

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: April 21, 2016

TO: Planning Commission

APPLICANTS: Susan and Kelly Morris
5342 Chesebro Road
Agoura Hills, CA 91301

CASE NO.: SPR-01198-2016

LOCATION: 5342 Chesebro Road
(A.P.N. 2052-007-008)

REQUESTS: Request for approval of a Site Plan/Architectural Review to add a 938.8 square-foot, single-story addition to an existing single-family residence and an attached 446.4 square-foot covered patio; and a request to make a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL DETERMINATION: Exempt from the California Environmental Quality Act (CEQA) per Section 15301 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Site Plan Architectural Review Case No. SPR-01198-2016, subject to conditions, based on the findings of the attached draft Resolution.

ZONING DESIGNATION: RL-20,000-OA-EQ (Low Density Residential - 20,000 square feet minimum lot size - Old Agoura Design Overlay-Equestrian Overlay)

GENERAL PLAN DESIGNATION: RL (Low Density Residential)

I. PROJECT BACKGROUND AND DESCRIPTION

The applicants/property owners, Susan and Kelly Morris, are requesting approval of a Site Plan Architectural Review (SPR) to add 938.8 square feet of living space and a new 446.4 square-foot attached covered patio (replacing the one existing) to their existing single-story, single-family residence located at 5342 Chesebro Road. The existing residence is 1,875 square feet in size, with a 424 square-foot attached garage and a 446 square-foot covered patio on a 21,779 square-foot, relatively flat lot that includes a 96 square-foot tack room, a 224 square-foot hay shed, and an equestrian area located on the rear portion of the property. The residence was built in 1976, before City incorporation. The 21,779 square-foot lot is located on the east side of Chesebro Road in the RL-20,000-OA-EQ (Low Density Residential - 20,000 square feet minimum lot size - Old Agoura Design Overlay-Equestrian Overlay) zoning district. Existing single-family homes are located on the adjacent properties to the north and south. Old Agoura Park is located across the street to the west of the subject property, and the parcel abuts the City boundary on the east, which is vacant land proposed for 15 single-family homes as part of the Agoura Equestrian Estates Project. Access to the property is taken from Chesebro Road by a 12-foot wide driveway on the south side of the residence that is shared with the neighbor directly south.

The Zoning Ordinance requires that all additions in the RL zone that exceed 30 percent of the original floor area, or additions that result in a gross floor area of over 3,000 square feet, be reviewed and approved by the Planning Commission as a Site Plan/Architectural Review. The addition of 938.8 square feet is a 50 percent increase of the existing residence, excluding the attached garage. The proposed overall size of the residence, including the attached garage, is 3,237.8 square feet.

The existing residence, the proposed addition, and covered patio are permitted uses in the RL zone and will meet the required development standards, relative to lot coverage, and height. Listed below are the proposed development data pertaining to the project:

Pertinent Data			
	Existing	Proposed	Allowed/ Required
Lot Size	21,779 sq. ft.	21,779 sq. ft.	20,000 sq. ft. min.
Building Height	15 ft.	15 ft.	30 ft. maximum
Building Sizes			
Single-Story Dwelling	1,875 sq. ft.	2,813.8 sq. ft.	N/A
Attached Garage	424 sq. ft.	424 sq. ft.	N/A
Total	2,299 sq. ft.	3,237.8	
Accessory Structures			
Tack Room	96 sq. ft.	96 sq. ft.	N/A.
Hay Shed	224 sq. ft.	224 sq. ft.	N/A
Total	320 sq. ft.	320 sq. ft.	
Lot Coverage			
Single-Story Dwelling	1,875 sq. ft.	2,814 sq. ft.	N/A
Attached Garage	424 sq. ft.	424 sq. ft.	N/A

Tack Room	96 sq. ft.	96 sq. ft.	N/A
Hay Shed	224 sq. ft.	224 sq. ft.	N/A
Covered Patio	446 sq. ft.	446 sq. ft.	N/A
Concrete Driveway	926 sq. ft.	926 sq. ft.	N/A
Walkways and steps	135 sq. ft.	135 sq. ft.	N/A
Total	4,126 sq. ft. (0.19 percent)	5,065 sq. ft. (0.23 percent)	35% maximum
Building Setbacks			
Front (West)	56 ft.	56 ft.	25 ft. minimum
Rear (East)	232 ft.	209 ft.	25 ft. minimum
Left Side (North)	8 ft., 10 inches	8 ft., 10 inches	12 ft. minimum
Right Side (South)	9 ft., 1 3/8 inches	9 ft., 1 3/8 inches	12 ft. minimum

II. STAFF ANALYSIS

Site Plan

The existing house is single story in design and is on a relatively flat lot located on the east side of Chesebro Road. The proposed 938.8 square-foot addition and 446.4 square-foot, covered patio, replacing the existing rear covered patio, would be constructed at the rear (east end) of the residence. The proposed addition would allow for more living space that includes a master bedroom, master bathroom, and expansion of the kitchen, to the main structure.

The RL zone requires a minimum of 12 feet on either side of the structure to the side property lines, and 25 feet each for both the front and rear yards. The existing nine-foot, one and three-eighths (9'-1 3/8") of an inch, non-conforming side yard setback from the south property line and the existing eight-foot, ten-inch (8'-10") side yard setback from the north property line would be maintained, as allowed per the Zoning Ordinance for single-story additions, and the project would not further encroach into the non-conforming side yard setbacks. The existing 56-foot setback from the front (west) property line would be maintained. The proposed addition at the rear of the existing structure would decrease the existing 232-foot rear yard setback from the east property line to 209 feet. The front and rear setbacks would exceed the 25-foot minimum front and rear yard requirements for the zone. The additions to the residence would be built at the same 15-foot height as the existing residence, which is below the maximum building height of 30 feet allowed for the RL zone.

The proposed lot coverage of this site, including the existing residence, the proposed addition, accessory structures and hardscape is 5,065 square feet, or 23 percent of the lot. The maximum allowable lot coverage for the RL zone is 35 percent. The proposed addition and covered patio will not impact the equestrian use of the property located in the rear of the parcel, thus preserving the exiting semi-rural character of Old Agoura.

There are no oak trees on the property. Since the topographic slope of the property does not exceed 10 percent, the applicant was not required to prepare a landscape plan for the

City's review and no change in landscaping is proposed. No street or horse trail improvements will be required for the proposed project. The parcel is connected to the public sewer system.

