01/16

CITY OF AGOURA HILLS APPROVAL

REVIEWED BY: HARRO & ADENA, P.E., CITY ENGINEER DATE: 08/20/2016

088906 FIDE NO. 08/20/2016 EXP DATE



PROJECT: SINGLE FAMILY RESIDENCE
28254 LAURA LA PLANTE
AGOURA HILLS, CALIFORNIA

TITLE SHEET & NOTES

SHEET 1 of 5

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1 OF 5	TITLE SHEET, NOTES
2 OF 5	GRADING & DRAINAGE PLAN
3 OF 5	EROSION CONTROL PLAN
4 OF 5	DETAILS
5 OF 5	SUSAP PLAN

ESTIMATED EARTHWORK QUANTITIES

ESTIMATED CUT:	800 CY	ESTIMATED EXPORT:	800 CY
ESTIMATED FILL:	0 CY	ESTIMATED REPORT:	0 CY
ESTIMATED OVER-EXCAVATION:	0 CY		

BENCHMARK:

DESCRIPTION: BM NO.	10424	ELEVATION:	936.812'	SURVEY DATE:	APRIL 2003
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RECORD DRAWING STATEMENT

I, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NO. _____ THROUGH _____ MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

REGISTERED CIVIL ENGINEER	DATE	RCE NO.	EXP. DATE

SOILS APPROVAL

THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____

REGISTERED GEOLOGIST	DATE	REG. NO.	EXP. DATE

OWNER

NAME:	SHAHIN BENTAMEN & POLYA PAYAN
ADDRESS:	18816 HALPER ST., ENCINO, CA 91436
REPRESENTATIVE:	POLYA PAYAN
TELEPHONE:	(818) 200-6008 & (818) 200-2877



PROPOSED PROPERTY
VICINITY PLAN



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

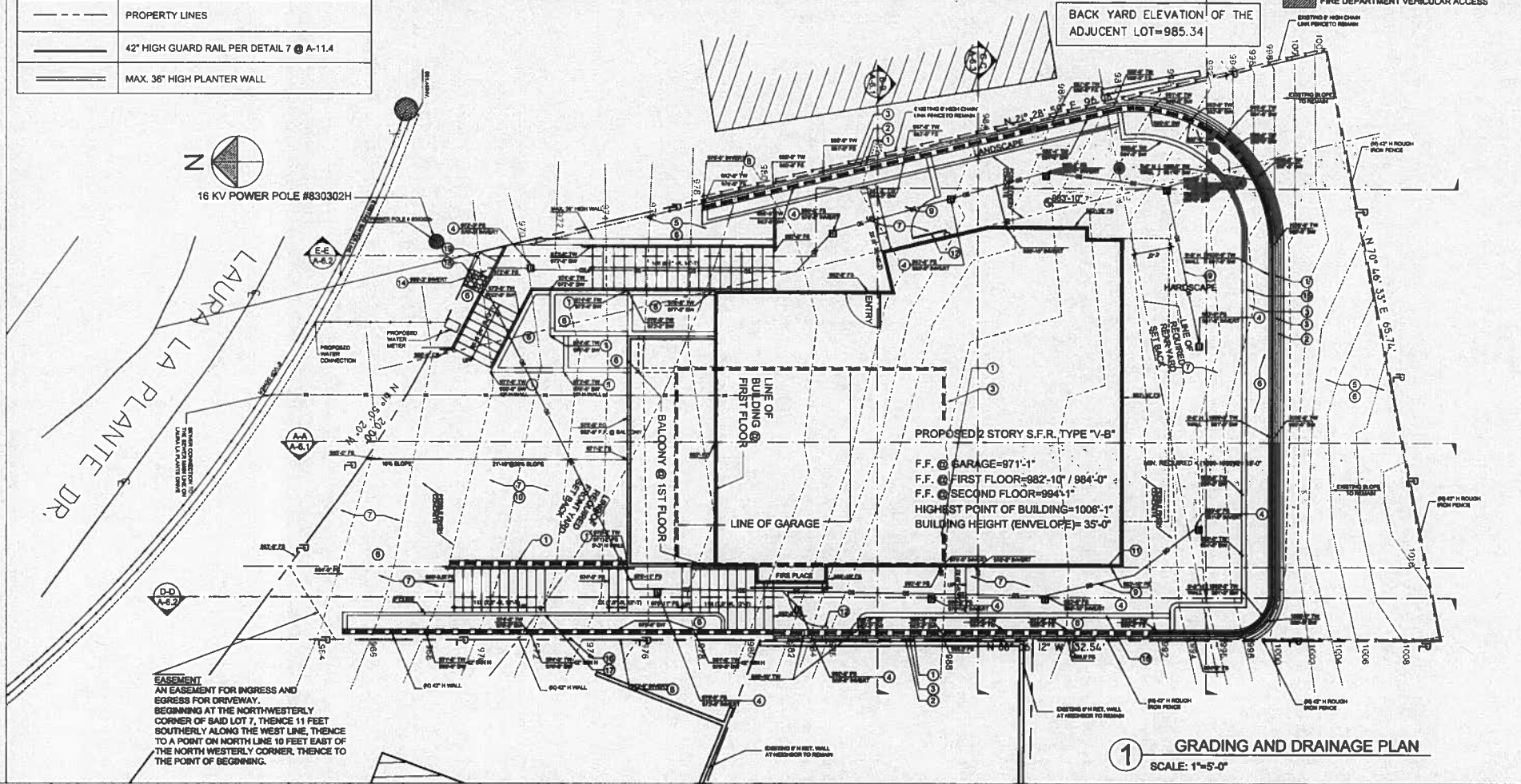
SYMBOL	LEGEND
	MAX. 6' HIGH RET. WALL PER STRUCTURAL PLANS
	NON COMPLIANT >6' H REAR YARD RETAINING WALL
	MAX. 3' HIGH PLANTER WALL
	EXISTING CONTOUR LINES TO REMAIN
	MODIFIED CONTOUR LINES
	EXTERIOR WALLS
	PROPERTY LINES
	42" HIGH GUARD RAIL PER DETAIL 7 @ A-11.4
	MAX. 36" HIGH PLANTER WALL

SYMB.	DESCRIPTION
1	RETAINING WALL/BLOCK WALL, DETAILS ON SEPARATE PERMIT
2	CONST. "V" DITCH PER DETAIL 3 ON SHEET 4 OF 5
3	CONST. RET. WALL SUBDRAIN PER DETAIL 7 OF SHEET 4 OF 5
4	CONSTRUCT 6" AREA DRAIN
5	EXISTING GRADE TO REMAIN
6	LANDSCAPE
7	HARDSCAPE
8	INSTALL 8" REMOVABLE AREA DRAIN W/ GEOTEXTILE FABRIC NET SCREEN
9	INSTALL 4" H.D.P.E. STORM DRAIN PIPE, % 1 MIN. SLOPE
10	BROOM FINISH CONCRETE
11	RAINBIRD ESP. MODULAR CONTROLLER, WEATHER-BASED
12	5'-0" HIGH POOL GATE SELF CLOSING AND SELF LATCHING AND OPEN TOWARD AWAY FROM THE POOL. LOCKING MECHANISM SHALL BE LOCATED NO LOWER THAN 4'-6" ABOVE FINISH FLOOR/GRADE
13	LANDSCAPE
14	INVERT TO STREET PER DETAIL 5 @ SHEET 4 OF 5
15	MAX. 36" HIGH PLANTER WALL
16	MAX. 30" HIGH PLANTER WALL
17	6" HIGH CURB
18	2'X2' RIP RAP PER DETAIL 10 @ SHEET 4 OF 5
19	2'X2' FLOW GUARD PER DETAIL C ON SHEET 5 OF 5



