



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: May 5, 2016

TO: Planning Commission

APPLICANT: Shahnaz Brigitte Bina
2700 Neilson Way #327
Santa Monica, CA 90405

CASE NO.: CUP-01019-2014

LOCATION: 6000 Lapworth Drive (APN 2055-022-040)

REQUEST: Request for a Conditional Use Permit to construct a new 4,374 square-foot single-story single-family residence with basement and roof terrace, 800 square-foot detached garage with second-story storage room, 700 square-foot second dwelling unit, 1,160 square-foot storage/utility room with basement, 300 square-foot tack room, and a swimming pool; and make a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL DETERMINATION: Exempt from the California Environmental Quality Act (CEQA) per Section 15303 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Conditional Use Permit Case No. CUP-01019-2014, subject to conditions, based on the findings of the attached draft Resolution.

ZONING DESIGNATION: RV-OA-EQ (Very Low Density Residential – Old Agoura Design Overlay – Equestrian Overlay District)

GENERAL PLAN DESIGNATION: RV (Very Low Density Residential)

I. PROJECT BACKGROUND AND DESCRIPTION

The property is owned by Shahnaz Brigitte Bina, who is requesting approval of a Conditional Use Permit (CUP) to construct a new 4,374 square-foot, three-bedroom single-story single-family residence with a 1,530 square-foot basement, 800 square-foot detached garage with a 575 square-foot storage room above, 700 square-foot second dwelling unit, 1,160 square-foot storage/utility room with a 1,160 square-foot basement, 300 square-foot tack room, and a swimming pool in the Very Low Density Residential-Old Agoura Design Overlay-Equestrian Overlay (RV-OA-EQ) zoning districts. The total building area proposed is 10,599 square feet.

This hillside lot slopes 70 feet in elevation from the average street elevation along the front property line (1,185 feet) of Lapworth Drive to the average rear elevation (1,115 feet) of the lot, with an average slope of 30 percent. The proposed single-family residence is a permitted use in the Very Low Density Residential (RV) zone (Agoura Hills Municipal Code (Code) Section 9222.1, et. seq.). Since the parcel has an average topographic slope that exceeds 10 percent (30 percent), the project is subject to the City Hillside Ordinance standards and, therefore, requires approval of a Conditional Use Permit.

The proposed single-family residence will meet the required development standards, relative to lot coverage, height and building setbacks. Below are the proposed development data pertaining to the project:

Pertinent Data		
	Proposed	Allowed/Required
Lot Size	2.81 acres (existing) (122,582 sq. ft.)	1 acre min. (43,560 sq. ft.)
Public Street Frontage	439 ft.	n/a
Lot Width	528 ft.	n/a
Lot Depth	266 ft.	n/a
Building Height¹		
Residence	15 ft.	35 ft. max.
Detached Garage with Second Story	19 ft.	35 ft. max.
Second Dwelling Unit	14 ft.	35 ft. max.
Storage/Utility Unit	14 ft.	35 ft. max.
Tack Room	10 ft.	35 ft. max.
Building Square Footage		
Residence	4,374 sq. ft.	n/a
Residence Basement	1,530 sq. ft.	n/a
Detached Garage	800 sq. ft.	n/a
Storage above Garage	575 sq. ft.	n/a
Second Dwelling Unit	700 sq. ft.	n/a
Storage/Utility Unit	1,160 sq. ft.	n/a
Storage/Utility Unit Basement	1,160 sq. ft.	n/a

¹ Pursuant to Code Section 9607.1.B, no building or structure shall exceed a height of fifteen (15) feet above the average elevation of the front lot line. The average elevation of the front lot line is 1177.5 feet.

Pertinent Data		
	Proposed	Allowed/Required
Tack Room	300 sq. ft.	n/a
TOTAL	10,599 sq. ft.	n/a
Bldg. Lot Coverage		
Main Residence	4,374 sq. ft.	n/a
Detached Garage	800 sq. ft.	n/a
Second Dwelling Unit	700 sq. ft.	n/a
Storage/Utility Structure	1,160 sq. ft.	n/a
Tack Room	300 sq. ft.	n/a
Swimming Pool	5,356 sq. ft.	n/a
Pool Terrace	4,969 sq. ft.	n/a
Driveway & Hardscape Areas	9,848 sq. ft.	n/a
TOTAL	22.4% (27,507 sq. ft.)	25% ² (30,645 sq. ft.)
Setbacks – Closest Structures		
Front (West/Northwest) - Garage	39 ft.	25 ft. min.
Rear (Southeast) – Main Residence	136 ft.	25 ft. min.
Left Side (Northeast) – Tack Room	50 ft.	12 ft. min.
Right Side (South) – Second Dwelling Unit	14 ft., 10 in.	12 ft. min.
Average Topographic Slope	30 %	n/a

II. STAFF ANALYSIS

Site Plan

The proposed residence and accessory structures, which occupy 8.6 percent of the lot, have been proposed to be situated in the upper, northwestern half of the 2.81-acre lot. The proposed residence and detached garage include a proposed finished floor elevation of 1,154 feet; the proposed storage/utility unit a proposed finished floor elevation of 1,148 feet; and the proposed second unit includes a finished floor elevation of 1,140 feet. The elevation of Lapworth Drive along the property frontage ranges from 1,154 feet to 1,205 feet, so the lower floor elevations of all proposed structures are at or below Lapworth Drive. Lapworth Drive is considered to be the frontage street from which front yard building setbacks are measured. The front of the house faces northwest. The 20-foot wide driveway access to the four (4) car garage, located near the front of the house, is provided from Lapworth Drive.

The applicant is proposing a 4,374 square-foot single-story three-bedroom single-family dwelling with a 1,530 square-foot basement and a 1,500 square-foot roof terrace. Proposed accessory structures include a detached two-story 800 square-foot garage with 575 square-foot of storage on the upper level, a 700 square-foot single-story second dwelling unit, a 1,160 square-foot storage/utility unit with a 1,160 square-foot basement,

² Pursuant to Code Section 9223.3

and a 300 square-foot tack room. The proposed structures and basements total 10,599 square feet.

The 5,356 square-foot swimming pool is proposed 16 feet from the southeast façade of the single-family dwelling on the southeast portion of the property, and is surrounded by a 4,969 square-foot pool terrace. The single-family residence and all accessory structures meet the required setbacks from the lot lines, and from other structures on all sides. The applicant proposes installation of a white wooden split-rail style fence around the property. A series of retaining walls are required. The walls would be constructed of concrete and many of them are proposed to be covered in landscaping (vines). Those that are not shown to be covered in landscaping will be conditioned to be decorative in design and require design approval from the Planning Director prior to installation. The retaining walls, which are necessary on this hillside lot of 30 percent average topographic slope, will not exceed the maximum height allowed by the Code, ranging in height from one (1) foot supporting the driveway to six (6) feet supporting the swimming pool.

The footprint of the proposed residence, detached garage, accessory structures, swimming pool and the hardscape totals 27,507 square feet, or 22.4 percent of the lot area. The driveway by itself, including a required on-site fire truck turnaround area, would occupy 6.1 percent of the lot. The RV zone allows for a maximum 25 percent lot coverage. In addition, the Hillside Ordinance (Code Section 9652.13.B) requires that at least 77.5 percent of the lot remain in undisturbed open space for parcels that have an average slope between 26 and 30 percent. Thus, the maximum amount of construction area should not exceed 22.5 percent of the lot. Currently, the project meets this requirement with 22.4 percent coverage and 77.6 percent of the parcel remaining undeveloped.

The Los Angeles County Fire District has tentatively approved the Site Plan for the required access. There are fourteen (14) on-site oak trees. The location of the proposed structures are outside of the driplines of the existing oak trees on the lot, thereby preserving the trees. No oak trees are slated for removal and no oak trees are proposed to be encroached upon.

The project would require 7,730 cubic yards of cut and 8,186 cubic yards of fill, resulting in a net import of 456 cubic yards of soil.

Existing hillside single-family homes are present on the adjacent properties located to the west, east and south of the subject property. The adjacent property to the north of the lot is vacant. The adjacent properties vary in size from 39,524 to 87,478 square feet. The subject lot, at 122,582 square feet, is double and, in some cases, triple the size of the surrounding properties. The Floor Area Ratio (FAR) (the total building square footage divided by the total lot size) calculations for the residences (main residence only, not garages or accessory structures, which is the information readily available to the Planning Department), constructed on the surrounding properties range from 0.03 to 0.07, depending on the size of the dwelling and the size of the corresponding lot. The FAR calculated for the subject property is 0.03. Still, even if all 10,599 square feet of the proposed structures, including basements, were used in the FAR calculation for the subject property, the FAR would be

0.08, which is only slightly higher than the FAR of some of the surrounding properties taking into account main residences and garages only.

Hillside Development Standards

The project is subject to the City Hillside Ordinance, which establishes development criteria within hillside lots. The regulations protect hillside areas from incompatible development and preserve the natural terrain, quality environment, and aesthetic character while encouraging creative, innovative and safe residential development. The Hillside Ordinance encourages minimal grading that relates to the natural contours of the land, and minimal disturbance to the natural areas of the site. It requires appropriate erosion and drainage control protection measures, and ridgeline protection. With regard to design, the Ordinance encourages architectural enrichments and variation in roof massing and low profile roofs, as well as breaking up building masses through variety in materials and fenestration placement. Native or naturalized plants and natural landform planning are required.

The Hillside Ordinance (Section 9652.13.D) includes a requirement for view preservation, calling for the retention of natural landforms and protecting views in hillside areas by locating dwelling units in such a manner as to avoid obstructing the view of natural landforms from other dwelling units. The proposed dwelling unit and accessory structures would be situated at, or below, the street elevation of Lapworth Drive, respecting the minimum front yard setback requirement of the zoning district and the topography of the site. The natural terrain of the subject property is steeply sloped downward (30 percent) from Lapworth Drive to the rear (northeast) and right side (southeast) property lines, creating a concave lot. The only two-story structure proposed on the site is the garage with a second-story storage room. This nineteen (19) foot tall structure has a proposed finished floor elevation of 1,154 feet and is situated 39 feet from Lapworth Drive, which has an elevation of 1,185 feet. Thus, the structure will be entirely below Lapworth Drive. All other structures are one-story and are stepped down the natural slope. Retaining walls are required to support the structures on the sloped lot, but no retaining wall exceeds a height of six (6) feet, which is the maximum height allowed under the Code. The proposed locations of the structures on the lot would preserve the public views from Lapworth Drive.

The Hillside Ordinance includes a requirement for on-site open space preservation. The minimum amount of area to remain in undisturbed open space is related to the average slope of the property. The average slope of the subject property is 30 percent. For parcels that have an average slope between 26 and 30 percent, the Hillside Ordinance requires that at least 77.5 percent of the lot remain in undisturbed open space. The proposed project provides 77.6 percent of the lot remaining undeveloped.

As addressed further below (see Public Works/Engineering), the project would be required to comply with measures to minimize storm water pollution, erosion, and other drainage impacts, and the project has been conditioned as such.

As discussed in further detail below (see Architectural Design), the architectural style of the proposed dwelling is contemporary. The building colors and materials will be natural earth

tones. The design of the façade provides architectural elements to break up the building mass. And, as discussed in further detail below (see Oak Trees and Landscaping), the Planting Plan consists of both native and ornamental vegetative species. The project has been conditioned to incorporate more native species as called for in the Hillside Ordinance. Therefore, the proposed project would comply with the building design and landscaping requirements of the City's Hillside Ordinance.

Architectural Design

The proposed residence is positioned both parallel and perpendicular to Lapworth Drive, since the northwest property line is on a curve. The most prominent elevation visible from the street (Lapworth Drive) will be the southwest elevation, which from Lapworth drive appears to be a single story. The height of the proposed residence is 15 feet, not exceeding the maximum height allowed for a residence in hillside areas (Code Section 9607.1). The garage is proposed at 19 feet from the finished grade to the height of the second story. The maximum height allowed for this structure is 35 feet, per Code Section 9607.1. All the proposed structures on the property comply with the height requirements for the lot.

The Architectural Review Panel (ARP) reviewed the project and, upon review of the original plans, suggested the following:

- second unit be relocated to avoid encroachment into the dripline of existing oak trees;
- entry to residence should be more defined;
- chimney be clad with stone;
- propose an alternate way of incorporating the pool into the project, without having retaining walls higher than six feet;
- add brick columns to pool retaining walls to create rhythm;
- consider adding sections of stone on elevations of the house;
- consider window frames with the appearance of wood grain;
- consider creating a more contemporary look for the copper roof with a shed appearance rather than a hip roof;
- provide more details of entry gate and materials; and
- provide colored renderings to reflect what the project will look like at eye level.

The applicant did make several of the modifications requested by the ARP. The applicant moved the second dwelling unit such that it no longer encroaches into the dripline of the existing on-site oak trees, thereby eliminating the need for an Oak Tree Permit. The applicant revised the retaining walls supporting the pool such that the walls could be reduced to a maximum six (6) feet in height, thereby eliminating the need for a variance. Vines are proposed to be planted on most retaining walls to soften the appearance of the concrete. Where vines are not proposed, a condition has been placed on the project to require Planning Director approval of the wall material to ensure a decorative design. The entry to the residence, which was originally proposed to have a copper hip roof overhang, remains in the same location but the roof overhang has been removed. Window frames and the chimney remain unchanged.

The building design is contemporary, with cream-colored stucco with steel-troweled finish on some elevations and cream-colored stone finish on others, black window trim, concrete decorative cornices and caps along the parapet roof, roof deck railings of glass and brushed aluminum, fixed canopy overhangs, and a large chimney. Accessory structures reflect the design and materials of the main residence and incorporate brushed aluminum cable guard railings.

The property is located within the Old Agoura Design Overlay District (Code Section 9551 et. seq.), which calls for the preservation of the unique character of Old Agoura. In the Old Agoura Design Overlay District, Code Section 9555.B.1 indicates that solid walls are prohibited in the front yard setback areas. The applicant is not proposing any solid walls in the front yard setback areas, except for a wooden gate for driveway access. A white wooden split-rail equestrian-style fence is proposed around the perimeter of the property.

Section 9555.B.2 calls for residential development to embrace an eclectic, rural style that preserves the nature of the area, and references the City's Architectural Design Standards and Guidelines. While the architectural style of the residence is more modern than the traditional rural style of Old Agoura, the design of the home incorporates equestrian areas and a tack room to support the equestrian nature of Old Agoura. The architectural design reflects the eclectic style in Old Agoura, and incorporates neutral, subdued, light colors and stucco and stone.

Code Section 9555.B.3 indicates that residential development shall not render property unatenable for horses and other farm animals. The proposed plans include a 1,500 square-foot equestrian area that is accessible from an access gate directly off of the main driveway. A horse stall and a 300 square-foot tack room are also proposed. Therefore, the proposed project could support horses and other farm animals.

Section 9555.C.1 calls for the proposed design to be keeping in character with existing development in the Old Agoura Overlay District in terms of height, materials, colors, roof pitch, roof eaves, and the preservation of privacy. Section 9555.C.5 indicates that exterior materials and colors shall harmonize with, and complement the surrounding natural and man-made environment. As discussed above, the single-family residence and accessory structures meet the height requirements of the Code; incorporate neutral, subdued, light colors and stucco and stone; and will preserve the existing oak trees on site which will maintain the natural character of the site and provide privacy between the proposed structures and adjacent structures. The applicant is proposing a contemporary-style architecture with a parapet roof throughout. The parapet roof is articulated with decorative cornices and caps, as well as a large chimney.

Code Section 9555.C.2 indicates a consideration for the relationship between the existing and finished grades of the site to be improved and adjacent properties, while Section 9555.C.6 calls for integrating the building into the existing terrain such that grading is minimized, and viewsheds and oak trees are preserved. The structures are proposed to be placed on the lot in locations that limit grading and integrate the structures into the

hillside. All oak trees would be preserved, and there would be no encroachment into the protected zone of the oaks.

Lighting will be stationary and typical for residential use, and will be deflected away from other properties, as called for in Code Section 9555.C.3. The only proposed exterior lighting shown on the plans includes lights on the columns of the driveway gate. No other exterior lighting is proposed. All building elevations have been architecturally treated with steel troweled stucco or stone finish, using earth-tone colors, consistent with Code Section 9555.C.4. The preliminary landscape plan includes some non-native plants, but a condition has been placed on the project to require more native plants to be incorporated into the plan during the final plan check. Therefore, native, drought resistant plants will be further incorporated into the project pursuant to Code Section 9555.C.7.

In order to maintain neighborhood scale, the City's Architectural Design Standards and Guidelines, specifically Section VI. *Old Agoura Design Guidelines* (Attachment 7), provide the maximum recommended structure size based on the lot size and slope. Per the formula in the Guidelines, 6,593 square feet³ of structures, including the single-family home (4,374 square feet), garage (800 square feet) and any other attached structures (none), would be the maximum recommended for this site. The applicant proposes a 4,374 square-foot single-family home, as well as a detached 800 square-foot garage⁴, with the remaining proposed structures detached. The Guidelines allow for up to 690 square feet of a garage to be exempt from the calculation, meaning that the proposed floor area is 4,484 square feet. Therefore, the proposed project would be consistent with the Guidelines.

The City's Architectural Design Standards and Guidelines encourage a design that respects natural features of the site, preserves oak trees, and minimizes lot coverage. The proposed project is sited on the flatter portions of the site, minimizing extensive grading. All oak trees would be preserved, and there would be no encroachment into the protected zone of the oaks. Lot coverage is 22.4 percent, below the 25 percent maximum allowed.

The City's Architectural Design Standards and Guidelines provide for the visual mass of a structure to be reduced with architectural details, including windows, porches, balconies, trellises and terraces. Roofs should have variation in texture, and roof overhangs are encouraged, but excessively steep roof pitch is discouraged. Dominant exterior colors that are warm, rich and reflect natural earth tones are preferred. As discussed above, the applicant is proposing a contemporary-style architecture with a parapet roof throughout. The parapet roof is articulated with decorative cornices and caps, as well as a large chimney. The design includes cream-colored stucco and stone siding, along with glass and metal railing on balconies and the terrace. White, split rail fencing is proposed along the lot perimeter, consistent with the Guidelines.

³ Calculated using Table 1 of City Architectural Design Standards and Guidelines: 122,582 sq. ft. – 90,001 = 32,581 * 0.009 = 293 sq. ft. Then, 6,300 sq. ft. + 293 sq. ft. = 6,593 sq. ft.

⁴ Second story of garage does not apply to calculation.

Equestrian Overlay District

The property is located within the Equestrian Overlay District, which requires new developments to create, enhance, and protect the equestrian and rural atmosphere within the overlay area. The project was reviewed for compliance with the Equestrian Overlay District, which requires properties to accommodate for a potential horse keeping area of at least 1,500 square feet in size and a 300 square-foot area for hay and tack storage. The proposed project includes a 1,500 horse keeping area and a 300 square-foot tack room, which will be accessed from Lapworth Drive via the proposed on-site driveway.

Old Agoura Homeowners Association and Other Comments

The Old Agoura Homeowners Association (HOA) initially reviewed the project prior to revisions made as a result of the ARP review. A copy of the HOA letter, dated December 2, 2014, is attached to the report for the Commission's review. Revised plans were submitted by the applicant on February 11, 2016. The revised set of plans was submitted to the HOA on February 16, 2016, along with a summary of the key changes from the original site plan. As of the date of this staff report, the HOA has not submitted written comments on the revised plans.

Neighborhood residents have forwarded letters to the Planning Commission regarding this proposal. The applicant has responded to the comments in writing. Attachment 6 includes all public comments submitted for this project, as well as the applicant's responses.

Public Works/Engineering Department

The Public Works/Engineering Department has reviewed the proposed Grading Plan and requires that Lapworth Drive be improved along the property street frontage. The street improvements are to include a new driveway approach, extending the existing Lapworth Drive to twenty feet wide along the property frontage and connection to the existing eight-inch main sewer line in Lapworth Drive in front of the subject parcel. All improvements must be reviewed and approved by the City Engineer. The applicant must submit a Final Grading Plan, Erosion and Sediment Control Plan, and Standard Urban Stormwater Mitigation Plan to the City Engineer for review and approval prior to construction.

The proposed project site would be adequately served by the necessary public service facilities. The applicant would be required to provide connection to the existing water and storm drain systems, which are adequate to accommodate the project, and connect to other utilities. The septic leach field plan for the site was submitted to and approved by the Los Angeles County Department of Public Health.

The City's Geotechnical Consultant has reviewed the geotechnical reports prepared for this project and does not object to the project from a geotechnical perspective at this planning stage. A further geotechnical report would need to be submitted to the City prior to issuance of a Grading Permit. The City Geotechnical Consultant concurs with the

report prepared for this project by Subsurface Design, Inc., as amended by the Addendum II: Response to City of Agoura Hills letter dated January 25, 2016. The project has been conditioned to address the comments in the City's Geotechnical Consultant's review sheet (dated February 25, 2016) during the Building and Safety Department final plan check.

Construction traffic trips and related vehicular routes would be reviewed and approved by the City Engineer prior to the issuance of a Grading Permit and Encroachment Permit (for work in the public right-of-way), with the intent to minimize impacts to the neighbors from construction vehicles.

Building Department

The Building Department has reviewed the proposed plans and requires that all exterior materials used for the dwelling meet the Very High Fire Hazard Severity Zone as outlined in the Code. The project would be subject to the 2013 California Building Code, including, but not limited to, the installation of fire sprinklers and handrails for all exterior stairs with more than four risers.

Oak Trees and Landscaping

A total of 14 Coast Live Oak (*Quercus agrifolia*) trees exist on the property. Three additional Coast Live Oak Trees exist adjacent to, but outside of, the property line. According to the Addendum Tree Report prepared by Landscape Architect Richard Campbell, several trees that had been previously identified on the property as being oak trees are in fact white ironbark eucalyptus (*Eucalyptus leucoxylon*). The Addendum Tree Report and the property owner/applicant's memo indicate that no oak trees or their protected zones will be impacted by the proposed construction of the residence and associated buildings and infrastructure on the property. The project plans confirm this, depicting all grading and construction outside of the trees' mapped protected zones. Therefore, no oak trees will be impacted by the proposed construction. Conditions have been placed on the project to ensure no inadvertent impacts to oaks occur.

The preliminary landscape plan includes a majority of non-native plants, but a condition has been placed on the project to require more native plants to be incorporated into the plan during the final plan check. The preliminary landscape plan was reviewed by the City Landscape Consultant, who recommends that the applicant submit final, detailed landscape and irrigation plans for review by the City Landscape Consultant and the Planning Director prior to Building Permit issuance, and subject to attached conditions. The final plans will be reviewed for slope stabilization and the incorporation of more native plant species.

A condition has been placed on the project to require a fuel modification plan to be reviewed and approved by the County of Los Angeles Fire Department prior to issuance of a Building Permit.

General Plan Consistency

Staff finds the project will be consistent with the following applicable General Plan goals and policies:

Goal LU-7: Livable and Quality Neighborhoods. Neighborhoods that provide a variety of housing types, densities, and design, and a mix of uses and services that support the needs of their residents.

- *Policy LU-7.1 Neighborhood Conservation.* Maintain the uses, densities, character, amenities, and quality of Agoura Hills' residential neighborhoods, recognizing their contribution to the City's identity, economic value, and quality of life for residents.
- *Policy LU-7.2 Housing Character and Design.* Require that new and renovated housing within existing single- and multi-family neighborhoods be located and designed to maintain their distinguishing characteristics and qualities, including prevailing lot sizes; building form, scale, massing, and relationship to street frontages; architectural design; landscape; property setbacks; and comparable elements. Continue to implement the City's Architectural Design Standards and Guidelines to ensure that residential units are designed to sustain the high level of architectural design quality and the character of the existing land forms that characterize the Agoura Hills neighborhoods, in consideration of the following principles as identified in the City Architectural Design Standards and Guidelines:
 - Harmony with the natural land forms and native vegetation
 - Response to the local climate (through proper building orientation, appropriate glazing, use of overhangs, shading devices, native vegetation, etc.)
 - Reflection of the highest standards of adjacent buildings and the neighborhood style[s], proportions, colors, and materials

The proposed project, a single family residence and associated structures, conforms to the required building coverage, height and setbacks per the Code and meets the required horse-keeping standards consistent with Old Agoura. It also meets the maximum allowed structure size in the City's Architectural Design Standards and Guidelines. The project is consistent with the following provisions of the Guidelines, which are recommendations only: oak tree preservation; limited grading; subdued earth toned colors; architectural treatments and articulation; and use of natural materials, such as stone. A condition has been placed on the project to require the Final Landscape Plan to consist primarily of locally native and/or naturalized plants.

The proposed project is of a more modern design rather than the traditional architectural design of Old Agoura. However, the Guidelines allow for contemporary styles. Page 54 of the Old Agoura Design Guidelines states that even the most contemporary of homes can feature elements that are rural and which pay homage to classic and historic styles. The design incorporates the use of natural materials (rustic

stone), a detached garage, and equestrian-style split rail fencing that are recommended in the design guidelines. The colors will be neutral and outdoor lighting will be minimal. The only proposed outdoor lighting on the plans includes lighting on the columns that support the front entry gate at Lapworth Drive. The placement of structures will not impede any of the existing on-site oak trees, thereby preserving the harmony of the natural native vegetation.

Therefore, the proposed project is consistent with Policies LU-7.1 and LU-7.2.

- *Policy LU-7.7 Environmental Setting.* Protect and enhance the unique features of Agoura Hills' residential neighborhoods that have contributed to a high-quality aesthetic environment, including the preservation of scenic and visual resources, a quality built environment, open space resources, and attractive streetscapes.

The proposed project involves the construction of a 15-foot tall single-story home with several accessory structures, all of which would be lower in height than many homes in Old Agoura. All of the structures are single-story, except for the garage, which has a second level storage room. The single-family residence has a partial basement. The storage/utility room will have an unfinished basement that is the full width of the storage/utility room to be used like a barn for storage related to the equestrian area and agricultural elements (fruit trees) of the site. The applicant proposes to construct the lot in this fashion to avoid having one large structure on the property, but instead to create a village-like atmosphere on the property to fit within the low-density and semi-rural character of Old Agoura. The structures are proposed to be placed on the lot in locations that limit grading and integrate the structures into the hillside. Additionally, all of the proposed structures have been situated outside of the drip-lines of the existing oak trees on the site to preserve them as visual resources and habitat.

Therefore, the proposed project is consistent with Land Use Policy LU-7.7.

Goal LU-8 Residential Very Low– and Residential Low-Density Neighborhoods (Old Agoura). Residential neighborhoods containing very low–and low-density housing reflecting Agoura Hills' history and designed to respect their environmental setting.

- *Policy LU-8.1 Neighborhood Identity.* Promote and maintain the integrity of Old Agoura residential neighborhoods for their low-density large estates, rustic character, non-urban infrastructure, and keeping of horses and other farm animals.
- *Policy LU-8.2 Development Compatibility with Community Character.* Require that renovation of existing and construction of new housing and property improvements respect the characteristics that distinguish Old Agoura, including its topography, parcel sizes, housing scale and form, nonurban infrastructure and streetscapes (no sidewalks, curbs and gutters, and street lighting), and equestrian trails.

The proposed project conforms to the required building coverage, height and setbacks per the Code and meets the required horse-keeping standards consistent with Old Agoura. It also meets the maximum allowed structure size in the City Architectural Design Standards and Guidelines. The proposed project is of a more modern design rather than the traditional architectural design of Old Agoura. However, the Guidelines allow for contemporary styles. The design incorporates the use of natural materials (stone), a detached garage, and equestrian-style split rail fencing that are recommended in the design guidelines. The colors will be neutral and lighting will be minimal. The placement of structures will not impede any of the existing on-site oak trees, thereby preserving the harmony of the natural native vegetation.

Therefore, the proposed project is consistent with Land Use Policies LU-8.1 and LU-8.2.

- *Policy LU-8.3 Integration of Development with Natural Setting.* Require that buildings be located, scaled, and designed to reflect the existing terrain and minimize grading to the maximum extent possible. Structures shall be integrated into the hillsides, taking care to preserve the viewsheds and natural ridgelines.

The proposed placement of structures will not impede any of the existing on-site oak trees, thereby preserving the harmony of the natural native vegetation. The structures are proposed to be placed on the lot in locations that limit grading and integrate the structures into the hillside. Therefore, the proposed project is consistent with Land Use Policy LU-8.3.

- *Policy LU-8.4 Property Setbacks.* Encourage variable setbacks to enhance streetscape character and increase building separation.

The west and north sides of the lot along Lapworth Drive are considered the front setback. The garage is the closest structure to this property line, and is set back 39 feet from the front property line, which is more than the required 25-foot front setback. The second dwelling unit is situated 14 feet from the right side setback (south), which meets the setback standard. The tack room is proposed 50 feet from the left-side setback (northeast), which meets the setback standard. Due to the terrain, the garage and residence will not be visible from Lapworth Drive along this property line, as these structures will be situated lower than the level of the road. The nearest structure to the rear setback is the single-family dwelling, which is 136 feet from the rear property line (southeast), more than the required setback distance. Therefore, the proposed project meets the required setbacks listed in the Code and is consistent with Land Use Policy LU-8.4.

- *Policy LU-8.5 Building Materials and Colors.* Limit exterior building materials to those that have the appearance of materials that are characteristic of rural environments.

The proposed building materials include concrete stucco, natural stone, metal and glass, which are primarily simple and natural and provide a rustic characteristic that

complements the semi-rural environment of Old Agoura. Additionally, all retaining walls and most accessory structures are proposed to be covered in vines to limit the amount of visible non-natural materials. Therefore, the proposed project is consistent with Land Use Policy LU-8.5.

- *Policy LU-8.6 Landscaping.* Require that on-site landscapes transition smoothly to the natural undeveloped open areas.

The majority of the natural vegetation on the property will be replaced with irrigated landscape, per the planting and irrigation plans. Most of the plants on the planting plan are non-native and, a condition has been placed on the project to increase the number of native and/or naturalized plantings on-site. The existing oak trees on the site, along with their respective drip lines, will be preserved with no encroachment into their protected zones. The remainder of the lot will consist of structures, a swimming pool, driveway, pedestrian pathways, fruit trees and a vineyard. At the property edges, a white wooden split-rail fence is proposed. The front and left-side property lines are bounded by Lapworth Drive. The rear and right-side property lines are bounded by adjacent property. The planting plan identifies citrus and fruit trees to be planted nearest the rear and right-side property lines which will create a transition from the subject property to adjacent properties. Therefore, the proposed project is consistent with Land Use Policy LU-8.6.

- *Policy LU-8.7 Open Spaces.* Encourage the provision of open space areas suitable for horses or other farm animals, thereby enhancing the equestrian and rural character of the area.

The proposed plans include a 1,500 square-foot equestrian area that is accessible from an access gate directly off of the main driveway. A horse stall and a 300 square-foot tack room are also proposed. Therefore, the proposed project could support horses and other farm animals. Therefore, the proposed project is consistent with Land Use Policy LU-8.7.

Environmental Review

The project has been determined to be Categorically Exempt from the California Environmental Quality Act (CEQA) Guidelines per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence and accessory structures. No significant environmental impacts are expected from development of this project. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines including but not limited to subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

III. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. CUP-01019-2014, subject to Conditions, based on the findings of the attached Draft Resolution.

IV. ATTACHMENTS

1. Conditional Use Permit Draft Resolution and Conditions
2. Vicinity Map
3. Colored renderings, elevations and material board
4. Reduced copies of project plans
5. Photographs of applicant's lot
6. Public comment letters, including Old Agoura HOA and applicant's responses
7. Old Agoura Design Guidelines

Case Planner: Michelle D'Anna, Contract Planner

ATTACHMENT 1
CONDITIONAL USE PERMIT DRAFT RESOLUTION
AND CONDITIONS

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-01019-2014 FOR THE CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE WITH BASEMENT AND ROOF TERRACE, DETACHED TWO-STORY GARAGE, SECOND DWELLING UNIT, STORAGE BUILDING WITH BASEMENT, TACK ROOM AND SWIMMING POOL AT 6000 LAPWORTH DRIVE; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Shahnaz Brigitte Bina with respect to the real property located at 6000 Lapworth Drive Road (Assessor's Parcel Number 2055-022-072), requesting the approval of a Conditional Use Permit (Case No. CUP-01019-2014) to construct a 4,374 square-foot single-story single-family residence with basement and roof terrace, 800 square-foot detached garage with second-story storage room, 700 square-foot second dwelling unit, 1,160 square-foot storage room with basement, 300 square-foot tack room, and a swimming pool. A public hearing was duly held on May 5, 2016, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California; and that notice of time, date and place and purpose of the aforesaid was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to the Agoura Hills Municipal Code (Code) Section 9673.2.E, that:

A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The proposed project is located within the Very Low Density Residential-Old Agoura Design Overlay-Equestrian Overlay (RV-OA-EQ) zoning district, which allows for the development of single-family residences. The purpose of the RV zone is for large lot development suitable for equestrian and agricultural oriented uses as well as areas with 25 percent or greater slope which require careful design consideration to minimize grading and visual impact. The RV zone allows for a maximum 25 percent lot coverage for lots that are 10,000 square feet or larger. The subject property is 2.81 acres (122,582 square feet). The property incorporates equestrian uses. This hillside lot slopes 70 feet in elevation from the average street elevation along the front setback (1,185 feet) of Lapworth Drive to the average rear elevation (1,115 feet) of the lot, with an average slope of 30 percent. Since

the slope of the property exceeds ten percent, the project is subject to the City's Hillside Ordinance. The Hillside Ordinance includes a requirement for on-site open space preservation. The minimum amount of area to remain in undisturbed open space is related to the average slope of the property. The average slope of the subject property is 30 percent. For parcels that have an average slope between 26 and 30 percent, the Hillside Ordinance requires that at least 77.5 percent of the lot remain in undisturbed open space. The proposed project provides 77.6 percent of the lot remaining undeveloped. Therefore, the City's minimum development standards have been met for the proposed residence, including those addressing lot coverage, building height, hillside development, and building setbacks from the property lines.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The proposed single-family residence would be located in an existing single-family neighborhood of the City and would meet the height, lot coverage, setback, and other development requirements of the zoning district. It would also meet the maximum floor area allowed for neighborhood compatibility pursuant to the City Architectural Design Standards and Guidelines. While the project proposes a more contemporary architecture than commonly found in Agoura, the proposed building materials of the residence include light-colored, natural tones and natural materials like stone. Adequate horse-keeping areas are provided, and the boundary of the site would be marked with a white, wooden split-rail fence. Design articulation is provided on all building elevations, and the main building is broken up with staggered building walls and a roof terrace. Some native vegetation is proposed as part of the planting plan and a condition on the project will require additional native and naturalized plantings to be provided on the site. While the roof is primarily parapet with a decorative cornice and cornice caps, there are fixed cloth canopies on portions of the main residence. The building design is compatible with the topography of the property, in that it incorporates the residence into the hillside by stepping the structure downward from the street to follow the natural terrain. The residence is situated below the ridgeline of adjacent hillsides to preserve the natural setting and maximize open space on the lot to the greatest extent possible, and all oak trees on-site would be preserved.

C. The proposed use and the conditions under which the project will be operated or maintained, will not be detrimental to the public health, safety or welfare, in that the proposed use will ensure adequate light, air and privacy, and open space to surrounding properties. The proposed structures are situated on the northwest portion of the on-site hillside slope, downslope of Lapworth Drive, which will preserve the views and privacy of the surrounding properties. The project complies with the maximum allowable building height limitations of hillside properties. Geological, geotechnical, and drainage studies, as well as landscape plans, have been provided and approved by the City's Consultants. Vehicular access to the property will be provided via Lapworth Drive. The applicant will be required to construct the project in full compliance with the City's Building Code. The proposed project site will be adequately served by public and private service facilities, as the applicant will be required to provide water and septic systems, adequate storm drains and other utilities. The septic system has been reviewed and approved by the County of Los Angeles Department of Public Health.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. The project meets the development standards of the underlying zone relative to the required lot coverage, building height, setbacks, horse-keeping areas, subdued warm colors, use of stone similar to other Old Agoura homes, white wooden split-rail rending, building articulation and design accents on the parapet roof. The Landscape Plan/Planting Plan has been conditioned to incorporate primarily native and/or naturalized species.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community in that the project will meet the minimum yard setback requirements for the RV zone. The residence will be placed 45 feet from Lapworth Drive on the southwest property line and 25 feet from Lapworth Drive on the northwest property line, respecting the minimum front yard setback requirement of the zoning district. Locating the buildings in the middle of the steeped terrain will preserve the public views from Lapworth Drive because the structures will be situated below Lapworth Drive as viewed from the northwestern edge of the property. The closest home is directly across the street from the subject property, approximately 45 feet from the subject property's front property line. In addition, the proposed use is one single-family home with accessory structures and a pool to be developed in the RV Zone, which is the appropriate use for this parcel and, accordingly, its location in proximity to other single-family homes would not threaten the overall diversity of the community.

