



PLANNING DEPARTMENT

ACTION DATE: October 20, 2016

TO: Planning Commission

APPLICANT: Agoura Landmark, L.P.
569 Constitution Avenue, Suite H
Camarillo, CA 93012

CASE NOS.: SPR-01048-2015, OAK-01049-2015, SIGN-01069-2015 &
VTTM 73890-Case No. TRM-01170-2015

LOCATION: 29621 Agoura Road (A.P.N. 2061-003-027)

REQUEST: Request for the Planning Commission to conduct a public hearing to approve: 1) a Site Plan/Architectural Review to construct six (6) new one- and two-story, light industrial buildings totaling 69,852 square feet on a vacant site; 2) an Oak Tree Permit to remove seven (7) oak trees, and encroach in the protected zone of sixteen (16) oak trees; 3) a Sign Permit to establish a sign program; and 4) a Vesting Tentative Tract Map for a condominium project; and to adopt an Initial Study/Mitigated Negative Declaration and Mitigation Monitoring Program pursuant to the California Environmental Quality Act.

ENVIRONMENTAL DETERMINATION: Initial Study/Mitigated Negative Declaration, pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines

RECOMMENDATION: Staff recommends the Planning Commission approve Site Plan/Architectural Review Case No. SPR-01048-2015; Oak Tree Permit Case No. OAK-01049-2015; Sign Permit Case No. SIGN-01069-2015; and Vesting Tentative Tract Map No. 73890-Case No. TRM-01170-2015, subject to conditions and based on the findings of the attached Draft Resolutions. Staff also recommends the Planning Commission adopt the project's Initial Study/Mitigated Negative Declaration and Mitigation Monitoring Program.

ZONING DESIGNATION: Business Park – Manufacturing - Freeway Corridor Overlay District (BP-M-FC)

GENERAL PLAN

DESIGNATION: Business Park-Manufacturing (BP-M)

I. PROJECT DESCRIPTION AND BACKGROUND

The applicant, Agoura Landmark, L.P., has submitted a Site Plan/Architectural Review application (Case No. SPR-01048-2015) to build six (6) one- and two-story light industrial buildings totaling 69,852 square feet on a 5.17 acre site. The vacant lot is located at 29621 Agoura Road, which was previously developed with a private baseball field, which has since been removed. The site is located between U.S. Highway 101, and Agoura Road. The topography of the lot varies in elevation from the highest point of 878 feet at Agoura Road, to the lowest point of 865 feet, at the base of the landmark oak tree near the center of the parcel, representing a difference of 13 feet. The site is lower than the freeway corridor and Agoura Road travel lanes. The site is zoned Business Park - Manufacturing - Freeway Corridor Overlay (BP-M-FC), which allows a light industrial use and associated amenities. The site is bordered to the north by U.S. Highway 101; to the east by the Los Angeles County Animal Control facility, and to the west by the Bank of America property. The Gateway Foursquare Church is located across the street, south of Agoura Road. The site can be accessed directly from Agoura Road and also from a private driveway on the Bank of America property to the west.

Light industrial is an allowed use in the BP-M zoning district. The total building area is 69,852 square feet. Of this, 14,849 square feet is office space footprint, which faces the perimeter of the site. The warehouse area footprint totals 48,532 square feet, and is accessible from the courtyard at the rear of all the buildings through roll-up doors and employee doors. The mezzanine office space represents 6,471 square feet and is in addition to the first floor office space.

The six (6) buildings are laid out around a landmark oak tree located 280 feet from the front property line, 145 feet from the east and 160 feet from the west side property lines. A landmark oak tree is defined as an oak tree with a trunk diameter that exceeds 48 inches. The tree is currently located at a lower grade than the rest of the parcel and will remain below the proposed grade. Therefore, the applicant proposes to build a retaining wall around it between two (2) and four (4) feet in height to retain the future drive aisle; this will allow the rest of the parcel to be at an even elevation of 870 feet throughout. The main driveway bisects the property in its middle leading, to the landmark oak tree with buildings placed on the right and left sides of the driveway that provide views of the landmark oak tree. Buildings A and B are placed parallel to Agoura Road and screen Buildings C and F. Buildings E and D are parallel to the freeway. Buildings A, D, E, and F are free-standing, and Buildings B and C are connected. Other amenities include a two (2) foot tall retaining wall along the west property line and two (2) stacked walls, one six (6) feet high and another two (2) feet high along the eastern property line. Buildings A, B, D, E, and F have a small second story office space with a small balcony over the main

entrance feature. Each building is subdivided in suites of various sizes to accommodate a range of businesses that can be easily merged or further subdivided as the demand calls for it.