FIRE HYDRANT VICINITY

FIRE DEPARTMENT VEHICULAR ACCESS



1 GRADING AND DRAINAGE PLAN
SCALE: 1"=5'-0"

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY: Hamid R. Azabali

PROJECT ENGINEER

DATE: 11/11/15

CITY OF AGOURA HILLS APPROVAL

REVIEWED BY

DATE

RAMIRO B. ACEVA, P.E., CITY ENGINEER

DATE

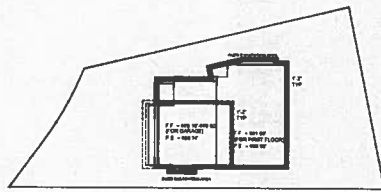
083005 RCE NO. 0830019 EXP DATE



PROJECT: SINGLE FAMILY RESIDENCE 28254 LAURA LA PLANTE AGOURA HILLS, CALIFORNIA

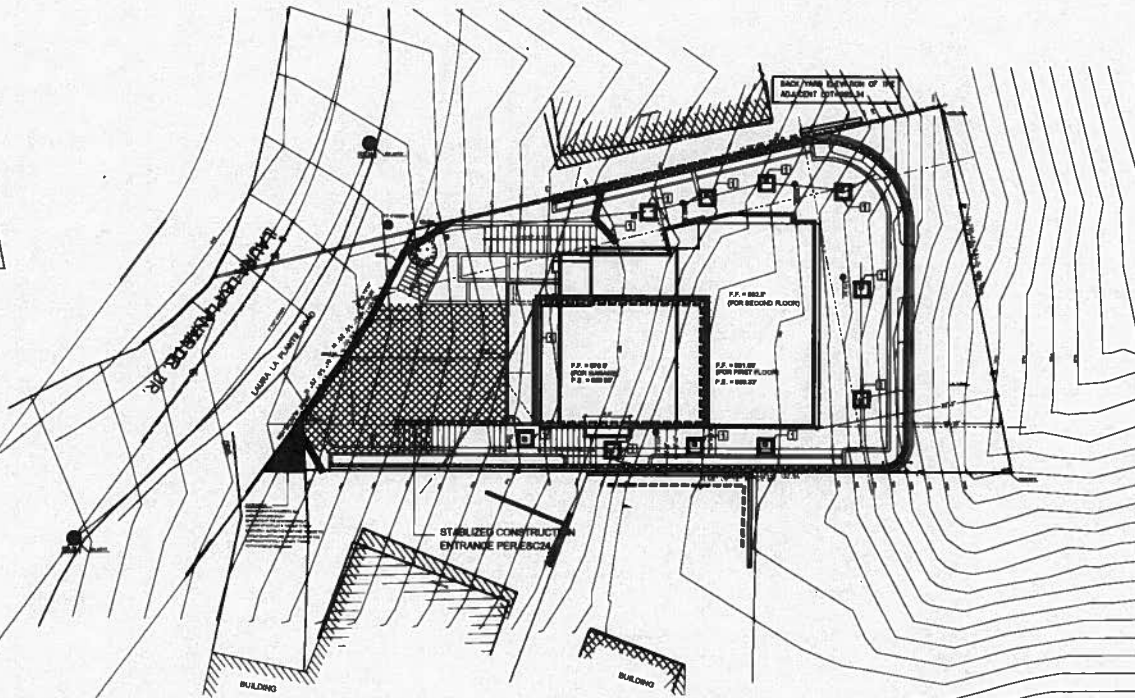
GRADING AND DRAINAGE PLAN

SHEET 2 OF 5



OVER EXCAVATION PLAN
SCALE 1"=20'-0"

OVER EXCAVATION NOTE
ALL AREAS TO BE OVER EXCAVATED SHALL BE INDICATED BY DOTTED LINES AND SHALL BE EXCAVATED TO EXPOSE THE SITE BEDROCK (APPROX. 1'-3" BELOW GRADE). EXCAVATION MATERIALS SHALL BE REMOVED AND STOCKPILED AT DESIGNATED LOCATIONS TO PREVENT SPILLAGE. THE LIMITS OF OVER EXCAVATION SHALL BE VERIFIED BY SOIL BORINGS PERFORMED BY A REGISTERED PROFESSIONAL ENGINEER, DATED PRIOR TO AND ALL APPLICABLE ORDINANCES AND/OR REVISIONS.



EROSION CONTROL PLAN
SCALE 1"=10'-0"

STORMWATER POLLUTION PREVENTION EROSION CONTROL PLAN NOTES

1. IN CASE OF EMERGENCY CALL MAICO INVESTMENT, LLC AT _____
2. A STAFF-ON-DUTY FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE MAJOR WORK PERIODS. 1 TO 24 HOURS. NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT DESIGNATED LOCATIONS TO PREVENT SPILLAGE.
3. BROODER CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE GRADING INSPECTOR OR THE GRADING OPERATOR HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. BRUSHED AREAS ADJACENT TO HILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE COMPLETION OF EACH WORKING DAY.
5. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINFALL EVENT AND BE DISPOSED OF PROPERLY.
6. A GAUGE SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINFALL EVENT.
7. EXCEPT AS OTHERWISE APPROVED BY THE GRADING INSPECTOR, ALL RESPONSIBLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY OR ON WEATHERS WITHIN THE FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 4%.
8. ALL LOOSE SOIL AND DEBRIS WHICH MAY CREATE A POTENTIAL HAZARD TO OFFSITE PROPERTY SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE GRADING INSPECTOR.
9. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE BROODER DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.
10. DESIRED BARRIERS MAY NOT BE REMOVED OR MADE SACRIFIABLE BETWEEN November 1 AND APRIL 30 OF THE FOLLOWING YEAR, WITHOUT THE APPROVAL OF THE GRADING INSPECTOR.
11. BROODER CONTROL DEVICES ARE TO BE MAINTAINED AS NEEDED AS THE PROJECT PROGRESSES AND PLANS OF THESE CHANGES MUST BE SUBMITTED FOR APPROVAL, AS REQUIRED.
12. AND THE FOLLOWING NOTES FOR SIMILAR TO THE PLAN TO DEFINE THE CURRENT STATE OF CONSTRUCTION:
 - A. STORM DRAINAGE AND LATCH BASIN ARE NOT CONTROLLED.
 - B. STRUTS ARE IN PLACE, EXCEPT AS NOTED ON THE EROSION CONTROL PLAN.
 - C. DRAINAGE DEVICES ARE NOT CONTROLLED, EXCEPT AS NOTED ON PLAN.
13. STORM WATER POLLUTION CONTROL REQUIREMENTS MUST BE INTEGRATED INTO THE BROODER CONTROL PLAN PER TITLE 26, SECTION 1905 OF THE COUNTY CODES FOR ANY CONSTRUCTION WITHIN OCTOBER 1 AND APRIL 30.
14. THERE ARE NO AREAS WHERE TOXIC, HAZARDOUS OR CONTAMINATED SOILS ARE KNOWN TO HAVE BEEN TREATED, STORED, DISPOSED OF, SPILLED OR LEAKED ONTO THE SITE.