Architectural Design

The appearance of the proposed addition will match the existing dwelling with off-white stucco exterior walls, white trim, and a dark gray composition shingle roof. The exterior building materials will be compatible with the surrounding neighborhood. The applicant will not be proposing any new fencing or walls on the property. With regard to the Old Agoura Design Guidelines in the City Architectural Design Standards and Guidelines, the proposed colors and materials are compatible with the rustic appearance of Old Agoura. The additions would also be compatible with the existing residence in terms of materials, color and style. As the additions would be single-story in height, they would complement the existing one story home, and the 15 foot height would comply with the Architectural Design Standards and Guidelines. The design and location of the additions leaves much of the lot as open space, horse-keeping area, consistent with the Old Agoura Design Guidelines. According to the Old Agoura Residential Design Guidelines, the maximum building area on the lot could be 4,107 square feet (consisting of the dwelling unit, garage, and attached structures), while the project proposes an addition that would result in a total building area on the site of 3,683.8 square feet. Therefore, the building area size is consistent with the Old Agoura Residential Design Guidelines. A letter from the Old Agoura Homeowner's Association is attached to this report.

General Plan Consistency

Staff finds the project would be consistent with the following applicable General Plan goals and policies:

Goal LU-8: Residential Very Low- and Residential Low-Density Neighborhoods (Old Agoura). Residential neighborhoods containing very low- and low-density housing reflecting Agoura Hills' history and designed to respect their environmental setting.

- *Policy LU-8.1 Neighborhood Identity.* Promote and maintain the integrity of Old Agoura residential neighborhoods for their low-density large estates, rustic character, non-urban infrastructure, and keeping of horses and other farm animals.
- *Policy LU-8.2 Development Compatibility with Community Character.* Require that renovation of existing and construction of new housing and property improvements respect the characteristics that distinguish Old Agoura, including its topography, parcel sizes, housing scale and form, nonurban infrastructure and streetscapes (no sidewalks, curbs and gutters, and street lighting), and equestrian trails.

The project complies with Goal LU-8 and Policies LU-8.1 and LU-8.2 in that the project has been carefully designed to maintain the keeping of horses on the property and

maintains the rustic character of Old Agoura through building colors and materials and building scale.

Environmental Review

The proposed project includes the addition and new covered patio has been determined by staff to be Categorically Exempt from the California Environmental Quality Act (CEQA), in accordance with Section 15301(e) (Existing Facilities). No significant environmental impacts are expected from development of this project.

III. RECOMMENDATION

Based on the foregoing review and analysis, staff recommends that the Planning Commission approve Site Plan/Architectural Review Case No. SPR-01198-2016, subject to conditions, based on the findings of the attached Draft Resolution.

IV. ATTACHMENTS:

- Exhibit A: Site Plan/Architectural Review Draft Resolution and Conditions
- Exhibit B: Old Agoura Homeowners Association Letter
- Exhibit C: Vicinity Map
- Exhibit D: Reduced Copies of Project Plans
- Exhibit E: Colors and Material Board
- Exhibit F: Photographs of Applicant's Lot and Surrounding Parcels

Case Planner: Renee Madrigal, Associate Planner

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01198-2016 FOR THE CONSTRUCTION OF AN ADDITION AND COVERED PATIO TO AN EXISTING SINGLE-FAMILY RESIDENCE AT 5342 CHESEBRO ROAD; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Susan and Kelly Morris with respect to the property located at 5342 Chesebro Road (Assessor's Parcel Number 2052-007-008), requesting approval of a Site Plan/Architectural Review (Case No. SPR-01198-2016) to add a 938.8 square-foot, single-story addition to a single-family residence, and a new 446.4 square-foot covered patio. A public meeting was duly held on April 21, 2016, at 6:30 p.m. in the Council Chambers at City Hall, 30001 Ladyface Court, Agoura Hills, California; and notice of the time, date and place and purpose of the aforesaid was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public meeting.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to the Agoura Hills Municipal Code Section 9677.5 (Site Plan Review) that:

A. The proposed use is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located. The residence and the proposed addition and new covered patio are permitted uses in the Low Density Residential (RL) zone. The addition would expand the existing single floor of the residence. The minimum development standards of the RL zone zoning district have been met with regard to building coverage and building height.

B. The proposed addition, as conditioned, will not be detrimental to the public health, safety, or general welfare. The property will be improved and maintained according to City Building Code standards and all building plans will be reviewed and approved by the City's Building and Safety Department. The placement of the single-story addition will be below the maximum allowable building height of 30 feet, thereby allowing for privacy, light, and air to adjacent residences. The parcel is connected to the public sewer system.

C. The proposed additions will not conflict with the character and design of the buildings and open space in the surrounding area. The proposed exterior colors and materials consisting of off-white stucco exterior walls, white trim, and dark gray composition shingle roof would be compatible with the neighborhood.

D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance. The project is consistent with the development standards of the RL zone regarding building coverage and building height. The project meets the height and building area requirements of the district. The project meets the required setbacks from the property edge except for the side yards (north and south). The residence was constructed before City incorporation, and has existing, non-conforming side yard setbacks. The proposed additions would maintain the same side yard setback, in line with the existing building, and would not further encroach into the setback.

E. The proposed use is consistent with the goals, objectives and policies of the General Plan in that the project will maintain the rustic character of Old Agoura and allows for keeping of horses on the property, as called for in Policies LU-8.1 of the General Plan.

F. The proposed use, as conditioned, preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The proposed exterior finishes to the single-family residence addition will consist of stucco exterior walls and a composition shingle roof that are consistent with the existing building and the architecture of the surrounding area. The proposed addition is a logical expansion of the existing single-family residence, and will be constructed in accordance with the development standards of the RL zone.

Section 4. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to the Agoura Hills Municipal Code Section 9677.7G (Architectural Review) that:

A. The proposed use is consistent with the General Plan, and design standards adopted by the City Council. The project will maintain the rustic character of Old Agoura and allows for keeping of horses on the property, as called for in Goal LU-8 and Policies LU-8.1 and LU-8.2 of the General Plan. Furthermore, the project will not impede on the open space areas suitable for horses.

B. The design and location of the proposed development and its relationship to existing developments and traffic in the vicinity thereof is such that it will increase the desirability of investment or occupation in the neighborhood. The proposed project will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity, and will not create traffic hazards or congestion. Access to the property will continue to be via Chesebro Road. The proposed project will not increase traffic in the neighborhood, as it is an addition to an existing home and the structure will remain a single-family residence similar to the adjacent properties.

C. The proposed use is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of the City. The proposed exterior finishes to the existing single-family residence would consist of stucco exterior walls and composition shingle roof that are in keeping with the style of homes in the Old Agoura neighborhood. The addition will retain the scale of the existing building by maintaining the one-story, 15-foot height.

