



PLANNING DEPARTMENT

DATE: June 16, 2016

TO: Planning Commission

APPLICANT: Owen Nostrant for:
Roadside Lumber and Hardware, Inc.
29112 Roadside Drive
Agoura Hills, CA 91301

CASE NOS.: 12-AVDP-001, 12-AVDP-002 and VAR-01241-2016

LOCATION: 29112 Roadside Drive (A.P.N. 2061-006-042)
29130 Roadside Drive (A.P.N. 2061-006-048)

REQUEST: Request for approval of an Agoura Village Development Permit to remodel existing commercial buildings, add 772 square feet of retail showroom space to the building at 29130 Roadside Drive, reconfigure the existing parking lot and driveway area of both subject parcels, provide new landscaping on both parcels; obtain a Variance from the front yard setback; and a request to make a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL DETERMINATION: Exempt from California Environmental Quality Act (CEQA) per Section 15301 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Agoura Village Development Permit Case Nos. 12-AVDP-001 and 12-AVDP-002, including a Variance, subject to conditions, based on the findings of the attached draft Resolution.

ZONE DESIGNATION: PD (Planned Development - Agoura Village Specific Plan)

GENERAL PLAN DESIGNATION: PD (Planned Development - Agoura Village Specific Plan)

I. PROJECT BACKGROUND AND DESCRIPTION

The project site consists of two relatively flat contiguous parcels located on the south side of Roadside Drive, and east of Kanan Road. The parcel to the east is 1.36 acres and located at 29112 Roadside Drive. It consists of a single-story 7,458 square-foot building (28 feet 2 inches high) and separate 154-square-foot restroom building, a parking lot, and open-yard storage space in the rear portion. The 0.45-acre parcel to the west contains a 6,512 square-foot single-story building (24.5 feet high) at 29130 Roadside Drive, as well as a parking lot. Both parcels front solely on Roadside Drive and are accessed from Roadside Drive by two separate on-site driveways. Adjacent property development includes Conejo Valley U-Store-It to the east and south of the site; Roadside Drive and the 101 Freeway to the north; and a shopping center to the west.

In 2003, the City Council considered and supported a Pre-Screen Review request by Michael and Theresa Tuchman (owners) to do an extensive remodel and expansion of their hardware and lumber business at 29112 and 29130 Roadside Drive. The proposal at that time was to consolidate the two sites into one cohesive business. The applicants did not proceed with the proposal.

The current applicant, Owen Nostrant for the Tuchmans, is now requesting approval of an Agoura Village Development Permit (AVDP) (Case Nos. 12-AVDP-001 and 12-AVDP-002) to remodel the interior and exterior of the building at 29112 Roadside Drive (easterly building) and the interior and exterior of the building at 29130 Roadside Drive (westerly building). In addition, the vehicle and pedestrian access and parking lot on each site would be improved, and landscaping added. The easterly building consists of mostly warehouse/storage space, with some hardware store sales. With this project, the retail component would move to the westerly building, which is now referred to as the "Agoura Paint." The easterly building would then consist only of warehouse/storage of lumber and hardware, while the westerly building would function as a retail store and showroom, with some office space. Both buildings would be combined into the "Roadside Lumber and Hardware" business, although the lots would remain separate. The parking would be shared between the two sites, and linked via a pedestrian pathway.

More specifically, the development proposal includes exterior and interior remodeling of the westerly building, adding 772 square feet of retail showroom space by enclosing 590 square feet of existing walkway on the eastern side of the building, and adding a new 182 square-foot building display window in front of the building along Roadside Drive. There would be two new building entries on the east side, with new walkways, including accessible paths of travel from the parking lot and sidewalk along Roadside Drive and the building. The building's exterior finish and architectural look would be improved. The proposed exterior colors and materials on the buildings would include brown stucco finish with brown accents on the fascias, trim, beams and corbels, and new green hardie board siding. The parking lot would be repaved and restriped to accommodate 24 spaces, six spaces more than currently exists. Decorative concrete would be incorporated into the

driveway entry, and landscaping planters would be added in the parking lot. The guard shack on the property would be shifted to the westerly site.

Proposed improvements to the easterly building include demolishing a 564-square-foot portion of the front of the building to provide more space for parking. The interior would be converted to warehouse/storage only with a new disabled interior ramp for the floor level change. However, the floor area of the building would not be expanded. One storage shed in the back of the site would be removed. The front (north) façade of the building would be improved with a decorative tower entry element (28 feet, two inches in height). The existing tile roof would be replaced with a metal roof. The existing exterior restroom along the east side of the parking lot would be updated for Americans with Disability Act (ADA) requirements. The rear yard, with outdoor storage, would remain unchanged. Decorative concrete paving would be added at the parking lot entry. The parking lot would be repaved, re-striped and reconfigured. The parking lot currently provides 33 parking spaces, and upon completion of the project, would provide for 41 parking spaces. A one-way truck access lane is provided on the site to reduce conflicts between large trucks and customer vehicles. There would be new directional signs on-site to assist in providing ease of circulation. Additionally, landscaping planters would be provided in the parking lot. For both lots, new wood-slat fencing and gates are proposed at the south sides of the parking lots to screen the area at the rear of the properties.

Currently, at the site, there are driveway and parking lot light fixtures, and other lighting in the vicinity of the buildings. The proposed project would not add to the existing lighting onsite, and no signage is proposed for this project at this time. But, there will be new directional signs onsite to assist in providing ease of circulation. The locations of the future signs are indicated on the plans now, and will be subject to Planning Commission's review when submitted.

The required development standards for the project are noted below.

	<u>Existing</u>	<u>Proposed</u>	<u>PD/AVSP</u>
1. <u>Lot Area</u>			
29112 Parcel:	59,397 sq. ft.	59,397 sq. ft.	20,000 sq. ft. min.
29130 Parcel:	19,767 sq. ft.	19,767 sq. ft.	20,000 sq. ft. min.
2. <u>Building Size</u>			
29112 Building:	6,512 sq. ft.	5,948 sq. ft.	N/A
29130 Building:	7,458 sq. ft.	8,230 sq. ft.	N/A
3. <u>New Retail Display Area</u>			
29130 Building:	N/A	772 sq. ft.	N/A
4. <u>Building Height</u>			
29112 Building:	28 ft. 2 in.	28 ft. 2 in.	35 ft. max.
29130 Building:	24 ft. 6 in.	24 ft. 6 in.	35 ft. max.

5. Building Coverage

29112 Building:	11 %	10 %	60 % max.
29130 Building:	38 %	41.6 %	60 % max.

6. Floor Area Ratio

29112 Building:	31 %	30%	35 % max.
29130 Building:	37 %	42 %	35 % max.
Building Combined:	33 %	33 %	35 % max.

7. Building Setbacks

29112 Building:			
Front (north):	101 ft.	117 ft.	10 ft. min.-20 max.
Rear (south):	80 ft.	80 ft.	0 ft. min.
Side (east):	43 ft.	43 ft.	0 ft. min.
Side (west):	26 ft.	26 ft.	0 ft. min.

29130 Building:			
Front (north):	8 ft.	5 ft. 8 in.	10 ft. min.-20 max.
Rear (south):	12 ft. 2 in.	12 ft. 2 in.	0 ft. min.
Side (east):	71 ft. 5 in.	62 ft. 5 in.	0 ft. min.
Side (west):	0 ft.	0 ft.	0 ft. min.

8. Parking

29112 Building:	15 spaces	17 spaces	32 spaces
29130 Building:	18 spaces	24 spaces	7 spaces
Total:	33 spaces	41 spaces	39 spaces

9. Landscape Coverage

Overall	17%	15% min
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Both properties are located in the Agoura Village Specific Plan (AVSP) area, specifically in Zone C. The project site is within the Planned Development (PD) (Agoura Village Specific Plan) zone, and so requires an AVDP, subject to review and approval by the Planning Commission. The project site is within the Planned Development (PD) District of the General Plan.

The AVDP is the only discretionary action for projects in the AVSP, and so any requests for a variance or oak tree permit, for example, are consolidated into the AVDP action. In this case, the applicant is requesting a variance from the AVSP standard in Zone C of a minimum 10-foot setback distance from the front (north) property line for the addition to the westerly building along Roadside Drive. Two AVDP case numbers were given to account for the separate uses and parcels, although the uses are linked as part of "Roadside Lumber and Hardware."

For an AVDP in the PD zone, findings for a Conditional Use Permit must be made (AHMC Section 9673.2.E.), as well as findings related to projects in the PD zone (AHMC Section 9499), and findings for an AVDP (Chapter 9 of the AVSP). In this particular case, variance findings (AHMC 9676.2.E.) are also required.

II. STAFF ANALYSIS

The applicant is proposing to improve the existing use and business by upgrading the functionality and aesthetics of the site, which will better fit within Agoura Village and contribute to the overall vision of Agoura Village for a mixed-use pedestrian environment. The project would create a more attractive development for patrons and passers-by, including more pedestrian-oriented features with the expansion of new window/showroom display areas on the westerly building with a new stone base wall, new windows for display of products, and landscaping along the street side of the parking lots that will provide significant visual screening from off-site uses. The project includes the reconfiguration and re-surfacing of the parking lot to be more pedestrian friendly and includes decorative paving. The parking lots would provide a total of 41 parking spaces (includes 3 handicap parking spaces). Pedestrian walkways to the public right-of-way and pedestrian crossing to connect the two sites are incorporated. Circulation improvements that separate trucks from other vehicles are proposed to provide greater safety and efficiency. New wood slat security sliding gates to the outdoor storage area and fences are also proposed on each parcel at the rear of the parking lots, and would screen the rear storage yard. Screening of the properties would be through the use of solid wood slat gates and fences, and landscaping planters. The existing chain link fencing located on all sides of the Roadside Lumber and Hardware property would remain. Other site improvements include relocating the guard shack and removing an open storage shed to better accommodate vehicular access through the east and west parking lots. The buildings would retain their low profile design and incorporate earth tone colors and natural materials that are compatible with the surrounding area. The window/showroom expansion provides greater interest for passers-by.

Both the Roadside Lumber and Hardware and Agoura Paint properties are located in the AVSP area, in Zone C. Home decorator shops such as the existing Agoura Paint store, are permitted uses in the Specific Plan. Lumber yards, however, are not permitted in the Specific Plan. Per the Zoning Ordinance, Agoura Village Specific Plan, and the General Plan, in recognition of the importance of the image of the City, outdoor storage and display is not permitted in the AVSP zone. In 1989, Roadside Lumber, as well as a number of other existing businesses with outdoor storage in the freeway corridor, was granted a Non-Conforming Use Permit. According to the Zoning Ordinance, a non-conforming use is not allowed to make significant improvements or expansion of its Non-Conforming Use Permit. The intent of the Non-Conforming Use Permit is to recognize that certain businesses have existed over time and to allow them to continue its current state provided that no expansions are made to further perpetuate the use. The applicant's proposal does not include expansion of the lumber yard business floor area. Allowing Roadside Lumber and Hardware to make the improvements to the easterly building would improve the appearance of the area.

The project includes office and retail uses that are compatible with the other uses in the AVSP area. The warehouse component is an existing non-conforming use that is not being expanded in floor area, and so is not in conflict with the AVSP. Surrounding uses include a small retail center and self storage facility. The tower element does not detract from views to Ladyface Mountain as it is narrow and below the maximum thirty-five feet allow in the AVSP. A floor-area-ratio of thirty-five percent (35%) is allowed in Zone C of the AVSP. The floor-area-ratio for the easterly parcel would decrease from thirty-one percent (31%) to thirty percent (30%). The floor-area-ratio for the westerly parcel is currently non-conforming at thirty-seven (37%) and would increase to forty-two percent (42%). But combined, because building area is being removed and added on the two parcels, the floor-area-ratio stays the same at thirty-three percent (33%), which is under the thirty-five percent (35%) maximum floor-area-ratio.

Architectural Design

A number of cosmetic improvements are proposed to both buildings. The single-story, easterly building is proposed to have the existing front portion of the building removed; a new exterior finish and architectural look with a new metal roof with a metallic silver matte finish; and new stone planters and a new tower entry element with open post gable overhang (28 feet, two inches in height). The height of the tower is considered an architectural projection and is allowed in the AVSP. A new metal door is proposed, and would be painted to match the fence and gates.

The single-story westerly building would be remodeled on the east and north elevations. Specifically, the project includes adding an enclosed display area on the east side of the building, which faces the parking lot, with a stone base wall, and new windows for display of products. Proposed improvements to the north end of the building, facing Roadside Drive would include a new display enclosure, similar to the east side of the building, new storefront windows, new siding and a new modest tower entry element (19 feet in height) with open post gable overhang. The applicant also proposes to remove the existing mansard roof and replace it with a metal roof with a metallic silver matte finish. Also, stone veneer is proposed on the north and east elevation building walls and planters. New glass and aluminum entrance doors are proposed on the east elevation. The proposed exterior colors and materials on the buildings would include brown stucco finish with brown accents on the fascias, trim, beams and corbels, and new green hardie board siding.

The City Architectural Review Panel (ARP) reviewed the application and supports the proposed design, colors and materials of the buildings. The project is consistent with the City's Architectural Design Standards and Guidelines in that it provides natural building materials and earth tone colors, pedestrian pathways, attractive storefront entries, shared parking, decorative paving materials, security fences and gates, and attractive streetscape.

Public Works/Engineering Department

The Engineering Department has reviewed the project plans and will require the applicant to remove the existing driveways and construct the new driveway approaches and curb to the requirements of the future Roadside Drive Bridge Widening Project in this general area, which is expected to be constructed in the next year. Final public improvement plans will be subject to approval by the City Engineer prior to issuance of a building permit.