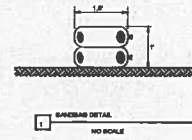
15. THE SITE IS PRESERVED PRIOR TO CONSTRUCTION COVERED BY LOCAL VEGE- VEGETATION REMAINS AND BUSINESS ALL OF WHICH WILL BE REMOVED DURING CONSTRUCTION ACTIVITIES. AS A RESULT THERE WILL BE NO AREAS OF VEGETATION SOIL COVER OR NATIVE VEGETATION THAT WILL REMAIN UNCHANGED BY THE CONSTRUCTION PROJECT.
16. BY NECESSITY THE CRITICAL LOCATIONS OF CONSTRUCTION MATERIAL STORAGE, OFFICE AND ACCESS, CONSTRUCTION VEHICLE AND EQUIPMENT STORAGE, CLEANING AND MAINTENANCE, AND TO ALLEGED EXISTING WATER STORES, WILL CHANGE FROM TIME TO TIME AS WORK PROGRESSES FROM ONE AREA OF THE SITE TO ANOTHER. THIS IS ACCEPTABLE BUT ONLY IF THE FOLLOWING CONDITIONS ARE MET:
 - A. THE CHANGES OF SUCH LOCATIONS IS MINIMIZED TO THE EXTENT POSSIBLE, AND;
 - B. THE APPLICABLE BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT IN SECTIONS 6 AND 8 OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE EROSION CONTROL PLAN ARE FOLLOWED AT EACH SUCH LOCATION.
17. AT LEAST A PORTION OF THE CONSTRUCTION ACTIVITIES WILL OCCUR DURING THE RAINY SEASON. SECTION 6 AND 8 OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE EROSION CONTROL PLAN SHOW THE BEST MANAGEMENT PRACTICES NECESSARY TO CONTROL STORM WATER RUNOFF DURING THIS PERIOD (AS WELL AS FOR THE REST OF THE YEAR).
18. THE EROSION CONTROL PLAN SHOWS AREAS OF SOIL DISTURBANCE, CUT OR FILL. SECTION 6 OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE EROSION CONTROL PLAN SHOW THE BEST MANAGEMENT PRACTICES NECESSARY TO CONTROL STORM WATER RUNOFF FROM ANY SUCH AREA.
19. THE EROSION CONTROL PLAN AND GRADING PLANS SHOW THE DRAINAGE PATTERNS ADJACENT SITES (AND IF APPLICABLE) RELEVANT TO THESE DRAINAGE AREAS INCLUDING DRAINAGE PATTERNS AND SLOPES ANTICIPATED AFTER MAJOR DRAINING ACTIVITIES AND IF APPLICABLE NECESSARY TO DIRECT CURRENT STORM WATER RUN-OFF FROM OFFSITE PROPERTIES.
20. THE EROSION CONTROL PLAN AND GRADING PLANS SHOW THE CONSTRUCTION PROJECT INCLUDING EXISTING AND PLANNED PAVED AREAS, SIDEWALKS AND DRIVEWAYS, ONE TEMPORARY STORAGE AND OFFICE STRUCTURES, PROPOSED STORM DRAINAGE COLLECTION AND DRAINAGE SYSTEMS INCLUDING DRAINAGE AREA AND PATTERNS FOR EACH STORM WATER RAINFALL EVENT AND THE BEST MANAGEMENT PRACTICES NECESSARY TO PREVENT SUCH RUN-OFF FROM CONTAMINATED BEHAVIORS.
21. SECTION 6 AND 8 OF THE STORM WATER POLLUTION PREVENTION PLAN SPECIFY BEST MANAGEMENT PRACTICES TO CONTROL NON-POINT STORM WATER DISCHARGE FROM THE SITE.
22. SECTION 8 OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE EROSION CONTROL PLAN SHOW BEST-CONSTRUCTION MEASURES TO CONTROL STORM WATER RUNOFF.

THE FOLLOWING NOTES AND SHEETS AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICES HANDBOOK, CALIFORNIA SUSTAINABLE QUALITY PRACTICES, EDITION 2014, CHAPTER 10, OF THE LATEST EDITIONS, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED IF DESIRED APPROPRIATE BY COUNTY REGULATIONS.

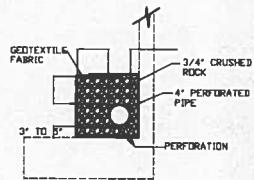
- ATTACHMENT NOTES**
- A. SPILLED SUBSTANCES AND OTHER POLLUTANTS MUST BE RETAINED, CONTAINED AND NOT BE TRANSPORTED FROM THE SITE TO STREET OR, DRAINAGE AREA, DRAINAGE, NATURAL DRAINAGE COURSE OR WAYS.
 - B. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCE OF WIND OR WATER.
 - C. PAVERS, CURB, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LABELS AND NOT CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPLICABLE STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
 - D. EXCESS OF WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC DRY OR ANY OTHER DRAINAGE SYSTEM. PROVIDERS SHALL BE MADE FURTHER KNOWN OF WASTE CONCRETE ON SITE UNITS. THEY CAN BE DISPOSED OF AS SOLID WASTE.
 - E. WASTE AND CONSTRUCTION RELATED SOLID WASTES MUST BE DISPOSED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF TRANSPORT AND DISPOSAL, BY WIND.
 - F. SUBSTANCES AND OTHER MATERIALS MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE SHOULD BE STABILIZED TO 20 FT TO PREVENT TRACED MATERIALS FROM BEING TRACED INTO THE PUBLIC WAY. ACCIDENTAL DISCHARGES MUST BE CLEANED UP IMMEDIATELY AND NOT BE TRACED TO THE PUBLIC WAY BY WIND OR WATER.
 - G. ANY SLOPES WITH BATTERED SOILS OR AREAS OF VEGETATION MUST BE STABILIZED SO AS TO AVOID SPILLAGE BY WIND AND WATER.

ATTACHMENT SHEETS

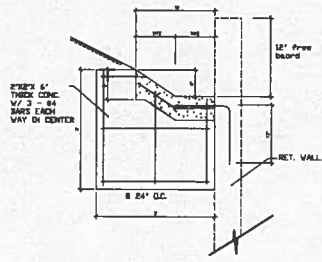
CAD01	DEMOLITION OPERATIONS
CAD02	PAVING OPERATIONS
CAD03	STRUCTURE CONSTRUCTION AND PAINTING
CAD04	MATERIAL DELIVERY AND STORAGE
CAD05	MATERIAL USE
CAD06	SPILL PREVENTION AND CONTROL
CAD07	SOILS AND WATER MANAGEMENT
CAD08	VEGETATION BEST MANAGEMENT PRACTICES
CAD09	CONSTRUCTION WASTE MANAGEMENT
CAD10	VEHICLE AND EQUIPMENT STORAGE
CAD11	VEHICLE AND EQUIPMENT STORAGE
CAD12	VEHICLE AND EQUIPMENT STORAGE
CAD13	VEHICLE AND EQUIPMENT STORAGE
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CAD50	VEHICLE AND EQUIPMENT STORAGE



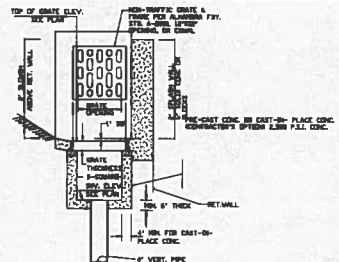
PREPARED BY: Henri R. Azarhin 					CITY OF AGOURA HILLS APPROVAL 					PROJECT: SINGLE FAMILY RESIDENCE 28254 LAURA LA PLANTE AGOURA HILLS, CALIFORNIA					EROSION CONTROL PLAN SHEET 3 OF 5				
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE: 11/01/18	REVIEWED BY	DATE	HABIB & ADEVA, P.E., CITY ENGINEER	DATE	C88968 RIDE NO.:	06/30/2018 EXP DATE			 DESIGN STUDIO TEL: 616-300-8008 POLYVA@LPHILL.COM		CITY OF AGOURA HILLS DWG. NO. _____		



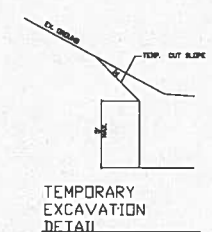
SUBDRAIN DETAIL



FREE BOARD AND WALL GUTTER TYPICAL SECTION

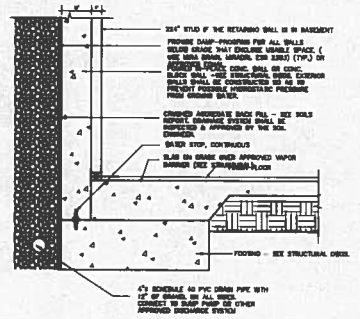


CONC. CATCH BASIN



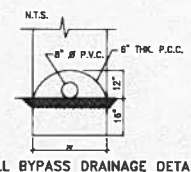
TEMPORARY EXCAVATION DETAIL

④ SUBDRAIN DETAIL ④ FREE BOARD AND WALL GUTTER TYPICAL SECTION ③ CONC. CATCH BASIN ② TEMPORARY EXCAVATION DETAIL



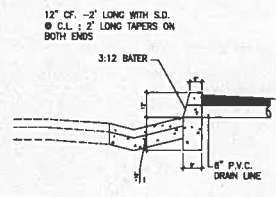
STENCIL AT ALL DRAINAGE INLETS (I.E. CATCH BASIN, TRENCH DRAINS)

⑥ TYP. BASEMENT WALL SECTION



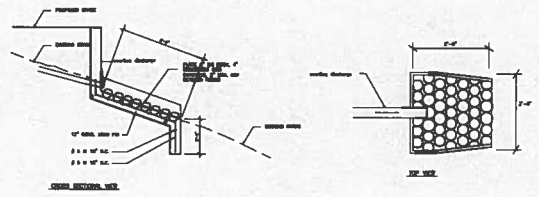
WALL BYPASS DRAINAGE DETAIL
N.T.S.
NOTE: SEE STRUCTURAL FOR MORE DETAILS ON PIPE THROUGH RET. WALL.