D. The design of the proposed development provides a desirable environment for its occupants, as well as for the project's neighbors, and is aesthetically of good composition, materials, textures, and colors. The proposed exterior building materials and colors are compatible with the colors and materials of the existing residence and of the neighborhood by maintaining a rustic character and comply with the City Architectural Design Standards and Guidelines and Old Agoura Overlay zone.

E. The proposed use complies with all applicable requirements of the district in which it is located and all other applicable requirements. Single-family residential uses and expansion of single-family units are allowed in the Low Density Residential (RL) zone. The project meets the height and building area requirements of the district. The project meets the required setbacks from the property edge except for the side yards (north and south). The residence was constructed before City incorporation, and has existing, non-conforming side yard setbacks. The proposed additions would maintain the same side yard setback, in line with the existing building, and would not further encroach into the setback.

F. The overall development of the subject property, as conditioned, is designed to ensure the protection of the public health, safety, and general welfare. The property will be improved and maintained according to City Building Code standards and meets the building height standards of the RL zone. The single-family residence is connected to the sewer system.

Section 5. The proposed project is a request to construct a 938.9 square-foot addition to an existing single-family residence, and an attached 446.4 square-foot covered patio and is exempt from the California Environmental Quality Act (CEQA), as defined in CEQA Guidelines, Section 15301(e) because the additions will not result in an increase of more than 10,000 square feet and the project would not cause a significant environmental impact.

Section 6. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. SPR-01198-2016, subject to the attached conditions, with respect to the property described in Section 1 hereof.

Resolution No. _____
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PASSED, APPROVED, and ADOPTED this 21st day of April, 2016, by the following vote
to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John O'Meara, Chairperson

ATTEST:

Doug Hooper, Secretary

CONDITIONS OF APPROVAL
(Case No. SPR-01198-2016 - Morris)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicant has agreed in writing that he is aware of, and accept, all conditions of this permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plan, Floor Plans, and Roof Plan.
4. All exterior materials used in this project shall be in conformance with the existing materials on the residence.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
9. Unless this permit is used within two (2) years from the date of City approval, Site Plan Architectural Review Case No. SPR-01198-2016 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
10. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of Building Permit issuance.
11. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.36 per square foot for residential construction. On May 9, 2016, the fee will be \$3.48 per square foot for residential construction.

12. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
13. Prior to the issuance of a Grading Permit, the applicant shall submit a letter to the Planning Director agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine the find and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Planning Director.
14. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
15. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
16. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this Condition.
17. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, and employees from and against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

18. All exterior materials used for eaves, sidings, porch, patio, decks, carport, canopies and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).
19. A two percent (2%) slope away from the structure for drainage (on the first 5 feet) all around the new structure(s) shall be provided.
20. The applicant shall note on the final plans that all new windows will be tempered on at least one side of the dual pane, or a 20 minute rated window or glass blocks per Section 704A.3.2.2 of the 2013 California Building Code.
21. This project shall be subject to the 2013 California Residential, Mechanical, Plumbing, Electrical, Energy Codes and Agoura Hills Municipal Code (AHMC), unless it is submitted

to the Building and Safety Department on or after January 1, 2017, at which point it will be reviewed under the 2016 California Codes as adopted by the City of Agoura Hills.

22. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Mechanical, Electrical, Plumbing, Energy Plans, plans will need to be submitted to Building and Safety Department for plan review and approval. Please be advised that this is a preliminary review and does not constitute a final Building and Safety approval.
23. A soils report is required to be submitted to the Building and Safety Department for this project prior to Building Permit issuance unless the requirements of the soils report waiver form are met (flat construction area, no fill material, 1,000 square feet or less of new construction).

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

24. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
25. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
26. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

**Old Agoura Home Owners Association
Planning and Zoning Committee**

February 10, 2016

Attn: City of Agoura Hills Planning Dept.

Re: 5342 Chesebro Road, Morris residence

The Planning and zoning committee from the Old Agoura Home Owners Association has visited the subject site, and reviewed the plans provided by "1 Building Plans" dated 08-19-2015

The plans exhibited two areas of construction, totaling 938 Sq. Ft. of additional space being added to the back of the house. The additions appears to be consistent with the scale, and architecture of the existing house; with respect to plate height, roof pitch and design. The plans state, the exterior finishes will match the existing finishes.

The existing residence is 21,779 sq. ft. the lot approximately ½ half acre. The lot coverage, F.A.R. and hardscape show the project is well within the Old Agoura Overlay Guidelines. The house is, and will remain a one story structure. The horse keeping area is to remain, the proposed addition will not infringe upon the existing horse area; with respect to minimum distance from a residence to a horse shelter or barn.

Given the size of the existing residence, and the proposed design elements shown, we believe the proposed work will enhance the property.

We would like to suggest approval, given the positive attributes of the addition. We wish the applicant well with their project.

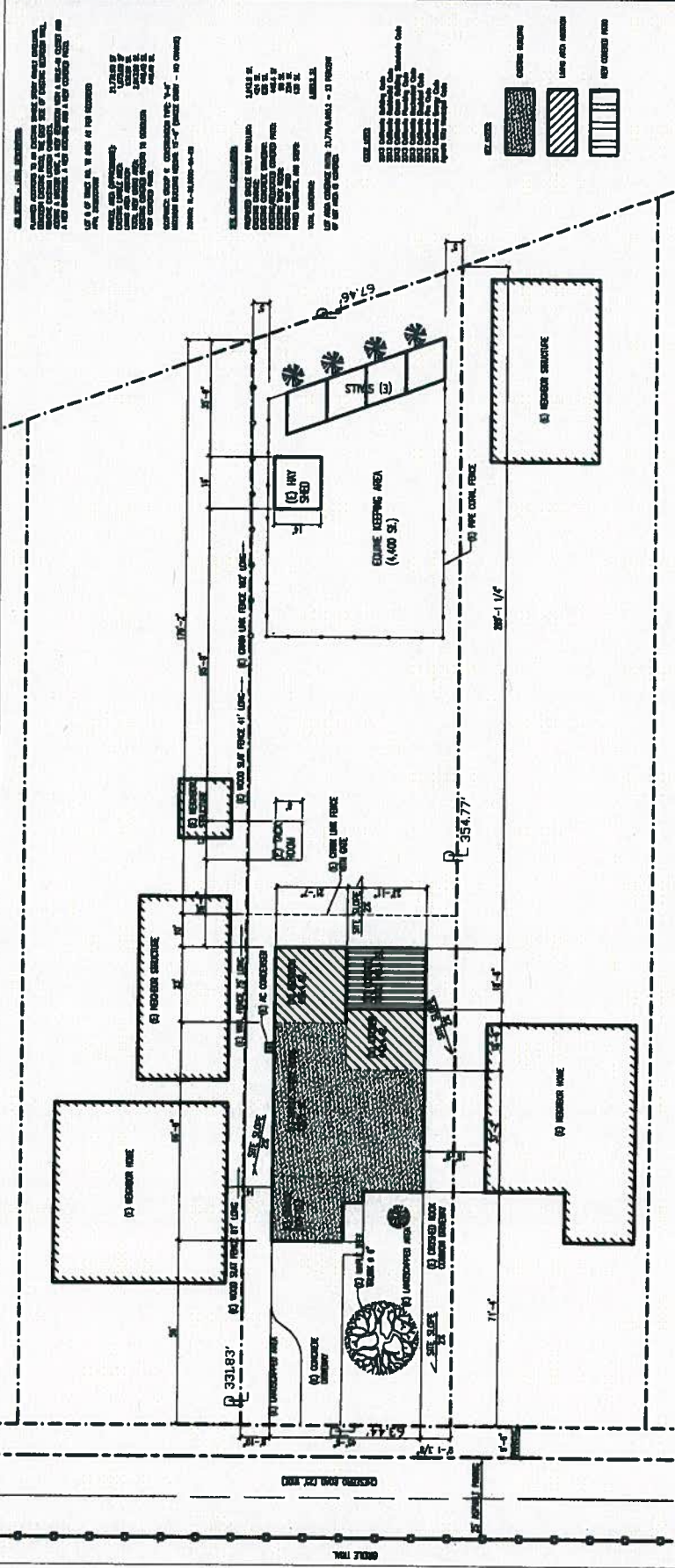
Thank you.