Building Department

The Building Department has reviewed the proposed plans and requires handicap access from the street sidewalk to the main westerly building entrance, and accessible path of travel between the two buildings. To provide the required access from the westerly building, an accessible path from the public sidewalk, via a ramp to the main entrance, has been proposed on the east side of the building. The Building Department also requires that all exterior materials used for the project meet the Very High Fire Hazard Severity Zone as outlined in the Agoura Hills Municipal Code.

Landscaping

The project proposes landscape improvements, including the addition of landscape areas in the parking lots and front yards. Per the AHMC, fifteen percent (15%) of the site shall be landscaped. The project proposes seventeen percent (17%) landscaped area. The proposed landscaping would be required to comply with the City's Water Efficient Landscape Ordinance. Trees are proposed on both properties to provide shade and visual relief from the street and parking areas. The preliminary landscape plan submitted by the applicant has been reviewed by the City's Landscape Consultant who finds it compatible with City standards, subject to conditions of approval that are included within the attached draft Resolution.

Parking/Traffic/Circulation

Currently fifteen (15) parking spaces are provided in the easterly parking lot and eighteen (18) in the westerly parking lot. This facility requires a parking ratio of one (1) space for each 250 square feet of retail gross floor area, one (1) space for each 300 square feet of office gross floor area, and one (1) space for each 1,000 square feet warehouse gross floor area. A total of 7 spaces are required for the easterly lot, and 32 for the westerly lot with the proposed building addition. The project provides two (2) additional parking spaces serving the easterly parcel. The reconfigured parking lot serving the westerly parcel would net six (6) additional parking spaces. Therefore, the total spaces provided are seventeen (17) for the easterly lot and twenty-four (24) for the westerly lot, and so, combined the project exceeds the minimum parking requirement of thirty nine (39) parking spaces.

The one-way drive-aisle on the west side of 29112 Roadside Drive parcel will remain. The City's Traffic Engineer has reviewed the project plans and has approved the required signage for each of the three driveways to control on-site traffic. The applicant has provided on the Site Plan the proposed signals that include: "STOP" signs on a post at each driveway, "ONE-WAY" arrow sign on a post, "DO NOT ENTER" sign on a post and a directional arrow for one-way painted on paving, at the one-way driveway.

General Plan Consistency

Staff finds the project will be consistent with the following applicable General Plan goals and policies:

Goal LU-26: Pedestrian-Oriented Mixed-Use Village. Transformation into a pedestrian-oriented village containing a mix of retail shops, restaurants, theaters, entertainment, and housing that serves as a destination for residents and visitors to Agoura Hills.

- *Policy LU-26.2 Site Development and Design.* Create a walkable, vibrant pedestrian oriented district through such techniques as:
 - Breaking of the superblocks into a smaller grid of streets and sidewalks
 - Location of buildings along street frontages, with parking located to the rear or in structures, with building heights transitioning to adjoining districts and open spaces
 - Targeting the development of vertical mixed-use buildings along primary street frontages
 - Development of a unified streetscape and pedestrian-oriented sidewalk improvements along Agoura Road and intersecting streets.
 - Development of shared parking facilities
 - Reduction of the width of the Agoura Road right-of-way to two lanes with a landscaped median
 - Minimization of grading and preservation of oak trees and other native landscapes
- *Policy LU-26-3 Connectivity.* Require that new buildings, pedestrian walkways, and open spaces be located and designed to promote connectivity internally and with adjoining land uses and the nearby trail networks.

Both parcels will share parking. The proposed project includes a new pedestrian walkway between the two parcels and walkways to all buildings on the project site to provide connectivity internally.

Variance

As previously mentioned, the applicant is requesting approval of a variance pursuant to AHMC Section 9676 to encroach into the front yard setback for the westerly building

(29130 Roadside Drive). The AVSP requires a minimum front yard setback of ten (10) feet in Zone C. The subject site has an existing non-conforming front yard setback of a maximum fifteen (15) feet and a minimum eight (8) feet. The front yard is paved with concrete from the building to the street. The project proposes a display window and a landscape planter in the front yard, creating a more attractive site design and streetscape for patrons and passersby, consistent with the AVSP. To provide these improvements, further encroachment into the front yard setback is necessary. There is insufficient room to the east of the building, considering the parking lot, and to the south is an open yard for storage that is needed for the warehouse component on the easterly lot of the project. The window display and planter would result in a setback of five feet eight inches (5'8"), which is two feet four inches (2'4") less than what now exists. Therefore, the applicant is seeking approval of a Variance to reduce the required front yard setback to five feet eight inches (5'8") at its narrowest point. Draft findings supporting approval of the Variance request are included in Section 5 of the Draft Resolution.

Environmental

Staff finds the proposed remodel to the existing commercial properties to be Categorically Exempt from the California Environmental Quality Act (CEQA) per Section 15301 (Existing Facilities) of the CEQA guidelines. No significant impacts are expected from development of this project. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

III. RECOMMENDATIONS

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Agoura Village Development Permit Case Nos. 12-AVDP-001 and 12-AVDP-002 and a Variance to encroach into the front yard setback for the building at 29130 Roadside Drive, subject to conditions, based on the findings of the attached draft Resolution.

IV. ATTACHMENTS

1. Draft Agoura Village Development Permit Resolution and Conditions of Approval
2. Photographs of the existing buildings and renderings of the proposed buildings
3. Reduced copies of the project plans
4. Vicinity Map

Case Planner: Renee Madrigal, Associate Planner

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING AGOURA VILLAGE DEVELOPMENT PERMIT CASE NOS. 12-AVDP-001 AND 12-AVDP-002 FOR ROADSIDE LUMBER AND HARDWARE PROJECT LOCATED AT 29112 AND 29130 ROADSIDE DRIVE; APPROVING A VARIANCE FOR THE FRONT YARD SETBACK OF BUILDING 29130 ROADSIDE DRIVE; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FIND, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Owen Nostrant, with respect to the real property located at 29112 Roadside Drive and 29130 Roadside Drive, (Assessor's Parcel Nos. 2061-006-042 and 2061-006-048) requesting approval of an Agoura Village Development Permit (Case Nos. 12-AVDP-001 and 12-AVDP-002) to remodel existing commercial buildings at 29112 and 29130 Roadside Drive; add 772 square feet of retail showroom space to the building at 29130 Roadside Drive; reconfigure the existing parking lot and driveway area of both subject parcels; provide new landscaping on both parcels; and to encroach within the required front yard setback for the building at 29130 Roadside Drive, requiring a Variance. A public hearing was duly held by the Planning Commission on June 16, 2016, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California; and notice of the time, date, place and purpose of the aforesaid hearing was duly given and published as required by state law.

Section 2. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. Planned Development District. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9499 of the Agoura Hills Zoning Ordinance, that:

- A. All the required findings for a Conditional Use Permit, pursuant to Section 9673.2.E. of the Agoura Hills Zoning Ordinance, can be made because:
1. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The project is in compliance with the maximum building coverage, building height requirements and all setbacks with the exception of the front yard setback for the building at 29130 Roadside Drive (requiring a Variance) for

development in the Planned Development (PD) zone and the Agoura Village Specific Plan. The retail and office uses are allowed uses in the PD zone and Agoura Village Specific Plan. The warehouse component is an existing non-conforming use that is not being expanded in floor area, and so is consistent with the AVSP.

2. The proposed use, as conditioned, is compatible with the surrounding properties. The project includes warehouse, office and retail uses, and provides for sufficient on-site parking without impacting neighboring development. The Roadside Lumber and Hardware facility is compatible with the other uses in the Agoura Village Specific Plan (AVSP) area in terms of the retail and office uses. The warehouse component is an existing, non-conforming use that is not being expanded in floor area, and so is consistent with the AVSP. Surrounding uses include a small retail center and self-storage facility. The buildings will retain their low profile design, and incorporate earth tone colors and natural materials, consistent with the architecture of the surrounding area and the architectural design standards of the PD zone, and AVSP.
 3. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare. The applicant will be required to improve the project in full compliance with the City Building Code and development standards of the Agoura Village Specific Plan. The on-site circulation, including truck operations, and designated pedestrian walkways would be improved with the project and would create a more efficient and safe use.
 4. The proposed use, as conditioned and with the approval of the variance for front yard setback, will comply with each of the applicable provisions of the Zoning Ordinance and the AVSP. The project meets the development standards of the AVSP and the Zoning Ordinance relative to building height, setbacks, lot coverage, and landscape coverage.
 5. The distance from other similar and like uses is sufficient to maintain the diversity of the community. The nearest hardware store is located approximately a half mile away from the project site, on Roadside Drive.
 6. The proposed use is consistent with the goals, objectives and policies of the General Plan. The proposed project is designed to share parking, as called for in Policy LU-26.2 of the General Plan. Also, the proposed project includes new pedestrian walkways between the two parcels and to all buildings on the site to provide connectivity internally, as called for in Land Use Policy LU-26.3.
- B. The development complies with the provision of Section 9498 of the Zoning Ordinance (PD Zone Development Standards and Regulations) pertaining to uses

and development conforming to the development standards and regulations and any other provisions of the applicable specific plan for the property upon which such uses and development are located. The proposed project is in compliance with the development standards and regulations of the PD zone and Agoura Village Specific Plan relative to building height, lot coverage, landscaping coverage, and, with setbacks, upon approval of the Variance, and would protect the existing views from neighboring properties and the adjacent right-of-way. The uses on-site are consistent with the PD zone and the AVSP, and create a more attractive development for patrons and passers-by, including more pedestrian-oriented features with the window display and landscaping along the street.

- C. Adequate evidence and guarantees have been provided to indicate that all other provisions of PD zone can be satisfied. The applicant has worked closely with staff and the Architectural Review Panel in designing a project within the existing on-site building pad areas that is allowed per the specific plan. Creative design techniques have been incorporated into the design that provide pedestrian walkways and connections to link both buildings within the site, provide shared parking, and incorporate natural building materials and colors that are compatible with the surrounding area. The landscaping will provide significant visual screening from off-site uses.

Section 4. Agoura Village Development Permit. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission, pursuant to Chapter 9 of the Agoura Village Specific Plan (AVSP), finds that:

- A. The proposed project complies with relevant provisions of the adopted Specific Plan, including the following.
1. Pedestrian Orientation and Amenities. The project provides pedestrian pathways to connect both parking lots on the project site; pathways for pedestrians from the parking lot to the building on each of the two lots; and attractive, renovated storefront entries to both buildings. The existing sidewalk along the project frontage in front of the westerly building at 29130 Agoura Road would remain. The project consists of a remodel, the site currently developed with uses that will remain, yet the project incorporates pedestrian amenities to the extent feasible, consistent with the AVSP.
 2. Streetscape. The project will provide for an attractive streetscape with the addition of landscaping along the street frontage in between the roadway and parking lots, and, upon approval of the Variance from front yard setback requirements, the addition of a window display and landscape planter in front of the westerly building at 29130 Agoura Road, which will replace the building's solid wall on the north elevation. While not located along the main AVSP corridor of Agoura Road, the project would nonetheless carry forward

the theme of attractive streetscapes called for in the AVSP, especially considering the site is currently developed with uses that will remain.

3. **Building Design.** The remodel of each of the two existing buildings will create a more attractive design especially with the addition of inviting entry feature elements, such as a decorative tower and fascia boards, trims and beams; metal roofs; and stone veneer. The remodel of each building will be compatible with one another, displaying a unified theme. The design elements are rustic in appearance, accented with natural materials, and reflect mostly earth tone colors. As such, they would be compatible with surrounding properties and the natural environment. Therefore, the design of the buildings will be compatible with the standards of the AVSP.
 4. **Parking Lot.** Both parking lots would be repaved and reconfigured to provide more efficient circulation and additional spaces, as well as accommodate the separation of large truck traffic on-site. Both parking lot driveways will incorporate decorative concrete at the entry points. The lots are accented with landscape planters, including shade trees, to provide a pleasant environment for patrons and attractive views to the site from Roadside Drive. While the AVSP encourages parking lots behind buildings that are street-facing in most areas, in AVSP Area C (where this site is located), parking lots may be located in front of the buildings where screened adjacent to the street edge. While the project involves existing uses, including parking lots and buildings to remain, the project includes upgrading the appearance and function of the existing parking lots in a manner consistent with the AVSP, including landscape screening.
 5. **Views.** The building heights would remain the same, with the building at 29112 Roadside Drive at 28 feet, two inches, and the building at 29130 Roadside Drive at 24 feet, six inches, compared to the AVSP requirement of a maximum of 35 feet. The additional height of the tower element at 29112 Roadside Drive would not exceed that allowed by the AVSP. Views to Ladyface Mountain to the south from the site would still be visible even with the project.
 6. **Allowed Uses.** The existing uses, which will remain with the project, include the warehouse of building/lumber materials, a retail showroom, and limited incidental office. The office and retail uses are consistent with the AVSP, which allows "home decorator shop" and offices. The warehouse component would be considered an existing non-conforming use. Since the project results in no expansion of the square footage of the warehouse component, the project land uses would be consistent with the AVSP.
- B. The proposed project incorporates design measures to ensure maximum compatibility with the vision of the AVSP. The remodel enhances the architectural design of the existing buildings and would be visually compatible with the buildings in the surrounding neighborhood with its attractive storefront and

planters, new building colors and materials, landscaping and parking lot improvements, and pedestrian amenities, and will maintain views of Ladyface Mountain.

- C. The proposed project incorporates architectural and landscaping elements that enhance the area. The proposed project will improve the existing use and business to upgrade the functionality and aesthetics of the site with landscaping and architectural features, which will better fit within Agoura Village and contribute to the overall vision of Agoura Village for a mixed use pedestrian environment.
- D. The project's vehicular access and parking plan minimizes conflicts and promotes efficient internal circulation and shared use of the facilities wherever feasible. The parking areas and internal circulation for both lots would be improved and better integrated. The reconfigured parking lot on the 29112 Roadside Drive site would provide improved truck circulation around the building.