⑦ WALL BYPASS DRAINAGE DETAIL

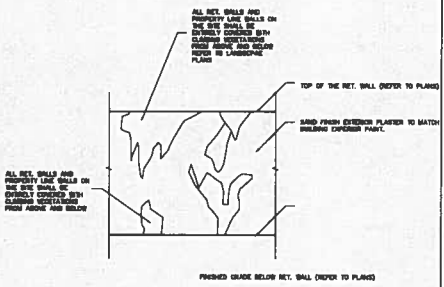


⑧ TYPICAL CURB FOR DRAIN OUTLET

⑥ TYP. BASEMENT WALL SECTION ⑦ WALL BYPASS DRAINAGE DETAIL ⑧ TYPICAL CURB FOR DRAIN OUTLET

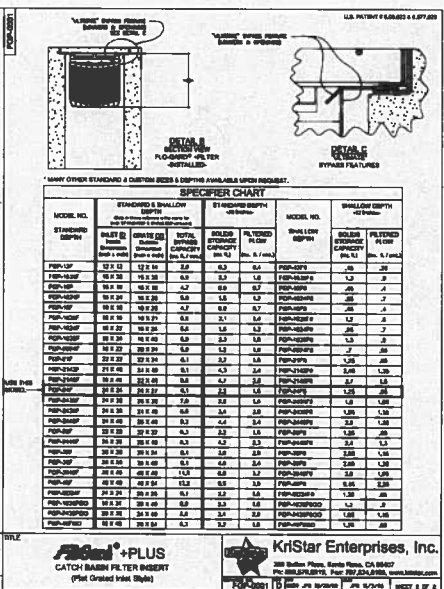
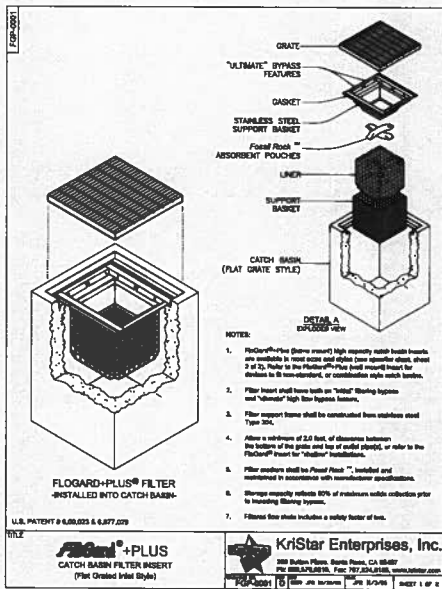


⑩ GRouted RIP-RAP AT OUTLET DETAIL



⑩ CLIMBING VEGETATION ON RET. WALLS TYPICAL FOR ALL RET. WALLS

① DETAILS				PREPARED BY: Hamid R. Azarbin	CITY OF AGOURA HILLS APPROVAL						PROJECT: SINGLE FAMILY RESIDENCE 28254 LAURA LA PLANTE AGOURA HILLS, CALIFORNIA	GRADING AND DRAINAGE DETAILS SHEET 4 OF 5
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED DATE	PROJECT ENGINEER	DATE: 11/11/16	REVIEWED BY	DATE	RAMIRO S. ADEVA, P.E., CITY ENGINEER				



DETAIL C
KRISTAR FLOGARD PLUS
CATCH BASIN FILTER INSERT MODEL FGP-24F

- NOTES:**
ALL ROOF DRAIN SHALL BE DIRECTED TO CONC. SWALE IN DRIVEWAY
- NOTES TO CONTRACTOR**
- AFTER INSTALLATION OF PERFORATED PIPE ON THE BOTTOM OF THE PLANTER BOX & PRIOR TO BACKFILLING, CALL THE ENGINEER TO VISIT THE SITE FOR PROPER INSTALLATION OF THE PLANTER BOX AND ISSUANCE OF CERTIFICATION FOR THE PLANTER BOXES.
 - CALL OSHA PERMIT IS REQUIRED FOR ANY EXCAVATION OF MORE THAN 5' IN DEPTH.



STORM DRAIN SYSTEM
STENCILING AND SIGNAGE
NOT TO SCALE

ALL CATCH BASINS TO BE STENCILED
STENCILING DUMPING THIS DRAINS TO OCEAN*
SYMBOL NEAR GRADE INLET, FOR ALL CATCH BASINS

STORMWATER POLLUTION PLAN NOTES

THE FOLLOWING NOTES AND BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 1993, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY COUNTY INSPECTORS):

GENERAL SPECIFICATIONS FOR MAINTENANCE OF FB-24 CATCH BASIN FILTERS

SCOPE: Federal, State and Local Clean Water Act regulations and those of insurance carriers require that stormwater filtration systems be maintained and serviced on a recurring basis. The intent of the regulations is to ensure that the systems, on a continuing basis, efficiently remove pollutants from stormwater runoff thereby preventing pollution of the receiving water resources. These Specifications apply to the FB-24 catch basin filters.

RECOMMENDED FREQUENCY OF SERVICE: Drainage Protection Systems (DPS) recommends that installed FB-24 catch basin filters be serviced on a recurring basis. Ultimately, the frequency depends on the amount of runoff, pollutant loading and landscaping (lawn debris (leaves, vegetation, cans, paper, etc.) however, as a minimum, it is recommended that each installation be serviced a minimum of three times per year, with a change of filter medium once per year. DPS technicians are available to do an on-site evaluation, upon request.

RECOMMENDED TYPING OF SERVICE: DPS guidelines for the timing of service are as follows:

- For areas with a definite rainy season: Prior to, during and following the rainy season.
- For areas subject to year-round rainfall: On a recurring basis (at least three times per year).
- For areas with winter snow and summer rain: Prior to and just after the snow season and during the summer rain season.
- For installed devices not subject to the elements (washrooms, parking garages, etc.): On a recurring basis (at least three times per year).

SERVICE PROCEDURES:

- The service shall commence with collection and removal of sediment and debris (litter, leaves, papers, cans, etc.) and begins sweeping around the drainage basin. Accumulated material shall be placed in a DOT approved container for later disposal.
- The catch basin shall be visually inspected for defects and possible illegal dumping. If illegal dumping has occurred, the proper authorities and property owner representative shall be notified as soon as practicable.
- The catch basin grate will be removed and set to one side. Then the filter top screen will be carefully removed with all sediment and debris to be disposed of properly.
- The filter, sediment trap screen and other components shall be inspected for continued serviceability. Minor damage or defects found shall be corrected on-the-spot and a notation made on the Maintenance Record. More extensive deficiencies that affect the efficiency of the filter (top screen, etc.), if approved by the customer representative, will be corrected and an invoice submitted to the representative along with the Maintenance Record.
- The filter medium pouches shall be inspected for defects and continued serviceability and replaced as necessary. See below.

EXCHANGE AND DISPOSAL OF EXPOSED FILTER MEDIUM AND COLLECTED DEBRIS: The frequency of filter medium pouch exchange will be in accordance with the existing DPS-Customer Maintenance Contract. DPS recommends that the medium be changed at least once per year. During the appropriate service, or if as determined by the service technician during a non-scheduled service, the filter medium pouches will be replaced with new pouches and the exposed pouches placed in the DOT approved container, along with the exposed debris. Once the exposed pouches and debris have been placed in the container, DPS has possession and must dispose of it in accordance with local, state and federal agency requirements.

