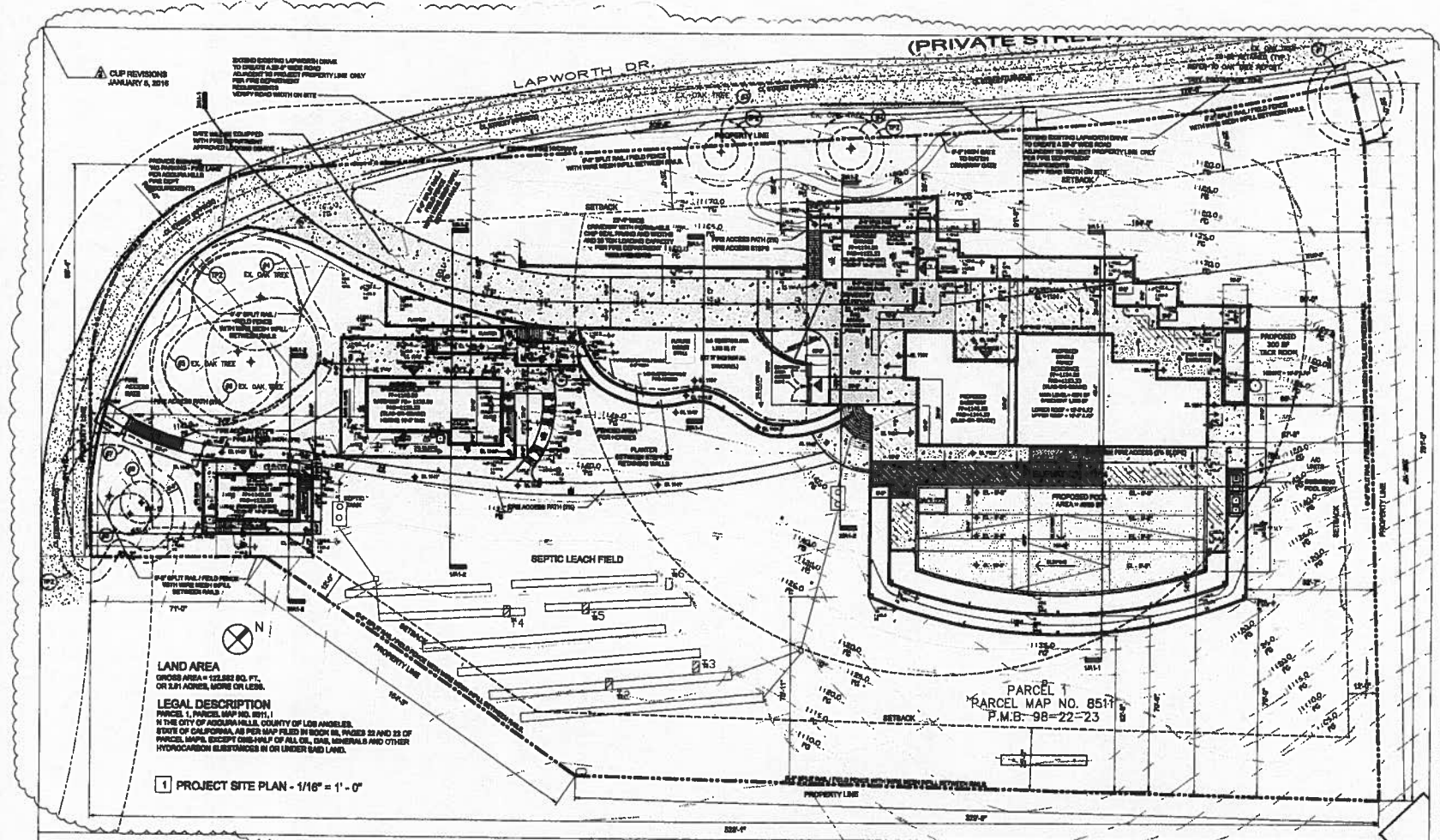


ATTACHMENT 4
REDUCED COPIES OF PROJECT PLANS

sand
 1875 American Ct., Suite 200
 Irvine, CA 92614
 Tel: 949.450.0000
 Fax: 949.450.0001

BINA RESIDENCE
 8000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



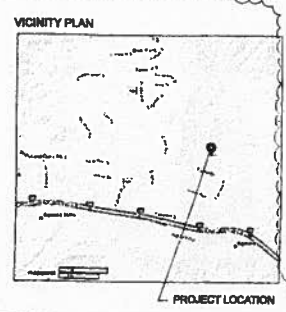
CLP REVISIONS
 JANUARY 6, 2015

LAND AREA
 GROSS AREA = 12,822 SQ. FT.
 OR 0.29 ACRES, MORE OR LESS.

LEGAL DESCRIPTION
 PARCEL 1, PARCEL MAP NO. 8511, I
 IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES,
 STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 88, PAGES 23 AND 23 OF
 PARCEL MAPS, EXCEPT ONE-HALF OF ALL OIL, GAS, MINERALS AND OTHER
 HYDROCARBON SUBSTANCES IN OR UNDER SAID LAND.

1 PROJECT SITE PLAN - 1/16" = 1' - 0"

PARCEL 1
 PARCEL MAP NO. 8511
 P.M.B. - 98-22-23



BUILDING AREA SUMMARY

MAIN RESIDENCE - MAIN LEVEL	4,274	RSF
SECOND UNIT	700	RSF
TUCK ROOM	300	RSF
BROWSE / UTILITY - MAIN LEVEL	1,100	RSF
GARAGE	800	RSF
GARAGE (3 CAR CHANGE AND BY EXEMPTION)	400	RSF
GARAGE - UPPER LEVEL STORAGE	274	RSF
TOTAL BUILDING AREA	7,219	RSF
ZERO ENTRY POOL / TERRACE	400	RSF
TOTAL LOT COVERAGE INCLUDING POOL	7,619	RSF
DREINAGE AND ADDITIONAL COUNTRY ROAD	850	RSF
TOTAL LOT COVERAGE INCLUDING POOL	8,469	RSF
TOTAL LOT COVERAGE INCLUDING POOL	8,469	RSF
LAND AREA	GROSS AREA = 12,822 SQ. FT. OR 0.29 ACRES	
OPEN SPACES / LOT COVERAGE	5,613	RSF
* LOT COVERAGE PERCENTAGE - INCLUDING EXEMPTION 66	65.9%	
* LOT COVERAGE PERCENTAGE - INCLUDING EXEMPTION PERCENTAGE 100	65.9%	
* LOT COVERAGE PERCENTAGE - INCLUDING EXEMPTION AND OUTDOOR SPACES PERCENTAGE	65.9%	
MINIMUM SETBACK (EXCEPT FROM PAR CALCULATIONS)	1,200	RSF
MINIMUM SETBACK (EXCEPT FROM PAR CALCULATIONS)	1,200	RSF

PROJECT DESCRIPTION

THE APPLICANT IS PROPOSING A 4,274 SQUARE FOOT BRICK CLIP-ON TYPED LINE WITH A 1,200 SQUARE FOOT BASEMENT AREA A 1,800 SQUARE FOOT ROOF TERRACE. PROPOSED ACCESSORY STRUCTURES INCLUDE A DETACHED 1,700-SQUARE-FOOT GARAGE WITH A 1,100-SQUARE-FOOT STORAGE ROOM ON THE UPPER LEVEL, A 700-SQUARE-FOOT ZERO-ENTRY SECOND-LEVEL UNIT, A 1,100-SQUARE-FOOT RECREATION UNIT WITH A 1,100-SQUARE-FOOT BASEMENT, AND A 300-SQUARE-FOOT TUCK ROOM.

PROJECT TEAM

OWNER: 1825 BINA DRIVE AGOURA HILLS, CA 91301 949-450-0000	ARCHITECT: SAND 1875 AMERICAN COURT, SUITE 200 IRVINE, CA 92614 949-450-0000	CIVIL ENGINEER: WILLIAMS & ASSOCIATES 2000 S. GARDEN STREET AGOURA HILLS, CA 91301 949-450-0000
GEOTECHNICAL: DR. J. TRINIDAD, D.D. 12000 WILLOW ROAD SUITE 100, CA 91301 949-450-0000	LANDSCAPE ARCHITECT: ROBERT B. CAMPBELL, AIA 800.501.6100 12000 WILLOW ROAD, CA 91301 949-450-0000	

BUILDING CODE SUMMARY

- PROJECT NAME: BINA RESIDENCE
- PROJECT ADDRESS: 8000 LAPWORTH DRIVE, AGOURA HILLS, CA 91310
- PROJECT CHARGE: S. BRODIE SVA
- PROJECT DESCRIPTION: MAIN RESIDENCE
- OCCUPANCY: GROUP B SINGLE FAMILY RESIDENCE
- CONSTRUCTION TYPE: TYPE V-B
- FIRE SPRINKLER: YES
- NO. OF STORIES: THREE (3) STORIES
- HEIGHT LIMITED: APPROXIMATE 30'-0" TO ROOF FINISH
- APPLICABLE BUILDING CODES:
 - 2015 CALIFORNIA BUILDING CODE WITH CITY OF AGOURA HILLS AMENDMENTS
 - 2015 CALIFORNIA ELECTRICAL CODE WITH CITY OF AGOURA HILLS AMENDMENTS
 - 2015 CALIFORNIA MECHANICAL CODE WITH CITY OF AGOURA HILLS AMENDMENTS
 - 2015 CALIFORNIA PLUMBING CODE WITH CITY OF AGOURA HILLS AMENDMENTS
 - 2015 CALIFORNIA FIRE CODE WITH CITY OF AGOURA HILLS AMENDMENTS

DRAWING INDEX

NO.	DESCRIPTION	DATE
1	PROJECT SITE PLAN	01/06/15
2	FOUNDATION PLAN	01/06/15
3	GENERAL NOTES	01/06/15
4	EXTERIOR FINISHES	01/06/15
5	INTERIOR FINISHES	01/06/15
6	MECHANICAL PLAN	01/06/15
7	ELECTRICAL PLAN	01/06/15
8	PLUMBING PLAN	01/06/15
9	LANDSCAPE ARCHITECTURE	01/06/15
10	GEOTECHNICAL REPORT	01/06/15
11	CONTRACT DOCUMENTS	01/06/15
12	PERMITS	01/06/15
13	AS-BUILT DRAWINGS	01/06/15



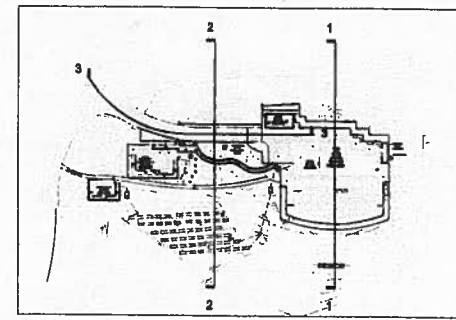
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 Checked by: [Name]
 Date: 01/06/15

Drawing Title / Number
SITE PLAN AND GENERAL INFORMATION
A1.0

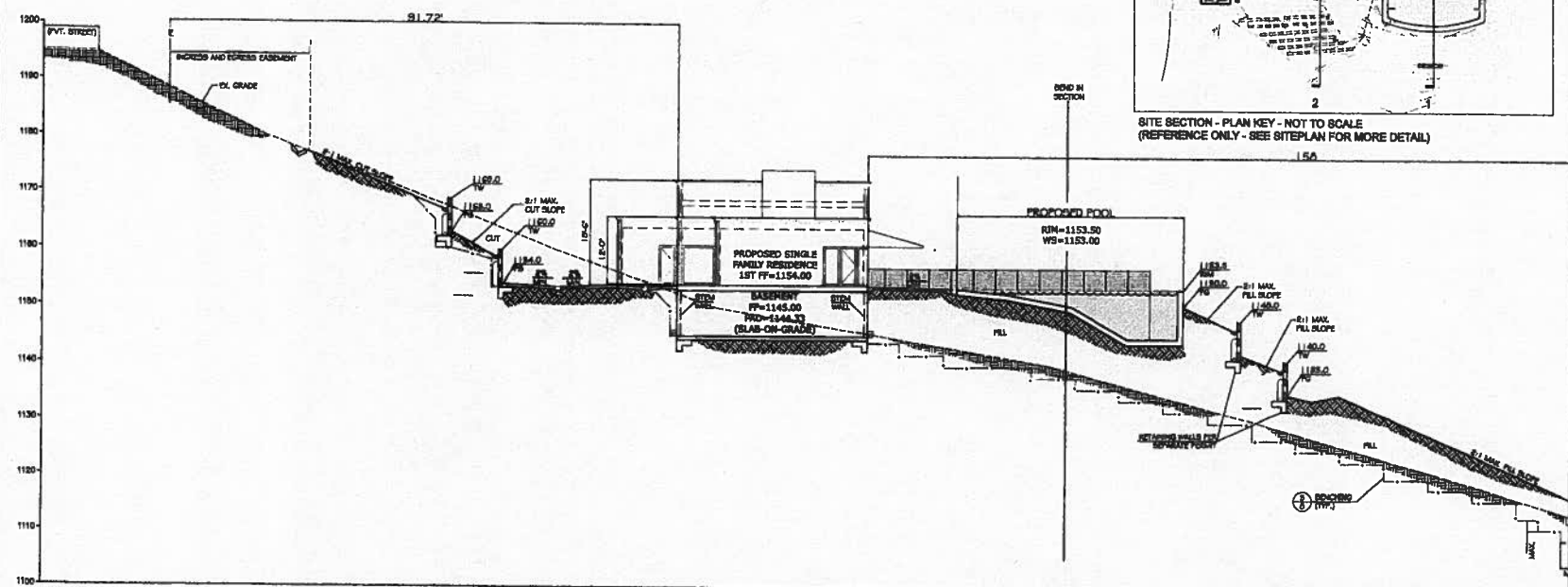
CLIP REVISIONS
JANUARY 6, 2016

sand
1828 Olsen Ave.
Los Angeles, CA 90068
310-201-7200
www.sandinc.com

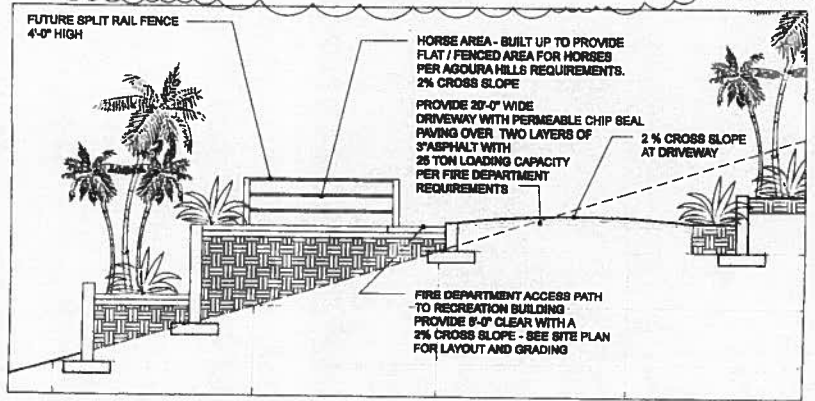
B I N A R E S I D E N C E
6000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



SITE SECTION - PLAN KEY - NOT TO SCALE
(REFERENCE ONLY - SEE SITEPLAN FOR MORE DETAIL)

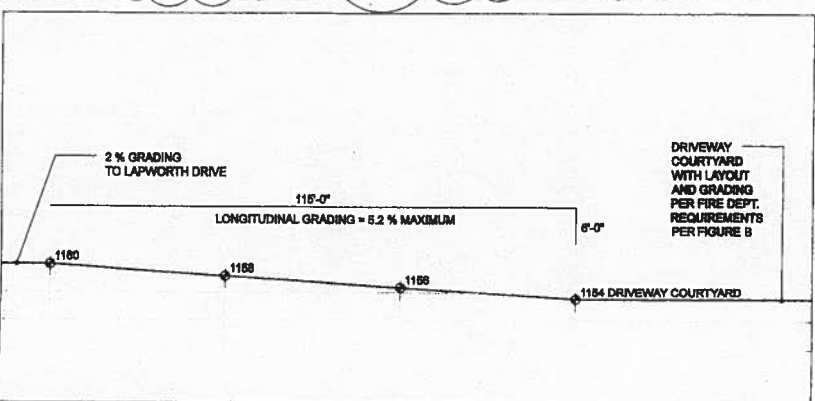


1 SITE SECTION - CROSS SECTION AT MAIN RESIDENCE SCALE: 1/8" = 1'-0"



2 SITE SECTION - DRIVEWAY CROSS SECTION

SCALE: 1/4" = 1'-0"



3 SITE SECTION - DRIVEWAY LONGITUDINAL SECTION

SCALE: 1/8" = 1'-0"