Section 5. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9676.2.E of the Agoura Hills Municipal Code regarding granting of a Variance, that:

- A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

A new display area located at the front elevation of the building at 29130 Roadside Drive would be located five feet eight inches from the front property line at its closest point and fifteen feet at its furthest point, whereas the AVSP development standards require a minimum distance of ten feet. Currently, the building is setback eight feet from the front property line at its narrowest point and 15 feet at its widest point, and is non-conforming. The current appearance along the front elevation is a blank wall with a sign, and concrete pavement from the building to the street. The intent of the remodel is to improve the architectural appearance of the building, especially as seen from Roadside Drive. Expanding the building on the north, along the Roadside Drive frontage, would provide for a retail display area and a landscape planter, both of which would create a more pleasant streetscape for patrons and passers-by, and provide AVSP consistency from an aesthetic and functional aspect. Because of the existing use and building on-site, along with the parking lot, the small lot provides minimal room to expand to provide for an attractive window display along the street. The east side of the building is occupied by the parking lot, and the rear by open yard storage for the adjacent warehouse.

- B. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and in the zone in which the subject property is situated.

There are currently a variety of building setbacks along Roadside Drive, as several of such buildings were developed prior to current City development standards. Setbacks in this area range from five feet to thirty feet. The building at 29130 Roadside Drive is not unique within this location regarding a non-conforming setback of eight feet.

- C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance.

The encroachment proposed into the front yard setback is for a retail display area, which is logically located at the front portion of the existing building, within an area that currently allows for retail display areas. The strict enforcement of the front setback restriction would prevent any type of building enhancement along most of the building frontage. It should be noted that the front setback of the adjacent off-site building to the west has a non-conforming front yard setback of five feet. The retail display area and addition of a landscape planter would make the project more consistent with the AVSP in terms of attractive street fronts.

- D. The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity.

The requested front yard setback reduction is to accommodate a retail display area and planter that would not impact visibility from the road or adjacent properties. The enhancement is an integral component of the architectural style of the building and adds to the aesthetic quality of the building. The proposed addition would be constructed in conformance with the City's Building Code standards.

- E. The granting of the Variance will be consistent with the character of the surrounding area. The addition in the front yard setback will be compatible with the neighborhood due to existing variations in front yard setbacks along Roadside Drive. The allowance of the window display and planter would enhance the visual quality of the site and conform with the goals and standards of the AVSP.

Section 6. The project consists of remodeling existing commercial buildings, and there would be no significant environmental impacts. As such, the project is exempt from the California Environmental Quality Act (CEQA), as defined in CEQA Guidelines Section 15301 (Existing Facilities). No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

Section 7. Based on the aforementioned findings, the Planning Commission hereby approves Agoura Village Development Permit Case Nos. 12-AVDP-001 and

12-AVDP-002, including the request for a Variance from the front yard setback requirement of a minimum of ten feet for the building at 29130 Roadside Drive, subject to the attached conditions, with respect to the property described in Section 1 hereof.

Section 8. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, AND ADOPTED THIS 16TH DAY OF June. 2016, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John O'Meara, Chairperson

Doug Hooper, Secretary

CONDITIONS OF APPROVAL
(Case Nos. 12-AVDP-001 and 12-AVDP-001)

PLANNING DEPARTMENT CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicant has agreed in writing that he is aware of, and accept, all conditions of this Permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plan, Floor Plan, Roof Plan, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. All requirements of the Agoura Village Specific Plan and Zoning Ordinance and of the specific zoning of the property must be complied with unless set forth in the Agoura Village Development Permit.
7. It is further declared and made a condition of this action that if any condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
8. All tenant improvements shall comply with the requirements of the Building and Safety Department.
9. Unless this permit is used within two (2) years from the date of City approval, Agoura Village Development Permit Case Nos. 12-AVDP-001 and 12-AVDP-002 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
10. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of Building Permit issuance.

11. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
12. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
13. Any new exterior building signage, or monument sign, shall be subject to approval by the Planning Commission.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

14. All exterior materials used for eaves, sidings, porch, patio, decks, carport, canopies and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).
15. This project is subject to the 2013 California Code, unless it is submitted to the Building and Safety Department on or after January 1, 2017 at which point it will be reviewed under the 2016 California Codes as adopted by the City of Agoura Hills.
16. Las Virgenes Municipal Water District approval will be required.
17. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Mechanical, Electrical, Plumbing, Energy Plans, Title 24 Plans will need to be submitted to the Building and Safety Department for plan review and approval.

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

18. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
19. Applicant shall pay all applicable Transportation Impact Fees (TIF) to the Building and Safety Department prior to the issuance of the building permit.
20. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements, monuments are damaged or destroyed, the applicant shall retain a

licensed land surveyor or civil engineer to reset those monuments per City's standards and file the necessary information with the County Recorder's office.

21. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The applicant shall remove existing driveways and construct the new driveway approaches and curb to match the future Roadside Drive Bridge Project design.
22. An Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs, such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
23. All remaining fees/deposits required by the Engineering Department must be paid in full prior to issuance of Grading Permit.
24. All requirements, including construction of improvements, covered in condition number 20 must be completed to the satisfaction of the City Engineer.
25. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

LANDSCAPE AND IRRIGATION CONDITIONS

26. The Final Landscape Plans shall substantially conform to the Landscape Preliminary Plan prepared by D. Turner Landscape Architecture, dated 3-31-2016, as approved by the City of Agoura Hills Planning Commission.
27. If any tree of heaven (*Ailanthus altissima*) is located on-site, it is to be permanently eradicated. The Final Landscape Plans must contain a note to this effect and specify the method of eradication.
28. Prior to the approval of a Grading Permit, the applicant shall submit three (3) sets of Final Landscape and Irrigation Plans for review by the City Landscape Consultant and approval by the Planning Director. A California – licensed Landscape Architect shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, and Building Elevations Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans. The Landscape and Irrigation Plan shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.
29. At the time of the Final Landscape Plans submittal, the project Landscape Architect shall provide the City with written confirmation that he/she has reviewed the civil engineering drawings and that the Landscape Plan is not in conflict with the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID).
30. Planting Plans shall indicate the botanical name, the plant container sizes and spacing. The size of trees and shrubs shall be as indicated on the preliminary landscape plan. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
31. The Final Landscape Plans shall include the following notes:
 - a. The project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans.
 - b. Identification of the total square footage of the landscape area within the project.
32. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
33. With the Final Landscape Plans, three (3) copies of planting and irrigation details and specifications shall be provided, addressing but not limited to, planting, soil

preparation, tree staking, guying, instillation details and post installation maintenance.

34. The approved landscaping shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
35. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
36. The Final Landscape Plan shall be approved by the Fuel Modification Unit of the County of Los Angeles Fire Department prior to City's issuance of a Building Permit.
37. Landscaping and irrigation installation shall be subject to inspection and approval by the Planning Department prior to final building permit inspection.

FIRE DEPARTMENT CONDITIONS

38. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a Building Permit.

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

39. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
40. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project

generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

41. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

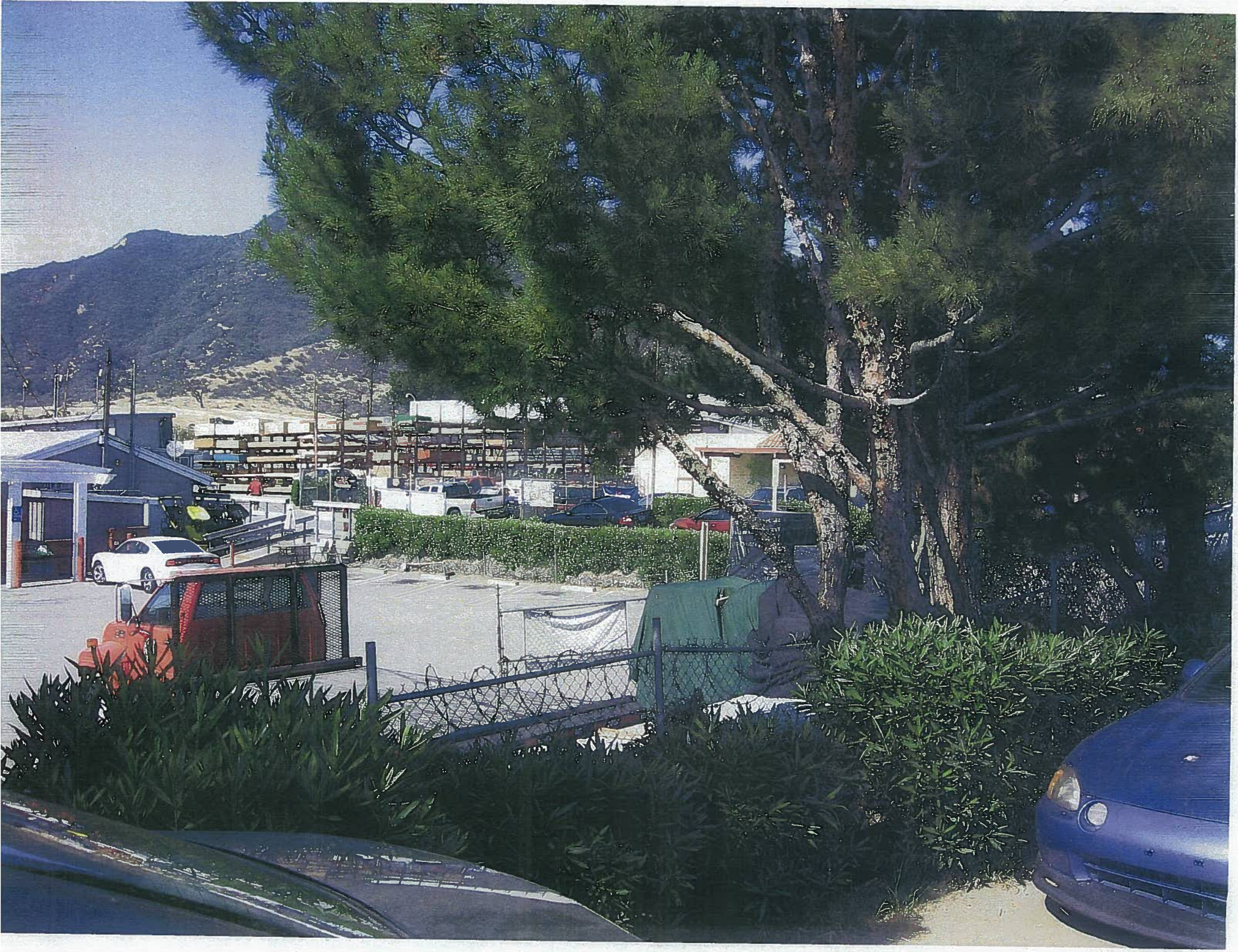






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2012.12.3





pk:a pk:a pk:a

pk:a
2125 ele team drive, suite 110
agoura hills, california 91301
916 594 0057 | 916 594 0018
www.pkaarchitecture.net

building 1 :

 **RoadsideLumber**
2360 Roadside Drive, Agoura Hills, California

15-2830



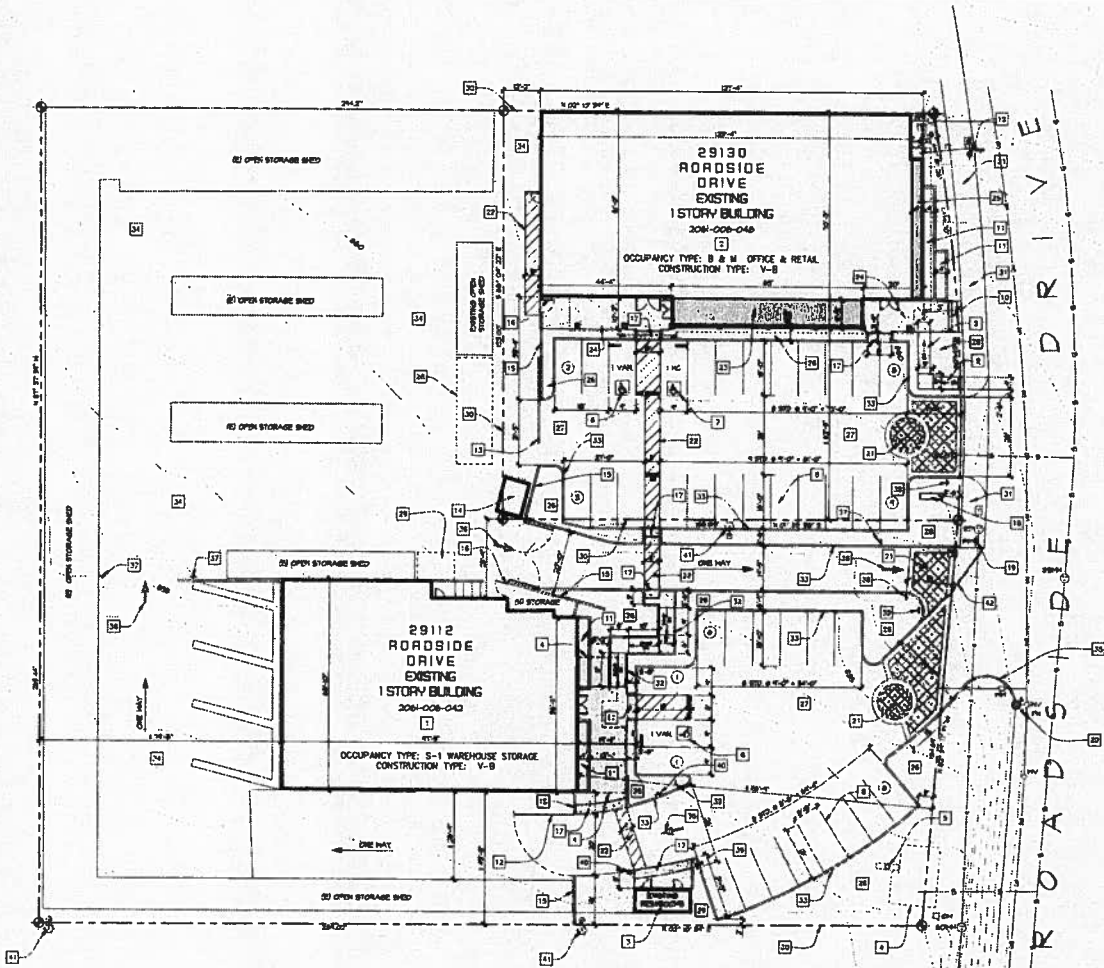
pk:a pk:a pk:a

pk:a
5155 Clonaton Drive • Suite 110
Agoura Hills • California 91301
818.394.0057 • 818.394.0018
www.architectpk.com

building 2 :



