



PLANNING DEPARTMENT

ACTION DATE: September 1, 2016

TO: Planning Commission

APPLICANT: EZ Plans for Yong and Grace Korman
20720 Ventura Boulevard, Suite 220
Woodland Hills, CA 91364

CASE NO.: SPR-01253-2016

LOCATION: 6045 Macadam Court (A.P.N. 2056-041-009)

REQUEST: Request for approval of a Site Plan/Architectural Review to add a 294 square-foot second floor mezzanine to an existing single-story residence; and to make a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL ANALYSIS: Categorically Exempt per Section 15301 of the California Environmental Quality Act (CEQA) and CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Site Plan Architectural Review Case No. SPR-01253-2016, subject to conditions, based on the findings of the Draft Resolution.

ZONING DESIGNATION: RS-(2)-15,000 (Single-Family Residential – maximum two dwelling units per acre – 15,000 square feet minimum lot size)

GENERAL PLAN DESIGNATION: Residential Single Family (RS)

I. PROJECT BACKGROUND AND DESCRIPTION

The applicant, Lesley Joelson from EZ Plans, representing property owners Yong and Grace Korman, is requesting to add 294 square feet of mezzanine space to a single-story residence located at 6045 Macadam Court. The 0.35-acre parcel is on a cul-de-sac of the Morrison Ranch residential tract and is zoned Single Family Residential (RS-(2)-15,000). The parcel is adjacent to single-family residences on the north, south and west sides of the property, as well as across the street to the east. The original Building Permit for this house indicates that a 3,891-square foot house with a 539 square-foot attached garage was constructed on the parcel in 1983. A

kitchen addition of 82.5 square feet was permitted in 1996. No other addition was permitted after that request.

This request is to construct a 294 square-foot mezzanine office space above what is currently used as a hallway (60 square feet) and an office (100 square feet) in the center of the house, and convert the existing office and hallway space into a formal dining area enclosed by four non-structural posts and two pony walls. City records show that the original floor plan included an interior atrium where the office currently exists. It is not known when the atrium was converted into an office by adding four walls and a door since there are no City records of the conversion. The project can move forward as proposed since the proposed modifications will eliminate the office, and the mezzanine/dining room will be constructed to comply with the current City Building Code. The mezzanine is proposed where the sloping roof line is the highest in the house (which ranges from 15.75 to 21.5 feet) in order to maintain an eight (8) foot high ceiling for the first floor, plus sufficient room for the thickness of the new floor and sufficient head room to be considered a legal second floor. The City Building Code establishes minimum standards pertaining to a legal floor that requires that a room be a minimum height of six (6) feet eight (8) inches, have a minimum of 70 square feet in floor area, have natural or artificial light, and be heated. The proposed mezzanine space does comply with those requirements by providing the minimum height at the edges of the room, 294 square feet of floor area, and natural light from two (2) existing skylights. The mezzanine would be constructed with solid walls on three sides and a hand rail on the fourth side for air circulation and heat. The mezzanine would necessitate a new staircase proposed in the front entry area. Miscellaneous interior improvements are also proposed to other rooms in the house, including the kitchen, family room, and master bedroom and bathroom, all of which are not subject to the Site Plan/Architectural Review request and Planning Commission review, but are nonetheless shown on the plans since Building Permits will need to be issued for all the work combined. Exterior changes to the structure, such as replacement of doors and windows unrelated to the addition, are reviewed administratively by the Planning Department and are also subject to the issuance of Building Permits. Although the submittal of the Morrison Ranch Estates Homeowners' Association's approval is only required for the exterior changes and is required to be submitted prior to the issuance of Building Permits, the Association letter approving the whole project was submitted during the review of the Site Plan/Architectural Review applicant, and is attached to the report as Attachment 4.

II. STAFF ANALYSIS

A. Building

Second story and mezzanine additions are permitted in the RS zone and are common in the Morrison Ranch Estates residential neighborhood. Although adding a new mezzanine level to the existing single-story dwelling unit adds additional living space, it does not intensify the use as the dwelling unit remains a single-family structure. The Zoning Ordinance (Section 9243.9.B) identifies the Planning Commission as the reviewing authority for projects that involve a second story addition to an existing one-story single-family residence. A mezzanine would be considered a second story for the purpose of the Zoning Ordinance. While the proposed project would involve converting existing space below the roof line to create a partial second mezzanine

level, which would not be visible to the public, it is nonetheless considered a second story addition.