The applicant is proposing to subdivide the buildings into condominium space by way of a Vesting Tentative Tract Map No. 73890 (Case No. TRM-01170-2015). If the Planning Commission approves the Vesting Tentative Tract Map, the applicant would then prepare a Final Map to be considered by the City Council. The applicant is also asking to install new building and ground-mounted signs, which require the review and approval of a Sign Permit (Case No. SIGN-010-69-2015); and an Oak Tree Permit (Case No. OAK-01049-2015) to remove seven (7) oak trees and to encroach in the protected zone of 16 other oak trees.

By way of background, a Site Plan/Architectural review was approved in May of 2006 by the Planning Commission (Case Nos. 05-SPR-010 and 05-OTP-010) to build a single 94,000 square-foot, two-story office building on this site, and again in 2009 to build a 100,634 square-foot industrial business park (Case Nos. 08-SPR-011, 08-OTP-021, 08-SP-036, VTTM 70707, and 09-VAR-003). Both approvals expired without building permits being issued.

The following table is a summary comparison of the project and the relevant zoning development standards.

Planning Commission

Case Nos. SPR-01048-2015, OAK-01049-2015, SIGN-01069-2015 & VTTM 73890-TRM-01170-2015

Page 4 of 21

	Existing	Proposed	BP-M Requirement	FC Requirement
Lot Area		5.17 acres	3.0 acres	
Building Size				
Building A		8,058 sq.ft.		
1 st Floor:	N/A	7,088 sq.ft.	N/A	N/A
2 nd Floor:	N/A	970 sq.ft.	N/A	N/A
Building B		12,093 sq.ft.		
1 st Floor:	N/A	11,075 sq.ft.		
2 nd Floor:	N/A	1,018 sq.ft.		
Building C		8,403 sq.ft.		
1 st Floor:	N/A	8,403 sq.ft.		
2 nd Floor:	N/A	N/A		
Building D		10,716 sq.ft.		
1 st Floor:	N/A	8,754 sq.ft.		
2 nd Floor:	N/A	1,962 sq.ft.		
Building E		9,452 sq.ft.		
1 st Floor:	N/A	7,963 sq.ft.		
2 nd Floor:	N/A	1,489 sq.ft.		
Building F		21,130 sq.ft.		
1 st Floor:	N/A	20,098 sq.ft.		
2 nd Floor:	N/A	1,032 sq.ft.		
Total First Floor		63,381 sq.ft.		
Total Second Floor		6,471 sq.ft.		
Total		69,852 sq.ft.		
Bldg. Height	N/A	26.75 feet	35 max.	N/A
Bldg. Site Coverage	N/A	28.13%	30% max.	N/A
Bldg. Setbacks				
Front (South):	N/A	39 ft.	20 ft. min.	N/A
Side (East):	N/A	49 ft.	70 ft. combined with 15 ft. min. on any one side	N/A
Side (West):	N/A	38 ft.	70 ft. combined with 15 ft. min. on any one side	N/A
Rear (North):	N/A	70 ft.	20 ft. min.	2x Bldg. Height (53.5 ft.)
Landscape Coverage	N/A	22.2%	20%	N/A

The project is expected to commence construction in July 2017, and take ten (10) months

to complete. The equipment expected to be used during construction include loaders, motor graders, skip loaders and a crane, but only for the tilt up panel erection process. An estimated 15 to 20 truck trips per day would be needed during grading activities.

II. STAFF ANALYSIS

A. Site Plan and Buildings

The project is designed in a campus-like setting, with a 30-foot wide primary driveway access located at midpoint of the site frontage along Agoura Road and leading to an interior courtyard drive with a landmark oak tree in the center. For the most part, the industrial buildings are congregated around the courtyard. The warehouse (rear) sides of the industrial buildings face the interior of the courtyard. From here, trucks would access the buildings' roll up doors for loading and unloading. The project includes textured paving in the courtyard to visually differentiate the vehicular circulation from the loading/unloading activities. The buildings are proposed to be 26.75 feet below the maximum allowable height of 35 feet in the Business Park Manufacturing zone. The proposed building site coverage is proposed to be 28.13, percent below the maximum of 30 percent for the Business Park Manufacturing zone.

Along the perimeter of the site is a loop drive aisle to access parking spaces for customers and employees and the front entrances of the industrial buildings that face outward from the site. Two other driveways are provided on-site: one with direct access to Agoura Road; and a second through the Bank of America site to the west, as allowed by a current recorded easement.