F. The proposed use is consistent with the City's General Plan. The proposed residence is located and designed to incorporate the existing terrain into the site plan to the maximum extent possible, and to minimize grading and preserve view sheds, as called for in Policy Section LU-8.3 of the General Plan. Regarding Land Use Policies LU-7.1 and LU-7.2, the proposed single-family residence and accessory structures conform to the required building coverage, height, and setbacks per the Code. The colors will be neutral and building materials primarily natural, in keeping with the Code requirements and recommendations of the Old Agoura design guidelines. Regarding Land Use Policy LU-7.7, the proposed dwelling conforms to the natural slope of the property such that the dwelling and other structures are situated with the natural concave slope of the lot, thereby maintaining the public view from Lapworth Drive and preserving the scenic and visual resources of the neighborhood. Regarding Land Use Policy LU-8.3, the proposed project will not impact any of the existing on-site oak trees, thereby preserving the harmony of the natural environment. And, regarding Land Use Policy LU-19.4, the proposed project is designed consistent with the Hillside Ordinance. The residence is stepped down the slope to preserve the topography and minimize grading.

Section 4. The Planning Commission finds, pursuant to Section 9652.15.A of the Agoura Hills Municipal Code, which establishes special regulations for hillside development areas, that:

A. The proposed project, as conditioned, is located and designed so as to protect the safety of current and future community residents, and will not create

significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood mud flow, erosion hazards or other hazards. The project has been conditioned to comply with the Low Impact Development (LID) requirements of the Code to protect storm water quality and drainage, and will require the following: an approved Grading Plan; Erosion and Sediment Control Plan; and a Standard Urban Stormwater Mitigation Plan. A geotechnical report has been approved by the City Geological Consultant with conditions that shall become a project requirement, and the City's Consultant concludes that the proposed use will not threaten the stability of the hillside. The City Public Works/Engineering Department and Building Department have also reviewed the project and imposed conditions. The conditions will ensure the project would be consistent with safety requirements and do not pose significant threat to life or property. Final geotechnical reports are required for review and acceptance by the City prior to Grading Permit issuance.

B. The proposed project, as conditioned, is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project is set well below the maximum allowed building height and will not block neighbors' views from Lapworth Drive. The proposed project will not impact any of the existing on-site oak trees, thereby preserving the harmony of the natural environment. No significant known biological or cultural resources are located on the site. The project has been conditioned to protect nesting birds that may occur on-site during construction, and to incorporate more native and/or naturalized vegetative species. Open space resources on-site will be protected, as only 22.4 percent of the site will have building coverage.

C. The proposed project can be provided with essential public services and is consistent with the objectives and policies of the General Plan. All utility services will be brought to the parcel without interference to the existing infrastructure. The project will be consistent with General Plan Goal LU-1 and Policy LU-1.2 that provide for well-planned development, efficient use of infrastructure and primarily infill of existing developed areas in that the site is an infill lot and public services are available to easily serve the site.

D. The proposed development, as conditioned, will complement the community character. The proposed project would complement the community character of the neighborhood because it is a single-family dwelling with accessory structures that are primarily single-story and congregated in a village-type layout that supports the semi-rural residential nature of the neighborhood. The architectural design, while contemporary, includes building articulation and decorative features to provide visual interest. The proposed building materials include subdued and light colors and natural materials such as stone. The building design is compatible with the topography of the property and limits grading, in that it incorporates the residence into the hillside by stepping the structure downward from Lapworth Drive to follow the natural terrain. The residence is situated below street level along the northwestern side of the property, which preserves the public view from Lapworth Drive to the greatest extent possible. All on-site oak trees will be preserved.

E. The proposed development, as conditioned, is consistent with the general design and construction standards set forth in the Hillside Ordinance, including standards for density, open space, view preservation, fire protection, erosion control, drainage control, ridgelines, building design, and landscaping. The project is required to comply with all portions of the Code, including those relating to hillside development, fire protection, erosion, drainage, building design, and landscaping. No ridgelines as identified in the General Plan for protection or as being significant will be affected by the project.

Section 5. The project is a request for one single-family residence with accessory structures and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures), particularly Subsections (a) and (e). No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines including but not limited to subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

Section 6. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. CUP-01019-2014, subject to the Conditions of Approval, attached herein as Exhibit A, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 5th day of May 2016, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

John O'Meara, Chairperson

ATTEST:

Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case No. CUP-01019-2014)

PLANNING DEPARTMENT CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicants have agreed in writing that they are aware of, and accept, all conditions of this permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plan, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Director of Planning.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless this permit is used within two (2) years from the date of City approval, Conditional Use Permit Case No. 01019-2014 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.36 per square foot for residential construction. On May 9, 2016, the fee will be \$3.48 per square foot for residential construction.
15. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
16. In the event archaeological resources are encountered during ground-disturbing activities, the City Planning Department shall be notified immediately, and work shall stop within a 100-foot radius until a qualified archaeologist approved by the City Planning Department, and retained and paid for by the developer/applicant, has assessed the nature, extent, and potential significance of any remains pursuant to the California Environmental Quality Act (CEQA). In the event such resources are determined to be significant, appropriate actions are to be determined by the archaeologist consistent with CEQA (PRC Section 21083.2) and the City General Plan, in consultation with the City Planning Department.
17. If human remains are unearthed during ground disturbing activities, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the developer/contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) thought to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assess the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City.
18. To the extent feasible, the applicant shall not remove or otherwise disturb vegetation, prepare the site, or conduct any other construction related activities within the work areas to avoid impacts to breeding and/or nesting birds from February 1 through September 1, the recognized breeding, nesting and fledging season for raptor and bird species. If such activities in the work areas during the breeding and nesting season cannot be avoided, then prior to any ground or vegetation disturbing activities, the applicant shall retain a qualified biologist/ornithologist acceptable to the City Planning Department to conduct a survey of all breeding and nesting habitats within the work areas and vicinity within one (1) week of construction or vegetation clearing activities. The extent of the survey buffer area

surrounding the site shall be established by the biologist to ensure that direct and indirect effects to nesting/breeding birds are avoided. A report discussing the results of the bird survey shall be submitted for review by the City Planning Department prior to any vegetation removal, site preparation or construction activity. If active nests are found within the survey area, activities within a 300-foot radius (500 feet for raptors) shall not be allowed until an appropriate buffer can be established. Limits of construction to avoid a nest site shall be established in the field with flagging and stakes or construction fencing. Activities within the buffer area shall be postponed or halted at the discretion of a biological monitor until the nest is vacated and juveniles have fledged, and there is no evidence of a second attempt at nesting. If a state or federally listed species is found, the CDFW and/or the USFWS, as applicable, shall be notified within 24 hours of the sighting, and construction work shall not occur until concurrence has been received that operations may proceed. The biologist shall record the results of the recommended protective measures described above to document compliance with applicable state and federal laws pertaining to the protection of native birds, and provide the documentation to the City Planning Department upon completion of the work and prior to issuance of a Certificate of Occupancy.

19. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
20. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
21. A pre-construction conference shall be held prior to the issuance of a Grading Permit, with all construction personnel involved with the grading operations.
22. If substantial changes are made to the approved Preliminary Landscape Plan, as determined by the Planning Director, the revised Landscape Plan shall be subject to approval by the Planning Commission.
23. Pool fencing shall be subject to approval by the Planning Director. Any site perimeter fencing shall be subject to approval by the Planning Commission and shall be a white split-rail wooden fence or a material that closely mimics a wood fence.
24. Retaining walls not proposed to be screened with vegetation shall be decorative in design, to be approved by the Planning Director during Final Plan Check, prior to issuance of a Grading Permit.
25. Basements shall remain unfinished and uninhabitable, as proposed in this permit application.
26. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought up against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.

27. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from an against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter at applicant's expense.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

28. All exterior materials used for eaves, sidings, porch, patio, decks, canopies, carport and other similar structures need to meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 7A of the California Building Code and Chapter 2 of Article VIII of the Agoura Hills Municipal Code (AHMC).
29. All new windows will be tempered on at least one side of the dual pane, or a 20 min rated window or glass blocks per Section 704A.3.2.2 of the 2013 California Building Code. All relevant plans shall include a notation of this condition.
30. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Mechanical, Electrical, Plumbing, Energy Plans, plans will need to be submitted to Building and Safety Department for plan review and approval. Please be advised that this is a preliminary review and does not constitute a final Building and Safety approval.
31. A soils report is required to be submitted to the Building and Safety Department for this project.
32. Slope setbacks shall be met per Agoura Hills Municipal Code Section 8200(g) and 2013 California Building Code Section 1805.3.2.
33. Pool fencing shall be provided. If utilizing the perimeter fencing for this purpose, the fence must meet the pool fencing requirement for the height, type, latch and swing of door, etc., per the Agoura Hills Municipal Code, including but not limited to Section 3401.
34. Per AQMD Rule 445 only fireplaces fueled by gas (such as gas logs) may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted.
35. Fire Sprinklers will be required for all new structures per Section 903.2, Article VIII of the Agoura Hills Municipal Code 903.2.
36. Los Angeles County Fire Department approval will be required for all new structures.
37. Las Virgenes Municipal Water District approval will be required.

38. Los Angeles County Health Department approval is required for installation of any septic tanks, leach fields or seepage pits.

PUBLIC WORKS/ENGINEERING DEPARTMENT CONDITIONS

39. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
40. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of any permits, all improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
41. Prior to permitting, the applicant shall pay all applicable Transportation Impact Fee (TIF) to the Building and Safety Department.
42. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
43. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
44. The grading plan shall show location(s) of all Oak trees within the vicinity of the site. The applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
45. Prior to permitting, the applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original Mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
46. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.

47. Prior to permitting, the project shall obtain a permit from the Los Angeles County Health Department and Las Virgenes Municipal Water District.
48. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at 818.597.7322 for approved City certification forms.
49. Building Permits shall not be issued until applicant has obtained septic system approval from Los Angeles County Health Department.
50. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The project is required to install a new concrete driveway approach, widen the Asphalt Concrete (AC) Pavement to 20 feet with 6 inch curb along parcel frontage on Lapworth Drive, and all water appurtenances shall be per Las Virgenes Municipal Water District's standards.
51. The following existing street(s) being cut for new services or being finish with curb and gutter may require an asphalt concrete overlay: Lapworth Drive along entire westerly property line.
52. This property is within the LVMWD service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
53. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
54. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
55. This project shall be subject to the Low Impact Development (LID) requirements of Chapter 5 of Article V of the Agoura Hills Municipal Code.
56. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;

- b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
57. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
 58. Prior to issuance of Certificate of Occupancy, all remaining fees/deposits required by the Engineering Department must be paid in full.
 59. Prior to issuance of Certificate of Occupancy, all requirements including construction of improvements covered in condition number 12 must be completed to the satisfaction of the City Engineer.
 60. Prior to issuance of Certificate of Occupancy, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. *No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.*
 61. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
 62. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
 63. Applicant shall submit a title report that is not older than thirty (30) days.
 64. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to

resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

65. SWPPP Plan – All projects that develop one (1) acre or more of total land area or which are part of a larger phased development that will disturb at least one acre of land, are required to prepare a Storm Water Pollution Prevention Plan (SWPPP), utilizing the model form in Appendix B of the 2003 CASQA Stormwater BMP Handbook for Construction at: www.cabmphandbooks.com and submit a copy of the plan to the City of Agoura Hills Engineering Department for review. A copy of the adopted SWPPP shall be maintained in the construction site office at all times during construction and the Site Superintendent shall use the plan to train all construction site contractors and supervisory personnel in construction site Best Management Practices, prior to starting work on the site.

Said plan shall, among other things, ensure that the following minimum requirements are effectively implemented at all construction sites:

- a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
- b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
- c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
- d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.

GEOTECHNICAL CONDITIONS

66. The applicant shall comply with all recommendations of the City Geotechnical Consultant's (GeoDynamics, Inc.) Conditions of Approval letter dated February 25, 2016, which is incorporated herein by this reference.

OAK TREE CONDITIONS

67. No damage shall occur within the protective zone (the area within the dripline of an oak tree and extending to a point at least 5 feet outside the dripline, or 15 feet from the trunk[s] of the tree, whichever distance is greater) of a protected oak tree without an approved permit from the City.
68. Exclusionary fencings consisting of chain-link, orange snow drift mesh fencing, or other suitable material shall be placed just outside of the protective zone of preserved oak trees during

construction activities, so that access within the protective zones is prohibited during the construction phase of the project. Any work that will be conducted within the protective zone of an oak tree shall be accomplished under the direct supervision of a qualified arborist.

69. Care must be taken to limit grade changes near the protected zone of any oak tree. Grade changes can lead to plant stress from oxygen deprivation or oak root fungus at the root collar of oaks. Minor grade changes further from the trunk are not as critical but can negatively affect the health of the tree if not carefully monitored by a certified arborist. The grade shall not be lowered or raised around the trunks (i.e., within the protected zone) of any oak tree without prior authorization from the City.
70. No storage of equipment, supplies, vehicles, or debris shall be permitted within the protected zone of any oak tree.
71. No dumping of construction wastewater, paint, stucco, concrete, or any other clean-up waste shall occur within the protected zone of any oak tree or uphill from the protected zone.
72. No temporary structures shall be placed within the protected zone of any oak tree not permitted for removal or encroachments.
73. If pruning is required, pruning shall be limited to the removal of dead wood, and stubs, or removal of branches 2 inches in diameter or less. Pruning methods shall be conducted in accordance with the guidelines published by the National Arborist Association. In no case shall more than 20 percent of the tree canopy of any oak tree be removed. Cuts over 2 inches in diameter shall require authorization by permit from the City.
74. Irrigation water shall not reach within 15 feet of any oak trunk or within the protected zone of an oak tree.
75. If vegetation is proposed within the protective zone of an oak tree, plants shall be limited to drought tolerant species suitable for planting beneath oak trees.

LANDSCAPING CONDITIONS

76. Prior to the issuance of a Building Permit, submit to the City a planting plan that has been approved by the County of Los Angeles Fire Department Fuel Modification Unit.
77. The Irrigation plan prepared by Wynn Landscape Architects, Inc. dated February 3, 2015 has not been approved and will need to be revised as follows prior to the issuance of a Grading Permit or Building Permit, whichever comes first:
 - a. The irrigation site plan is not the same as the site plan shown on the planting plan; the proposed storage room and the proposed 2nd unit floor plans have been relocated, the pool shape and adjacent planters have been revised, the walkways shown on the irrigation plan do not align with the walkways on the planting plan, the slope areas

are not shown on the irrigation plan. The base plan for the irrigation system and the planting plan must be the same.

- b. The irrigation plan, which is required by the City of Agoura Hills Municipal Code, must comply with the current Water Efficiency Landscaping Ordinance.
 - c. Water allowance calculations must be adjusted to within an ETAF of 0.55 instead of 0.8.
 - d. Separate water meters or sub-meter is required for residential landscapes over 5,000 square feet. This project has 60,050 square feet of landscape area.
 - e. Master valve and flow meter is required.
 - f. Show actual location of the water meter and service line size.
 - g. Provide irrigation hydraulic calculations on the plan per the Ordinance.
 - h. Slope irrigation system must be provided to irrigate the ground covers planted for erosion control.
 - i. Provide manufacture certification that the specified sprinkler heads meet the requirement of the distribution of uniformity low quarter of 0.65 or higher.
78. The Final Landscape Plan shall substantially conform to the Preliminary Landscape Plan prepared by Richard Campbell, ASLA, dated October 22, 2015, as approved by the City of Agoura Hills Planning Commission.
79. Prior to the approval of a Grading Permit, the applicant shall submit three (3) sets of Final Landscape and Irrigation Plans for review by the City Landscape Consultant and approval by the Planning Director. A California – licensed Landscape Architect shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans. The Landscape and Irrigation Plan shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.
80. At the time of the Final Landscape Plan submittal, the project Landscape Architect shall provide the City with written confirmation that the project Landscape Architect has reviewed the civil engineering drawings and that the Landscape Plan is not in conflict with the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID).
81. Planting Plans shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees shall be 15-gallon. The minimum size of shrubs shall be five (5) gallon except shrubs planted as groundcovers and or as accent planting, which may be one (1) gallon size. Plant sizes may be increased on some projects at the discretion of the Planning Director. Plant symbols shall depict 75 percent of the size of the plant at maturity.

Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.

82. The Final Landscape Plans shall include the following notes:
 - a. The project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans.
 - b. Identification of the total square footage of the landscape area within the project.
83. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
84. With the Final Landscape Plans, three (3) copies of planting and irrigation details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, instillation details and post installation maintenance.
85. The approved landscaping shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
86. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
87. The Final Landscape Plan shall be approved by the Fuel Modification Unit of the County of Los Angeles Fire Department, as appropriate, prior to the issuance of a Building Permit.
88. Landscaping and irrigation installation shall be subject to inspection and approval by the Planning Department prior to final Building Permit inspection.
89. Consistent with the City Hillside Ordinance, the Final Landscape Plan shall consist primarily of locally native and/or naturalized plants.

FIRE DEPARTMENT CONDITIONS

90. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a Building Permit.

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

91. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated

on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.

92. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
93. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

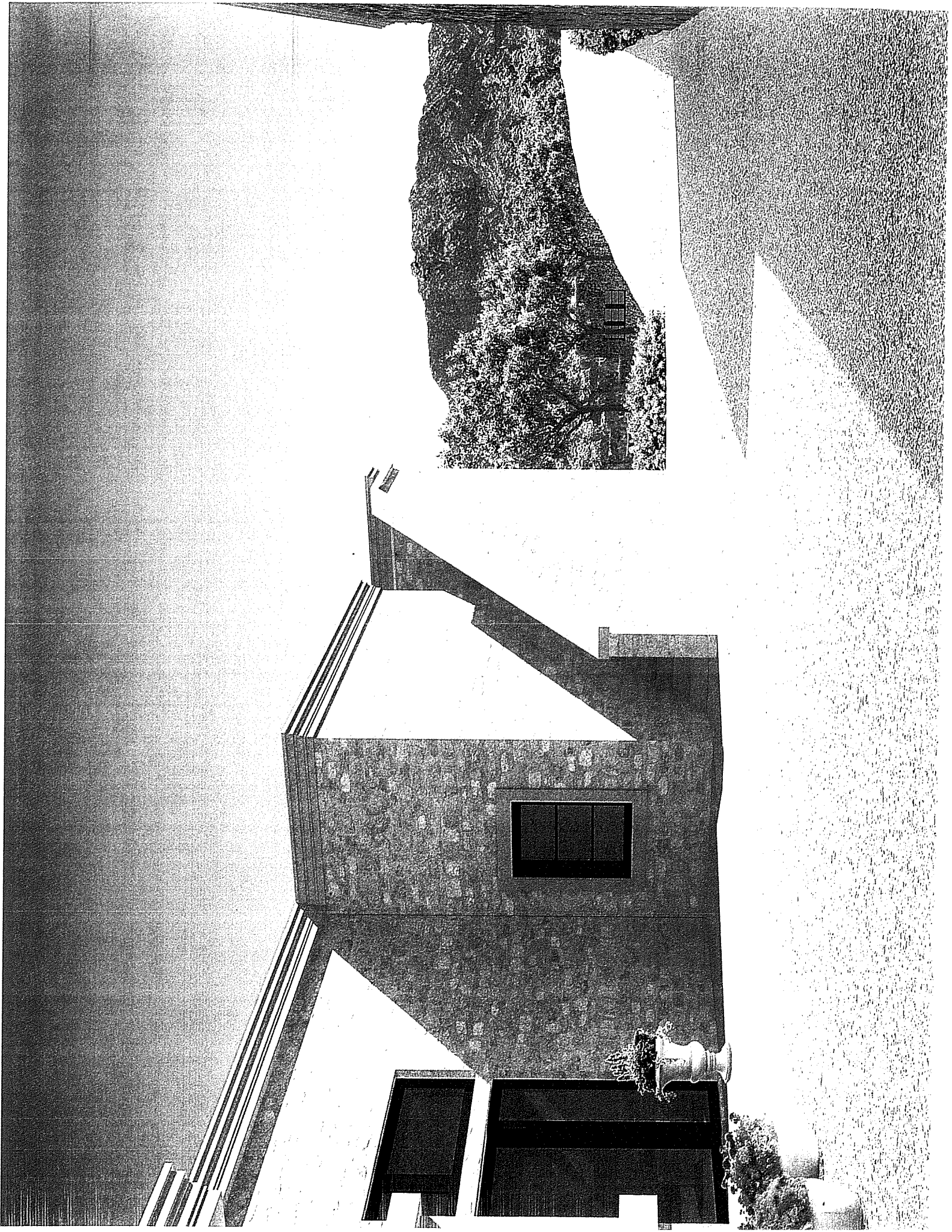
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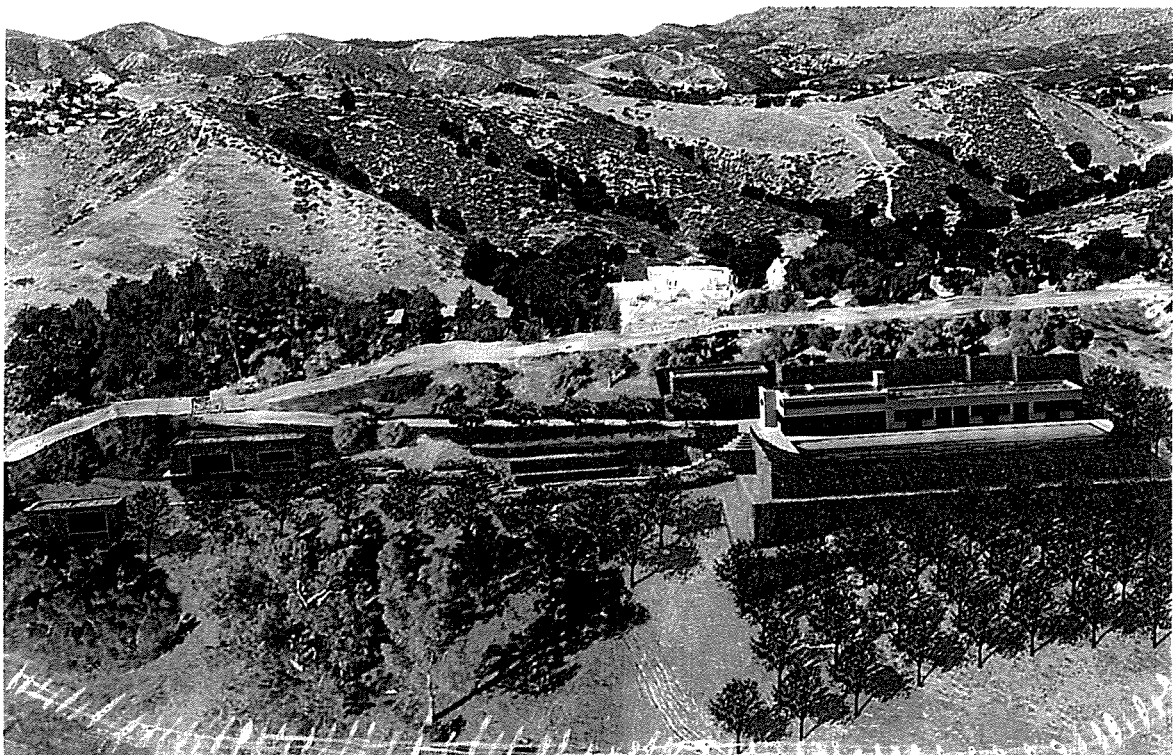
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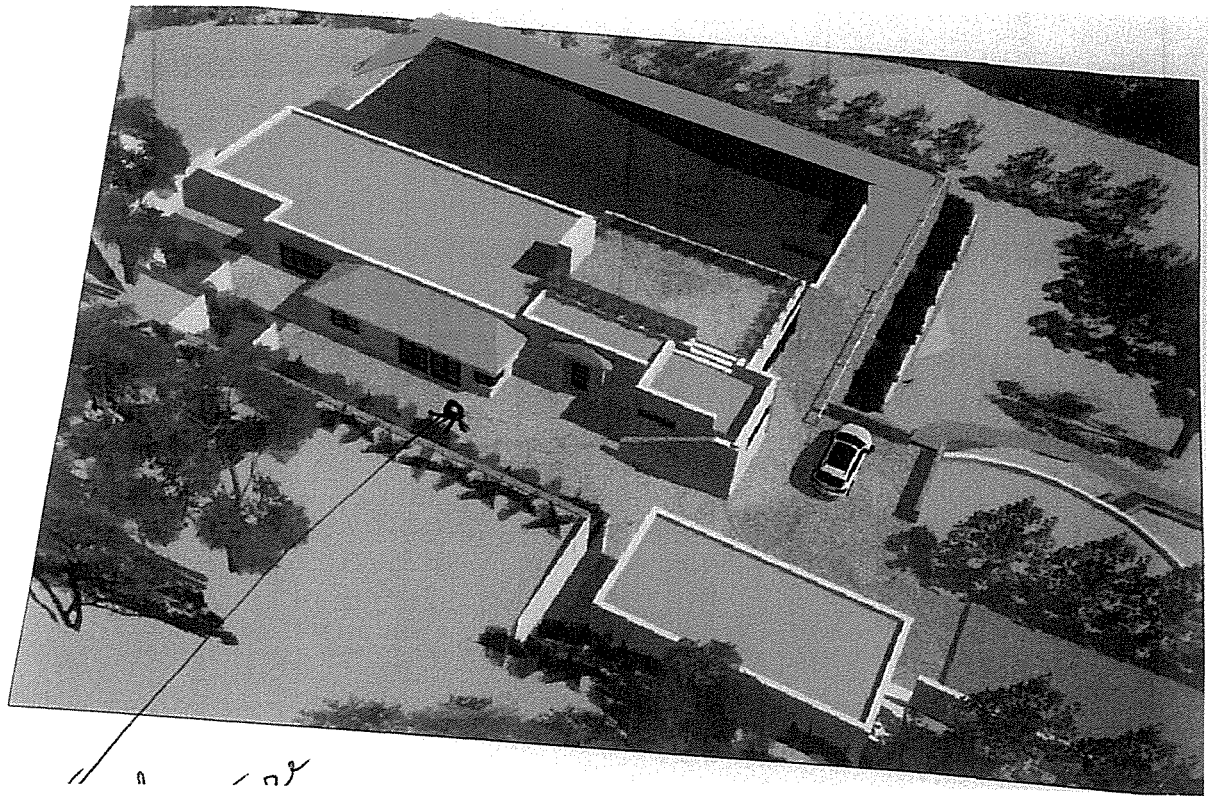
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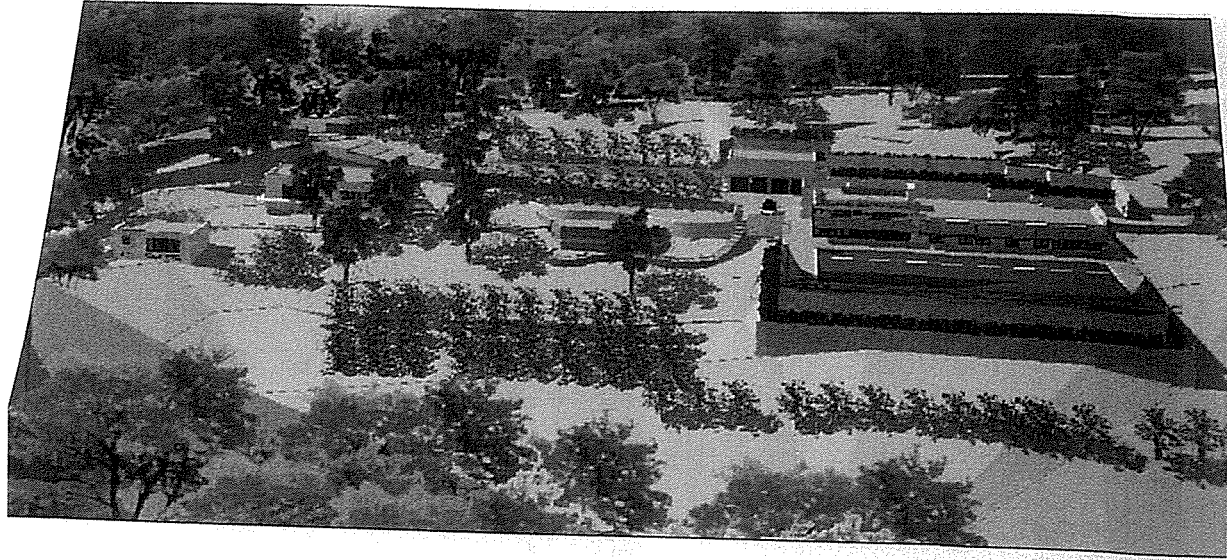
ATTACHMENT 3
COLORED RENDERINGS, ELEVATIONS,
AND MATERIALS BOARD



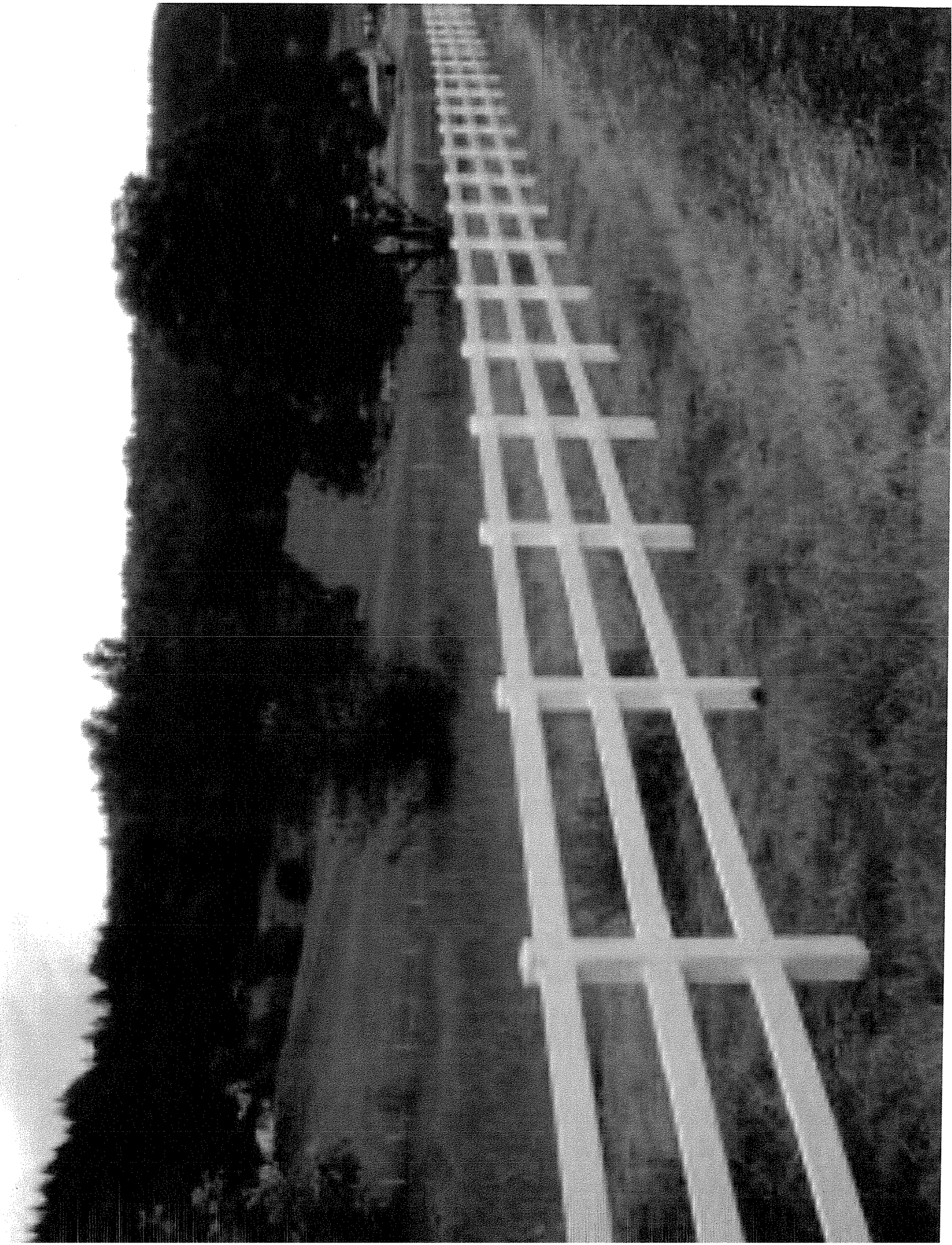


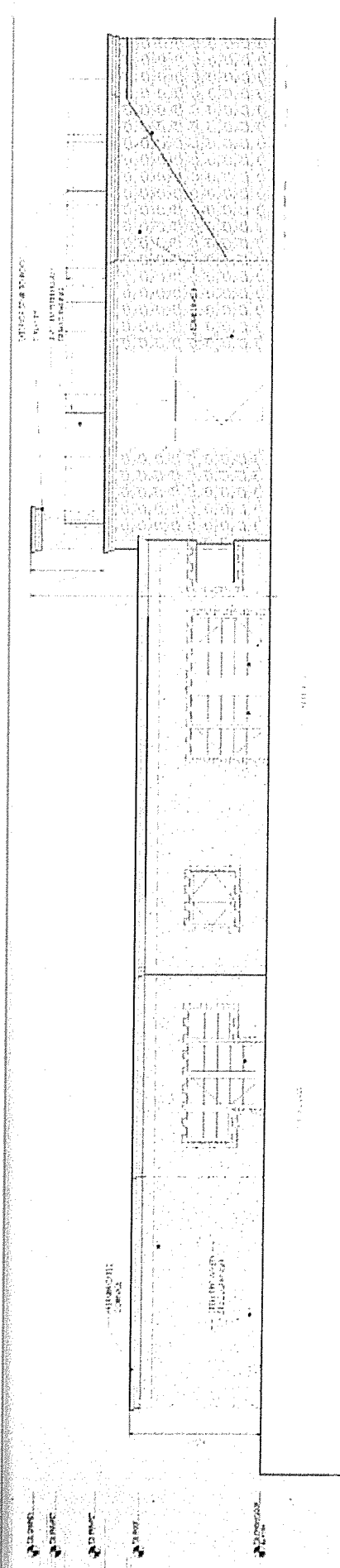


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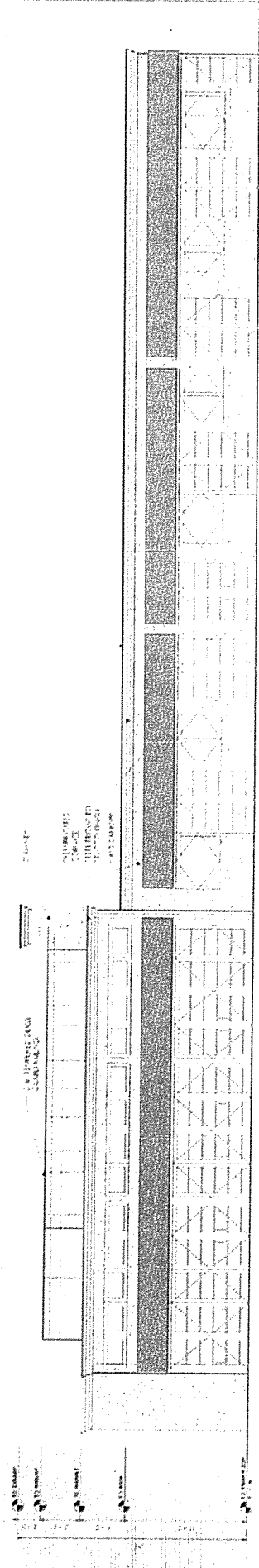
1 VIEW FROM SOUTH





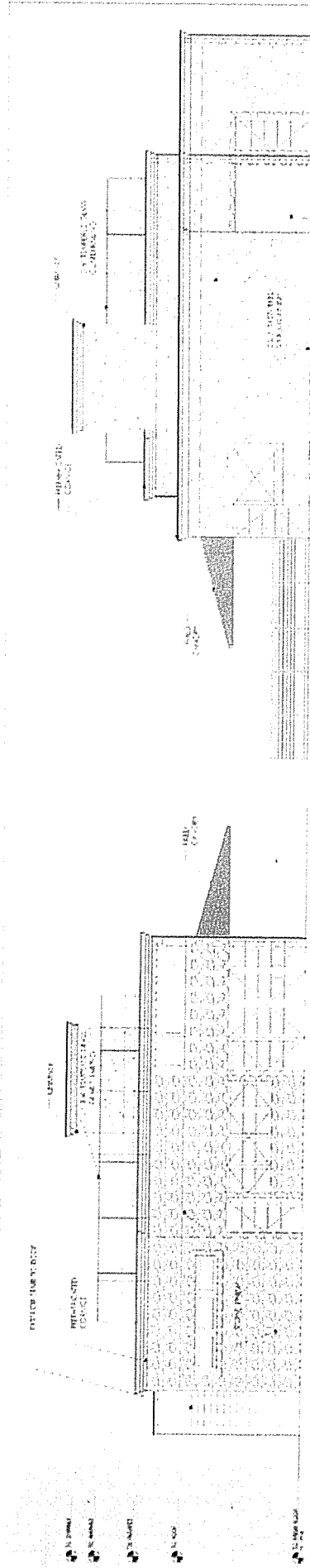
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SCALE 1/8" = 1'-0"



2 MAIN RESIDENCE - SOUTH

SCALE 1/8" = 1'-0"