Although the original construction of the house in 1982 pre-dates the City's Zoning Ordinance (1987), the existing structure complies with the currently required development standards relative to building site coverage and height. Currently, the building site coverage is 31 percent, whereas the maximum allowable coverage for the RS-(2)-15,000 zone is 35 percent. The building is 23 feet eight (8) inches high, whereas the maximum allowable height is 35 feet. Since the proposed project would not increase the building site coverage or involve construction exceeding the current roof line, the project would be consistent with the standards. The existing north side yard is six (6) feet two (2) inches, and the existing south side yard varies between five and a half (5.5) feet and 23 feet and four (4) inches compared to the required ten (10) and 12 feet. The rear and front yards of the parcel are 61 feet, and 32 feet nine (9) inches respectively, whereas the required setbacks are 25 for both yards. In this case, the proposed 294 square-foot addition will not affect the side, front, or rear yards setbacks since it is contained within the building envelope and roof height.

B. Architectural Design

The City Architectural Design Standards and Guidelines recommend that applicants, when modifying a structure that was constructed as part of a residential tract development, design the modifications to be in keeping with the overall tract design. Therefore, the Architectural Design Standards and Guidelines note that in order to maintain the neighborhood character, an addition should consider similar setbacks, height, roof pitch, eaves, and wall heights, to the ones existing on nearby residential properties. The proposed added square footage meets the Architectural Design Standards and Guidelines by not increasing the building mass, height, and bulk, and remaining within the existing building envelope and within the interior of the house. Although the request is to add another floor, the project would not impact the neighbors since it is in the center of the home and would not have windows that would look out onto neighboring properties' yards. The mezzanine would be surrounded by attic space and not be in contact with an exterior wall. Therefore, the project would not be visible from neighbors or passersby. The house's exterior materials will remain the same. The existing skylight windows on the roof directly above the interior space would remain as well.

C. General Plan Consistency

Staff finds the project will be consistent with the following applicable General Plan goal and policy:

Goal LU-9 Single Family Neighborhoods

Maintenance of the identity, scale and character of the City's distinct residential neighborhoods.

- *Policy LU-9.1 Neighborhood Identity.* Maintain the distinguishing characteristics that differentiate by topography, parcel size, housing scale and form, and public streetscapes in Agoura Hills' single-family neighborhoods.

The project complies with Goal LU-9 and Policy LU-9.1 by remaining in scale and in character with the other residences in the neighborhood. The height of the residence can accommodate a mezzanine floor without the need for substantial exterior changes to the building envelope that would be visible to the public. No windows or increase in height are necessary. The existing skylight windows allow natural light into the room without impacting neighbors' privacy.

D. Environmental Review

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorical Exempt from the CEQA Guidelines per Section 15301(a). This exemption includes minor expansion of square footage of an existing private residence. The project would not have a significant effect on the environment because it involves negligible interior expansion of an existing use. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines including but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

III. RECOMMENDATION

Based on the foregoing review and analysis, staff recommends that the Planning Commission approve Site Plan/Architectural Review Case No. SPR-01253-2016, subject to conditions.

IV. ATTACHMENTS

1. Draft Resolution for the Site Plan/Architectural Review with Exhibit A for Conditions of Approval
2. Vicinity/Zoning Map
3. Reduced Copies of the Plans with Photographs
4. Morrison Ranch Estates Homeowners Association Letter

Case Planner: Valerie Darbouze, Associate Planner

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01253-2016 FOR THE PROJECT LOCATED AT 6045 MACADAM COURT; AND MAKING THE FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Lesley Joelson of EZ Plans for Yong and Grace Korman with respect to the real property located at 6045 Macadam Court (Assessor's Parcel No. 2056-041-009) requesting an approval from the Planning Commission for a Site Plan/Architectural Review to allow the construction of a 294 square-foot second story level mezzanine to an existing single-story residence pursuant to Zoning Code Section 9243.5.B.2.d., which pertains to new second story additions to existing single-story single-family dwelling units (Case No. SPR-01253-2016).

