

PROJECT DIRECTORY:

OWNER: AGORA HILLS CENTER PROPERTIES, LLC
 ARCHITECT: VILLARREAL ARCHITECTS, P.C.
 ENGINEER: HOK, INC.
 DATE: 11/14/2019

PARKING SUMMARY:

TOTAL SPACES	2,880	TOTAL SPACES (SEE KEYNOTES)	2,880
PERMITTED SPACES	2,880	PERMITTED SPACES (SEE KEYNOTES)	2,880

PROJECT INFORMATION:

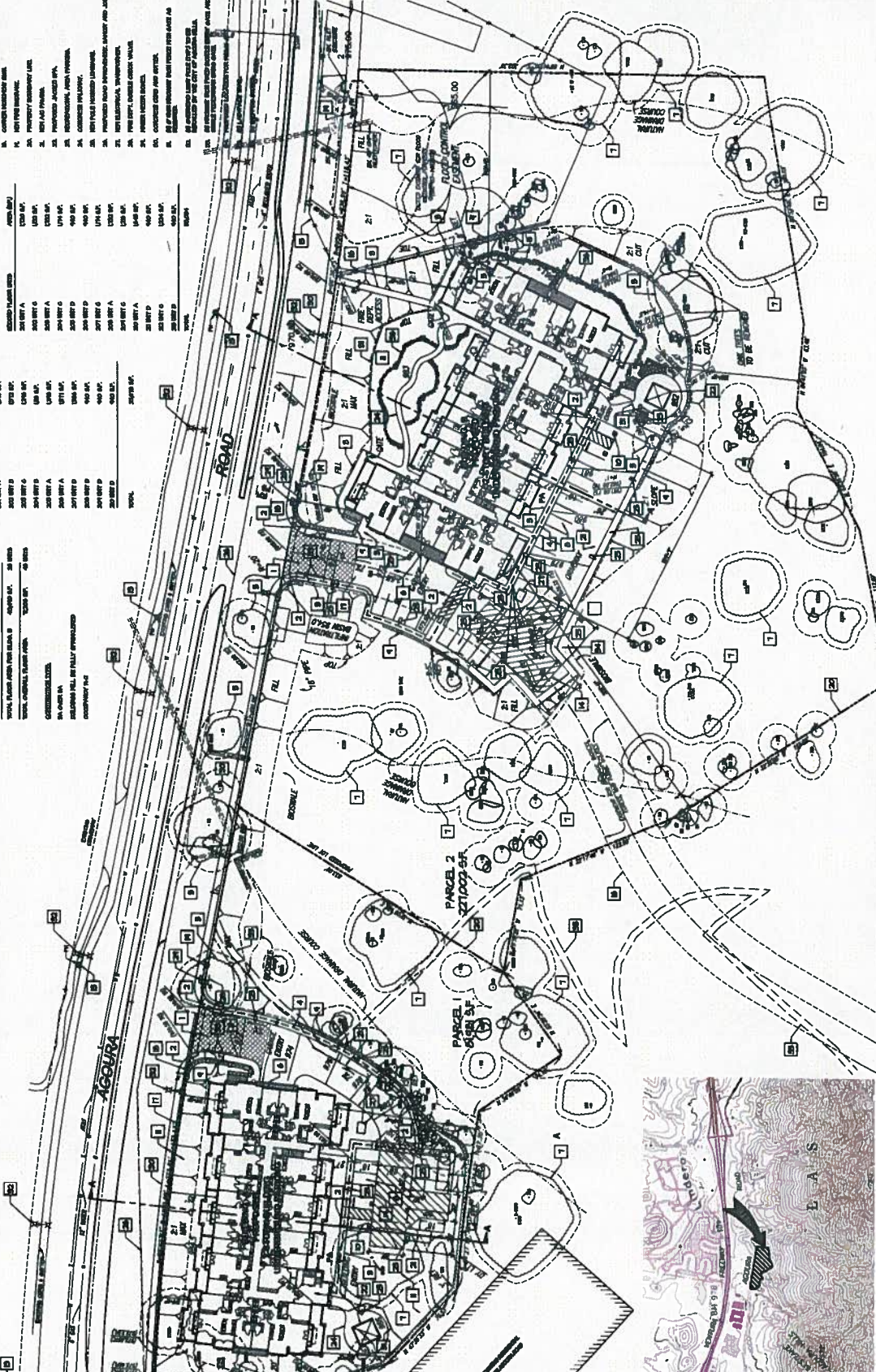
PROJECT NAME: AGORA HILLS CENTER PROPERTIES, LLC
 PROJECT ADDRESS: 11000 179TH AVENUE, SUITE 100, AGORA HILLS, CA 92506
 PROJECT PERIOD: 2018-2020

BUILDING SUMMARY:

BUILDING	FLOOR COUNT	TYPE	AREA (SQ FT)
BUILDING 1	4	Office	120,000
BUILDING 2	4	Office	120,000
BUILDING 3	4	Office	120,000
BUILDING 4	4	Office	120,000
BUILDING 5	4	Office	120,000
BUILDING 6	4	Office	120,000
BUILDING 7	4	Office	120,000
BUILDING 8	4	Office	120,000
BUILDING 9	4	Office	120,000
BUILDING 10	4	Office	120,000
BUILDING 11	4	Office	120,000
BUILDING 12	4	Office	120,000
BUILDING 13	4	Office	120,000
BUILDING 14	4	Office	120,000
BUILDING 15	4	Office	120,000
BUILDING 16	4	Office	120,000
BUILDING 17	4	Office	120,000
BUILDING 18	4	Office	120,000
BUILDING 19	4	Office	120,000
BUILDING 20	4	Office	120,000
BUILDING 21	4	Office	120,000
BUILDING 22	4	Office	120,000
BUILDING 23	4	Office	120,000
BUILDING 24	4	Office	120,000
BUILDING 25	4	Office	120,000

KEYNOTES:

1. BUILDING FOOTPRINT
2. EXISTING CONCRETE FOUNDATION
3. EXISTING CONCRETE SLAB
4. EXISTING ROOF
5. EXISTING MECHANICAL ROOMS
6. EXISTING ELECTRICAL ROOMS
7. EXISTING TELECOMMUNICATIONS ROOMS
8. EXISTING ELEVATOR SHAFTS
9. EXISTING STAIRWELLS
10. EXISTING CORRIDORS
11. EXISTING OFFICES
12. EXISTING CONFERENCE ROOMS
13. EXISTING BREAK ROOMS
14. EXISTING STORAGE ROOMS
15. EXISTING RECEPTION AREA
16. EXISTING LOBBY
17. EXISTING PLANT ROOMS
18. EXISTING MECHANICAL EQUIPMENT
19. EXISTING ELECTRICAL EQUIPMENT
20. EXISTING TELECOMMUNICATIONS EQUIPMENT
21. EXISTING ELEVATOR EQUIPMENT
22. EXISTING STAIRWELL EQUIPMENT
23. EXISTING CORRIDOR EQUIPMENT
24. EXISTING OFFICE EQUIPMENT
25. EXISTING CONFERENCE ROOM EQUIPMENT
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198. EXISTING LOBBY EQUIPMENT
199. EXISTING PLANT ROOM EQUIPMENT
200. EXISTING MECHANICAL EQUIPMENT



SCALE:
 1" = 100'-0"

DATE: 11/14/2019

PROJECT: AGORA HILLS CENTER PROPERTIES, LLC

AGORA HILLS CENTER PROPERTIES, LLC

VILLARREAL ARCHITECTS, P.C.

11000 179TH AVENUE, SUITE 100, AGORA HILLS, CA 92506

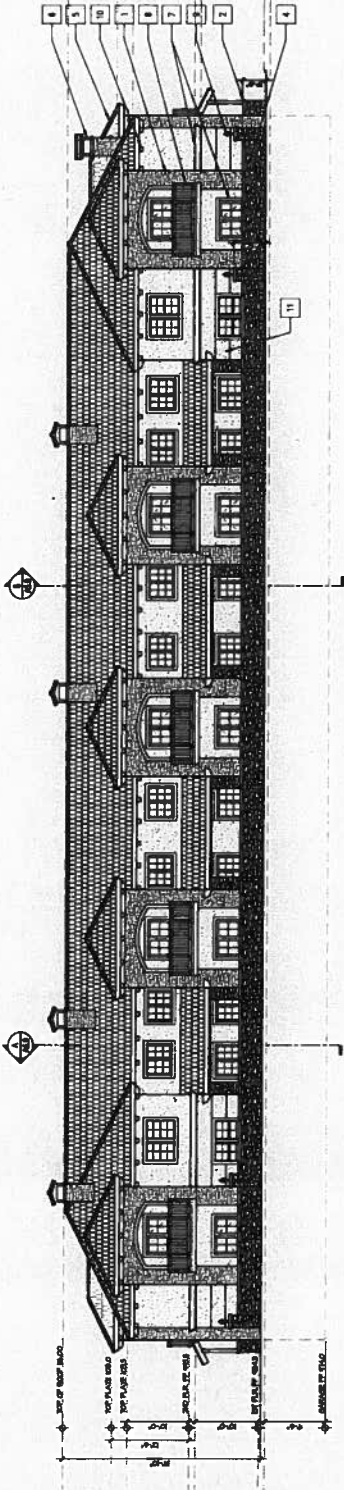
NO.	REVISIONS	DATE

VILLARBUÉL ARCHITECTS
 ARCHITECTURE - PLANNING - INTERIORS
 1000 S. GARDEN AVENUE, SUITE 100
 AGOURA HILLS, CA 91301

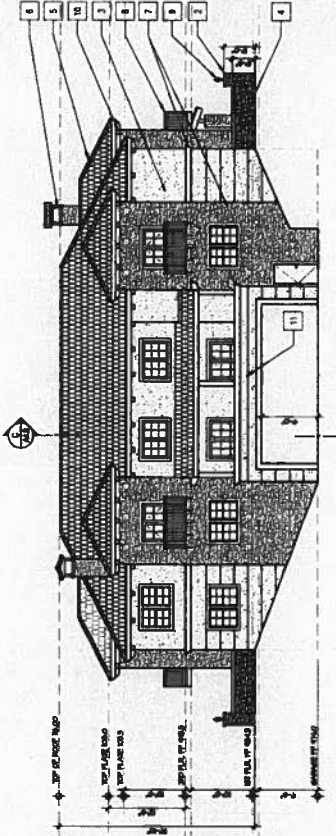
EXTERIOR ELEVATIONS
 NEW APARTMENT
 AGOURA HILLS CENTER PROPERTIES
 STEVE ROSE & CARLOS IGUAZTIS
 1000 S. GARDEN AVENUE, SUITE 100
 AGOURA HILLS, CA 91301

DATE: 06/27/15
 DRAWING: 05A
 PROJECT: 15-01
 SHEET NO.: 15A1
A5.0
 SHEET NO. 3 OF 4

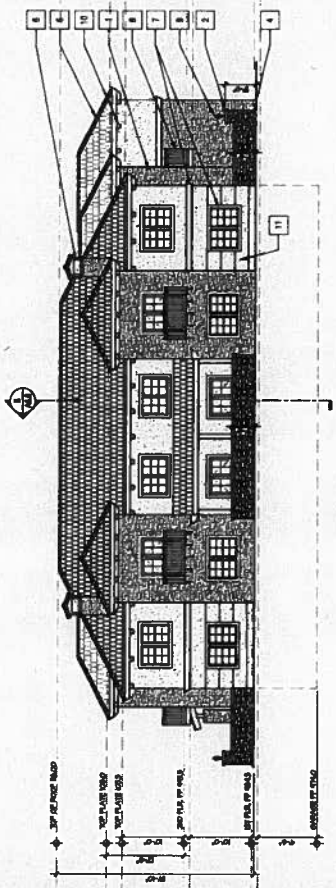
- KEYNOTES:**
- 1. STONE VENEER
 - 2. STONE CLAD
 - 3. BRICK WITH BRICKO FINISH
 - 4. PAINT WALL WITH STONE VENEER
 - 5. PLANT TILE CASSETTE FINISH
 - 6. APPROVED CORNER FINISH, APPROVED
 - 7. DECORATIVE BRICK VENEER
 - 8. DECORATIVE BRICK VENEER
 - 9. CONCRETE ACCENT LANTERN FINISH
 - 10. DECORATIVE STONE CORNER