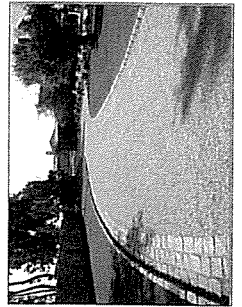
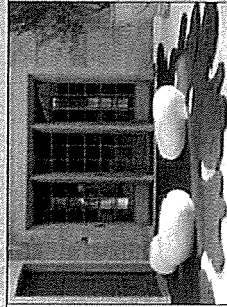
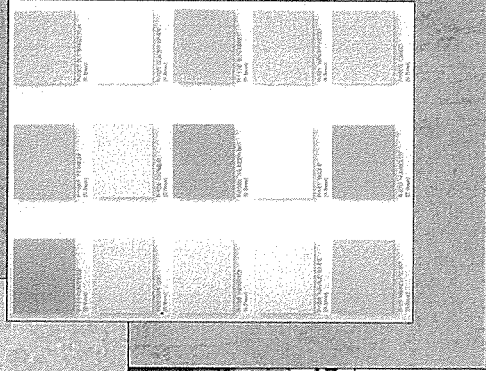
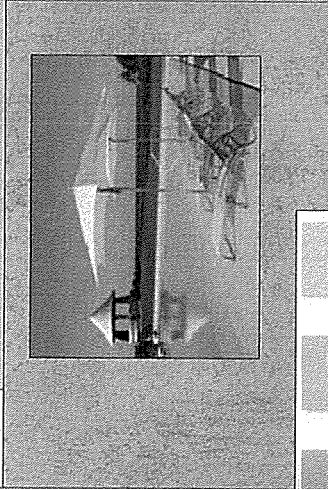
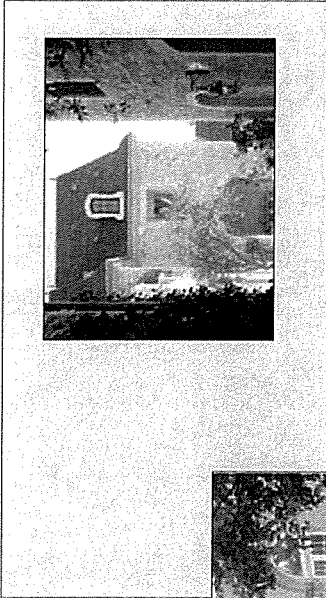
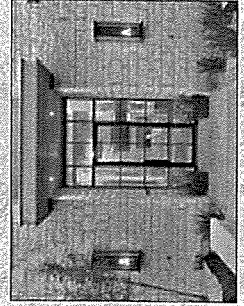
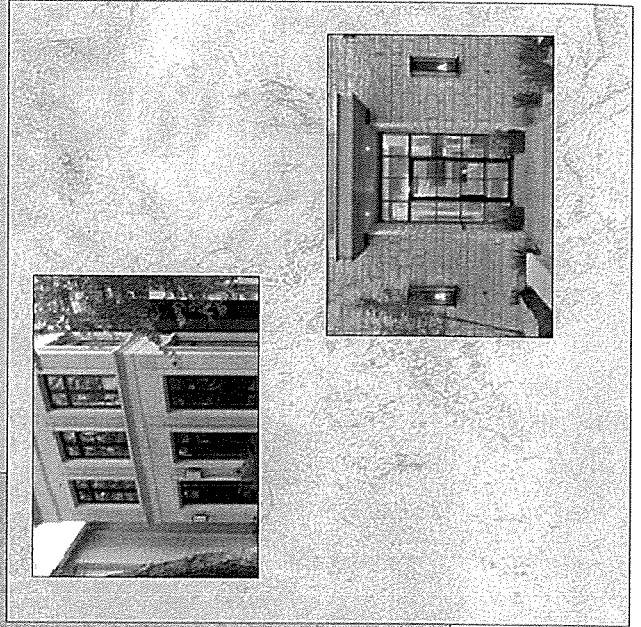
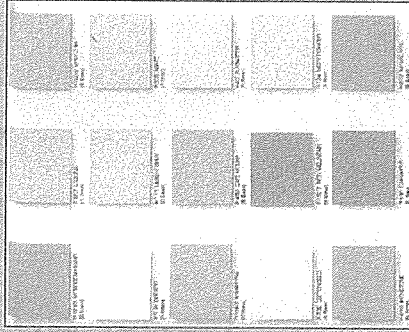
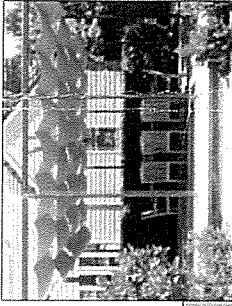


3 MAIN RESIDENCE - WEST

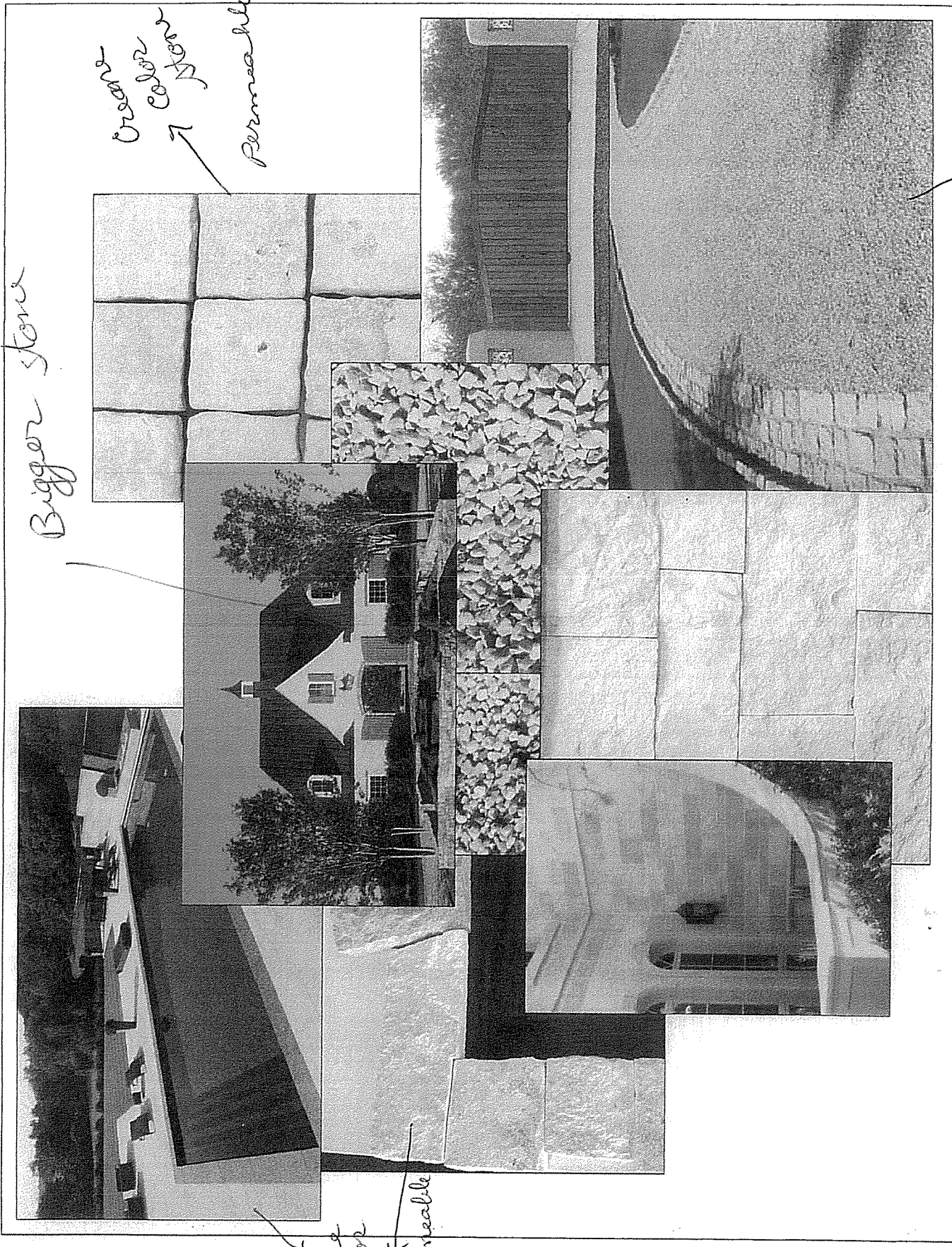
SCALE 1/8" = 1'-0"

4 MAIN RESIDENCE - EAST

SCALE 1/8" = 1'-0"



Creme Color Stucco. Black window frames.



sand
100% Clean
No Silica
No Chlorides
No Sulfates
No Salts
No Acids
No Alkalis
No Heavy Metals
No Organic Compounds
No Inorganic Compounds
No Volatile Compounds
No Hazardous Materials

B I N A R E S I D E N C E
PARCEL APN 2085-022-072, AGOURA HILLS, CALIFORNIA 91310

Sheet
Date

Design File Number
COLOR AND MATERIALS
A6.1

Chop-seal
Linen Color RVL237
Reno Black R1Th 226

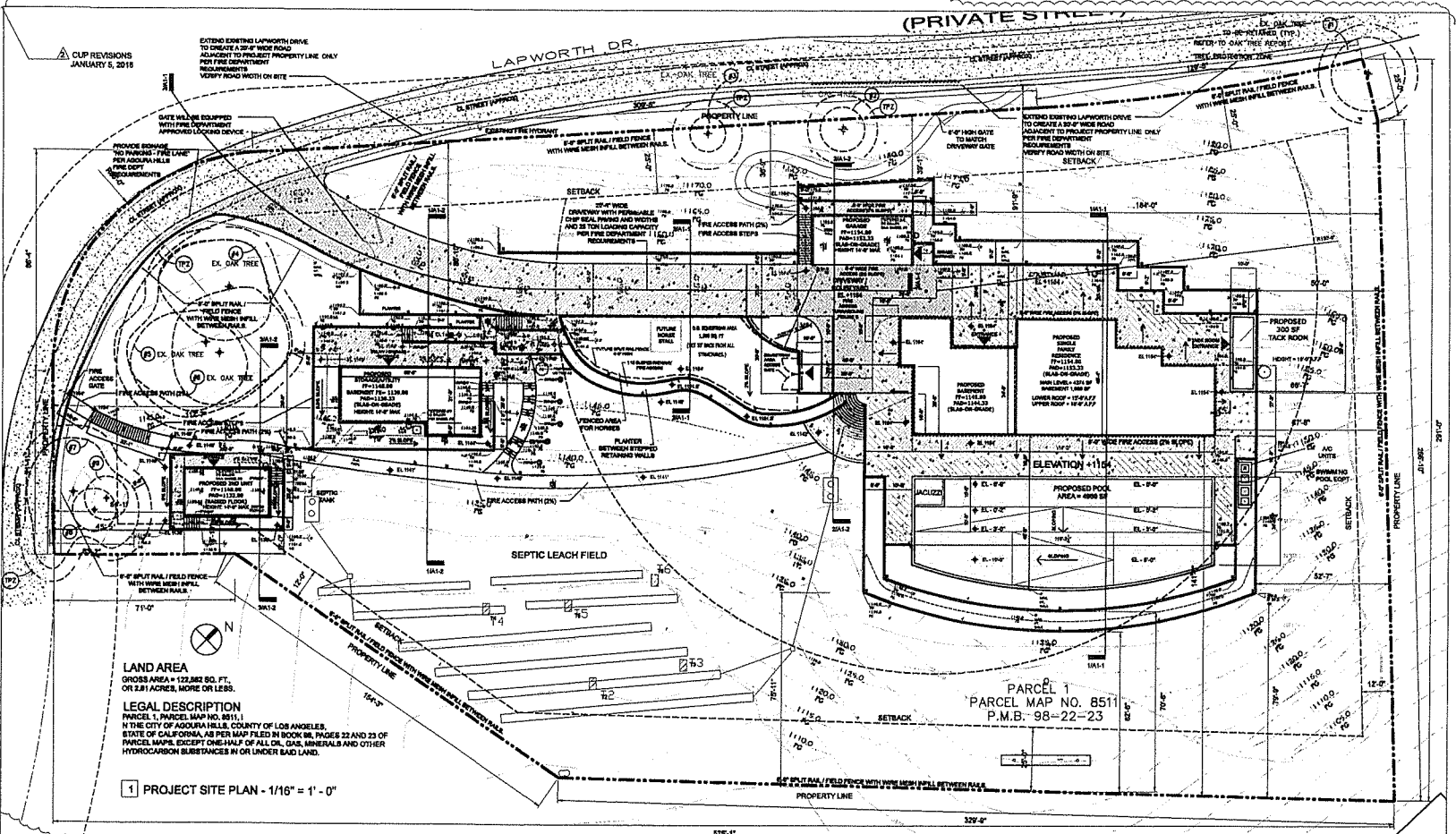
LINEN ■ RLUL237

BONE BLACK ■ RLTH226

ATTACHMENT 4
REDUCED COPIES OF PROJECT PLANS

sand
 11210 Culver Street
 Los Angeles, CA 90044
 Phone: 310.497.8374
 Fax: 310.971.0344
 www.sandinc.com

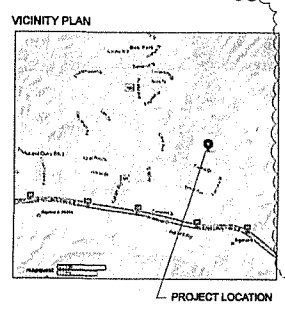
BINA RESIDENCE
 6000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



LAND AREA
 GROSS AREA = 122,882 SQ. FT.
 OR 2.81 ACRES, MORE OR LESS.

LEGAL DESCRIPTION
 PARCEL 1, PARCEL MAP NO. 8511,
 IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES,
 STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 98, PAGES 22 AND 23 OF
 PARCEL MAPS, EXCEPT ONE-HALF OF ALL OIL, GAS, MINERALS AND OTHER
 HYDROCARBON SUBSTANCES IN OR UNDER SAID LAND.

1 PROJECT SITE PLAN - 1/16" = 1' - 0"



BUILDING AREA SUMMARY

MAIN RESIDENCE - MAIN LEVEL	4,374 NSF
SECOND UNIT	700 NSF
TACK ROOM	300 NSF
STORAGE / UTILITY - MAIN LEVEL	1,180 NSF
GARAGE	800 NSF
GARAGE (2 CAR GARAGE - 400 SF EXEMPTION)	400 NSF
GARAGE - UPPER LEVEL STORAGE	878 NSF
TOTAL BUILDING AREA	7,219 NSF
ZERO ENTRY POOL/TERRACE	498 NSF
TOTAL LOT COVERAGE INCLUDING POOL	**12,188 NSF
DRIVEWAY AND ADDITIONAL COURTYARDS	6048 NSF
TOTAL LOT COVERAGE INCLUDING POOL	**22,236 NSF
LAND AREA	GROSS AREA = 122,882 SQ. FT., OR 2.81 ACRES
OPEN SPACES / LOT COVERAGE	
[*] LOT COVERAGE PERCENTAGE - BUILDING AREA ONLY (8%)	
[*] LOT COVERAGE PERCENTAGE - BUILDING INCLUDING POOL (8%)	
[*] LOT COVERAGE PERCENTAGE - INCLUDING DRIVEWAY AND OUTDOOR SPACES (16%)	
BASEMENT AREA EXEMPT FROM FAR CALCULATIONS	
MAIN RESIDENCE - BASEMENT	1,820 NSF
STORAGE / UTILITY - BASEMENT	1,180 NSF

PROJECT DESCRIPTION

THE APPLICANT IS PROPOSING A 4,374 SQUARE FOOT SINGLE-FAMILY DWELLING WITH A 1,200 SQUARE FOOT BASEMENT AND A 1,218 SQUARE FOOT ROOF TERRACE. PROPOSED ACCESSORY STRUCTURES INCLUDE A DETACHED TWO-STORY 800 SQUARE FOOT GARAGE WITH A 878 SQUARE FOOT STORAGE ROOM ON THE UPPER LEVEL, A 700-SQUARE FOOT SINGLE-STORY SECOND DWELLING UNIT, A 1,180 SQUARE FOOT RECREATION UNIT WITH A 1,180 SQUARE FOOT BASEMENT, AND A 300 SQUARE FOOT TACK ROOM.

PROJECT TEAM

OWNER: L. BROTTI BINA 3700 NOLAN WAY #27 SANTA MONICA, CA 90408 310-316-2911	ARCHITECT: SCOTT NATHAN 13326 GRAND AVENUE LOS ANGELES, CA 90044 310-497-8277	CIVIL ENGINEER: DANCE RADON MILLICENT HANCOX & ASSOC. 181 BANCROFT ROAD THERMIDON, CA 91324 805-293-3259
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GEOTECHNICAL:
MARK J. THEISS, DCE
1204 FORT HILL BOULEVARD
PULMACH, CA 91362
618-468-1191

LANDSCAPE ARCHITECT:
ROBERT W. CAMPBELL, AIA
RCA
805 815 1170
THERMIDON, CA 91328
805-270-3198

- BUILDING CODE SUMMARY**
- PROJECT NAME: BINA RESIDENCE
 - PROJECT ADDRESS: APN: 2055-022-072 / 6000 LAPWORTH DRIVE AGOURA HILLS, CA 91301
 - PROJECT OWNER: S. BROTTI BINA
 - PROJECT DESCRIPTION: MAIN RESIDENCE ACCESSORY BUILDINGS
 - OCCUPANCY: GROUP B (SINGLE FAMILY RESIDENCE)
 - CONSTRUCTION TYPE: TYPE V-B
 - FIRE SPRINKLER: YES
 - NO. OF STORIES: WINGS / 2 (BASEMENT)
 - HEIGHTS: WINGS / MAXIMUM 30'-0" TO ROOF PARAPET
 - APPLICABLE BUILDING CODES:
 - 2013 CALIFORNIA BUILDING CODE WITH CITY OF AGOURA HILLS AMENDMENTS
 - 2013 CALIFORNIA ELECTRICAL CODE WITH CITY OF AGOURA HILLS AMENDMENTS
 - 2013 CALIFORNIA MECHANICAL CODE WITH CITY OF AGOURA HILLS AMENDMENTS
 - 2013 CALIFORNIA PLUMBING CODE WITH CITY OF AGOURA HILLS AMENDMENTS
 - 2013 CALIFORNIA FIRE CODE WITH CITY OF AGOURA HILLS AMENDMENTS
 - ZONING: RV - OA - EO

DRAWING INDEX

NO.	DESCRIPTION	DATE
1	PROJECT SITE PLAN	01/15/2018
2	FOUNDATION PLAN	01/15/2018
3	FOUNDATION PLAN	01/15/2018
4	FOUNDATION PLAN	01/15/2018
5	FOUNDATION PLAN	01/15/2018
6	FOUNDATION PLAN	01/15/2018
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99	FOUNDATION PLAN	01/15/2018
100	FOUNDATION PLAN	01/15/2018

Issued To: **APN: 2055-022-072 / 6000 LAPWORTH DRIVE** DATE: **01/15/2018**

PREPARED BY: **SCOTT NATHAN** DATE: **01/15/2018**

CHECKED BY: **MARK J. THEISS** DATE: **01/15/2018**

DATE: **01/15/2018**

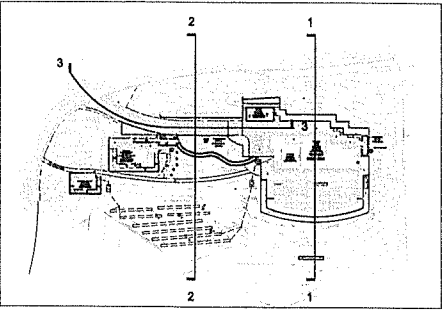
PROJECT: **BINA RESIDENCE**

Drawing Title / Number: **SITE PLAN AND GENERAL INFORMATION A1.0**

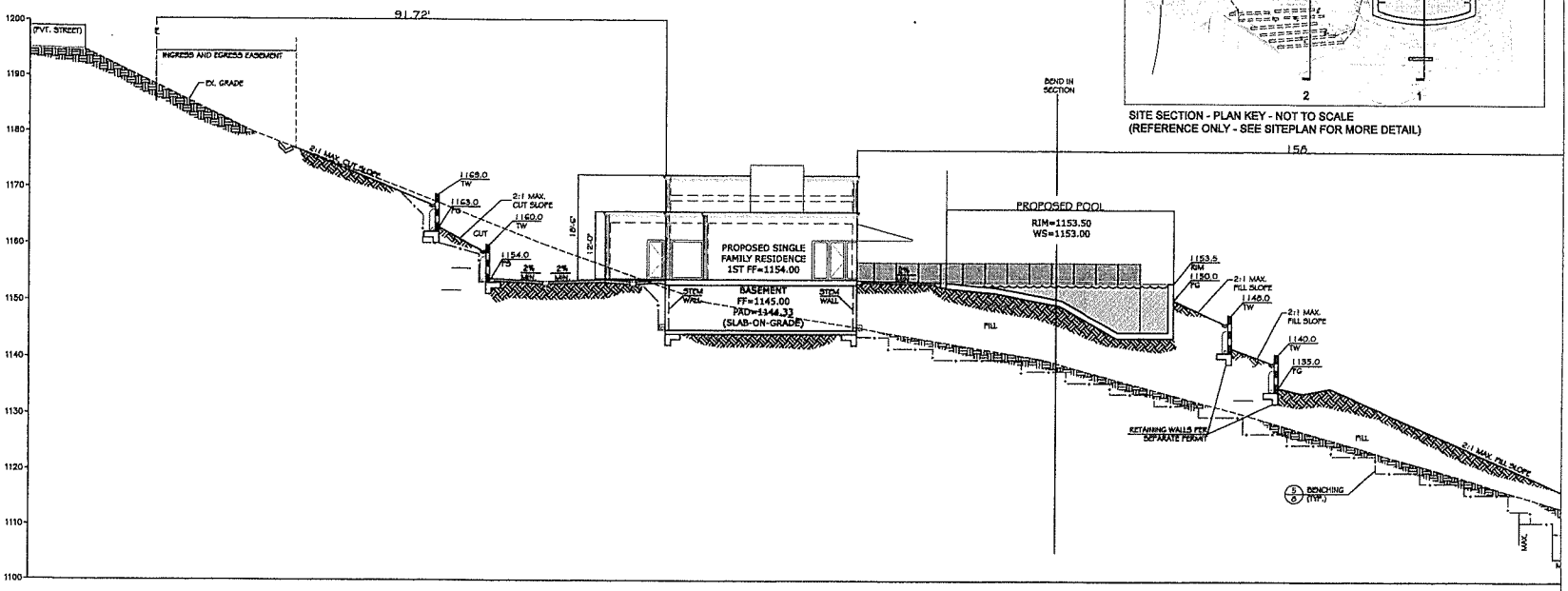
CLIP REVISIONS
JANUARY 5, 2016

sand
12526 Gilman Avenue
Los Angeles, CA 90044
Phone 310.495.8829
Fax 310.917.0344
www.sandco.com

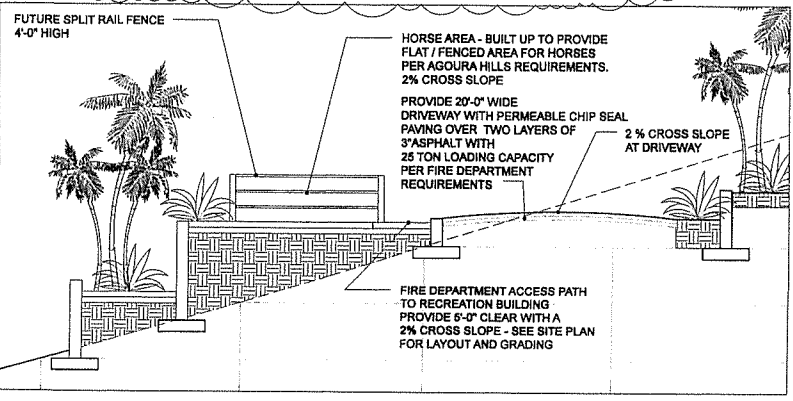
B I N A R E S I D E N C E
6000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



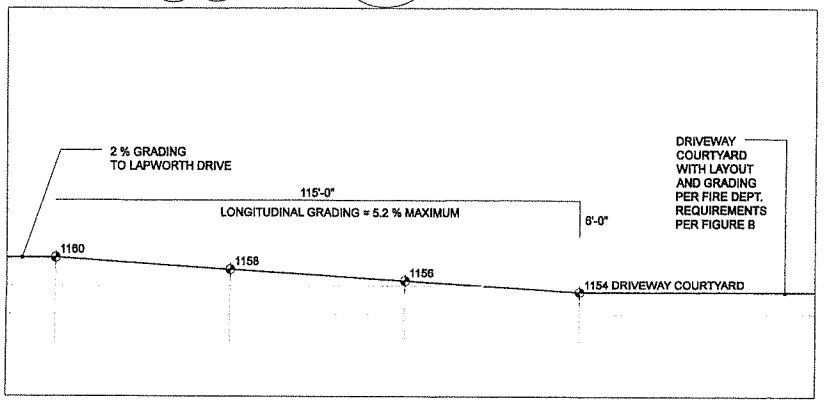
SITE SECTION - PLAN KEY - NOT TO SCALE
(REFERENCE ONLY - SEE SITEPLAN FOR MORE DETAIL)



1 SITE SECTION - CROSS SECTION AT MAIN RESIDENCE SCALE: 1/8" = 1'-0"



2 SITE SECTION - DRIVEWAY CROSS SECTION



3 SITE SECTION - DRIVEWAY LONGITUDINAL SECTION

SCALE: 1/8" = 1'-0"

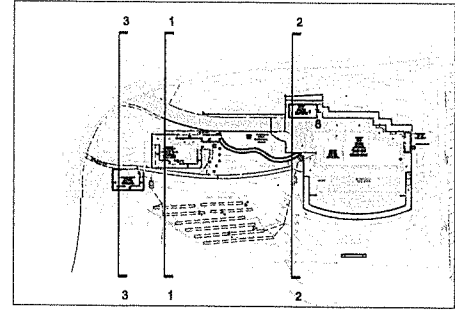
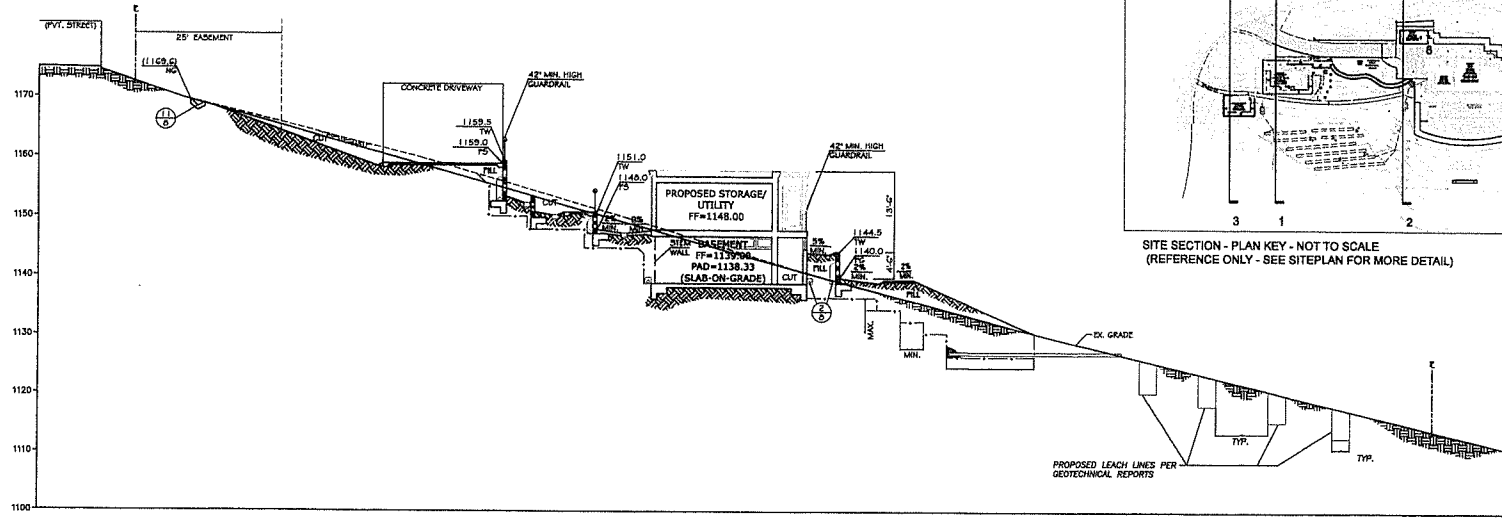


Issued for: **AGOURA CLIP REVISIONS** Date: **04/16/2016**
 and **DEVELOPER APPROVAL** Date: **04/16/2016**
 City Planning Director: **JOHN LIU** Date: **04/16/2016**
 City Planning Director: **JOHN LIU** Date: **04/16/2016**
 City Planning Director: **JOHN LIU** Date: **04/16/2016**

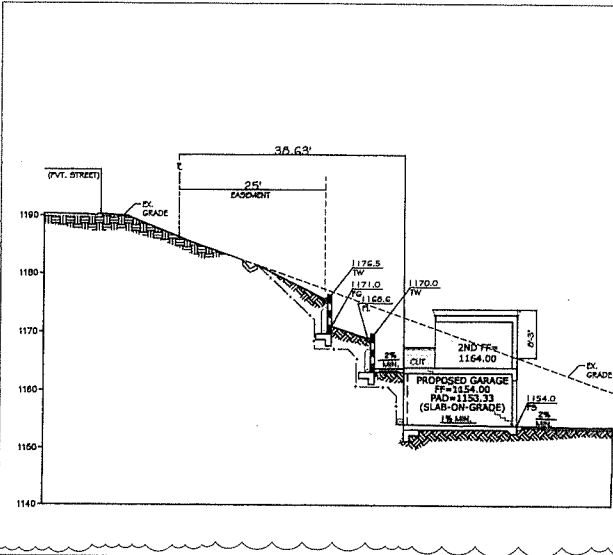
Drawing Title / Number
SITE SECTIONS

A1.1

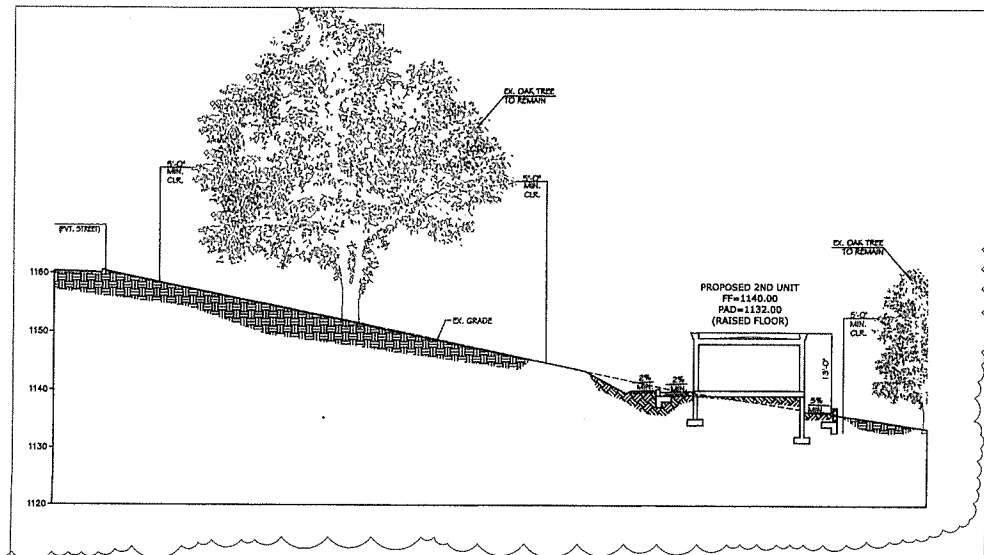
CUP REVISIONS
JANUARY 5, 2016



1 SITE SECTION - STORAGE / RECREATION BUILDING SCALE: 1/8" = 1'-0"



2 SITE SECTION - GARAGE BUILDING SCALE: 1/8" = 1'-0"



3 SITE SECTION - SECOND UNIT SCALE: 1/8" = 1'-0"

sand
12238 Glenhurst Avenue
Los Angeles, CA 90025
Phone: 310.979.1822
Fax: 310.979.1244
www.sandlog.com

B I N A R E S I D E N C E
6000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91370



Issued for	Date
AGOURA HILL REVISIONS	MAY 6, 2014
PRELIMINARY APPROVAL	2014.05.06
CUP REVISIONS SUBMITTED	NOV 12, 2015
CUP REVISIONS APPROVED	JAN 5, 2016
A. JOE BROWNE, LANDSCAPE ARCHITECT	

Drawing Title / Number
SITE SECTIONS

A1.2

sand
 12528 Cimarron Avenue
 Los Angeles, CA 90044
 phone 310.497.8877
 fax 310.497.8342
 www.sandinc.com

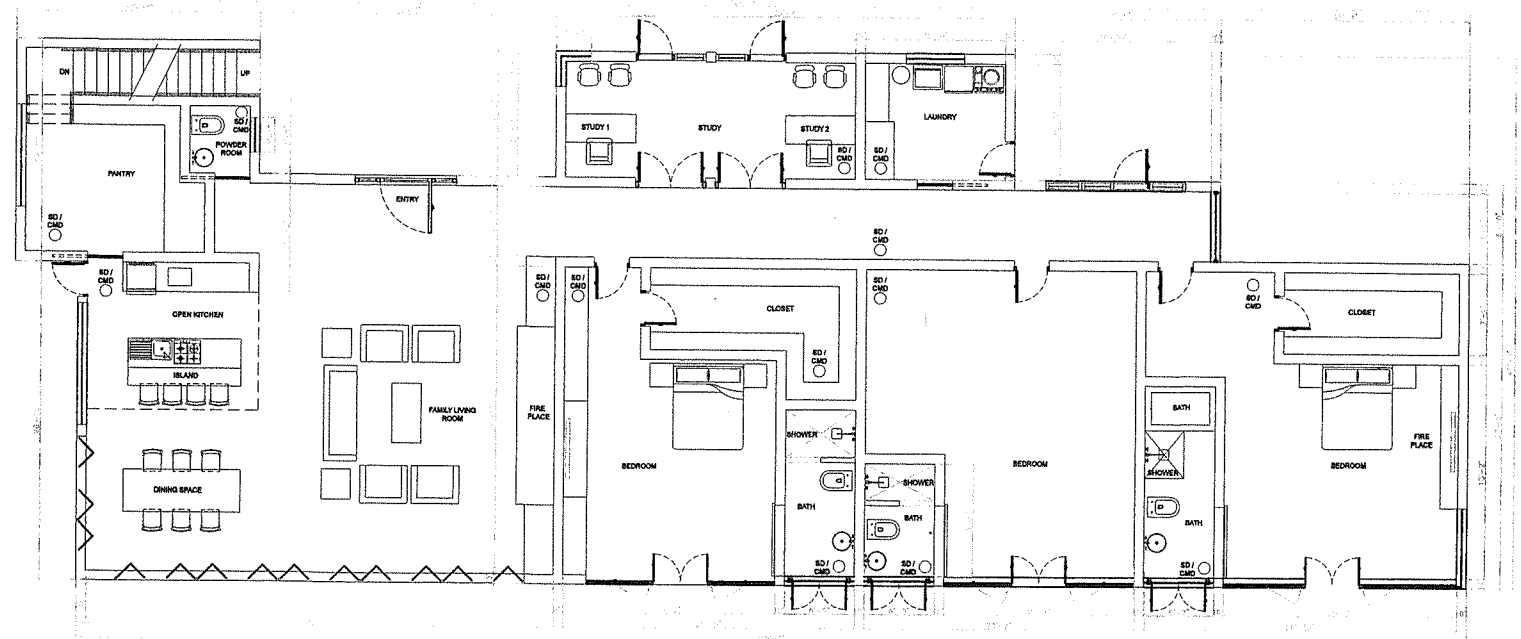
B I N A R E S I D E N C E
 6000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



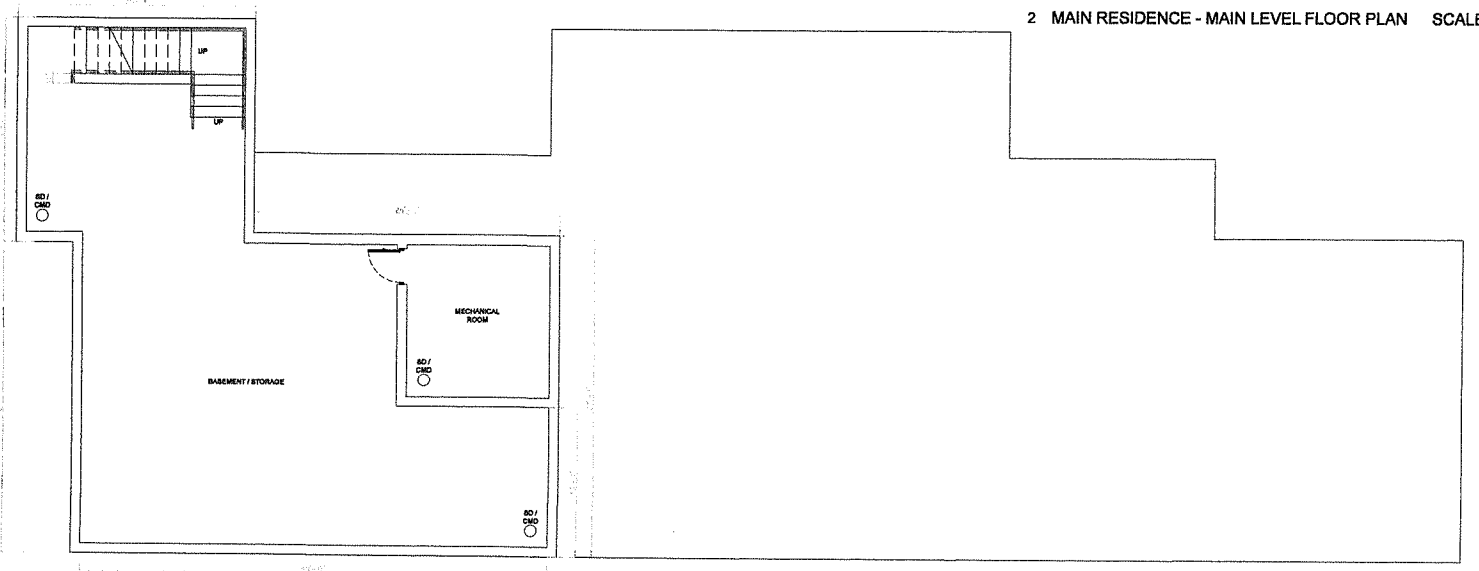
Issued for	Date
AGOURA CLIP PROJECT	APR 2, 2013
PER CONTRACT REVISION	JAN 2, 2013
CSP PLAN AND SPECIFICATIONS	NOV 13, 2012
CSP CONCEPT DEVELOPMENT	FEB 1, 2012
A. SUEZENTHORN, ARCHITECT & DESIGNER	