Section II. The project is a request for a small addition to one single-family residence, and is exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15301(a) (Existing Facilities). The project would not have a significant effect on the environment because it involves negligible interior expansion of an existing use. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the application at a public hearing held on September 1, 2016 at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Site Plan/Architectural Review. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9677.5 of the Agoura Hills Zoning Ordinance, that:

A. The proposed use is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located. The property designation allows for the development of a room addition and the proposal meets the development standards for the Residential Single Family (RS) zone relative to use, height, and building site coverage, and would not affect the existing non-conforming building setbacks.

B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare. The addition is proposed to be built entirely within the home interior, within the existing building envelope without the need for roof modification or the need for windows looking onto the perimeter of the house, thereby protecting privacy of the adjacent developed properties. The use of the additional space is that of a residential use permitted in that zone.

C. The proposed use will not conflict with the character and design of the buildings and surrounding area and is compatible with the surrounding properties and open spaces. The design of the proposed addition will provide a desirable environment for its occupants, and will not conflict with the neighborhood character or conflict with open space areas in the neighborhood. The existing residence is aesthetically of good composition, materials, textures, and colors and the addition will not modify these conditions. The room addition is located within the interior of the home and will not expand the footprint or the roof of the house. The new mezzanine will be surrounded by attic space, will obtain light through the existing skylights directly above the new space, and will not result in any exterior changes to the residence that could affect the neighborhood character or open space areas.

D. The proposed use will comply with each of the applicable provisions of the regulatory provisions of the Zoning Ordinance, except for approved variances or modifications. No modification or variance is required as part of the request and the additional square footage is permitted in the RS zone. The project does not affect the development standards of the zone since the additional square footage is contained within the existing building envelope, including within the roof line.

E. The proposed use is consistent with the City's General Plan. The project conforms to Goal LU-9 Single Family Neighborhoods, specifically Policy LU-91.1 Neighborhood Identity, in that the project remains in scale and form with other residences in the neighborhood and does not alter the streetscape of the single-family neighborhood. The height of the residence and the mass of the structure do not change, since the addition is fully contained in the interior of the residence and no exterior changes are proposed.

F. The proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The proposed request does not change the existing conditions of the neighborhood, as the requested additional livable square footage will not be visible from the exterior of the residence and no exterior changes are proposed. Second story additions are common in the neighborhood.

Section VI. Architectural Review. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9677.7.G. of the Agoura Hills Zoning Ordinance, that:

A. The proposed use is consistent with the General Plan, any specific plans, and any design standards adopted by the City Council. The project complies with Goal LU-9 and Policy LU-9.1 by remaining in scale with the other residences in the neighborhood. The height of the

residence can house a mezzanine without the need for structural changes to the building envelope and architectural changes visible from the outside. The existing skylight windows allow for natural light into the room without impacting neighbors' privacy. The building height is consistent with the other residences developed in the tract, and would not be increased by the project.

B. The design and location of the proposed development and its relationship to existing developments and traffic in the vicinity will not impair the desirability of investment or occupation in the neighborhood and that it will not unreasonably interfere with the use and enjoyment of existing development and will not create traffic hazard or congestion. The modifications will renovate the interior of the residence, and comply with the most current Building Code requirements. The expansion will not interfere with the use and enjoyment of existing development in the vicinity. The changes will not be visible on the exterior, and so would not affect the aesthetics or desirability of the neighborhood. The project will not create traffic hazards or congestion. The applicant requests to increase the square footage of the residence and not change the use of the property. The additional square footage would be for the use of the residents and is not expected to result in the generation of traffic trips.

C. The proposed use is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan. The project adds a mezzanine level without modifying the exterior of the dwelling unit. Second stories are commonly found in the Morrison Ranch residential neighborhood, so this request would be consistent with other development.

D. The design of the proposed development provides a desirable environment for its occupants, as well as for the project's neighbors, as the original architectural design of the building exterior is not changed and remains of good composition, materials, textures, and colors. The interior changes will provide benefits to the residence's occupants by creating additional interior space.

E. The proposed use complies with all applicable requirements of the district in which it is located and all other applicable requirements. The building site coverage, building setbacks, and height will not change because the additional square footage is created within the existing roof line within the house interior and does not require any exterior modifications.

F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare. The interior improvements will be constructed to comply with the most recent Building Code requirements. The addition will not result in any exterior changes to the building, nor would it change the existing residential use of the property. The project is similar to other second story additions that have been approved in this portion of the City.

Section VII. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. SPR-01253-2016, subject to the attached conditions, with respect to the property described in Section I hereof.