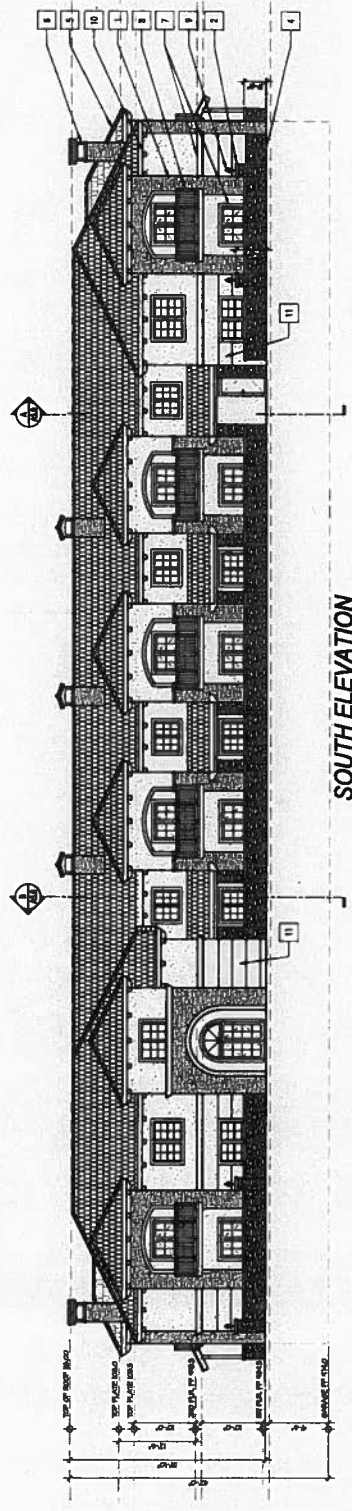
NORTH ELEVATION



EAST ELEVATION

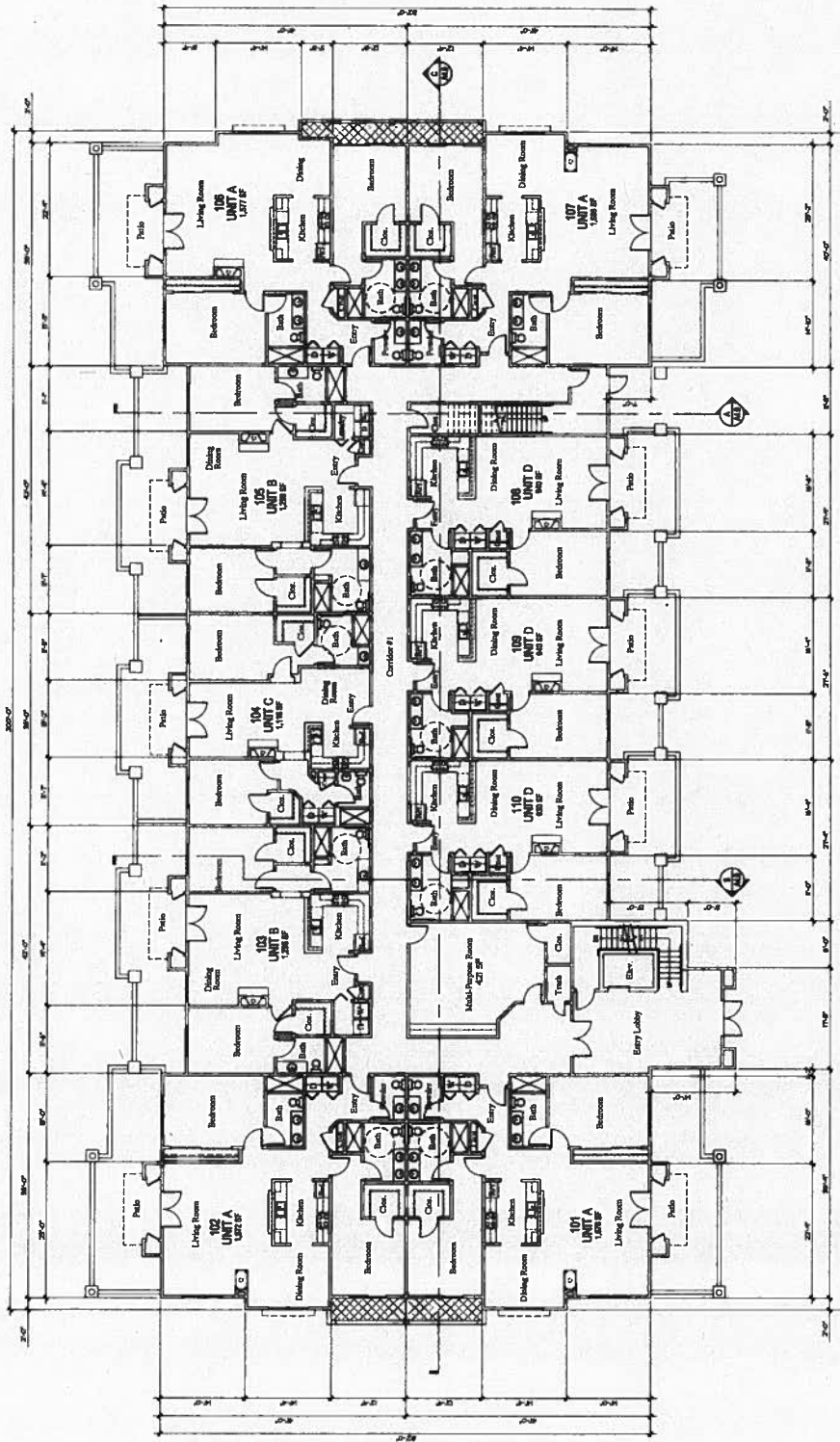


WEST ELEVATION



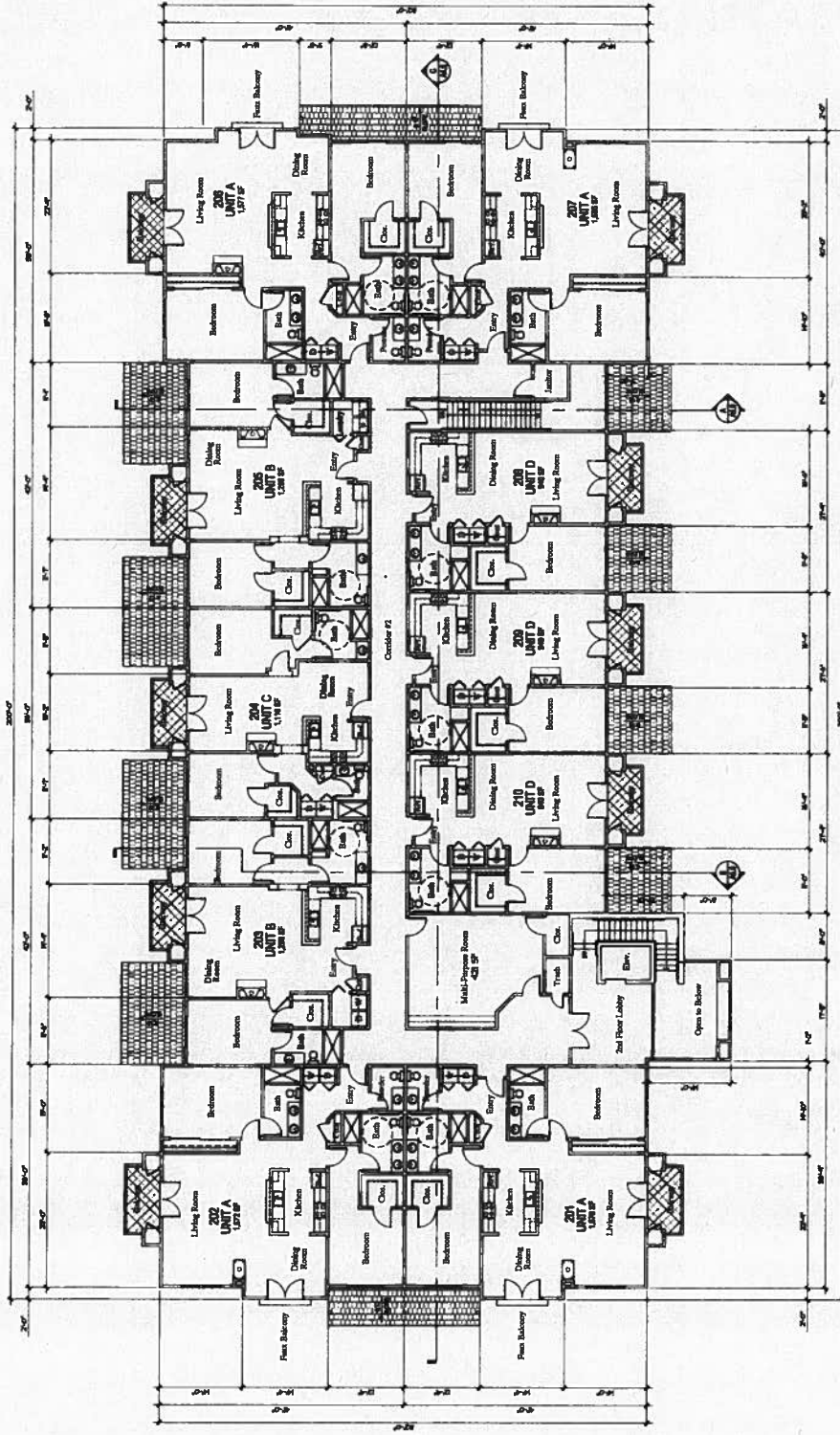
SOUTH ELEVATION

BUILDING "A" EXTERIOR ELEVATIONS

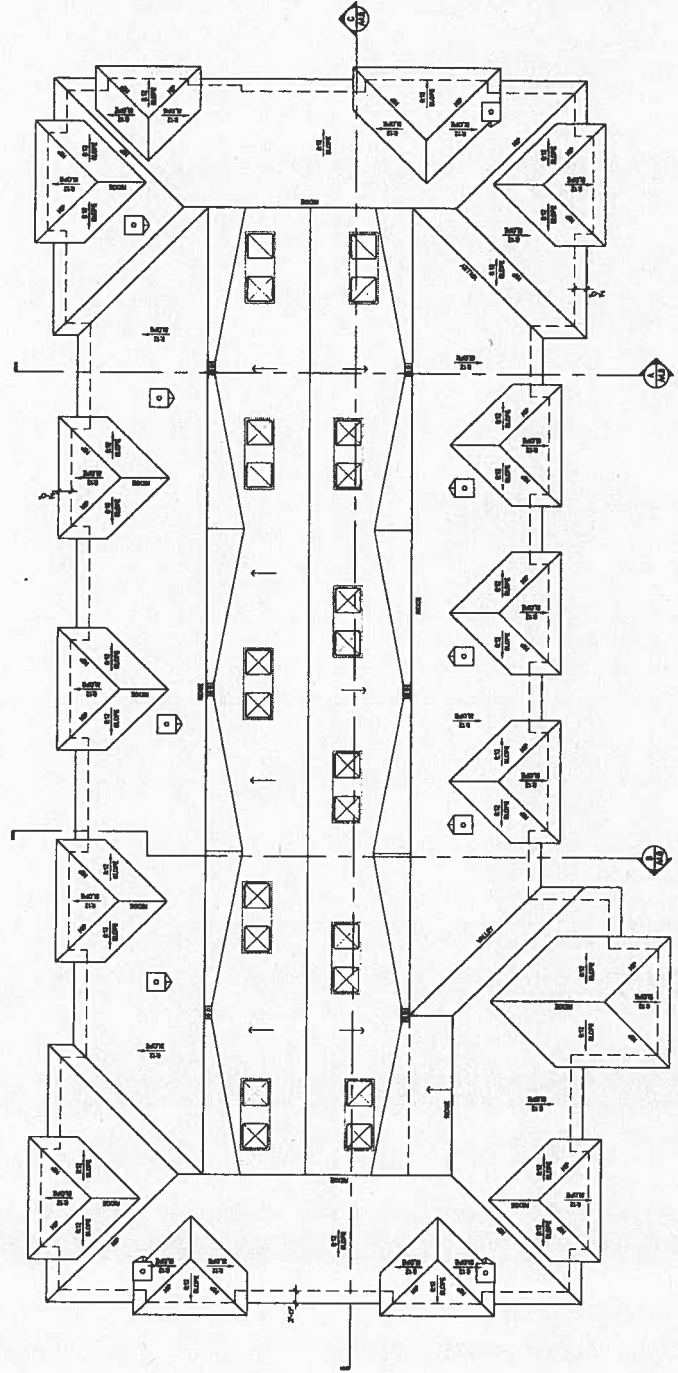


NORTH BUILDING "A" FIRST FLOOR PLAN

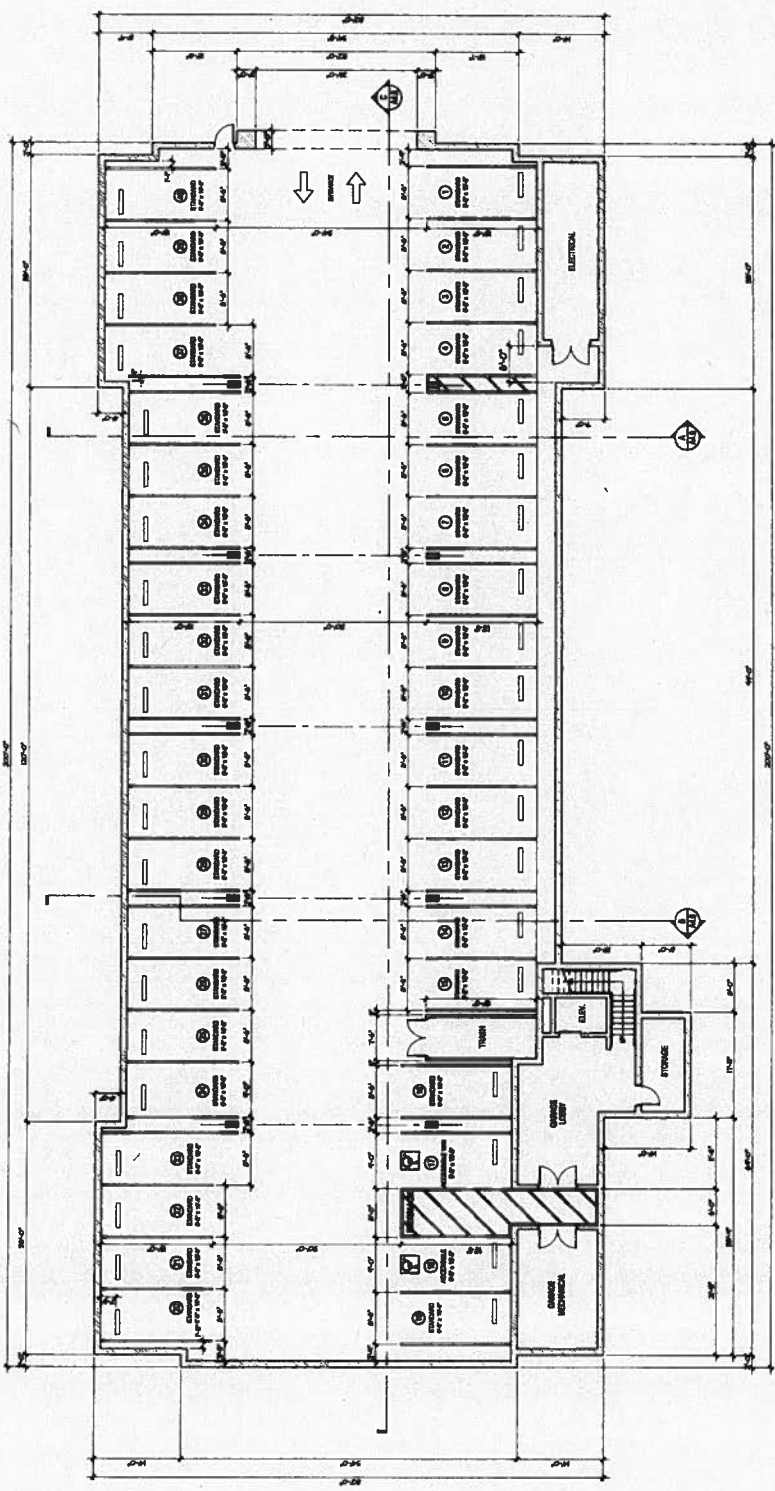
REVISIONS: DATE:	VILLARUEL ARCHITECTS ARCHITECTURE • PLANNING • DESIGN • INTERIORS 425 S. ...	AGOURA HILLS CENTER PROPERTIES STEVE RICE & CARLOS KHANZIS PROJECT ADDRESS AGOURA HILLS, CA 91201	FIRST FLOOR PLAN NEW APARTMENT DATE: 06/27/15 DRAWN BY: JCA CHECKED BY: JCA 2015 DEC. 15:41	A2.2 SHEET NO. 1 OF 2