RoadsideLumber
2302 Roadside Drive, Agoura Hills, California



site plan key notes

- 1 EXISTING ONE STORY WAREHOUSE BELONGING TO REPAIR, PORTION TO BE REMOVED. NEW ROOF AND EXTERIOR WALL FINISH.
- 2 EXISTING ONE STORY RETAIL BUILDING BELONGING TO REPAIR. EXISTING PORTION BELONGING TO A NEW ROOF. EXTERIOR WALL FINISH, NEW ROOF, SANDED AND REFINISH FLOOR FINISH.
- 3 EXISTING ACCESSIBLE WAREHOUSE TO BE REMOVED TO MAKE ADA ACCESSIBLE. EXISTING CONSTRUCTION TO BE REMOVED.
- 4 EXISTING POLE SIGN TO BE REMOVED. CITY OF PHOENIX SIGN TO BE RE-DESIGNED.
- 5 CITY AND PARKING ADA ACCESSIBLE AND FINISHED WITH INTERNATIONAL ADA FINISH. EXISTING ADA ACCESSIBLE PARKING WITH INTERNATIONAL ADA FINISH.
- 6 CITY STAFFORD PARKING SPACES.
- 7 NEW CONCRETE ADA ACCESSIBLE SIDEWALK SLAB ON GRADE TO BE LAYED IN REPAIR. 4" MIN FLOOR ACCESSIBILITY SURFACE GRADE IN HOOD SLAT FORMING.
- 8 EXISTING CONCRETE SLAB TO BE REMOVED, REPAIR MATERIAL AS REQUIRED.
- 9 NEW EXISTING LANDSCAPE PLANTER BOXES TO LANDSCAPE PLAN.
- 10 NEW 2" X 4" MIN ACCESS SECURITY SIGN GAZE IN HOOD SLAT FORMING.
- 11 NEW 2" X 4" MIN FLOOR SECURITY SIGN GAZE IN HOOD SLAT FORMING.
- 12 RELOCATED EXISTING SIGNAGE ON NEW LEVEL, FACE.
- 13 NEW 4" MIN HOOD ON SITE HOOD-SLAT FINISH. SEE EXTERIOR SIGNAGE PLAN.
- 14 NEW 4" MIN ACCESS GAZE IN FINISH IN HOOD SLAT TO MATCH FINISH.
- 15 NEW 4" MIN ADA ACCESSIBLE WOODEN FLOOR SHALL MATCH FINISH.
- 16 NEW WOODEN FLOOR. ALL NEW ON-SITE SIGNAGE TO MEET CITY STANDARDS.
- 17 EXISTING POWER POLE TO BE REMOVED.
- 18 EXISTING FENCE TO BE REMOVED.
- 19 NEW DEMOLITION CONCRETE SITE DRAINAGE ENTRY PAVING, FINISH COLOR AND TYPING TO BE APPROVED BY PLANNING. COLOR: BROWN RED.
- 20 FENCE ON PERMITTED FURNISH ADA ACCESSIBLE ASSETS.
- 21 RELOCATED EXISTING SIGNAGE FROM DISPLAY ROOM WITH BARRICADE FROM BROWN RED EXISTING SIGNAGE.
- 22 EXISTING SIGNAGE TO BE REMOVED.
- 23 NEW SIGNAGE DISPLAY ROOM ADA WITH BARRICADE FINISH SYSTEM.
- 24 NEW LANDSCAPE AREA, SEE LANDSCAPE PLAN.
- 25 REPAIR AND RE-ROUTE EXISTING PARKING LOT.
- 26 EXISTING OPEN WAREHOUSE SIGN TO BE REMOVED.
- 27 EXISTING SIGNAGE SPACE TO BE RELOCATED AS SHOWN.
- 28 PROPERTY LINE PER TITLE REPORT.
- 29 EXISTING WAREHOUSE CONCRETE PUBLIC SIDEWALK TO BE REMOVED.
- 30 NEW ADA ACCESSIBLE EXISTING RAMP WITH 4" CURBS, LAND LANDING AND 24" HIGH WOOD RAILING, FINISH SLAB ON GRADE.
- 31 NEW 4" CURBSIDE LANDSCAPE AND PARKING CURBS.
- 32 EXISTING TO BE REMOVED AS IS. NO NEW WORK IN THIS AREA.
- 33 NEW SIGN SIGNAGE AND SIGNAGE TO BE DESIGNED BY THE ARCHITECT AND FINISH REFINISHED EXTERIOR FINISH REFINISH.
- 34 EXISTING SIGNAGE SPACE FOR ONE WAY PARKING ON PARKING.
- 35 TO NEW EXTERIOR SIGN ON POST.
- 36 SIGN ON POST.
- 37 NEW SIGN SIGNAGE SIGN ON POST.
- 38 TO PARKING - FINE LINE SIGN ON POST. PAINT CURBS RED.
- 39 EXISTING LIGHT ON POLE TO BE REMOVED.
- 40 4" HOOD (NEW) PAINTED EXTERIOR LINE ON PAVING.

general notes

1. ALL EXISTING MATERIALS ARE TO BE REPAIRED, REFINISHED, REPAINTED, REFINISHED AND REFINISHED TO MEET THE NEW SIGN FINISH AND SAFETY SIGN. (1) NEW SIGNAGE AND SIGNAGE IN COMPLIANCE WITH THE ADA AND ILLINOIS CODES AND CHAPTER 2 OF ARTICLE VII IN THE ADA AND ILLINOIS CODES, SECTION 1-11-01.
2. ALL BUILDING SIGNAGE AS SHOWN IS FOR REFERENCE ONLY. ALL BUILDING SIGNAGE BELONGING TO NEW BUILDING AND EXISTING BUILDING SHALL MEET CITY STANDARDS AND SHALL BE IDENTIFIED SEPARATELY FOR A SEPARATE SIGN PERMIT TO BE SUBMITTED ON THE PLAN.
3. PROPERTY LINE PER TITLE REPORT. ALL CONSTRUCTION IS TO BE COMPLETED BY THE PERMITTED DATE OF EXPIRATION OF THE PERMIT ON THE DATE.
4. ALL NEW AND EXISTING SITE LIGHTING SHALL BE IDENTIFIED BY PLANNING FOR PERMITTING PURPOSES. PERMITTING PURPOSES, OF THE PERMITTING AND PLACEMENT ON THE DATE.
5. LANDSCAPING AS ALL EXISTING EXTERIOR WAREHOUSE DRIVE SHALL BE LUSH WITH 10' MIN EXISTING WITH SIGNS.
6. EXISTING SIGNAGE, EXTERIOR FINISH AND EXTERIOR SIGNAGE SHALL BE IDENTIFIED SEPARATELY FOR A SEPARATE SIGN PERMIT TO BE SUBMITTED ON THE PLAN AND SHALL NOT EXCEED AS A RESULT OF THIS PROJECT.
7. SIGN SIGNAGE SHALL BE IDENTIFIED WITH A RECORDED 'SIGNAGE' PLANNING APPROVAL.

PROJECT DATA

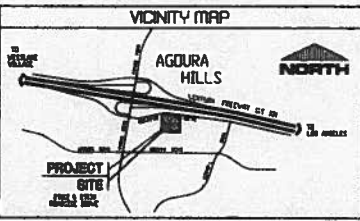
SITE AREA & BREAKDOWN			
SITE AREA 2912 BUILDING	56,377 S.F.	1.26 AC	
SITE AREA 29130 BUILDING	19,767 S.F.	0.45 AC	
TOTAL EXISTING DEVELOPED SITE AREA:	76,144 S.F.	1.82 AC	
2912 BUILDING SITE AREA BREAKDOWN:			
EXISTING BUILDING FOOTPRINT:	5,840 S.F.	10.0 %	
EXISTING OTHER SITE STRUCTURES:	12,418 S.F.	21.0 %	
LANDSCAPE AND PLANTING:	35,112 S.F.	59.1 %	
WALKS & RAMPS:	1,570 S.F.	2.8 %	
TOTAL EXISTING DEVELOPED SITE AREA:	56,377 S.F.	100.0 %	
29130 BUILDING SITE AREA BREAKDOWN:			
NEW BUILDING FOOTPRINT:	8,230 S.F.	41.6 %	
EXISTING OTHER SITE STRUCTURES:	4,820 S.F.	24.4 %	
LANDSCAPE AND PLANTING:	1,937 S.F.	9.7 %	
WALKS & RAMPS:	1,291 S.F.	6.4 %	
TOTAL EXISTING DEVELOPED SITE AREA:	19,767 S.F.	100.0 %	
TOTAL BUILDINGS SITE AREA BREAKDOWN:			
NEW BUILDING FOOTPRINT:	14,178 S.F.	18.0 %	
EXISTING OTHER SITE STRUCTURES:	12,545 S.F.	16.0 %	
LANDSCAPE AND PLANTING:	5,710 S.F.	7.5 %	
WALKS & RAMPS:	2,815 S.F.	3.6 %	
TOTAL EXISTING DEVELOPED SITE AREA:	35,148 S.F.	100.0 %	
BUILDING AREAS			
EXISTING MAIN BUILDING AREA:	8,512 S.F.		
BUILDING DEMOLITION:	- 364 S.F.		
TOTAL NEW GROSS BUILDING AREA:	8,148 S.F.	10.0 % (FAR)	
29130 BUILDING AREA:			
EXISTING MAIN BUILDING AREA:	7,458 S.F.		
BUILDING ADDITION:	+ 772 S.F.		
TOTAL NEW GROSS BUILDING AREA:	8,230 S.F.	41.6 % (FAR)	
ROOF BUILDING AREAS:			
EXISTING MAIN BUILDING AREA:	13,970 S.F.		
NET BUILDING AREA CHANGE:	+ 208 S.F.		
TOTAL NEW GROSS BUILDING AREA:	14,178 S.F.	17.8 % (FAR)	
BUILDING AREA BREAKDOWN:			
2912 BUILDING AREA BREAKDOWN:			
INCIDENTAL OFFICE & RESTROOM AREA:	254 S.F.	4.3 %	
WAREHOUSE & STORAGE AREA:	5,584 S.F.	95.7 %	
TOTAL NEW GROSS BUILDING AREA:	5,840 S.F.	100.0 %	
29130 BUILDING AREA BREAKDOWN:			
MAIN OFFICE & RESTROOM AREA:	1,211 S.F.	14.7 %	
WAREHOUSE & STORAGE AREA:	7,019 S.F.	85.3 %	
TOTAL NEW GROSS BUILDING AREA:	8,230 S.F.	100.0 %	
ROOF BUILDING AREA BREAKDOWN:			
INCIDENTAL OFFICE & RESTROOM AREA:	254 S.F.	1.8 %	
MAIN OFFICE & RESTROOM AREA:	1,211 S.F.	8.5 %	
WAREHOUSE & STORAGE AREA:	5,584 S.F.	40.2 %	
RETAIL SALES & DISPLAY AREA:	7,019 S.F.	50.5 %	
TOTAL NEW GROSS BUILDING AREA:	14,178 S.F.	100.0 %	
PARKING REQUIRED:			
2912 BUILDING AREA BREAKDOWN:			
INCIDENTAL OFFICE & R.R. AREA:	254 S.F.	1,250 S.F.	1 SPACES
WAREHOUSE & STORAGE AREA:	5,584 S.F.	1,100 S.F.	8 SPACES
TOTAL NEW GROSS BUILDING AREA:	5,840 S.F.	2,350 S.F.	9 SPACES
29130 BUILDING AREA BREAKDOWN:			
MAIN OFFICE & RESTROOM AREA:	1,211 S.F.	1,300 S.F.	4 SPACES
WAREHOUSE & STORAGE AREA:	5,584 S.F.	1,050 S.F.	8 SPACES
RETAIL SALES & DISPLAY AREA:	7,019 S.F.	1,250 S.F.	32 SPACES
TOTAL NEW GROSS BUILDING AREA:	8,230 S.F.	3,600 S.F.	44 SPACES
ROOF BUILDING AREA BREAKDOWN:			
INCIDENTAL OFFICE & R.R. AREA:	254 S.F.	1,250 S.F.	1 SPACES
MAIN OFFICE & RESTROOM AREA:	1,211 S.F.	1,300 S.F.	4 SPACES
WAREHOUSE & STORAGE AREA:	5,584 S.F.	1,050 S.F.	8 SPACES
RETAIL SALES & DISPLAY AREA:	7,019 S.F.	1,250 S.F.	32 SPACES
TOTAL NEW GROSS BUILDING AREA:	14,178 S.F.	3,850 S.F.	45 SPACES
PARKING PROVIDED:			
2912 BUILDING:	(3) DISABLED	1,350 S.F.	17 SPACES
29130 BUILDING:	(3) DISABLED	1,343 S.F.	24 SPACES
TOTAL SPACES PROVIDED: (3) DISABLED			41 SPACES
RATIO:			2.88/1,000 S.F.

sheet index

overall site plan
SCALE: 1/16" = 1'-0"
North

SCOPE OF WORK

SCALE: 1/16" = 1'-0"
1. ALL EXISTING MATERIALS ARE TO BE REPAIRED, REFINISHED, REPAINTED, REFINISHED AND REFINISHED TO MEET THE NEW SIGN FINISH AND SAFETY SIGN. (1) NEW SIGNAGE AND SIGNAGE IN COMPLIANCE WITH THE ADA AND ILLINOIS CODES AND CHAPTER 2 OF ARTICLE VII IN THE ADA AND ILLINOIS CODES, SECTION 1-11-01.
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7. SIGN SIGNAGE SHALL BE IDENTIFIED WITH A RECORDED 'SIGNAGE' PLANNING APPROVAL.