Phil Ramuno
Daniel Farkash
Mike Colabella

Site Plan/Architectural Review Case No. SPR-01198-2016



1	FOUNDATIONS	2	CONCRETE
3	WOOD	4	MECHANICAL
5	ELECTRICAL	6	PLUMBING
7	PAINT	8	FINISHES
9	LANDSCAPE	10	GENERAL NOTES

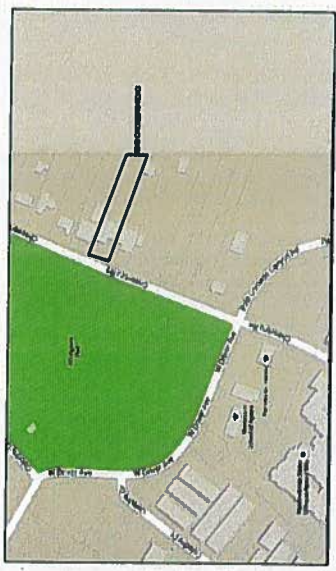


GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. SETBACKS ARE TO BE MAINTAINED AS SHOWN ON THIS PLAN.
3. ALL CONCRETE SHALL BE 3,000 PSI STRENGTH.
4. ALL WOOD SHALL BE KILN DRIED TO 19% MOISTURE CONTENT.
5. ALL ROOFING SHALL BE AS SHOWN ON THE ARCHITECTURAL PLANS.
6. ALL MECHANICAL, ELECTRICAL AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE CODES.
7. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
9. ALL FINISHES SHALL BE AS SHOWN ON THE ARCHITECTURAL PLANS.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

- LEGEND:**
- RESIDENCE STRUCTURE
 - WOOD SHED
 - ENGINE KEEPING AREA
 - PILE CORAL FENCE
 - WOOD SHED
 - CONCRETE
 - WOOD
 - MECHANICAL
 - ELECTRICAL
 - PLUMBING
 - PAINT
 - FINISHES
 - LANDSCAPE
 - GENERAL NOTES

PLANT PLAN
 SCALE 1" = 15'-0"

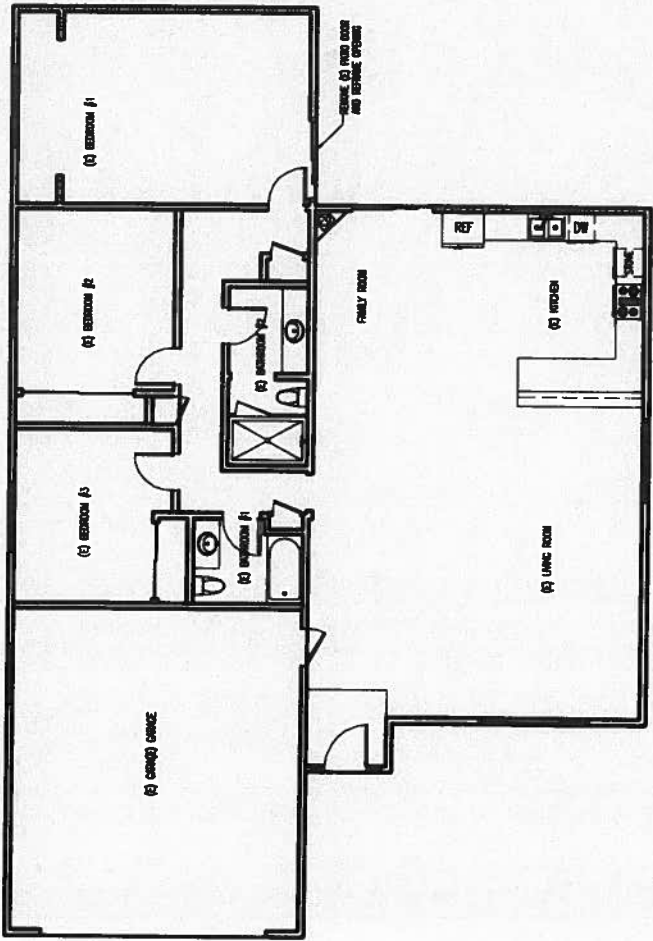


VICINITY MAP
 SCALE 1" = 1/4 MILE

1. GENERAL NOTES	
2. FINISHES	
3. PARTITION WALLS	
4. FLOORING	
5. CEILING	
6. EXTERIOR FINISHES	
7. FOUNDATION	
8. STRUCTURAL	
9. MECHANICAL	
10. ELECTRICAL	
11. PLUMBING	
12. HVAC	
13. OTHER	

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISHES ARE TO BE AS SHOWN ON FINISH SCHEDULE.
3. PARTITION WALLS ARE TO BE CONSTRUCTION TYPE II.
4. FLOORING IS TO BE AS SHOWN ON FINISH SCHEDULE.
5. CEILING IS TO BE AS SHOWN ON FINISH SCHEDULE.
6. EXTERIOR FINISHES ARE TO BE AS SHOWN ON FINISH SCHEDULE.
7. FOUNDATION IS TO BE AS SHOWN ON FOUNDATION PLAN.
8. STRUCTURAL IS TO BE AS SHOWN ON STRUCTURAL PLAN.
9. MECHANICAL IS TO BE AS SHOWN ON MECHANICAL PLAN.
10. ELECTRICAL IS TO BE AS SHOWN ON ELECTRICAL PLAN.
11. PLUMBING IS TO BE AS SHOWN ON PLUMBING PLAN.
12. HVAC IS TO BE AS SHOWN ON HVAC PLAN.
13. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2000 INTERNATIONAL RESIDENTIAL CODE BOOK.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL EXISTING FINISHES TO ORIGINAL CONDITION.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS IN ACCORDANCE WITH LOCAL REGULATIONS.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.