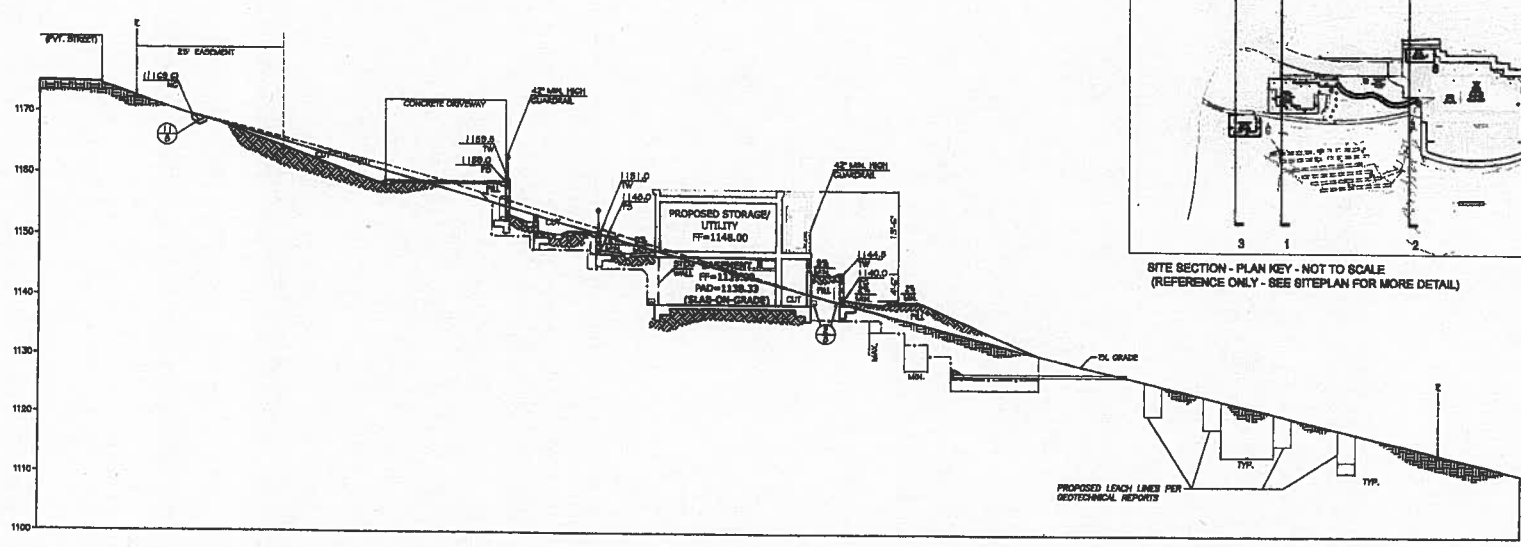


Drawn by: [Name]
Checked by: [Name]
Designed by: [Name]
CIP Approved: [Name]
CIP Approved: [Name]
CIP Approved: [Name]
CIP Approved: [Name]

Working Title / Number
SITE SECTIONS

A1.1

▲ CUP REVISIONS
JANUARY 8, 2018



SITE SECTION - PLAN KEY - NOT TO SCALE
(REFERENCE ONLY - SEE SITEPLAN FOR MORE DETAIL)

sand
1558 Orange Ave
Los Angeles, CA 90015
Tel: 310.209.8888
Fax: 310.209.8889

BINA RESIDENCE
6000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91010

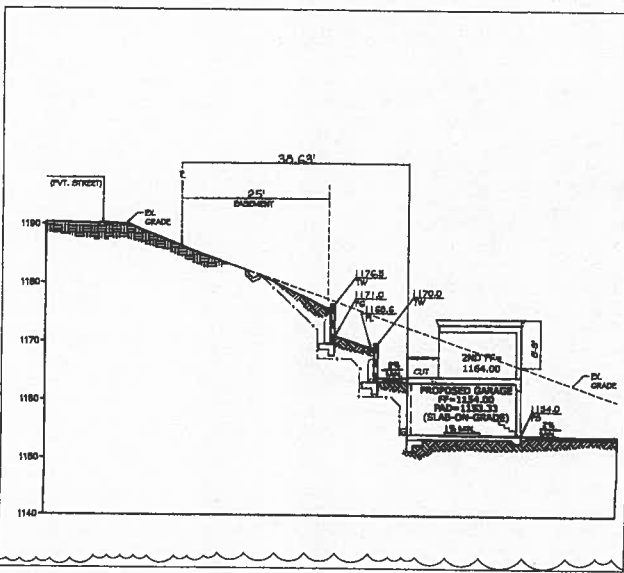


Drawn by	Rev
Checked by	DATE
Approved by	DATE
Contract No.	DATE
Project Name	DATE

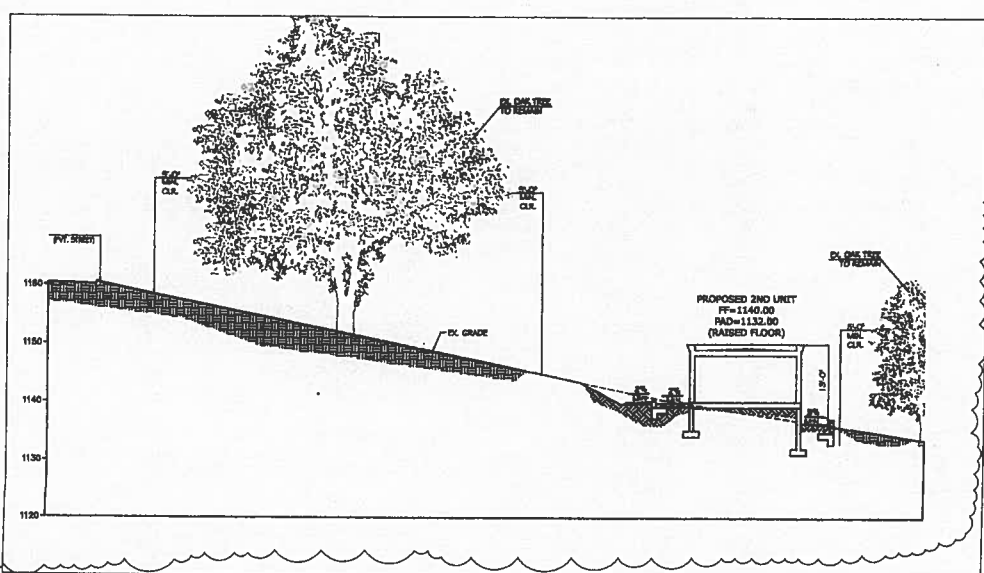
Drawing Title / Number
SITE SECTIONS

A1.2

1 SITE SECTION - STORAGE / RECREATION BUILDING SCALE: 1/8" = 1'-0"



2 SITE SECTION - GARAGE BUILDING SCALE: 1/8" = 1'-0"



3 SITE SECTION - SECOND UNIT SCALE: 1/8" = 1'-0"

sand
 17700
 17700
 17700
 17700
 17700

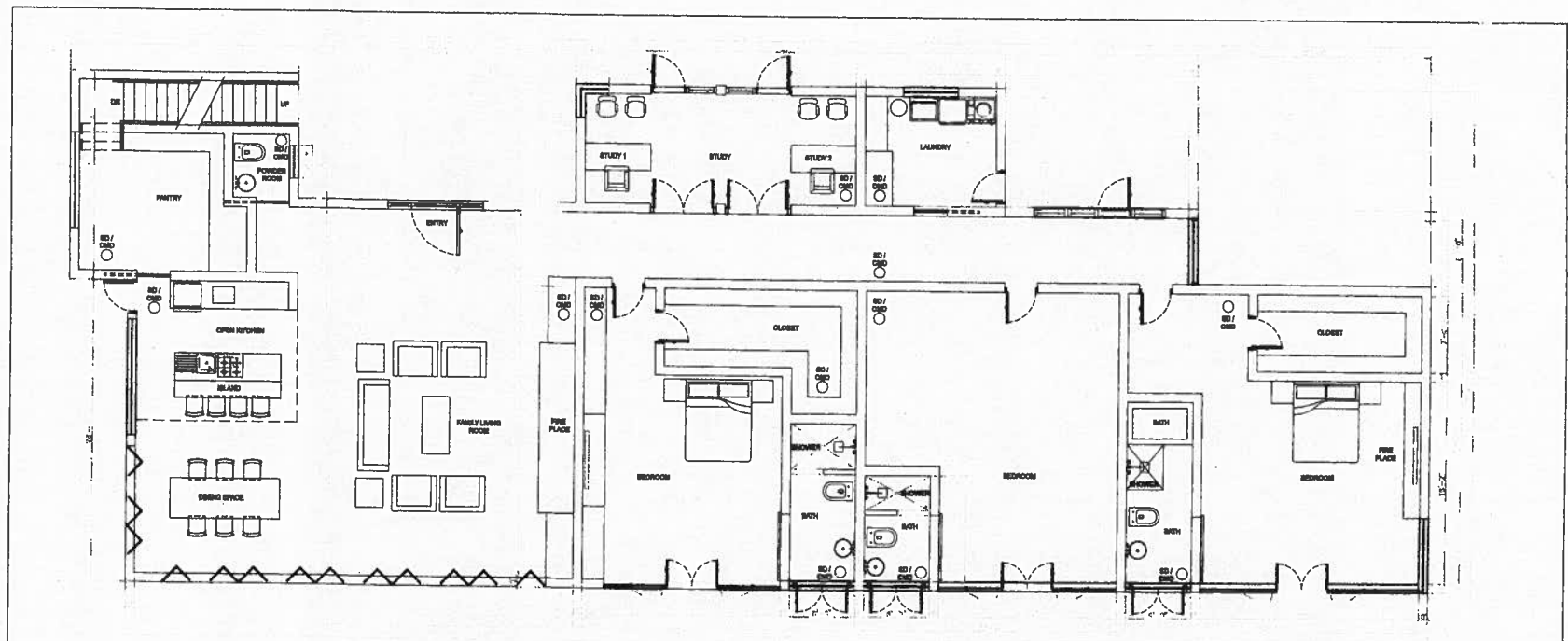
B I N A R E S I D E N C E
 8000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



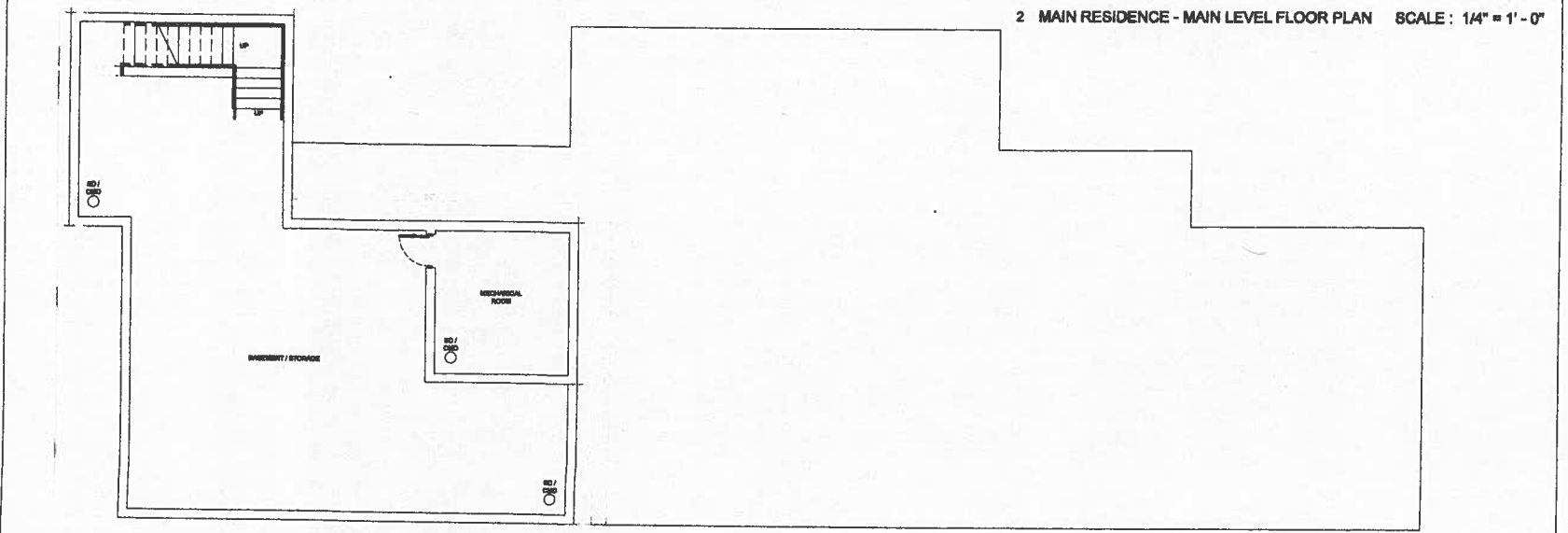
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 Checked by: [Name]
 Date: [Date]
 Project No: [Number]
 Scale: [Scale]

Drawing Title / Number
**MAIN RESIDENCE /
 BASEMENT /
 MAIN LEVEL
 FLOOR PLAN**

A2.0



2 MAIN RESIDENCE - MAIN LEVEL FLOOR PLAN SCALE : 1/4" = 1' - 0"



1 MAIN RESIDENCE - BASEMENT LEVEL FLOOR PLAN SCALE : 1/4" = 1' - 0"

sand
 ARCHITECTURE
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 1700
 1700
 1700

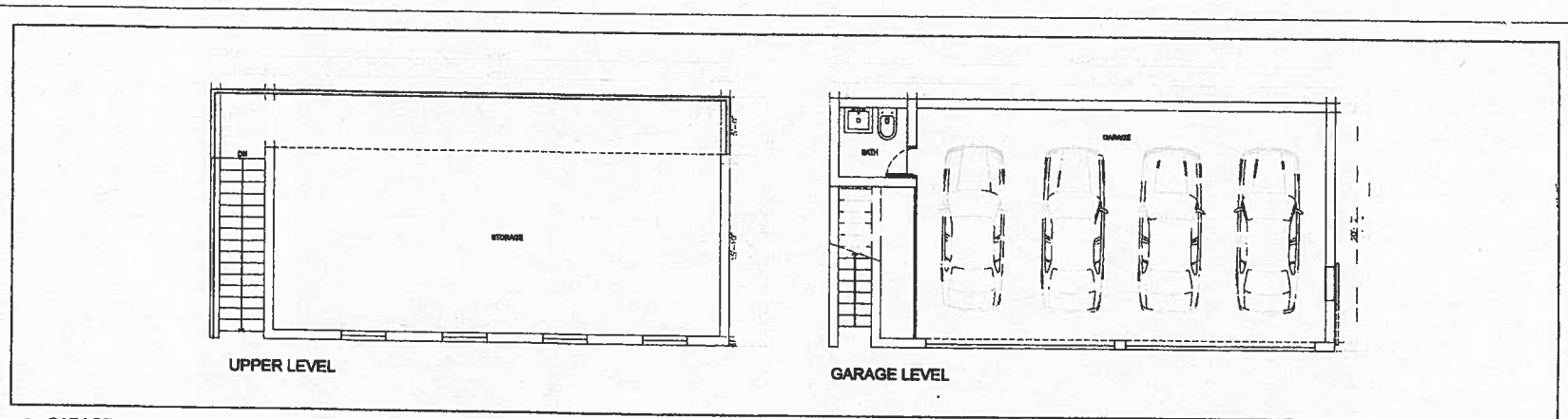
B I N A R E S I D E N C E
 8000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91300



Project No.	001
Client	WILLIS TWP STRONG
Architect	ANDREW SAND
Contractor	ANDREW SAND
Engineer	ANDREW SAND

Drawing Title / Number
GARAGE, STORAGE, SECOND UNIT

A2-3

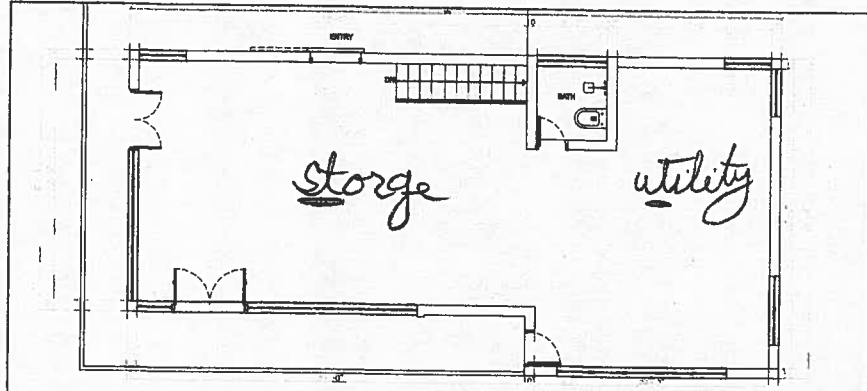


UPPER LEVEL

GARAGE LEVEL

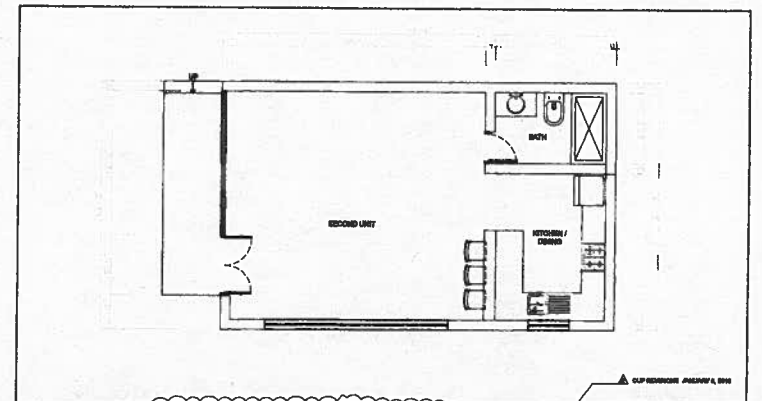
3 GARAGE

SCALE: 1/4" = 1' - 0"