Notes to the generator, the landowner is ultimately responsible for the proper disposal of the exposed filter medium and debris. Because the materials probably contain petroleum hydrocarbons, heavy metals and other harmful pollutants, the materials must be treated as an EPA Class 2 Hazardous Waste and properly disposed of. DPS reflects the landowner of the actual disposal unit, and provides certification of its compliance in accordance with appropriate regulations.

DPS also has the capability of servicing all manner of catch basin inserts and catch basins without inserts, underground oil/water separators, stormwater interceptors and other such devices. All DPS personnel are highly qualified technicians and are certified upon training and certified. Call us at (800) 958-8226 for further information and assistance.

02/05/04

CALIFORNIA COUNCIL OF CIVIL ENGINEERING & LAND SURVEYOR

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICE, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS PROFESSIONAL, HARBORSER, FORM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

UNAUTHORIZED CHANGES & USES

CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS, ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARE OF THESE PLANS.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS


THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THIS PLAN ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS.

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR, AND WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS' "CONSTRUCTION SAFETY ORDERS."

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE THE STAKES BEFORE COMMENCING THE OPERATIONS. SHOULD OCCASION ARISE WHERE THE VALIDITY OF A STAKE IS QUESTIONABLE, EITHER AS TO ITS LOCATION OR THE OFFSET MARKED THEREON, OR AS TO THE ELEVATION OF CUT OR FILL MARKED THEREON, CONTRACTOR SHALL NOTIFY THE ENGINEER WHO WILL CHECK THE STAKE OR STAKES IN QUESTION. ANY STAKES FOUND TO BE IN ERROR WILL BE RESET WITHOUT CHARGE. IT IS UNDERSTOOD THAT THE ENGINEER WILL NOT BE CHARGED FOR ANY STAKES OR "DOWN" TIME AS A RESULT OF SUCH CHECKING AND/OR RESETS. THE ENGINEER IS NOT LIABLE FOR ANY ALLEGED ERRORS WHEN STAKES HAVE BEEN DESTROYED AND FIELD NOTES AND RECORDS INDICATE STAKES WERE SET CORRECTLY.

ABBREVIATIONS	LEGENDS
--- EXISTING CONTOUR	C.B. ----- CATCH BASIN
--- PROPOSED CONTOUR (E3+)	C.F. ----- CURB FACE
--- EXISTING ELEVATION	CONC. ----- CONCRETE
--- PROPOSED ELEVATION	D.W.Y. ----- DRIVEWAY
--- FENCE	F.F. ----- FINISHED FLOOR
--- FIRE HYDRANT	F.G. ----- FINISHED GRADE
--- FLOW LINE	F.H. ----- FIRE HYDRANT
--- SLOPE	F.L. ----- FLOW LINE
--- CONCRETE	F.S. ----- FINISHED SURFACE
--- PROPOSED WALL	G.B. ----- GRADE BREAK
--- EXISTING WALL	H.P. ----- HIGH POINT
--- RIDGE LINE *	MAX. ----- MAXIMUM
--- GRADE BREAK LINE	MIN. ----- MINIMUM
	P.L. ----- PROPERTY LINE
	PAV'T. ----- PAVEMENT
	RADIUS ----- RADIUS
	T.C. ----- TOP OF CURB
	T.C.B. ----- TOP OF CATCH BASIN
	T.W. ----- TOP OF WALL
	INV. ----- INVERT
	CL. ----- CENTER LINE

REVISION #				SYMBOL				DESCRIPTION OF CHANGE				APPROVED		DATE			
PREPARED BY: Herrid R. Azarbin  CITY OF AGOURA HILLS APPROVAL RAMIRO S. ADEVA, P.E., CITY ENGINEER																	
PROJECT ENGINEER		DATE: 11/11/15		REVIEWED BY		DATE		C8885 RICE NO.		08/30/2016 EXP DATE		AGOURA HILLS		PROJECT: SINGLE FAMILY RESIDENCE 28254 LAURA LA PLANTE AGOURA HILLS, CALIFORNIA		SUSMP PLAN SHEET 5 OF 5	

CITY OF AGOURA HILLS DWG. NO.



14 88-88-925 page 1 of 1

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PROJECT:
SINGLE FAMILY RESIDENCE @
28254 LAURA LA PLANTE
AGOURA HILLS, CALIFORNIA

LEGAL DESCRIPTION:
LOT 7 IN BLOCK 5 OF TRUCK
4763, IN THE CITY OF AGOURA
HILLS, COUNTY OF LOS
ANGELES, STATE OF
CALIFORNIA, AS PER MAP
RECORDED IN BLOCK 140
PAGE 68 TO 84 INCLUSIVE OF
MAPS, IN THE OFFICE OF THE
COUNTY RECORDER OF SAID
COUNTY.

OWNER:
POLYA AND NIMA PAVAN
18816 HALPER STREET
BUCINO, CA 91438
TEL: (310) 843-8422

DESIGNER:
LABYRINTH DESIGN STUDIO
NIMA PAVAN
1824 GRANVILLE AVE # 105
LA, CA 90029
TEL: (310) 843-8422
E-MAIL: nima@labyrinth.com

NO.	DATE	REVISIONS

SHEET TITLE

LANDSCAPE
PLAN

SCALE: AS SHOWN

DRAWN

START DATE: MARCH 2014

JOB NUMBER: 67303

SHEET

L-1.0

DRAWING DATE: 11/11/2015

PLANTING LEGEND

TREES

ARBUTUS HYBRID
'MARINA'
MARINA STRAWBERRY TREE

CERCIUM HYBRID
'DESERT MUSEUM'
HYBRID PALO VERDE
YUCCA ROSTRATA
BIG BEND YUCCA

CERCIIS OCCIDENTALIS
WESTERN REDBUDD

EXISTING TREE TO REMAIN

VINE

TRACHELOSPERMUM
JASMINOIDES

SHRUBS & GROUND COVER

ECHEVERIA 'AFTERGLOW'
ECHEVERIA

SENCIO MANDRALISCAE
SENCIO

ARISTIDA PURLUREA
PURPLE THREEAWN
1 GAL @ 30" O.C. / 337 EA. LOW
COMMENT: SLOPE PLANTING

ROSEMARINUS OFFICINALIS
PROSTRATUS
5 GAL @ 6' O.C. LOW
COMMENT: DRAPE OVER
TOP OF RET. WALL

AGAVE ATTENUATA
FOXTAIL AGAVE
5 GAL / 6 EA. LOW

WATER FEATURE

BROOM FINISHED CONCRETE

LANDSCAPE AREA

SIZE & QUAN.	SIZE @ PLANTING	SIZE @ MATURITY	WUCOLS
24" BOX / 1 EA.	8' H & 2' W	25' H & 20' W	LOW
24" BOX / 1 EA.	8' H & 3' W	15' H & 15' W	LOW
15 GAL / 2 EA.	6' H & 2' W	12' H & 6' W	LOW
24" BOX / 1 EA.	5' H & 4' W	12' H & 6' W	LOW



PLANTING NOTES

- DRAWING IS DIAGNOSTIC. CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BEDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER.
- FRESH GRADE TO BE 1" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA, NOT-TILL AMENDMENTS TO A DEPTH OF 4"
 - 150 LBS. GND-POWER
 - 3 CU YDS NITROGENIZED, MINERALIZED FIR BARK OR REDWOOD SHAVINGS
 - *ADD 8 LBS OF GND-POWER CONTROLLED RELEASE: 12-6-4 PER CU YD OF MIX.

- PLANT HOLE TO BE THREE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80 % SOIL OF SITE AND 40 % FIBER BARK UNLESS OTHERWISE NOTED. PROVIDE GND-POWER PLANT TABLETS AT THE FOLLOWING RATES:

1 GAL.	2
5 GAL.	5
15 GAL.	10
24" BOX AND UP	14
- PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/4 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS.
- "DEEP ROOT" BARRIERS ARE TO BE USED AROUND ALL TREES LOCATION WITHIN 3 FT. OF PAVING. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT NEMATODE KILLER (FIPROTHAL) APPLY PER MANUFACTURER'S SPECIFICATIONS AS IMMEDIATELY AFTER PLANTING, BUT AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.