Draft Resolution No. ____

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Section VIII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 1st day of September, 2016, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John O'Meara, Chairperson

ATTEST

Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case No. SPR-01253-2016)

PLANNING DEPARTMENT

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicant has agreed in writing that he/she is aware of, and accept, all conditions of this permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, House and Mezzanine Floor Plans, Cross-Section, and Roof Plan.
4. The construction of the project shall conform with any proposed exterior materials shown on the plans submitted as part of this application.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Director of Planning.
9. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
10. Unless this permit is used within two (2) years from the date of City approval, Site Plan/Architectural Review Case No. SPR-01253-2016 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
11. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.

12. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.48 per square foot for residential construction.
13. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
14. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
15. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
16. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought up against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.
17. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from an against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter at applicant's expense.

BUILDING AND SAFETY DEPARTMENT

18. All exterior materials used for eaves, sidings, porch, patio, decks, canopies, carport and other similar structures must comply with the Very High Fire Hazard Severity Zone's (VHFHSZ) requirements as outlined in Chapter 2 of Article VIII in the Agoura Municipal Code.
19. All new or replaced windows must comply with Section 704A.3.2.2 of the 2013 California Building Code.
20. This project is subject to the 2013 California Residential, Building, Mechanical, Plumbing, Electrical, Energy, Green Building Codes, and Agoura Hills Municipal Code.
21. As part of the permitting process and prior to any permit issuance, two (2) complete sets of construction plans, including but not limited to Floor, Structural, Mechanical, Electrical, Plumbing Plans, and Energy Calculations, will need to be submitted to the Building and Safety Department for review and approval.

22. A Building Permit shall be required for the installation of any new and the two existing skylights above the proposed mezzanine.

SOLID WASTE MANAGEMENT

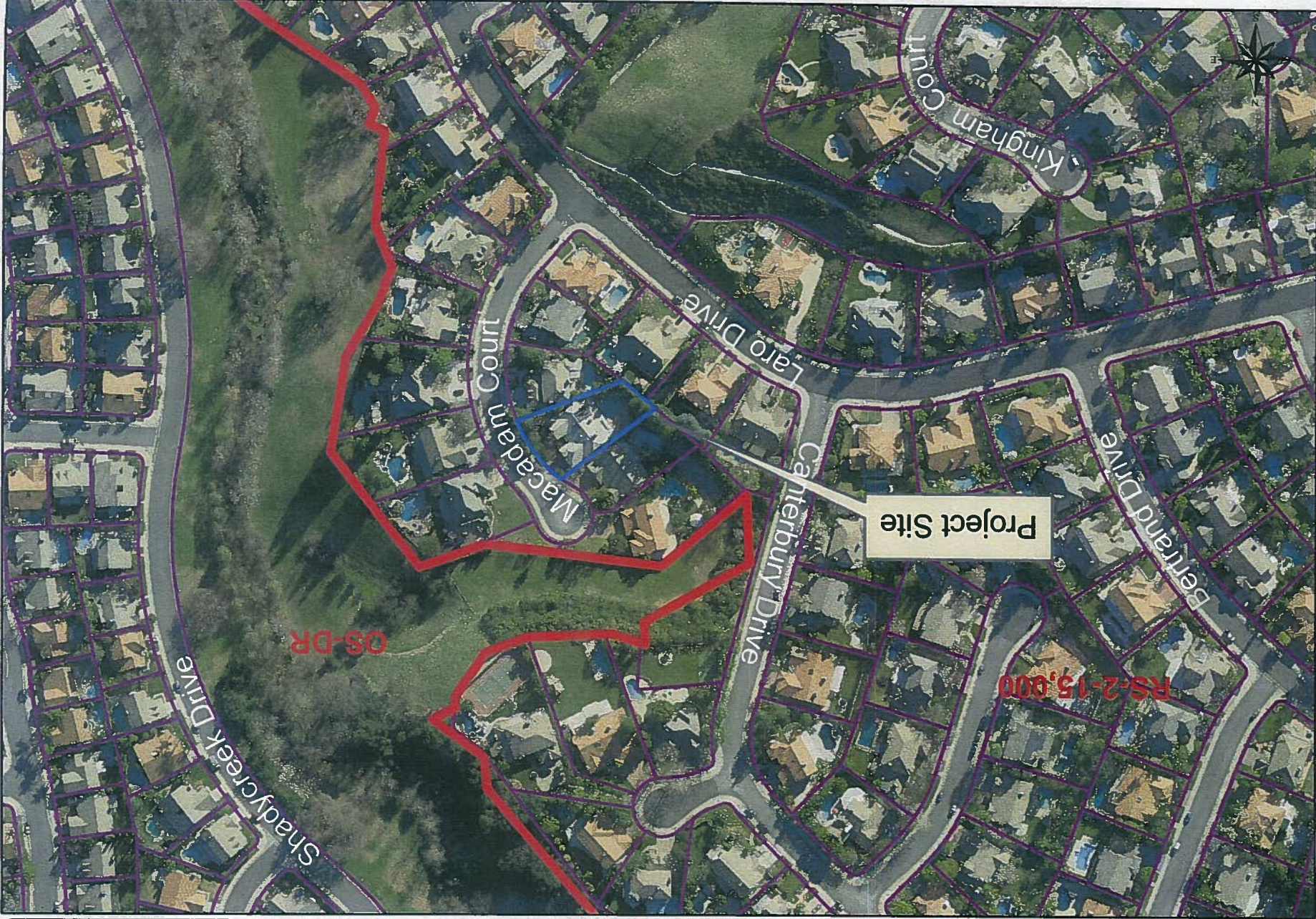
23. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
24. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
25. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