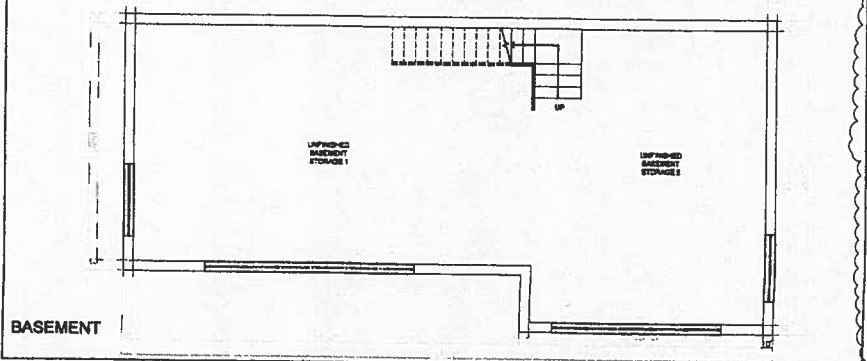
2. STORAGE / UTILITY - MAIN LEVEL

SCALE: 1/4" = 1' - 0"



1 SECOND UNIT

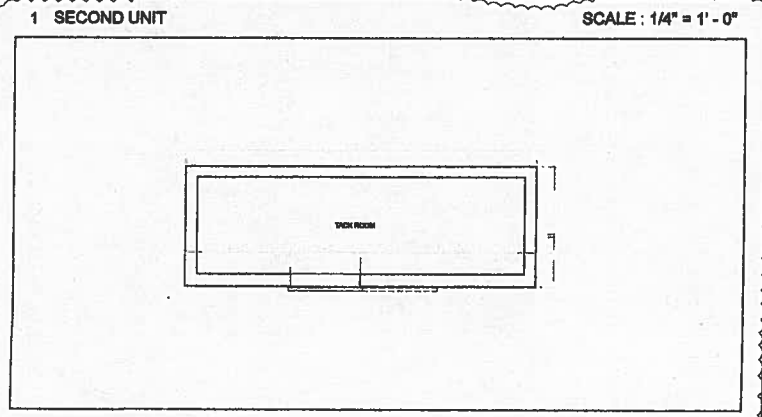
SCALE: 1/4" = 1' - 0"



BASEMENT

2 STORAGE / UTILITY - LOWER LEVEL

SCALE: 1/4" = 1' - 0"



4 TACK ROOM

SCALE: 1/4" = 1' - 0"



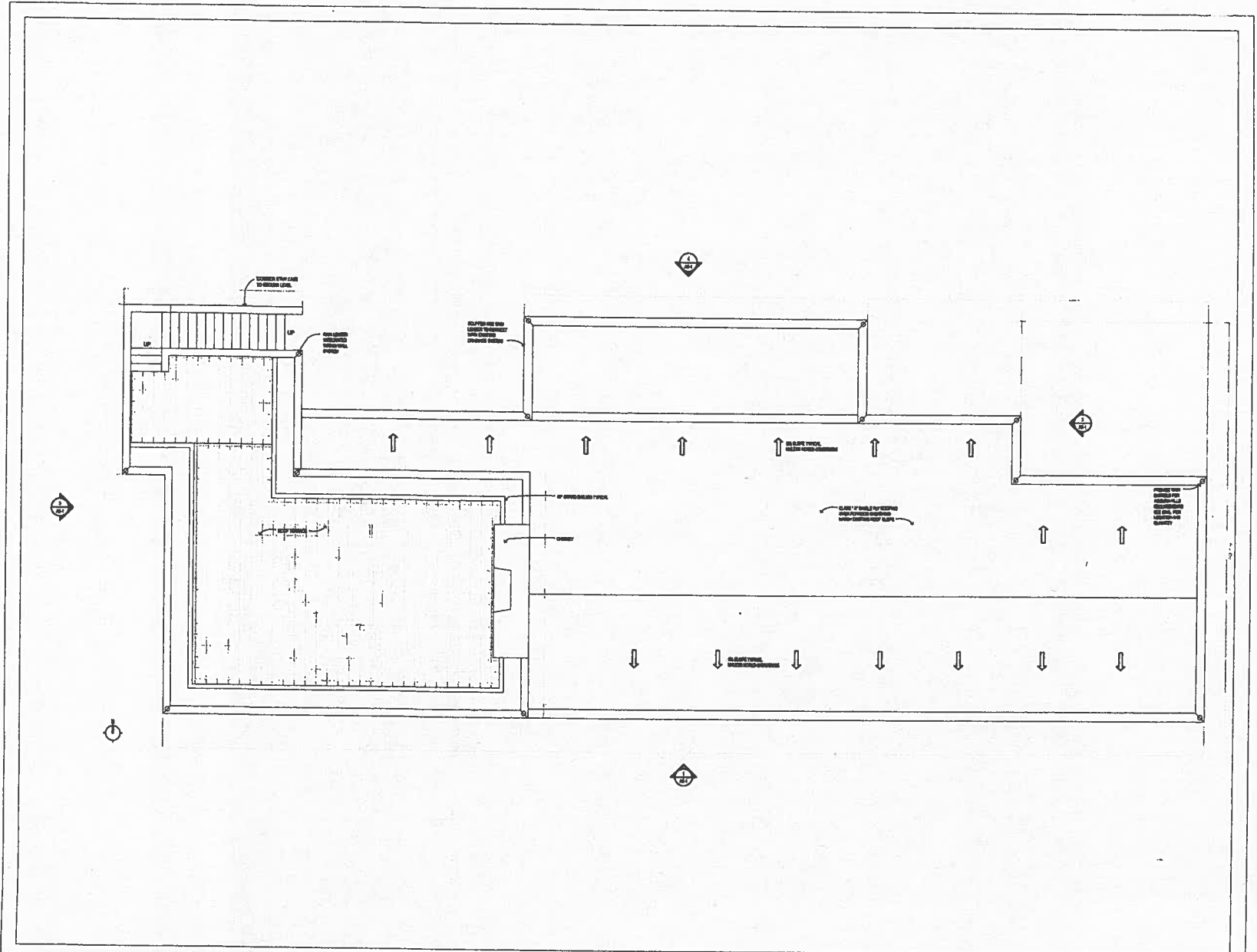
BINA RESIDENCE
8000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



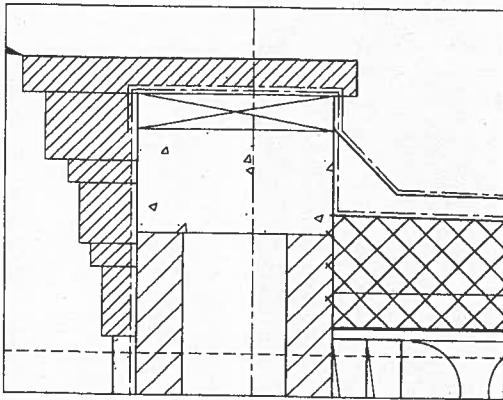
Drawn by	Shirley
Checked by	Shirley
Designed by	Shirley
Approved by	Shirley
Scale	As Shown

Drawing Title / Number
PROPOSED ROOF PLAN

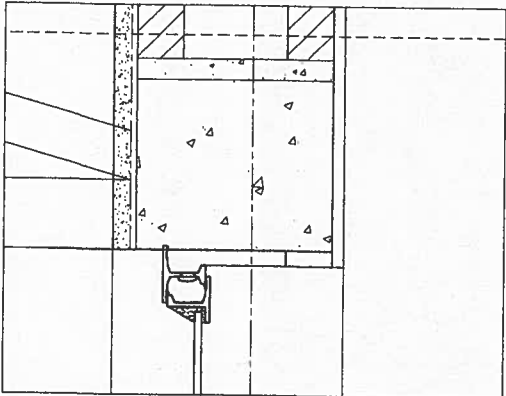
A2.2



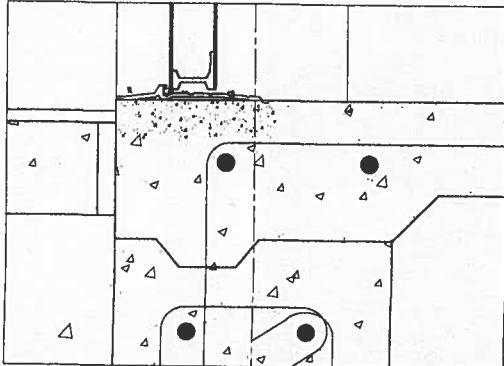
1 PROPOSED ROOF PLAN SCALE : 1/4" = 1' - 0"



2 BUILDING SECTION - PARAPET

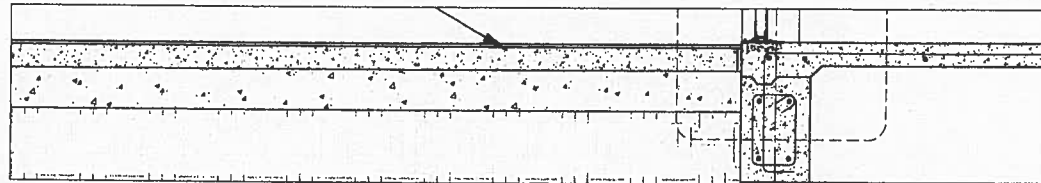
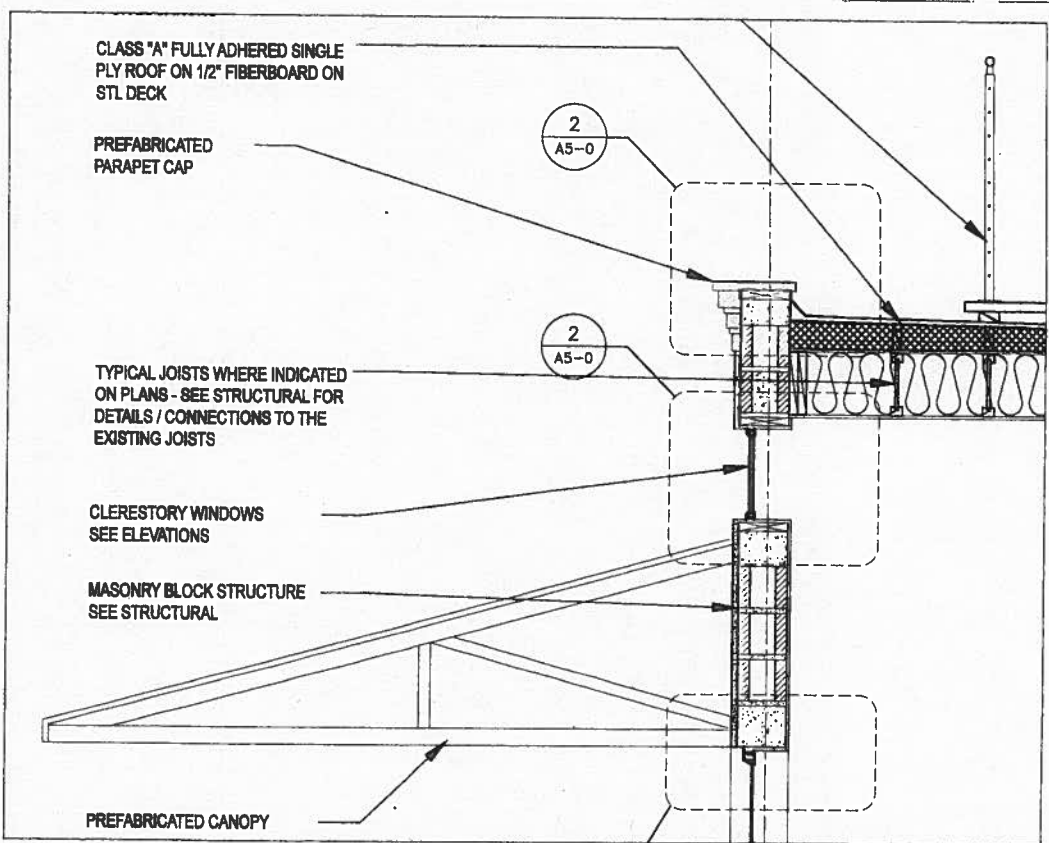


2 BUILDING SECTION - DOOR HEADER



2 BUILDING SECTION - DOOR SILL

SCALE : 1:2



1 BUILDING SECTION - TYPICAL

SCALE : 1 1/2" = 1' - 0"

sand
 1200 Wilshire Blvd.
 Los Angeles, CA 90017
 Tel. 310.779.0300
 Fax 310.779.0301

B I N A R E S I D E N C E
 8000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



Author	SA
Checker	SA
Designer	SA
Engineer	SA
Architect	SA
Contractor	SA
Manufacturer	SA
Material	SA
Product	SA
Service	SA
Specialty	SA
Trade	SA
Other	SA

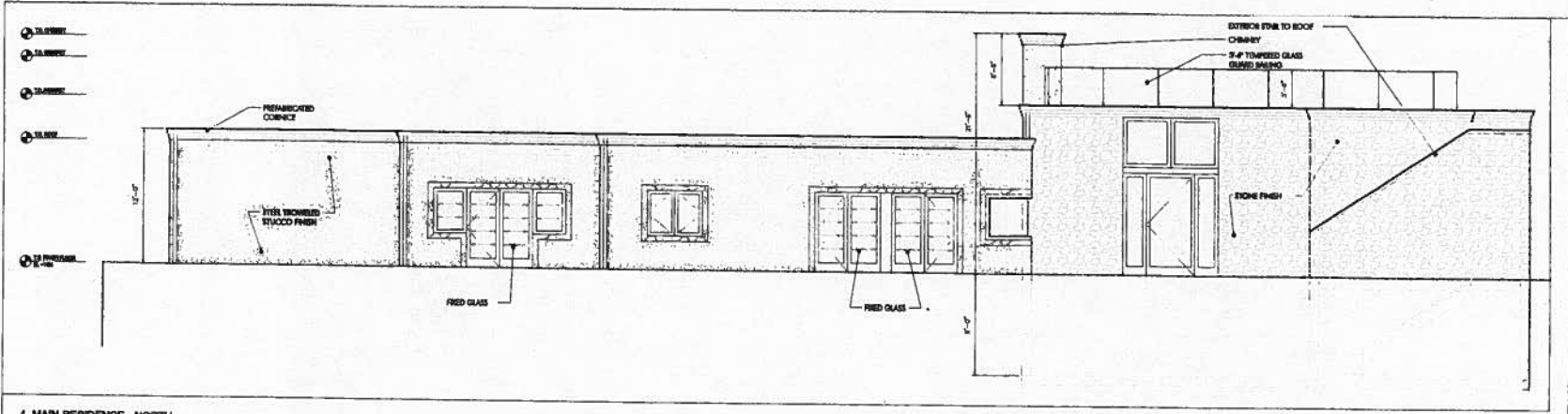
Drawing Title / Number

BUILDING SECTIONS

A3.0

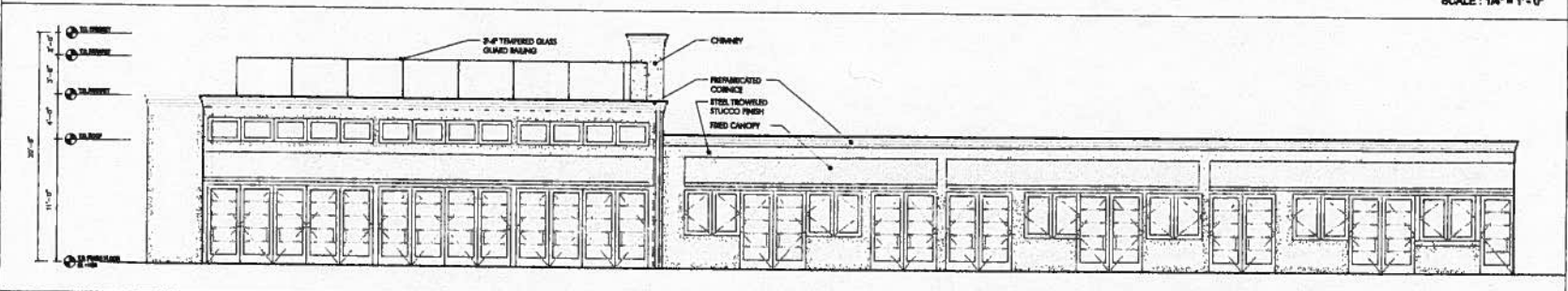
sand
 1234 567
 Los Angeles, CA
 310-555-1234