1 BUILDING PLANS
PLANS - BLUEPRINTS
 100-00-000
 100-00-000

1	FOUNDATION
2	FLOOR PLAN
3	CEILING PLAN
4	ROOF PLAN
5	WALL SECTION
6	WINDOW SECTION
7	DOOR SECTION
8	STAIR SECTION
9	ELEVATIONS
10	DETAILS

ELEVATIONS

SLAM MORRIS
 100-00-000
 100-00-000

LIVING AREA ADDITION PROJECT
 6300 CHESTNUT ROAD
 AGORA HILLS, CALIFORNIA 91701

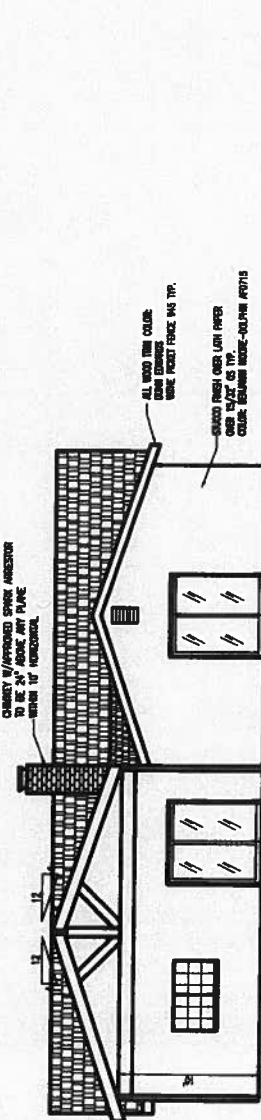
A4.0

DATE: 10/1/77
 DRAWN BY: J.M.
 CHECKED BY: J.M.

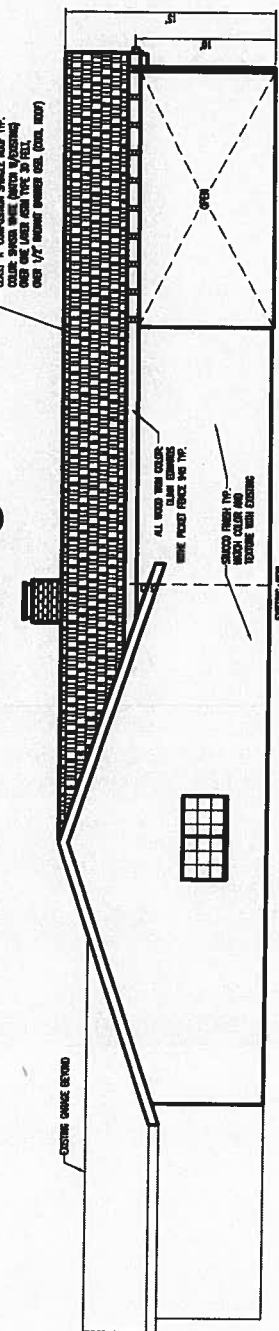


CONSTRUCTION NOTES

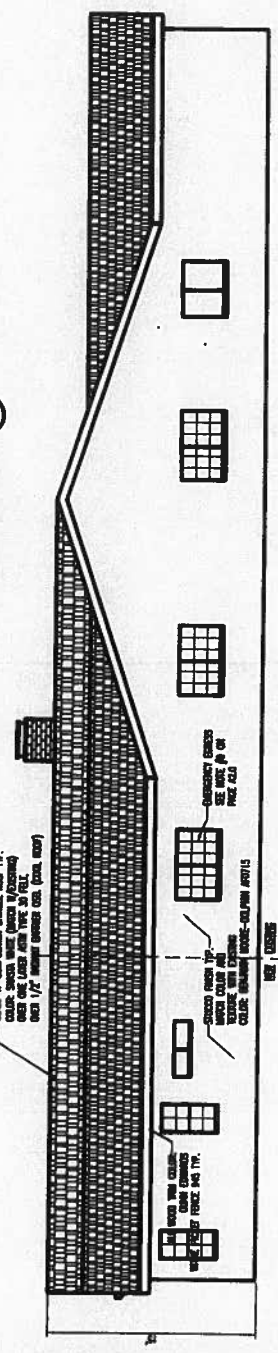
1. ALL WOOD TRIM COLORS TO MATCH EXISTING TRIM COLORS. WHERE FINISH FENCE IS NOT SHOWN, FINISH FENCE IS TO BE 1/2\"/>