PROJECT INFORMATION

AGOURA VILLAGE DEVELOPMENT
PERMIT CASE NO.: 12-ANP-001 & 12-ANP-002
PREVIOUS DEVELOPMENT NO.: NONE
ADDRESS: 2912 & 29130 ROADSIDE DRIVE
A.P.A. NO.: (2912 BLDG.) 208-1008-042 (L.A. COUNTY)
A.P.A. NO.: (29130 BLDG.) 208-1008-048 (L.A. COUNTY)
LEGAL DESCRIPTION: L5 13-5-1 PORTION OF LOT 13
BLOCK 12, PHASE 8 & 9
AGOURA VILLAGE S.P. ZONE C



overall site plan, project description & project data

SITE BUILDING & INTERIOR REMODEL
for
Roadside Lumber
8 HARDWARE, INC.
2912 & 29130 ROADSIDE DRIVE
AGOURA HILLS, CALIFORNIA 91301



existing overall site plan

scale: 1/16" = 1'-0"



PROJECT DIRECTORY	
APPLICANT / OWNER ROADSIDE LUMBER & HARDWARE, INC. 29112 ROADSIDE DRIVE AGOURA HILLS, CA 91301 CONTACT: JOHN TURNER PHONE: (909) 991-1500 FAX: (909) 991-2212 E-MAIL: john@roadsidehardware.com	CIVIL ENGINEER M3 CIVIL, INC. 400 ROSEWOOD AVENUE, SUITE 200 CANAVERA, CA 92326 PHONE: (951) 845-8404 ext. 226 FAX: (951) 845-8401 E-MAIL: j@roadside.com
ARCHITECT TK ARCHITECTURE 4122 CLAREMONT DRIVE, SUITE 110 AGOURA HILLS, CA 91301 CONTACT: DAVID G. NEUMAN PHONE: (909) 264-0027 ext. 19 FAX: (909) 264-1700 E-MAIL: dave@tkarchitects.com	LANDSCAPE ARCHITECT D. TURNER LANDSCAPE ARCHITECTURE 32021 PACIFIC COAST HWY. #200 FOLSOM, CA 95630 CONTACT: DENNIS TURNER PHONE: (916) 932-7280 FAX: (916) 932-7957 E-MAIL: dturner@turnerla.com
PROJECT INFORMATION	
AGOURA VILLAGE DEVELOPMENT PERMIT CASE NO.	12-AVDP-001 & 12-AVDP-002
PREVIOUS DEVELOPMENT NOS.	NONE
ADDRESS:	29112 & 29130 ROADSIDE DRIVE
A.P.N. NO.: (29112 BLDG.)	20811-008-042 (L.A. COUNTY)
A.P.N. NO.: (29130 BLDG.)	20811-008-048 (L.A. COUNTY)
LEGAL DESCRIPTION:	LS 15-8-9, PORTION OF LOT 13 BLOCK 12, PAGE 8 & 9
ZONE:	AGOURA VILLAGE S.P. ZONE C

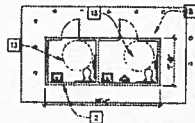
existing overall site plan

SITE, BUILDING, & INTERIOR REMODEL
for
Roadside Lumber
& HARDWARE, INC.
29112 & 29130 ROADSIDE DRIVE
AGOURA HILLS, CALIFORNIA 91301

apl-a

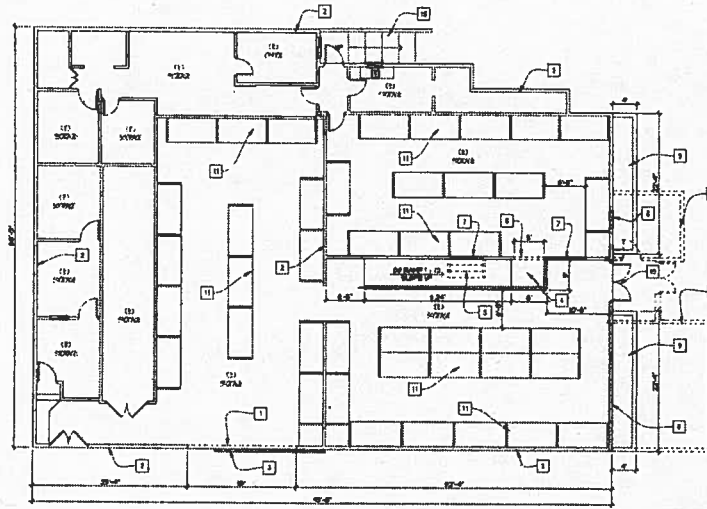
number: 08-16-15 - 1st Submission: 08-25-15 - 2nd Submission: 03-13-16

PROJECT: 15-029-30 - ROADSIDE LUMBER & HARDWARE, INC. 29112 & 29130 ROADSIDE DRIVE, AGOURA HILLS, CA 91301. DATE: 08-16-15. DRAWN BY: J. TURNER. CHECKED BY: J. TURNER.



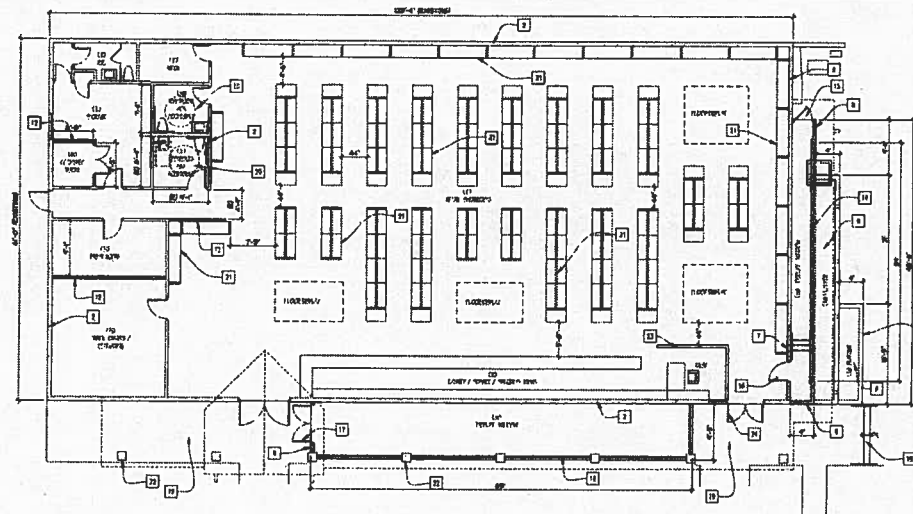
existing restroom floor plan

SCALE: 1/8" = 1'-0"



29112 building floor plan

SCALE: 1/8" = 1'-0"



29130 building floor plan

SCALE: 1/8" = 1'-0"



floor plan key notes

- 1 PORTION OF EXISTING BUILDING TO BE REMOVED. REPAIR FLOOR AND HALL FOR NEW HALL AND FLOOR.
- 2 EXISTING BUILDING HALL TO REMAIN. REPAIR AND PATCH FOR NEW EXTERIOR FINISH.
- 3 NEW 6' x 8' x 4'-0" EXTERIOR ROLLING SERVICE DOOR BY OWNER.
- 4 NEW EXISTING REAR HALL TO BE REMOVED. REPAIR HALL TO BE BLUETOOTH. NEW 6' x 8' x 4'-0" EXTERIOR ROLLING AND LANDSCAPE SPACE FOR GARAGE. TO BE REMOVED. REPAIR FLOOR. REPAIR GARAGE FOR SHOP LIFT.
- 5 EXISTING RESTROOMS TO BE REMOVED.
- 6 REPAIR LOWER PORTION AT EXISTING OPENING IN HALL. PATCH NEW FLOOR OPENING.
- 7 NEW FILL IN EXISTING HALL TO FLOOR OF NEW EXTERIOR. PATCH NEW FLOOR OPENING EXTERIOR HALL.
- 8 NEW FILL REAR OR FLOOR EXTERIOR HALL TO MATCH EXISTING EXTERIOR HALL.
- 9 NEW FINISH FLOOR AND LANDSCAPE PLAN FOR HOME IMPROVEMENTS. SEE EXISTING ELEVATION.
- 10 NEW FINISH 6' x 8' x 4'-0" HOLLOW METAL BUILDING ENTRY DOORS.
- 11 REPAIR RACKS TYPICAL BY OWNER.
- 12 NEW FILL REAR EXTERIOR PARTITION WITH BOW SHOTS ATTACHED BOARD ON METAL. SHED NEW SHED BAY.
- 13 CONVERT EXISTING RESTROOM TO AN ADA ACCESSIBLE RESTROOM WITH ALL NEW ADA FIXTURES.
- 14 NEW EXTERIOR ENTRY DISPLAY HALL WITH CLEAR GLASS DISPLAY GLAZING AND ALUM. FRAME.
- 15 NEW EXTERIOR ACCESS / ENTRY DOOR TO NEW DISPLAY AREA.
- 16 NEW EXTERIOR ACCESS DOOR TO NEW DISPLAY AREA.
- 17 NEW EXTERIOR ACCESS DOOR TO NEW DISPLAY AREA.
- 18 EXISTING EXTERIOR STAIR AND WALKWAYS TO REMAIN.
- 19 EXISTING CONC. WALKWAY TO REMAIN.
- 20 EXISTING ADA ACCESSIBLE RESTROOM TO REMAIN. MAY NEED TO UPGRADE FIXTURES TO NEW ADA.
- 21 NEW FILL AND DISPLAYS IN METAL AREA BY OWNER.
- 22 EXISTING BUILDING COLLAR TO REMAIN.
- 23 NEW LOW PARTITION HALL.
- 24 REMOVE AND REPLACE EXISTING PARTITION WITH NEW FLOOR GLASS ENTRY DOORS TO MATCH THE OTHER NEW ENTRY DOORS AND ADJUSTED HEIGHT.
- 25 EXISTING NEW EXTERIOR HALL TO REMAIN. AND RE-USE FOR THE NEW LANDSCAPE FINISH. ADD NEW HALLS FOR EXTERIOR INCLUDING SEE ELEVATION FOR FINISH AND COLOR. SEE ALSO LANDSCAPE PLANS FOR LANDSCAPE.

restroom fixture count

2912 EXISTING BUILDING
 NUMBER OF OCCUPANTS = 1000 SF = 1000 SF = 43 OCCUPANTS
 2 - MEN AND 3 - WOMEN
 REQUIRED FOR MEN: 1 - TOILET, 1 - URINAL, 1 - SINK
 REQUIRED FOR WOMEN: 1 - TOILET, 1 - SINK
 PROVIDED FOR MEN: 1 - TOILET, 1 - URINAL, 1 - SINK
 PROVIDED FOR WOMEN: 1 - TOILET, 1 - SINK
 ONE SINGLE OCCUPANT RESTROOM PROVIDED FOR EACH SEX.

29130 NEW BUILDING
 NUMBER OF OCCUPANTS = 6000 SF = 1000 SF = 43 OCCUPANTS
 2 - MEN AND 3 - WOMEN
 REQUIRED FOR MEN: 1 - TOILET, 1 - URINAL, 1 - SINK
 REQUIRED FOR WOMEN: 1 - TOILET, 1 - SINK
 PROVIDED FOR MEN: 1 - TOILET, 1 - URINAL, 1 - SINK
 PROVIDED FOR WOMEN: 1 - TOILET, 1 - SINK
 ONE PUBLIC AND PRIVATE SINGLE OCCUPANT RESTROOM PROVIDED FOR EACH SEX.
 ONE ADDITIONAL EMPLOYEE ONLY RESTROOM PROVIDED BY A SECOND TOILET.