LANDSCAPE PLAN

SCALE: 1/8"=1'-0"



LAURA LA PLANTE DR.



LA 18-28-201 SCALE: 1/8"=1'-0"

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PROJECT:
SINGLE FAMILY RESIDENCE @
28254 LAURA LA PLANTE
AGOURA HILLS, CALIFORNIA

LEGAL DESCRIPTION:
LOT 7 IN BLOCK 5 OF TRACK 8783, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BLOCK 148 PAGES 88 TO 94 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

OWNER:
POLYA AND NIMA PAPAN
16816 HALPER STREET
ENCINO, CA 91436
Tel: (310) 845-6462

DESIGNER:
LABYRINTH DESIGN STUDIO
NIMA PAPAN
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LA, CA 90025
TEL (310) 845-6462
E-MAIL: nlmivy@gmail.com

NO.	DATE	REVISIONS

SHEET TITLE

IRRIGATION PLAN

SCALE: AS SHOWN
DRAWN
START DATE: MARCH 2014
JOB NUMBER: 87803
SHEET

L-2.0
DRAWING DATE: 11/11/2015

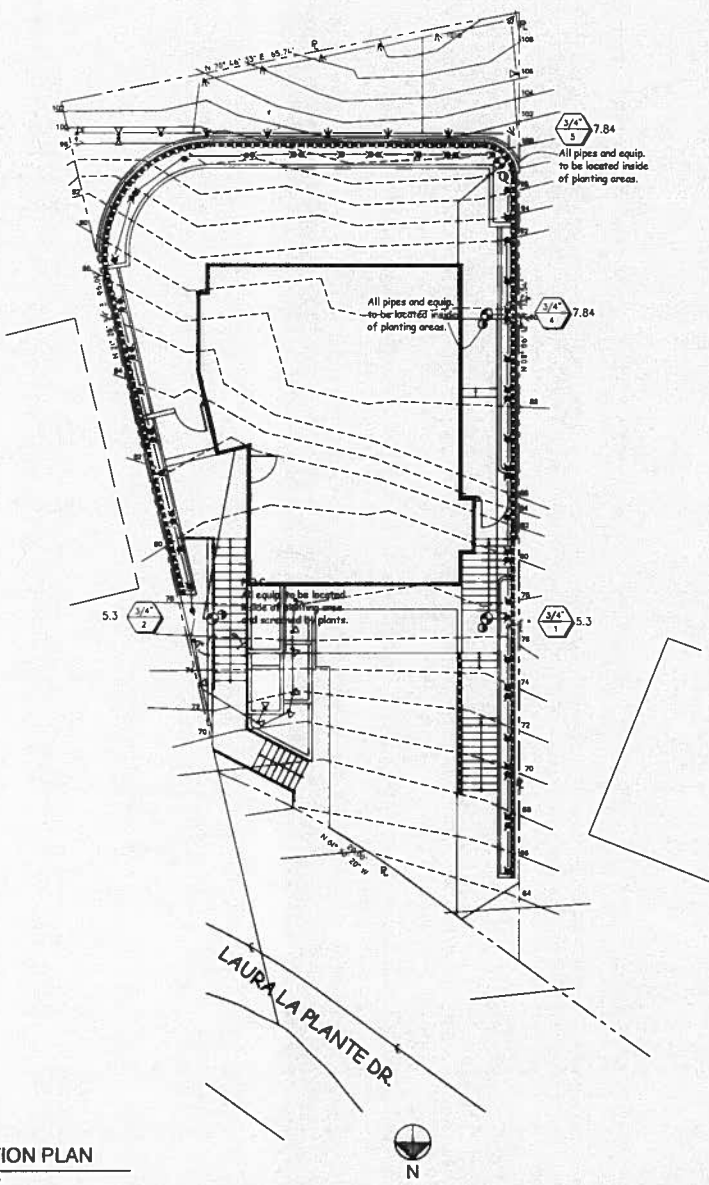
DESCRIPTION	SYN.	P.S.A.	REQ.	G.P.M.
'RAINBOW' POP-UP 1806 PRS --S VAN	∇	30	6"	.37-.60
'RAINBOW' POP-UP 1806 PRS --B O, H, F	∇	30	8"	.26-.52
'RAINBOW' POP-UP 1806 PRS --B VAN	∇	30	8"	.72-1.19
'TORO' SB-80 BUBBLER	⊕	10	7"	.49
'TORO' SB-180 BUBBLER	⊕	10	5"	.84
'TORO' SB-2-180 BUBBLER	⊕	10	7"	.49
'TORO' BRASS ANTI-SIPHON VALVE 216-26-04	⊕			
'WBDO' GATE VALVE 1-113	⊕			
'PROKON' W/VE BOX SERIES 1419	⊕			
'CHAMPION' MOISC. BUB 1-401-LX	⊕			
'TORO' CUSTOM COMMAND 8 STATION SLEEVING SCH. 40 P.V.C.	—			
PRESSURE LINE CLASS 315 PVC	—			
NON-PRESSURE LINE SCH. 40 P.V.C.	—			
POINT OF CONNECTION	P.O.C.			

LOCATION BY OWNER
TRIPLE LINE SIZE (MIN.)
1.5"
SEE PLAN FOR SIZE
VERIFY LOCATION ON SITE

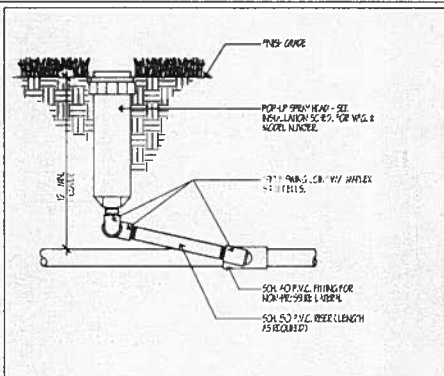
SIZE GPM
NO.

IRRIGATION NOTES

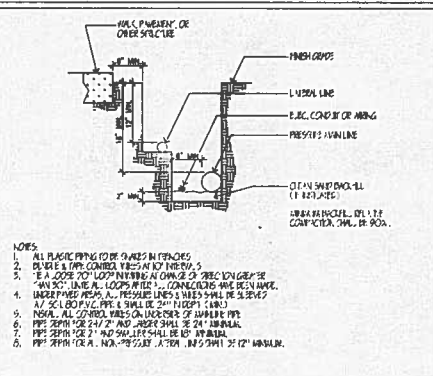
- THIS DESIGN IS DYNAMIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHENEVER POSSIBLE.
- SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES.
- ALL SPRINKLER HEADS ARE TO HAVE TRIPLE SWING JOINTS (EXCEPT WHERE NOTED ON PLANS).
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
- 120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS.
- BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT (USA) NUMBER BY CALLING 1-800-483-4143. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE INFORMATION IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY DIRT, WALLS, STREETS, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE GRADE DIFFERENCES, LOCATION OF WALLS AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE BLEEVES AND LATERALS UNDER ROADWAYS AND DRIVEWAYS, ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 81.9 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE ARCHITECT.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES IN THE AREA. OBSTRUCTIONS EXIST THAT HAD NOT BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACTOR IS TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS. AS PART OF THE SCOPE OF WORK, PROVIDE ANY ADDITIONAL HEADS, SPECIAL NOZZLES, OR PATTERNS TO ACHIEVE PROPER COVERAGE WITH A MINIMUM OF OVER SPRAY AT NO ADDITIONAL COST TO THE OWNER.
- INSTALLATION FOR THE CONTROL WIRES SHALL FOLLOW MARLBOROUGH ROUTING.
- PROVIDE BLEEVES AS SHOWN ON DRAWING. USE SIZE DIAMETER MIN. SCH. 80 P.V.C. 3/4" DEPTH TO TOP OF LINE.
- LOCATE VALVE CHART IN CONTROLLER - REDUCE AND ENCASE IN PLASTIC (AS BUILT).
- WARRANTY: THE INSTALLED SPRINKLER SYSTEM SHALL BE WARRANTED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO DEFECTIVE OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THIS SECTION OF WORK.