The Project is consistent with the BP-M in that it provides areas for larger scale businesses involved in light manufacturing within a campus environment that are compatible with adjacent commercial developments.

The project provides benches around the site, decorative paving in the drive-aisles, and pedestrian paths within the parking lot. There is ample landscaping around the perimeter of the site to maintain a natural environment against the open space south of Agoura Road, and the landmark oak tree is being preserved as the focus of the property. The scale, design and materials are similar to the adjacent developments to the east in that the buildings are of similar height, and include earth-tone colored building materials. The project also provides for common signage.

The building located closest to Agoura Road (Building A) is set back 38 feet from the front (south) property line and so it meets the minimum 20-foot requirement of the BP-M zone. The buildings closest to the freeway (Buildings D and E) are set back 70 feet from the rear property line along the Caltrans right-of-way. This is in accordance with the Freeway Corridor Overlay District's requirement of a setback distance twice the height of the

building (in this case, 35 feet). The project manages to maintain similar setback as the adjacent properties. In comparison, the nearby buildings located west of the project site are in the same general setback range from the freeway although some provide less or more setback than the proposed project or what is currently required. The Bank of America buildings to the west are set back approximately 70 and 90 feet from the Caltrans right-of-way. The Nationwide Medical formerly known as Line 6 property has a freeway setback of approximately 40 feet, and the TouchCommerce Building formerly occupied by THQ, is approximately 67 feet from the freeway right-of-way. The proposed side yard setbacks for this project comply with the Zoning Ordinance and exceed the required minimum combined setback of 70 feet, as well as the required minimum 15-foot setback on any one side, by providing a combined total of 82 and 49 feet and 38 feet on each side.

The Site Plan includes masonry retaining walls with railing on the eastern and western property lines. Existing fencing, with the exception of the Caltrans right-of-way fencing, will be removed. In the event that the applicant requests the use of fencing, the design of the structure will be subject to review by the Planning Director. This recommendation is included as a draft condition of approval.

All commercial projects are required to provide an art piece that is commensurate with a percentage (1.25 percent) of the building valuation as calculated per the International Conference of Building Officials (ICBO). The art piece should be placed in public view for the benefit of the public. It is anticipated that the art piece would be placed in front of Building B. The applicant will work with the City Cultural Arts Council to commission a local artist to develop a piece for the project if and when the project is approved, and prior to building permit issuance.

B. Architectural Design

The applicant is proposing a concrete tilt up construction consisting of painted concrete (brown and green) tones and rib-form liners that provide a textured appearance. All the buildings include articulating elements, such as setback elevations, and projecting elements such as steel overhangs over the main entries and windows. Large window expanses are also provided similar to an office building. Some windows extend to the ground, and some windows are located above a two-foot base. The buildings also feature painted steel covered entries and balconies at each building's main entrance. Some of the first and second floor windows are also protected by a flat, steel awning. The exterior building colors include brown and green tones. The facades are enhanced with a decorative square recess above the second story windows. The flat roof would accommodate the heating and cooling system equipment. The roofs are bordered by parapet walls to screen the equipment so as not to be visible from the freeway right-of-way.

The project is consistent with the City's Architectural Design Standards and Guidelines under Sections II, III, and IV. Section II (Site Plan) encourages the preservation of open space and the line of sight of open space, in this case, the landmark oak tree. The proposed buildings are separated to allow the view of the tree from the freeway corridor and Agoura Road.

Section III (Building Design) does not allow trademark or prototype style of architecture, but rather encourages the use of well-articulated buildings with features that reduce the appearance of the bulk and massiveness of a building as viewed from the street and adjacent parcels. The project meets this intent by meeting Guidelines recommendation for the use of windows and recessed opening and entrances, a change in texture and colors on wall surfaces. Similar architectural relief is provided on all sides of the building. The height and scale of the building are mitigated with the use of articulation of facades both horizontally and vertically.

Section IV of the Architectural Design Standards and Guidelines encourages the development of outdoor amenities for the public and the employees such as benches, tables and chairs, fountains, trellises and art pieces as well as special paving treatment and low intensity pedestrian level lighting. The project provides benches near the rear entrances of each building and an open space area in front of Building B for a potential location for an art piece.

The Architectural Review Panel recommended that the applicant increase the height of the parapet wall, and the width of the columns of the entry covers, which were previously shorter and narrower respectively. In response, the applicant raised the parapet wall, widened the columns and added a stone-like tile base below some of the windows. The Panel suggested changing the colors of the steel and the window frames to a contrasting color but the applicant maintained the same colors, which staff supports.