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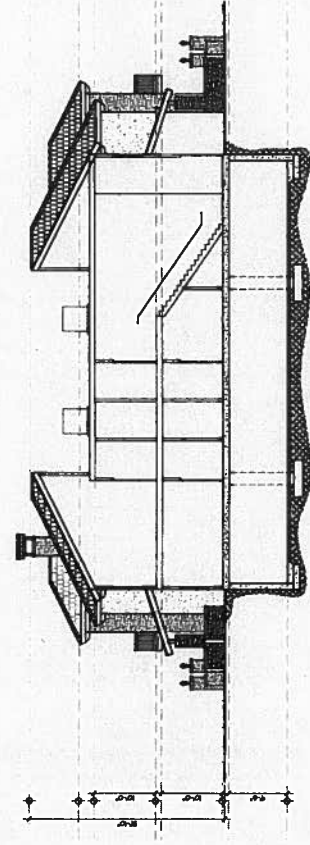
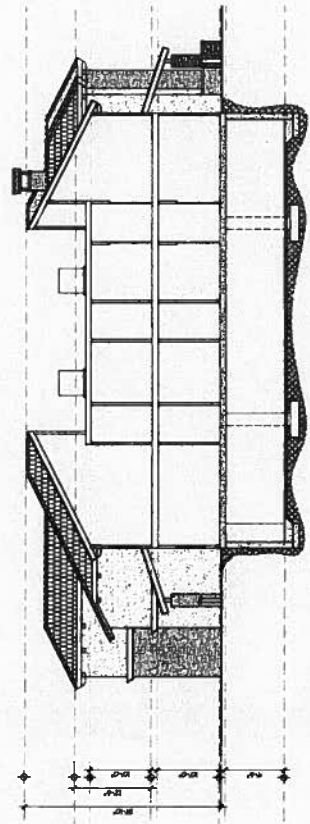
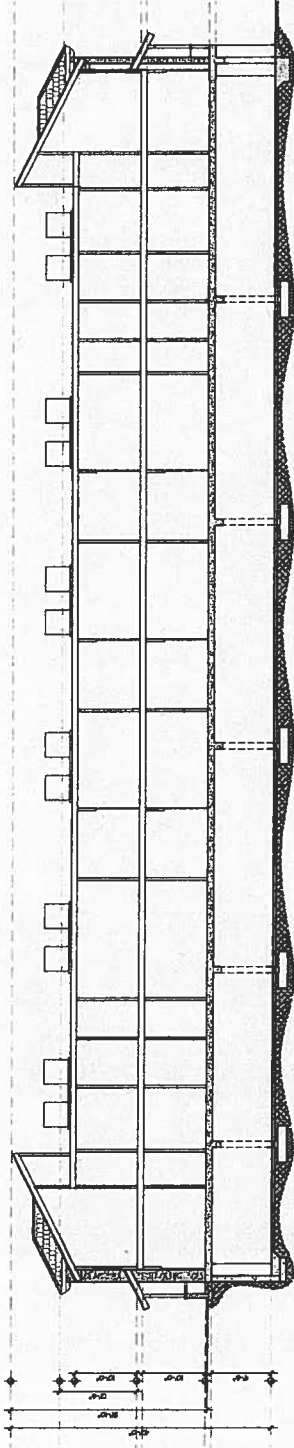
NORTH BUILDING "A" SECOND FLOOR PLAN



BUILDING "A" ROOF PLAN

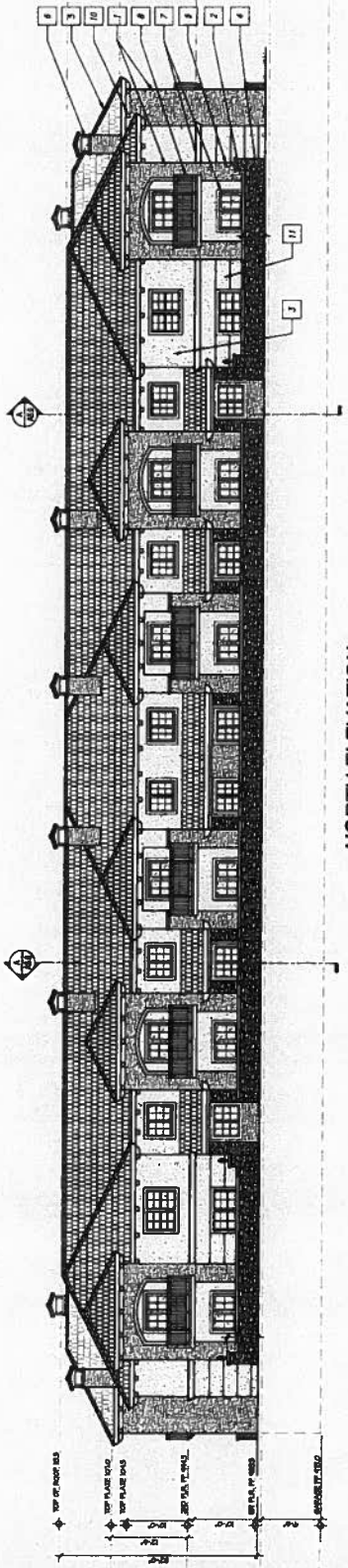


NORTH
BUILDING "A" BASEMENT FLOOR PLAN

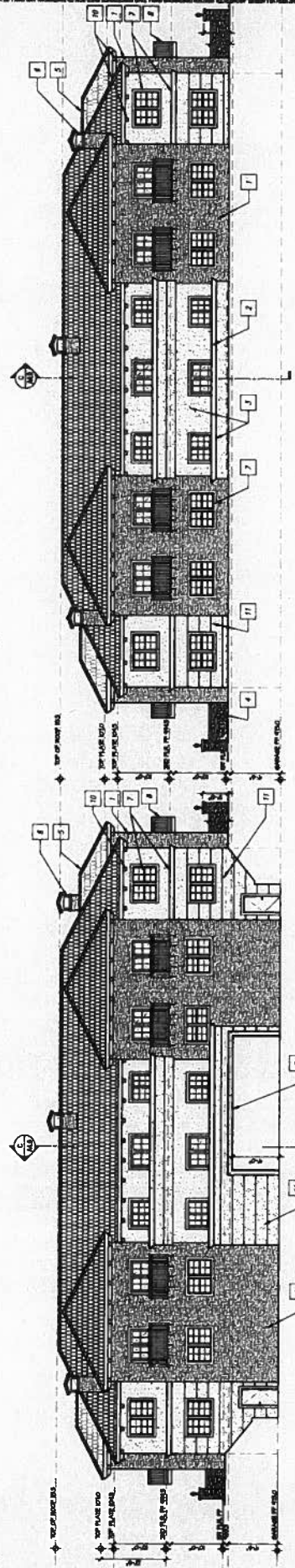


BUILDING "A" BUILDING SECTIONS

- KEYNOTES:**
1. BRICK VENEER
 2. STONE CLAY
 3. BRICK TYPICO FINISH
 4. WHITE WALL WITH STONE VENEER
 5. FLAT TILE CERAMIC ROOFING
 6. APPROVED LIGHTING FIXTURE ASSEMBLY
 7. DECORATIVE BRICK TILES
 8. DECORATIVE BRICK WALL
 9. METALLIC ACQUIT LANTIERE FIXTURE
 10. DECORATIVE STONE CORNER
 11. BRICK TYPICO FINISH WITH TERRAZZO
 12. STONE CLAY