Drawing Title / Number
 MAIN RESIDENCE
 BASEMENT /
 MAIN LEVEL
 FLOOR PLAN

A2.0



2 MAIN RESIDENCE - MAIN LEVEL FLOOR PLAN SCALE: 1/4" = 1' - 0"



1 MAIN RESIDENCE - BASEMENT LEVEL FLOOR PLAN SCALE: 1/4" = 1' - 0"

sand
 12228 Glenhurst Avenue
 Los Angeles, CA 90024
 phone: 310-470-8227
 fax: 310-519-2244
 www.sandinc.com

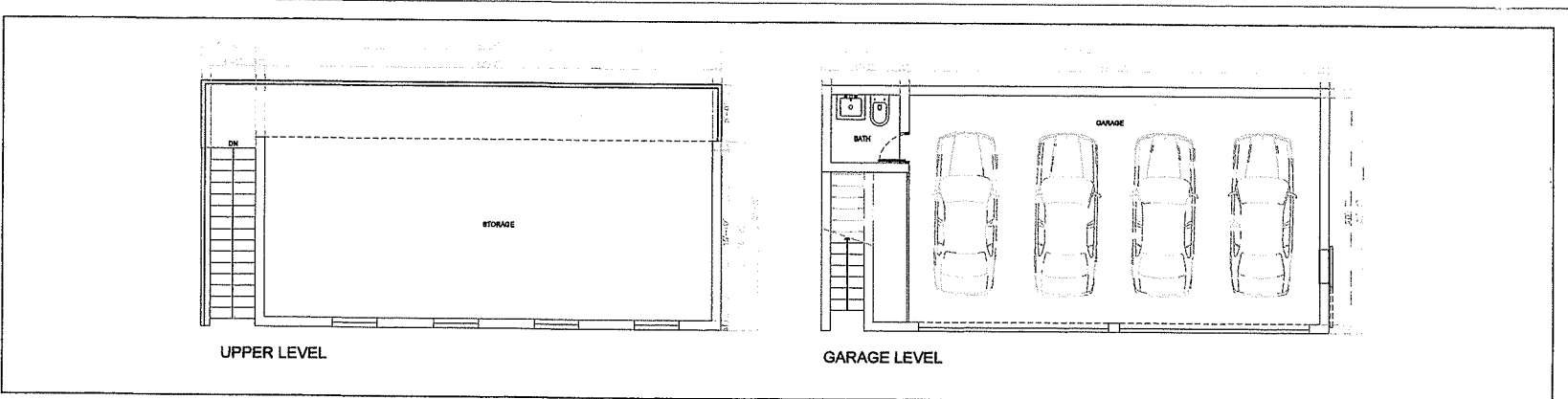
B I N A R E S I D E N C E
 6000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



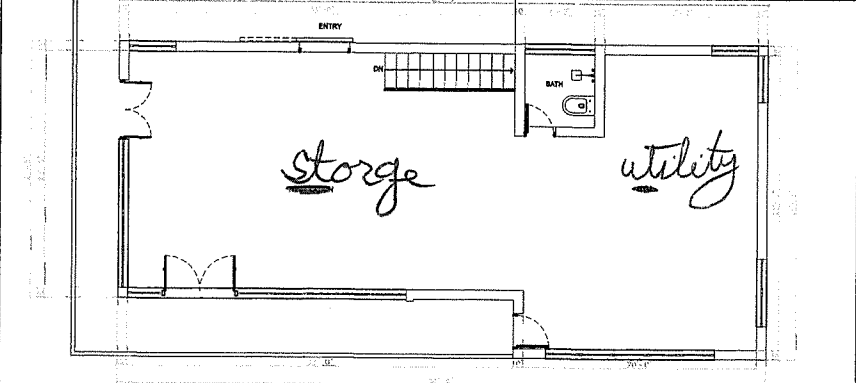
Issued for	Date
ARCHITECTURE	APRIL 2012
MECHANICAL ENGINEER	JUNE 4, 2012
CIVIL ENGINEER	MAY 12, 2012
CALIFORNIA LICENSE NO.	44112
PROJECT NO.	AGOURA HILLS

Drawing Title / Number
 GARAGE,
 STORAGE,
 SECOND UNIT

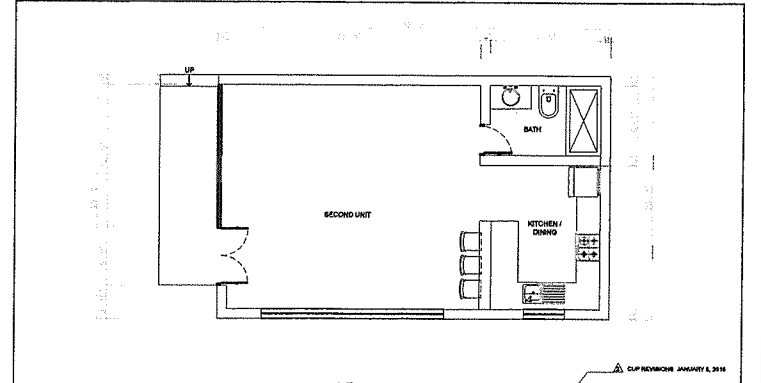
A2-3



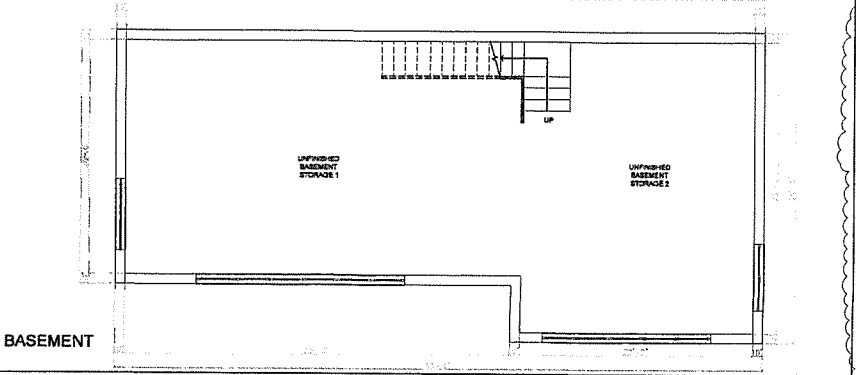
3 GARAGE SCALE: 1/4" = 1' - 0"



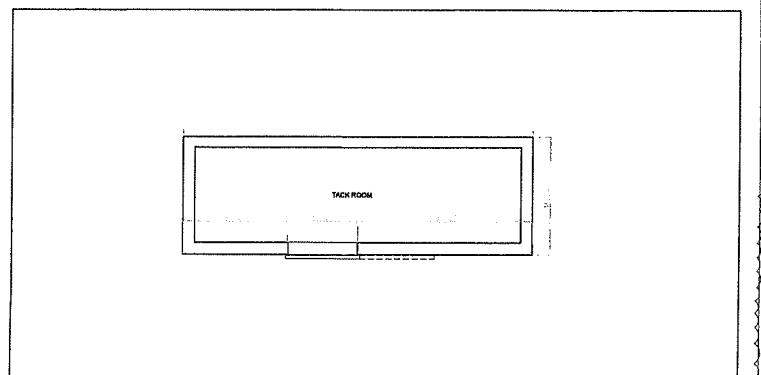
2. STORAGE / UTILITY - MAIN LEVEL SCALE: 1/4" = 1' - 0"



1 SECOND UNIT SCALE: 1/4" = 1' - 0"



2 STORAGE / UTILITY - LOWER LEVEL SCALE: 1/4" = 1' - 0"



4 TACK ROOM SCALE: 1/4" = 1' - 0"

BASEMENT

sand
 13298 Grand
 Ave. Anaheim, CA 92804
 Phone 714.944.8877
 Fax 714.944.8878
 www.sandusa.com

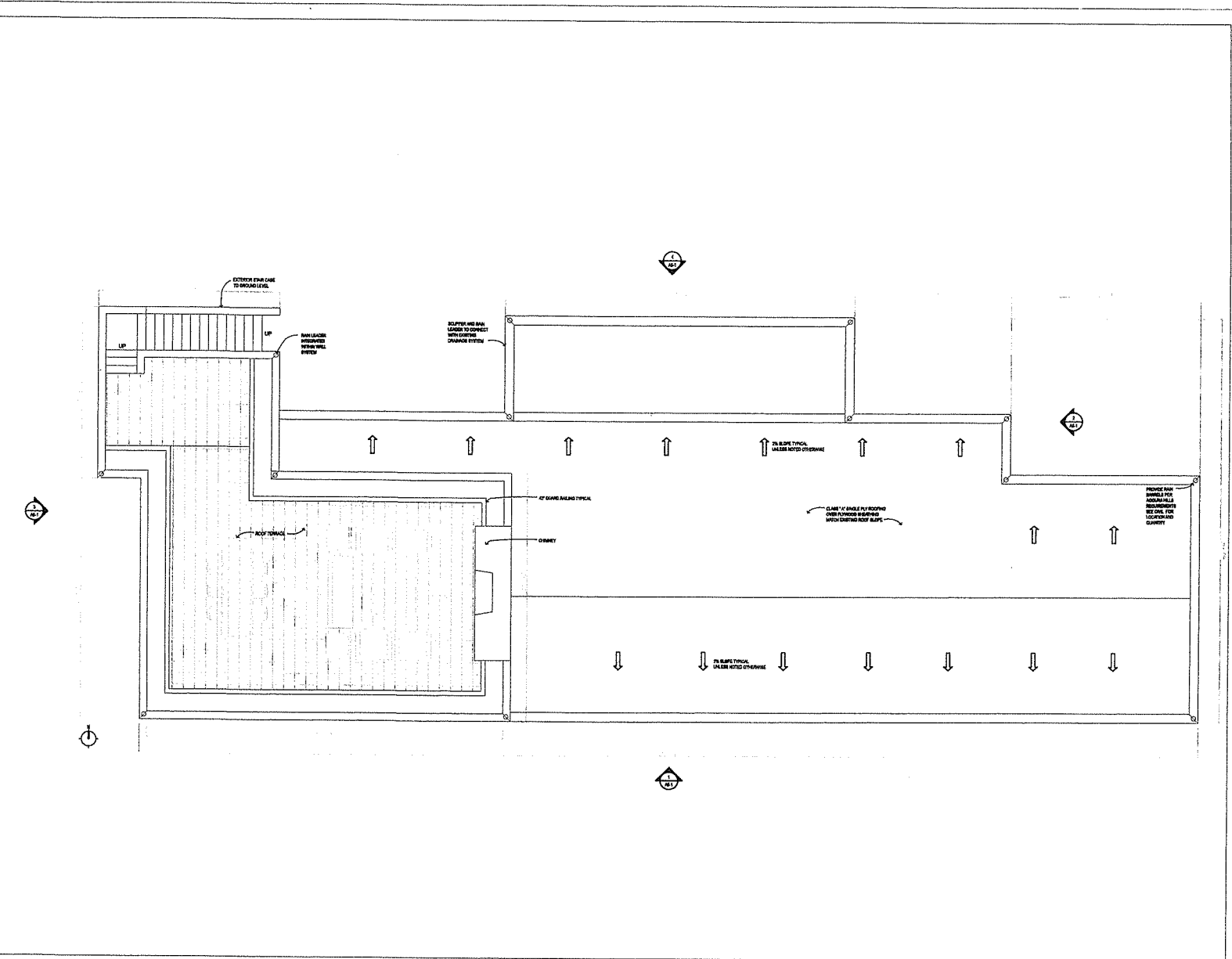
B I N A R E S I D E N C E
 8000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



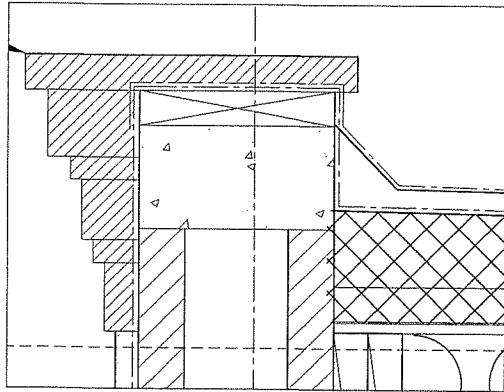
Issued for	Date
AGOURA CLAY STRUCTURE	June 8, 2011
PER SUBMITTAL APPROVAL	June 8, 2011
CLAY FOUNDING SUBMITTAL	June 13, 2011
CLAY FOUNDING SUBMITTAL	June 13, 2011
CLAY FOUNDING SUBMITTAL	June 13, 2011

Drawing Title / Number
**PROPOSED
 ROOF PLAN**

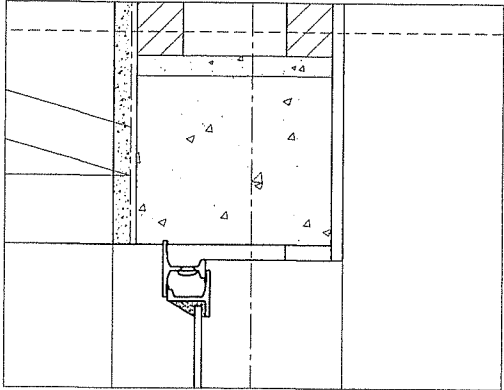
A2.2



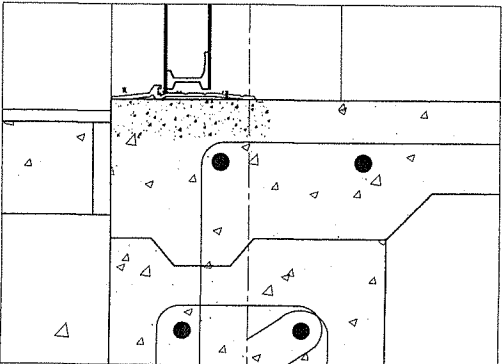
1 PROPOSED ROOF PLAN SCALE : 1/4" = 1' - 0"



2 BUILDING SECTION - PARAPET

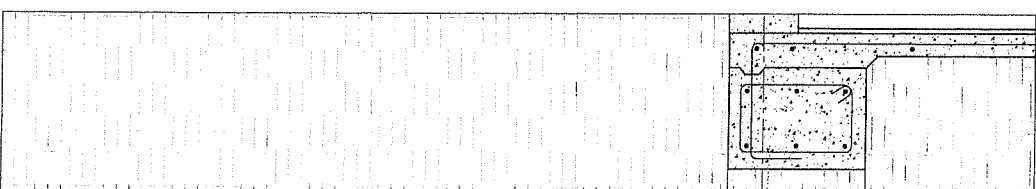
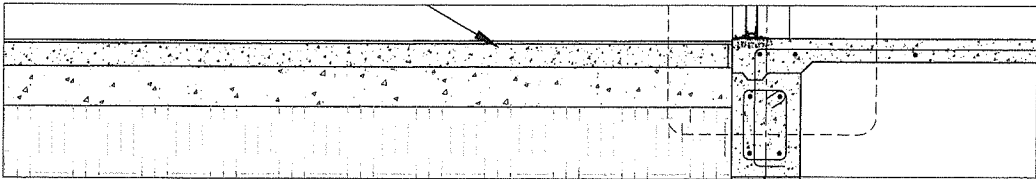
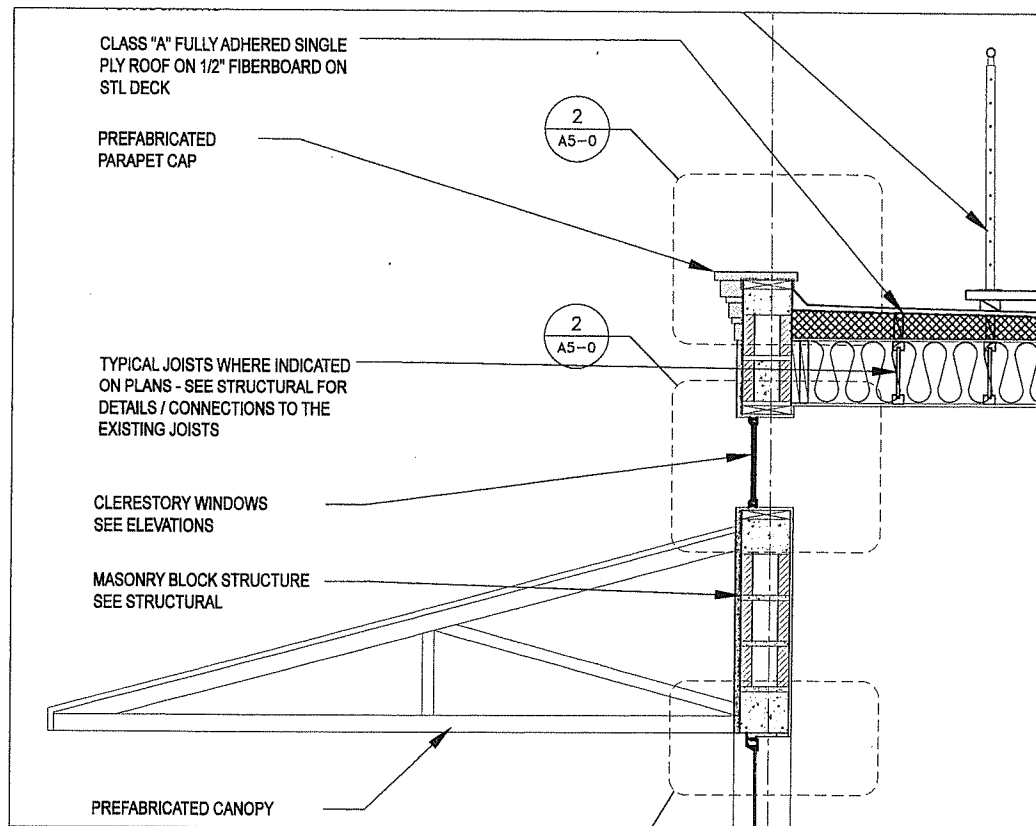


2 BUILDING SECTION - DOOR HEADER



2 BUILDING SECTION - DOOR SILL

SCALE : 1:2



1 BUILDING SECTION - TYPICAL

SCALE : 1 1/2" = 1' - 0"

sand
 15225 Cimarron Avenue
 Los Angeles, CA 90044
 Phone: 310-819-1829
 Fax: 310-819-0242
 www.sandmfg.com

B I N A R E S I D E N C E
 6000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



Issued For	Date
ARCHITECT OF RECORD	SEP 15 2015
PREPARED BY ARCHITECT	SEP 15 2015
CHECKED BY ARCHITECT	SEP 15 2015
DESIGNED BY ARCHITECT	SEP 15 2015
DR. PAUL NEWSON, ARCHITECT	

Drawing Title / Number

BUILDING SECTIONS

A3.0

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 1238 Gilman Avenue
 Los Angeles, CA 90044
 phone 310.497.8822
 fax 310.497.1244
 www.sandcity.com

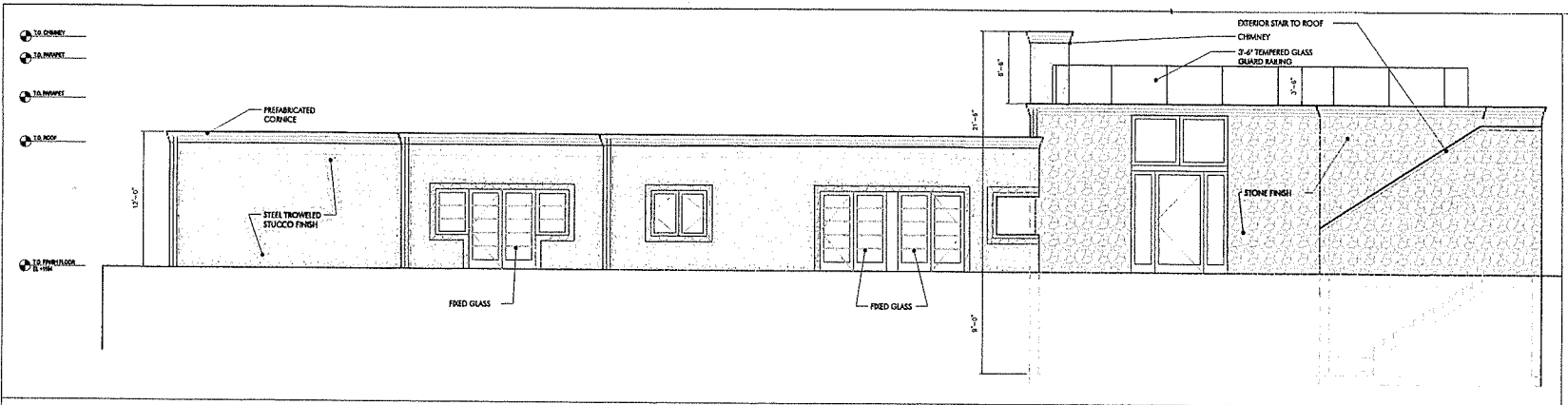
B I N A R E S I D E N C E
 6000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



Issued For: Date:
 ARCHON CAP APPROVED 04/18/2012
 THE ARCHON GROUP INC. 04/18/2012
 CAP APPROVED BY SUBJECT 04/18/2012
 CAP APPROVED BY SUBJECT 04/18/2012
 CA. CAP APPROVED BY SUBJECT 04/18/2012

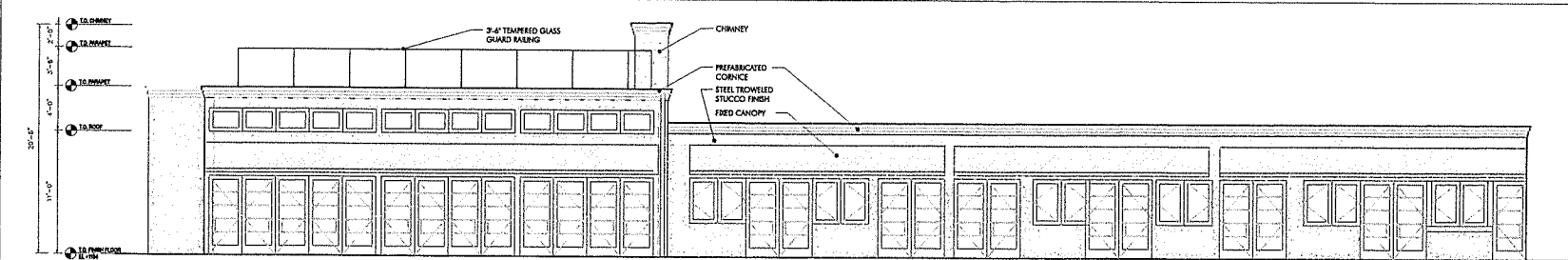
Drawing Title / Number
ELEVATIONS

A5.0



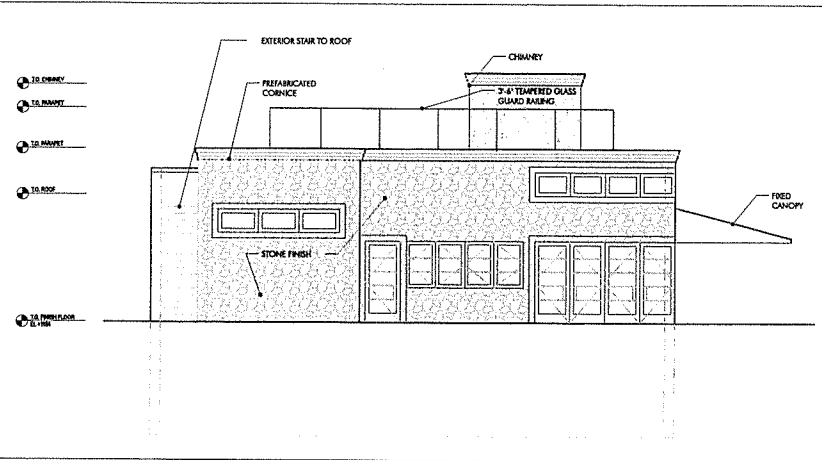
1 MAIN RESIDENCE - NORTH

SCALE : 1/4" = 1' - 0"



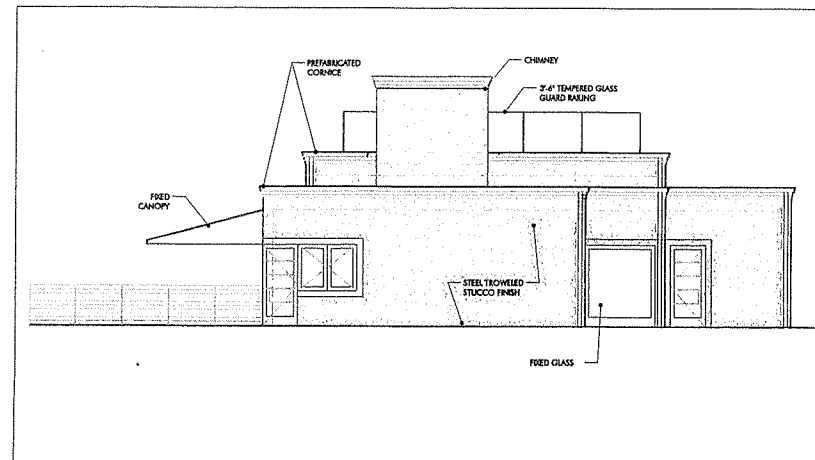
2 MAIN RESIDENCE - SOUTH

SCALE : 1/4" = 1' - 0"



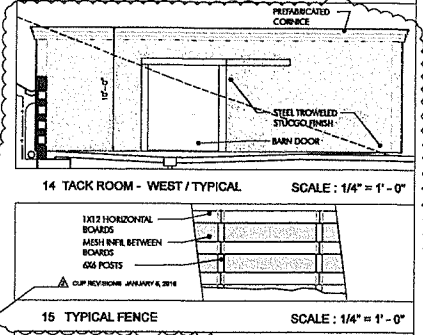
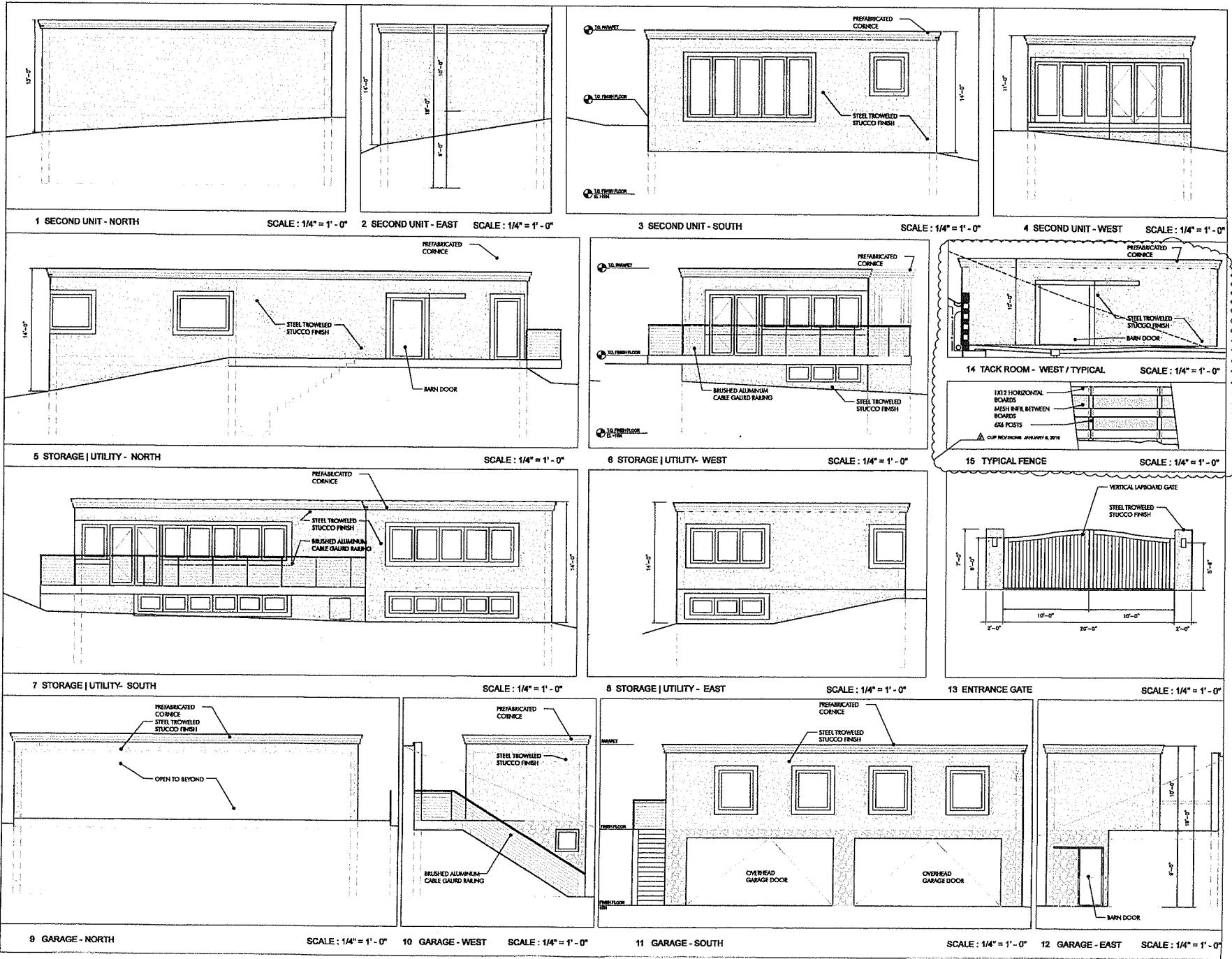
3 MAIN RESIDENCE - WEST

SCALE : 1/4" = 1' - 0"



4 MAIN RESIDENCE - EAST

SCALE : 1/4" = 1' - 0"



Issued for: **John A. Clark** Date: **May 14, 2014**
 Architect: **John A. Clark** Date: **May 14, 2014**
 Title: **Architectural** Date: **May 14, 2014**
 Project: **Bin Residence** Date: **May 14, 2014**
 Drawing Title / Number: **Building Elevations**

Building Elevations
A5.1

GRADING NOTES

- 1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
2. A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
3. ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
4. ALL GEOLOGIC AND SOIL RECOMMENDATIONS ISSUED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
5. ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
6. THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
7. REPORTS REQUIRED:
1. ROUGH GRADING REPORT, PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
2. FINAL GRADING REPORT, PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANNING AND ELEVATIONS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
8. AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION REVISIONS, THE RESULTS OF ALL CORROSION TESTS, AS WELL AS A MAP REFINING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBURRANS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKFILLS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DETICED ON AN AS-BUILT GEOLOGIC MAP.
9. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 150, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
10. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
11. A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
12. ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

- 1. WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCARIFIED, BENCHED, OR OTHERWISE PREPARED FOR FILL, FILL SHALL NOT HAVE BEEN PLACED PRIOR TO THIS INSPECTION.
2. ROUGH WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TERRACES, SWALES AND BERMS INSTALLED AT THE TOP OF SLOPE; AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
3. FINAL: WHEN GRADING HAS BEEN COMPLETED, ALL DRAINAGE DEVICES INSTALLED; SLOPE INSTALLED; AND THE RECORD DRAWINGS (AS-BUILT PLANS), REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED.
ALL REQUIRED REPORTS AND STATEMENTS TO THE BUILDING AND SAFETY DEPARTMENT SHALL BE PREPARED IN ACCORDANCE WITH SECTIONS 7920 AND 7921 OF THE BUILDING CODE.

ABBREVIATIONS

- AC - ASPHALTIC CONCRETE
BF - BOTTOM OF FOOTING
CB - CATCH BASIN
CF - CURB FACE
CL - CENTERLINE
CLF - CHAIN LINK FENCE
CO - CLEAN OUT
DB - DERRIS BASIN
DL - DAYLIGHT
ED - EDGE OF CUTTER
EF - EDGE OF PAVEMENT
FF - FINISHED FLOOR
FG - FINISHED GRADE
FH - FRESH HYDRANT
FL - FLOWLINE
FS - FINISH SURFACE
HCRMP - HANDICAP RAMP
HP - HIGH POINT
INV - INVERT
NG - NATURAL GROUND
NTS - NOT TO SCALE
PL - PROPERTY LINE
PDB - POINT OF BEGINNING
SDMH - STORM DRAIN MANHOLE
SMH - SEWER MANHOLE
SS - SANITARY SEWER
TW - TOP OF CURB
TF - TOP OF FOOTING
TG - TOP OF GRADE
TW - TOP OF WALL
TL - TYPICAL
WM - WATER METER
WV - WATER VALVE

LEGEND AND SYMBOLS

- PROJECT BOUNDARY
EXISTING GRADE CONTOUR
PROPOSED GRADE CONTOUR
SPOT ELEVATION
PROPOSED SLOPE PER PLAN
RETAINING WALL
DAYLIGHT CUTTUP LINE
DIRECTION OF FLOW (SLOPE)
CONSTRUCTION NUMBER

PUBLIC IMPROVEMENT NOTES

- 1. AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY (ROW). ALL APPLICABLE FEES MUST BE PAID AND REGULATED PRIOR TO RESUMPTION OF PERMIT. ALL WORK INVOLVING STREET IMPROVEMENTS REQUIRE APPROVAL FROM THE PUBLIC WORKS INSPECTOR. APPLICANTS SHALL WORK 48 HOURS ADVANCE NOTICE TO THE DEPARTMENT OF PUBLIC WORKS TO SCHEDULE ALL INSPECTIONS.
2. CONTRACTORS SHALL TELEPHONE UNDERGROUND SERVICE ALERT (USA) 1-800-4-A-T-S-A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
3. REQUIREMENTS FOR STREET STRUCTURAL SECTION TO BE DETERMINED BY SOIL ANALYSIS AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF BARE MATERIALS.
4. WATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH LAS VEGAS MUNICIPAL WATER DISTRICT WORK MANUAL.
5. SEPARATION OF WATER AND WASTEWATER LINES SHALL BE IN ACCORDANCE WITH LAS VEGAS MUNICIPAL WATER DISTRICT.
6. PRIOR TO CONNECTION TO WATER AND SEWER MAINS IN THE PUBLIC RIGHT-OF-WAY, APPLICANT SHALL PROVIDE DOCUMENTATION FROM LAS VEGAS MUNICIPAL WATER DISTRICT TO THE CITY STATING THAT ALL CONNECTION FEES HAVE BEEN PAID.
7. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS.

OAK TREE NOTES

- 1. APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (915) 997-7350, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES".
2. FOR OAK TREES EXISTING ON OR OFF-SITE OR IMMEDIATELY ADJACENT (WITHIN 100 FEET OF THE PROJECT BOUNDARIES) THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT PRIOR TO ANY WORK THAT PERTAINS TO OAK TREE PROTECTIVE ZONES SHALL BE PROVIDED, AND ALL CLEARING AND GRUBBING OF ORGANIC MATTERS AND REMOVAL OF DEBRIS AND OTHER MATERIALS SHALL BE REMOVED FROM THE SITE AS STIPULATED UNDER THE OAK TREE PERMIT, BEFORE THE APPROVAL TO PROCEED WITH THE GRADING WILL BE ISSUED. AFTER NOTIFICATION THAT THIS STATUS HAS BEEN COMPLETED, THE SITE WILL BE INSPECTED BY THE CITY'S OAK TREE ADMINISTRATOR. WHEN APPROVED, THE APPROVAL TO PROCEED WILL BE ISSUED IN WRITING BY THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT.
3. ALL OAK TREE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS TREE ORDINANCE AND OAK TREE PRESERVATION AND PROTECTION ORDINANCES.
4. UNDER NO CIRCUMSTANCES SHALL ANY WORK BE DONE WITHIN THE PROTECTED ZONE OF ANY OAK TREE, WITHOUT OBTAINING AN OAK TREE ENCROACHMENT PERMIT 48 HOURS ADVANCE NOTICE TO THE CITY. FURTHERMORE, NO PROTECTIVE FENCING SHALL BE RELOCATED OR MOVED WITHOUT CITY APPROVAL.