The project also proposes lighting throughout the outdoor areas. The applicant is proposing to use a more contemporary pole light fixture. The fixtures are flat and slim, and pointed downward. The thirteen proposed light poles will be a maximum of 16 feet high. The fixtures use a Lighting Emitting Diodes (LED) lighting system inside horizontal ballast directed toward the ground. Eighteen other lights are proposed to be mounted on the facades of the buildings in the same style. One spot light is proposed for the monument sign near Agoura Road. No lighting is proposed in the landscaping at this time. The photometric plan and the fixtures specifications are attached to the Plans. The photometric plan shows the project exceeding the standard of one (1) foot candle by 0.5 foot-candle along the western edge of the property and 0.7 along the eastern edge of the property, adjacent to an existing building and parking lot with lights, which is part of the Bank of America. The lights here serve an adjacent parking lot and a common driveway between the two properties, and so are proposed illuminated at a greater level than a landscaped area where no pedestrian or car circulation is expected. The project,

nonetheless, is conditioned (Condition No. 26 Exhibit A Attachment 2) to submit a final lighting plan and photometric plan to address the recommended lighting levels which is to be reviewed by the Planning Director prior to the issuance of a Building Permit.

C. Parking

The project proposes 149 parking spaces, whereas 100 parking spaces are required. Six (6) parking spaces are designated as handicap spaces. The spaces are located throughout the parcel to serve each building. The parking lot layout allows for safe and convenient access. The paved areas of the site are broken-up by buildings and landscaping. The Parking Ordinance also requires parking for alternative forms of transportation such as bicycling. For every 25 parking spaces, a commercial project must provide one (1) bicycle rack space. The applicant is required to provide six (6) bicycle rack spaces, at a minimum, to accommodate the bicycles. This requirement is included as a condition of approval (Condition No. 31).

D. Traffic/Circulation

The project is estimated to generate 409 new daily trips, including 48 new trips during the AM peak hour, and 48 new trips during the PM peak hour. The Traffic Impact Analysis (TIA) analyzed how the additional trips would impact several intersections in the City in the near term, and long term (City build-out at 2035). The traffic analysis found that the added traffic volumes would not generate project specific impacts, which means that the project is not required to construct any improvements in the right-of-way upon completion of the construction. The project would, however, contribute to the need for a traffic light at the intersection of Agoura and Roadside Roads. The Traffic Impact Analysis includes a signal warrant analysis indicating that the project would contribute to the need for a traffic signal. Accordingly, the applicant is required to pay a fair-share cost of the future traffic light as mitigation in the IS/MND (see Section M below). The fee was established by the City's Traffic Engineer using a fair-share formula, based on the project's a proportionate share of cumulative projects trips in the City, and the cost of a traffic signal. The installation of the signal will occur at a future date, as determined through City monitoring. The TIA recommends the monitoring of traffic at the intersection of Agoura Road and Roadside Road for the future installation of a traffic light.

E. Signage

The Sign Ordinance requires that new commercial projects design and implement a sign program for the entire site. The intent of the requirement is to incorporate the signage into the proposed architectural design of the project. As such, the sign program may incorporate different types of signs to serve pedestrians as well as drivers. The applicant's program includes a tenant name sign for each major tenant above the building entry and below the balcony (referred to as Sign Type A on the plans); a sign applied to the front door of each smaller tenant space (referred to as Sign

Type B on the plans for the front door of the business, and the same type for the rear door of the business (referred to as Sign Type C in the plans); five (5) directional signs around the property (referred to as Sign Type D on the plans) to aid vehicles in finding their destination; and a monument sign at the main driveway (referred to as Sign Type E in the plans).

The Type A sign is made out of solid acrylic letters painted white resting on an aluminum tube, which extends ten (10) feet between the two columns supporting the balcony. The signs' maximum lengths the signs would be eight (8) feet and the maximum letter height would be eight (8) inches for a total of five and three-tenths (5.3) square feet. No lighting of the signs is proposed at this time. The signs would be ten (10 feet) above the ground.

Type B and C signs are six (6) square feet in size and are made out of vinyl letters applied to the glass or solid doors to name the tenant. Other information such as phone number and hours of operation are also applied to the door and would occupy one (1) square foot.

The five (5) directional signs (Type D) would be installed at the major access points to orient users of the property. These signs would be three (3) square feet in size and no more than three (3) feet in height, and also constructed with the same materials as the building including the concrete face and the tile clad base. As for the monument sign, Type E, the exterior dimensions would be four (4) feet by eight feet six inches (8' 6") for a total of 48 square feet as allowed by the Sign Ordinance; the sign would be placed by the main driveway, five (5) feet from the property line, and constructed out of the same materials as the building. The sign would name the project and the letters would also be white and directly applied to the face of the sign. One external lighting source, a spot light, would be provided on the ground on each side of the sign. Details of the signs such as material and illumination are included for final Planning Commission review and approval.