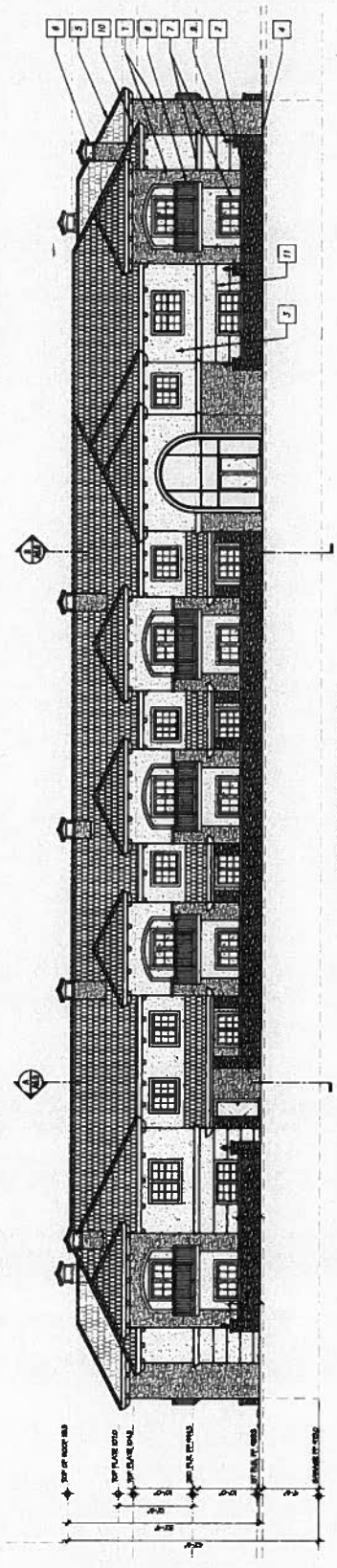


NORTH ELEVATION



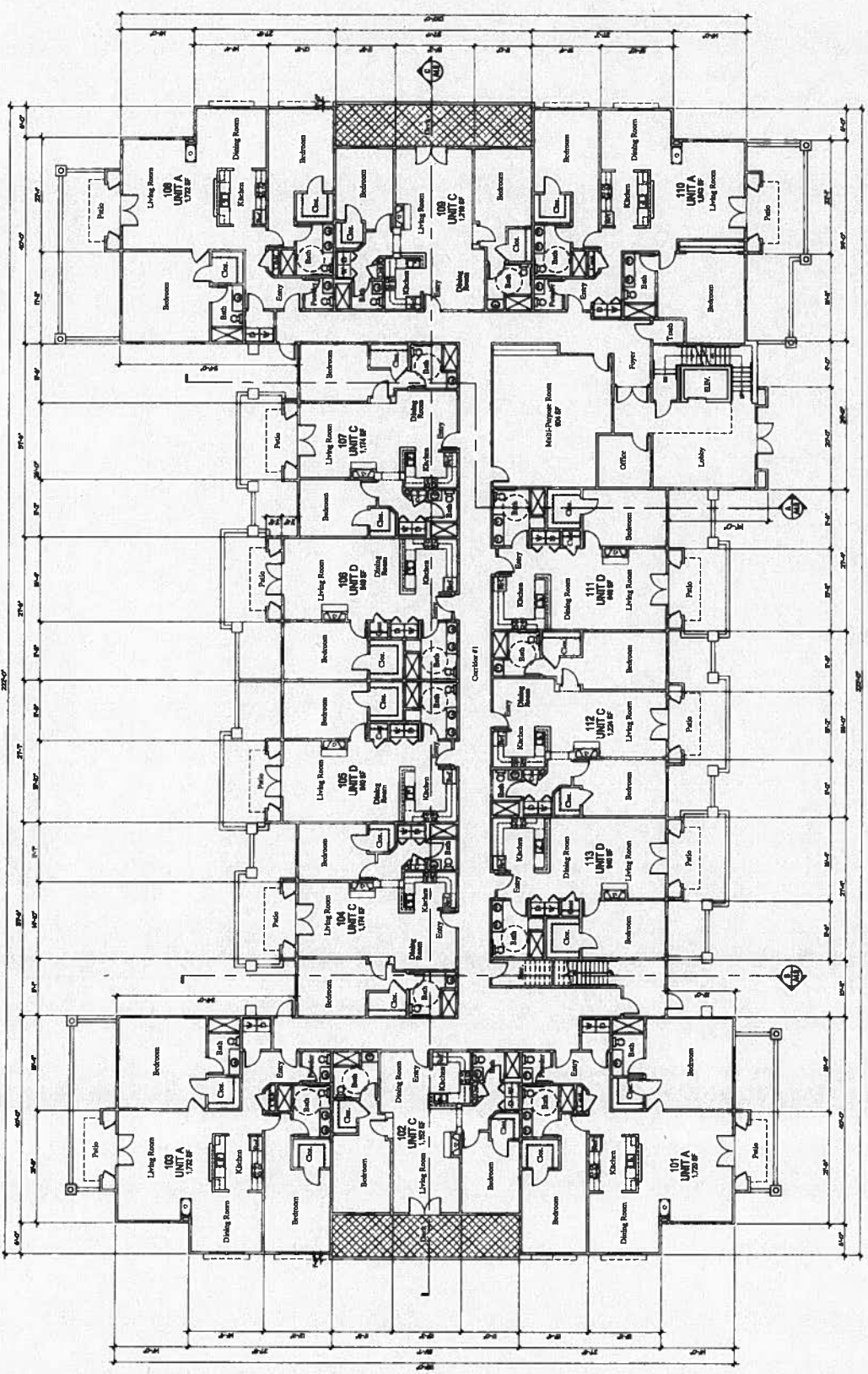
WEST ELEVATION

EAST ELEVATION



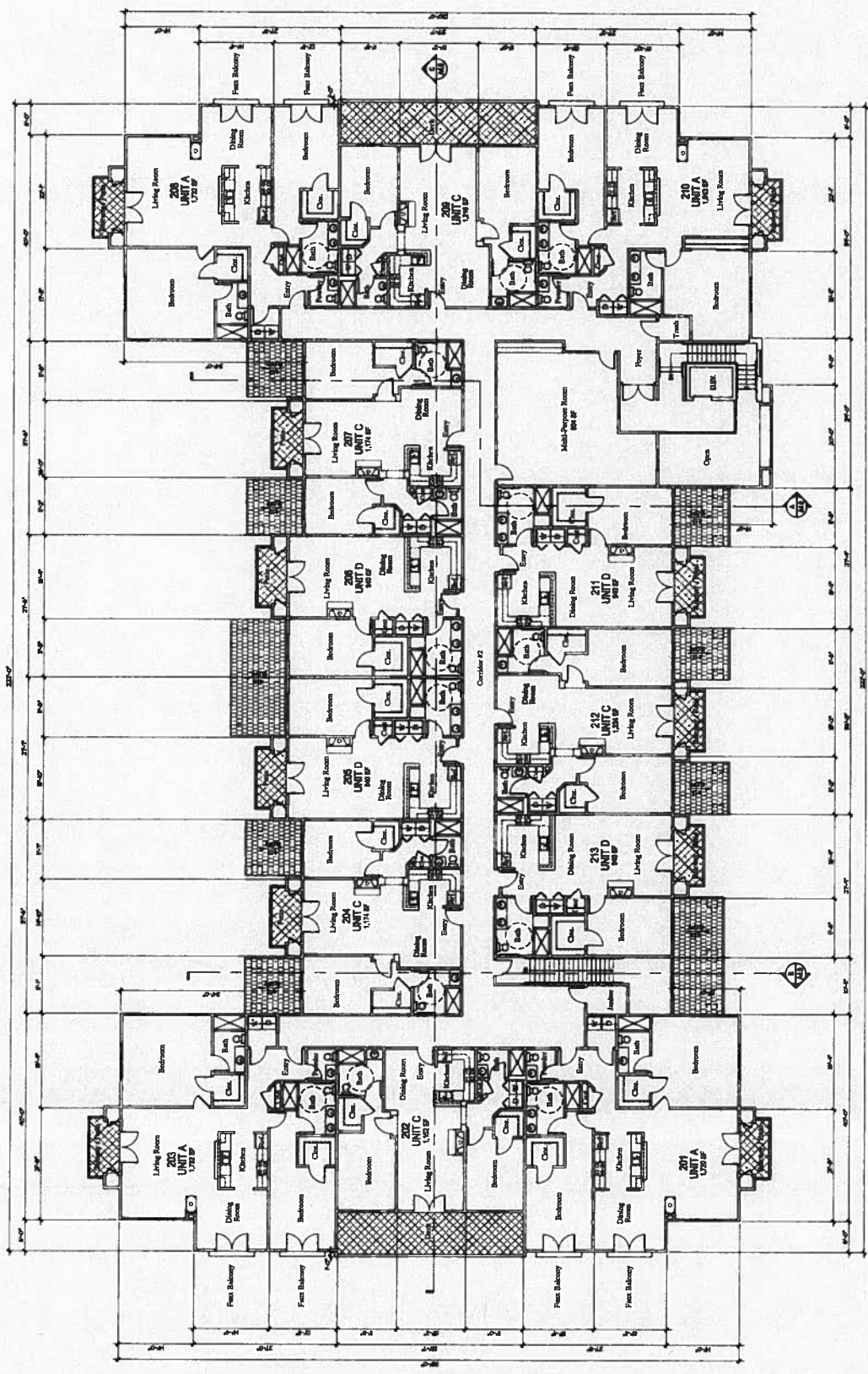
SOUTH ELEVATION

BUILDING "B" EXTERIOR ELEVATIONS

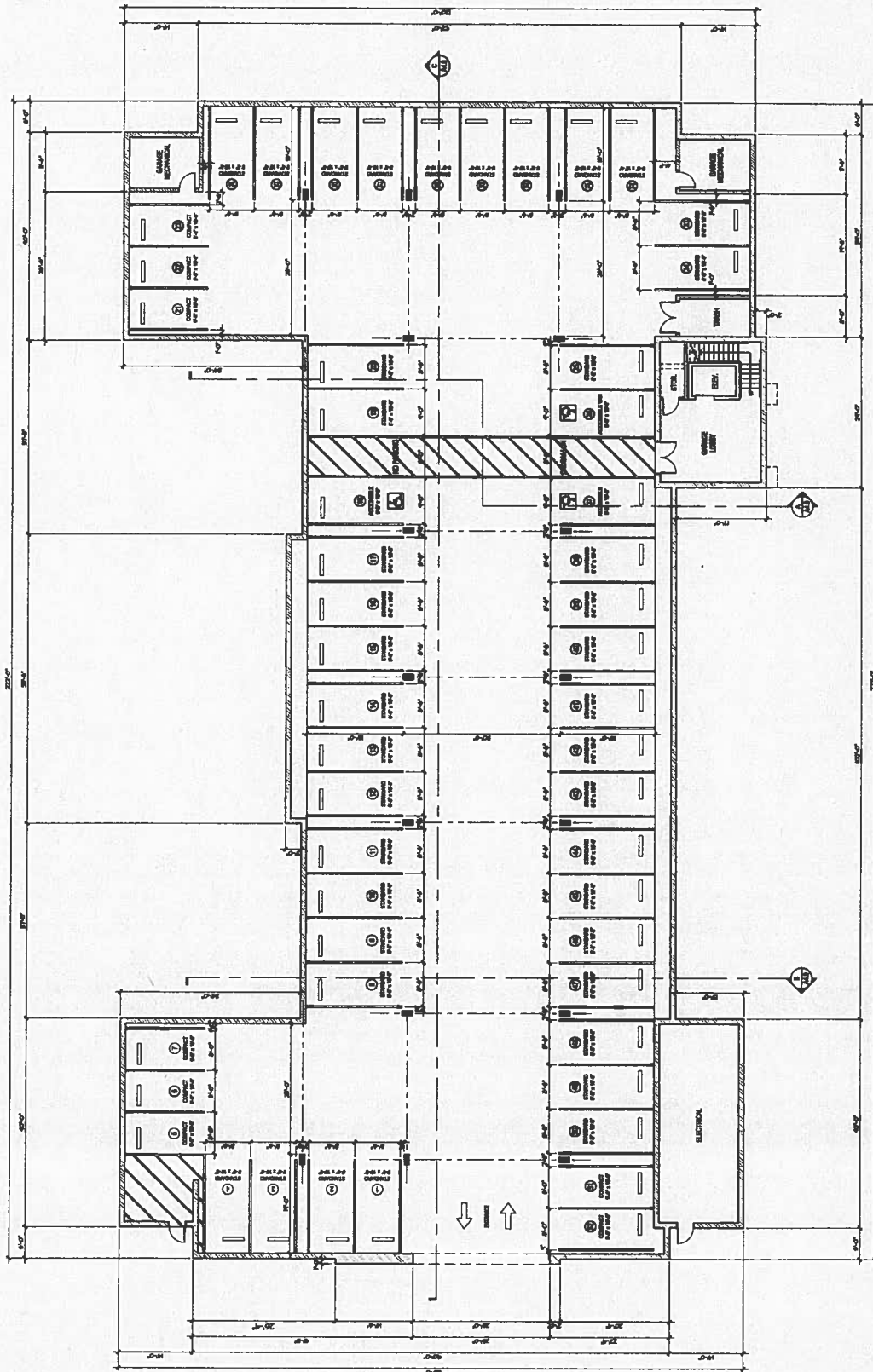


NORTH BUILDING "B" FIRST FLOOR PLAN

VILLARREAL ARCHITECTS ARCHITECTURE - PLANNING - INTERIORS 1000 S. GARDEN AVENUE, SUITE 100 ANAHEIM, CA 92805 TEL: 714.771.1111 FAX: 714.771.1112 WWW.VILLARREALARCHITECTS.COM		AGOURA HILLS CENTER PROPERTIES STEVE RICE & CARLOS MONTAZZIS PROJECT ADDRESS AGOURA HILLS, CA 91201		DATE: 08/27/15 DRAWING: CEA PROJECT: 15-01 SHEET NO.: 15-01	A2.2 SHEET NO. OF
SECOND FLOOR PLAN NEW APARTMENT			REVISIONS DATE:		



NORTH
BUILDING "B" SECOND FLOOR PLAN



NORTH BUILDING "B" BASEMENT FLOOR PLAN

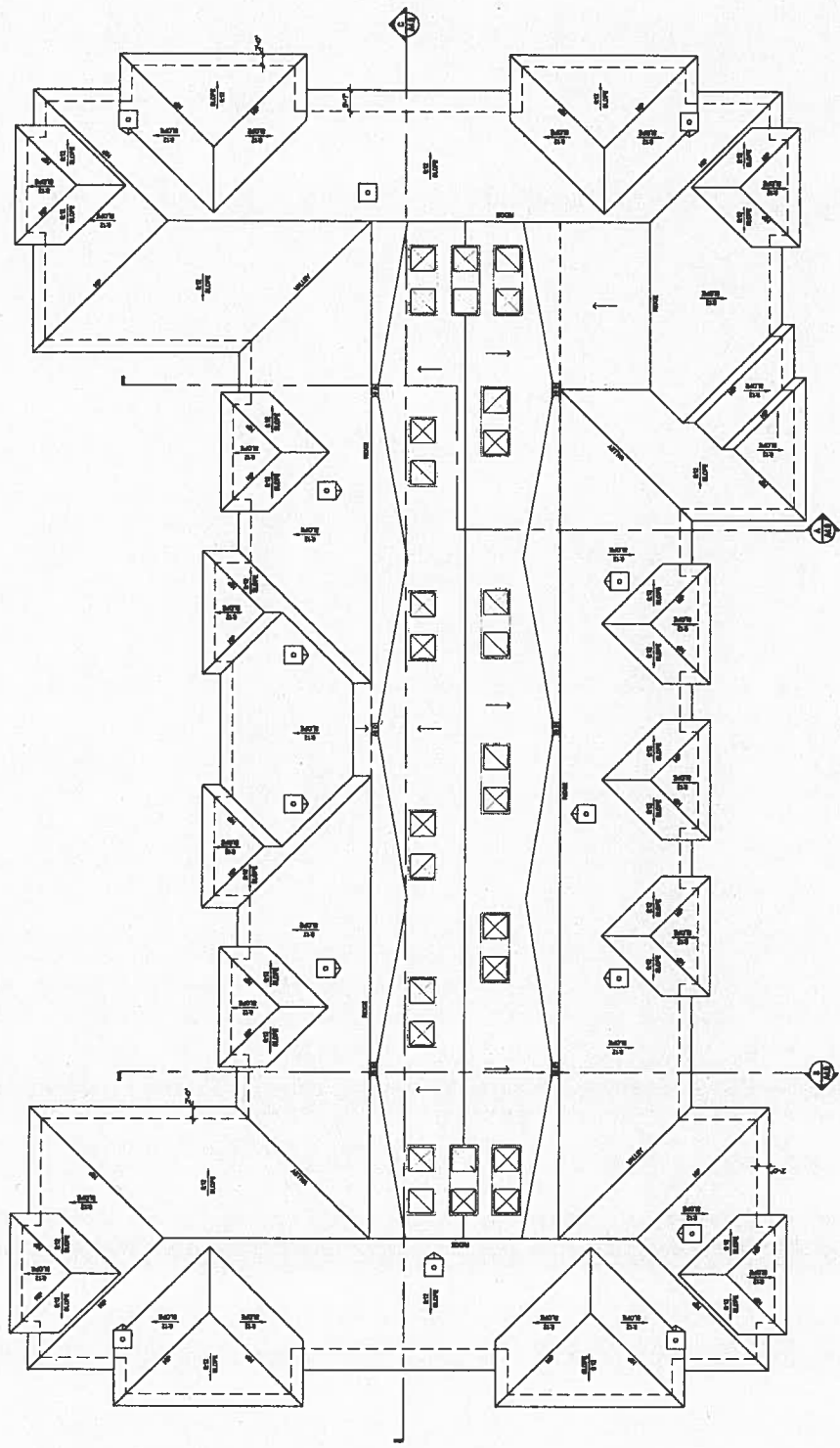
NO.	REVISIONS	DATE

DATE: 08/27/15
 DRAWING: 001
 PROJECT: 15-01

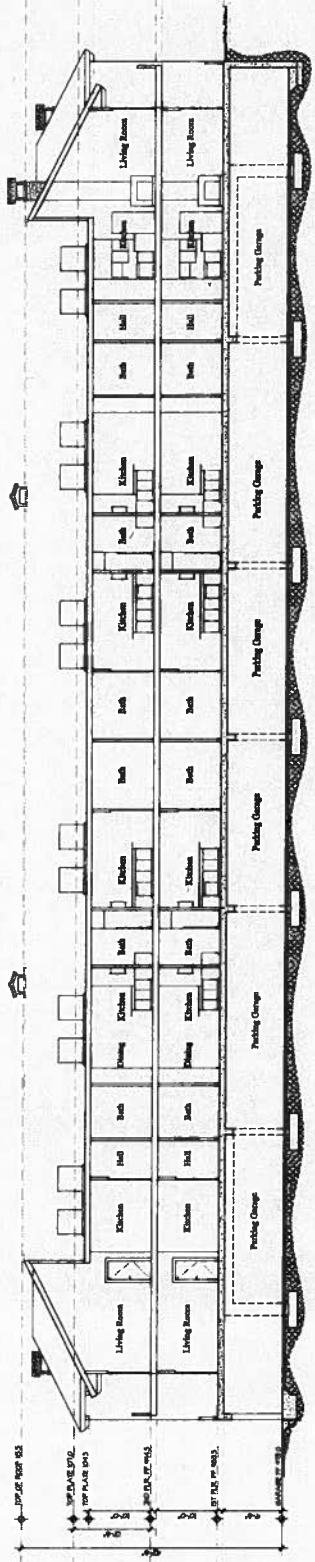
VILLARREAL ARCHITECTS
 ARCHITECTURE • PLANNING • INTERIORS
 1000 ST. JAMES ST. SUITE 1000
 AGOURA HILLS, CA 91301