PUBLIC UTILITIES SERVICES

- WATER: LAS VEGAS MUNICIPAL WATER DISTRICT
4232 LAS VEGAS ROAD
CALABASAS, CA 91302
(818) 884-1119
ELECTRICAL: SOUTHERN CALIFORNIA EDISON
3343 FOOTHILL DRIVE
THOUSAND OAKS, CA 91324
(805) 440-7116
TELEPHONE: SAC (PAC BELL)
18251 RAYMER STREET, #115
VAN NUYS, CA 91406
(818) 371-4443
GAS: SOUTHERN CALIFORNIA GAS
8420 OKADALE AVENUE
CHATSWORTH, CA 91313
(818) 781-3374
SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
190 S. FRESNO AVENUE, BUILD 54 EAST
ALHAMBRA, CA 91801
(626) 388-3366
CABLE: ADELPHI
2323 TULLER ROAD
NEWBURY PARK, CA 91320
(805) 373-8213
CABLE: CHARTER COMMUNICATIONS
3846 CROCKER CREEK ROAD
MALIBU, CA 90265
(310) 455-6010
CALTRANS: CALTRANS
3846 REBEKA BULEVARD
TARZANA, CA 91356
(805) 386-1026

LEGAL DESCRIPTION

PARCEL 1, PM # 8511
APN # : 2055-022-072

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTRIFUGE OF CHESZERO ROAD (PRIVATE STREET) AS SHOWN AS N33°50'00" ON PARCEL MAP NO. 1714 IN BOOK 106 PAGES 53 THROUGH 59 INCLUSIVE, OF PAPER MAPS.

BENCHMARK

BM ID: Y-2044
RDM# TAG IN SLY EDGE CONC BASE OF WATER LN WENT @ N END DRWY HSE
45747 FAIRVIEW PL. OF WVD CA. 4.58' SDG BALKING DR.
ELEV. = 1,006.338 FT.

PREPARED BY: WALLACE E. MASON & ASSOC.
8511 RANCHO ROAD
THOUSAND OAKS, CA. 91362
(805) 794-3559
PROJECT ENGINEER DATE REVIEWED BY DATE

STORMWATER POLLUTION NOTES

- 1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE ABOVE PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THIS SWPPP SHALL BE REVIEWED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF CHARGE POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.
2. A SITE-SPECIFIC "WET WEATHER EROSION CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DETECT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 15TH.
3. IF IT IS THE PROPERTY OWNERS RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY, CATCH BASIN FILTER INSERTS SHALL BE CLEARED OUT A MINIMUM OF THREE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.
4. ERODED BERMS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND.
5. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
6. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATER. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
7. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVIDEDS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE TO A PROPER FACILITY. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
8. TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RUN-WATER AND DISPERSAL BY WIND.
9. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO ADMIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
10. ANY SLOPES WITH DISTURBED SOILS OR SENSITIVE VEGETATION MUST BE STABILIZED SO AS TO ADMIT EROSION BY WIND AND WATER.
11. EXCEPT AS OTHERWISE DIRECTED BY THE CITY INSPECTOR, ALL DRAINAGE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY IS 40% AND MAINTAINED DURING THE RAINY SEASON (NOVEMBER 1ST THROUGH APRIL 15TH) OF THE SUCCEEDING YEAR FOR EACH YEAR THE GRADING REMAINS INCOMPLETE. REFER TO SITE SPECIFIC "WET WEATHER EROSION CONTROL PLAN".
12. CATCH BASIN FILTER INSERTS SHALL BE CLEARED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

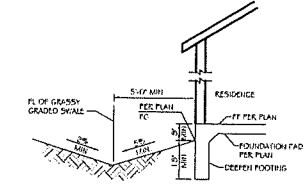
OAK TREE CONSULTANT

WYN LANDSCAPE ARCHITECTS, INC.
P.O. BOX 1449
TOPANNA, CA 90292
REPORT DATE: OCTOBER 16, 2014
CONTACT: ANNI BURROUGHS
PHONE: (915) 455-2745
RICHARD CAMPBELL, AELPA
P.O. BOX 8182
THOUSAND OAKS, CA 91329
REPORT DATE:
CONTACT: RICHARD CAMPBELL
PHONE: (805) 375-1010

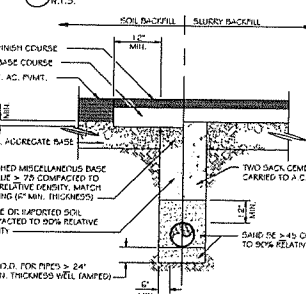


ADDITIONAL NOTES

- 1. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL-OSHA REQUIREMENTS.
2. AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION REVISIONS, THE RESULTS OF ALL CORROSION TESTS AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DEBRIS TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKFILLS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DETICED ON AN AS-BUILT GEOLOGIC MAP.
3. THE EXISTING WELL SHOULD SHOULD BE VERIFIED TO HAVE BEEN ABANDONED IN ACCORDANCE WITH CITY/COUNTY STANDARDS AS WELL AS ANY OTHER APPLICABLE JURISDICTION PRIOR TO FILL PLACEMENT OVER THE WELL LOCATION.
4. ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED, IN WRITING, BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF REINFORCING STEEL.
5. PROVIDE HANDRAILS FOR FIVE STAIRS WITH 4 OR MORE RISERS, PER ARCHITECTURE & LANDSCAPE ARCHITECTURAL DWG'S.
6. CONTRACTOR TO FIELD VERIFY ALL UTILITY CONNECTIONS PRIOR TO CONSTRUCTION.
7. ALL CUT SLOPES SHOULD BE MAPPED DURING GRADING. STABILIZATION MEASURES SHOULD BE APPLIED BEFORE FUTURE CUTS EXPOSE ADVERSELY ORIENTED JOINT SURFACES OR INTERSECTIONS OF JOINT SURFACES.
8. TEST SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS, AND FOUNDATIONS AND SLAB PLANS SHOULD BE REVIEWED BY THE GEOTECHNICAL CONSULTANT AND REVISED, IF NECESSARILY, ACCORDINGLY.
9. ALL RETAINING WALL EXCAVATIONS SHALL BE REVIEWED BY THE PROJECT ENGINEERING GEOLOGIST FOR THE PRESENCE OF ADVERSELY ORIENTED JOINT SURFACES. ADVERSE SURFACES SHALL BE EVALUATED AND SUPPORTED IN ACCORDANCE WITH RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER.



TYPICAL DEEPEN FOOTING DETAIL N.T.S.



TRENCH DETAIL N.T.S.

INDEX OF DRAWINGS table with columns SHEET NO. and DESCRIPTION. Includes entries for Grading Plan Cover Sheet, Topographical Survey, etc.

ESTIMATED EARTHWORK QUANTITIES table with columns ESTIMATED CUT, ESTIMATED FILL, ESTIMATED EXPORT, ESTIMATED IMPORT.

BENCHMARK table with columns DESCRIPTION, BM NO., ELEVATION, SURVEY DATE.

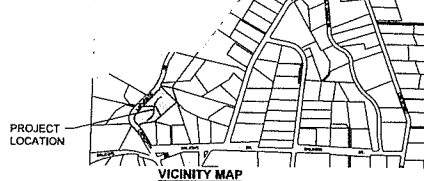
RECORD DRAWING STATEMENT
I, THE UNDERSIGNED, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. ... THROUGH ... MARKED AS 'RECORD DRAWINGS' HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

SOILS APPROVAL table with columns REGISTERED CIVIL ENGINEER, DATE, REGISTERED GEOLOGIST, DATE.

OWNER information table including NAME, ADDRESS, REPRESENTATIVE, TELEPHONE.

CIVIL ENGINEER information table including NAME, ADDRESS, REPRESENTATIVE, TELEPHONE.

GEOTECHNICAL ENGINEER information table including NAME, ADDRESS, REPRESENTATIVE, TELEPHONE.



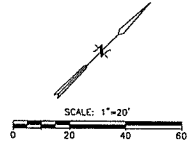
PROJECT LOCATION
VICINITY MAP
BINA RESIDENCE
6000 LAPWORTH DRIVE
AGOURA HILLS, CA. 91301 SHEET 1 OF 11

Revision table with columns REVISION #, SYMBOL, DESCRIPTION OF CHANGE, APPROVED, DATE.

CITY OF AGOURA HILLS APPROVAL table with columns REVIEWED BY, DATE, REGISTERED CIVIL ENGINEER, DATE.

- LEGEND**
- CL CENTER LINE
 - CO CLEANOUT
 - CG COMPOSED GRADE
 - E EASEMENT LINE
 - EM DOWN
 - FS FURNISH
 - FS HIGH SURFACE
 - HP HIGH POINT
 - INV INVERT
 - PA PLASTER AREA
 - PL PROPERTY LINE
 - NC NATURAL GRADE
 - TC TOP OF CURB
 - TE TOP OF CRATE
 - TI TOP OF WALL
 - UNO UNLESS NOTED OTHERWISE
 - RETAINING WALL PER SEPARATE PERMIT
 - BLDG WALL PER SEPARATE PERMIT
 - CONTRACTOR TO VERIFY HERE, SURFACE SPECIFICATIONS AND DETAILS TO DETERMINE WHICH CODES APPLY
 - 18" RCP CATCH BASIN PER AISC PLASTIC PROTECTION PERMIT 101, 201, 300, 400, 500, 600, 700, 800, 900, 1000
 - 36" RCP CATCH BASIN PER AISC PLASTIC PROTECTION PERMIT 101, 201, 300, 400, 500, 600, 700, 800, 900, 1000
 - INDICATES 4" PER' SLOPE
 - EXISTING SPOT ELEVATIONS

- CONSTRUCTION NOTES**
1. CONSTRUCT STRUCTURAL GRAD FOOTINGS THICKNESS OF BASE AND REINFORCING PER STRUCTURAL DRAWINGS AND PER DESIGNER'S RECOMMENDATIONS.
 2. OVER EXCAVATE ENTIRE FOOTING SHALL BE 1/4" TO 1" TO A MINIMUM OF 3" BELOW FOOTING INTO SOIL BEYOND AS RECOMMENDED BY THE SOILS ENGINEER.
 3. CONSTRUCT 20% AND 10% FREE SIDE AS SHOWN AT 1/4" MINIMUM SLOPE (MIN. PER SIDE 1/4").
 4. CONSTRUCT 2" SLOPE COARSELY FINISHED PER DETAIL 1, SHEET 7.
 5. EXISTING TO REMAIN.
 6. EXISTING TO BE REMOVED.
 7. CONSTRUCT 5" THICK CONC. W/ #4 @ 16" O.C. OVER 4" SAND PER SOILS REPORT.
 8. CONSTRUCT GRADINGS SHOWN @ 2% MIN. SLOPE.
 9. CONSTRUCT STAIRS ON GRADE PER DETAIL 4, SHEET 7.
 10. CONSTRUCT FIRE PLACE PER ARCHITECTURAL PLANS.
 11. RAISE STRUCTURAL STAIRS PER ARCHITECTURAL DRAWINGS.
 12. EXISTING REAR ENTRY STRUCTURE TO BE REINFORCED FOR SEPARATE PERMIT.
 13. RETAINING WALL BY OTHERS.
 14. 2" x 12" HORIZONTAL PER ARCHITECTURAL PLANS.
 15. POOL EQUIPMENT AREA.
 16. AS SHOWN PER ARCHITECTURAL PLANS.
 17. PROPOSED LEACH LINES AND SEPTIC TANK PER GEOLOGICAL REPORTS.
 18. CONSTRUCT CHANNEL FRAM PER DETAIL 6, SHEET 7.
 19. CONSTRUCT MICRO CHANNEL DRAIN PER DETAIL 14, SHEET 7.
 20. USE 1/2" RCP AT RAIN COATS AND CATCH BASIN PER DETAIL 10, SHEET 7 AND 1/2" RCP FOR PROPOSED DOWNSPOUTS.
 21. CONSTRUCT 6" AG PAVEMENT OVER 4" MIN. CLASS II BASE.
 22. CONSTRUCT 6" CONC. CURBS PER DETAIL 10, SHEET 7.
 23. ALL EXCAVATIONS AND FOOTINGS SHALL BE FOUNDATION AND FOUNDATION PER THE GEOLOGICAL REPORTS.
 24. 18" RCP CATCH BASIN PER AISC PLASTIC PROTECTION PERMIT 101, 201, 300, 400, 500, 600, 700, 800, 900, 1000.
 25. 36" RCP CATCH BASIN PER AISC PLASTIC PROTECTION PERMIT 101, 201, 300, 400, 500, 600, 700, 800, 900, 1000.



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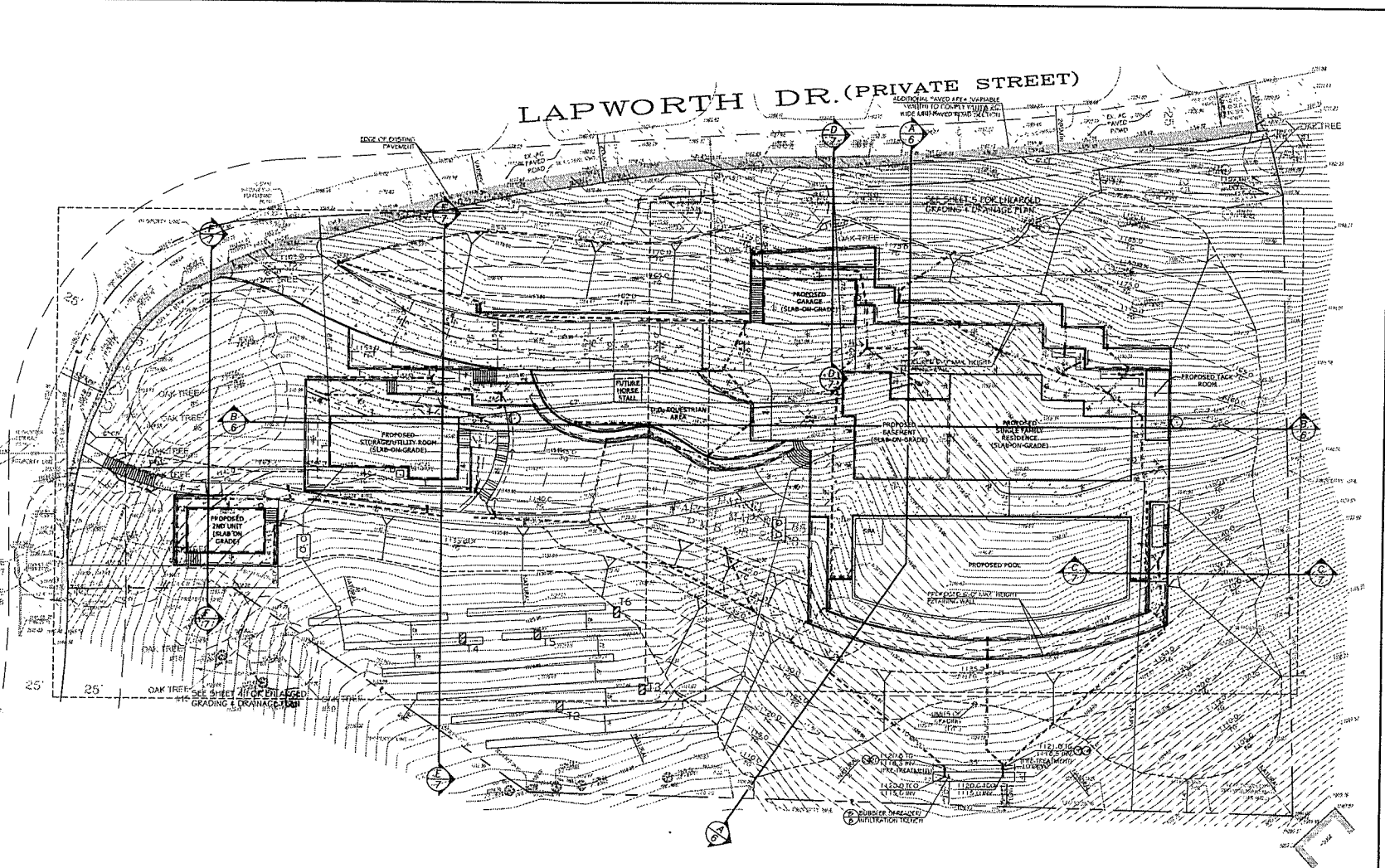
TWO WORKING DAYS BEFORE YOU DIG



NOTE TO CONTRACTOR
CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, UTILITIES AND OWNERSHIP PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

NOTE
NO PROPOSED SITE RETAINING WALLS OVER 6'-0" HIGH (EXPOSED) ALLOWED!

LAPWORTH DR. (PRIVATE STREET)

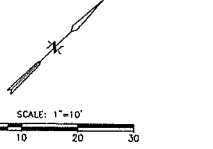


REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY OF AGOURA HILLS APPROVAL	DATE	68865 RCE NO.	09/30/16 EXP DATE	AGOURA HILLS	OVERALL SITE PLAN BINA RESIDENCE 6000 LAPWORTH DRIVE AGOURA HILLS, CA. 91301 SHEET 3 OF 11

- LEGEND**
- CL CENTER LINE
 - CO CLEARCUT
 - CG EGGLIMBED GRANITE
 - EL EIGHT LINE
 - EM DOWN
 - OP CONTOURPOINT
 - IL FINISH LOCUS
 - FL FINISH GRADE
 - FL FLOW LINE
 - FS FINISH SURFACE
 - HP HOLE FRONT
 - HW HVERT
 - PA PLANTER AREA
 - PP PROPERTY LINE
 - ND NATURAL GRADE
 - TC TOP OF CURB
 - TD TOP OF DECK
 - TC TOP OF CRATE
 - TW TOP OF WALL
 - UNO UNLESS NOTED OTHERWISE
 - RTW RETAINING WALL PER SEPARATE PERMIT
 - BS WALL PER SEPARATE PERMIT
 - CONTRACTOR TO VERIFY HAND SURFACE ELEVATIONS PER SPECIFICATIONS
 - RS SITUATIONS AND DETAILS TO DETERMINE ROCK GRADE ELEVATIONS
 - 1" x 6" CATCH BASIN PER ADS PLASTIC
 - PROCESSED SAND NO. 1000 - 2" MAX. D.L.O.
 - 6" x 6" REINFORCED CONCRETE PER ADS PLASTIC
 - INDICATES 4" x 4" SUB-DRAIN
 - EXISTING SPOT ELEVATIONS

- CONSTRUCTION NOTES**
- CONSTRUCT STRUCTURAL SLAB FOOTINGS
 - THICKNESS OF BASE AND FOUNDATIONS PER SPECIFICATIONS
 - CONTRACTOR SHALL PERFORM ALL NECESSARY REINFORCEMENTS
 - CONSTRUCT GRADE RAMP FOR HOLE FRONT TO A DEPTH OF 1'0" BELOW FORMWORK AND DRAIN DEGREE AS REQUIREMENTS OF THE SOILS
 - CONSTRUCT SCH. 40 PVC PIPE SIZES AS SHOWN AT MINIMUM SLOPE ANH. PIPE SIZE 1/2"
 - CONSTRUCT S.G. WITHIN CONCRETEWORK PER DETAIL 4, SHT. 7
 - EXISTING TO REMAIN
 - EXISTING TO BE REPAIRED
 - CONSTRUCT 5" THICK CONC. #4 @ 10" O.C.W. OVER 1/2" SAND PER SOILS REPORT
 - CONSTRUCT GRASSY WARE OF 2% MIN. SLOPE
 - CONSTRUCT STAIRS ON GRADE PER DETAIL 4, SHT. 7
 - CONSTRUCT FREE PLACE FOR ARCHITECTURAL PLANS
 - WORK STRUCTURAL STAIRS PER ARCHITECTURAL PLANS
 - EXISTING RESIDENTIAL STRUCTURE TO BE DEMOLISHED PER SEPARATE PERMIT
 - RETAINING WALL BY OTHERS
 - CONTRACTOR TO VERIFY
 - 2" x 4" WOOD STALL PER ARCHITECTURAL PLANS
 - WORK CONCRETE WALK
 - ALL UNITS PER ARCHITECTURAL PLANS
 - PROPOSED LEACH LINES AND SEPTIC TANK PER GEOLOGICAL REPORTS
 - CONSTRUCT CHANGE DRAIN PER DETAIL 4, SHT. 7
 - CONSTRUCT WARD CHANNEL DRAIN PER DETAIL 4, SHT. 7
 - USE NOS. 10 OR 11 FROM GRATE AND CATCH BASIN PER DETAIL NO. 1495 AND 1514 OF APPROVED STANDARD
 - CONSTRUCT 6" AC PAVEMENT OVER 4" MIN. CLASS II BASE
 - CONSTRUCT 6" LONG CURB AND GUTTER PER ARCHITECTURAL PLAN 130-2, TYPE 1.1, 6/1/15, @ 2" W=10"
 - ALL FOUNDATIONS AND FOOTINGS SHALL BE PERFORMED INTO FENCED REGION FOR THE GEOLOGICAL REPORTS
 - USE CATCH BASIN FROM AREA IN SET PER DETAIL 16, SHT. 7

NOTE
NO PROPOSED SITE RETAINING WALLS OVER 6'-0" HIGH (EXPOSED) ALLOWED!



SCALE: 1"=10'
0 10 20 30

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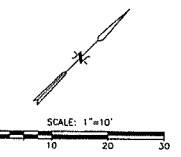
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY	DATE	REVIEWED BY	DATE	DATE	6885	09/30/16	AGOURA HILLS
					WALLACE E. MASON 4 ASSOC. 8511 RANCHO ROAD THOUSAND OAKS, CA. 91322 (805) 794-3559		RAMIRO ADEVA III CITY ENGINEER			RCE NO.	EXP DATE	

ENLARGED GRADING AND DRAINAGE PLAN
BINA RESIDENCE
6000 LAPWORTH DRIVE
AGOURA HILLS, CA. 91301 SHEET 4 OF 11

- LEGEND
- CL CENTER LINE
 - CO CLEARCUT
 - CG CONCRETE/GRANITE
 - DL DAYLIGHT LINE
 - DM DRAIN
 - FS FOUNTAIN
 - FF FINISH FLOOR
 - FG FINISH GRADE
 - FL FLOW LINE
 - FS FINISH SURFACE
 - FI FINISH FLOOR
 - IN INVERT
 - IN INVERT
 - PL PLANTING AREA
 - P PROPERTY LINE
 - NG NATURAL GRADE
 - TC TOP OF CURB
 - TO TOP OF CEILING
 - TD TOP OF DRAIN
 - TO TOP OF GRADE
 - UNO UNLESS NOTED OTHERWISE
- REINFORCING WALL PER SEPARATE PERMIT
BLOCK WALL PER SEPARATE PERMIT
CONTRACTOR TO VERIFY HARD SURFACE
UNDERLAYS AND FINISHES TO DETERMINE
FINISH GRADE ELEVATIONS
- 12" x 12" MATCH BENCH PER NIS PLASTIC
PROPANE TANK NO. 1000 FROM U.N.O.
6" x 6" STEEL-BENCH PER NIS PLASTIC
PROPANE TANK NO. 1111, 5111, 3111, U.N.O.
INDICATES AND PERM. SUBORDINATE
EXISTING SPOT ELEVATIONS

- CONSTRUCTION NOTES
1. CONTRACTOR TO VERIFY EXISTING FOUNDATIONS THICKNESS OF BASE AND REINFORCING PER STRUCTURAL ENGINEER PER SOILS ENGINEER RECOMMENDATIONS.
 2. OVER EXISTING DRIVE ROAD, SHALL AREA PLUS 5" TO A DEPTH OF 3" BELOW FOOTINGS AND TENSILE REINFORCE AS RECOMMENDED BY THE SOILS ENGINEER.
 3. CONTRACTOR TO 40 P.C. P.V.C. PIPE SIZE AS SHOWN AT 15' MINIMUM BURY AND PIPE SIZE #12.
 4. CONTRACTOR TO 6" MOTOR COMPARTMENT PER DETAIL 4, SHEET 7.
 5. EXISTING TO REMAIN.
 6. EXISTING TO BE FINISHED.
 7. CONTRACTOR TO THREE CORNERS 10' x 10' x 2' W/ OVER 4" DRAIN PER SOILS ENGINEER.
 8. CONTRACTOR TO EXISTING DRIVE IN 2% MIN. SLOPE.
 9. CONSTRUCT STAIRS ON GRADE PER DETAIL 4, SHEET 7.
 10. CONSTRUCT FIRE PLACE PER ARCHITECTURAL PLANS.
 11. FINISH STRUCTURAL STAIRS PER ARCHITECTURAL PLANS.
 12. EXISTING REINFORCING STRUCTURE TO BE DEMOLISHED PER SEPARATE PERMIT.
 13. FINISHING WALL BY CONTRACTOR.
 14. 12" x 12" HORIZONTAL STAIR PER ARCHITECTURAL PLANS.
 15. POOL EQUIPMENT AREA.
 16. 6" CUBES PER ARCHITECTURAL PLANS.
 17. PROPOSED LEACH LINES AND SEPTIC TANK PER GEOLOGICAL REPORTS.
 18. CONTRACTOR TO CHANNEL DRAIN PER DETAIL 14, SHEET 7.
 19. CONTRACTOR TO 12" x 12" ATRENA GRATE AND CATCH BASIN PER DETAIL 10, SHEET 7 AND 12" x 12" UP APPROVED EQUIVALENT.
 20. CONTRACTOR TO 6" AC PAVEMENT OVER 8" GRAN. CLASS A BASE.
 21. CONTRACTOR TO 6" CONC. CURB AND GUTTER PER ANNA DET. PLAN 1201, SHEET 11 AND 1201, SHEET 10.
 22. ALL FOUNDATIONS AND FOOTINGS SHALL BE REINFORCED AND COVER REVISION PER THE GEOLOGICAL REPORTS.
 23. USE CATCH BASIN FILTER MEDIA INSERT PER DETAIL 16, SHEET 7.
- NOTE TO CONTRACTOR
CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS FROM TO CONSTRUCTION CONTROLS TO CONTRACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

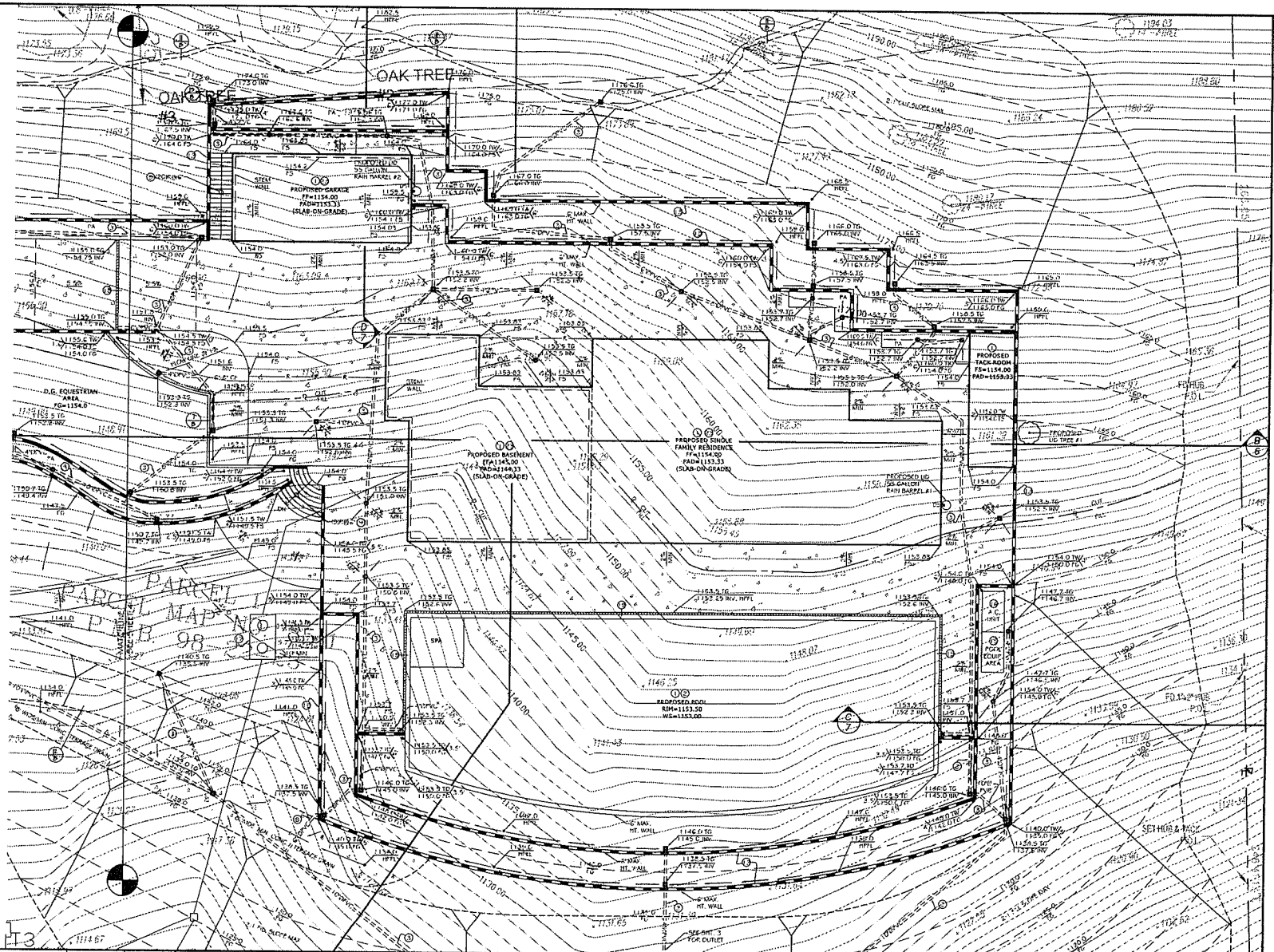
NOTE
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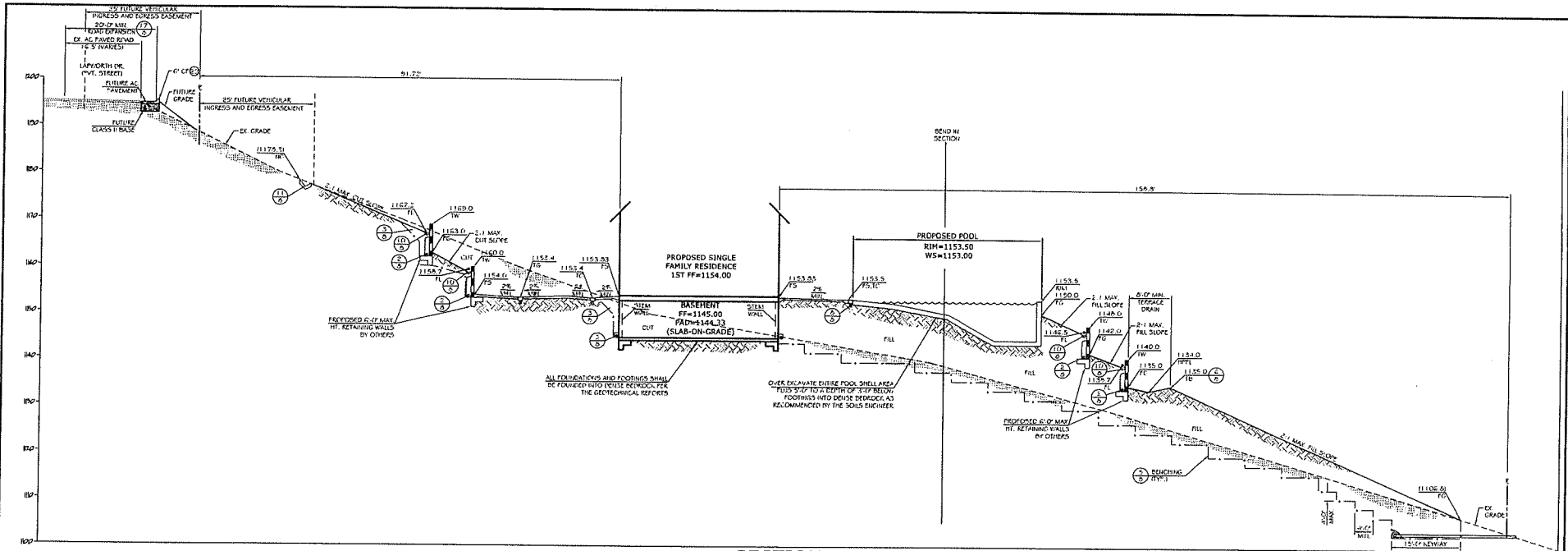
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	CITY OF AGOURA HILLS APPROVAL		
	ENLARGED GRADING AND DRAINAGE PLAN BINA RESIDENCE 6000 LAPWORTH DRIVE AGOURA HILLS, CA. 91301		
	SHEET 5 OF 11		

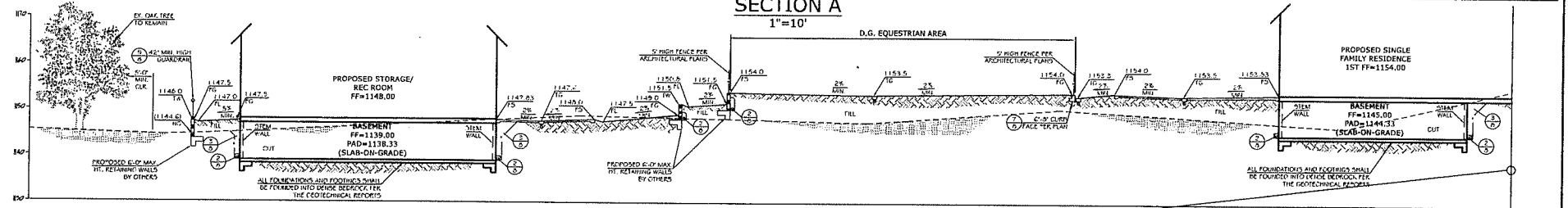
PREPARED BY: WALLACE E. MASON & ASSOC. 9511 RANCHO ROAD THOUSAND OAKS, CA. 91362 (805) 794-3559	PROJECT ENGINEER DATE	REVIEWED BY RAMIRO ADEVA III CITY ENGINEER DATE	68865 RCE 101 09/30/16 EXP DATE
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REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE



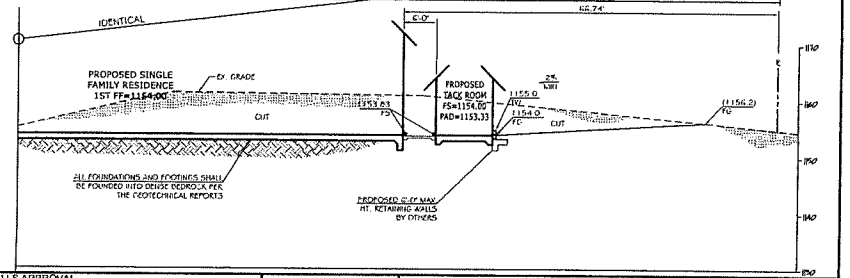
SECTION A

1"=10'



SECTION B

1"=10'



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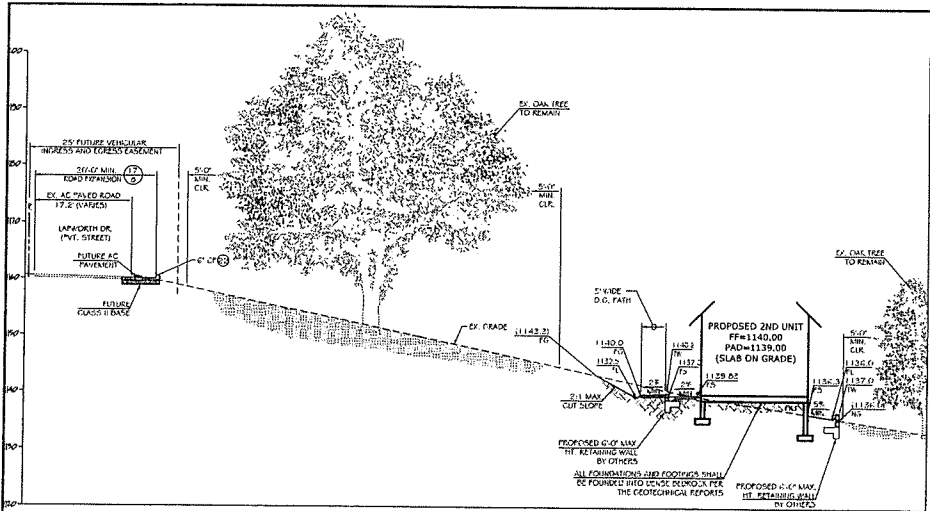
TWO WORKING DAYS BEFORE YOU DIG



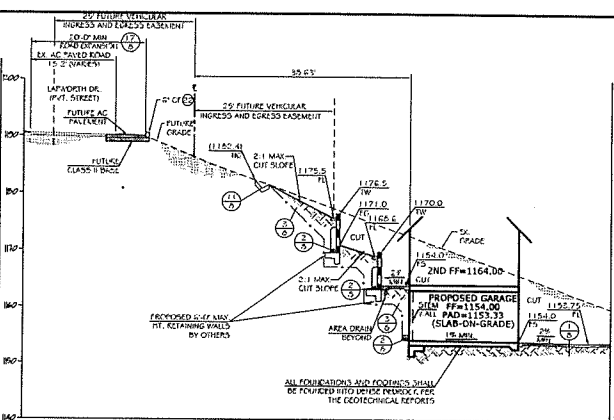
NOTE TO CONTRACTOR

CONTRACTOR TO VERIFY THE LOCATION OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

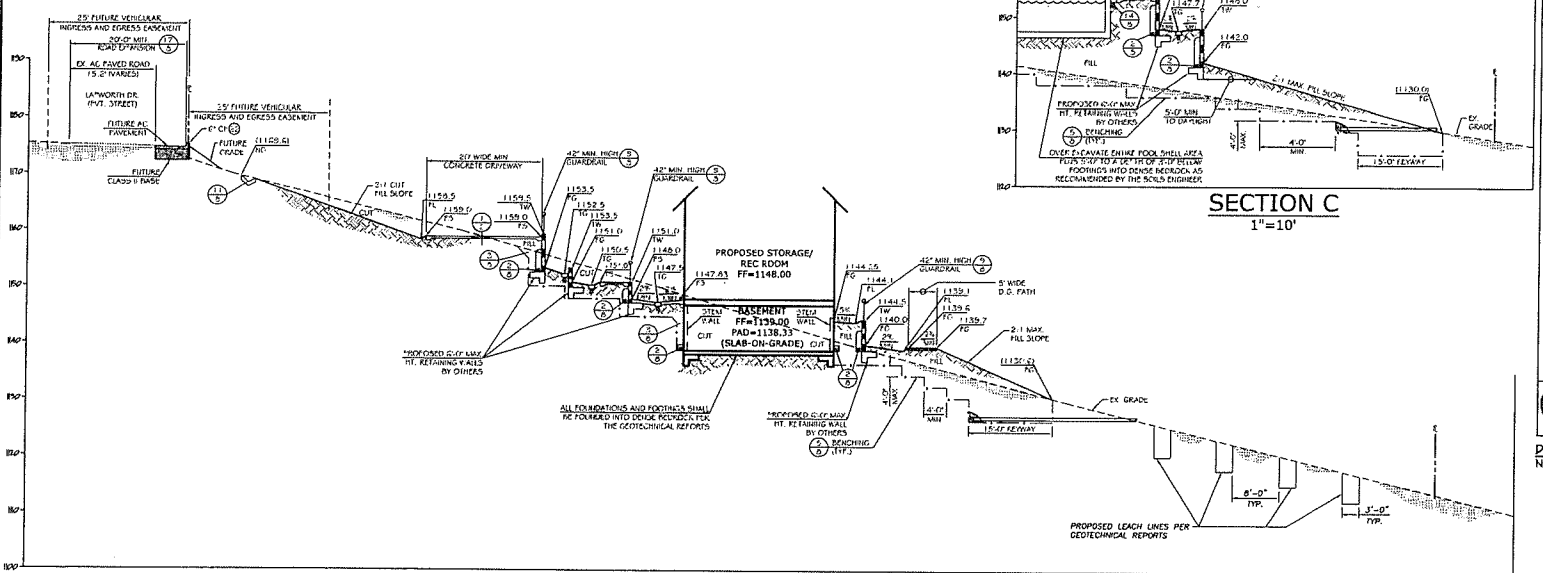
PREPARED BY: WALLACE E. MASON & ASSOC. 8501 RANCHO ROAD THOUSAND OAKS, CA. 91362 (805) 794-3559				CITY OF AGOURA HILLS APPROVAL RAIIRO ADEVA III CITY ENGINEER				69885 PROJECT NO.		08/30/16 EXPIRE DATE				CROSS SECTIONS BINA RESIDENCE 6000 LAPWORTH DRIVE AGOURA HILLS, CA. 91301 SHEET <u>6</u> OF <u>11</u>	
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	DATE	DATE	DATE	DATE	DATE		



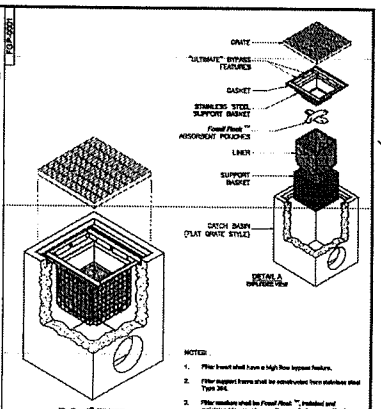
SECTION F
1"=10'



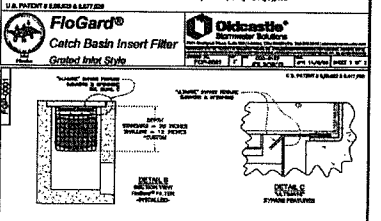
SECTION D
1"=10'



SECTION E
1"=10'

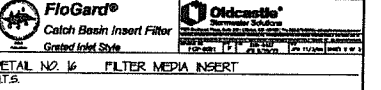


- NOTES:
1. Filter Insert shall have a High Flow Support Feature.
 2. Filter Support Frame shall be constructed from stainless steel Type 304.
 3. Filter media shall be FioGard™, installed and maintained in accordance with manufacturer specifications.
 4. Storage capacity shall be 5% of maximum inlet collection flow in existing storage system.