EAST ELEVATION
 SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

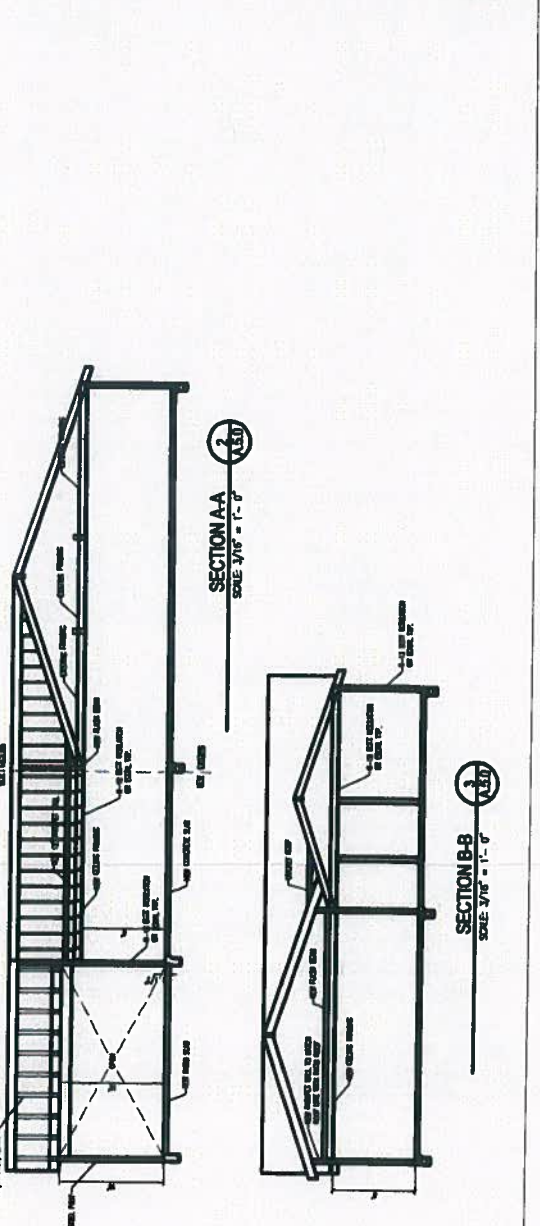
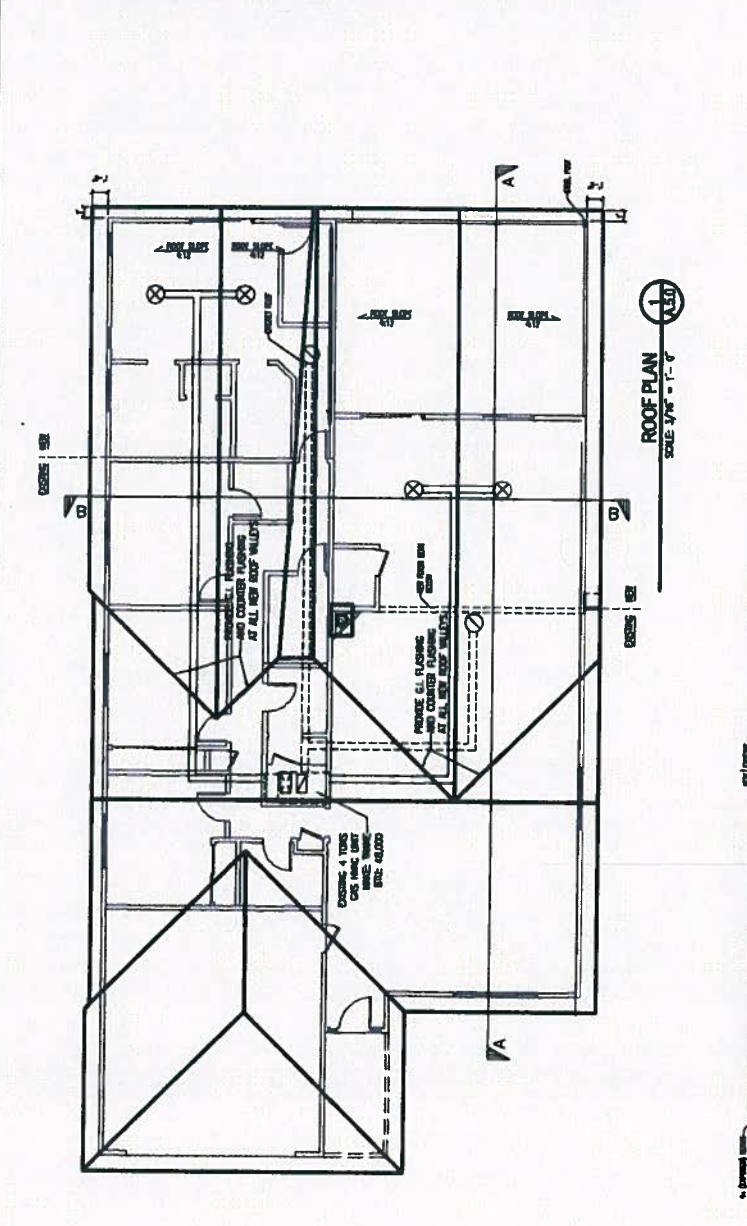
DATE	DESCRIPTION

A5.0

CONSTRUCTION NOTES:
 1. ALL ROOFING SHALL BE PERFORMED BY A LICENSED ROOFER.
 2. ALL ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING MANUAL.
 3. ALL ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING MANUAL.
 4. ALL ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING MANUAL.
 5. ALL ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING MANUAL.
 6. ALL ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING MANUAL.
 7. ALL ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING MANUAL.
 8. ALL ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING MANUAL.
 9. ALL ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING MANUAL.
 10. ALL ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING MANUAL.

AIR DUCT NOTES:
 1. LEAVE EXISTING SUPPLY AND RETURN AIR DUCTS IN PLACE WHERE POSSIBLE.
 2. REPLACE EXISTING SUPPLY AND RETURN AIR DUCTS WHERE NECESSARY.
 3. ALL AIR DUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE.

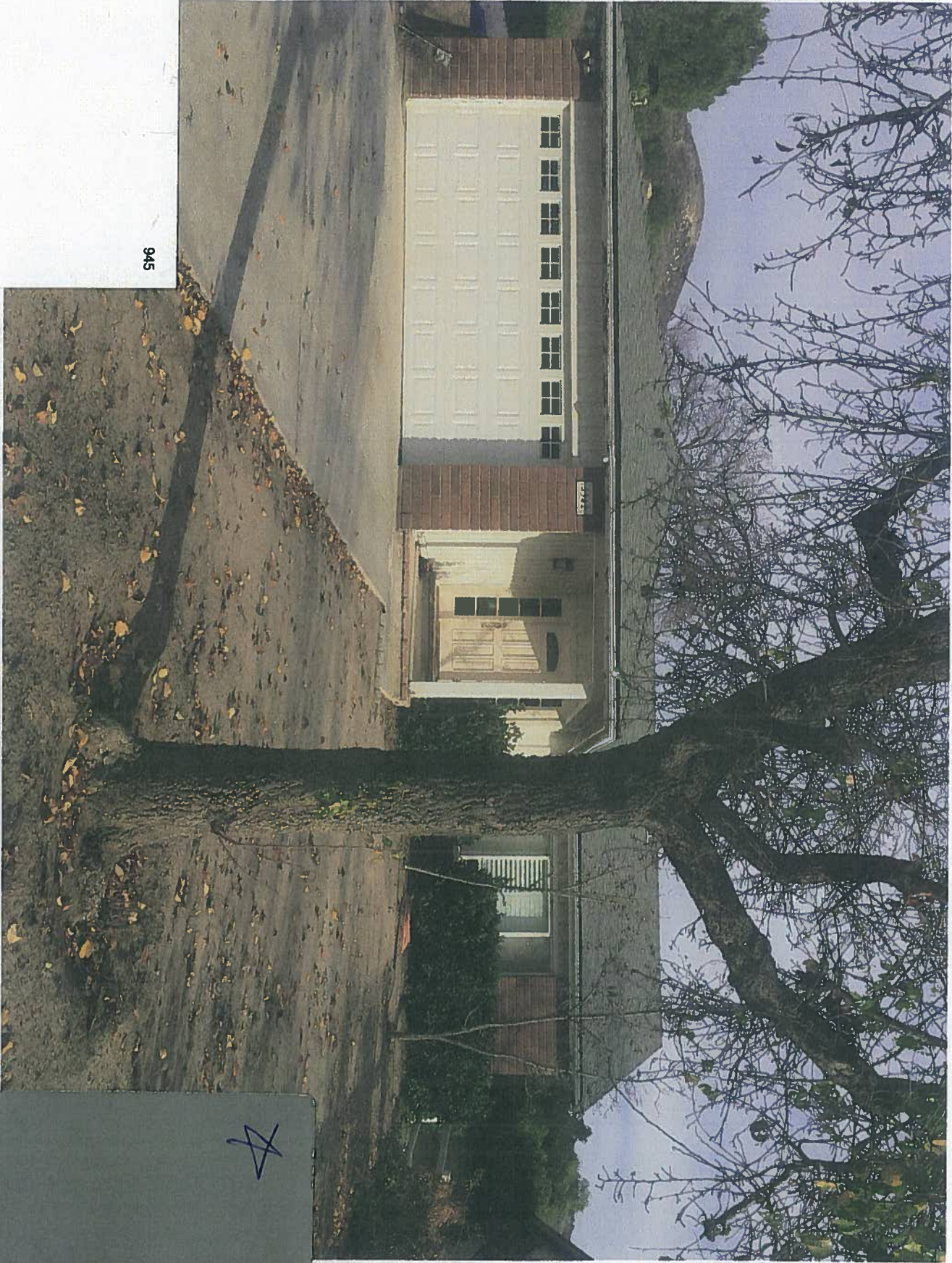
LEGEND:
 ⊗ Air Supply duct end cap
 ⊙ Air Return duct end cap