ROOF PLAN
 PROJECT ADDRESS: STEVE RICE & CARLOS MANTIZAS
 AGOURA HILLS, CA 91301

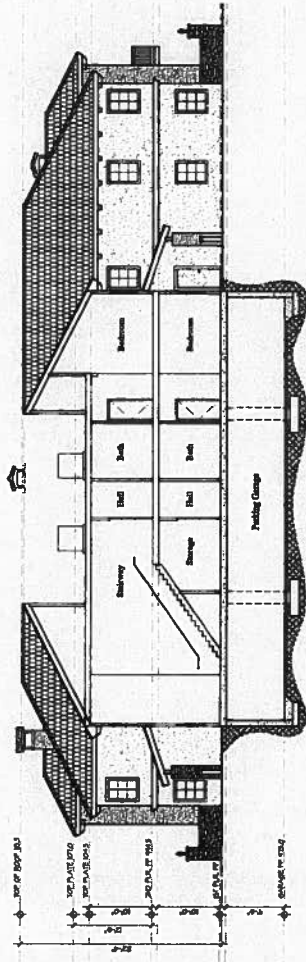
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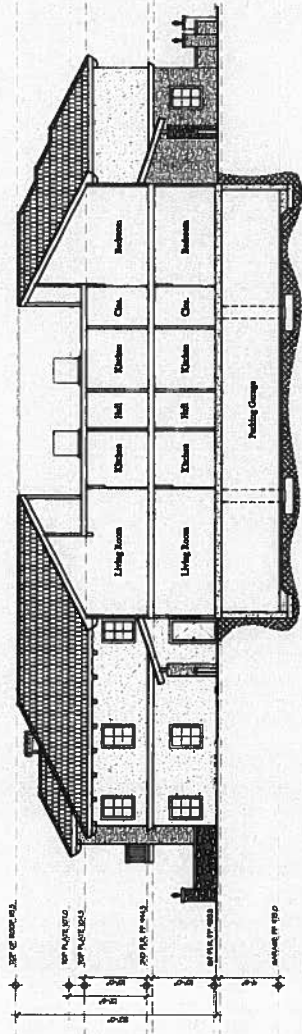
BUILDING "B" ROOF PLAN



SECTION C



SECTION B



SECTION A

BUILDING "B" BUILDING SECTIONS



Client:

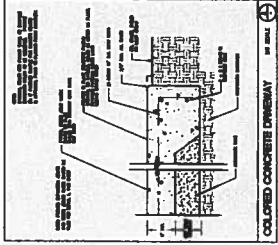
RCI BUILDERS

Project:

LADYFACE SENIOR HOUSING

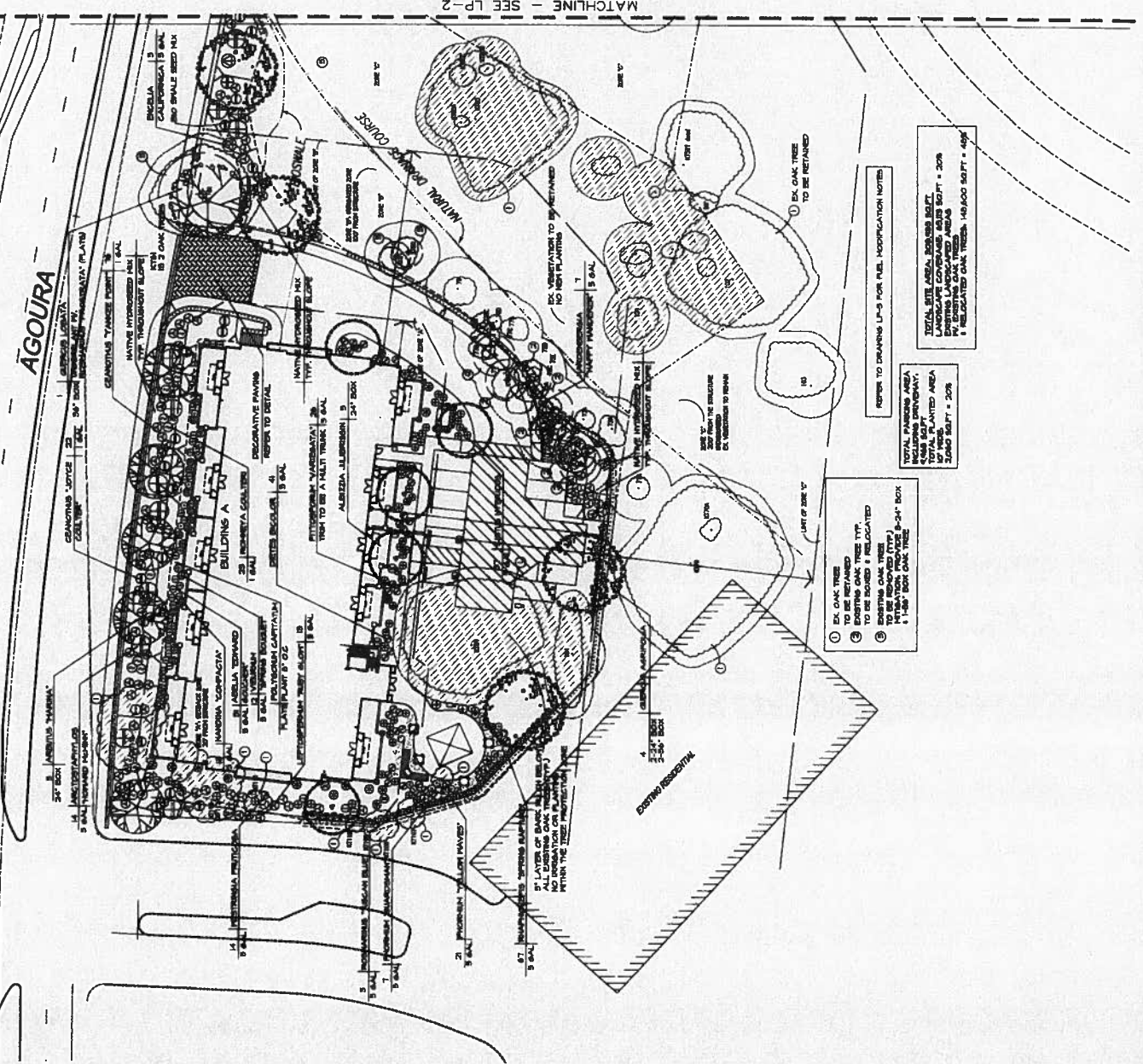
PLANT MATERIAL LEGEND

NO.	SYMBOL	COMMON NAME	SCALES	PLANT CODE	PLANT CODE	PLANT CODE	PLANT CODE
1	(Symbol)	ALBERTA PRUNELLA	1/4" DIA	1	1	1	1
2	(Symbol)	ALBERTA PRUNELLA	1/2" DIA	2	2	2	2
3	(Symbol)	ALBERTA PRUNELLA	3/4" DIA	3	3	3	3
4	(Symbol)	ALBERTA PRUNELLA	1" DIA	4	4	4	4
5	(Symbol)	ALBERTA PRUNELLA	1 1/4" DIA	5	5	5	5
6	(Symbol)	ALBERTA PRUNELLA	1 1/2" DIA	6	6	6	6
7	(Symbol)	ALBERTA PRUNELLA	1 3/4" DIA	7	7	7	7
8	(Symbol)	ALBERTA PRUNELLA	2" DIA	8	8	8	8
9	(Symbol)	ALBERTA PRUNELLA	2 1/4" DIA	9	9	9	9
10	(Symbol)	ALBERTA PRUNELLA	2 1/2" DIA	10	10	10	10
11	(Symbol)	ALBERTA PRUNELLA	2 3/4" DIA	11	11	11	11
12	(Symbol)	ALBERTA PRUNELLA	3" DIA	12	12	12	12
13	(Symbol)	ALBERTA PRUNELLA	3 1/4" DIA	13	13	13	13
14	(Symbol)	ALBERTA PRUNELLA	3 1/2" DIA	14	14	14	14
15	(Symbol)	ALBERTA PRUNELLA	3 3/4" DIA	15	15	15	15
16	(Symbol)	ALBERTA PRUNELLA	4" DIA	16	16	16	16
17	(Symbol)	ALBERTA PRUNELLA	4 1/4" DIA	17	17	17	17
18	(Symbol)	ALBERTA PRUNELLA	4 1/2" DIA	18	18	18	18
19	(Symbol)	ALBERTA PRUNELLA	4 3/4" DIA	19	19	19	19
20	(Symbol)	ALBERTA PRUNELLA	5" DIA	20	20	20	20
21	(Symbol)	ALBERTA PRUNELLA	5 1/4" DIA	21	21	21	21
22	(Symbol)	ALBERTA PRUNELLA	5 1/2" DIA	22	22	22	22
23	(Symbol)	ALBERTA PRUNELLA	5 3/4" DIA	23	23	23	23
24	(Symbol)	ALBERTA PRUNELLA	6" DIA	24	24	24	24
25	(Symbol)	ALBERTA PRUNELLA	6 1/4" DIA	25	25	25	25
26	(Symbol)	ALBERTA PRUNELLA	6 1/2" DIA	26	26	26	26
27	(Symbol)	ALBERTA PRUNELLA	6 3/4" DIA	27	27	27	27
28	(Symbol)	ALBERTA PRUNELLA	7" DIA	28	28	28	28
29	(Symbol)	ALBERTA PRUNELLA	7 1/4" DIA	29	29	29	29
30	(Symbol)	ALBERTA PRUNELLA	7 1/2" DIA	30	30	30	30
31	(Symbol)	ALBERTA PRUNELLA	7 3/4" DIA	31	31	31	31
32	(Symbol)	ALBERTA PRUNELLA	8" DIA	32	32	32	32
33	(Symbol)	ALBERTA PRUNELLA	8 1/4" DIA	33	33	33	33
34	(Symbol)	ALBERTA PRUNELLA	8 1/2" DIA	34	34	34	34
35	(Symbol)	ALBERTA PRUNELLA	8 3/4" DIA	35	35	35	35
36	(Symbol)	ALBERTA PRUNELLA	9" DIA	36	36	36	36
37	(Symbol)	ALBERTA PRUNELLA	9 1/4" DIA	37	37	37	37
38	(Symbol)	ALBERTA PRUNELLA	9 1/2" DIA	38	38	38	38
39	(Symbol)	ALBERTA PRUNELLA	9 3/4" DIA	39	39	39	39
40	(Symbol)	ALBERTA PRUNELLA	10" DIA	40	40	40	40



PLANTING PLAN

Sheet No: LP-1



REFER TO DRAWING LP-3 FOR PUEB. MODIFICATION NOTES.

TOTAL PARKING AREA: 14,500 SQ FT
 TOTAL PLANTED AREA: 14,500 SQ FT
 20% PLANTING: 2,900 SQ FT

- 1 EX. OAK TREE TO BE RETAINED
- 2 EX. OAK TREE TO BE BOVED & RELOCATED
- 3 EXISTING OAK TREE TO BE RELOCATED (TOP 8'-24" BOX & 1'-18" BOX OAK TREE)

EX. OAK TREE TO BE RETAINED

NO NEW PLANTING

EX. OAK TREE TO BE RETAINED

30' DIA. OAK TREE

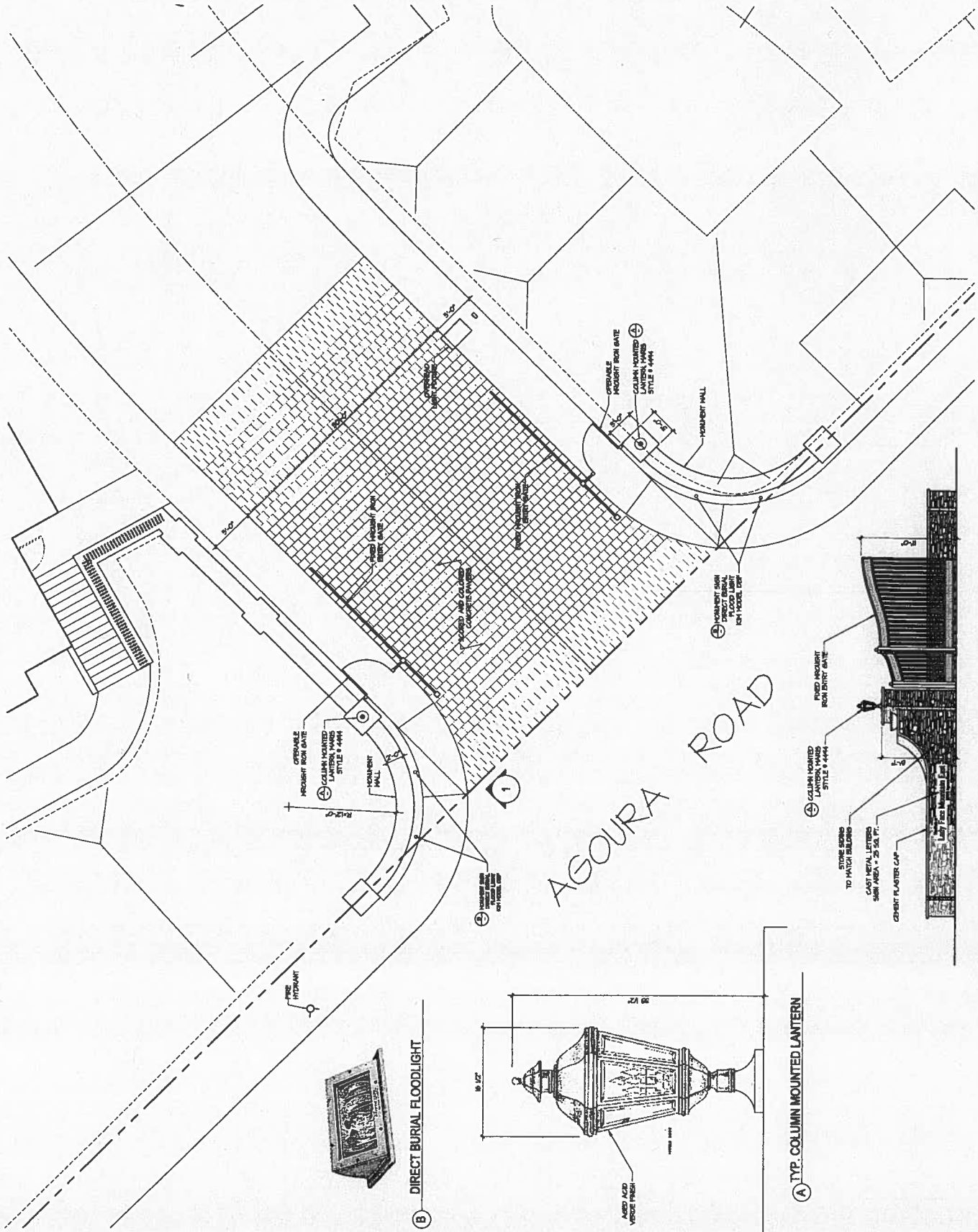
30' DIA. OAK TREE

30' DIA. OAK TREE

AGOURA

MATCHLINE - SEE LP-2

REVISIONS:	
DATE:	

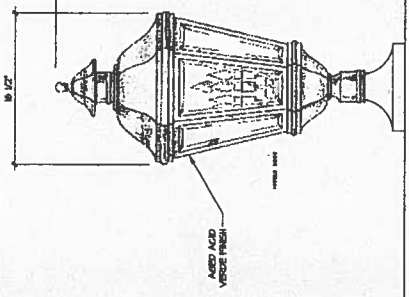


1 MONUMENT SIGN ELEVATION - BUILDING B

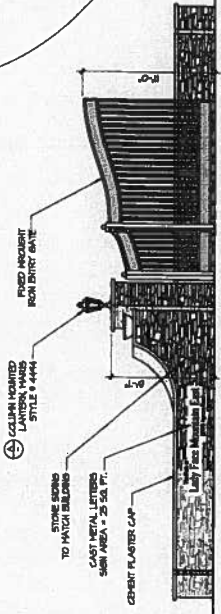
LADY FACE MOUNTAIN EAST



B DIRECT BURIAL FLOODLIGHT



A TYP. COLUMN MOUNTED LANTERN



1 MONUMENT SIGN ELEVATION - BUILDING B

Wynn Landscape Architects, Inc.