NOTE: OTHER DIMENSIONS & SPECIFICATIONS SHALL BE REFERENCED TO THE CORRESPONDING SHEET.

MODEL NO.	STANDARD SPECIFICATIONS		DIMENSIONS (IN)		SPECIAL USE	SPECIAL USE	SPECIAL USE
	WEIGHT (LBS)	WEIGHT (KG)	LENGTH	WIDTH			
FF-100	10.0	4.5	10.0	10.0	Standard	Standard	Standard
FF-150	15.0	6.8	15.0	15.0	Standard	Standard	Standard
FF-200	20.0	9.1	20.0	20.0	Standard	Standard	Standard
FF-250	25.0	11.4	25.0	25.0	Standard	Standard	Standard
FF-300	30.0	13.7	30.0	30.0	Standard	Standard	Standard
FF-350	35.0	16.0	35.0	35.0	Standard	Standard	Standard
FF-400	40.0	18.3	40.0	40.0	Standard	Standard	Standard
FF-450	45.0	20.6	45.0	45.0	Standard	Standard	Standard
FF-500	50.0	22.9	50.0	50.0	Standard	Standard	Standard
FF-550	55.0	25.2	55.0	55.0	Standard	Standard	Standard
FF-600	60.0	27.5	60.0	60.0	Standard	Standard	Standard
FF-650	65.0	29.8	65.0	65.0	Standard	Standard	Standard
FF-700	70.0	32.1	70.0	70.0	Standard	Standard	Standard
FF-750	75.0	34.4	75.0	75.0	Standard	Standard	Standard
FF-800	80.0	36.7	80.0	80.0	Standard	Standard	Standard
FF-850	85.0	39.0	85.0	85.0	Standard	Standard	Standard
FF-900	90.0	41.3	90.0	90.0	Standard	Standard	Standard
FF-950	95.0	43.6	95.0	95.0	Standard	Standard	Standard
FF-1000	100.0	45.9	100.0	100.0	Standard	Standard	Standard



DETAIL NO. 16 FILTER MEDIA INSERT
N.T.S.

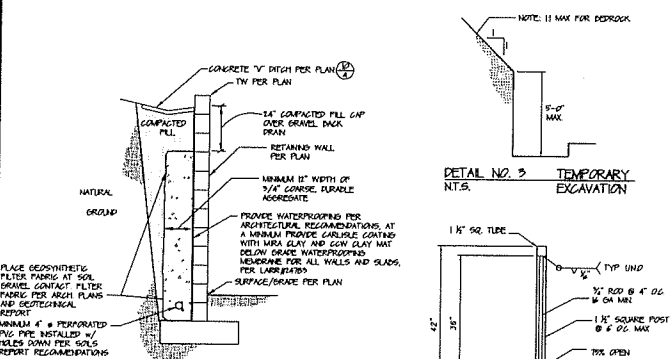
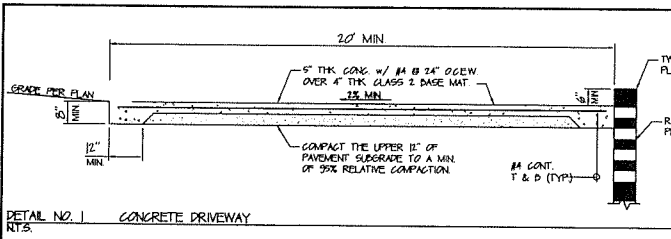
NOTE TO CONTRACTOR:
CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OR ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY: WALLACE E. MASON & ASSOC. 2511 RANCHO ROAD THOUSAND OAKS, CA 91362 (805) 794-3559	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY OF AGOURA HILLS APPROVAL	RAMIRO ADEVA III CITY ENGINEER	DATE	6886 TRC NO.	09/20/18 EXP DATE	AGOURA HILLS
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CROSS SECTIONS
BINA RESIDENCE
6000 LAPWORTH DRIVE
AGOURA HILLS, CA. 91301 SHEET 7 OF 11

CITY OF AGOURA HILLS DWG. NO.



CHANNEL-SLOPE®
NW100 Series Channels
 Sloped Channels

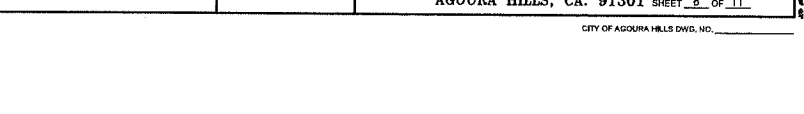
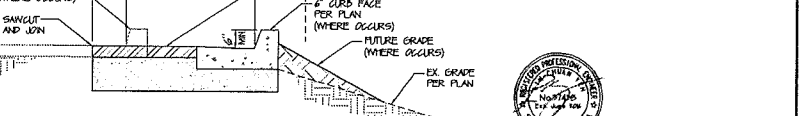
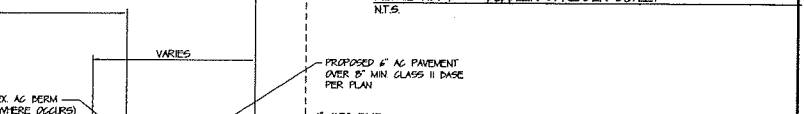
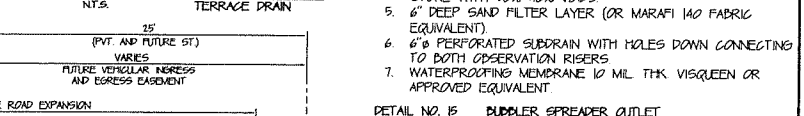
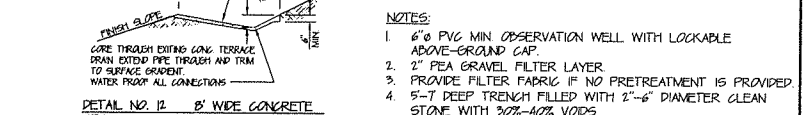
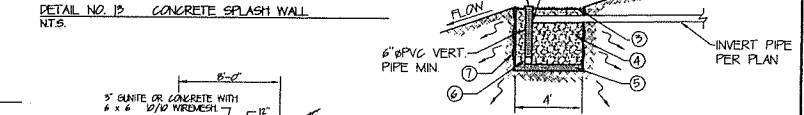
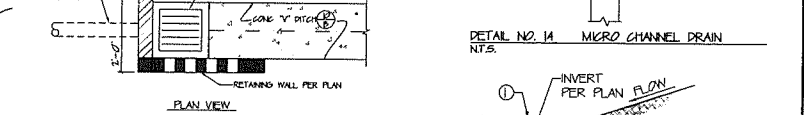
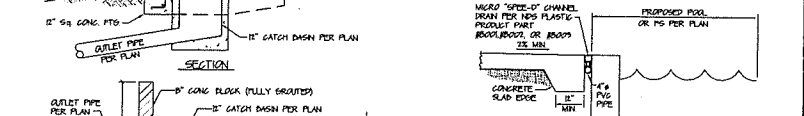
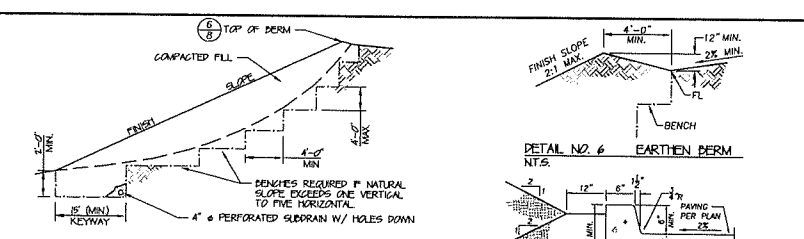
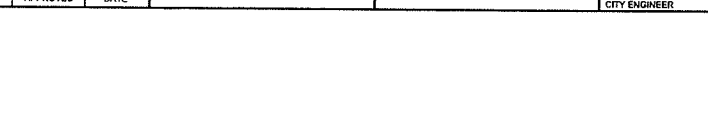
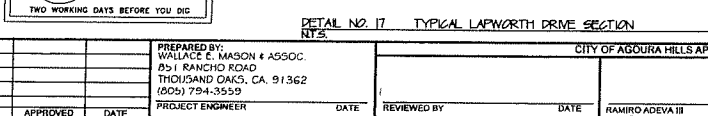
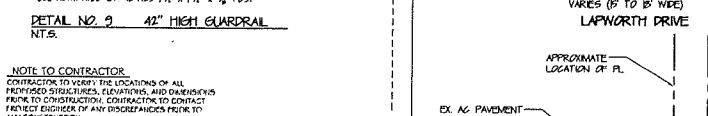
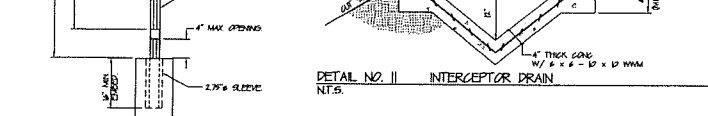
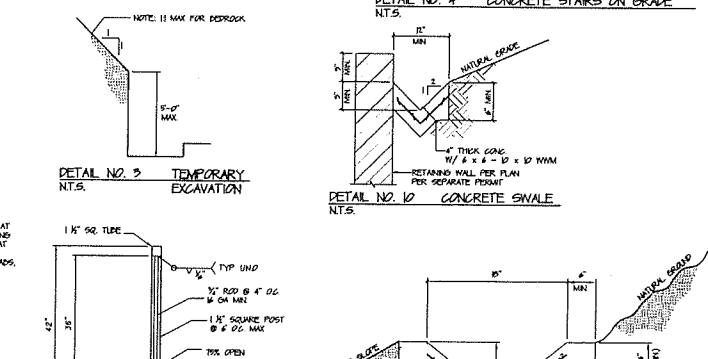
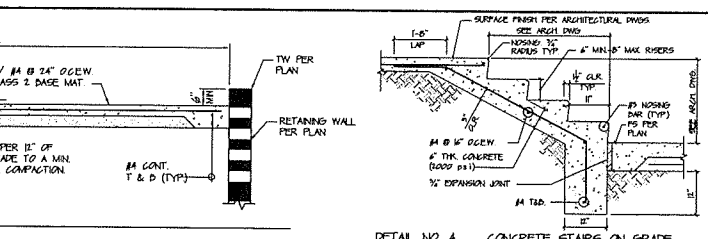
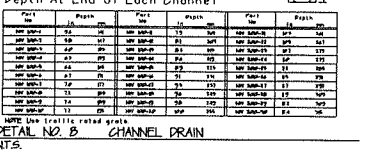
Each channel has 2 full half-slides there are 30 different slide channels.

Length: Each channel is 30" in length long total length of part numbers for concrete is 30" (not 36")

Width: Each channel has 14" same width. Part made in Street depth of 1.5 ft up at channel Part No. 30" and at channel Part No. 36" is 4.5 ft up.

Depth At End of Each Channel

Part #	Depth	Part #	Depth	Part #	Depth
30	1.5	31	1.5	32	1.5
33	1.5	34	1.5	35	1.5
36	1.5	37	1.5	38	1.5
39	1.5	40	1.5	41	1.5
42	1.5	43	1.5	44	1.5
45	1.5	46	1.5	47	1.5
48	1.5	49	1.5	50	1.5
51	1.5	52	1.5	53	1.5
54	1.5	55	1.5	56	1.5
57	1.5	58	1.5	59	1.5
60	1.5	61	1.5	62	1.5
63	1.5	64	1.5	65	1.5
66	1.5	67	1.5	68	1.5
69	1.5	70	1.5	71	1.5
72	1.5	73	1.5	74	1.5
75	1.5	76	1.5	77	1.5
78	1.5	79	1.5	80	1.5



NOTE TO CONTRACTOR
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UNDERGROUND SERVICE ALERT
 CALL TOLL FREE 1-800-227-2600
 TWO WORKING DAYS BEFORE YOU DIG

PREPARED BY: WALLACE E. MASON & ASSOC. 851 RANCHO ROAD THOUSAND OAKS, CA. 91362 (805) 794-3553

CITY OF AGOURA HILLS APPROVAL

CITY OF AGOURA HILLS
 BINA RESIDENCE
 6000 LAPWORTH DRIVE
 AGOURA HILLS, CA. 91301 SHEET 8 OF 11

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE



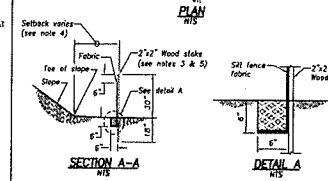
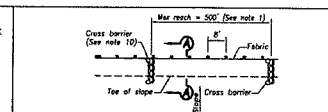
1/25

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WET WEATHER EROSION CONTROL PLAN (WEECP) GENERAL NOTES:

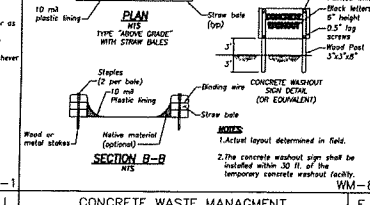
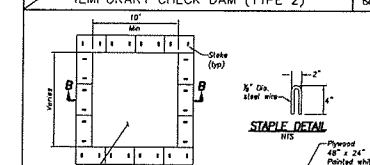
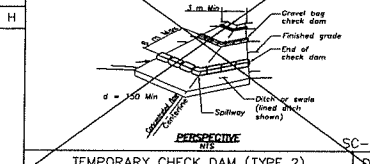
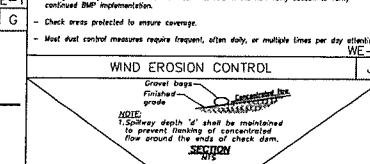
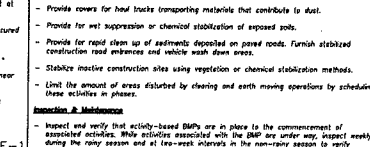
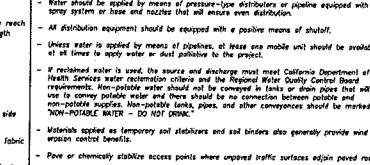
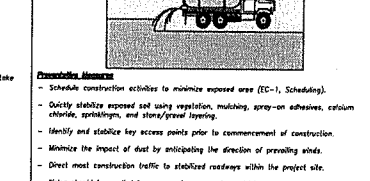
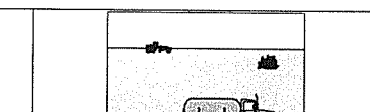
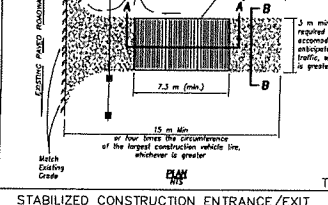
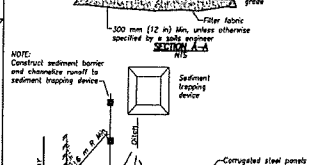
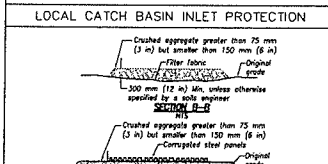
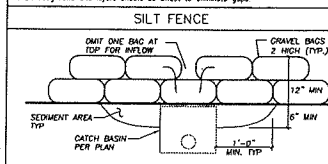
- 1. IN CASE OF EMERGENCY, CALL 916-792-3222 AT ALL TIMES.
2. STAY-UP OVER FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15).
3. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE DRAINAGE OPERATION HAS PROCEEDED TO THE POINT WHERE THERE ARE NO LONGER REQUIREMENTS.
4. CHAINS AND ANCHORS FOR EXISTING WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15).
5. EROSION CONTROL DEVICES SHALL BE MAINTAINED AS FOLLOWS:
6. ALL SLOPE AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH MAINTENANCE AND BE DEPOSITED OFF PROPERTY.
7. A SIGN SHALL BE POSTED ON THE SITE WHENEVER THE COUPIN OF WATER IN ANY DEVICE EXCEEDS AND FEEL THE DEVICE SHALL BE REWORKED OR REWORKED WITHIN 24 HOURS AFTER EACH MAINTENANCE.
8. THE MAINTENANCE OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTROL FLOWS WITHIN THE PROJECT SITE SHALL BE THE RESPONSIBILITY OF THE PROJECT OWNER.
9. DEVICES SHALL BE MAINTAINED AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE PROJECT OWNER.
10. EXISTING TREES SHOULD BE MAINTAINED TO ELIMINATE THE DISCHARGE OF WASTEWATER FROM THE PROJECT SITE AT ALL TIMES.
11. EROSION DEVICES AND OTHER POLLUTANTS MUST BE KEPT ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA STREET, FLYWAYS, AIRWAYS, MARINA, DRAINAGE CHANNEL, OR DITCH.
12. SCHEDULES OF PATH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM IMPROPER FROM THE SITE BY FENCES OR BARRIERS.
13. PILES, DMS, DEBRIS, AND OTHER TRUCK MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR DESIGN AND NOT TO EXCEED THE WEIGHTS AND SPACING VALUES. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER AND SHALL BE WASHED, HAMPRETT AND DEPOSITED OF BY A PROPER HAZARD SPILLS MAY NOT BE WASHED WITH THE DRAINAGE SYSTEM.
14. CHECKS IN WASTEWATER TRENCHES MUST NOT BE WASHED WITH ANY OTHER DRAINAGE SYSTEM.
15. DEVELOPMENT CONTRACTORS ARE RESPONSIBLE TO PROTECT ALL EROSION CONTROL DEVICES AND BARRIERS.
16. EROSION CONTROL DEVICES SHOULD BE MAINTAINED AS FOLLOWS:
17. TREES AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONSTRUCTION OF SPILLAGE AND SPILLAGE BY WIND.
18. SOLID WASTES AND OTHER MATERIALS MAY NOT BE THROWN FROM THE SITE BY WHICH TRUCKS, CONSTRUCTION EQUIPMENT, BARRIERS MUST BE MAINTAINED SO AS TO BE HEAVY STORMS FROM BEING EXPOSED INTO THE PUBLIC RIGHT OF WAY.
19. ANY SLOPES WITH EXPOSED SOIL OR DECKERS OF VEGETATION MUST BE STABILIZED SO AS TO PREVENT EROSION BY WIND AND WATER.
20. AS THE PROJECT ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROVED EMPIRICAL TESTS TO PROTECT THE SOILS UNDER THE PROJECT'S CONSTRUCTION ACTIVITIES.
21. THE FOLLOWING BHP FROM THE CALIFORNIA STORM WATER BHP CONSTRUCTION HANDBOOK - JANUARY 2005, MUST BE INCORPORATED FOR ALL CONSTRUCTION ACTIVITIES AS APPLICABLE. BHP FROM THE CALIFORNIA STORM WATER BHP HANDBOOK - MARCH 1993 MAY BE USED IF STATE IS INDICATED.

ADDITIONAL GENERAL NOTES

- 1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE WHICH WHICH INTERFERE WITH THE WORK PROGRESSES TO MEET AS DEMAND CONDITIONS.
2. ALL EXISTING SLOPES AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PROBABLY INSPECTOR AS ORDERED BY THE INSPECTOR.
3. WHEN THE INSPECTOR SO DIRECTS, A 12-INCH BURN SHALL BE MAINTAINED ALONG THE TOP OF EXISTING SLOPES AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS.
4. PROMOTE VELOCITY CHECK DAMS ACROSS THE OUTLETS OF ALL TIES DRAWING INTO STREET.
5. ALL FILLS SHALL BE GRADED TO PROMOTE DRAINAGE AWAY FROM THE EDGE OF THE TOP OF FILLS.
6. ALL UTILITY TRENCHES SHALL BE BLOCCED AT THE PRESCRIBED INTERVALS FROM BOTTOM TO TOP THE PRESCRIBED INTERVALS WITH A DOUBLE 2x6 TRENCH SHALL BE BLOCCED AT THE PRESCRIBED INTERVALS WITH A DOUBLE 2x6 TRENCH SHALL BE BLOCCED AT THE PRESCRIBED INTERVALS WITH A DOUBLE 2x6 TRENCH.
7. PROMOTE STANDARD VELOCITY CHECK DAMS IN ALL UNPAVED STREET AREAS AT THE INTERVALS INDICATED BELOW.
8. PROMOTE STANDARD VELOCITY CHECK DAMS IN ALL UNPAVED CHANNELS AT THE INTERVALS INDICATED BELOW.
9. THE STANDARD VELOCITY CHECK DAM SHALL HAVE A MINIMUM HEIGHT OF 12-INCHES.
10. INTER SPACE AND VELOCITY TRENCHES ARE BACK FILLED AND COMPACTED. THE SURFACES OF SLOPE REPAIRS SHALL BE FINISHED TO PREVENT CONVEYANCE OF WATER.
11. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHALL BE MAINTAINED IN PLACE AT ALL TIMES.
12. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHALL BE MAINTAINED IN PLACE AT ALL TIMES.
13. EROSION CONTROL DEVICES SHALL BE STOCKPILED IN PARKWAYS AT INTERVALS SHOWN ON THE WHICH READY TO BE PLACED IN POSITION WHEN RAIN IS FORECASTED OR WHEN DIRECTED BY THE INSPECTOR.
14. BRUSH AND VELOCITY CHECK DAMS MAY NOT BE REMOVED MORE THAN 10 FEET ABOVE FILLS DURING THE RAINY SEASON WHICH OCCURS BETWEEN OCTOBER 1 AND APRIL 15.
15. ALL CUT & FILL SLOPES GREATER THAN 1 VERTICAL TO 3 HORIZONTAL SHALL BE COVERED WITH MULCH.
16. EXISTING SHADOWS WILL BE STOCKPILED ON SITE TO FACILITATE THIS PLAN AS SHOWN PER THIS PLAN.
17. THE LOCATION AND DESIGN OF ALL EROSION CONTROL DEVICES SHOWN ON THESE PLANS ARE THE RESPONSIBILITY OF THE ARCHITECT/ENGINEER OF RECORD.
18. STANDBY CREWS SHALL BE ALERT BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINFALL.
19. THE PLAN SHALL SPECIFY THAT GRADING SHALL TAKE PLACE ONLY DURING THE DRY SEASON (MAY 15 TO SEPTEMBER 15).
20. AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTOOD THE REQUIREMENTS TO CONTROL STORM WATER POLLUTION FROM STORMS, PONDING AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.
21. THE FOLLOWING BHP FROM THE CALIFORNIA STORM WATER BHP CONSTRUCTION HANDBOOK - JANUARY 2005, MUST BE INCORPORATED FOR ALL CONSTRUCTION ACTIVITIES AS APPLICABLE.
22. THE FOLLOWING BHP FROM THE CALIFORNIA STORM WATER BHP CONSTRUCTION HANDBOOK - JANUARY 2005, MUST BE INCORPORATED FOR ALL CONSTRUCTION ACTIVITIES AS APPLICABLE.

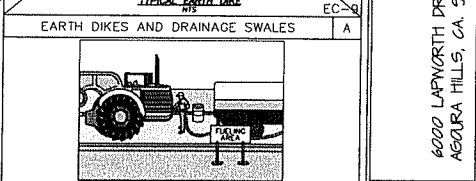
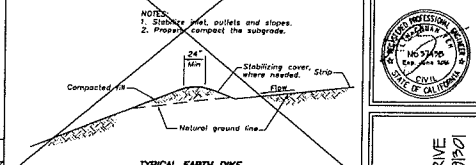
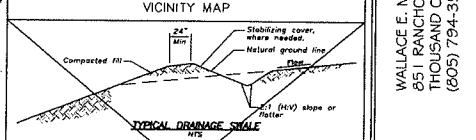
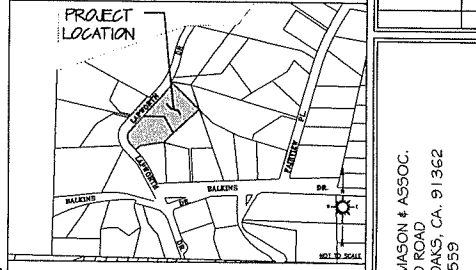


- 1. Construct the length of each mesh so that the change in base elevation along the reach does not exceed 1/2 the height of the linear barrier.
2. The last 8'-0" of fence shall be tapered up slope.
3. Slope dimensions are nominal.
4. Dimension may vary to fit field condition.
5. Slopes shall be spaced at 8'-0" maximum and shall be positioned on downstream side of fill.
6. Slopes to overlap and fence fabric to fold around each stake one full turn.
7. Slopes shall be driven tight together to prevent potential flow-through of sediment at joint.
8. For cut and slope, fence fabric shall be folded around two stakes one full turn and secured with 4 staples.
9. Minimum 4 staples per stake, dimensions shown are typical.
10. Cross barriers shall be a minimum of 1/2 and a maximum of 1 1/2 the height of the linear barrier.
11. Multispan openings shall be constructed in a manner to ensure standard remains behind fill.
12. Existing sections shall not be placed at sump locations.
13. Sandbag rows and layers should be offset to eliminate gaps.



INDEX OF SHEETS

Table with 2 columns: Sheet Number and Sheet Title. Rows include SHT. 9 EROSION CONTROL COVER SHEET, SHT. 10 EROSION CONTROL PLAN, SHT. 11 EROSION CONTROL PLAN ATTACHMENTS (026-207).



Implementation
- Use active fueling stations as much as possible.
- Discourage "topping-off" of fuel tanks.
- Abandon spill cleanup materials and spill kits should be available in fueling areas and on fueling trucks, and should be disposed of properly after use.

Implementation and Maintenance
- Vehicle and equipment should be inspected each day of use for leaks.
- Federal, state, and local requirements should be observed for any stationary storage ground storage tanks.

Implementation and Maintenance
- Vehicle and equipment should be inspected each day of use for leaks.
- Federal, state, and local requirements should be observed for any stationary storage ground storage tanks.

Table with 2 columns: Revision Number and Description. It lists revisions to the document.

WALLACE E. MASON & ASSOC.
651 RANCHO ROAD
THOUSAND OAKS, CA. 91326
(805) 794-3559



6000 LAPHAM DRIVE
AGORA HILLS, CA. 91001

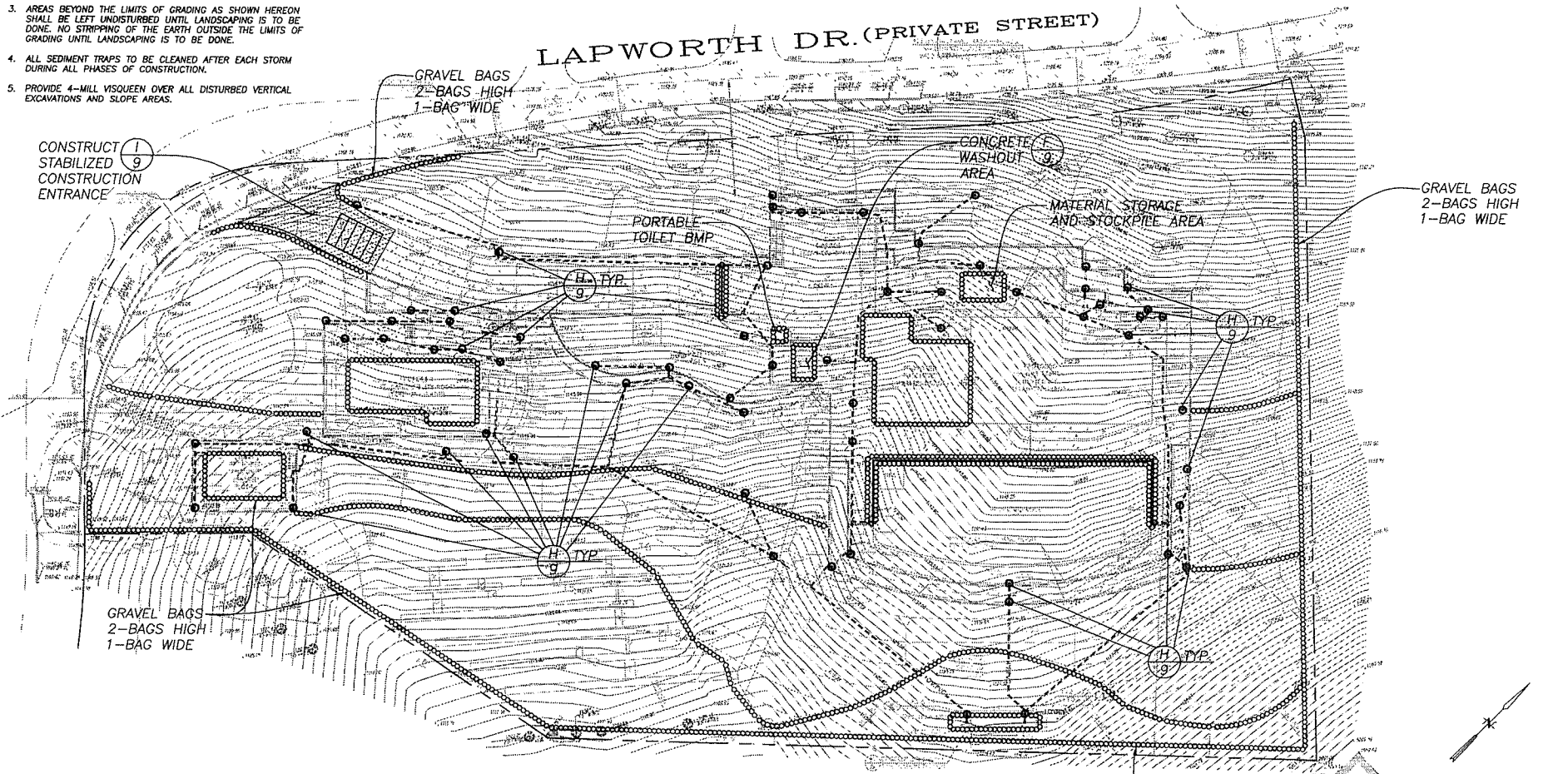
COVER SHEET
EROSION CONTROL PLAN

DATE: 1/27/18
SCALE: N.T.S.
DRAWN: JD
JOB: 650-15
SHEET: 10
OF 13 SHEETS

NOTES:

1. ALL GRADED AND DISTURBED AREAS TO BE JUTTE NETTED OR PER EC3, EC4, & EC7, AS SOON AS GRADING IS COMPLETE.
2. CONTRACTOR TO REVIEW ALL BMP'S AND PROJECT ENGINEER AS SITE REQUIRES DURING ALL PHASES OF CONSTRUCTION.
3. AREAS BEYOND THE LIMITS OF GRADING AS SHOWN HEREON SHALL BE LEFT UNDISTURBED UNTIL LANDSCAPING IS TO BE DONE. NO STRIPPING OF THE EARTH OUTSIDE THE LIMITS OF GRADING UNTIL LANDSCAPING IS TO BE DONE.
4. ALL SEDIMENT TRAPS TO BE CLEANED AFTER EACH STORM DURING ALL PHASES OF CONSTRUCTION.
5. PROVIDE 4-MILL VISQUEEN OVER ALL DISTURBED VERTICAL EXCAVATIONS AND SLOPE AREAS.

LAPWORTH DR. (PRIVATE STREET)



UNDERGROUND SERVICE ALERT



CALL TOLL FREE
1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

NOTE TO CONTRACTOR
CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, UTILITIES AND DISTURBED AREAS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY ENGINEER	DATE	68865	09/30/16	AGOURA HILLS

PREPARED BY:
WALLACE E. MASON & ASSOC.
651 RANCHO ROAD
THOUSAND OAKS, CA. 91362
(805) 794-3559

CITY OF AGOURA HILLS APPROVAL

RAMIRO ADEVA III
CITY ENGINEER



EROSION CONTROL PLAN
BINA RESIDENCE
6000 LAPWORTH DRIVE
AGOURA HILLS, CA. 91301 SHEET 10 OF 11

SWPPP BMP SELECTION

Table 3.2 Temporary Erosion Control BMPs. Table with columns for CAFOA Part Sheet, BMP Name, Minors or Disturbance Requirements, BMP used (YES/NO), and If not used, state reason.

Table 3.3 Temporary Sediment Control BMPs. Table with columns for CAFOA Part Sheet, BMP Name, Minors or Disturbance Requirements, BMP used (YES/NO), and If not used, state reason.

Table 3.4 Temporary Non-Stormwater BMPs. Table with columns for CAFOA Part Sheet, BMP Name, Minors or Disturbance Requirements, BMP used (YES/NO), and If not used, state reason.

Table 3.5 Temporary Materials Management BMPs. Table with columns for CAFOA Part Sheet, BMP Name, Minors or Disturbance Requirements, BMP used (YES/NO), and If not used, state reason.