GRAPHIC SCALE: 3/16" = 1'-0"

5046 WESTERN RD

Same roof color



945

White trim

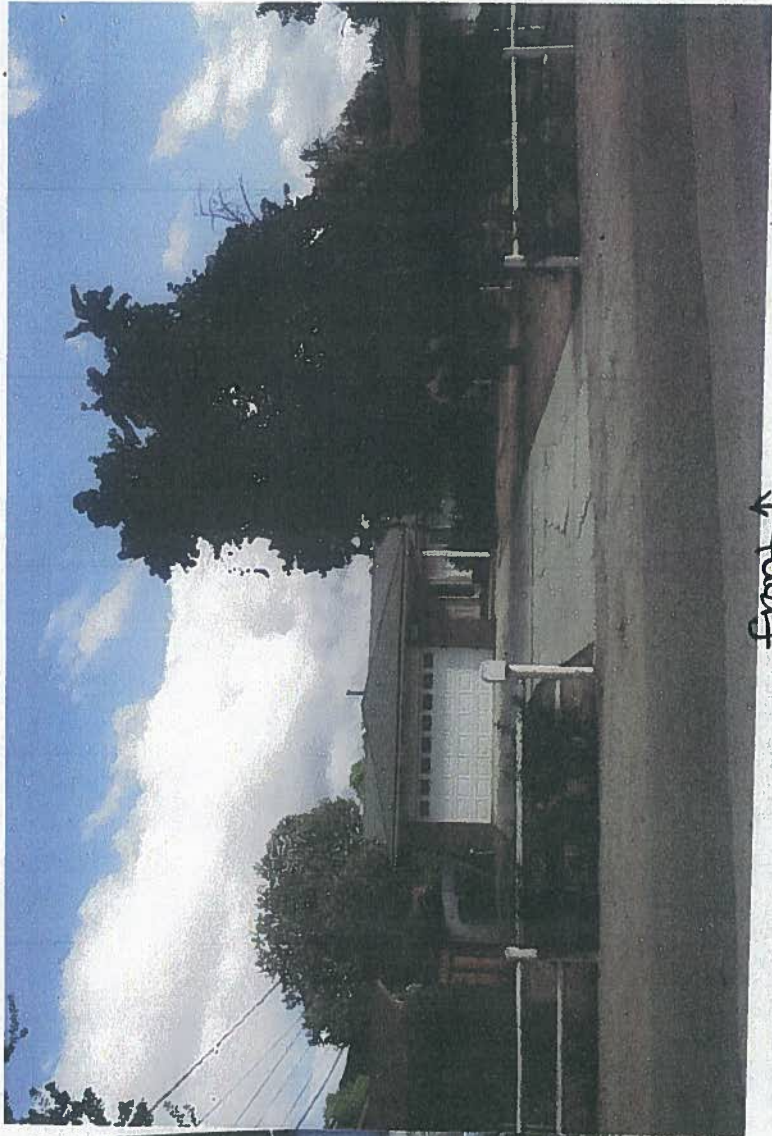


Neutral stone accents

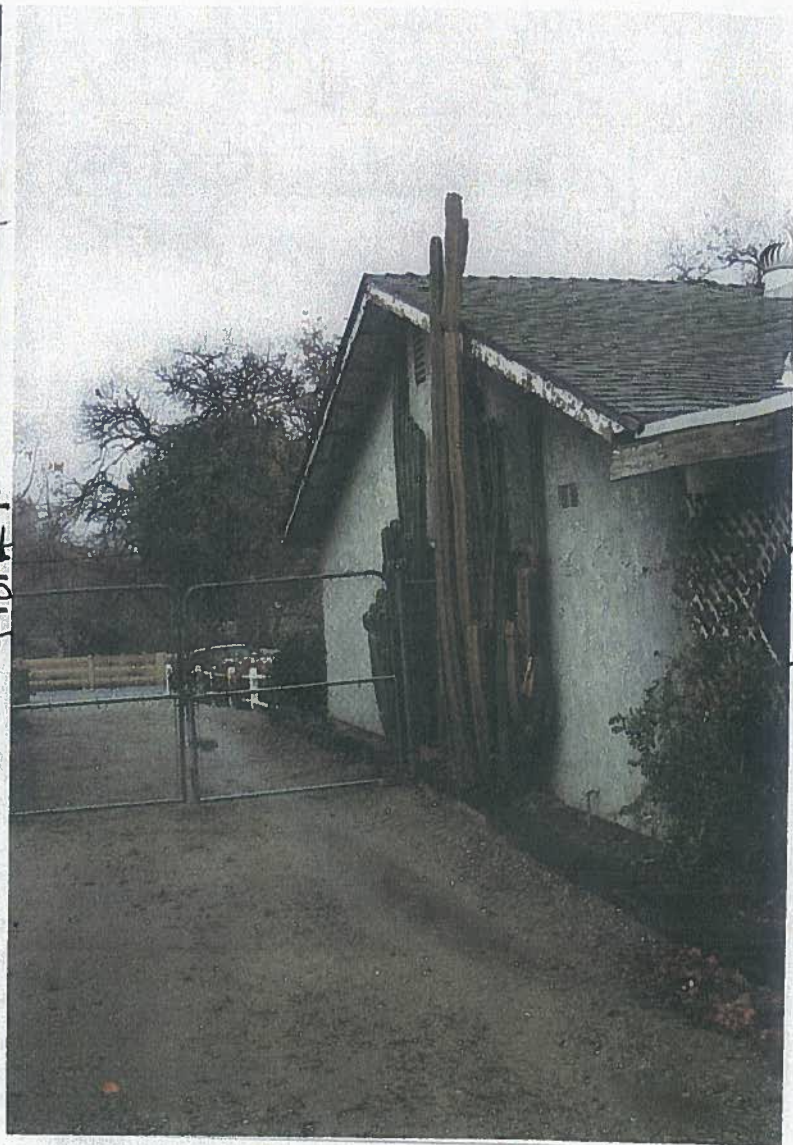


AF-715