P.O. Box 140
 CA 94020
 Tel: 415-948-4848
 Fax: 415-948-4848
 e-mail: gary@wynnla.com

Client:

RCI BUILDERS

Project:

LADYFACE SENIOR HOUSING

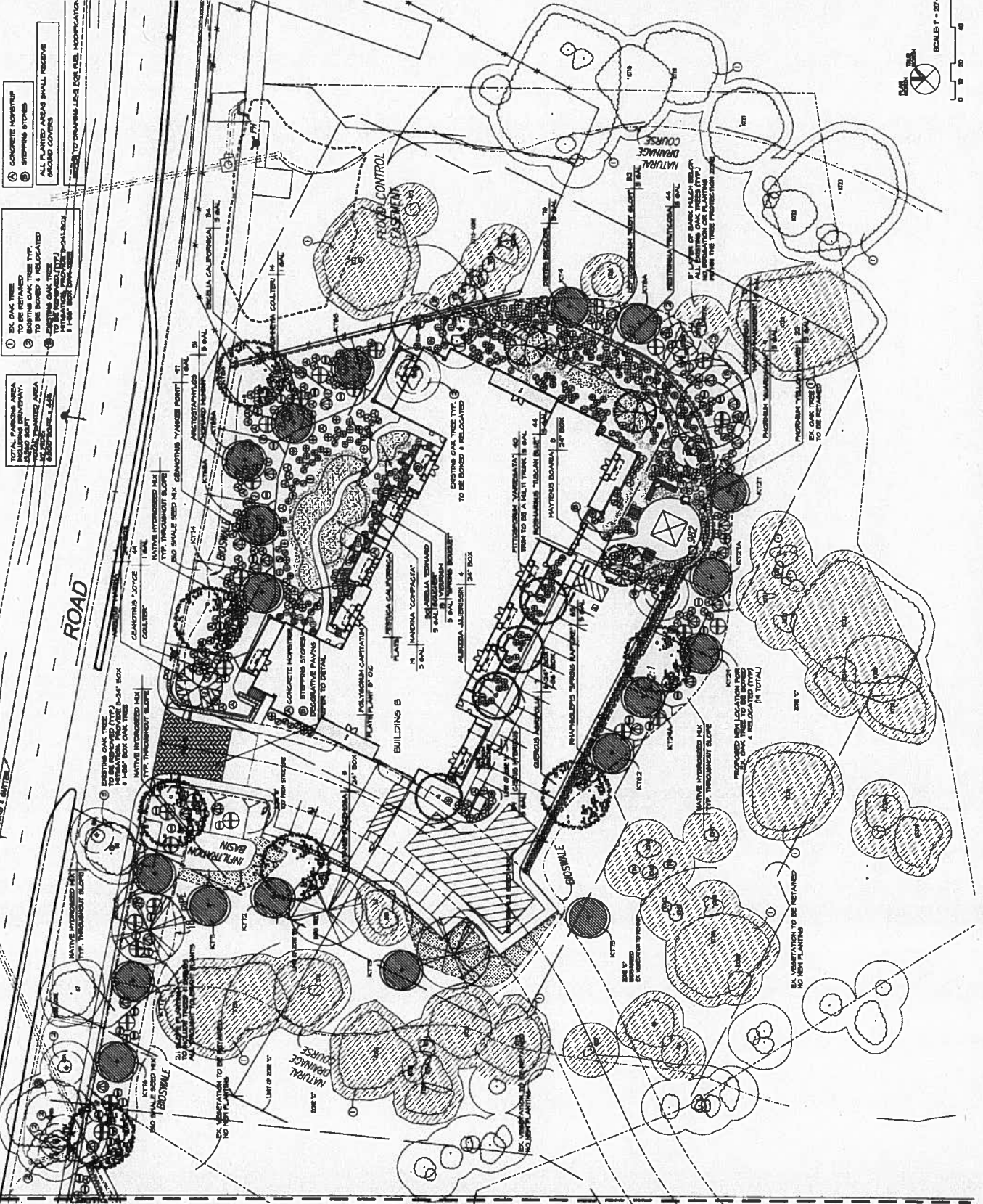
Residence:
8/01/15

Scale:

Drawing Title:

PLANTING PLAN

Sheet No: LP-2



- 1 OAK TREE TO BE RETAINED
- 2 TO BE BURNED
- 3 TO BE REMOVED
- 4 TO BE RELOCATED
- 5 TO BE BURNED & RELOCATED
- 6 TO BE BURNED & RELOCATED
- 7 TO BE BURNED & RELOCATED
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- 98 TO BE BURNED & RELOCATED
- 99 TO BE BURNED & RELOCATED
- 100 TO BE BURNED & RELOCATED

MATCHLINE - SEE LP-1

Wynn Landscape Architects, Inc.
 P.O. Box 1440
 Overland Park, KS
 Tel: 913-551-4400
 Fax: 913-551-4400
 e-mail: landscape@wynnla.com



Client:

FCI BUILDERS

Project:

LADYFACE SENIOR HOUSING

Prepared:

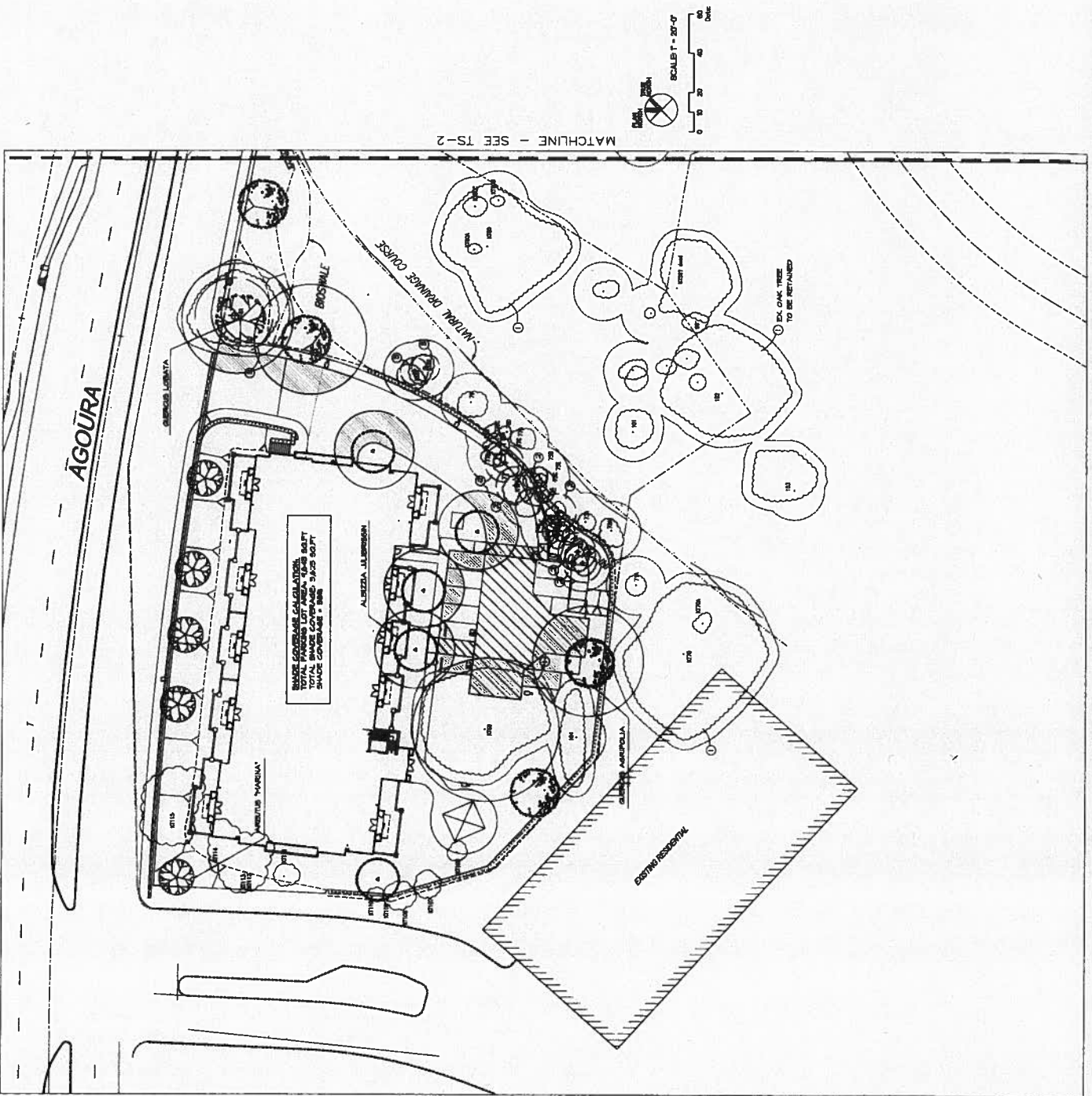
8/01/15

Scale:

Drawing Title:

TREE SHADING PLAN

Sheet No: **TS-1**



Wynn Landscape Architects, Inc.
 P.O. Box 140
 Thomas
 Tel: 800-451-4555
 Fax: 800-451-4555
 www.wynnlandscape.com



Client:

RCI BUILDERS

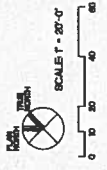
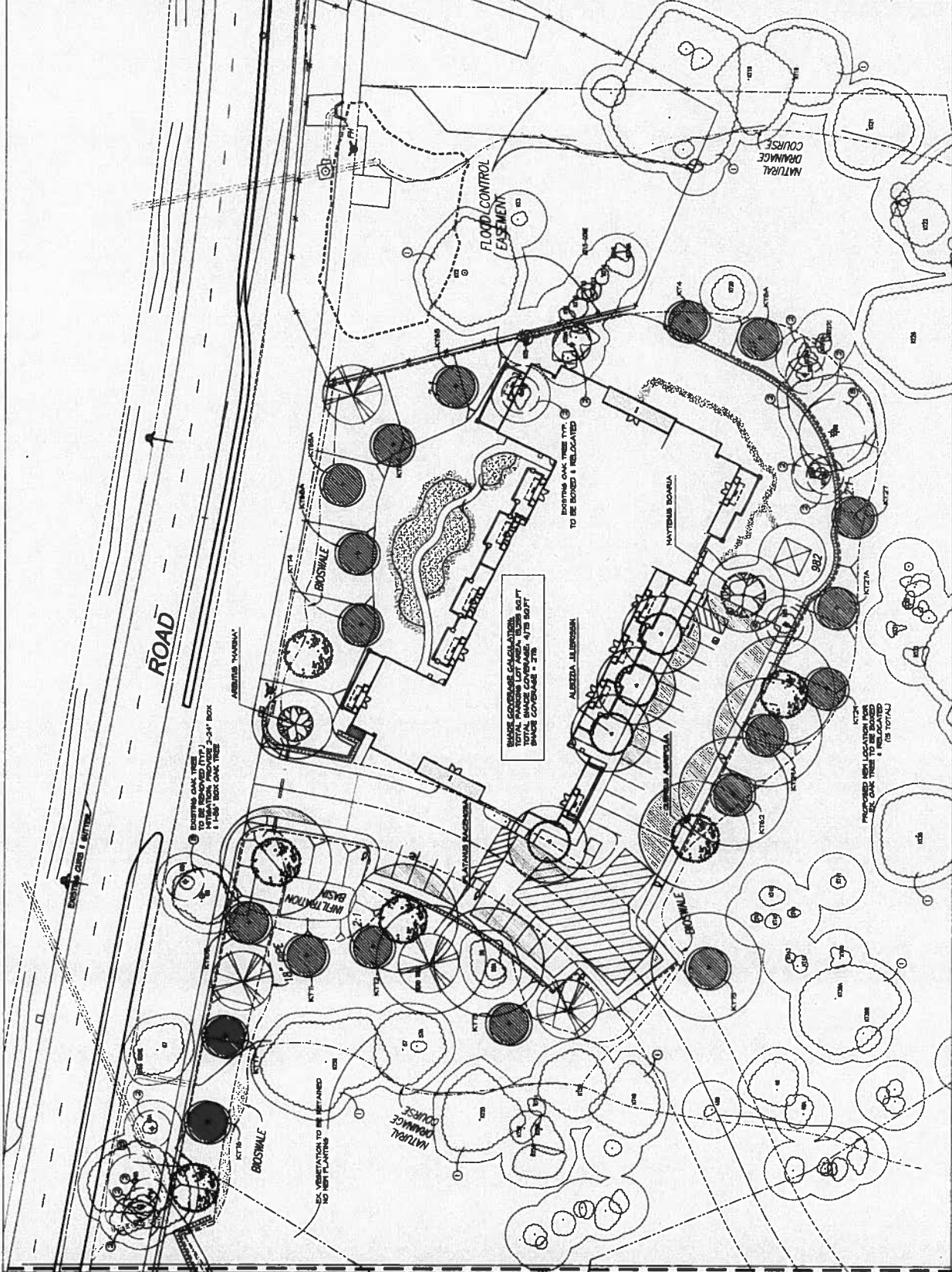
Project:

LADYFACE
 SENIOR HOUSING

Revisions: 8/01/15
 Scale:
 Drawing Title:

TREE SHADING PLAN

Sheet No. TS-2



GENERAL NOTES:

1. ALL DIMENSIONS SHALL BE MEASURED FROM THE CENTERLINE OF AGOURA ROAD UNLESS OTHERWISE NOTED.

2. THE PROPOSED BUILDINGS AND UNDERGROUND PARKING ARE SHOWN IN CONTOUR LINES.

3. THE PROPOSED BUILDINGS AND UNDERGROUND PARKING ARE SHOWN IN CONTOUR LINES.

4. THE PROPOSED BUILDINGS AND UNDERGROUND PARKING ARE SHOWN IN CONTOUR LINES.

5. THE PROPOSED BUILDINGS AND UNDERGROUND PARKING ARE SHOWN IN CONTOUR LINES.

6. THE PROPOSED BUILDINGS AND UNDERGROUND PARKING ARE SHOWN IN CONTOUR LINES.

7. THE PROPOSED BUILDINGS AND UNDERGROUND PARKING ARE SHOWN IN CONTOUR LINES.

8. THE PROPOSED BUILDINGS AND UNDERGROUND PARKING ARE SHOWN IN CONTOUR LINES.

9. THE PROPOSED BUILDINGS AND UNDERGROUND PARKING ARE SHOWN IN CONTOUR LINES.

10. THE PROPOSED BUILDINGS AND UNDERGROUND PARKING ARE SHOWN IN CONTOUR LINES.

PROJECT INFORMATION:

AGOURA HILLS CENTER PROPERTIES
 STEVE RICE & CARLOS MANTZIS
 PROJECT ADDRESS
 AGOURA HILLS, CA 91301

DATE: 08/01/14
 DRAWN BY: JAC
 CHECKED BY: JAC
 SCALE: AS SHOWN

REVISIONS:

NO.	DATE	REVISIONS

**RICHARDSON ENGINEERS
 ELECTRICAL ENGINEERS**

345 JACOBSON ROAD
 SAN JOSE, CA 95061
 (408) 255-1800
 rjef@re.com

WILLARUE ARCHITECTS

ARCHITECTURE • PLANNING • INTERIORS

1000 W. UNIVERSITY AVENUE, SUITE 200
 SAN JOSE, CA 95128
 (408) 435-1100
 will@willarue.com



AGOURA HILLS CENTER PROPERTIES

STEVE RICE & CARLOS MANTZIS

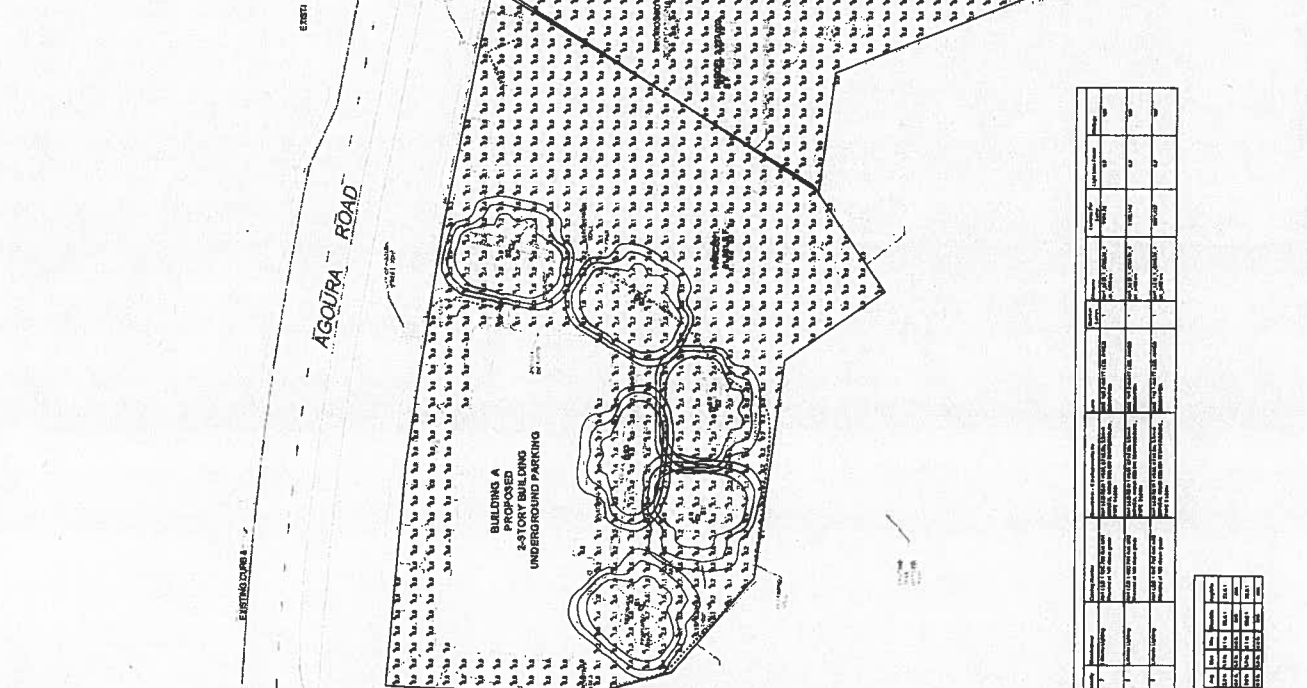
PROJECT ADDRESS

AGOURA HILLS, CA 91301

SITE LIGHTING PHOTOMETRIC PLAN

SCALE: 1" = 30'

SHEET NO. 01



Area	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)

Area	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)

AGOURA ROAD

EXISTING CURB 1

EXISTING CURB 2

EXISTING UTILITIES

EXISTING TREE

BUILDING A PROPOSED 2-STORY BUILDING UNDERGROUND PARKING

BUILDING B PROPOSED 2-STORY BUILDING UNDERGROUND PARKING



NORTH

SITE LIGHTING PHOTOMETRIC PLAN

SCALE: 1" = 30'

SHEET NO. 01

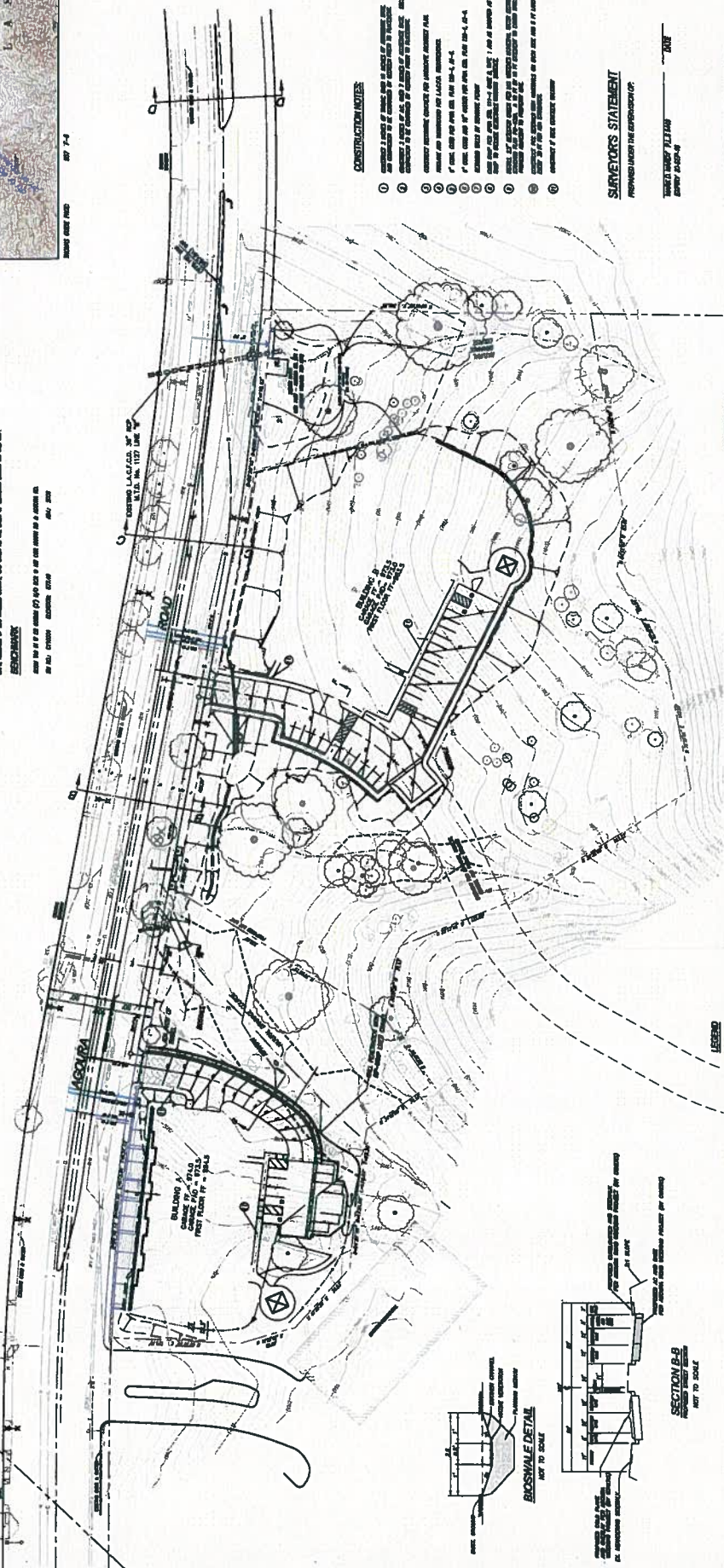
VICINITY MAP



KEY 7-4
 100' SCALE

GENERAL DESCRIPTION
 THIS PLAN, SPECIFICATIONS, AND CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.

FLOOD PLANNING
 THE PROJECT IS LOCATED IN AN AREA THAT IS NOT DESIGNATED AS A FLOOD HAZARD AREA. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF WATER RESOURCES AND THE CALIFORNIA FLOOD CONTROL DISTRICT.



- CONSTRUCTION NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES SPECIFICATIONS AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES SPECIFICATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.
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 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.

SURVEYORS STATEMENT
 I, THE SURVEYOR, HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: 06/15/2018
 SURVEYOR: [Signature]

PROPOSED LAND USES
 THE PROPOSED LAND USES ARE AS SHOWN ON THE PLAN AND ARE SUBJECT TO THE CITY OF LOS ANGELES ZONING ORDINANCES AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES REGULATIONS.

NO.	DESCRIPTION	AMOUNT
1	RESIDENTIAL	10,000 SQ. FT.
2	COMMERCIAL	5,000 SQ. FT.
3	INDUSTRIAL	2,000 SQ. FT.
4	PARKING	100 SPACES
5	LANDSCAPING	10,000 SQ. FT.

SCALE: 1" = 40'
 NORTH



VESTING TENTATIVE MAP NUMBER 71742
 LOCATED IN CITY OF LOS ANGELES
 THE COUNTY OF LOS ANGELES STATE OF CALIFORNIA
 JUNE 2018

LEGEND

SYMBOL	DESCRIPTION
(Symbol)	EXISTING BUILDING
(Symbol)	PROPOSED BUILDING
(Symbol)	EXISTING DRIVEWAY
(Symbol)	PROPOSED DRIVEWAY
(Symbol)	EXISTING PARKING
(Symbol)	PROPOSED PARKING
(Symbol)	EXISTING LANDSCAPING
(Symbol)	PROPOSED LANDSCAPING
(Symbol)	EXISTING UTILITY
(Symbol)	PROPOSED UTILITY

EXISTING UTILITIES
 ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED. ANY NECESSARY REPAIRS OR REPLACEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PROPOSED UTILITIES
 ALL PROPOSED UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES SPECIFICATIONS AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES REGULATIONS.

PROPOSED DRIVEWAYS
 ALL PROPOSED DRIVEWAYS SHALL BE CONCRETE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES SPECIFICATIONS AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES REGULATIONS.

PROPOSED PARKING
 ALL PROPOSED PARKING SPACES SHALL BE CONCRETE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES SPECIFICATIONS AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES REGULATIONS.

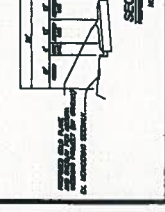
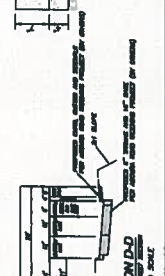
PROPOSED LANDSCAPING
 ALL PROPOSED LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES SPECIFICATIONS AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES REGULATIONS.

PROPOSED BUILDINGS
 ALL PROPOSED BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LOS ANGELES SPECIFICATIONS AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES REGULATIONS.

PROPOSED DRIVEWAYS
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PROPOSED UTILITY
 ALL PROPOSED UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES SPECIFICATIONS AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES REGULATIONS.



GENERAL NOTES
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES SPECIFICATIONS AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES SPECIFICATIONS.