PROJECT DIRECTORY

APPLICANT / OWNER	CIVIL ENGINEER
ROADSIDE LUMBER & HARDWARE, INC. 29112 ROADSIDE DRIVE AGOURA HILLS, CA 91301 CONTACT: GREG HOBBS PHONE: (918) 991-1990 FAX: (918) 991-2382 E-MAIL: greg@roadside.com	WJ CIVIL, INC. 400 BEECHWOOD AVENUE, SUITE 201 CARMARKLE, CA 93008 CONTACT: JIM LANGE PHONE: (918) 459-6600 ext. 228 FAX: (918) 455-6401 E-MAIL: jim@wjcivil.com
ARCHITECT	LANDSCAPE ARCHITECT
PK ARCHITECTURE 6128 CLANTON DRIVE, SUITE 110 AGOURA HILLS, CA 91301 CONTACT: DAVID G. BURMAN PHONE: (918) 991-0257 ext. 18 FAX: (918) 991-1349 E-MAIL: david@pkarch.com	D. TURNER LANDSCAPE ARCHITECTURE 33832 PACIFIC COAST HWY. #109 MALIBU CA 90262 CONTACT: DEBRA TURNER PHONE: (310) 872-7000 FAX: (310) 872-7000 E-MAIL: dturner@turner.com

PROJECT INFORMATION

AGOURA VILLAGE DEVELOPMENT PROJECT CASE NO.:	12-AMVP-001 & 12-AMVP-002
PREVIOUS DEVELOPMENT NOS.:	NONE
ADDRESS:	29112 & 29130 ROADSIDE DRIVE
A.P.A. NO. (29112 BLDG.)	2061-006-042 (L.A. COUNTY)
A.P.A. NO. (29130 BLDG.)	2061-006-043 (L.A. COUNTY)
LEGAL DESCRIPTION:	LS 13-8-8 - PORTION OF LOT 13 BLOCK 12, PAGE 8 & 9
ZONE:	AGOURA VILLAGE S.P. ZONE C

pkc

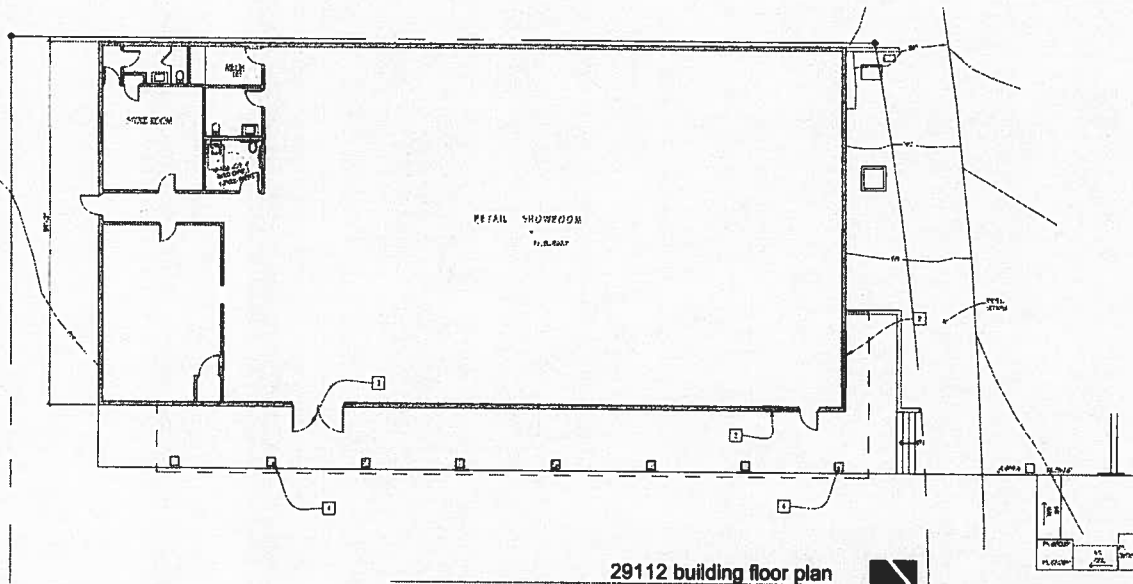
new floor plans:

SITE, BUILDING, & INTERIOR REMODEL
 for
Roadside Lumber
 & HARDWARE, INC.

29112 & 29130 ROADSIDE DRIVE
 AGOURA HILLS, CALIFORNIA 91301

15-029.20

apc-a



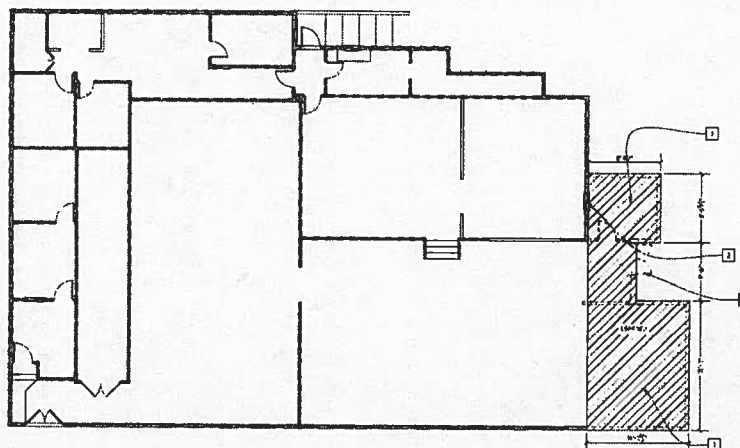
29112 building floor plan

scale: 1/8" = 1'-0"



existing floor plan key notes

- 1 EXISTING PARTIAL BELOW STRUCTURE TO BE REMOVED
- 2 EXISTING BUILDING PARTIAL TO BE REPLACED
- 3 EXISTING BUILDING PARTIAL WITH INTERIOR TO BE REMOVED. FULL PORTION OF HALL TO REMAIN
- 4 EXISTING BUILDING HALL FOR RETAIL AND STOCK ROOM
- 5 EXISTING BRICKWORK COLUMN TO REMAIN
- 6 EXISTING ENTRY DOOR TO BE REMOVED



29130 building floor plan

scale: 1/8" = 1'-0"

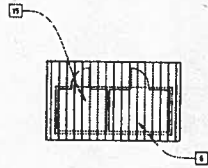


PROJECT DIRECTORY

APPLICANT / OWNER	CIVIL ENGINEER
ROADSIDE LUMBER & HARDWARE, INC. 29112 ROADSIDE DRIVE AGOURA HILLS, CA 91201 CONTACT: GUY LAMBERTSON PHONE: (818) 399-1992 FAX: (818) 399-1262 E-MAIL: guy@slh.com	SAJ CIVIL, INC. 450 RIVERSIDE AVENUE, SUITE 201 CAMPBELL, CA 95304 CONTACT: GUY LAMBERTSON PHONE: (805) 442-1404 ext. 228 FAX: (805) 442-4401 E-MAIL: info@slh.com
ARCHITECT	LANDSCAPE ARCHITECT
PRO-ARCHITECTURE 5138 CLAREMONT DRIVE, SUITE 110 AGOURA HILLS, CA 91201 CONTACT: DAVID S. MURPHY PHONE: (818) 384-0051 ext. 16 FAX: (818) 802-1262 E-MAIL: dsm@proarch.com	D. TURNER LANDSCAPE ARCHITECTURE 23832 PACIFIC COAST HWY. #109 MARELU, CA 92055 CONTACT: STEVEN TURNER PHONE: (619) 892-7900 FAX: (619) 892-7000 E-MAIL: steve@turnerpa.com

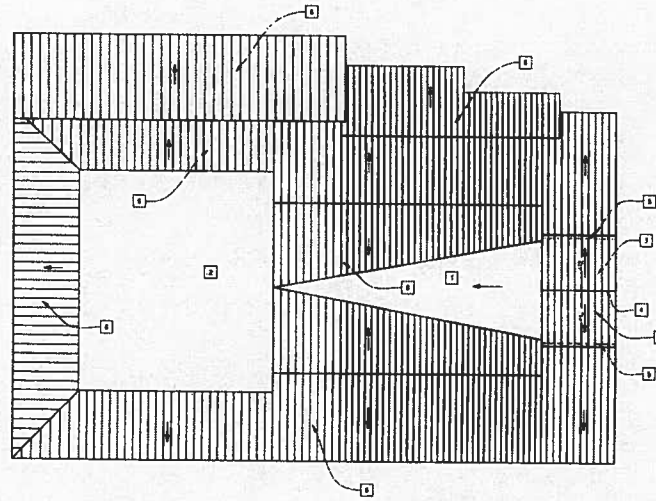
PROJECT INFORMATION

AGOURA VILLAGE DEVELOPMENT PROJECT CASE NO.:	12-AVDP-001 & 12-AVDP-002
PREVIOUS DEVELOPMENT NOS.:	NONE
ADDRESS:	29112 & 29130 ROADSIDE DRIVE
A.P.N. NO. (29112 BLDG.)	2051-008-042 (L.A. COUNTY)
A.P.N. NO. (29130 BLDG.)	2051-008-048 (L.A. COUNTY)
LEGAL DESCRIPTION:	LS 12-B-8 PORTION OF LOT 13 BLOCK 12, PAGE 8 & 9
ZONE:	AGOURA VILLAGE S.P. ZONE C



existing restroom roof plan (for reference only)

scale: 1/8" = 1'-0"



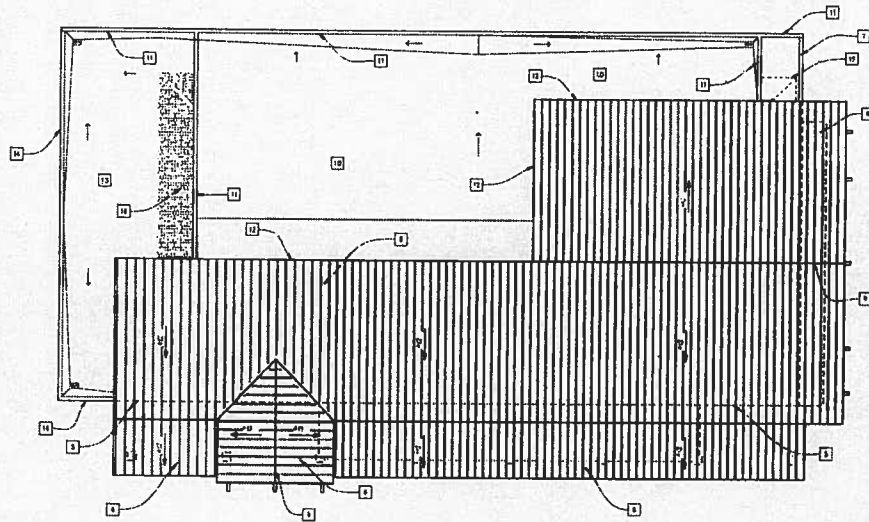
29112 building roof plan

scale: 1/8" = 1'-0"



roof plan key notes

- A NEW GICKEY R BELT-UP ROOFING MEM. SLOPED TO DRAIN.
- B EXISTING FLAT ROOF TO REMAIN AND BE REFINISHED WITH CLASS 'A' REFINISHED BITUMEN ROOFING.
- C UPPER LEVEL ROOF WITH 4 TO 12 SLOPE.
- D UPPER ROOF FIBER LINE IS, 840P.
- E TOP EDGE OF LOWER ROOF MEETS VERTICAL WALL IS, 814P.
- F NEW ROOF PANEL PANEL - DELTA RED 34" PANEL - METALLIC SILVER WHITE PANEL.
- G EXISTING LOWER BLDG. PARAPET WALL TO REMAIN AS IS.
- H NEW ROOF FIBER LINE IS, 884P.
- I NEW ROOF FIBER LINE IS, 811P.
- J EXISTING FLAT BELT-UP ROOF TO REMAIN AND REFINISHED SEE NOTE 3 ABOVE IS, 815P.
- K EXISTING PROPERTY WALL IS, 815P.
- L EXISTING ROOF TO REMAIN PATCH AND FLASH TO INTERFACE WITH NEW ROOF SECTION AS REQUIRED.
- M EXISTING FLAT BELT-UP ROOF TO REMAIN AND REFINISHED SEE NOTE 3 ABOVE IS, 841P.
- N EXISTING PROPERTY WALL IS, 815P.
- O REMOVE EXISTING TILE ROOF ON 8 SIDE DROPPY ON THE SOUTH SIDE PER NOTE 5 BELOW.
- P HAVE EXISTING TILE ROOF OVER THE FLAT ROOF BELOW.



29130 building roof plan

scale: 1/8" = 1'-0"



PROJECT DIRECTORY

APPLICANT / OWNER	CIVIL ENGINEER
ROADSIDE LUMBER & HARDWARE, INC. 2912 ROADSIDE DRIVE AGOURA HILLS, CA 91301 CONTACT: OWEN HARRIS PHONE: (909) 891-1999 FAX: (909) 891-2282 E-MAIL: owen@roadside.com	BO CIVIL, INC. 608 BERNHARD AVENUE, SUITE 201 CANAVERAL, CA 92619 CONTACT: JAY LANGRISH PHONE: (909) 445-4000 ext. 229 FAX: (909) 445-4000 E-MAIL: jay@boinc.com
ARCHITECT	LANDSCAPE ARCHITECT
PR. ARCHITECTURE 3728 CLARETOWN DRIVE, SUITE 110 AGOURA HILLS, CA 91301 CONTACT: DAVID R. BURMAN PHONE: (909) 894-0001 ext. 15 FAX: (909) 894-1289 E-MAIL: david@prarchitect.com	B. TURNER LANDSCAPE ARCHITECTURE 22822 PACIFIC COAST HWY. #109 MALIBU, CA 90265 CONTACT: KENNETH TURNER PHONE: (310) 877-7000 FAX: (310) 877-7000 E-MAIL: kenneth@turnerla.com

PROJECT INFORMATION

AGOURA VILLAGE DEVELOPMENT PERMIT CASE NO.:	12-ANDP-001 & 12-ANDP-002
PREVIOUS DEVELOPMENT NOS.:	NONE
ADDRESS:	29112 & 29130 ROADSIDE DRIVE
APPL. NO. (29112 BLDG.)	2091-008-042 (L.A. COUNTY)
APPL. NO. (29130 BLDG.)	2091-008-048 (L.A. COUNTY)
LEGAL DESCRIPTION:	LS 12-B-9 PORTION OF LOT 13 BLOCK 13, PAGE 8 & 9
ZONE:	AGOURA VILLAGE S.P. ZONE C

pkc

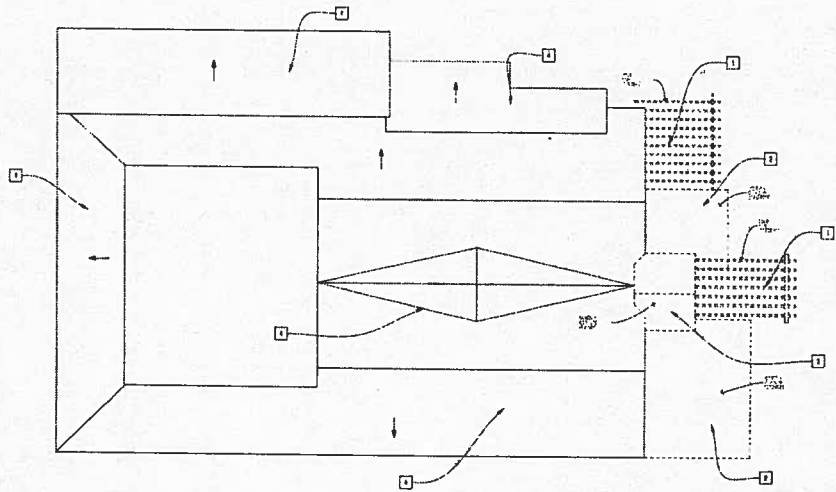
new roof plans:

SITE BUILDING & INTERIOR REMODEL
for
Roadside Lumber
& HARDWARE, INC.