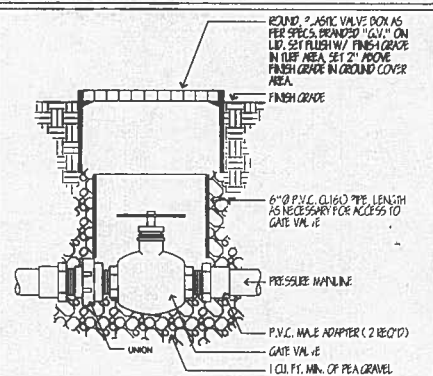
IRRIGATION PLAN
SCALE: 1/8"=1'-0"



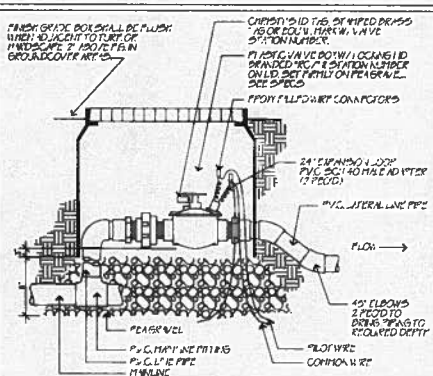
POP-UP DETAIL
SCALE: 1/4" = 1'-0"
FILE: E:\DWG001



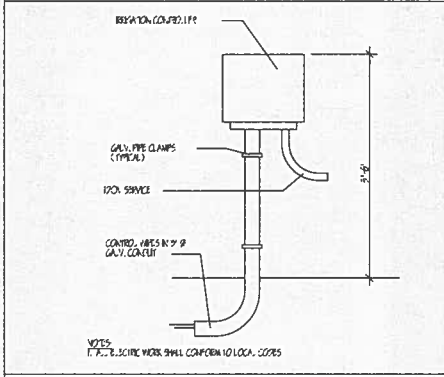
TRENCHING DETAIL
SCALE: 1/4" = 1'-0"
FILE: E:\DWG002



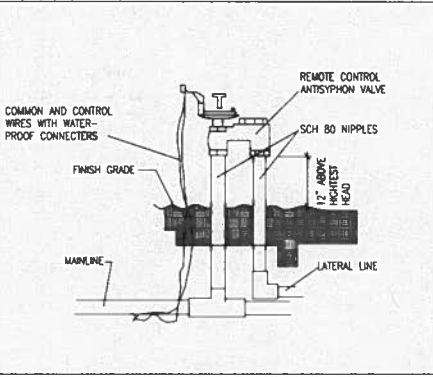
GATE VALVE
SCALE: 1/4" = 1'-0"
FILE: E:\DWG003



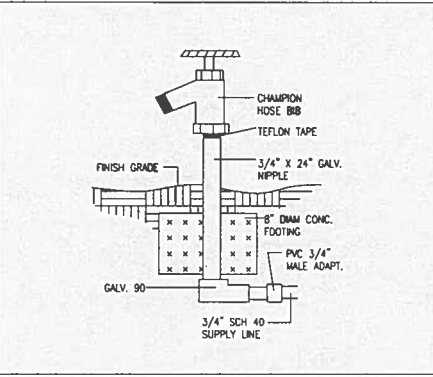
CONTROL VALVE
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FILE: E:\DWG004



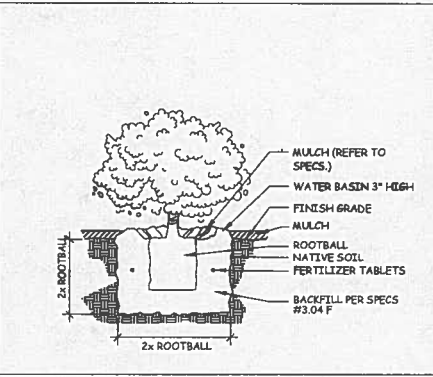
WALL MOUNT CONTROLLER
SCALE: 1/4" = 1'-0"
FILE: E:\DWG005



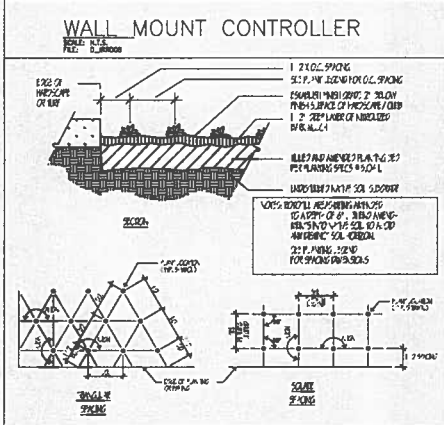
ANTISYPHON VALVE
SCALE: 1/4" = 1'-0"
FILE: E:\DWG006



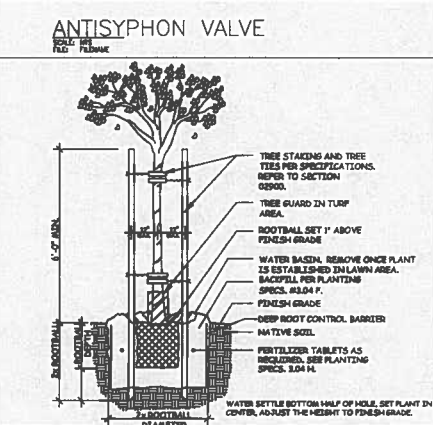
HOSE BIB
SCALE: 1/4" = 1'-0"
FILE: E:\DWG007



SHRUB PLANTING
SCALE: 1/4" = 1'-0"
FILE: E:\DWG001



GROUNDCOVER PLANTING
SCALE: 1/4" = 1'-0"
FILE: E:\DWG002



TREE STAKING & ROOT BARRIER
SCALE: 1/4" = 1'-0"
FILE: E:\DWG003



LABYRINTH DESIGN STUDIO

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PROJECT:
SINGLE FAMILY RESIDENCE @
28254 LAURA LA PLANTE
AGOURA HILLS, CALIFORNIA

LEGAL DESCRIPTION:
LOT 7 IN BLOCK 5 OF TRACK 8780, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BLOCK 148 PAGES 88 TO 94 INCLUSIVE OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

OWNER:
POLYA AND NIHA PAYAN
18816 HALPER STREET
ENCINO, CA 91436
Tel: (310) 645-6462

DESIGNER:
LABYRINTH DESIGN STUDIO
NIHA PAYAN
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LA, CA 90025
TEL (310) 645-6462
E-MAIL: nmay@gmail.com

NO.	DATE	REVISION

SHEET TITLE

DETAIL PLAN

SCALE: AS SHOWN

DRAWN

START DATE: MARCH 2014

JOB NUMBER: 67303

SHEET

L-3.0

DRAWING DATE: 1/11/2015



LA 08-09-005
mapPro.com

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PROJECT:
SINGLE FAMILY RESIDENCE @
28254 LAURA LA PLANTE
AGOURA HILLS, CALIFORNIA

LEGAL DESCRIPTION:
LOT 7 IN BLOCK 5 OF TRACK 8793, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BLOCK 148 PAGES 88 TO 94 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

OWNER:
POUYA PAYAN &
SHARON BINYAHEN
16816 HALPER STREET
ENCINO, CA. 91436
TEL: (818) 200-5065

DESIGNER:
LABYRINTH DESIGN STUDIO
NINA PAYAN
1800 SANTELLE BLVD., 2330
LOS ANGELES, CA. 90032
TEL: (310) 845-6442
E-MAIL: nipay@ymail.com

NO.	DATE	REVISIONS

SHEET TITLE

**TOPO.
SURVEY
PLAN**

SCALE: AS SHOWN

DRAWN: N.P.