City of Agoura Hills

Site Plan/Architectural Review Case No. SPR-01253-2016

Vicinity/Zoning
Map



0 75 150 300 450 600
Feet



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50-04

Sheet
EXTERIOR
PHOTOS



INTERIOR REMODEL
OWNER: YONG AND GRACE KORMAN
ADDRESS: 6045 MACADAM COURT
AGOURA HILLS, CA 91301

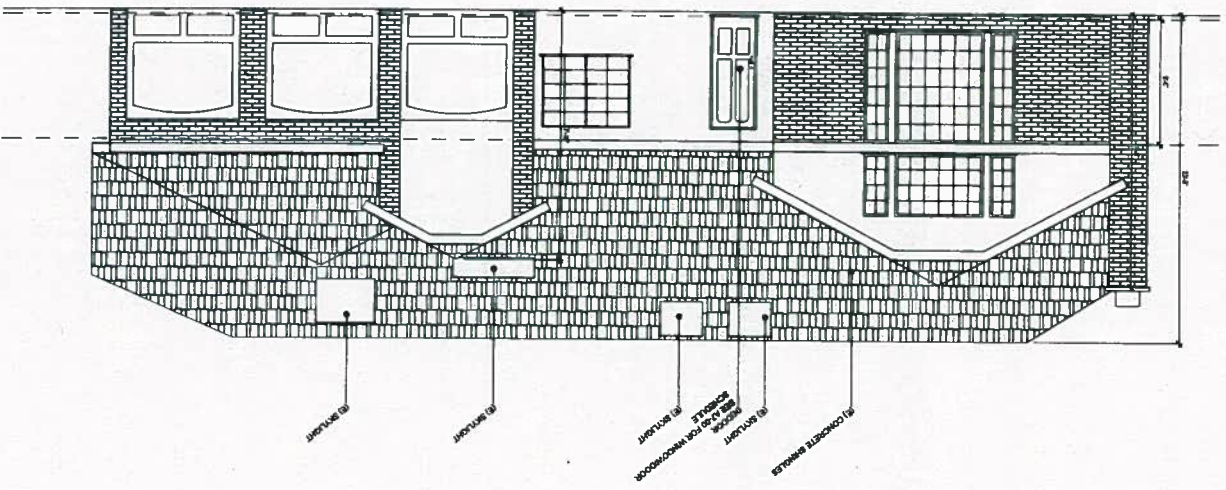


SCALE: 1/8" = 1'-0"