B I N A R E S I D E N C E
 6000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



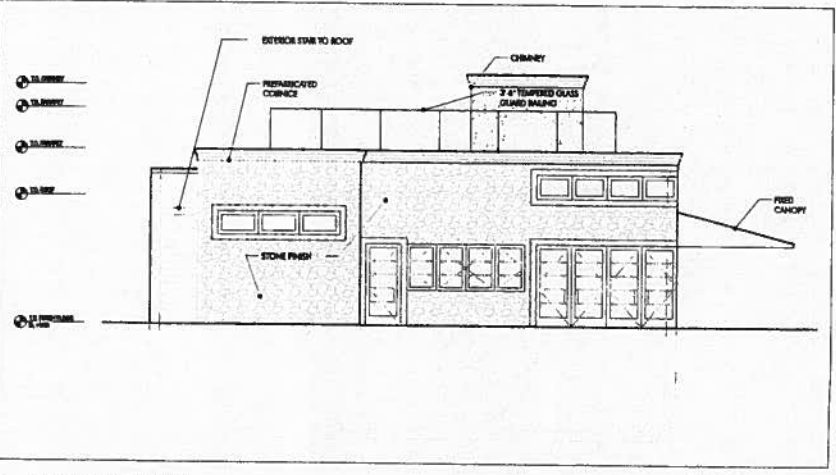
1 MAIN RESIDENCE - NORTH

SCALE: 1/4" = 1' - 0"



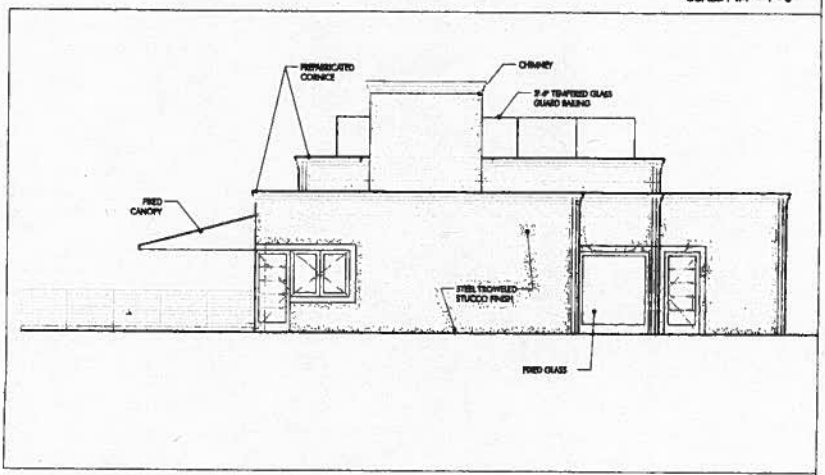
2 MAIN RESIDENCE - SOUTH

SCALE: 1/4" = 1' - 0"



3 MAIN RESIDENCE - WEST

SCALE: 1/4" = 1' - 0"



4 MAIN RESIDENCE - EAST

SCALE: 1/4" = 1' - 0"



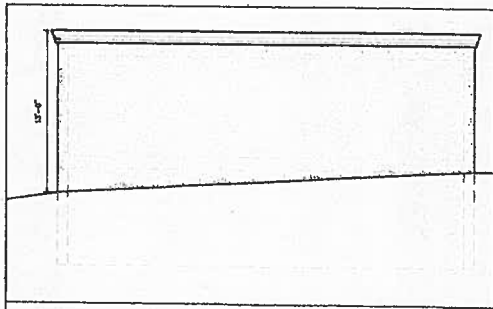
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 Checked by: [Name]
 Date: [Date]

ELEVATIONS

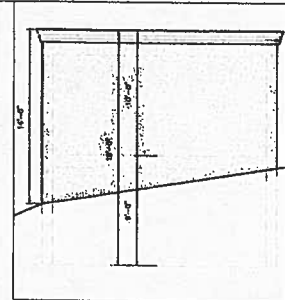
A5.0

sand
 1775
 1775
 1775
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 1775

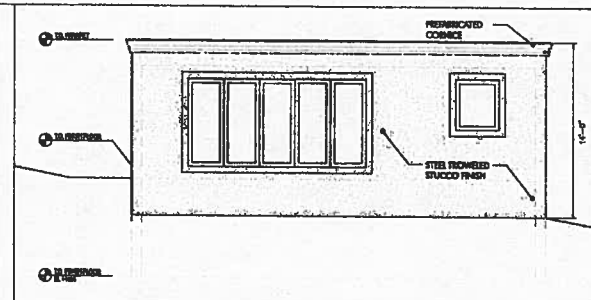
B I N A R E S I D E N C E
 6000 LAPWORTH DRIVE, AGOURA HILLS, CALIFORNIA 91310



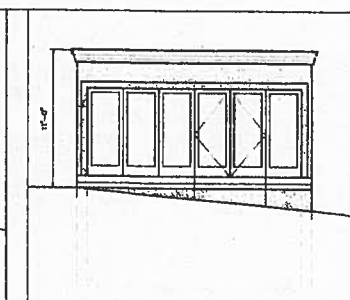
1 SECOND UNIT - NORTH



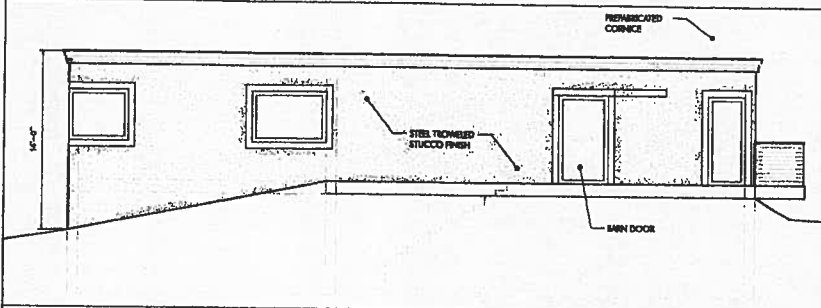
2 SECOND UNIT - EAST SCALE: 1/4" = 1'-0"



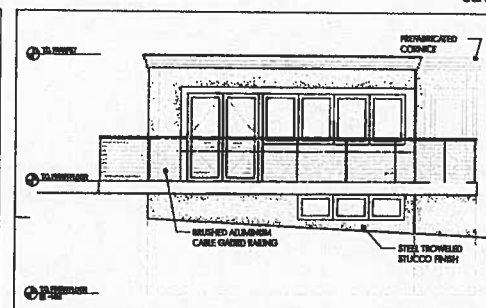
3 SECOND UNIT - SOUTH



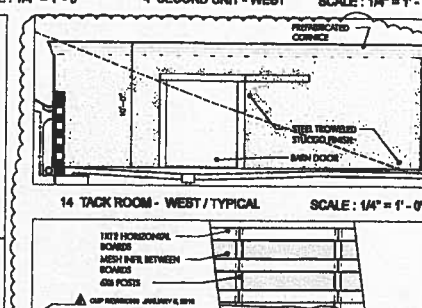
4 SECOND UNIT - WEST SCALE: 1/4" = 1'-0"



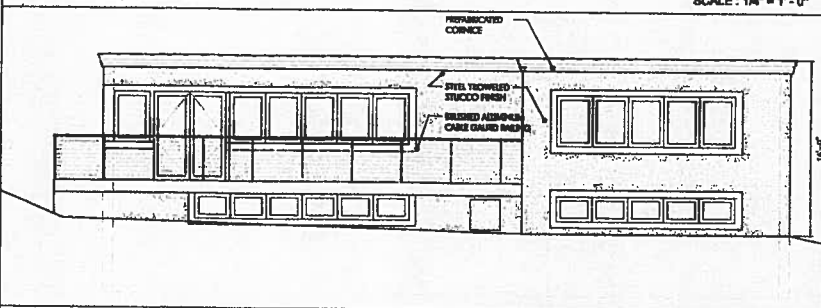
5 STORAGE | UTILITY - NORTH



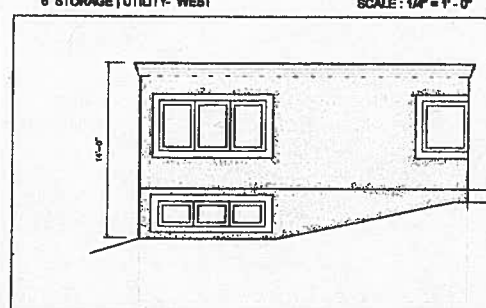
6 STORAGE | UTILITY - WEST



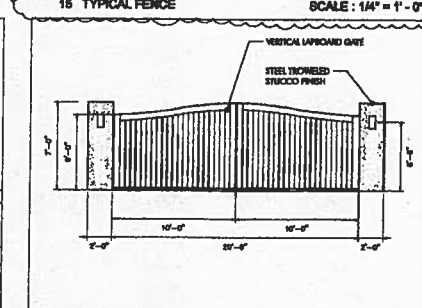
14 TACK ROOM - WEST / TYPICAL SCALE: 1/4" = 1'-0"



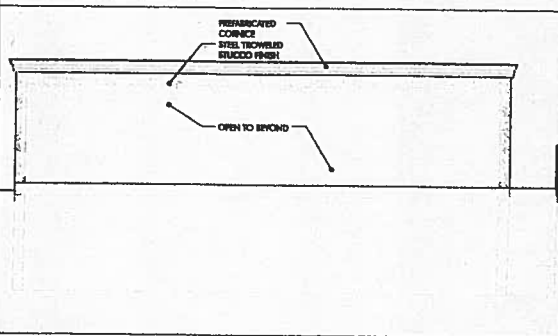
7 STORAGE | UTILITY - SOUTH



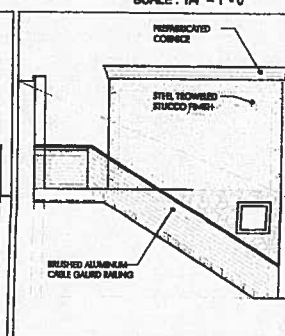
8 STORAGE | UTILITY - EAST



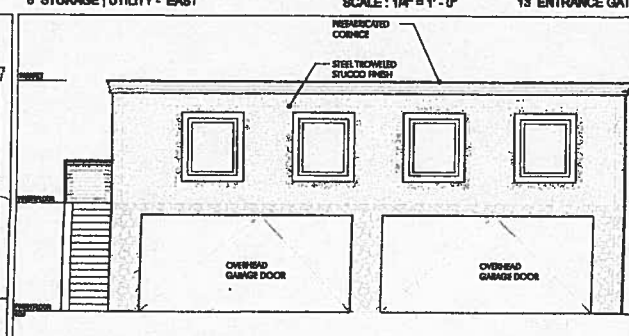
15 TYPICAL FENCE SCALE: 1/4" = 1'-0"



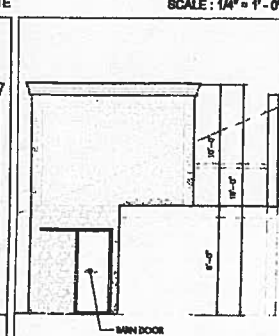
9 GARAGE - NORTH



10 GARAGE - WEST SCALE: 1/4" = 1'-0"



11 GARAGE - SOUTH



12 GARAGE - EAST SCALE: 1/4" = 1'-0"

13 ENTRANCE GATE SCALE: 1/4" = 1'-0"



Project No.	1775
Sheet No.	1775
Date	1775
Scale	1775
Author	1775
Checker	1775
Approver	1775

Building Elevations
A5.1

LEGEND:

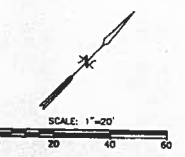
- A.C. ASPHALT CONCRETE
- B.C. REPAIRS OF CURVE
- B.M. BENCHMARK
- B.W. BACK OF WALK
- C.B.M. CENTER MARK
- C.P.S. CITY ENGINEER'S FIELD BOOK
- C.P. CONCRETE
- C.L.P. CHAIN LINK FENCE
- C.S. CONCRETE
- C.C. CONTROL POINT FOR SURVEY
- C.S. CURVA SPACE
- D.D. DEED
- D.P. END OF CURVE
- D.G. DRYING GRADE
- E.L.C. ELECTRIC
- E.P. EDGE OF PAVEMENT
- E.T. ESTABLISH
- F.S. FIELD BOOK
- F.P. FINISH FLOOR ELEV.
- F.L.E. FLOWLINE ELEV.
- F.S. FINISH SURFACE ELEV.
- I.T.E.R. INTERSECTION
- I.P. IRON PIPES
- L.S. LAUND SURVEYOR
- L.S.T. LEAD TAG
- M.E. MEASURED
- M.B. MAP BOOK
- M.D. MEASURED
- M.D. OFFSET
- M.C. METEORIC CORNER
- P. PROCATED
- P. PACE
- P.I. POINT OF INTERSECTION
- P.L. PROPERTY LINE
- P.L. PLANTING
- P.O.L. POINT ON LINE
- P.M. PUNCH MARK
- P.M.S. PUNCH MARKS
- P.R.D. PROJECTION/PROLONGATIONS
- R. RECORD
- R.S. REGISTERED CIVIL ENGINEER
- R.S. RECORD OF SURVEY
- S.L.M. STANDARD SURVEY INSTRUMENT
- S.M.M. SURVEYOR'S MEASURE
- S.T. SPIRE & WHORL
- S.P.W. SPIRE & WHORL
- T.C. TOP OF CURB ELEV.
- T. TRACT MAP
- T.V. TOP OF WALL ELEV.
- W.L.F. WROUGHT IRON FENCE

- PROPERTY LINE
- - - CENTERLINE
- ▬▬▬ RETAINING WALL
- ▬▬▬ BUILDING LINE
- ▬▬▬ FENCE LINE

LEGAL DESCRIPTION:
 PARCEL 1, PARCEL MAP NO. 8511, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 50, PAGES 22 AND 23 OF PARCEL MAPS.
 EXCEPT ONE-HALF OF ALL OIL, GAS, MINERALS AND OTHER HYDROCARBON SUBSTANCES IN OR UNDER SAID LAND.

BENCHMARK:
 B.M. NO. 10394
 IRON TAG IN 3/4" EDGE CONIC BASE OF WALK
 11' 11" IN H END DRIVE H.S.E. 73747 PARVIEW
 P.L. 20' W/O.C. & 5.0' 30' BAUNDRY DR.
 ELEV. = 1,096.930 FT.

LAND AREA:
 CONTAINING A GROSS AREA OF 122,582 SQ. FT., OR 2.81 ACRES, MORE OR LESS.