*1. Applicability to a specific project shall be determined by the QSD.

JOB ADDRESS: 6000 LAPWORTH DRIVE PERMIT #: _____

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM PRIORITY PROJECTS CERTIFICATION STATEMENT

AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THE APPROXIMATE BMP'S WILL BE IMPLEMENTED IS EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY.

COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: _____ (OWNER OR AUTHORIZED AGENT OF THE OWNER) SIGNATURE: _____ DATE: _____

JOB ADDRESS: 6000 LAPWORTH DRIVE PERMIT #: _____

DEPARTMENT OF BUILDING AND SAFETY MINIMUM REQUIREMENTS FOR CONSTRUCTION PROJECTS/ CERTIFICATION STATEMENT

THE FOLLOWING IS INTENDED AS AN ATTACHMENT TO THE CONSTRUCTION/GRADING PLANS AND REPRESENT THE MINIMUM STANDARDS OF GOOD HOUSEKEEPING WHICH MUST BE IMPLEMENTED ON ALL SITES CLASSIFIED AS DEVELOPMENT CONSTRUCTION PROJECTS.

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ONSITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.

INSPECTION LOG

THE SITE SHALL BE INSPECTED BEFORE STORM EVENTS WITH PREDICTED PROBABILITY OF 50% OR GREATER AND EVERY DAY DURING AND WITHIN 48 HOURS AFTER STORM EVENTS WITH 0.50 INCHES OR GREATER OF ACTUAL PRECIPITATION. AND DOCUMENTED ON THE CONSTRUCTION SITE INSPECTION CHECKLIST. INCIDENTS OF NON-COMPLIANCE MUST BE REPORTED TO THE ENGINEER.

Form with multiple sections: Part I, General Information; Part II, Description of Work Activities; Part III, Additional Information; Part IV, Additional Information; Part V, Additional Information; Part VI, Additional Information.

Part II. BMP Descriptions, Details Submittals to Part II.

Table with columns for Minimum BMP for Risk Level, Erosion, Sediment, Stormwater, and Other. Includes detailed submittal information for various BMPs.

Table with columns for Location, Description, and Inspection Date. Used for tracking inspection activities.

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Approval section with columns for REVISION #, SYMBOL, DESCRIPTION OF CHANGE, APPROVED, DATE, PROJECT ENGINEER, DATE, REVIEWED BY, DATE, RAMIRO ADEVA III, DATE, BARRE RCE NO., 09/20/16, EXPIRE DATE, AGOURA HILLS, SWPPP/EROSION CONTROL ATTACHMENTS BINA RESIDENCE 6000 LAPWORTH DRIVE AGOURA HILLS, CA. 91301 SHEET 11 OF 11.

PLANT MATERIAL LEGEND

SYMB	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	NOTES	DET.
⊕	EX. TREE TO BE RETAINED					
⊕	CERES OCCIDENTALIS	WESTERN REDBUD	15	15 GAL		3
⊕	CITRUS TREE		8	15 GAL	TO BE SELECTED BY OWNER	3
⊕	AVOCADO		95	15 GAL		3
⊕	NECTARINE		1	15 GAL		3
⊕	PEACH		5	15 GAL		3
⊕	PEAR		2	15 GAL		3
⊕	PERSIMON		4	15 GAL		3
⊕	PLUM		5	15 GAL		3
⊕	POEGRANITE		2	15 GAL		3
⊕	WALNUT		3	15 GAL		3
⊕	ARCTOSTAPHYLOS "EMERALD CARPET"		1 GAL		PLANT 36" ON CENTER	
⊕	BACCHARIS "TWIN PEAKS"		1 GAL		PLANT 36" ON CENTER	
⊕	GAZANIA M. "ORANGE"				FLATS PLANT 6" ON CENTER	

SYMB	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	NOTES	DET.
⊕	ABUTILON "THOMPSON"		50	5 GAL		9
⊕	AGAPANTHUS "STORM CLOUD"		16	1 GAL		9
⊕	CISTUS PURPUREUS		58	5 GAL		9
⊕	SALMA "MIDNIGHT BLUE"		52	5 GAL		9
⊕	DIETES BICOLOR	FORTNIGHT LILY	57	5 GAL		9
⊕	DISTICTIS BUCCHINATORIA	BLOOD RED TRUMPET VINE	40	5 GAL		9
⊕	HARDENBERGIA "HAPPY WANDERER"		46	5 GAL		9
⊕	HETEROMELES ARBUTIFOLIA	TOYON	9	5 GAL		9
⊕	LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	61	5 GAL		9
⊕	NERIUM "MRS. ROEDING"	OLEANDER	23	5 GAL		9
⊕	XYLOSMA CONGESTUM		94	5 GAL	HEDGE TO 6' IN HEIGHT	9
⊕	PITOSPORUM "VARIEGATA"		32	5 GAL		9
⊕	PRUNUS CAROLINIANA		39	15 GAL		9
⊕	RHUS OVATA		6	5 GAL		9
⊕	ROSMARINUS "TUSCAN BLUE"		17	5 GAL		9
⊕	MBURNUM "SPRING BOUQUET"		49	5 GAL		9
⊕	ENCELIA CALIFORNICA		28	5 GAL		9

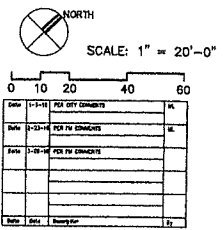
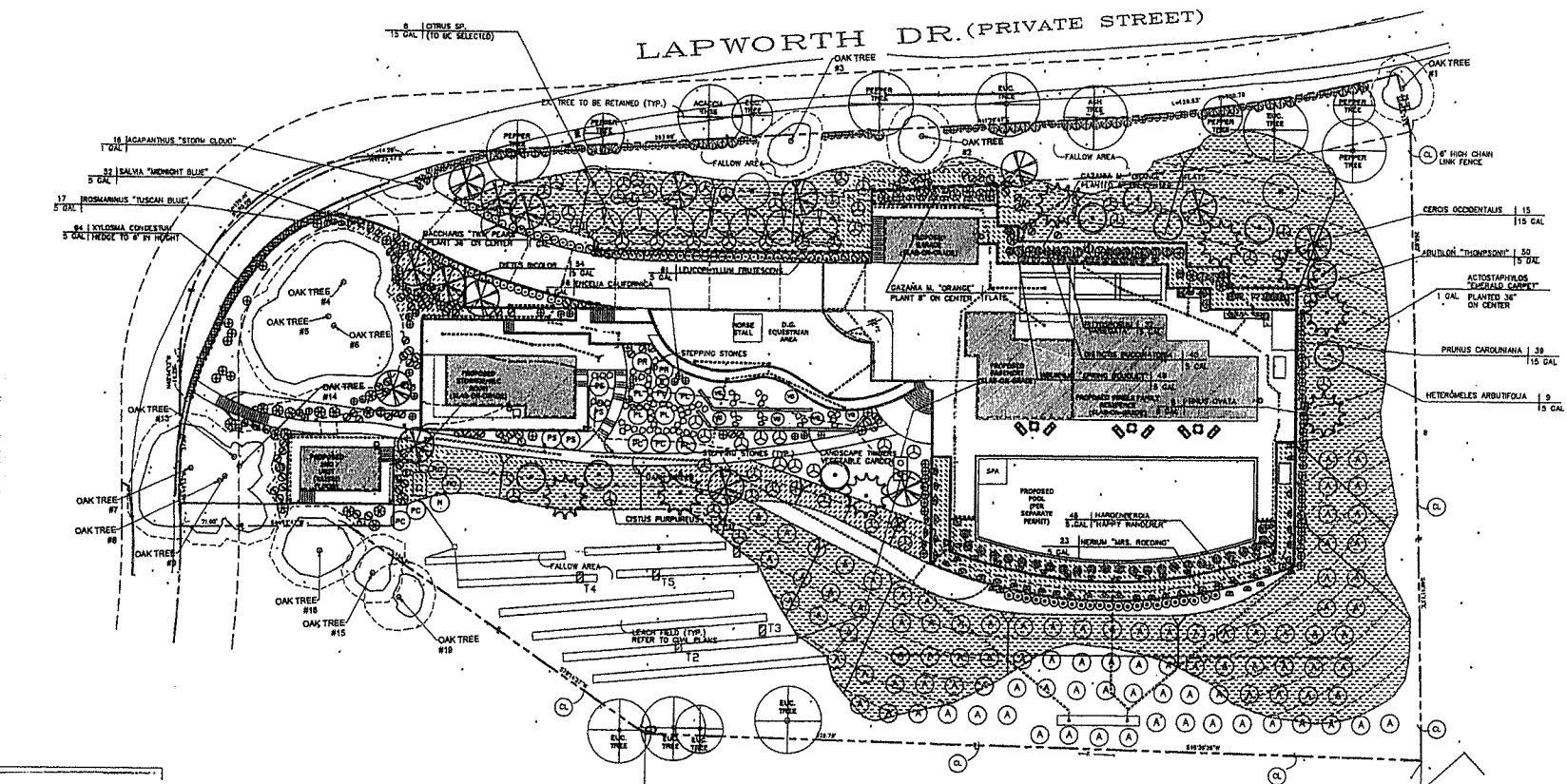
- PLANTING NOTES
- CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING ALL PLANT MATERIALS PER THESE PLANS, DETAILS AND SPECIFICATIONS. PLANT QUANTITIES SHOWN ON FIGURES ARE FOR ESTIMATING PURPOSES ONLY AND ARE NOT GUARANTEED. CONTRACTOR SHALL SUPPLY AND INSTALL QUANTITIES AS DRAWN ON THE PLANS.
 - LOCATION APPROVAL FOR ALL TREES AND SHRUBS SHALL BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION OF PLANT PITS. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO RELOCATE PLANT MATERIAL WITHOUT ADDITIONAL COST TO THE OWNER.
 - THE LANDSCAPE ARCHITECT SHALL INSPECT AND APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING AT THE SITE.
 - ALL TREES SHALL BE STAKED OR GUYED AS PER PLANT LEGEND AND DETAILS.
 - MULTI-TRUNK TREES WHERE SPECIFIED SHALL CONSIST OF A MINIMUM OF THREE TRUNKS OF APPROXIMATELY EQUAL DIAMETER ALL BRANCHING FROM A SINGLE ROOT CROWN. MAKE-UP MULTIS WILL NOT BE ACCEPTED.
 - ALL SHRUB AND GROUND COVER AREAS ARE TO BE MULCHED WITH SHREDDED BARK 3/4" DEEP MINIMUM.
 - ALL PLANTING AREAS INCLUDING LAWN AREAS ARE TO BE TILLED AND AMENDED PER SPECIFICATIONS.
 - THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT FOR ALL HEADER LAYOUTS PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO RELOCATE ANY HEADER LAYOUT PRIOR TO APPROVAL. WITHOUT ADDITIONAL COST TO THE OWNER.
- ABBREVIATIONS USED:
- | | |
|------------------|---------------|
| D - PENNY | MAX - MARGUM |
| O - DIAMETER | C - ON CENTER |
| GAL - GALLON | RWB - REDWOOD |
| TYP - GALVANIZED | TYP - TYPICAL |
| MIN - MINIMUM | W/ - WITH |

- LEGEND FOR CALL OUTS
- ⊕ DECOMPOSED GRANITE
 - ⊕ 6" HIGH CHAIN LINK FENCE
 - ⊕ VEGETABLE GARDEN
 - ⊕ TREE PROTECTION ZONE
- REFER TO DRAWING LD-1 FOR FUEL MODIFICATION NOTES & PLANTING SPECIFICATIONS



Client: BRIGITTE

Project: 6000, LAPWORTH DRIVE AGOURA HILLS



Revisions:

Date: October 22, 2010

Scale:

Drawing Title: PLANTING PLAN

Sheet No: LP-1

ATTACHMENT 5
PHOTOGRAPHS OF APPLICANT'S LOT







ATTACHMENT 6
PUBLIC COMMENTS, INCLUDING
OLD AGOURA HOMEOWNERS' ASSOCIATION
AND APPLICANT'S RESPONSE TO COMMENTS

December 2, 2014

Rene Madrigal, Associate Planner

Department of Planning

City of Agoura Hills

RE: Request for comments 14-CUP-0101 and 14-OTP-029 (applicant: Bina)

Thank you for this opportunity to comment on this project. As you know, our Zoning and Planning Committee of the Old Agoura Homeowners Association does not have any regulatory powers. We do appreciate the opportunity to interface with potential development projects before they are finalized. This allows the applicants advice on how to fit their projects into this unique neighborhood and comply with the City's Old Agoura Overlay to their planning guidelines.

This project is most difficult for us to advise, since it seems to not comply with most of the Old Agoura guidelines. While the lot is rather large, it does present unique challenges because of its topography. Rather than fit the project to the land, it chooses to cantilever much of it above the lot, reminiscent of the eyesore modern designs found along Malibu's coast and sometimes in the Hollywood hills.

Multiple retaining walls are indicated that exceed the cities height restrictions and present a negative visual impact for the neighborhood.

While we have found some modern designs that still fit within Old Agoura including a current applicant on Foothill Drive, this looks like a box on stilts. There is an ill-advised attempt to include window surrounds that do not fit this style. There are no other features that softens the stark look.

Because of the separate entries for each bedroom and the massive amount of parking, we think this looks more like an office business complex than a residence. Although we have no objections to pools, this one is 25% larger than the house itself. We can't help but wonder if this is intended to be part of a swim school in a residential zone. There is no indication of a cover to help with evaporation during this extended drought. The pool is also cantilevered over the lot, rather than fitting the lot.

Although there is a second unit allowable on residential lots in California and there is one indicated on the plans of appropriate size, there is a third residence referred to as storage/recreation but has all the amenities of a third oversized house with its own parking.

Finally in these preliminary comments, with a lot this size and very few oak trees, we cannot understand why there needs to be encroachment within their protected zones.

We would love to meet with the applicant to see if we can be of assistance in a proper design for Old Agoura.

Phil Ramuno

Daniel Farcash

Mike Colabella

Planning Commission
Agoura Hills, Ca
April 12 2016

Re: Rejection of proposed development on 6000 Lapworth Drive

I am writing this letter to the members of the Planning Commission to express all the things that are wrong with this proposed development.

This project consists of four buildings of which three, in reality, are two stories with an additional 300 sqft tack room and an oversized 5000 sqft swimming pool. Every building has at least one bathroom and so far there are eight separate bathrooms. The total square footage is close to 11000 sqft. This includes almost 3000 sqft that are technically not part of the square footage because they are partially under grade but practically speaking can be used as part of the living space in all the buildings. Even the garage has an additional upstairs room and bathroom. I understand that the owner will not be allowed to add bathrooms in these 3000 sqft but who is to know what they will do with the space if approved. There is also an additional 10000 sqft of hardscape that allows a huge amount of parking and when looked at all together will be one very large accumulation of concrete, not an enjoyable sight. Three bedrooms can only be entered from the outside pool area. This does not sound like a residential home and an Olympic Sized Pool seems quite a bit much for the two people that are supposed to be living here. A 2300 sqft "storage room with a bathroom seems like another home altogether. Once again, what's to stop them from adding a kitchen and possibly more bathrooms. No one is going to check on what's going on and if they were checked they would probably be slapped on the wrist.

The size of the pool, at this point in history when there have been extreme water shortages and even though there was supposed to be an el nino, on this date we are at 49% of average for the year. A pool this size is unthinkable. Instead of approving a pool the city should think of putting a moratorium on the building of all pools like many other cities have done so they enact new legislation against the size of pools in southern California. When residents have been asked to water sparingly one day a week and do all kinds of water saving projects the owner of this property should be embarrassed to ask for such a water wasting pool. The pool and the buildings do not fit the contours of the property. Even if an automatic cover was required the amount of water loss by evaporation would be enormous and if you build a very large pool like this you are going to use it often, not just keep it covered up in this hot California climate.

This project does not fit five out of six of the Old Agoura Residential Design Guidelines. For example number 3 reads "Respect Old Agoura's history and create architecture that incorporates both the essence of the historical periods of the area and the designs dictated by the local climate" and number 2 which states "Integrate into the surrounding neighborhood, considering compatible scale, style, color, and feel". The guidelines also state "A new home should not be out of proportion with adjacent houses. Most of the houses on Lapworth Drive are 2000sqft to 3500 sqft.

The proposed project also does not meet all the requirements for the Conditional Use Permit. Number 2 states "That the proposed project use is compatible with the surrounding property". I feel that it also does not meet 5 and 6. The design has been called a "box on stilts"

It looks more like a commercial complex than a house and does not fit into the surrounding area. It will be an eyesore. There are other indications that it might be a design for some kind of business venture like another rehab or resort. If that is the case, a single

family home

is not designed for many people using the facilities and streams of cars coming and going at all hours..Lapworth Drive is a very steep, winding private road..The residents of Lapworth have been given a taste of what the building of a large project will do to the congestion on such a unique street by the building in progress

of another home one third the size of this project right next to this..Its been a bit of a nightmare the last several months dealing with all the trucks, fumes, garbage, workers and confusion...

I must add that this property owner has been trying to get her project through plan check for one and one half years without success..There seems to be an explanation why it has been taking so long..As soon as the Old Agoura Homeowners Association wrote their review of the project back in December of 2014 the owner refused to accept any help in changing her plans from them or even talking to them..She was also was told to approach the neighbors to talk about it but she has not done that..She initially wanted her "guest house" to be 1400sqft instead of the legal limit of 700 sqft for any guest house in California and did not relent for months til she was advised that there was no possible chance to get her 1400 sqft guest house..Besides this change from 1400 to 700 sqft she has not really changed the size or design of her project in 1 and a half years..She initially asked for all kinds of variances for oak trees and heights of retaining walls for example and really pushed the envelope..She has not really gotten the message of what is acceptable..I personally believe it is because she is planning to build some business to make a lot of money and does not really care about the character and beauty of Old Agoura or its residents..She would be exposed if she tried to explain it to reasonable people in the city and in the neighbor hood..

The residents of Old Agoura rely on the Planning Commission to do the right thing to keep the character, beauty, and idyllic nature of this whole area..This project certainly goes against this premise..Old Agoura is a one of a kind place in all of California and the residents have been fighting a continuing battle for many years..Just because bigger and bigger houses have been approved does not mean bigger and bigger is progress or the right thing to do..Over the last 10 to 20 years many five to eight thousand sqft houses have been approved and built..A large majority of these houses were sold at a fraction of their asking prices or are still sitting there unable to be sold for a reasonable price so that the builder does not lose money..Maybe this is not the place to keep on building larger and larger homes..This project is not only bigger than almost any other but also just has way too many things wrong with it to be approved..

Please reject this project because of the reasons listed above..

Thank you for your consideration

Jon Levin

5947 Lapworth Drive

Old Agoura

818-706-1879

Jon Levin

*Please come
view the site before
the meeting*

April 18, 2016

Michelle D'Anna, Planner
City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

Re Project: 6000 Lapworth Drive, Old Agoura, CA

Dear Planning Commission"

I have always felt fortunate to live in my neighborhood in Old Agoura, it is quiet, clean, family oriented, no traffic, and above all else, safe. There are not too many areas that you can say that about.

Lapworth Drive is a steep and narrow road. The plans to build a large home with three other smaller buildings do not fit in the Old Agoura Building Guidelines. From what I understand - this home would be a "Sober Living" facility. It would house 5-6 fulltime residents. It would be less than a half mile from another "Sober Living" on Balkins/Lapworth. There is another "Sober Living" facility at 6425 Chesebro Road. Even though less than six full-time people reside in this home - there are meetings three to four times a week where 20+ extra cars now drive in and park. We have counted up to 25 cars at one of the meetings - but there are usually at 20 cars most of the time. This means you now have all these cars travelling down Chesebro for these meetings. There are mothers walking their babies in strollers, kids on bikes, dogs, and horses using the street - There are no sidewalks... It now has become a hazard with all this extra traffic.

So what is going to happen on 6000 Lapworth with its narrow street and such a large home? I hate to even think about it....

Please help us to keep Old Agoura Rural!

Kind regards,

Mary Lou Miller
6070 Chesebro Road
Agoura Hills, CA

PC Consultant

From: Jon Levin [jlevin1072@aol.com]
Sent: Tuesday, April 19, 2016 1:10 PM
To: PC Consultant
Subject: bina project 6000 Lapworth

Planning Commission
Agoura Hills
April 19,2016

Re:Opposition of proposed development on 6000Lapworth Drive

Besides the many things that are wrong with this project, like being one of the largest enclosed projects in Old Agoura, if not the largest when you take all of the square footage (including nearly 3000sqft that technically does not count in the square footage because it is mostly below grade), especially when the average size of a home on Lapworth is 2000 to 3500 sqft, when the proposed pool (without a proposed cover) is the largest in Old Agoura, and Southern California is experiencing a long running water shortage and residents have been asked to cut way back on their usage instead of the city proposing a moratorium on pools so the codes can be changed, when the project does not meet most or possibly all of the Old Agoura Design Guidelines and some of The Conditional Use Permit Requirements, especially #2 that states "That the proposed use is compatible with the surrounding property", that the official report of the Old Agoura Homeowners Association states "that the house looks like a box on stilts...and looks more like an office building complex than a residence", that there is a third home called a "storage room" with a bathroom and two floors, even the garage has two floors and a bathroom, and coincidentally the property owners son is a Physician Who Specializes In Rehabilitation Therapy..

Besides all the other negative aspects of this project that show that the project does not fit the guidelines of Old Agoura, this project shows all the indications of being a commercial enterprise...A large business that will specialize in rehabilitation therapy with a constant flow of many patients, not a single family residence as its application states..

Please take this all into consideration when deciding if this is an appropriate project for Old Agoura..It will negatively affect the residents of Lapworth Drive and surrounding homes along with potentially affecting all of Old Agoura and possibly open a floodgate for other similar businesses..This project is bad for Old agoura.

Thank you for your consideration

Jon Levin

5947 Lapworth Drive

April 21, 2016

Dear Planning Commission:

My name is Brant Turner and I reside at 6001 Lapworth Dr., directly across from the proposed Bina project.

According to the Old Agoura Residential Guidelines, any new residence should integrate into the surrounding neighborhood. This project does everything but that! The design of the house with a flat roof looks more like a Howard Johnsons than a residential property. That being said, I guess that is why it comes with a pool which will make us look like fools for allowing it. There is a water shortage and we do not need an Olympic-sized pool on Lapworth - unless we want to be mentioned in the LA Times as an example of people who feel entitled to scoff at the water usage guidelines. Speaking about the size of the pool and the compound that goes with it-where will the registration desk be? This is obviously a commercial development and people will want to know where to check in.

I am not opposed to development in general. I understand that Old Agoura will be built out. All I ask is for you to keep in mind that we are Old Agoura with an accent on the old- horse property with a rural, country feel.

My understanding is that Phil Ramuno tried to guide this project through so that it would not become acrimonious, but it appears that his advice was ignored in every detail. And now it is up to you, the Planning Commission, to decide if this development integrates with the ambience of Old Agoura and whether you want to put your name on it.

Sincerely,
Brant Turner

A handwritten signature in black ink, appearing to read 'Brant Turner', written in a cursive style.

April 21,2016

Dear Planning Commission:

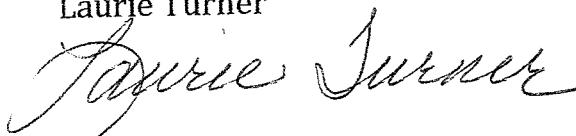
My name is Laurie Turner and I have lived at 6001 Lapworth Dr. in Old Agoura for nearly 30 years. The purpose of my letter is to voice my opposition to the proposed Bina residence at 6000 Lapworth Dr.

The Bina proposal is simply an insult to the Old Agoura Community. When a neighbor approached Mrs. Bina shortly after her purchase of the property and asked what kind of house she wanted to build, she arrogantly said she could build anything she wants. Well, that comment was definitely a harbinger for what is presently proposed. Even though a representative from the Old Agoura Homeowners Association advised the Binases as to what was spelled out in the Old Agoura Guidelines, they refused to consider any of them. This home and its outbuildings looks more like an industrial complex than a residence. The massive retaining walls, the flat roofs, the enormous pool and the storage facilities make it absolutely incompatible with any other home on Lapworth Dr. It is my opinion that the Binases have some type of commercial endeavor in mind for this area. We already have a Drug Rehab Center on Lapworth Dr. Perhaps this is another one.

The Binases' proposed pool is nearly 3 times the size of my entire house! This pool is a slap in the face to all of the Agoura Hills residents, who have followed the water restrictions and have let their lawns and shrubs die in order to conserve water. This attitude of entitlement is an outrage! Agoura Hills should immediately put a moratorium on all pools. That this city would allow an Olympic sized pool to be built in someone's backyard during a 4 year drought is unconscionable.

It has been a privilege to live in the beautiful community of Old Agoura. I value the rural ambiance, and have written numerous letters and attended many Planning Committee meetings trying to preserve the natural beauty of this residential area. It is simply heartbreaking to me to see this proposal. I understand that development is unavoidable, but this project is completely incompatible with the surrounding neighborhood. It is my hope that the Planning Commission will uphold Section 9673.E Item# 2 of the zoning ordinance and reject this proposal in its entirety.

Sincerely,
Laurie Turner



TO: THE HONORABLE MEMBERS OF THE PLANNING COMMISSION
FROM: S. BRIGITTE BINA
RE: 6000 LAPWORTH DRIVE AGOURA HILLS April 25, 2016

Honorable members of the Planning Commission, before I respond to the accusations and mis-construed facts about my project, I like to express my sorrow for having Mr. Levin as my future neighbor, I am embarrassed for this neighbor. Ever since I purchased this land on November 4th of 2013, I have been harassed, yelled at, bullied, chased out and disrespected by this neighbor with such a hostility. It is clear to me that Mr. Levin intends to continue the abuse unless I sell my land and leave. And I am sure he will continue this process with the next land owner. The problem is not our building plan, rather, some on Lapworth Drive are not too thrilled and don not accept that there will be a house on this land andTO:

Honorable members of the Planning Commission, before I respond to the accusations and mis-construed facts about my project, I like to express my sorrow for having Mr. Levin as my future neighbor. I am embarrassed for this neighbor. I must say that since I purchased this land on November 4th of 2013, I have been harassed, bullied, chased out and disrespected by this neighbor with such a hostility. It is clear to me that Mr. Levin intends to continue the abuse unless I sell my land and leave. And I am sure he will continue this process with the next land owner.

The problem is not our building plan, rather that a few on Lapworth Drive are not too thrilled to accept that there will be a house on this land that they had used as a park for many years

Mr. Levin, and his next door neighbors Turner, Maltese, Meyer have enjoyed my land for decades like a park they have installed and bolted a bench into the ground at the border of my land on the easement, to sit and enjoy the view, they walk their dogs in my land and they don't like to give it up.



Mr. Levin has installed a big post right on my land with very large stones around the only access area where we can drive in or because it is wider we can park to prevent me from parking my car (when I visit). Our landscaper is prevented from entering his truck into our land to clear brushed by the Fire Department ordinance.

I can't even park my car in front of my own land to show the land to my engineers. Mr. Levin embarrassed me the very first time we visited my land. We visited within 3 days of purchasing it. Mr. Levin ran out of his house towards us, waving his arms in the air, shirtless, and barefoot. He was screaming, waving his arms in the air, angrily yelling, "you can't park here- this is private road"- while he was running towards us, he told me that he will not let me build on that land, and that they want to keep it the way it is- undeveloped. " and he ran back into the house.

most of the time I am alone, waiting for some engineer and it has become unbearable, just a few weeks ago I parked my car on the street in front of my land and sat in the car waiting for a builder to meet me, Mr. Levin shouted at me to leave because that street is his land and I cant even stop there for minutes, i said i am parked in the street, he repeated yelling again and I had to park in the Balkins street. Mr Levin has been behaving erratically before even we submitted any plans or knowledge of any plans. I think that

if Mr. Levin feels so strongly about this land he should have purchased it to prevent it from building. He cant expect anyone to just leave their land vacant for neighbors enjoyment.

I purchased this property and pay taxes on it. Shall I just leave it vacant for Mr. Levin to park on and walk on. My structures will be below the Lapworth ridge line, so all the neighbors have full view of the hills across my land as before. I could have planed the structures level with the Lapworth as all these neighbors have, in this case they would not have any views of the far hills.

I have been told by that complaints may be made to the Owner's Association, and the O.A. will not allow me to develop my land. I'm not sure why that would be since HOA have not contacted me to speak with me. I have seen small tents in my land very early in the morning, I am not sure these tents are rented by a neighbor in my land. There are food residues and cigarette butts on the land. I am concerned.

I am including the picture of the post and the array of stones Mr. Levin placed on my land (we removed some)so that I would not be able to park. The surveyor's report clearly shows that this is my land. It is also a LA County easement.

We have taken the high road so far, and have not objected to this type of harassing and irrational behavior. Mr Levin is not even across from my land, his house is across from Sharma's. I am sure He did not support Mr. Edward's plans when the land belonged to Edwards' ,the only reason he supported Sharma's plan is because Mr. Levin knows that Edwards plans were approve before, and so will Sharma's plan, so he is keeping his full ammunicions for my land / plans regardless of who owns it.

It is a sad affair but it does not discourage me a bit from building this beautiful land in Old Agoura that we appreciate so much. I am including picture of the above mentioned neighbors houses, so that you see that the buildings on my property (please see renderings) is more in congruence and harmony with the rural character of the Old Agoura that the most of the neighbors houses.

My family and I moved to New England 30 years ago from Maryland, due to my husband's position as an Economics professor. We bought our new house, and the first day of our moving in, our neighbors pleasantly came with trays of refreshments, juices and cakes to greet us and welcome us to the neighborhood, and help us with the move.

I am sure that the majority of people in Old Agoura are very kind and neighborly. I have prepared the plans within 100% of the guidelines of Old Agoura Hills. Our plans for our family home is we have taken the high road so far, and have not objected to this type of harassing and irrational behavior. Mr Levin is not even across from my land, his house is across from Sharma's. I am sure He did not support Mr. Edward's plans when the land belonged to Edwards' ,the only reason he supported Sharma's plan is because Mr. Levin knows that Edwards plans were approve before, and so will Sharma's plan, so he is keeping his full ammunicions for my land / plans regardless of who owns it.

supported by the Agoura Hills Planning Department.

Sincerely,

S. Brigitte Bina

PC Consultant

From: BRIGITTE [brigitte717@yahoo.com]
Sent: Monday, April 25, 2016 10:45 PM
To: PC Consultant
Subject: Construction detail / description of 6000 Lapworth
Attachments: CONSTRUCTION DESCRIPTION LAPWORTH.pdf

Hello Michelle,

Attached id construction details.
please send this to the Planning Commission.

Thank you,

Brigitte B
(310)310-2991

CONSTRUCTION DETAILS.

**DESCRIPTION FOR THE PROPERTY LOCATED AT # 6000 LAPWORTH DRIVE,
OLD AGOURA HILLS.**



April 25, 2016

1) Modern amenities and rural/rustic look and feel- blurring the lines between interior exterior spaces surrounded by gardens and large existing 19 oak trees, restrained elegant limited in intensity subordinate to the land sits lightly on the land, green roof keep house cool, reduces energy use, and esthetically pleasing, mini farming oasis, harvest pantry, storage/utility/horse keeping area, horse feed, lime stone sandy creme color cladding, rain water catch basin, solar and geothermal system will be installed for heating cooling.

This property is almost three acres and is designated as “rural equestrian, light— agricultural horse property”. in the Old Agoura Hills Ordinance.

The proposed main house on this property is a one story decentralized home in the rustic Tuscan village style.

2) This land is shaped like an auditorium (1/2 bowl shaped) therefore constructing retaining walls are necessary as rules require. The buildings will be constructed lower than the ridge-line of Lapworth drive (in accordance with Old Agoura Guidelines) and almost on the bottom of this bowl in consideration that the buildings don't block the views of our neighbors across the street or do not hover over the neighbors below the hill, all of structures are less than 14 feet in height. The main house is decentralized spread around village style in this the 3 acres of land to soften the views from the below of the hill. The alternative would have to build all in a 2 story building at the same level of Lapworth which would have been less costly and less engineering with the retaining walls, this way we would have block the views of the neighbors completely, just like the way the neighbors have built at the same level of Lapworth and block our view of the beautiful hills in back of their houses. I must mention that our buildings are not visible

from the neighbors view across us on the Lapworth drive, but they still have gorgeous views of the far hills on our side.

3) Initially we asked the City to remove an oak tree. However, since we had to apply for the variance, we revised the original architectural and civil plans, and moved back two of the accessory buildings to avoid removing that one half dead oak tree, we have 19 very large beautiful **oak trees** plus pepper trees and eucalyptus trees.

I am a naturist, so it is my intention not to cut any trees, we will plant fruit and vine trees. We will place drought tolerant, potted shrubs and bushy plants on the roof so that roof appears green instead of brown / combustable shingles. Only organic matter will be used. No pesticides or chemicals will be sprayed. Drip or micro spray will be used for irrigation on this mini farm.

4) All of the retaining walls and accessory buildings and their walls will be covered with vines and shrubs and these accessory buildings will almost disappear in the green landscape as shown in the renderings and pictures. The structures will be built with steel studs, concrete, and stone instead of wood framing. We will not destroy trees to build a house. There shall be no wood waste. "Green standard", energy efficient, solar, non-combustable, nonflammable, and termite free.

5) The **windows** will be double pane and tempered on at least one side of pane.

6) 6 feet high white color wooden railing ranch style fences will be constructed around the property perimeters, and 3 foot high of same type where ever railings are needed for steps.

7) **Fencing** around the roof of the main house will be of the height of 40 inches made of clear glass..

8) In compliance with the **Fire department** we will widen the Lapworth Drive to 20 feet and pave and improve most of the Lapworth Drive that now is in a very bad repair and does not comply with the Fire Code. I am suggestion gravel like (chip seal) to preserve the rural look.

9) The materials of the exterior such as stones were not available to purchase as sample unless we were to order a truck load, however, photos of the gravel for grounds and stones for walls are provided for the city. Also, the exterior color of all concrete exterior building are already submitted. I did provided the City a few sets of renderings

and will show the pictures of the other houses in the neighborhood as well for comparison if on the night of the Commission's Board meeting.

10) There will be a 20 feet wide and 6 feet high barn style brown wooden **gates** from Lapworth street to the driveway of the property. The garage door and tack room will be barn style as well.

11) **The driveway** coming into the property as it is recommended in the AH code book will be gravel like (chip seal).

12) The only **hardscape** will be right in front of the entrance to the main house, the rest of walk ways in the entire property will be gravel, which is very harmonious with beautiful Old Agoura Hills rural character that we absolutely love. We looked for a property like this for 7 years, after relocating to southern California -from living in New England for almost 30 years.

13) All of the retaining walls and all the accessory buildings will be aesthetically covered with vines and trees to blend in with the farm greenery.

14) According to the code, the height of main house can be up to 35 feet for the main house however the height of the our one story main house is less than 16 feet.

15) To meet title 24 code we will install over hangs on windows and they will be cloth of similar color of the exterior stones.

16) Per Mr. Hooper's sound advice, we changed the location and positions of the buildings in congruence with the contour of the land.

17) We have revised all of our initial plans and re-planned them again with 100% of the recommendations of city consultants, and changed many of the details, it has taken us since 2013.

18) All the **driveways and courtyards** will be gravel, chip seal (samples photo are provided). Only a small area in front of the main **house entrance** will be sandstone/ limestone (sample picture provided).

19) The deck on between living room and **pool** will be sand/lime stone. The small areas on the right and left sides of pool will be lawn. The back end of pool is actually a retaining wall.

20) The **pool** may seem large, We have reduced the size of pool from initial size so now the pool is smaller now, it starts from -0- entry, to only a couple of feet up to the middle of the pool (this area could have been a paved patio in front of living room instead of a few inches of water view), I have 3 toddler grandchildren who will visit us from Santa Barbara on weekends and the shallow water is designed for their enjoyment and safety. The far left end of pool is 5 feet at the end, 10 feet at the right side deep end. **The pool will have a cover to decrease evaporation.**

If it happened that there is fire in the vicinity, our pool can be a source of water to help out with the demand for water aiding the fire department, if necessary.

21) There are no steps or **various levels** around the main house because I have a past history of falling and injuring myself. I simply intend to prevent tripping and falling in the best way that I can, it certainly is more costly to have even surfaces, but it beats the pain of broken tail bones and injured spine and knees, as I had experienced in the past.

22) During my conversations with the officials of the city of Agoura Hills, I was asked about the basements in our plans, I have lived in Northeast (Maryland and New England) for 40 years and always had basements. It is very odd to me not having a basement in the main house for storage and mechanical room out of reach of children. This land is 3 acres and it is zoned residential / agricultural / horse property and it is different than the other neighboring lands such as Sharma property (#5952) right next to my land that is in process of construction now.

It has been my life's long dream to establish a mini farm to grow our own fruits and vegetables few chickens to have fresh eggs, and have bees for honey, I will plant wild flowers where we are allowed for butterflies and bees. This land is my retirement paradise, a home for my family. Based on this zoning.

I am entitled to have light agricultural activity and numbers of horses and some live stock, therefore I can have a barn and 3 sheds. According to the Rules, for the aesthetic reasons I combined them all in one building called **utility / storage** that with the same style of exterior as the main house for uniformity / neatness.