2912 & 29130 ROADSIDE DRIVE
AGOURA HILLS, CALIFORNIA 91301

15-02930

ap3-e



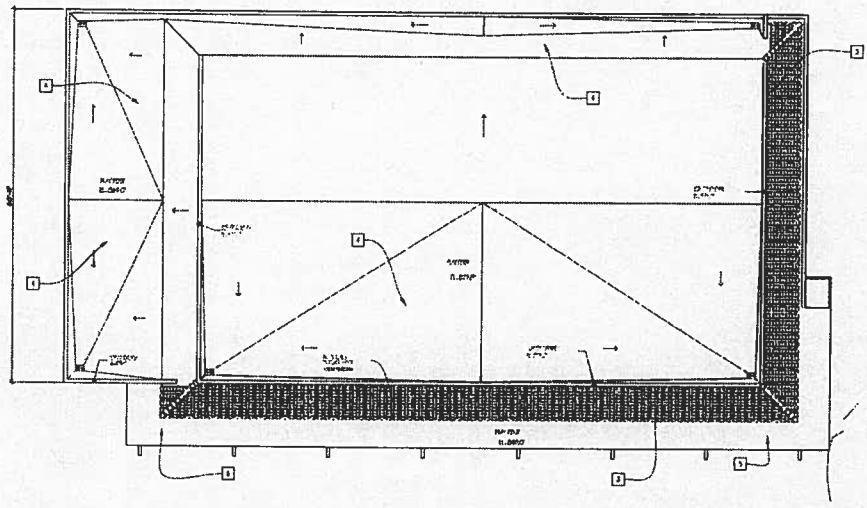
29112 building roof plan

scale: 1/8" = 1'-0"



existing roof plan key notes

- 1 EXISTING TRUSS FRAME TO BE REMOVED.
- 2 EXISTING GABLED ROOF TO BE REMOVED.
- 3 EXISTING CLAY ROOF TILE TO BE REMOVED.
- 4 EXISTING ROOF TO REMAIN.
- 5 EXISTING GREENHAY ROOF TO REMAIN.



29130 building roof plan

scale: 1/8" = 1'-0"



PROJECT DIRECTORY

<p>APPLICANT / OWNER ROADSIDE LUMBER & HARDWARE, INC. 29112 ROADSIDE DRIVE AGOURA HILLS, CA 91301 CONTACT: GREG MCGRAW PHONE: (949) 991-1990 FAX: (949) 991-2382 E-MAIL: gmcgraw@roadsidelumber.com</p>	<p>CIVIL ENGINEER H3 CIVIL, INC. 468 BOWEN AVENUE, SUITE 201 CAULFIELD, CA 9390 CONTACT: JAY LINDSEY PHONE: (925) 442-1104 ext. 228 FAX: (925) 442-4401 E-MAIL: jay@h3civil.com</p>
<p>ARCHITECT B. TURNER LANDSCAPE ARCHITECTURE 32822 PACIFIC COAST HWY. #100 MALIBU, CA 90265 CONTACT: EDWIN TURNER PHONE: (310) 892-7000 FAX: (310) 892-7000 E-MAIL: edwin@bturner.com</p>	<p>LANDSCAPE ARCHITECT B. TURNER LANDSCAPE ARCHITECTURE 32822 PACIFIC COAST HWY. #100 MALIBU, CA 90265 CONTACT: EDWIN TURNER PHONE: (310) 892-7000 FAX: (310) 892-7000 E-MAIL: edwin@bturner.com</p>

PROJECT INFORMATION

<p>AGOURA VILLAGE DEVELOPMENT PERMIT CASE NO.: 12-AVDP-001 & 12-AVDP-002</p>	<p>PREVIOUS DEVELOPMENT NOS.: NONE</p>
<p>ADDRESS: 29112 & 29130 ROADSIDE DRIVE</p>	<p>APN NO. (29112 BLDG.): 2061-008-042 (L.A. COUNTY)</p>
<p>APN NO. (29130 BLDG.): 2061-008-045 (L.A. COUNTY)</p>	<p>LEGAL DESCRIPTION: LS 13-B-9 PORTION OF LOT 13 BOOK 15, PAGE 8 & 9</p>
<p>ZONE: AGOURA VILLAGE S.P. ZONE C</p>	

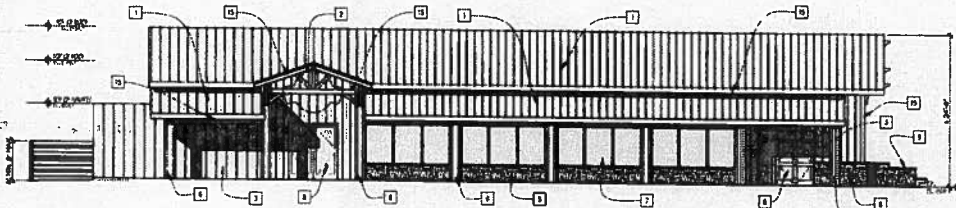
existing roof plans:

SITE, BUILDING, & INTERIOR REMODEL
 for
Roadside Lumber
 & HARDWARE, INC.
 29112 & 29130 ROADSIDE DRIVE
 AGOURA HILLS, CALIFORNIA 91301

ap3-b

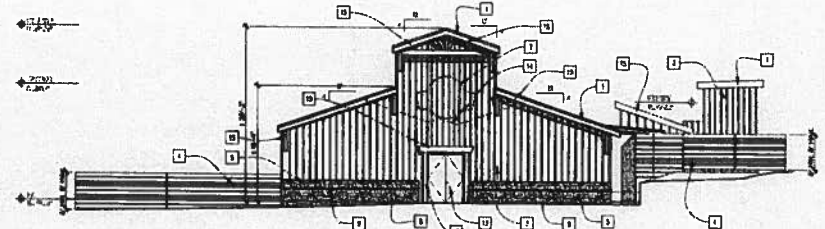
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PROJECT NO. 12-029-30 - AGOURA VILLAGE DEVELOPMENT - EXISTING ROOF PLANS - 12-029-30-01 - 12-029-30-02 - 12-029-30-03 - 12-029-30-04 - 12-029-30-05 - 12-029-30-06 - 12-029-30-07 - 12-029-30-08 - 12-029-30-09 - 12-029-30-10 - 12-029-30-11 - 12-029-30-12 - 12-029-30-13 - 12-029-30-14 - 12-029-30-15 - 12-029-30-16 - 12-029-30-17 - 12-029-30-18 - 12-029-30-19 - 12-029-30-20 - 12-029-30-21 - 12-029-30-22 - 12-029-30-23 - 12-029-30-24 - 12-029-30-25 - 12-029-30-26 - 12-029-30-27 - 12-029-30-28 - 12-029-30-29 - 12-029-30-30 - 12-029-30-31 - 12-029-30-32 - 12-029-30-33 - 12-029-30-34 - 12-029-30-35 - 12-029-30-36 - 12-029-30-37 - 12-029-30-38 - 12-029-30-39 - 12-029-30-40 - 12-029-30-41 - 12-029-30-42 - 12-029-30-43 - 12-029-30-44 - 12-029-30-45 - 12-029-30-46 - 12-029-30-47 - 12-029-30-48 - 12-029-30-49 - 12-029-30-50 - 12-029-30-51 - 12-029-30-52 - 12-029-30-53 - 12-029-30-54 - 12-029-30-55 - 12-029-30-56 - 12-029-30-57 - 12-029-30-58 - 12-029-30-59 - 12-029-30-60 - 12-029-30-61 - 12-029-30-62 - 12-029-30-63 - 12-029-30-64 - 12-029-30-65 - 12-029-30-66 - 12-029-30-67 - 12-029-30-68 - 12-029-30-69 - 12-029-30-70 - 12-029-30-71 - 12-029-30-72 - 12-029-30-73 - 12-029-30-74 - 12-029-30-75 - 12-029-30-76 - 12-029-30-77 - 12-029-30-78 - 12-029-30-79 - 12-029-30-80 - 12-029-30-81 - 12-029-30-82 - 12-029-30-83 - 12-029-30-84 - 12-029-30-85 - 12-029-30-86 - 12-029-30-87 - 12-029-30-88 - 12-029-30-89 - 12-029-30-90 - 12-029-30-91 - 12-029-30-92 - 12-029-30-93 - 12-029-30-94 - 12-029-30-95 - 12-029-30-96 - 12-029-30-97 - 12-029-30-98 - 12-029-30-99 - 12-029-30-100



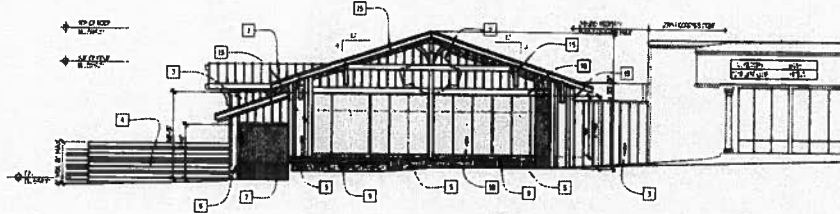
29130 building east elevation

scale: 1/8" = 1'-0"



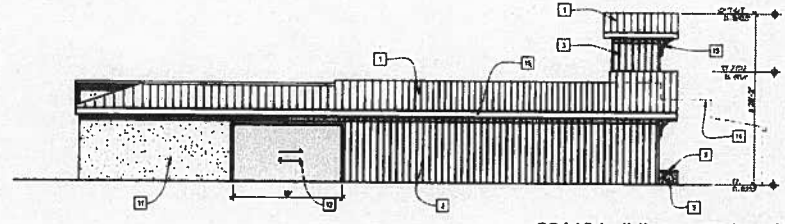
29112 building north elevation

scale: 1/8" = 1'-0"



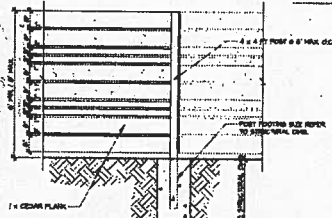
29130 building north elevation

scale: 1/8" = 1'-0"



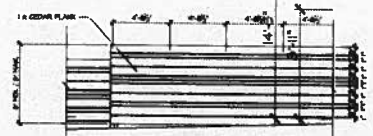
29112 building east elevation

scale: 1/8" = 1'-0"



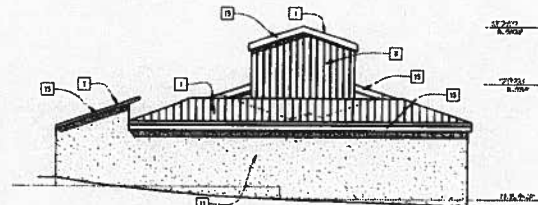
on site fence elevation

scale: 1/2" = 1'-0"



on site fence elevation

scale: 1/4" = 1'-0"



29112 building south elevation

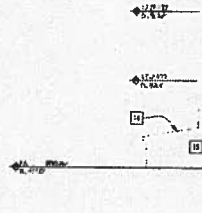
scale: 1/8" = 1'-0"

general notes

- 1. ALL EXTERIOR MATERIALS MUST BE APPROVED BY THE ARCHITECT AND MUST BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND THE CALIFORNIA FIRE ALARM AND SAFETY CODE (IF APPLICABLE). MATERIALS ARE SUBJECT TO APPROVAL BY THE 2018 CALIFORNIA BUILDING CODE AND CHAPTER 1 OF THE 2018 CALIFORNIA FIRE ALARM AND SAFETY CODE (IF APPLICABLE).

building elevation key notes

1. 1/4" x 1/4" METAL ROOF PANEL - DELTA RB 24" PANEL - METALLIC SILVER WHITE FINISH
2. BRUSH BRASS: ALL BRUSHING AND MONUMENT BRUSHING SHALL BE SPECIFIED SEPARATELY FOR BRUSH AND FINISH. BRUSH FINISH: BRUSHING FINISH AND BRUSH FINISH SHALL BE BRUSH BRASS BRUSHING.
3. PROPOSED JAMBWOOD BOARD AND BATT STONE COLOR: "TUMBER BARK"
4. PROPOSED 1/2" x 1/2" x 1/2" HICKORY-GLAZED PAINT: COLOR: "SEAN EDWARDS 90-PCS 'CARVED HOOP'"
5. 1/4" x 1/4" x 1/4" JAMES HARDEN BOARD AND BATT STONE SAME AS 18 ABOVE.
6. 1/4" x 1/4" x 1/4" JAMES HARDEN BOARD AND BATT STONE SAME AS 18 ABOVE.
7. 1/4" x 1/4" x 1/4" JAMES HARDEN BOARD AND BATT STONE SAME AS 18 ABOVE.
8. 1/4" x 1/4" x 1/4" JAMES HARDEN BOARD AND BATT STONE SAME AS 18 ABOVE.
9. 1/4" x 1/4" x 1/4" JAMES HARDEN BOARD AND BATT STONE SAME AS 18 ABOVE.
10. 1/4" x 1/4" x 1/4" JAMES HARDEN BOARD AND BATT STONE SAME AS 18 ABOVE.
11. 1/4" x 1/4" x 1/4" JAMES HARDEN BOARD AND BATT STONE SAME AS 18 ABOVE.
12. 1/4" x 1/4" x 1/4" JAMES HARDEN BOARD AND BATT STONE SAME AS 18 ABOVE.
13. 1/4" x 1/4" x 1/4" JAMES HARDEN BOARD AND BATT STONE SAME AS 18 ABOVE.
14. 1/4" x 1/4" x 1/4" JAMES HARDEN BOARD AND BATT STONE SAME AS 18 ABOVE.
15. 1/4" x 1/4" x 1/4" JAMES HARDEN BOARD AND BATT STONE SAME AS 18 ABOVE.