UNDERGROUND SERVICE ALERT

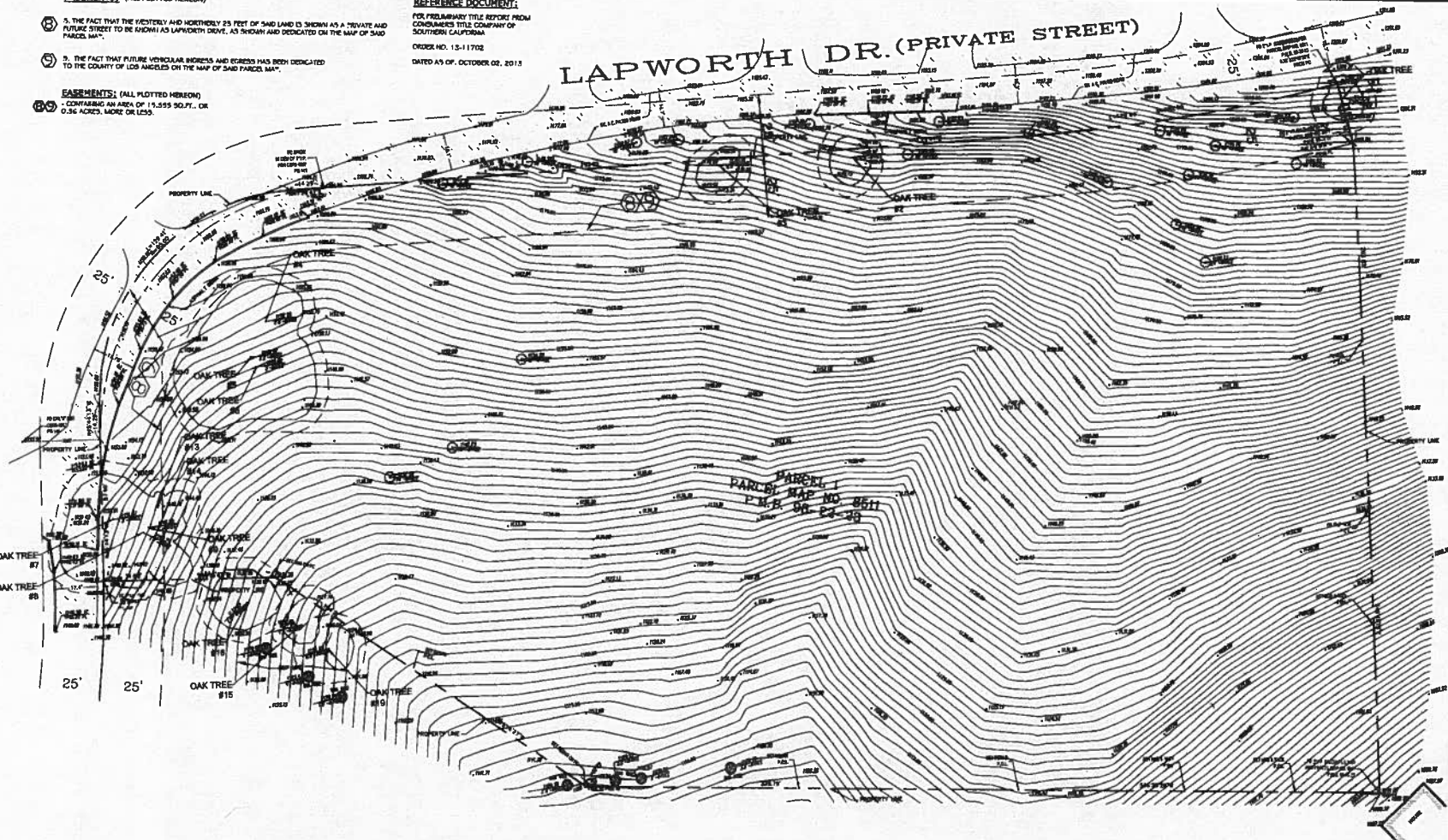
CALL TOLL FREE
 1-800-227-2808

TWO WORKING DAYS BEFORE YOU DIG

- EASEMENTS: (ALL PLOTTED HEREON)**
- 1. THE FACT THAT THE WESTERLY AND NORTHERLY 25 FEET OF SAID LAND IS SHOWN AS A TRIVALE AND FUTURE STREET TO BE KNOWN AS LAPWORTH DRIVE, AS SHOWN AND DEDICATED ON THE MAP OF SAID PARCELS, MAY.
 - 2. THE FACT THAT FUTURE VEHICULAR RIGHTS AND EGRESS HAS BEEN DEDICATED TO THE COUNTY OF LOS ANGELES ON THE MAP OF SAID PARCELS, MAY.
- EASEMENTS: (ALL PLOTTED HEREON)**
- 1. CONTAINING AN AREA OF 15,255 SQ.FT., OR 0.36 ACRES, MORE OR LESS.

REFERENCE DOCUMENT:
 FOR PRELIMINARY TITLE REPORT FROM CONSUMERS TITLE COMPANY OF SOUTHERN CALIFORNIA
 ORDER NO. 13-11702
 DATED AS OF: OCTOBER 02, 2013

LAPWORTH DR. (PRIVATE STREET)



MAXIMUM ALLOWED STRUCTURE SIZE CALCULATIONS

LOT AREA = 122582 SQFT; LOT AREA OVER 80001 SQFT = (122582-80001) SQFT = 42581 SQFT

PER TABLE 1 - FLOOR AREA RATIO (FAR)

MAXIMUM ALLOWED STRUCTURE SIZE = 6300 SQFT + (0.009 X 42581) SQFT = 6393 SQFT

PER TABLE 2 - SLOPE FACTOR = 0.80

MAXIMUM ALLOWED STRUCTURE SIZE = 6595 SQFT X 0.80

MAXIMUM ALLOWED STRUCTURE SIZE = 5274 SQFT

AVERAGE SLOPE:
 S = 8.7100
 WHERE: S = AVERAGE PERCENT SLOPE
 L = CONTOUR LINE ELEVATION INTERVAL IN FT
 A = SUM OF LENGTH OF ALL CONTOUR LINES ACROSS THE PARCEL IN FT
 A = NET AREA OF PARCEL IN SQFT

3 = 1.0 FT X 36.773 FT X 100
 122582 SQFT

S = 3.0%

SURVEY PREPARED BY:
 GROUP LAND SURVEYORS, INC.
 1432 N. ATALA DRIVE, UNIT C
 RIALTO, CA 92376



PREPARED BY:
 WALLACE E. MASON & ASSOC.
 851 RANCHO ROAD
 THOUSAND OAKS, CA 91322
 (805) 794-3559

CITY OF AGOURA HILLS APPROVAL

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO ADEVA III CITY ENGINEER	DATE	6885 ACE NO.	08/20/16 EXP DATE	AGOURA HILLS

TOPOGRAPHIC SURVEY
 BINA RESIDENCE
 6000 LAPWORTH DRIVE
 AGOURA HILLS, CA. 91301 SHEET 2 OF 11

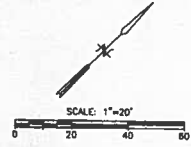
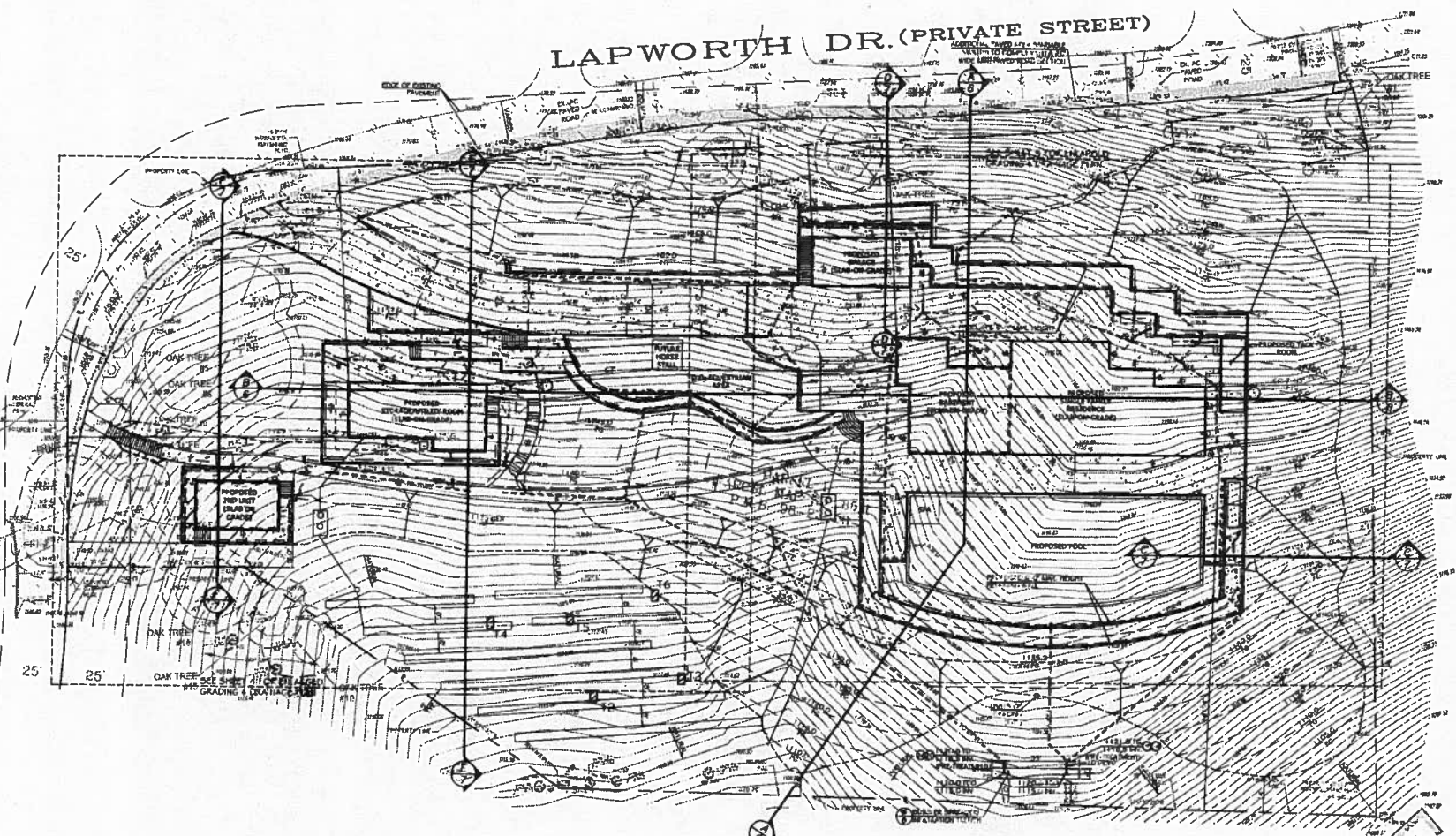
LEGEND

- CL CENTER LINE
- CLM CLEARMENT
- DC DECOMPOSED GRANITE
- L LANTERN LINE
- FORM FOUNDATION
- FS FOOTING
- HL HIGH LINDER
- HL HIGH GRADE
- FL "LOW LINE"
- HL "HIGH SURFACE"
- HP HIGH POINT
- INV INVERT
- PA PLANTER AREA
- PL PROPERTY LINE
- MG NATURAL GRADE
- TO TOP OF CURB
- TD TOP OF DECK
- TC TOP OF CRATE
- TM TOP OF WALL
- LRD UNLESS NOTED OTHERWISE
- RETAINING WALL PER SEPARATE PERMIT
- BLOCK WALL PER SEPARATE PERMIT
- CONTRACTOR TO VERIFY USING SURFACE
- DETERMINATION AND DETAILS TO DETERMINE
- IF 20' OR LESS PERMITS PER APLS, PLASTIC
- IF 20' OR MORE PERMITS PER APLS, PLASTIC
- INDICATES 4' PER SUB-CRANE
- EXISTING SPOT ELEVATIONS

CONSTRUCTION NOTES

- CONSTRUCT STRUCTURAL FOOTINGS (THICKNESS OF BASE AND PERFORMING FOR STRUCTURAL ENGINEER AND PER SOILS ENGINEER RECOMMENDATION).
- OVER EXCAVATION SHALL BE FILL AREA PLUS 10% TO A DEPTH OF 3" OF BEDROCK FOOTING AND SOILS ENGINEER RECOMMENDATION BY THE SOILS ENGINEER.
- CONSTRUCT 40" DIA. 40' PER DIA. ON GRADING AT 10' MINIMUM SLOPE PER DETAIL 4. SHEET 7.
- CONSTRUCT 0.5' MINION COURTYARD DRIVE PER DETAIL 1. SHEET 7.
- EXISTING TO REMAIN.
- EXISTING TO BE REMOVED.
- CONSTRUCT 1" THICK CONC. 18" DIA. @ 18" O.C. IN OVER 4' DIA. FOR SOILS REPORT.
- CONTRACT GRATED SWALE @ 2% MIN. SLOPE.
- CONSTRUCT STAIRS ON GRADE PER DETAIL 4. SHEET 7.
- CONTRACT PIP. PLACE PER ARCHITECTURAL PLANS.
- BRACK. STRUCTURAL STAIRS FOR ARCHITECTURAL FINISHES.
- EXISTING FOUNDATION STRUCTURE TO BE RE-INCLUDED PER SEPARATE PERMIT.
- RETAINING WALL BY OTHERS.
- 2" x 12" HORSE STALL PER ARCHITECTURAL PLANS.
- FOOD EQUIPMENT AREA.
- AC UNITS PER ARCHITECTURAL PLANS.
- PROTECT LEAK LINES AND DUCTS FROM GEOELECTRICAL TESTS.
- CONTRACT CHANGE FRAMING PER DETAIL 4. SHEET 7.
- CONTRACT CHANGE FRAMING PER DETAIL 4. SHEET 7.
- USE 1/2" x 30" ATTRA. GRATE AND CATCH BASIN PER PERMITS, 100% AND 100% OF APPROVED EQUALIZER.
- CONTRACT 6" AC FINISHED OVER 4" MIN. CLASS 8 BLOC.
- CONTRACT 6" CONC. CURB AND CURB FOR APPROX. 510' MAX. LENGTH, PER A.S.D. (12" OF APPROVED EQUALIZER).
- ALL PERFORATIONS AND FOOTINGS SHALL BE FOLDED AND BARRI. BRACK. FOR THE GEOTECHNICAL REPORTS.
- USE CATCH BASIN FILTER (4" MIN. REPORT PER DETAIL 4. SHEET 7).

LAPWORTH DR. (PRIVATE STREET)



UNDERGROUND SERVICE ALERT

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1-800-227-3889

TWO WORKING DAYS BEFORE YOU DIG



NOTE TO CONTRACTOR

CONTRACTOR TO VERIFY THE LOCATION OF ALL PROPOSED STRUCTURES, UTILITIES, AND OBSTRUCTIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OR ANY DISCREPANCY PRIOR TO ANY CONSTRUCTION.

NOTE

NO PROPOSED SITE RETAINING WALLS OVER 6'-0" HIGH (EXPOSED) ALLOWED!

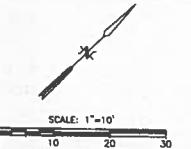
PREPARED BY: WALLACE E. MASON & ASSOC. 85-1 RANCH ROAD THOUSAND OAKS, CA. 91362 (805) 794-3559	CITY OF AGOURA HILLS APPROVAL		CITY OF AGOURA HILLS		OVERALL SITE PLAN BINA RESIDENCE 6000 LAPWORTH DRIVE AGOURA HILLS, CA. 91301 SHEET 3 OF 11	
PROJECT ENGINEER	DATE	REVIEWED BY	DATE	DATE	DATE	CITY ENGINEER

- LEGEND**
- CL CENTER LINE
 - CO CLEANOUT
 - CG COMPRESSED GRANITE
 - GL GUYLIGHT LINE
 - DN DOWN
 - DS DOWNPOUT
 - FL FINISH FLOOR
 - FG FINISH GRADE
 - FL FLOW LINE
 - FS FINISH SURFACE
 - FR FINISH FRONT
 - IN INVERT
 - PA PLASTER AREA
 - PL PROPERTY LINE
 - NG NATURAL GRADE
 - TC TOP OF CURB
 - TD TOP OF DECK
 - TO TOP OF GRADE
 - TW TOP OF WALL
 - UNL UNLESS NOTED OTHERWISE
 - RETAINING WALL PER SEPARATE PERMIT
 - BLOCK WALL PER SEPARATE PERMIT
 - CONTRACTOR TO VERIFY HAND SURFACE FINISH AND DETAILS TO DETERMINE SLOPE GRADES
 - 1/2" DIA. CATCH BASIN PER SDS, PLASTIC PROTECTORS PART NO. 101-201-305, U.M.D.
 - 6" DIA. CATCH BASIN PER SDS, PLASTIC PROTECTORS PART NO. 101-201-305, U.M.D.
 - INDICATED 4" DIA. SUBDIAM
 - EXISTING SPOT ELEVATIONS

- CONSTRUCTION NOTES**
1. CONSTRUCT STRUCTURAL SLAB FOOTINGS
 2. FINISHES OF BASE AND REINFORCING FOR STRUCTURAL FRAMING AND FOR SOILS EXPOSED
 3. OVER BELLEVUE DRIVE POOL, SHELL AREA PLUS 2" TO A DEPTH OF 3" OF SLOPE FOOTINGS AND EDGE SLOPE AS DETERMINED BY THE SOILS ENGINEER
 4. CONSTRUCT SOIL 40 PVC PIPE CASE AS SHOWN AT 1/4" LAMBDA SHORT 4" MIN. PIPE SIZE 4" DIA.
 5. CONSTRUCT 1/2" DIA. NORTH COURTPARKWAY FOR DETAIL 4, SHT. 7.
 6. DETAIL TO FINISH
 7. DETAIL TO BE FINISHED
 8. CONSTRUCT 2" THICK CONC. W/ #4 @ 18" O.C. OVER 4" SAND FOR SOIL REPORT.
 9. CONSTRUCT BRIDGE WALLS @ 25' W/AL. SLOPE.
 10. CONSTRUCT STAIRS ON GRADE FOR DETAIL 4, SHT. 7.
 11. CONSTRUCT FIRE PLACE PER ARCHITECTURAL PLANS.
 12. FINISH STRUCTURAL STAIRS PER ARCHITECTURAL PLANS.
 13. EXISTING REINFORCEMENT TO BE DEVELOPED FOR SEPARATE PERMIT.
 14. RETAINING WALL BY OTHERS.
 15. 12" x 2" W/ 2" REIN. STALL PER ARCHITECTURAL PLANS.
 16. FLOOR FINISH AREA.
 17. AC UNITS PER ARCHITECTURAL PLANS.
 18. PROPOSED 12" CH LINES AND SEPTIC TANK PER GEOTECHNICAL REPORTS.
 19. CONSTRUCT CHANNEL DRAIN FOR DETAIL 2, SHT. 7.
 20. CONSTRUCT MICRO CHANNEL DRAIN FOR DETAIL 1, SHT. 7.
 21. USE 2" DIA. ATTRAM GRATE AND CATCH BASIN PER DET. NO. 1 AND 2. USE 1.5" DIA. ON APPROVED SOIL REPORT.
 22. CONSTRUCT 2" AC PAVEMENT OVER 4" MIN. CLASS 8 BASE.
 23. CONSTRUCT 6" CONC. CURB AND GUTTER PER APPROVED PLAN 180-2, TYPE 11-51150, 12" DIA. W/AL.
 24. ALL FORMER DRIVE AND FOOTING SHALL BE FINISHED INTO DRIVE BEDROCK PER THE GEOTECHNICAL REPORTS.
 25. USE CATCH BASIN PLATES AREA 180-2 FOR DETAIL 16, SHT. 7.