PROPOSED DRIVEWAYS
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PROPOSED LANDSCAPING
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PROPOSED BUILDINGS
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PROPOSED DRIVEWAYS
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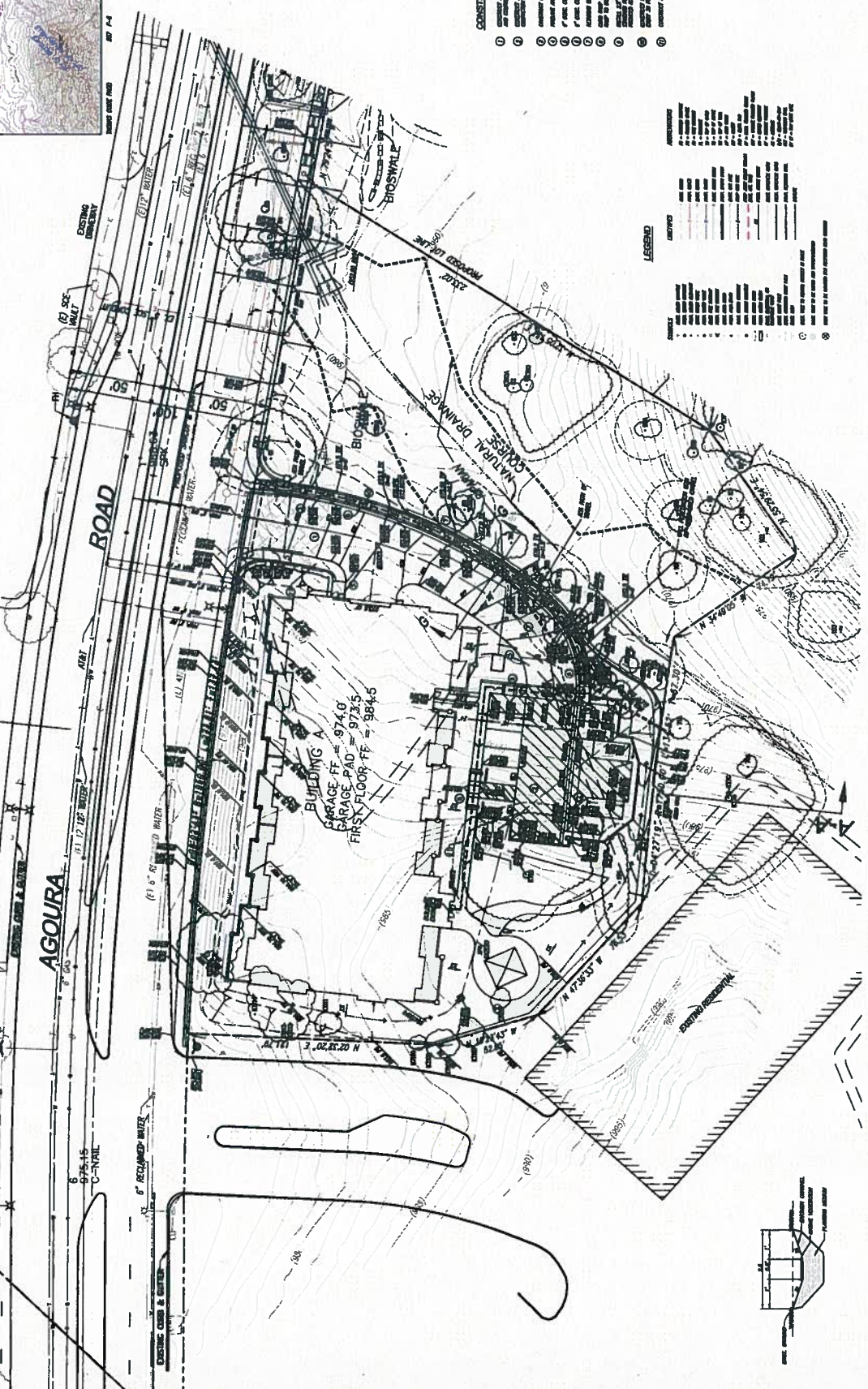
PROPOSED PARKING
 ALL PROPOSED PARKING SPACES SHALL BE CONCRETE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOS ANGELES SPECIFICATIONS AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES REGULATIONS.



VICINITY MAP

FLOODPLAIN NOTE
 THE FLOODPLAIN INFORMATION SHOWN ON THIS PLAN IS BASED ON THE FLOODPLAIN MAPS OF THE U.S. ARMY CORPS OF ENGINEERS. THE FLOODPLAIN MAPS ARE AVAILABLE AT THE FOLLOWING OFFICES:
 1. MISSOURI DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, 201 WEST WASHINGTON, ST. LOUIS, MISSOURI 63102
 2. MISSOURI DEPARTMENT OF REVENUE, DIVISION OF REVENUE, 201 WEST WASHINGTON, ST. LOUIS, MISSOURI 63102
 3. MISSOURI DEPARTMENT OF CONSERVATION, DIVISION OF CONSERVATION, 201 WEST WASHINGTON, ST. LOUIS, MISSOURI 63102

BENCHMARKS
 THE BENCHMARKS SHOWN ON THIS PLAN ARE THE PROPERTY OF THE MISSOURI DEPARTMENT OF CONSERVATION. THE BENCHMARKS ARE LOCATED AT THE FOLLOWING LOCATIONS:
 1. BENCHMARK 1, 201 WEST WASHINGTON, ST. LOUIS, MISSOURI 63102
 2. BENCHMARK 2, 201 WEST WASHINGTON, ST. LOUIS, MISSOURI 63102
 3. BENCHMARK 3, 201 WEST WASHINGTON, ST. LOUIS, MISSOURI 63102



- CONSTRUCTION NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI DEPARTMENT OF REVENUE SPECIFICATIONS FOR HIGHWAYS.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI DEPARTMENT OF CONSERVATION SPECIFICATIONS FOR HIGHWAYS.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI DEPARTMENT OF REVENUE SPECIFICATIONS FOR HIGHWAYS.
 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI DEPARTMENT OF CONSERVATION SPECIFICATIONS FOR HIGHWAYS.
 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS.
 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI DEPARTMENT OF REVENUE SPECIFICATIONS FOR HIGHWAYS.
 9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI DEPARTMENT OF CONSERVATION SPECIFICATIONS FOR HIGHWAYS.
 10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS.

LEGEND

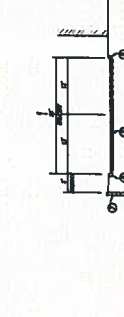
SYMBOL	DESCRIPTION
(Symbol)	EXISTING CONCRETE PAVEMENT
(Symbol)	PROPOSED CONCRETE PAVEMENT
(Symbol)	EXISTING ASPHALT PAVEMENT
(Symbol)	PROPOSED ASPHALT PAVEMENT
(Symbol)	EXISTING GRAVEL DRIVEWAY
(Symbol)	PROPOSED GRAVEL DRIVEWAY
(Symbol)	EXISTING CURB
(Symbol)	PROPOSED CURB
(Symbol)	EXISTING SIDEWALK
(Symbol)	PROPOSED SIDEWALK
(Symbol)	EXISTING DRIVEWAY
(Symbol)	PROPOSED DRIVEWAY
(Symbol)	EXISTING UTILITY
(Symbol)	PROPOSED UTILITY
(Symbol)	EXISTING FENCE
(Symbol)	PROPOSED FENCE
(Symbol)	EXISTING LANDSCAPE
(Symbol)	PROPOSED LANDSCAPE
(Symbol)	EXISTING TREES
(Symbol)	PROPOSED TREES
(Symbol)	EXISTING PLANTS
(Symbol)	PROPOSED PLANTS
(Symbol)	EXISTING LIGHT FIXTURES
(Symbol)	PROPOSED LIGHT FIXTURES
(Symbol)	EXISTING SIGNAGE
(Symbol)	PROPOSED SIGNAGE
(Symbol)	EXISTING UTILITIES
(Symbol)	PROPOSED UTILITIES
(Symbol)	EXISTING FENCES
(Symbol)	PROPOSED FENCES
(Symbol)	EXISTING LANDSCAPES
(Symbol)	PROPOSED LANDSCAPES
(Symbol)	EXISTING TREES
(Symbol)	PROPOSED TREES
(Symbol)	EXISTING PLANTS
(Symbol)	PROPOSED PLANTS
(Symbol)	EXISTING LIGHT FIXTURES
(Symbol)	PROPOSED LIGHT FIXTURES
(Symbol)	EXISTING SIGNAGE
(Symbol)	PROPOSED SIGNAGE



SCALE: 1" = 30'
 NORTH ARROW

UTILITY NOTE
 ALL UTILITIES SHOWN ON THIS PLAN ARE THE PROPERTY OF THE MISSOURI DEPARTMENT OF TRANSPORTATION. THE UTILITIES ARE LOCATED AT THE FOLLOWING LOCATIONS:
 1. UTILITY 1, 201 WEST WASHINGTON, ST. LOUIS, MISSOURI 63102
 2. UTILITY 2, 201 WEST WASHINGTON, ST. LOUIS, MISSOURI 63102
 3. UTILITY 3, 201 WEST WASHINGTON, ST. LOUIS, MISSOURI 63102

SECTION E-E
 NOT TO SCALE



PRELIMINARY GRADING PLAN
 TENTATIVE PROJECT NUMBER 77146
 JUNE 2018

PREPARED BY:
HARDY
 ENGINEERING

SECTION E-E
 NOT TO SCALE

SECTION G-G
 NOT TO SCALE

LEGEND

CONSTRUCTION NOTES:

UTILITY NOTE

BENCHMARKS

FLOODPLAIN NOTE

VICINITY MAP

SCALE: 1" = 30'

NORTH ARROW

LEGEND

CONSTRUCTION NOTES:

UTILITY NOTE

BENCHMARKS

FLOODPLAIN NOTE

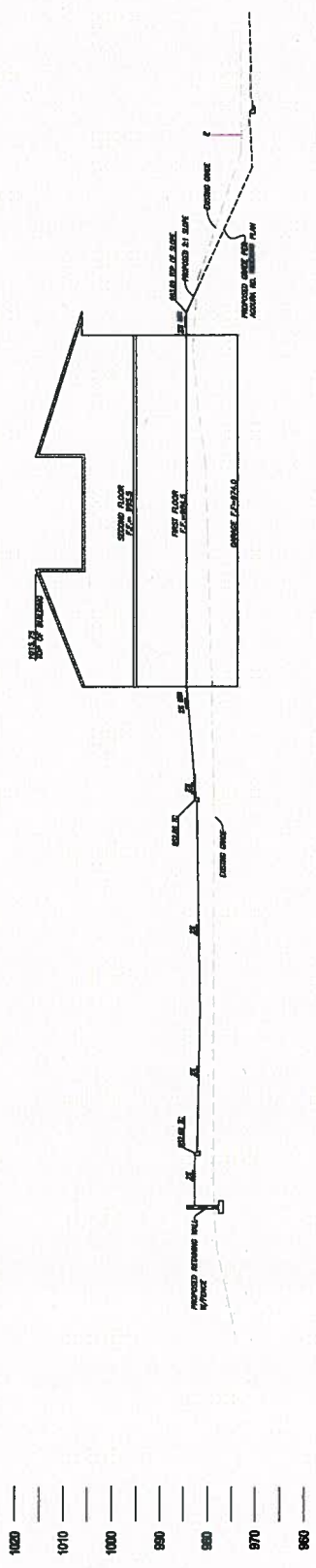
VICINITY MAP

SCALE: 1" = 30'

NORTH ARROW

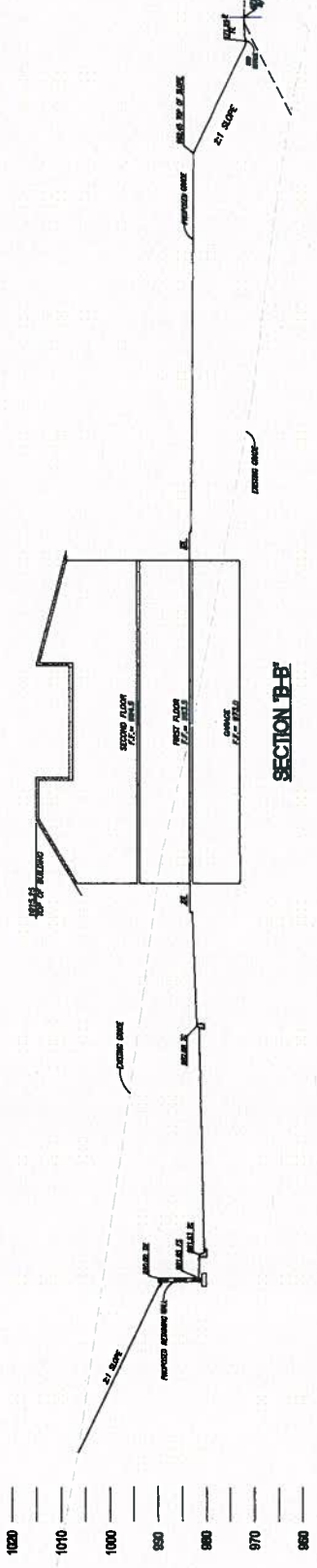
AS SHOWN
SCALE: 1/8" = 1'-0"

BUILDING A



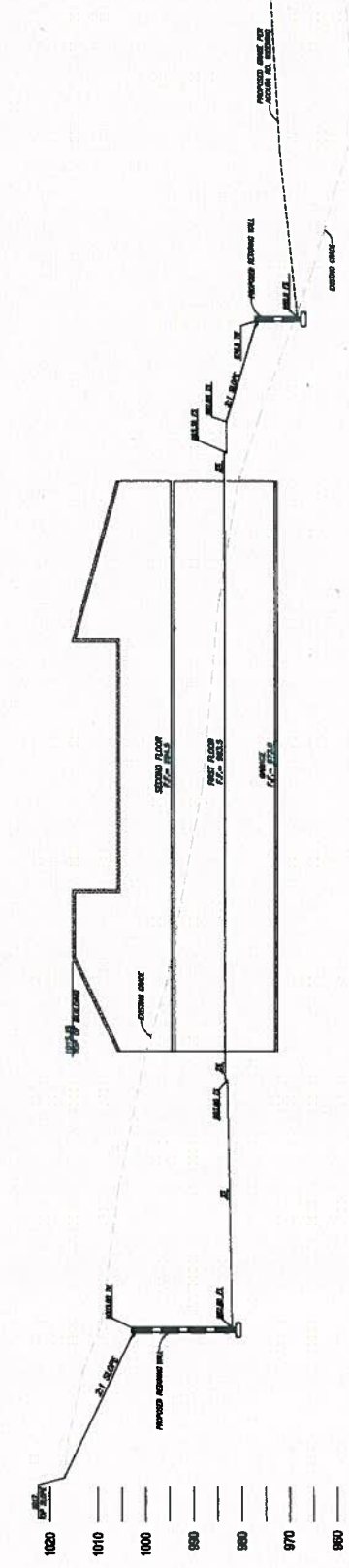
SECTION 'A-A'

BUILDING B



SECTION 'B-B'

BUILDING C



SECTION 'C-C'

<p>PROPOSED PROJECT NO. 17746</p>			<p>PRELIMINARY GRADING PLAN PERMITTING TRACT NUMBER 7746 JUNE 2019</p>
<p>PROJECT LOCATION: 17746</p>			
<p>PROPOSED PROJECT NO. 17746</p>		<p>PREPARED BY: JAMES J. HARDY ENGINEER</p>	
<p>PROJECT LOCATION: 17746</p>		<p>DATE: 06/10/19</p>	