START DATE: JULY 2014

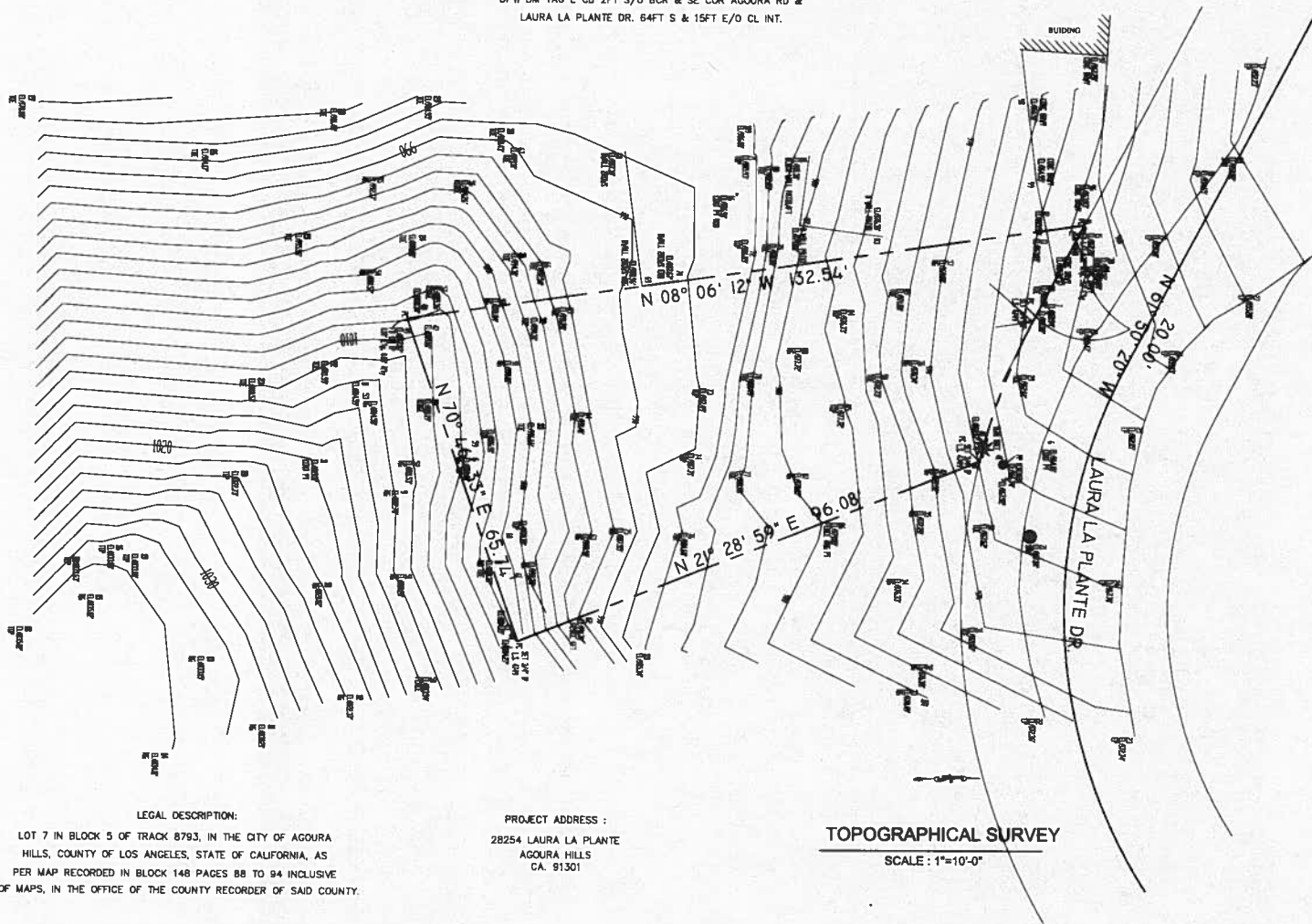
JOB NUMBER 28254 LAURA LA

SHEET

SR-1

PLOT DATE: 06/08/2015

BENCH MARK NUMBER 10424 ELEVATION=938.812'
DPW BM TAG E CB 2FT S/O BCR & SE COR AGOURA RD &
LAURA LA PLANTE DR. 64FT S & 15FT E/O CL INT.



LEGAL DESCRIPTION:
LOT 7 IN BLOCK 5 OF TRACK 8793, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BLOCK 148 PAGES 88 TO 94 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PROJECT ADDRESS :
28254 LAURA LA PLANTE
AGOURA HILLS
CA. 91301

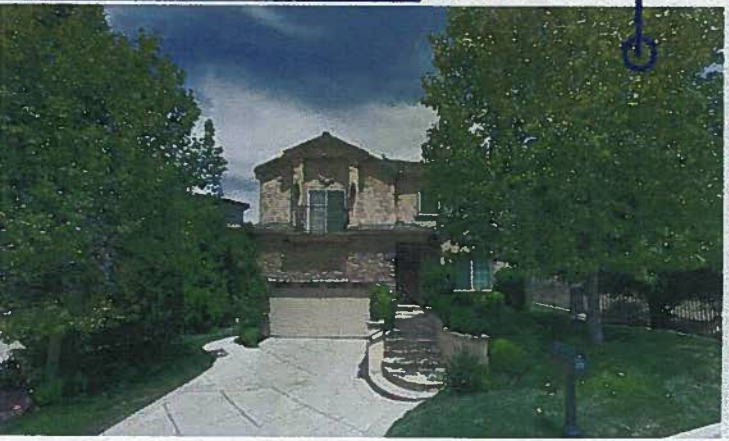
TOPOGRAPHICAL SURVEY

SCALE: 1"=10'-0"



ATTACHMENT 5

**PHOTOGRAPHS OF SURROUNDING PROPERTIES,
PHOTO-SIMULATIONS,
AND
COLOR AND MATERIAL BOARD**



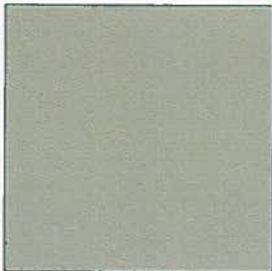






1 EXTERIOR PLASTER

7/8" SMOOTH FIN. EXT. PLASTER
 COLOR: DUNN EDWARD FOGGY DAY
 COLOR CODE: DE 8226



2 EXTERIOR PLASTER

7/8" SMOOTH FIN. EXT. PLASTER
 COLOR: DUNN EDWARD FOGGY DAY
 COLOR CODE: DE 8215



3 DOORS AND WINDOWS

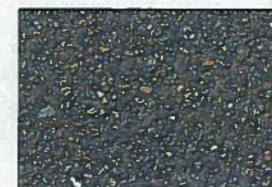
WIDE FRAME FACTORY PAINTED CLAD,
 CASHEMENT, SLIDING OR FIXED DUAL GLAZED
 WINDOWS FROM ANDERSON WINDOWS, OR
 EQUAL
 COLOR: ANODIZED F-2

4 SHEET METAL FLASHING

SHEET METAL FLASHING TO MATCH DOOR
 AND WINDOW COLOR

4 PEBBLE CONCRETE

COBBLE STONE 3



1 MATERIAL BOARD



14 84334th
 #1000000000

These drawings and specifications are the
 sole responsibility of the Designer and
 shall not be used for any other work without
 written agreement in the Contract.

PROJECT:
 SINGLE FAMILY RESIDENCE @
 28254 LAURA LA PLANTE
 AGOURA HILLS, CALIFORNIA

OWNER:
 POLYA PAYAN &
 SHANDI BERRYMAN
 16816 HALPER STREET
 BENSING, CA 91436
 TEL: (818) 200-5905

DESIGNER:
 LABYRINTH DESIGN STUDIO
 NIHA PAYAN
 1600 SAWTELLE BLVD., #130
 LOS ANGELES, CA, 90025
 TEL: (310) 845-6462
 E-MAIL: nipayy@gmail.com

NO.	DATE	REVISIONS

SHEET TITLE
MATERIAL BOARD

SCALE: AS SHOWN
 DRAWN: N.P.
 START DATE: JULY 2014
 JOB NUMBER: 28254 LAURALA
 SHEET

A-12.1