NOTE TO CONTRACTOR
 CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

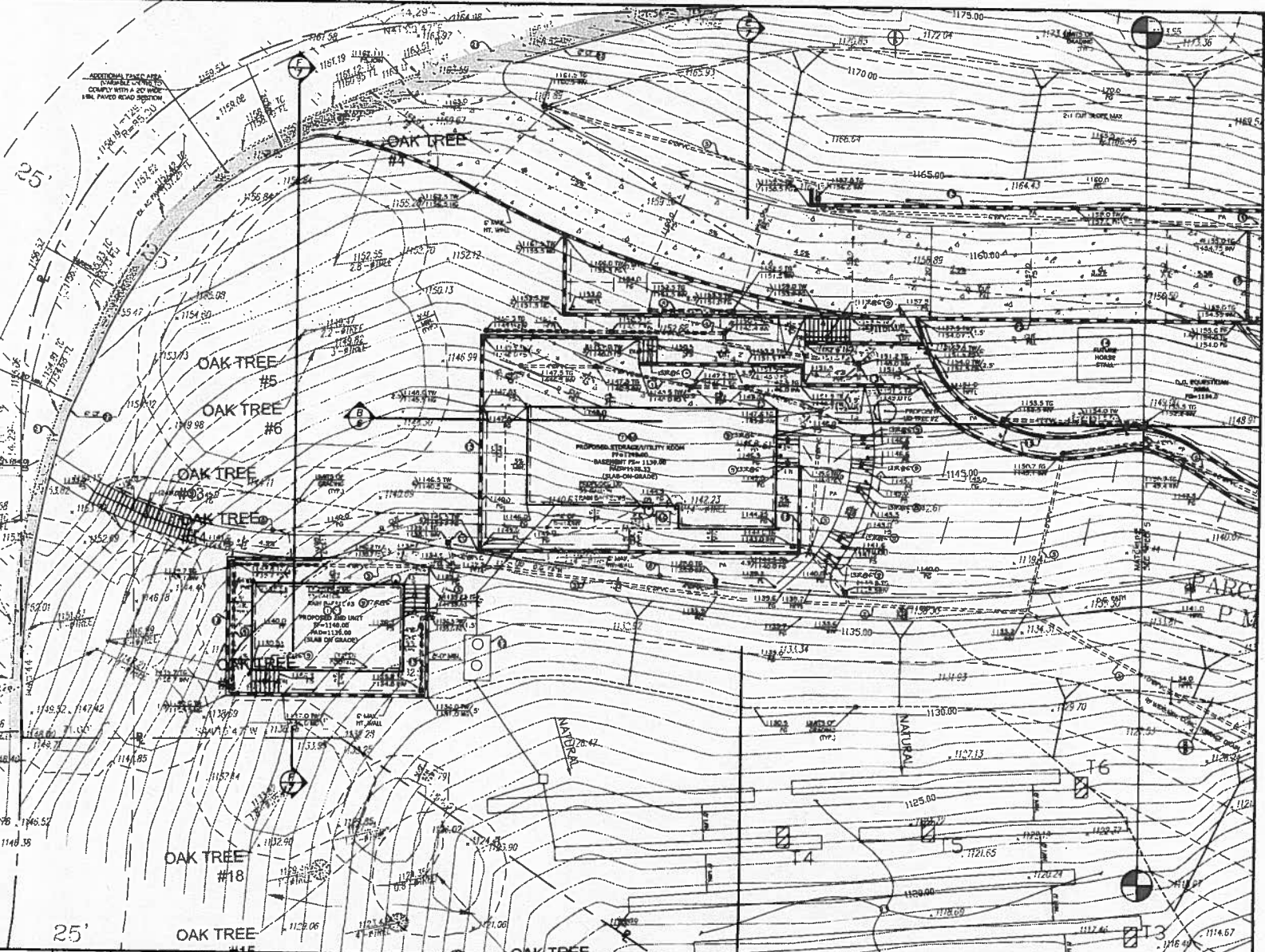
NOTE
 NO PROPOSED SITE RETAINING WALLS OVER 6'-0" HIGH (EXPOSED) ALLOWED!



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TWO WORKING DAYS BEFORE YOU DIG

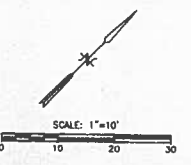


REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO ADEVA III CITY ENGINEER	DATE	GENES FILE NO.	06/20/18 EXP DATE	ENLARGED GRADING AND DRAINAGE PLAN BINA RESIDENCE 6000 LAPWORTH DRIVE AGOURA HILLS, CA. 91301 SHEET 4 OF 11
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- LEGEND**
- CL CENTER LINE
 - CO CLEANOUT
 - FG FACED/COMPOSED GRANITE
 - FL FLOW LINE
 - FM FINISH GRADE
 - FR FRESH FLOOR
 - FS FRESH GRADE
 - FL FLOW LINE
 - FL FRESH FLOOR
 - HP HIGH POINT
 - HW HATCH
 - PA PLANTER AREA
 - PL PROPERTY LINE
 - NG NATURAL GRADE
 - TC TOP OF CURB
 - TD TOP OF DRAIN
 - TO TOP OF GRADE
 - TW TOP OF WALL
- UNLESS NOTED OTHERWISE
- RETAINING WALL PER SEPARATE PERMIT
 - BLOCK WALL PER SEPARATE PERMIT
 - CONTRACTOR TO VERIFY HARD SURFACE THICKNESS FOR ADEQUATE STRENGTH AND CONTACT TO FUTURE GRADE ELEVATIONS
 - 1/2" X 2" GROUT BUSH FOR NEW PLASTIC PRODUCTS PART NO. 1200-1204, U.M.C.O.
 - 6" X 6" BUSH FOR NEW PLASTIC PRODUCTS PART NO. 171, 201, 300, U.M.C.O.
 - INDICATED 4" X 4" FOR SUBGRADE
 - EXISTING SPOT ELEVATIONS

- CONSTRUCTION NOTES**
1. CONSTRUCT STRUCTURAL SOIL FOOTINGS THICKNESS OF BASE AND REINFORCING PER STRUCTURAL DRAWING AND PER SOIL BORER RECOMMENDATIONS
 2. OVER EXISTING EXTERIOR POOL SHALL AREA PLUS 5" TO A DEPTH OF 3'-0" BELOW FOOTINGS AND PERFORATE AS RECOMMENDED BY THE SOIL ENGINEER
 3. CONSTRUCT 30# 40 PVC PIPE (SIZE AS SHOWN AT 1% MINIMUM SLOPE MIN. PIPE SIZE 4")
 4. CONSTRUCT 2" G. LUTOP COUNTERTOPPER PER DETAIL 1, SHT. 7.
 5. EXISTING TO REMAIN.
 6. EXISTING TO BE REMOVED.
 7. CONSTRUCT 5" THICK CONC. 10#4 @ 10" O.C. W. OVER 4" SAND PER SOIL PERFOR.
 8. CONSTRUCT GRAVED SHALE @ 2% MIN. SLOPE.
 9. CONSTRUCT STAIRS ON GRADE PER DETAIL 4, SHT. 7.
 10. CONSTRUCT FIRE PLACE PER ARCHITECTURAL PLANS.
 11. FINISH STRUCTURAL SHIMS PER ARCHITECTURAL DRAWINGS.
 12. EXISTING RESTRUCTURE TO BE DEMOLISHED PER SEPARATE PERMIT.
 13. RETAINING WALL BY OTHERS.
 14. 12" X 2" HORIZONTAL STAIR PER ARCHITECTURAL PLANS.
 15. POOL EQUIPMENT AREA.
 16. 4" MIN. FOR ARCHITECTURAL PLANS.
 17. PROPOSED LASH LINES AND DETAIL TIME PER ELECTRICAL PERFORM.
 18. CONSTRUCT CHANNEL DRAIN PER DETAIL 6, SHT. 7.
 19. CONSTRUCT MICRO CHANNEL DRAIN PER DETAIL 14, SHT. 7.
 20. USE NEW 1/2" DIA. ATRUM GRATE AND CATCH BASIN PER PART NO. 182 AND 1201 OF APPROVED EQUIPMENT.
 21. CONSTRUCT 6" X 6" PAVEMENT OVER 2" MIN. CLASS 8 BASE.
 22. CONSTRUCT 6" CONC. CURB AND GUTTER PER APWA STD. PLAN 120-2, TYPE 11-11.5. 6" O.C. MIN. LF.
 23. ALL FOUNDATIONS AND FOOTINGS SHALL BE FOUNDED INTO EXISTING BEDROCK PER THE GEOTECHNICAL REPORTS.
 24. USE CATCH BASIN FILTER MEDIA REFER TO DETAIL 16, SHT. 7.
- NOTE TO CONTRACTOR**
- CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS FROM TO CONSTRUCTION CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

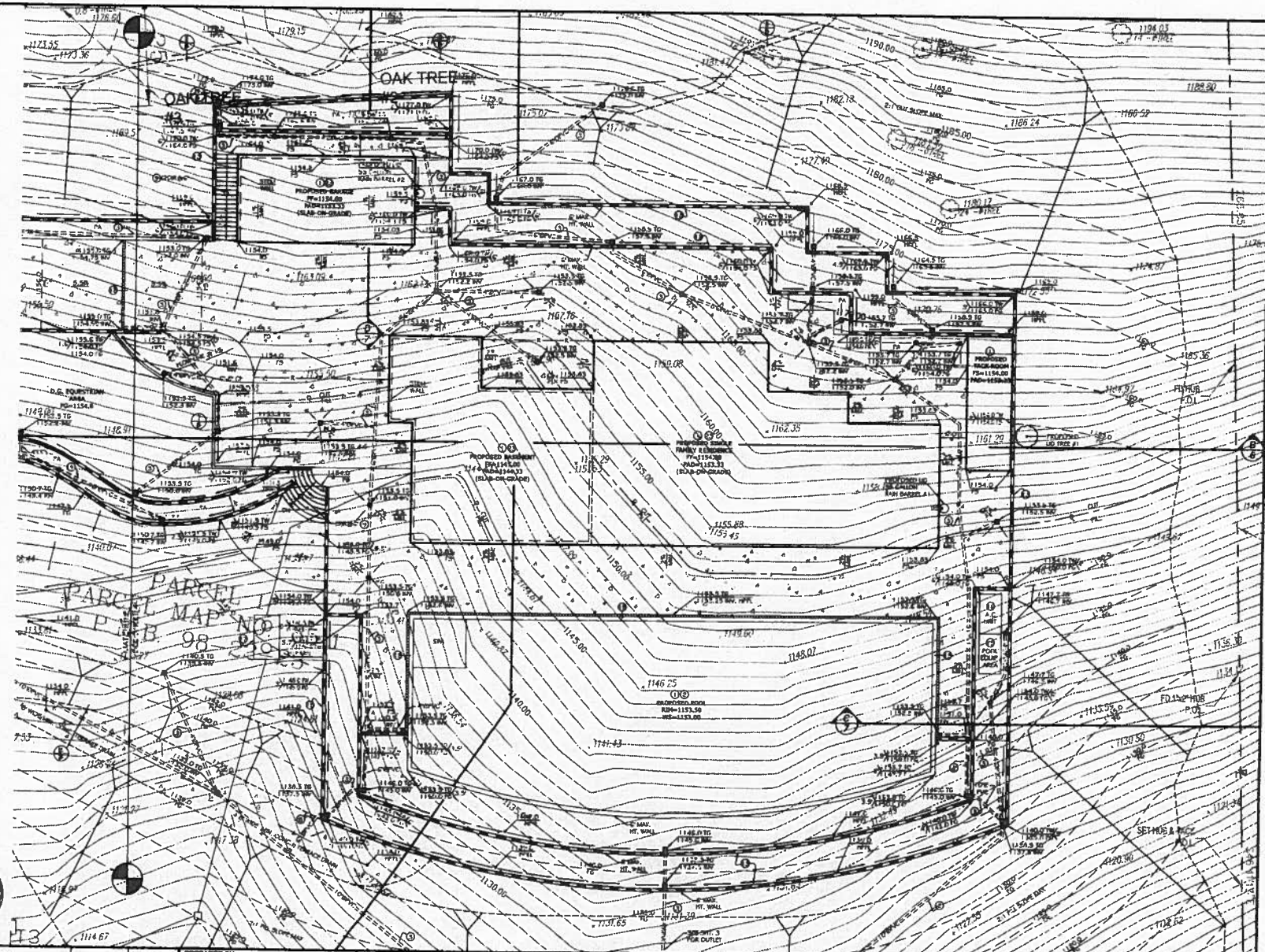
NOTE
NO PROPOSED SITE RETAINING WALLS OVER 6'-0" HIGH (EXPOSED) ALLOWED!



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1-800-227-2800

TWO WORKING DAYS BEFORE YOU DIG



PREPARED BY:
WALLACE E. JASON # A550C.
851 RANCHO ROAD
THOUSAND OAKS, CA. 91362
(805) 794-3559
PROJECT ENGINEER

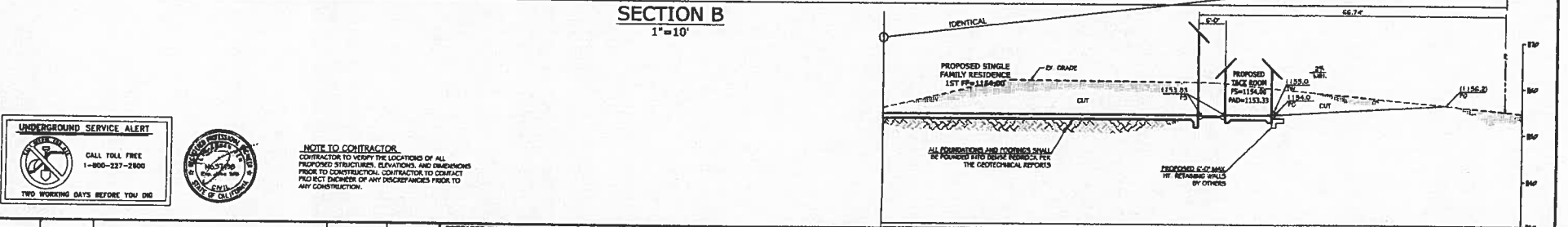
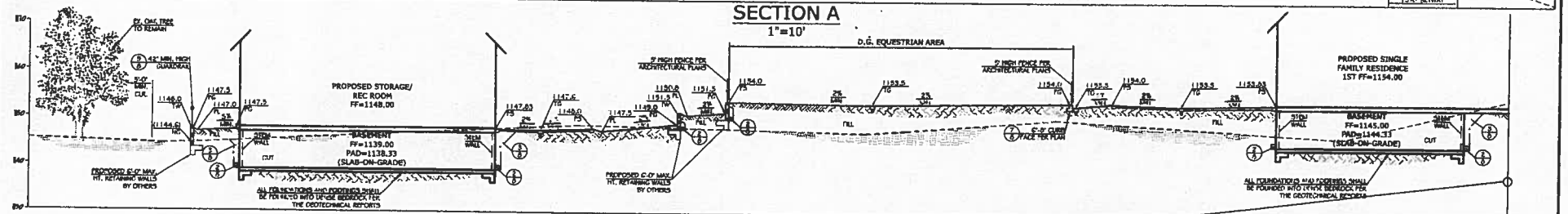
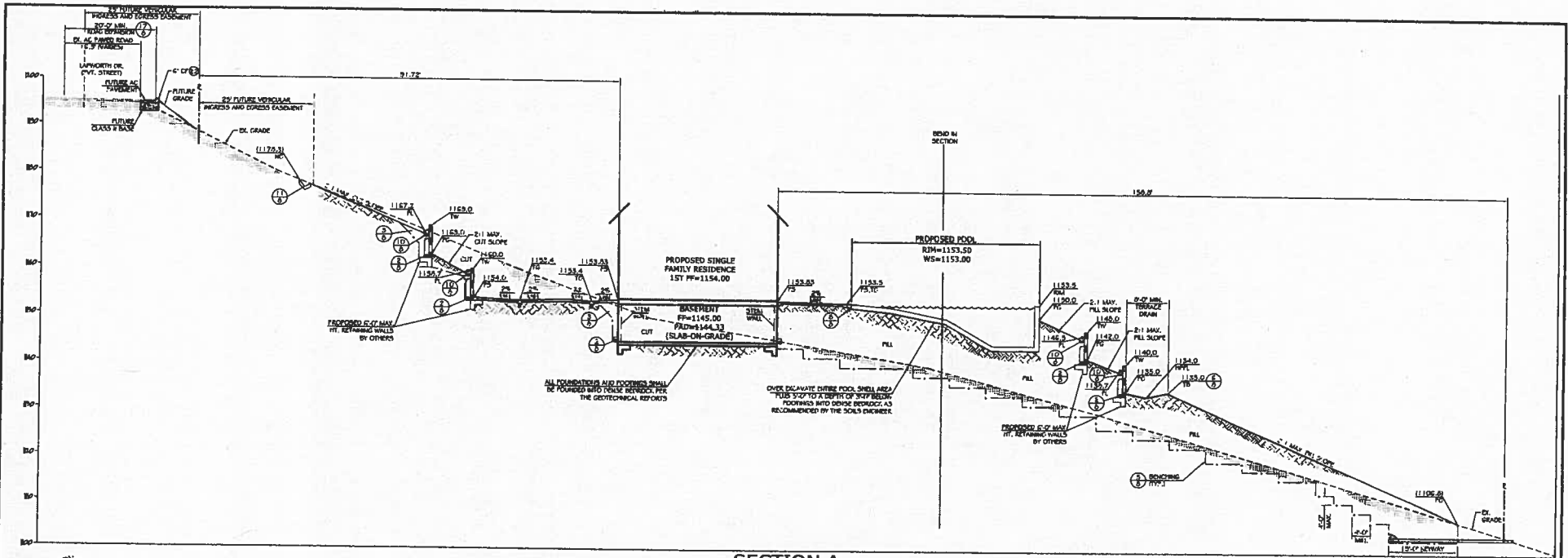
CITY OF AGOURA HILLS APPROVAL