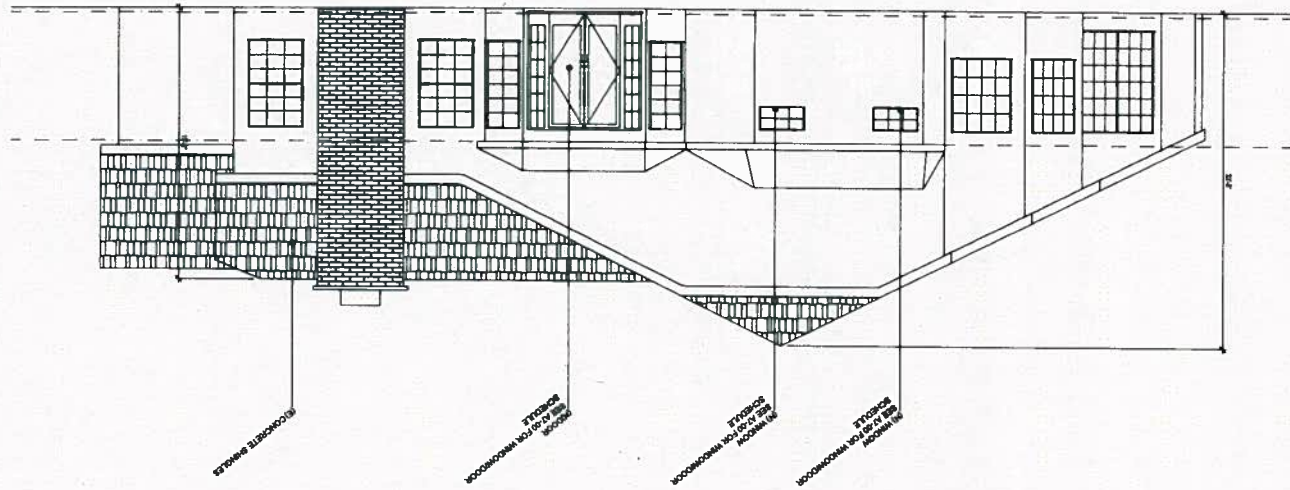
ARCHITECTURE
SERVICES
EZ PLANS
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15 PROPOSED EAST ELEVATION
 Scale: 1/4" = 1'-0"



13 PROPOSED SOUTH ELEVATION
 Scale: 1/4" = 1'-0"



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A4-02
 Sheet

PROPOSED EXT. ELEVATIONS

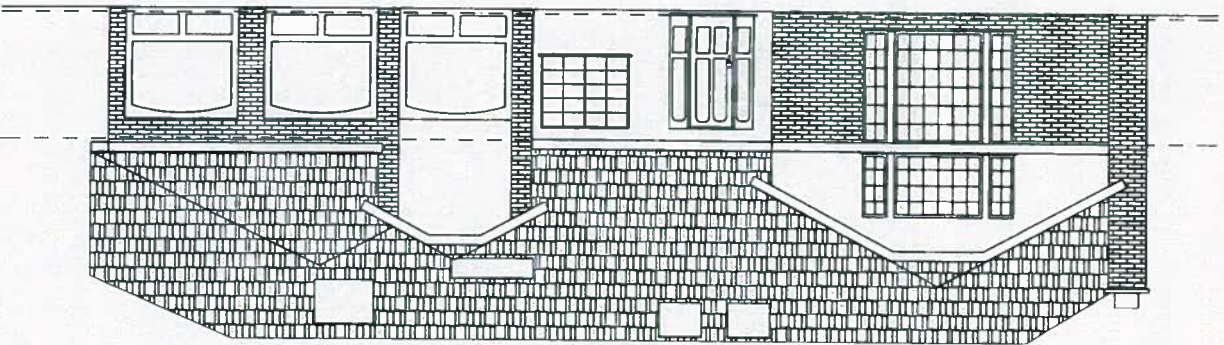
INTERIOR REMODEL
 OWNER: YONG AND GRACE KORMAN
 ADDRESS: 6045 MACADAM COURT
 AGOURA HILLS, CA 91301