29112 building west elevation

scale: 1/8" = 1'-0"

PROJECT DIRECTORY

APPLICANT / OWNER ROADSIDE LUMBER & HARDWARE, INC. 29112 ROADSIDE DRIVE AGOURA HILLS, CA 91301 PHONE: (949) 991-1899 FAX: (949) 991-2252 E-MAIL: info@roadside-l.com	CIVIL ENGINEER BJ CHAI, INC. 408 BROWNSWOOD AVENUE, SUITE 201 CARLSBAD, CA 92010 CONTACT: JAY LUNDQUIST PHONE: (760) 445-6400 ext. 229 FAX: (760) 445-6400 E-MAIL: jay@bjchaid.com
ARCHITECT P/R ARCHITECTURE 5128 CLAYTON DRIVE, SUITE 110 AGOURA HILLS, CA 91301 CONTACT: DAVID G. SURAN PHONE: (949) 591-0831 ext. 16 FAX: (949) 809-1369 E-MAIL: dsuran@pdxarchitect.com	LANDSCAPE ARCHITECT D. TURNER LANDSCAPE ARCHITECTURE 33852 PACIFIC COAST HWY. #108 MIRAGE, CA 92026 CONTACT: DEBRA TURNER PHONE: (619) 693-7980 FAX: (619) 692-7600 E-MAIL: ds@turnerla.com

PROJECT INFORMATION

AGOURA VILLAGE DEVELOPMENT PERMIT CASE NO.	12-AVDP-001 & 12-AVDP-002
PREVIOUS DEVELOPMENT NOS.	NONE
ADDRESS:	29112 & 29130 ROADSIDE DRIVE
A.P.N. NO. (29112 BLDG.)	2081-008-042 (L.A. COUNTY)
A.P.N. NO. (29130 BLDG.)	2081-008-049 (L.A. COUNTY)
LEGAL DESCRIPTION:	LS 13-28-B PORTION OF LOT 13
ZONE:	BOOK 13, PAGE 21 & 8 AGOURA VILLAGE S.P. ZONE C

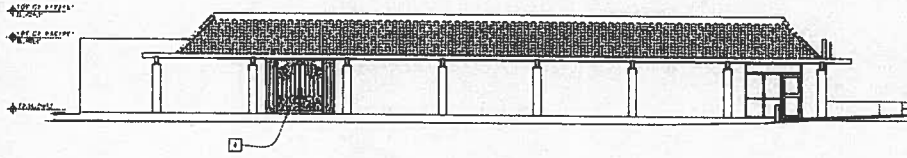


new exterior elevations:

SITE BUILDING 6 INTERIOR REMODEL
for
Roadside Lumber
B HARDWARE, INC.

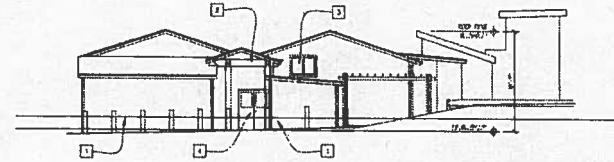
29112 & 29130 ROADSIDE DRIVE
AGOURA HILLS, CALIFORNIA 91301

B-Hide



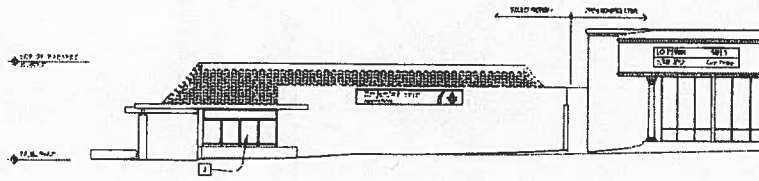
29130 building east elevation

scale: 1/8" = 1'-0"



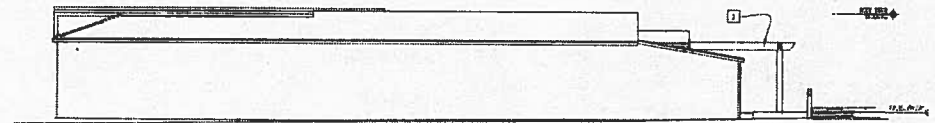
29112 building north elevation

scale: 1/8" = 1'-0"



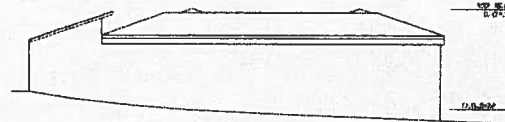
29130 building north elevation

scale: 1/8" = 1'-0"



29112 building east elevation

scale: 1/8" = 1'-0"



29112 building south elevation

scale: 1/8" = 1'-0"

existing building elevation key notes

- 1 EXISTING PORTION BUILDING TO BE REMOVED. SEE EXISTING BUILDING FLOOR PLAN FOR MORE INFORMATION.
- 2 EXISTING WELLS FRAMES TO BE REMOVED.
- 3 EXISTING BELONG HATCHING TO BE SPILLED.
- 4 EXISTING BELONG BERRY DOOR WITH SCULPTURE TO BE REMOVED.



29112 building west elevation

scale: 1/8" = 1'-0"

PROJECT DIRECTORY	
APPLICANT / OWNER ROADSIDE LUMBER & HARDWARE, INC. 29112 ROADSIDE DRIVE AGOURA HILLS, CA 91301 CONTACT: OWEN HOLSTEN PHONE: (949) 991-1989 FAX: (949) 991-2382 E-MAIL: owen@roadsidelumber.com	CIVIL ENGINEER BS CIVIL, INC. 408 RIVERSIDE AVENUE, SUITE 201 CERRITOS, CA 94704 CONTACT: ANI LAMBERT PHONE: (925) 848-4184 ext. 226 FAX: (925) 847-4499 E-MAIL: anil@bscivil.com
ARCHITECT PK ARCHITECTURE 5128 CLARETON DRIVE, SUITE 110 AGOURA HILLS, CA 91301 CONTACT: DAVID R. WILSON PHONE: (949) 584-0051 ext. 16 FAX: (949) 882-1187 E-MAIL: david@pkarchitects.net	LANDSCAPE ARCHITECT D. SUMNER LANDSCAPE ARCHITECTURE 23822 PACIFIC COAST HWY. #108 MALIBU, CA 90262 CONTACT: DENNIS SUMNER PHONE: (310) 827-7079 FAX: (310) 827-7080 E-MAIL: dsumner@sumner.com
PROJECT INFORMATION	
AGOURA VILLAGE DEVELOPMENT PERMIT CASE NO.:	12-ADP-001 & 12-ADP-002
PREVIOUS DEVELOPMENT NOS.:	NONE
ADDRESS:	29112 & 29130 ROADSIDE DRIVE
A.P.N. NO. (2912 BLDG.):	2081-008-042 (L.A. COUNTY)
A.P.N. NO. (29130 BLDG.):	2081-008-048 (L.A. COUNTY)
LEGAL DESCRIPTION:	LS 12-8-B PORTION OF LOT 13 BLOCK 12, PAGE 8 & 9
ZONE:	AGOURA VILLAGE S.P. ZONE C



existing exterior elevations:

SITE, BUILDING, & INTERIOR REMODEL
 for
Roadside Lumber
 & HARDWARE, INC.
 29112 & 29130 ROADSIDE DRIVE
 AGOURA HILLS, CALIFORNIA 91301

15-02930
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SITE PLAN

SCALE: 1" = 30'-0"

DATE: 08/15/2011



PLANT KEY:

PLANTING TO BE INSTALLED PROTECTED FROM ALL STREETS

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PLANTING TO BE INSTALLED PROTECTED FROM ALL STREETS

PARKING LOT LANDSCAPE AND SHADE COVERAGE CALCULATIONS

REQUIREMENTS FOR LANDSCAPE AREA CALCULATIONS

REQUIREMENTS FOR SHADE COVERAGE CALCULATIONS

REQUIREMENTS FOR SHADE COVERAGE CALCULATIONS

REQUIREMENTS FOR SHADE COVERAGE CALCULATIONS

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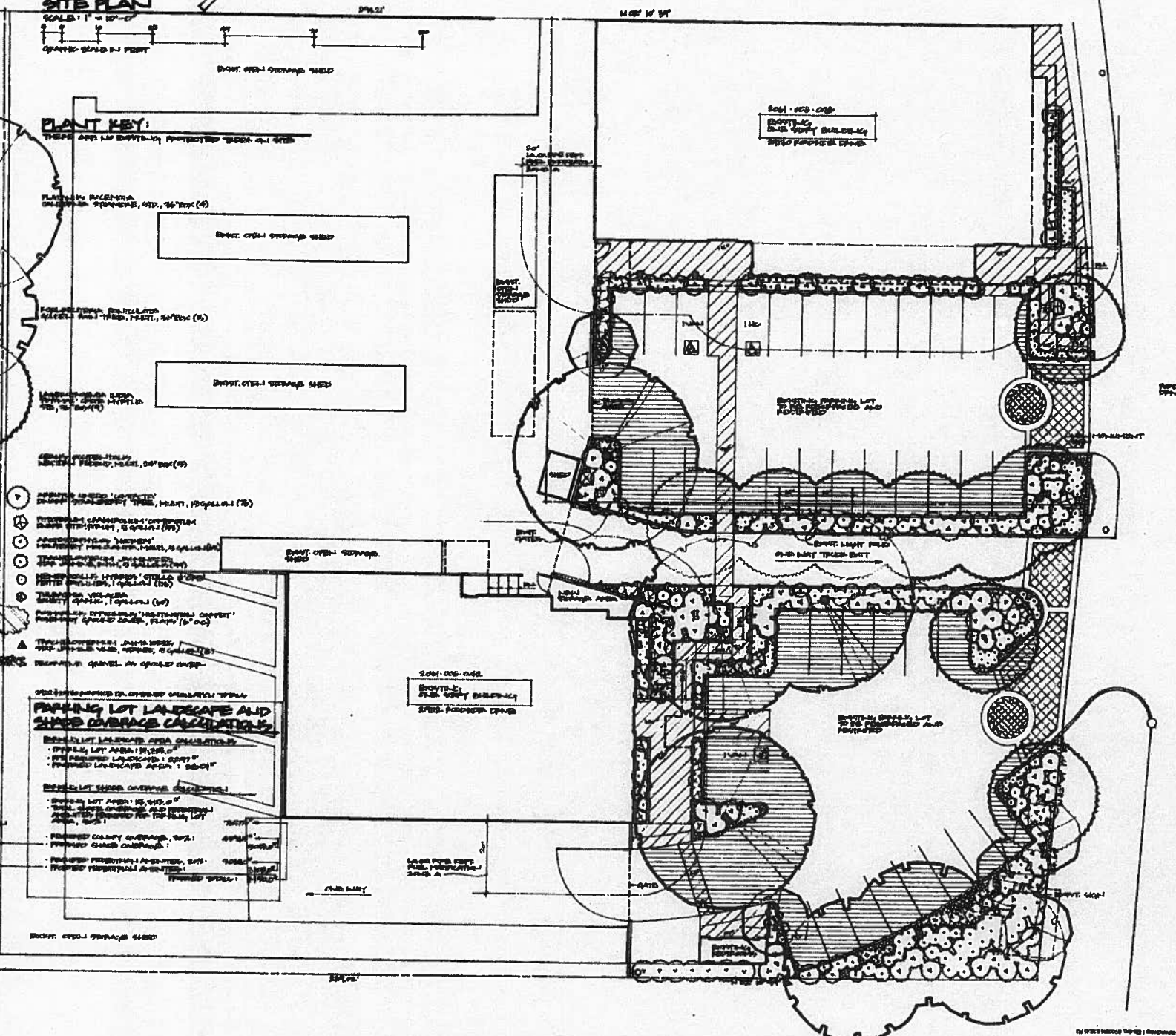
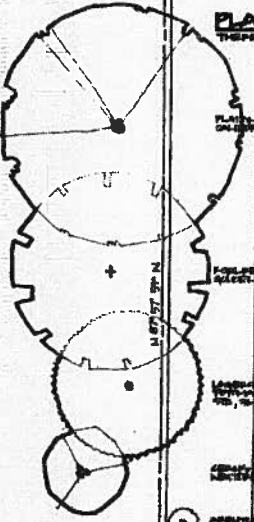
REQUIREMENTS FOR SHADE COVERAGE CALCULATIONS

REQUIREMENTS FOR SHADE COVERAGE CALCULATIONS

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REQUIREMENTS FOR SHADE COVERAGE CALCULATIONS

REQUIREMENTS FOR SHADE COVERAGE CALCULATIONS



SITE BUILDING & INTERIOR REMODEL
for
Roadside Lumber
& HARDWARE, INC.
2812 S 2810 ROADSIDE DRIVE
ROCKAWAY HILLS, CALIFORNIA 91760

LANDSCAPE PLAN





Roadside Drive

Agoura Paint
29130 Roadside Dr.

Roadside Lumber & Hardware
29112 Roadside Dr.