REVIEWED BY _____ DATE _____

RAMIRO ADEVA III CITY ENGINEER DATE _____



ENLARGED GRADING AND DRAINAGE PLAN
BINA RESIDENCE
6000 LAPWORTH DRIVE
AGOURA HILLS, CA. 91301 SHEET 5 OF 11



UNDERGROUND SERVICE ALERT

CALL TOLL FREE 1-800-227-2800

TWO WORKING DAYS BEFORE YOU DIG



NOTE TO CONTRACTORS:

CONTRACTORS TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

CITY OF AGOURA HILLS APPROVAL

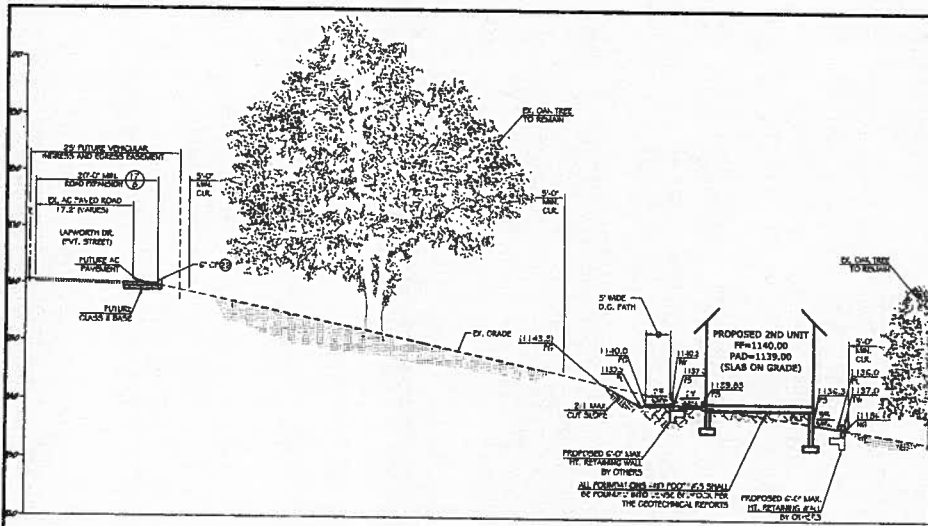
PREPARED BY:
WALLACE E. MASON & ASSOC.
551 RANCHO ROAD
THOUSAND OAKS, CA. 91362
(805) 754-8559

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

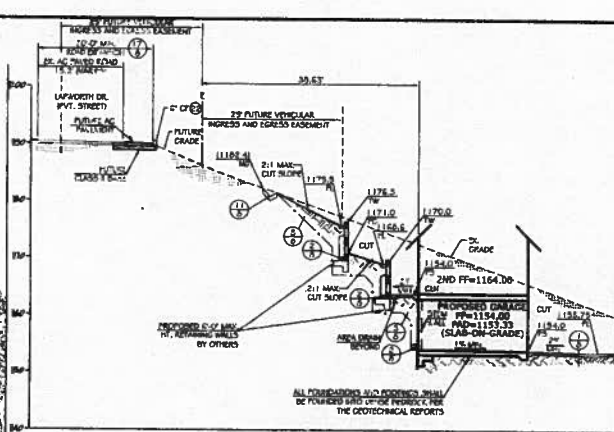
PREPARED BY	DATE	REVIEWED BY	DATE	ISSUE NO.	DISC'D BY	EXP DATE
WALLACE E. MASON & ASSOC.		RAMIRO ADEVA III				



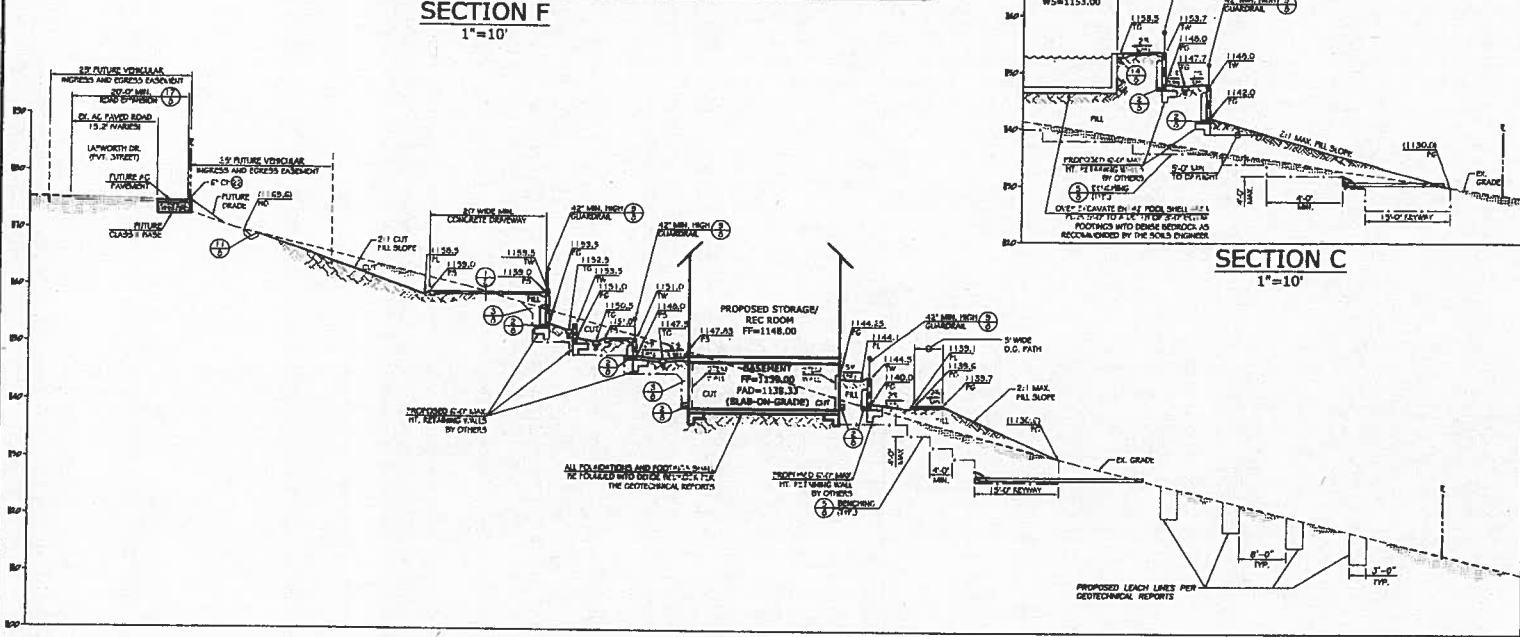
CROSS SECTIONS
 BINA RESIDENCE
 8000 LAPWORTH DRIVE
 AGOURA HILLS, CA. 91301 SHEET 8 OF 11



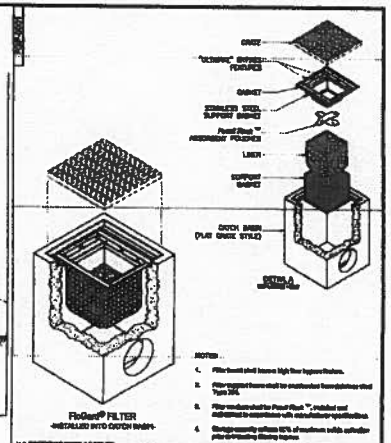
SECTION F
1"=10'



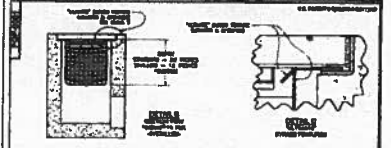
SECTION D
1"=10'



SECTION E
1"=10'



FioGuard® FILTER
-INSTALLED INTO CATCH BASIN-



SPECIAL CHECK

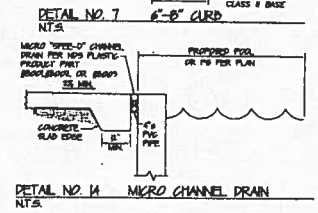
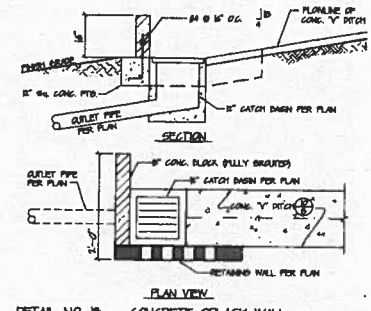
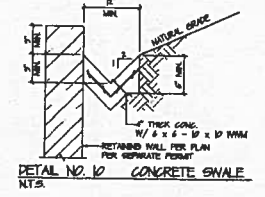
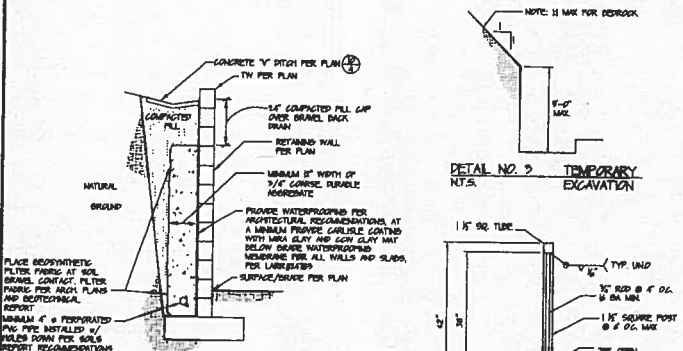
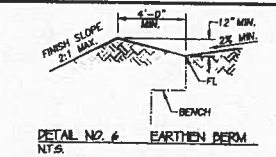
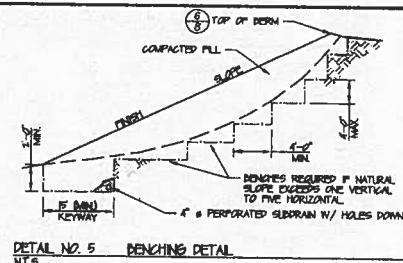
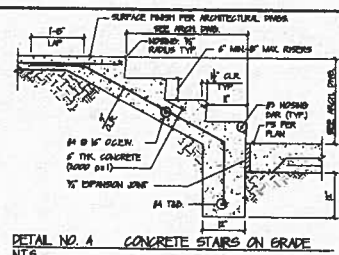
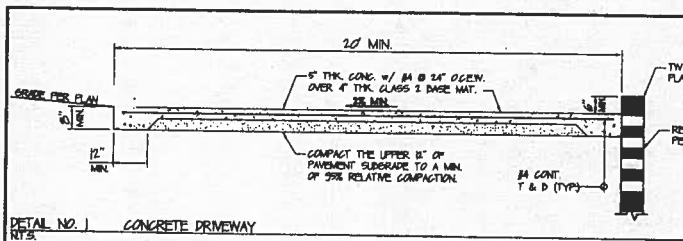
NO.	DESCRIPTION	DATE	BY	STATUS
1	PREPARED	01/15/20	W.E. MASON	COMPLETE
2	REVIEWED	01/15/20	W.E. MASON	COMPLETE
3	APPROVED	01/15/20	W.E. MASON	COMPLETE
4	REVISION			
5	REVISION			
6	REVISION			
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FioGuard®
Catch Basin Insert Filter
Grated Inlet Baffle

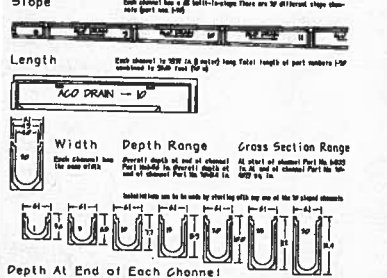
NOTICE TO CONTRACTOR:
CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY: WALLACE E. MASON # A350C. 4051 S. RANCHO ROAD THOUSAND OAKS, CA. 91342 (805) 794-3559	DATE	PROJECT ENGINEER	DATE	CITY OF AGOURA HILLS APPROVAL	DATE	RAMIRO ADEVA III CITY ENGINEER	DATE	ISSUE RICE NO.	REVISIONS EXP. DATE	CITY OF AGOURA HILLS	CROSS SECTIONS BINA RESIDENCE 6000 LAPWORTH DRIVE AGOURA HILLS, CA. 91301 SHEET 7 OF 11
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CHANNEL-SLOPE®
NW100 Series Channels
 Sloped Channels



DETAIL NO. 9 TEMPORARY EXCAVATION N.T.S.

NOTE: 1/2" MAX. FOR BACKRACK

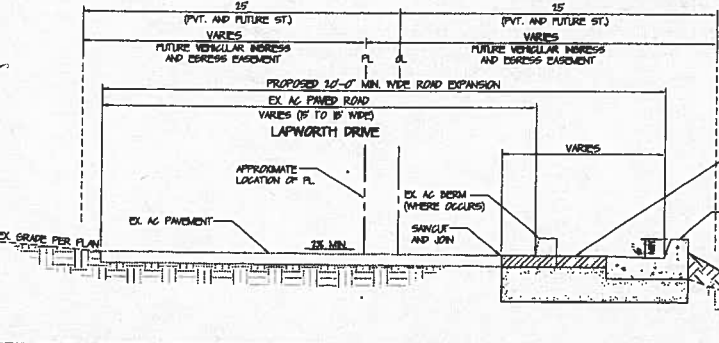
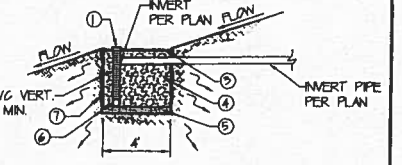
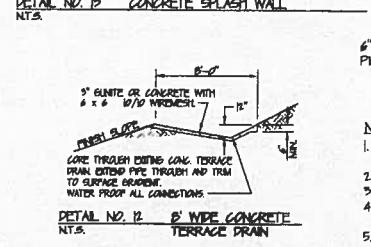
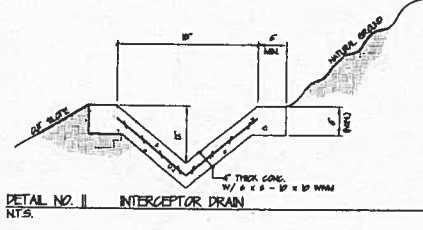
DETAIL NO. 11 INTERCEPTOR DRAIN N.T.S.

NOTE: REQUIRED WHERE GRADE PROPS UP OR LOWERS

DETAIL NO. 12 6" WIDE CONCRETE TERRACE DRAIN N.T.S.

NOTE: CORE THROUGH EXISTING CONC. TERRACE DRAIN EXTEND PIPE THROUGH AND TRIM TO SURFACE GRADE. WATER PROOF ALL CONNECTIONS.