ESSENTIAL 1

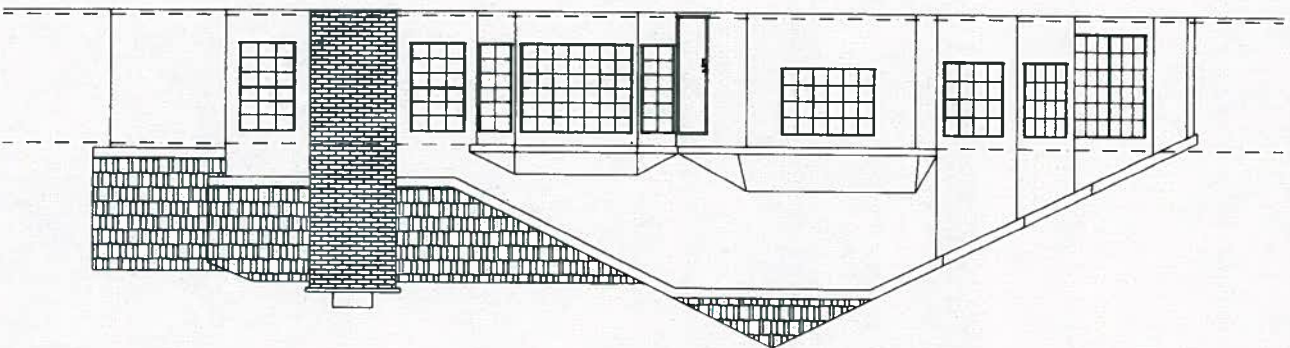
ARCHITECTURE
 28 YEARS OF EXPERIENCE
 100% SATISFACTION GUARANTEE

Architect, engineer, surveyor and other professionals are licensed in the State of California. All work hereon is intended to be completed in the State of California. All work hereon is intended to be completed in the State of California. All work hereon is intended to be completed in the State of California.

15 EXISTING EAST ELEVATION
Scale: 1/8" = 1'-0"



13 EXISTING SOUTH ELEVATION
Scale: 1/8" = 1'-0"



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A4-04

EXISTING EXT. ELEVATIONS

INTERIOR REMODEL
OWNER: YONG AND GRACE KORMAN
ADDRESS: 6045 MACADAM COURT
AGOURA HILLS, CA 91301



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**MORRISON RANCH ESTATES
HOMEOWNERS ASSOCIATION**

APPLICATION FOR ARCHITECTURAL APPROVAL

PLEASE FILL IN ALL SPACES COMPLETELY. ALLOW UP TO 4 WEEKS FOR REVIEW
DO NOT START WORK UNTIL YOU RECEIVE APPROVAL

PROPERTY OWNER	<u>Yong and Grace Korman</u>	LOT/TRACT #
STREET ADDRESS	<u>6045 Macadam Court</u>	
HOME PHONE:	<u>(818) 268-7744</u>	BUSINESS PHONE:

TYPE OF REQUEST

<input type="checkbox"/> LANDSCAPE	<input type="checkbox"/> PATIO COVER	<input type="checkbox"/> ROOM ADDITION	<input checked="" type="checkbox"/> OTHER
<input type="checkbox"/> PAINT	<input type="checkbox"/> POOL/SPA	<input checked="" type="checkbox"/> SKYLIGHT	
<input checked="" type="checkbox"/> REMODEL	<input type="checkbox"/> TREE REMOVAL	<input checked="" type="checkbox"/> WINDOWS	<u>Loft addition</u>
<input type="checkbox"/> ROOF	<input type="checkbox"/> AWNINGS	<input type="checkbox"/> GARAGE DOOR	

Please provide a brief description of proposed plan or modification. For color changes indicate where each color will be used, the type of surface to be painted, i.e., stucco, wood siding, etc., manufacturer and color number. Submit two (2) sets of color chips. For re-roofing, list manufacturer, roof material and color.

Please attach two sets of renderings for proposed improvements. For structures, pools/spas and landscaping, show site plan with existing and proposed improvements, including existing fence line. Site plan should show property boundaries, HOA easements, and opts/toes of slopes, if any. Provide details of all materials to be used, including size, type, quantity of plant material. Provide cross-sections of all structures. Owner is responsible for providing proper drainage from rear yard to street.

ANTICIPATED STARTING DATE September 2016
ANTICIPATED COMPLETION DATE January 2016

ATTACHMENTS: Plans _____
Color Samples _____
Other _____

We, the undersigned, certify that we are the legal owners of the above property and that we agree to abide by the Morrison Ranch Estate Homeowners Association CC&Rs. Approval by this Architectural Committee does not constitute waiver of any requirements of applicable governing agencies. We furthermore understand and agree that building permits for home improvements are required and that the cost of the permits and responsibility of obtaining permits and subsequent inspection will be borne by the homeowner.

Signature Grace Korman Date August 11, 2016

For Office Use Only	
Date Submitted: <u>8/18/16</u>	Approved by: <u>Linda C. Jenkins</u>
Date Approved: <u>8/18/16</u>	
Date Denied: _____	
Reason: _____	