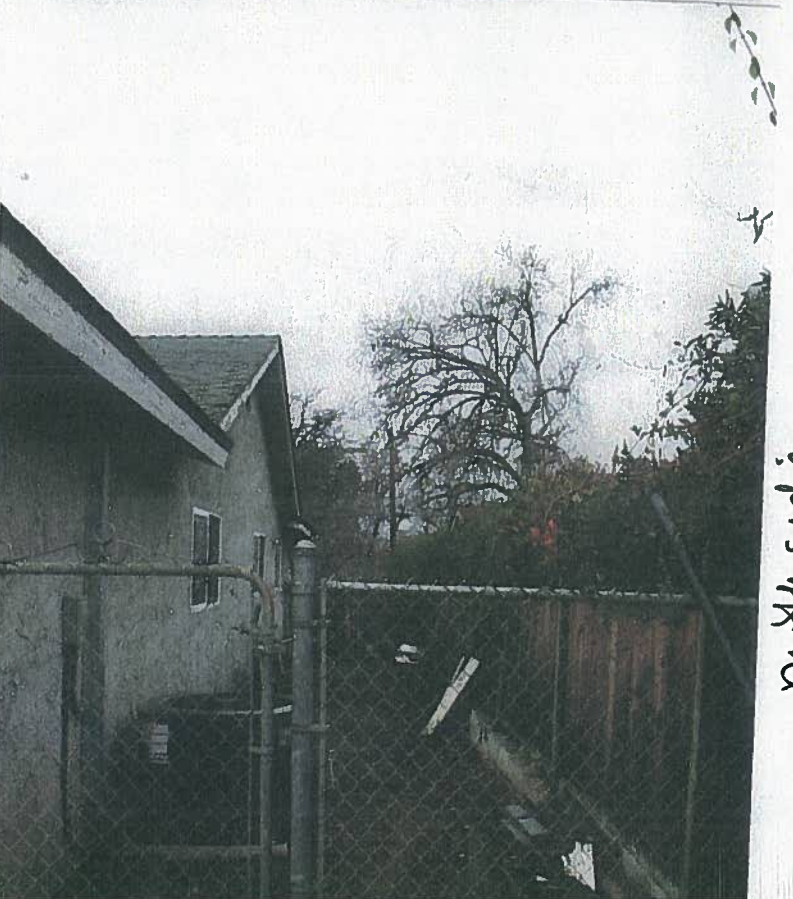
DET648
White Picket Fence



front ↑



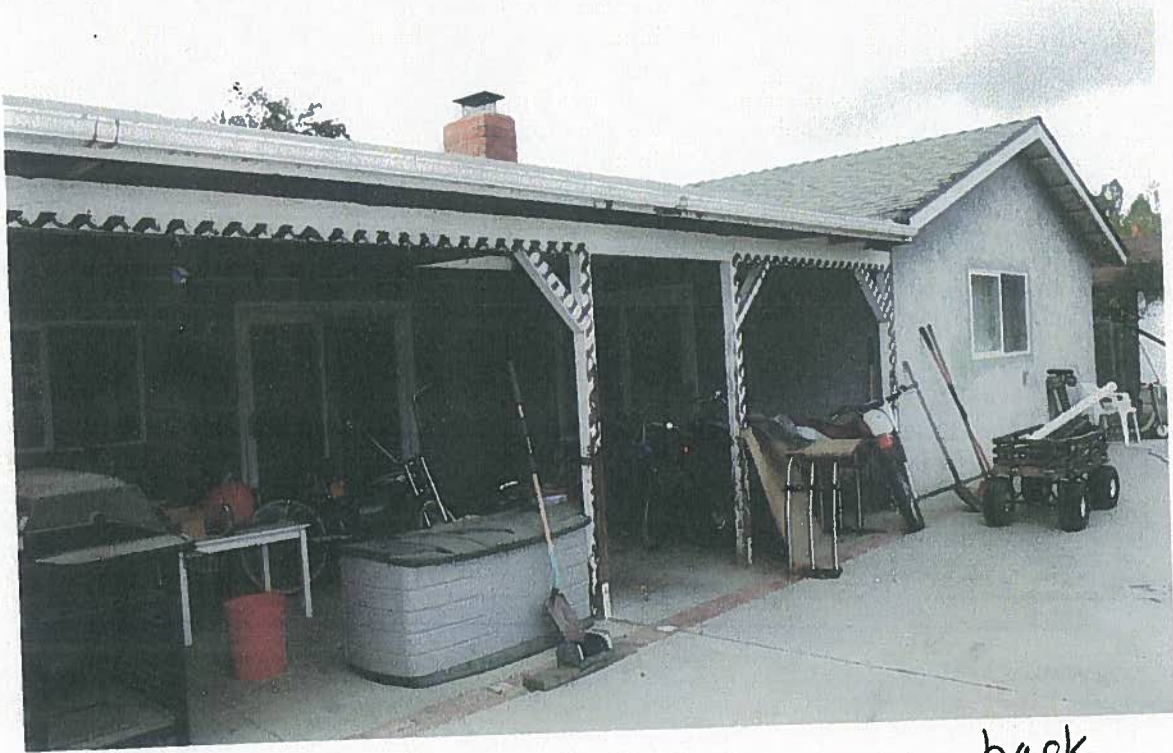
side



side



Jackroom
in back



back



neighbor to north



neighbor to south