- NOTES:**
- 6" PVC MIN. OBSERVATION WELL WITH LOCKABLE ABOVE-GROUND CAP.
 - 2" PEA GRAVEL FILTER LAYER.
 - PROVIDE FILTER FABRIC IF NO PRETREATMENT IS PROVIDED.
 - 5'-7" DEEP TRENCH FILLED WITH 2"-6" DIAMETER CLEAN STONE WITH 30%-40% Voids.
 - 6" DEEP SAND FILTER LAYER (OR MARAFI 140 FABRIC EQUIVALENT).
 - 6" PERFORATED SUBDRAIN WITH HOLES DOWN CONNECTING TO BOTH OBSERVATION RISERS.
 - WATERPROOFING MEMBRANE 10 MIL THK VISQUEEN OR APPROVED EQUIVALENT.
- DETAIL NO. 15 BUBBLER SPREADER OUTLET N.T.S.**



NOTE TO CONTRACTOR:

CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PREPROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS FROM TO CONSTRUCTION CONTRACTOR TO CONTACT PROJECT ENGINEER IN ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

UNDERGROUND SERVICE ALERT

CALL TOLL FREE 1-800-227-2800

TWO WORKING DAYS BEFORE YOU DIG

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY OF AGOURA HILLS APPROVAL	DATE	8885 RCE NO.	08/20/16 EXPIRE DATE	CITY OF AGOURA HILLS	DETAILS BINA RESIDENCE 6000 LAPWORTH DRIVE AGOURA HILLS, CA. 91301 SHEET 8 OF 11
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NOTES:

1. ALL GRADED AND DISTURBED AREAS TO BE JUTE NETTED OR PER EC3, EC4, & EC7, AS SOON AS GRADING IS COMPLETE.
2. CONTRACTOR TO REVIEW ALL BMP'S AND PROJECT ENGINEER AS SITE REQUIRES DURING ALL PHASES OF CONSTRUCTION.
3. AREAS BEYOND THE LIMITS OF GRADING AS SHOWN HEREON SHALL BE LEFT UNDISTURBED UNTIL LANDSCAPING IS TO BE DONE. NO STRIPPING OF THE EARTH OUTSIDE THE LIMITS OF GRADING UNTIL LANDSCAPING IS TO BE DONE.
4. ALL SEDIMENT TRAPS TO BE CLEANED AFTER EACH STORM DURING ALL PHASES OF CONSTRUCTION.
5. PROVIDE 4-MILL VISQUEEN OVER ALL DISTURBED VERTICAL EXCAVATIONS AND SLOPE AREAS.

CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE



LAPWORTH DR. (PRIVATE STREET)

GRAVEL BAGS
2-BAGS HIGH
1-BAG WIDE

CONCRETE WASHOUT AREA

MATERIAL STORAGE AND STOCKPILE AREA

PORTABLE TOILET BMP

GRAVEL BAGS
2-BAGS HIGH
1-BAG WIDE

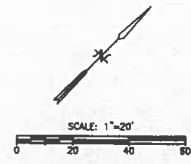
GRAVEL BAGS
2-BAGS HIGH
1-BAG WIDE

GRAVEL BAGS
2-BAGS HIGH
1-BAG WIDE

UNDERGROUND SERVICE ALERT

CALL TOLL FREE
1-800-227-2900

TWO WORKING DAYS BEFORE YOU DIG



NOTE TO CONTRACTOR
CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY OF AGOURA HILLS APPROVAL	DATE	SEES R/C#	DATE	AGOURA HILLS	EROSION CONTROL PLAN BINA RESIDENCE 6000 LAPWORTH DRIVE AGOURA HILLS, CA. 91301 SHEET 10 OF 11

SWPPP BMP SELECTION

Table 3.2 Temporary Erosion Control BMPs

CARMA Post Sheet	BMP Name	Meets a Minimum Requirement?	BMP used	If not used, state reason
		YES NO	YES NO	
BP-1	Subdrainage			
BP-2	Prevention of Erosion			
BP-3	Hydrologic Control			
BP-4	Stabilization			
BP-5	Soil Storage			
BP-6	Stream Control			
BP-7	Chemical and Salt			
BP-8	Soil Stabilization			
BP-9	Stream Bank and Driveway Erosion			
BP-10	Velocity Dissipation Devices			
BP-11	Slope Stabilization			
BP-12	Stream Bank Stabilization			
BP-13	Stream Bank Stabilization			
BP-14	Stream Bank Stabilization			
BP-15	Stream Bank Stabilization			
BP-16	Stream Bank Stabilization			
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BP-98	Stream Bank Stabilization			
BP-99	Stream Bank Stabilization			
BP-100	Stream Bank Stabilization			

Alternate BMPs Used: _____ If used, state reason: _____

* Applicability to a specific project shall be determined by the QED.
 ** The QED shall assess implementation of one of the minimum measures listed or a combination thereof to achieve and maintain the Risk Level requirements.
 *** Have been effective shall be detailed every time all disturbed areas. Erosion of stable areas may require hydroanalysis by a licensed civil engineer under additional environmental monitoring.

Table 3.3 Temporary Sediment Control BMPs

CARMA Post Sheet	BMP Name	Meets a Minimum Requirement?	BMP used	If not used, state reason
		YES NO	YES NO	
SE-1	Silt Fence			
SE-2	Sediment Basin			
SE-3	Sediment Trap			
SE-4	Check Dam			
SE-5	Filter Socks			
SE-6	Check Dam			
SE-7	Silt Fence			
SE-8	Silt Fence			
SE-9	Silt Fence			
SE-10	Silt Fence			
SE-11	Silt Fence			
SE-12	Silt Fence			
SE-13	Silt Fence			
SE-14	Silt Fence			
SE-15	Silt Fence			
SE-16	Silt Fence			
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SE-96	Silt Fence			
SE-97	Silt Fence			
SE-98	Silt Fence			
SE-99	Silt Fence			
SE-100	Silt Fence			

Alternate BMPs Used: _____ If used, state reason: _____

* Applicability to a specific project shall be determined by the QED.
 ** The QED shall assess implementation of one of the minimum measures listed or a combination thereof to achieve and maintain the Risk Level requirements.
 *** Risk Level 2-B shall provide linear sediment control along top of slope, base of slope, and at the grade breaks of exposed slope.

Table 3.4 Temporary Non-Stormwater BMPs

CARMA Post Sheet	BMP Name	Meets a Minimum Requirement?	BMP used	If not used, state reason
		YES NO	YES NO	
NS-1	Water Conservation Practices			
NS-2	Dispersing Operations			
NS-3	Parking and Stacking Operations			
NS-4	Temporary Stormwater Management			
NS-5	Clean Water Discharge			
NS-6	Soil Conservation - Riprap Discharge			
NS-7	Public Water Intake Damage Detection			
NS-8	Vehicle and Equipment Cleanliness			
NS-9	Vehicle and Equipment Parking			
NS-10	Vehicle and Equipment Maintenance			
NS-11	Pile Driving Operations			
NS-12	Concrete Curing			
NS-13	Concrete Finishing			
NS-14	Material and Equipment Use Over Water			
NS-15	Chemical Storage Adjacent to Water			
NS-16	Temporary Stock Piles			
NS-17	Temporary Stock Piles			
NS-18	Temporary Stock Piles			
NS-19	Temporary Stock Piles			
NS-20	Temporary Stock Piles			
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NS-96	Temporary Stock Piles			
NS-97	Temporary Stock Piles			
NS-98	Temporary Stock Piles			
NS-99	Temporary Stock Piles			
NS-100	Temporary Stock Piles			

Alternate BMPs Used: _____ If used, state reason: _____

* Applicability to a specific project shall be determined by the QED.

Table 3.5 Temporary Materials Management BMPs

CARMA Post Sheet	BMP Name	Meets a Minimum Requirement?	BMP used	If not used, state reason
		YES NO	YES NO	
WM-1	Material Inventory and Storage			
WM-2	Material Use			
WM-3	Spill Prevention and Control			
WM-4	Spill Prevention and Control			
WM-5	Solid Waste Management			
WM-6	Household Waste Management			
WM-7	Construction Debris Management			
WM-8	Construction Debris Management			
WM-9	Construction Debris Management			
WM-10	Construction Debris Management			
WM-11	Construction Debris Management			
WM-12	Construction Debris Management			
WM-13	Construction Debris Management			
WM-14	Construction Debris Management			
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WM-28	Construction Debris Management			
WM-29	Construction Debris Management			
WM-30	Construction Debris Management			
WM-31	Construction Debris Management			
WM-32	Construction Debris Management			
WM-33	Construction			

SYMB	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	NOTES	DET.
⊕	EX. TREE TO BE RETAINED					
⊕	CERDUS OCCIDENTALIS	WESTERN REDBUD	15	15 GAL		3
⊕	CITRUS TREE		8	15 GAL	TO BE SELECTED BY OWNER	3
⊕	AVOCADO		95	15 GAL		3
⊕	NESTARINE		1	15 GAL		3
⊕	PEACH		5	15 GAL		3
⊕	PEAR		2	15 GAL		3
⊕	PERSIMON		4	15 GAL		3
⊕	PLUM		5	15 GAL		3
⊕	POMEGRANITE		2	15 GAL		3
⊕	WALNUT		3	15 GAL		3
⊕	ARCTOSTAPHYLOS "EMERALD CARPET"		1 GAL		PLANT 36" ON CENTER	
⊕	BACCHARIS "TWIN PEAKS"		1 GAL		PLANT 36" ON CENTER	
⊕	GAZANIA M. "ORANGE"				FLATS PLANT 8" ON CENTER	

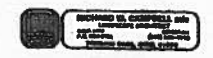
- LEGEND FOR CALL OUTS
- ⊕ DECOMPOSED GRANITE
 - ⊕ 6" HIGH CHAIN LINK FENCE
 - ⊕ VEGETABLE GARDEN
 - ⊕ TREE PROTECTION ZONE

REFER TO DRAWING LD-1 FOR FUEL MODIFICATION NOTES & PLANTING SPECIFICATIONS

SYMB	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	NOTES	DET.
⊕	ABUTILON "THOMPSON"		80	5 GAL		9
⊕	AGAPANTHUS "STORM CLOUD"		18	1 GAL		9
⊕	OSTIUS PURPUREUS		58	5 GAL		9
⊕	SALMA "MIDNIGHT BLUE"		52	5 GAL		9
⊕	DIETES BICOLOR	FORTNIGHT LILY	57	5 GAL		9
⊕	DIETES BUCCHATORIA	BLOOD RED TRUMPET VINE	40	5 GAL		9
⊕	HARDENBERGIA "HAPPY WANDERER"		48	5 GAL		9
⊕	HETEROMELES ARBUTIFOLIA	TOYON	9	5 GAL		9
⊕	LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	81	5 GAL		9
⊕	NERIUM "MRS. ROEDING"	OLEANDER	23	5 GAL		9
⊕	XYLOSMA CONGESTUM		94	5 GAL	HEDGE TO 6' IN HEIGHT	9
⊕	PITOSPORUM "VAREGATA"		32	5 GAL		9
⊕	PRUNUS CAROLINIANA		39	15 GAL		9
⊕	RHUS OVATA		8	5 GAL		9
⊕	ROSMARINUS "TUSCAN BLUE"		17	5 GAL		9
⊕	NUBBURNUM "SPRING BOUQUET"		49	5 GAL		9
⊕	ENCHELIA CALIFORNICA		28	5 GAL		9

PLANTING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING ALL PLANT MATERIALS PER THESE PLANS, DETAILS, AND SPECIFICATIONS. PLANT MATERIALS SHOWN ON THESE PLANS ARE FOR ESTIMATING PURPOSES ONLY AND ARE NOT GUARANTEED. CONTRACTOR SHALL SUPPLY AND INSTALL QUANTITIES AS SHOWN ON THE PLANS.
 - LOCATION APPROVAL FOR ALL TREES AND SHRUBS SHALL BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION OF ANY HOLES. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO RELOCATE PLANT MATERIAL WITHOUT ADDITIONAL COST TO THE OWNER.
 - THE LANDSCAPE ARCHITECT SHALL INSPECT AND APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING AT THE SITE.
 - ALL TREES SHALL BE STAKED OR CAGED AS PER PLANT LEAD AND DETAIL.
 - SHED-TRUNKS OTHER THAN SPECIFIED SHALL CONSIST OF A SQUARE OF THE THICKNESS OF APPROXIMATELY EQUAL DIAMETER AND BE SET FROM A SINGLE ROOT CRACK. MAKE-UP MATERIALS SHALL BE ACCEPTED.
 - ALL SHRUBS AND CROPPED COVER AREAS ARE TO BE MALCHED WITH BRUSHED MARK 3/4" DEEP BERMUD.
 - ALL PLANTING AREAS INCLUDING LAWN AREAS ARE TO BE TILLED AND AMENDED PER SPECIFICATIONS.
 - THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT FOR ALL MAJOR LAYOUTS PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO RELOCATE ANY PLANTING LAYOUT PRIOR TO APPROVAL, WITHOUT ADDITIONAL COST TO THE OWNER.
- ABBREVIATIONS USED:
- D - DECOMPOSED GRANITE
 - G - GALVANIZED
 - GLV - GALVANIZED
 - HW - HAWKWOOD
 - MAX - MAXIMUM
 - O.C. - ON CENTER
 - REF - REFERENCE
 - W - WITH

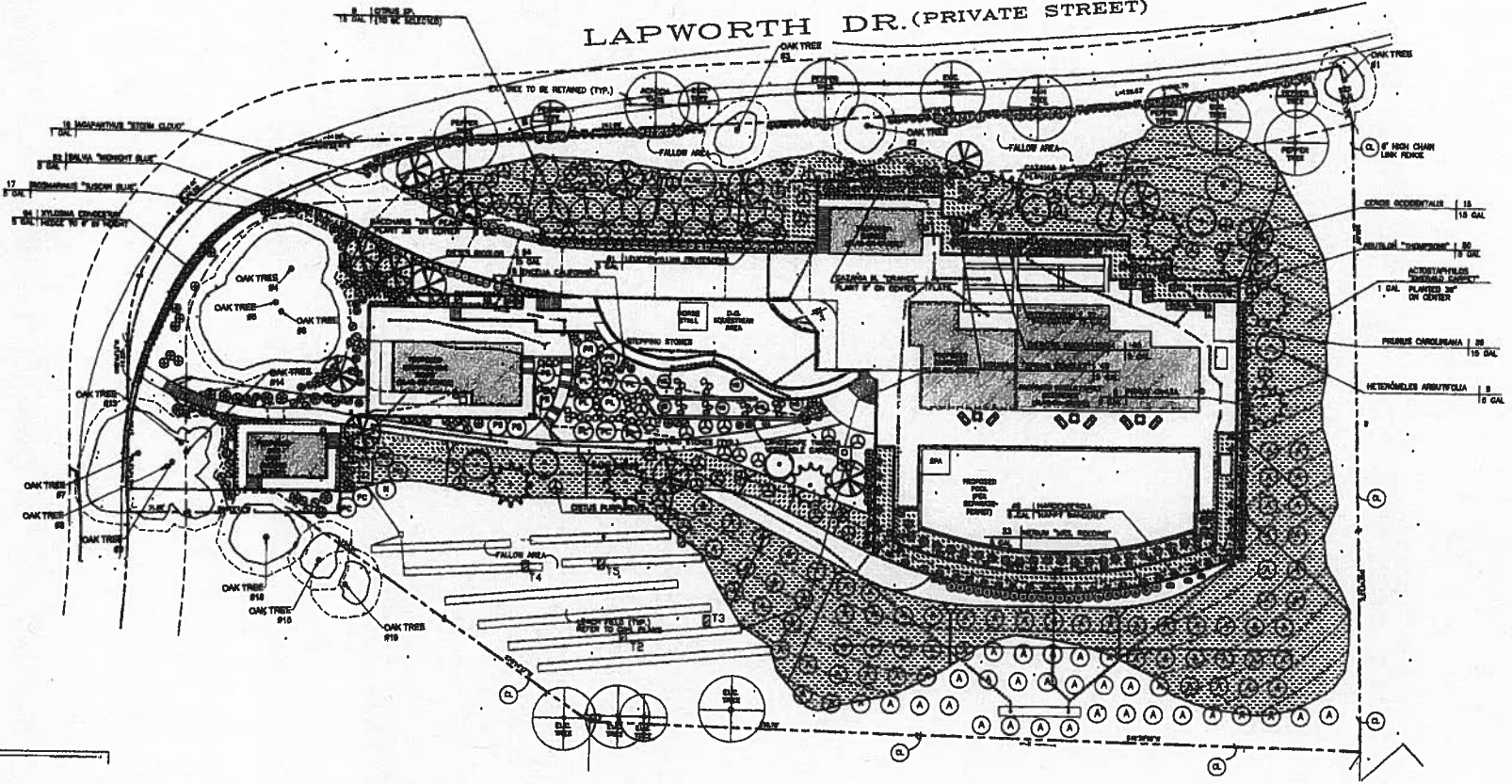


Client: BRIGITTE

Project:

6000, LAPWORTH DRIVE
AGOURA HILLS

LAPWORTH DR. (PRIVATE STREET)



NORTH

SCALE: 1" = 20'-0"

NO.	DATE	BY	CHKD.

Date: October 23, 2008

Scale:

Drawing Title: PLANTING PLAN

ATTACHMENT 5
PHOTOGRAPHS OF APPLICANT'S LOT