This area is a fire hazard area therefore using wooden sheds or barn was not a good idea.

This is a horse property so we can have tack room as well. The utility room works as a **barn** for the care and upkeep of animals, to store fruits and vegetables that we are growing, the gardening tools and stable for the numbers of horses we will have.

According to code we can have a 700 square foot guest house which will be used by my grandchildren and their parents on weekend.

We were planning to build a **covered open porch** on the top of garage for a gym, but the city informed us that a covered porch will count as room anyway so we thought we may put walls around it as well, there are no bath rooms on this floor,

23) The utility //storage structure will serve as barn/shed for the horses' necessities. It is located near the horse corrals/equestrian area, and near the gates to Lapworth for easy access. According to the City Code, an equestrian horse property or light agricultural land as this one can have at least a barn for horses and several sheds. I thought it would look better to have less structures on the property of different styles and materials, so I have consolidated them all in one location instead with, the same look and appearance with the main house, this way, the look is more farm like decentralized, and they form a charming rustic village like atmosphere of few cottages on the hill. The structures are not visible from Lapworth drive.

24) The heating / cooling system will be hidden on the far side of building to the North behind the pool retaining walls.

(25) The premier fencing would be white wooden (or mimic wood) equestrian split railings. Railings around the all roof tops and around the pool will be glass. Railings for stairs around the yard will be white wooden (or mimic wood) equestrian split fencing.

(26) The main gate, tack room and the garage doors will be of brown wooden-type barn door style.

My team was asked many times by the City's staff about the future residents of this property, besides the applicant.

My son Bobby and I will be residing in this house.

My son, Bobby Bina is a physician who grew up in Maryland and New England, graduated from Johns Hopkins University. Currently he is a Federal Employee for the Veteran Administration Healthcare System in Long Beach as Chief of the Department of

Pain Management. We will have weekend visits of my three tiny grandchildren from Santa Barbara with their parents.

Dear city officials and members of the Planning commission.

It has taken 2 1/2 years for this project to this point, I have designed this property's architectural and the landscape plans 100% in compliance with the City of Agoura Hills' codes and Old Agora's rules, and have taken into account all of the City's staff and City consultants' recommendations.

I have worked full time, hiring, contracting and coordinating with the city for almost 3 year, I have revised and revised the architecture plans, civil and landscape plans. Initially retaining walls were 10 foot high, I replaced the civil engineer with someone who was able to plan these retaining walls that are not higher than 6 foot. I had to replace the landscape architect with someone who was knowledgeable enough to meet the oak, tree, planting, fuel modification ordinances.

In fact,I did all of the planning twice, with twice the cost to meet the requirements. I believe that everyone has the right to use their property as long as they comply with the city's and county's codes. Our family home project complies with all such codes and is supported fully by the Planning Department.

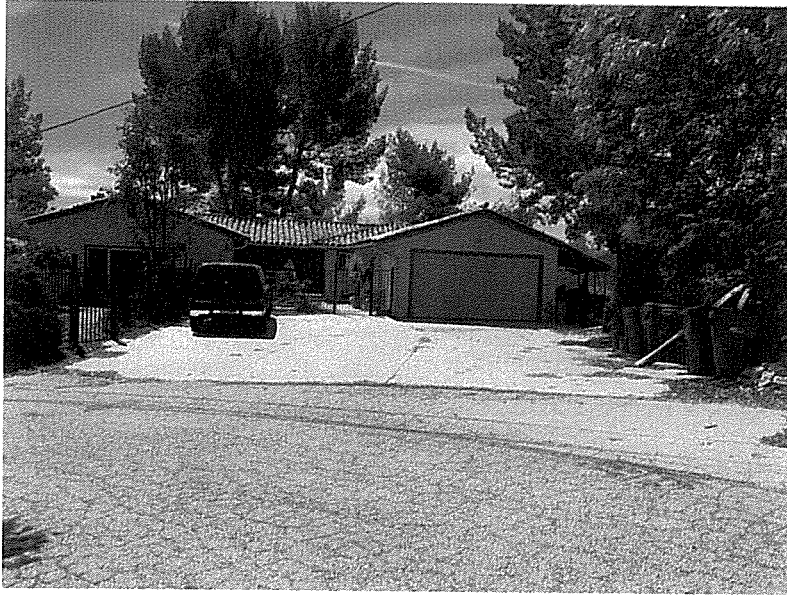
Please let me know if there are any ambiguities or questions that I failed to cover.

Thank you.

Respectfully submitted,

S Brigitte Bina

These are two photos of Mr. Levin's house.



This letter below was sent to the Planning Commission by Jon Levin that I (Brigitte Bina) am responding to.

My responses are inserted in green color text.

April 25, 2016

Jon Levin letters are in black text.

“Planning Commission Agoura Hills, Ca

April 12 2016

Re: Rejection of proposed development on 6000 Lapworth Drive

I am writing this letter to the members of the Planning Commission to express all the things that are wrong with this proposed development.

“This project consists of four buildings of which three, in reality, are two stories”

This is incorrect. Three foot above ground basements in utility building not considered as floor according to code. The basement in the main house is fully underground with no access to the outside.

“with an additional 300 sq. ft. tack room”

A horse property can have tack room.

“and an oversized 5000 sq. ft. swimming pool”

Our pool is less than 5000 sq. ft. And more than half of is a few inches to a couple of feet deep. The deep area is only twice as large as neighbor Sharma’s pool. Sharma’s also have a pond, but we don't have a pond.

“there are eight separate bathrooms..”

Not true there are 4 baths in the main house. There is one toilet and sink in the garage for the gardener. There is one

sink/toilet in the utility room that works as barn and shed. The guest house has bathroom and is compliant with the Old Agoura Ordinance.

“Even the garage has an additional upstairs room and bathroom”
There are no bathrooms upstairs of the garage.

“I understand that the owner will not be allowed to add bathrooms in these 3,000 sq. ft but who is to know what they will do with the space if approved..There is also an additional 10,000 sq. ft of hardscape that allows a huge amount of parking and when looked at all together will be one very large accumulation of concrete”

This is incorrect. The Fire Department requires to have 20 ft wide road and turn around. This land is sloped, and we incorporated the contour of the land for minimal grading in the entire project. There will be trees planted on either side of the driveway inside our property and using gravel or (chip seal), as it is recommended in the guidelines, this will look natural and charming. There will be no concrete or asphalt look.

“not an enjoyable sight...Three bedrooms can only be entered from the outside pool area.”

This not true and not at all consistent with our plans. The three bedrooms have their bedroom entrance doors inside the building from the main hallway. This way, our family may access the bathrooms in the bedrooms from the pool area immediately, instead of walking through the house dripping water all over the floors to enter the bedrooms from inside the hallway. We don't have a pool house or shower outside the main house. Mr. Levin is misconstruing the facts and gives me every reason to believe that he would never

approve anyone to build in this land since he has been using it like a parking lot and dog park to walk his dogs.

“This does not sound like a residential home and an Olympic sized pool seems quite a bit much for the two people that are supposed to be living here..”

I will be retiring in this house, and my son will be living there with his upcoming family.”

“A 2300 sq. ft "storage room with a bathroom”

Again there is no bath, just a sink and toilet.

“The size of the pool, at this point in history when there have been extreme water shortages and even though there was supposed to be an el nino, on this date we are at 49% of average for the year..A pool this size is unthinkable..Instead of approving a pool the city should think of putting a moratorium on the building of all pools like many other cities have done so they enact new legislation against the size of pools in southern caliifornia..when residents have been asked to water sparingly one day a week and do all kinds of water saving projects the owner of this property shoud be embarrassed to ask for such a water wasting pool”

We are not embarrassed at all. This project is beautiful, green, and efficient. The pool is much smaller than what is sensed. That is part of the design. We will have a grey water system, and rain water collection system. The pool is really only 2,000 sq. ft.

“The pool and the buildings do not fit the contours of the property”

We took Mr. Hooper’s advice, and revised our plans to do exactly that, and to go with the land slope and contour.

“Even if an automatic cover was required the amount of water loss by evaporation would be enormous and if you build a very large pool like this you are going to use it often, not just keep it covered up in this hot California climate..”
We do have a pool cover.

“This project does not fit five out of six of the Old Agoura Residential Design”

Not true there are many larger houses on smaller lots in the vicinity. There are all kinds of homes, both old and new, in Old Agoura that may not seem to fit with Old Agoura Residential Design.

“1 D Guidelines..For example number 3 reads"Respect Old Agoura s history and create architecture that incorporates both the essence of the historical periods of the area and he designs dictated by the local climate" and number 2 which states"Integrate into the neighborhood considering compatable scale”

The land is almost 3 acres and large. And the scale should be larger but it is not

“style, color.”

Style is a rustic country Tuscan village with equestrian features and feel.

“..The surrounding ,guidelines also state"A new home should not be out of proportion with adjacent”

The adjacent house to us is Edward's/ Sharma's house. This is an approved 5376 sqf with 1446 sqf barn and 4 car garage of 910 sq. f. But the Sharma's built it a bit smaller to 4,712 for the main house and studio with 3 car garages. This is all on a lot of 1,38 acre or 59000 sq. f. Out of this 59000 sq.f land, only one acre of Sharma's land is located inside this property and is useable. The excess of one acre makes up the Balkins

road and is unusable. Our land is almost 3 acres of all useable land.

“Most of the houses on Lapworth Drive are 2000sqft to 3500 sq. f also does not meet all the requirements for the Conditional Use”
This is simply untrue.

“The proposed project Permit..Number 2 states" That the proposed project use is compatible with the surrounding property" ..I feel that it also does not meet 5 and 6..The design has been called a" box on stilts”

“It looks more like a comercial complex than a house and does not fit into the surrounding It will be an eyesore”

Mr. Levin will not be able even to see our house from his house since our house is lower than Lapworth and Mr Levin is not directly across from our land, Levin's house is across from sharma's but he uses my land to park his cars and he has installed a big post on the ground with several huge stones scattered around so that I can't park inside my land when I visit there, Mr. Levin has blocked the road to the land and we have no other access to enter the land for clearing the brushes now. These are the reasons why he does not want that land to be developed, for him is a parking lot and a park for his use. He installed the post deep into the ground on my property and placed large stones. He did this within one month after I purchased the land.

“There are other indications that it might be a design for area.. ..some kind of business venture like another rehab or resort..If that is the case”

This is untrue and slanderous/libel. I suppose if it looks resort-like, then how could this be an eyesore?

“a single family home is not designed for many people using the facilities and streams of cars coming and going at all hours..Lapworth Drive is a very steep, winding private road..The residents of Lapworth have been given a taste of what the building of a large project will do to the congestion on such a unique street by the building in progress of another home one third the size of this project right next to this..Its been a bit of a nightmare the last several months dealing with all the trucks, fumes, garbage, workers and confusion...

I must add that this property owner has been trying to get her project through plan check for one and one half years without success..

There seems to be an explanation why it has been taking so long..As soon as the Old Agoura Homeowners Association wrote their review of the project back in December of 2014 the owner refused to accept any help in changing her plans from them or even talking to them..She was also was told to approach the neighbors to talk about it but she has not done that..She initially wanted her "guest house" to be 1400sqft instead of the legal limit of 700 sqft for any guest house in california and did not relent for months til she was advised that there was no possible chance to get her 1400 sqft guest house..Besides this change from 1400 to 700 sqft she has not really changed the size or design of her project in 1 and a half years.

She initially asked for all kinds of variances for oak trees and heights of retaining walls for example and really pushed”

We are not cutting any oak trees or any trees the height of retaining walls are no more than 6 foot necessary for the hillside. All 19 oak trees are preserved.

“the envelope..She has not really gotten the message of what is acceptable..I personally believe it is because she is planning to

build some business to make a lot of money and does not really care about the character and beauty of Old Agoura or its residents..She would be exposed if she tried to explain it to reasonable people in the city and in the neighbor hood..

The residents of Old Agoura rely on the Planning Commission to do the right thing”

The members of the Planning Commission seem to be reasonable people, as I have seen on videos of the meetings.

“to keep the character, beauty, and idyllic nature of this whole area..This project certainly goes against this premise..Old Agoura is a one of a kind place in all of California and the residents have been fighting a continuing battle for many years..Just because bigger and bigger houses have been approved does not mean bigger and bigger is progress or the right thing to do..Over the last 10 to 20 years many five to eight thousand sqft houses have been approved and built..A large majority of these houses were sold at a fraction of their asking prices or are still sitting there unable to be sold for a reasonable price so that the builder does not lose money..Maybe this is not the place to keep on building larger and larger homes..This project is not only bigger than almost any other but also just has way too many things wrong with it to be approved..

Please reject this project because of the reasons listed above..”
Irrelevant and biased opinions of Mr. Levin.

Thank you for your consideration

Jon Levin

5947 Lapworth Drive WL F 1

818-796-1879 Lk

This letter below was the second letter sent to the Planning Commission by Jon Levin that I (Brigitte Bina) am responding to, my responses are inserted in green color text.
April 25, 2016

Jon Levin letters are in black text.

Planning Commission
Agoura Hills
April 19,2016

“Opposition of proposed development on 6000Lapworth Drive”

“Besides the many things that are wrong with this project, like being one of the largest enclosed projects in Old Agoura,if not the largest when you take all of the square footage(including nearly 3000sqft that technically does not count in the square footage because it is mostly below grade), especially when the average size of a home on Lapworth is to 3500 sqft”

This is not true, the Sharma house that is currently under construction is located at 5952 Lapworth right next to our property is a 4,712 square foot home with a 692 sq.f. garage. Plus a studio above garage of 604 sq.ft. A swimming pool of nearly 800 sq.f. All this on a 59,983 sq.ft. lot (1.38 acres). The building height for Sharma is 32 ft. They removed an oak tree. These were all approved.

Our building heights are less than 16 feet. Our property at 6000 Lapworth is nearly 3 acres (122,582 sq.f.). Our main house is smaller than Sharma's. Our main house is 4,374

sq.f. Our total lot coverage is 12,579, including the swimming pool. This is less than 6%. The Sharma home looks smaller from the front of their house. However, from the top of Lapworth, the back of the Sharma house is quite large. Sharma's buildings are not the largest in the immediate vicinity. Right across the street on Balkins is a single family home of 5,420 sq.f. on a 1.01 acre parcel. Two lots to the east are home to a single family home of 5,324 sq.f. On the southwest corner of Balkins and Lapworth is a 5,536 sq.f. single family home on a parcel less than one acre of 0.92 acre land. Therefore, the proposed size of our residence is consistent with the most recently approved homes in the surrounding area.

“when the proposed pool(without a proposed cover) is the largest in Old Agoura”

The applicants pool at 6000 Lapworth does have a cover to reduce evaporation, more than half of the pool is less than 2 feet, so that my 3 toddler grand children can play in the shallow water. This pool starts from zero entry to 2-3 feet for most of the pool instead of having a large patio of cement outside of the living room, this area has a few inches of water. In addition we will have a recycled grey water system, which is very unique in the neighborhood in conserving water.

“Southern California is experiencing a long running water shortage and residents have been asked to cut way back on their usage instead of the city proposing a moratorium on pools so the codes can be changed, when the project does not meet most or

possibly all of the Old Agoura Design Guidelines and some of The Conditional Use Permit Requirements”

This is not true the application for 6000 Lapworth drive is 100% in compliance with the Old Agoura Hills guidelines and all of the conditional use permit requirements.

"Old Agoura Homeowners Association states" that the house looks like a box on stilts.”

You may read our response to the Home Owner's Association letter. The fact is that our buildings are not visible from the neighbors living across the street on Lapworth because the buildings are below the ridge line of the land and not at the same level of Lapworth Drive, most of the buildings are tucked into the hillside. There are no stilts. We do not know what that means.

"and looks more like an office building complex than a residence",that there is a third home called a "storage room"

The applicant's property is located in the Equestrian Overlay District which requires properties to accommodate for horse keeping. These include, areas of covered stalls, hay, and tack storage, delivery of supplies, veterinary care, etc. Therefore, the utility/storage building is horse facility, which is close to the gate/drive way and horse arena. In addition, this storage/utility area will house the garden supplies, tools and functions as a barn and shed.

"with a bathroom and two floors,even the garage has two floors and a bathroom”

This is incorrect. The utility room has one toilet and sink. Also, the garage has one sink and toilet. There is no toilet on second floor of the garage. Initially, the second floor of garage was just a covered porch. However, since we were

told by the city personnel that even a covered porch will count as part of the floor ratio, we turned it into a room for our gym equipment.

"and coincidentally the property owners son is a Physician, who Specializes in Rehabilitation Therapy"

The property owner's son is not a Rehabilitation Therapist. He is a Department Chief at the Veteran Administration Hospital in Long Beach, His specialty a Physical Medicine & Rehabilitation Johns Hopkins University. His training is in treating spinal cord, stroke, and brain injured patients.

"Besides all the other negative aspects of this project that show that the project does not fit the guidelines of Old Agoura, this project shows all the indications of being a commercial enterprise...A large business that will specialize in rehabilitation therapy with a constant flow of many patients,not a single family residence as its application states.."

Obviously, Mr Levin is not dealing with the facts, rather his allegations are based on false assumptions and are biased. Six thousand Lapworth Drive will be our family residence and is 100% in compliance with the Old Agoura Hills guidelines.

"Please take this all into consideration when deciding if this is an appropriate project for Old Agoura. It will negatively affect the residents of Lapworth Drive and surrounding homes" This is the most appropriate development, it is Green, non-combustable, energy efficient, water conserving, low land coverage, low floor coverage- in comparison with recent developments- and a beautiful property that adds to the vicinity. What is affecting the area is that the road is in disrepair- broken asphalt and narrowed road due to the front yards of neighbors encroaching onto the road. Trash cans built up and a parked boat on street of Lapworth by Mr.

Levin- odd structures in the front yard of Meyer- junk cars in front of their properties and unkempt appearance of Mr. Levin's house on Lapworth drive.

"along with potentially affecting all of Old Agoura and possibly open a floodgate for other similar businesses..This project is bad for Old Agoura"

On the contrary. The applicants' project will improve Lapworth Drive of its current broken asphalt and narrowed road that resulted from neighbors front yard encroachment into the road and Los Angeles's County's easements. The applicant's development will increase the value of the neighboring houses by upgrading the road to comply with the Fire Codes.

Thank you for your consideration
Jon Levin
5947 Lapworth Drive

This letter below was sent to the Planning Commission by Mary Lou Miller that I (Brigitte Bina) am responding to, my responses are inserted in green color text. April 25, 2016
Miller's letters are in black text.

Re Project: 6000 Lapworth Drive, Old Agoura, CA

Dear Planning Commission"

"I have always felt fortunate to live in my neighborhood in Old Agoura, it is quiet, clean, family oriented, no traffic, and above all else, safe. There are not too many areas that you can say that about."

Very true. Old Agoura Hills is a unique, delightful paradise. And we love it very much as well.

"Lapworth Drive is a steep and narrow road."

I, as the owner of 6000 Lapworth Drive, must improve, pave and widen this road. This road had been neglected, and has deteriorated. The resident's of this road have encroached into the road onto the easement and caused the road to become narrow.

"The plans to build a large home with three other smaller buildings do not fit in the Old Agoura Building Guidelines. From what I understand"

This person either did not read the Guidelines or did not understand the guidelines.

"this home would be a "Sober Living" facility. It would house 5-6 full-time residents. It would be less than a half mile from another 'Sober Living" on Balkins/Lapworth."

This will be our family home and not a sober living facility. This accusation is absurd. These assumptions are accusatory, unfair, and biased. Just because there is a sober living facility in Agoura Hills does not mean all the developments that are going on are to be one. Does this mean that no doctor can ever move to Agoura because he wishes to establish some kind of center? Rehab centers are run by large companies and must comply with all kinds of hospital-like regulations. Corporations that rent houses may need to be looked at. The remedy may be that the city can prohibit single family homes from being rented to such facilities. I will support such an ordinance.

“There is another “Sober Living” facility at 6425 Chesebro Road. Even though less than six full-time people reside in this home - there are meetings three to four times a week where 20+ extra cars now drive in and park. We have counted up to 25 cars at one of the meetings - but there are usually at 20 cars most of the time. This means you now have all these cars travelling down Chesebro for these meetings. There are mothers walking their babies in strollers, kids on bikes, dogs, and horses using the street - There are no sidewalks... It now has become a hazard with all this extra traffic.”

It seems that Mary Lou Miller from 6070 Chesebro Road, who does not even live in the vicinity of Lapworth Drive and lives miles away, has general complaint about the City of Agoura Hills and the way the City operates. She has general grievances about the City, but Ms. Miller is taking it out on 6000 Lapworth Drive. She is using 6000 Lapworth as a scapegoat.

“So what is going to happen on 6000 Lapworth with its narrow street and such a large home? I hate to even think about it”

This will be our family home. In comparison to other homes in the immediate vicinity and on smaller parcels of land, this home is not large. We have nearly 3 acres and the main house is 4347 sq. ft.

Please help us to keep Old Agoura Rural!

Kind regards,

Mary Lou Miller
6070 Chesebro Road
Agoura Hills, CA

PC Consultant

From: BRIGITTE [brigitte717@yahoo.com]
Sent: Monday, April 25, 2016 11:14 PM
To: PC Consultant
Subject: my response to Phil Ramuno
Attachments: RAMUNO.pdf

Hello Michelle,

Attached are my responses to the comments of Phil Ramuno..
please send this to the Planning Commission.

Thank you,

*Brigitte B
(310)310-2991*

The buildings in rural farmstead areas are generally decentralized groups of small structures. And, they may serve different purposes. They are never overgrown mansions of over 5,000 square feet.

We are aware that there are several homes in the neighborhood that range from 5,000 to 12,000 sq.f. under one roof. Additionally, these very large homes are on much smaller parcels of land. Our main house is 4,347 square feet. We wanted to move away from such a centralized monolithic design. We will use materials that are natural and fire resistant.

No, there will not be a "swimming school" planned here, as you indicated in your comment letter Mr. Ramuno, it made my family burst into laughter. The majority of the pool is zero entry to a few feet. This design is ideal for my toddler grand children to play. This area could have been a paved patio outside of our living room, but we chose otherwise.

While the materials and systems of the home are state of the art, the look is quite rustic. You have mentioned that it appears to be stark. We redirect your attention to the more than 80 trees and drought tolerant plants that will be planted on the property in addition of existing tens of trees and 19 very large oak trees. All 19 oak trees on our property will be untouched.

We have gone to great lengths not to obstruct the valuable view of our neighbors by building the home much lower than Lapworth drive's ridge line. Our family's safety is of paramount importance, therefore we will avoid multitiered, multileveled terraces that lead to a broken up design and potentially promote people falling and injuring themselves. Our home will host all ages of our family from children to grandparents. Its design is multigenerational with grounds safety being the primary concern. We have worked with the natural contour of the land to minimize grading. We have gone to extra costs to do these designs.

You have concerns about water usage and evaporation, this house will have a grey water system, rain water storage system, and pool cover, to reduce evaporation. We do recognize concerns about pool evaporation, however, we believe that the energy efficient systems and water efficient systems of the home will greatly outweigh any material impact of evaporation from the pool. Most homes in Old Agoura Hills do not have such systems. They waste water as a matter of course daily.

You have mentioned that there are many parking spaces and driveways, and due to this, it looks like a business or offices. We disagree with your opinion that it looks like offices. The driveway is designed to comply fully with the Fire Department's requirements for width and turnaround.

These are exactly what the fire department requires no more no less. We would love to have a narrower driveway with small turnaround, but that is not code compliant. Trees will line the driveway to soften the required size and width of the driveway, driveway will be paved with gravel chip seal and not have an asphalt look. No retaining walls will be higher than 6 feet per code.

Regarding oak trees, we would like to preserve them and appropriately trim them so that we may bring them out of their perpetual state of being unkempt.

We will not cut any oak trees, or any existing trees. All 19 oak trees are to remain undisturbed.

Given the property's prominent position on the hill, any home built there will be visible from below, imagine if this house were 2 stores instead of one. No structures are higher than 16 feet. In contrast, one of our new neighbors has a building height of 32 feet. Every care has been taken for this view to be a pleasant one for our neighbors. From the top of Lapworth Drive, the neighbors on Lapworth cannot even see our home. The views are unobstructed.

We strongly disagree with your characterization of our design. We believe that you have fundamentally misunderstood the concepts of our design. We would have wished that you would have contacted us so that we could have explained all of this to you. However, you chose just to send this odd letter without speaking to us first.

We consider your remarks as unfounded. The plans are fully compliant with Old Agoura Hills and LA County ordinances and codes. We are also required to improve the street (Lapworth Drive) and bring it up to LA County Fire Codes. And that cost is ours to bear.

We believe that our home will enhance the neighboring home values. In addition, the design embraces Old Agoura character, a character that the present melange of existing homes may not always portray.

S. Brigitte Bina

Owner and applicant

APRIL 25, 2016

REPLY TO: MR. PHIL RAMUNO (HOME OWNER'S ASSOCIATION VICE CHAIRMAN)

FROM: S. BRIGITTE BINA (OWNER / APPLICANT)

RE: 6000 LAPWORTH DRIVE, OLD AGOURA HILLS

Dear Mr. Ramuno,

Thank you for your comments in your letter dated December 2, 2014.

Thank you for giving me the opportunity to learn about your points of view regarding our architectural design in the above mentioned property, I am respectfully replying to your comments, if I may:

We do realize that your position is advisory. We are interested and appreciative of constructive comments that are based upon facts and understanding of the design of our home.

We believe that you have fundamentally misunderstood the design and aesthetics of our home.

We understand that it is often difficult to visualize two dimensional drawings on paper. We also realize that size and perspective on renderings may not always represent the proper visual perception of the design.

We assure you that we are not out to build an eyesore, or box on stilts (as you wrote), we are not interested in living in such a design. We will build a "green standard," energy-efficient, water conserving, decentralized, village in a rustic Tuscan style. This home will fit in with its surroundings of 3 acres and enhance the rural beauty of its surroundings. The materials used are rustic limestone and/or sandstone along with country French style windows. Instead of constructing a 2-3 story mansion-like house with massive square footage (like some of our neighbors), we chose for the design to be decentralized. This is how rural-style farm houses look like. Our home design embraces the Old Agoura Guidelines. Many of our neighbor's homes look like homes one would see in an urban suburb.

ATTACHMENT 7
OLD AGOURA DESIGN GUIDELINES

VI. Old Agoura Design Guidelines

The goal of the Old Agoura Design Guidelines is to encourage the design of a home and an environment that is rural in its roots. Even the most contemporary of homes can feature elements that are rural and which pay homage to classic and historic styles. Looking to the past provides insight and inspiration for future development in Old Agoura⁷.

The character of historic Agoura can be preserved through development and design that reflect the original quality of life. When beginning plans to build or remodel in Old Agoura, the following goals should be incorporated.

1. Preserve existing hills by situating buildings to use the existing contours of the land, incorporate surrounding oak trees and creeks, and minimize grading and destruction of the natural landscape and view sheds; conform to the land, not impose upon it.
2. Integrate into the surrounding neighborhood, considering compatible scale, style, color, and feel.
3. Respect Old Agoura's history and create architecture that incorporates both the essence of the historical periods of the area and the designs dictated by the local climate.
4. Use natural and traditional materials with an emphasis on excellent design and detail.
5. Use of eco-friendly design including the use of green building materials and energy efficient lighting, heating and cooling systems.
6. Design or preserve horse keeping areas so that the land is made untenable for horses.

⁷ Revisions adopted on January 14th, 2009 per Resolution No. 09-1513.

Home designs should use materials and forms that reflect the semi-rural character of the area and its climate in order to create places intimately connected with nature. Imitation of non-indigenous styles that are closely identified with other geographics is discouraged.

The following are design guidelines for new development and remodels in Old Agoura:

Maintain Neighborhood Scale

A new or remodeled home should not be out of proportion with adjacent houses. A home should be designed to fit the lot and surroundings and with internal design integrity. To help define an acceptable buildable area for each lot, the following Floor Area Ratio (FAR) and Slope Density charts were developed. The FAR is intended to guide the structure's size based on the lot size and slope. The charts are designed to preserve the character of Old Agoura's existing neighborhood by ensuring that new and remodeled homes are compatible and appropriate in scale and bulk with the existing neighborhood.

Table 1 and Table 2 below set forth the recommended maximum size of a new single family home or remodel of an existing single family home including the garage and any attached structures with less than 50% open lattice covering.

Lofts and mezzanines are included in the calculation of floor area. Fractions of .5 or larger should be rounded to the nearest whole number. For the purposes of these Guidelines, a remodel is defined as a project that does not meet the threshold for an administrative site plan review as defined in Section 9233.8 of the Zoning Code.

The maximum size of any single family dwelling including any habitable accessory structures, regardless of lot size, should not exceed 8,000 square feet.

Table 1 – Floor Area Ratio (FAR)

Lot Size	Maximum Allowed Structure Size
10,000 square feet or less	.2 multiplied by the lot area
10,001 to 20,000 square feet	2,000 square feet plus .2 multiplied by the lot area over 10,001 square feet
20,001 to 40,000 square feet	4,000 square feet plus .06 multiplied by the lot area over 20,001 square feet
40,001 to 80,000 square feet	5,200 square feet plus .02 multiplied by the lot area over 40,001 square feet
80,001 to 90,000 square feet	6,000 square feet plus .03 multiplied the lot area over 80,001 square feet
90,001 to 130,000 square feet	6,300 square feet plus .009 multiplied the lot area over 90,001 square feet
130,001 and above	6,660 square feet plus .012 multiplied the lot area over 130,001 square feet

Exemptions from FAR calculations:

- a. Space for a three car garage (230 square feet per space up to a maximum of 690 square feet for a single-family residence).
- b. Attic space under six feet in height.
- c. A basement with no exposed sides in which the finished floor of the level above the basement level, at any point, is not more than three feet above adjacent natural or finished grade, whichever is lower. Such floor area may abut light wells which may occupy not more than forty percent (40%) of the lineal perimeter of that level of the building.
- d. Roofed porches attached to the primary residence, and facing the street, with no enclosure between the height of three feet and seven feet except for the building face to which it is attached.
- e. Unclosed roofed structures for the keeping or maintaining of horses up to three hundred (300 square feet in area and one detached one story barn for the keeping or maintaining of horses up to five hundred seventy six (576) square feet in area.

The following slope factor table was developed to address hillside lots. The slope factor table further reduces the size of the house based on the slope of the parcel. Once the maximum size of the house has been determined using the FAR table (Table 1 above), that number is then multiplied by the related slope factor and the resulting number represents the maximum square footage allowed for the structure.

As average lot slope increases, allowable floor area is lowered per Table 2 below. Fractions of .5 or over are rounded to the nearest whole number.

Table 2 - Slope Factor as Related to Average Slope

% Slope	Slope Factor	% Slope	Slope Factor
15 or less	1.00	31	0.78
16	0.99	32	0.76
17	0.98	33	0.73
18	0.97	34	0.70
19	0.96	35	0.67
20	0.95	36	0.64
21	0.94	37	0.60
22	0.93	38	0.57
23	0.92	39	0.54
24	0.91	40	0.50
25	0.90	41	0.45
26	0.88	42	0.40
27	0.86	43	0.35
28	0.84	44	0.30
29	0.82	45+	0.20
30	0.80		

It should be noted the established square footages represent the maximum recommended not the minimum recommended FAR. The established FAR may need to be reduced if special circumstances exist of the lot that would reduce the actual buildable area of the lot. These special circumstances could include but are not limited to flood zones and irregular shaped lots.

Height

Although the Zoning Code allows up to 35 feet in height for single family homes, homes should be designed to be compatible with the size of the lot, as well as the context of the surrounding neighborhood. Appropriate building heights may vary from site to site in order to be compatible with the established building heights in the area.

Tall plate heights (over ten feet) that unnecessarily add to the volume of a structure should be avoided. Eight foot plate heights, the most common for single family homes, are encouraged. Where appropriate to the architectural style, architectural features that delineate where a first story ends and a second story begins when the structure is viewed from the street should be considered.

Horse Keeping

The following are suggested standards for horse keeping. Details for minimum horse-keeping facilities per horse would consist of a 12 ft x 12 ft stall or shelter (or 144 square ft with a 10 ft minimum interior clearance) and a basic pipe corral paddock, minimum size 12 ft x 24 ft. However, for the large majority of horses that are not worked daily, a minimum 24 ft x 48 ft turnout should be provided, with length for running and kicking up their heels. Larger or multiple turnouts should be planned if more animals are on a property. High use areas should be located on higher ground away from streams, with a 1-2% minimum slope for drainage. Paddocks should have sand or gravel substrate for filtration and not be built on areas with a greater than 10% slope. For pasture areas, avoid steep slopes that are susceptible to erosion; geologists recommend that horse facilities, including barns, turnouts and pasture, not be placed on areas over 10% because of potential slope failure.

A good reference book for best management practices related to runoff from horse keeping areas is "Stable and Horse Management in the Santa Monica Mountains, A Manual on Best Management Practices for the Reduction of Non-point Source Pollution." A copy is available for viewing at the City's public counter.

Access for feed delivery and manure management should be as close to the street as possible, with separate entry gates if needed. A plan for horse keeping facilities should include an area for hay & manure storage, accessory areas, such as horse trailer storage, wash racks, tack rooms, tools, etc. Some items found on site may serve multiple functions, such as septic tanks and leach fields being located under corral or pasture areas. Access can also be solved via turnout areas with wide gates. Barns may be used as storage for an owner who does not intend to keep horses, but future owners should maintain the area so it is convertible. Landscaping such as, but not limited to trees, vineyards, and trellises, should not be placed so as to prevent future conversion to horse keeping areas.

Site Design

Site design should respect the natural features of the site including landforms and trees. Existing natural features, such as a creek or large tree, can provide a special challenge but also opportunities for creative solutions.

Oak Tree Preservation

The existence of oak trees adds to the character of the house as well as to the Old Agoura community as a whole. The City's oak tree ordinance sets forth carefully crafted rules to preserve oak trees and mitigate the loss of oaks. A copy of the ordinance is available from the City.

Minimize lot coverage

The design of a home need not maximize the allowable lot coverage. It should provide ample open space around a structure. The relative placement of horse

keeping areas, house, garage, accessory structures and driveway play a major role in shaping the character of a house. Consideration should also be given to the existing structures and views of the neighbors.

Style

The visual mass of a structure should be reduced with deliberate architectural elements. With the use of windows, porches, balconies, trellises, and terraces help create free-flowing space to the outdoors. Preferred basic features include:

- Wrap-around porches, balconies;
- Rear or side yard-facing garage doors or detached garages;
- Front door or entryway distinctly visible from the road giving a sense of human scale;
- Generous roof overhang (where appropriate to architectural style);
- Use of natural materials such as wood and stone.

When creating architectural details, and especially when utilizing the technology of stone veneer, it is important that they be used in a manner that is honest in their application and consistent with their function in construction technique.

Roofs

Roofs should have variation in texture. Roof overhangs of good proportion and balance provide a fundamental appeal as well as respect for the local climate. Excessively steep roof pitch is discouraged.

Color

Bright colors and reflective surfaces are strongly discouraged. Dominant exterior colors that are warm, rich and reflect natural regional earth tones are preferred.

Hardscape & Driveways

Colors and textures should be chosen to best approximate the natural environment of the homesite. Permeable and semi-permeable surfaces should be installed whenever possible and the amount of paving should be kept to a minimum. In order to reduce runoff and augment ground water recharging use of as much porous material as possible is encouraged. Preferred materials are:

- Decomposed granite or other natural appearing aggregates such as gravel
- Natural flat stone
- Interlocking concrete manufactured pavers
- Grasscrete to reduce the hardscape ratio

If concrete is used, bring out its more natural looking applications by using:

- Stained or stamped concrete
- Exposed aggregate concrete

While the use of asphalt is generally discouraged, a better application is "chip seal," where loose rock is pressed into the surface to provide a gravel look.

Storm Water Drainage

There are very stringent and well-defined laws dealing with water drainage. Basically, the natural or traditional path of water across their property cannot be altered without a legally approved engineering plan.

Fences

Unfenced front yards help promote openness in Old Agoura. If fencing is proposed, white or natural wood, equestrian style fencing is recommended in all yard areas visible from the road. The use of wrought iron with sharp-pointed posts or stakes is discouraged, as is the use of chain link fencing.

Landscape Areas

Landscape plants should be selected with wildfire fuel modification, water conservation, and summer heat and winter cold snaps in mind. Old Agoura has a number of microclimates and frost sensitive trees and plants may be severely damaged during the cold spells, especially in the lowlands along creek beds. The use of native plants is encouraged.

Native California heritage trees should be preserved in place whenever possible and incorporated into the project design.

Outdoor Lighting

All outdoor lighting should be the minimum intensity possible for the task required. All lighting should be non-blinding, indirect, or diffused. All lights should be *off* unless they are being used. Motion sensor switches function well for this purpose.

The source of light in any light fixture, i.e., the bulb or other source of indirect illumination, should not be visible off-site. All light fixtures should be selected for their ability to focus light on the feature (i.e. step, path, entry) to be lighted and to have minimum light spillage.

Zoning Ordinance

In addition to the above Old Agoura Design Guidelines, please refer to the Zoning Ordinance for requirements for each zone (RV, RL, RS, RM, RMH and RH) as well as the Equestrian Overlay (EQ) and Old Agoura Overlay (OA).