F. Freeway Corridor Overlay District

The purpose of the Freeway Corridor (FC) Overlay is to recognize the importance of the land use, architectural design, and appearance of development within the freeway corridor to the City's image. Projects in the FC are to incorporate naturalistic and native landscaping, particularly oaks; preserve open areas on-site, and key vistas to the Santa Monica Mountains; screen unsightly uses; exhibit a low intensity, and semi-rural development style; convey a high quality image; work with the existing terrain; provide safe and convenient access to parking; and articulate building facades; minimize impacts to sensitive and endangered species and plant communities; mitigate traffic, light, noise and other environmental impacts; and use compatible colors and materials to preserve and enhance the scenic quality of the freeway corridor.

Per the FC Overlay requirements, the project does not overwhelm the City's low-intensity development style. The project is below the maximum building coverage allowed (28 percent provided versus 30 percent maximum allowed). The buildings are placed in a campus-like setting around a landmark oak tree with its view preserved from Agoura Road and the freeway corridor. The two buildings closest to the freeway, Buildings D and E, are set back 70 feet from the freeway right-of-way and placed parallel to the freeway, which has the effect of screening the other buildings. At the same time, their placement allows sufficient room for parking and additional landscaping between the buildings and the freeway, which serves as a buffer to the freeway corridor, reducing visual impacts of the new construction as seen from the freeway and further across the freeway. All the buildings are shorter than the maximum allowed height of 35 feet by eight (8) feet, and the building pads are proposed at a lower elevation than the freeway and Agoura Road. Buildings D and E, located closest to the freeway, are proposed to be built at an elevation of 870 feet, whereas the freeway elevation is between 885 to 878 feet, which allows only between 11.75 and 18.75 feet of the face of the buildings to be visible. Buildings A and B, located closest to Agoura Road, are proposed at an elevation of 873 and 871 feet respectively, whereas Agoura Road elevation is between 875 and 877 feet which allows only 19.75 to 22.75 feet of Building A's facade and 21.75 to 24.75 feet of Building B's facade to be seen from the road, thereby further reducing the effective height from passersby, and protecting views of the hillsides both north and south from these two rights-of-way. The proposed grading on the site would further level the relatively flat terrain.

The buildings are proposed to be of tilt-up construction, and the proposed colors of the buildings (brown and green) are subtle and neutral, consistent with the natural environment of Agoura Hills. Building features, such as setback elevations, balconies, and awnings add depth and architectural interest, and each side of the buildings is articulated with attractive design elements and materials, enhancing the scenic quality of the freeway corridor. The building materials and style are consistent with the semi-rural appearance called for in the freeway corridor, as the building site coverage is below the maximum allowed allowing a greater percentage of landscaping to blend the project against the natural hillsides. The roof mounted equipment will be screened from view by a parapet wall. Other structures, such as retaining walls and trash enclosures, would be minimally visible from the freeway corridor either because they are perpendicular to the freeway or screened by buildings. A condition has been added to require that the retaining walls be decorative and/or covered with landscaping to create a more attractive appearance (Condition # 22).

Overall, the project has taken into consideration the existing oak trees on-site by grading and constructing retaining walls around them as discussed below in item, "1. Oak Trees." The project incorporates some native plants, consistent with the Freeway Corridor Overlay district, but additional native plant and trees species are required to fully meet the

intent of the district. Condition # 109 has been added to increase the use of native plants, to require proportionally more native species as part of the final landscape plan. The project provides sufficient landscaping planters, exceeding the minimum landscaping coverage of 20 percent with 22.2 percent, and exceeding the required tree canopy coverage of 50 percent with 52 percent. The landscaping serves to soften the appearance of the buildings and better integrate the project with the open spaces and natural setting of Agoura Hills.

The project addresses and protects sensitive special status plants and wildlife and sensitive plant communities. The project Initial Study/Mitigated Negative Declaration, discussed fully in item, "3," determined that the project would result in potentially significant impacts to the red willow woodland located on the site, and the project would be required to implement a Habitat Mitigation and Monitoring Program for this community. There are no sensitive or special status plants or wildlife species on the site, so there would be no impacts to those resources.

Vehicle parking would be provided all around the site and near each building to maintain the shortest distance between the parking space and entrance to each tenant space. Parking is provided on both the warehouse and customer entry building facades.

Concerns regarding traffic, noise and light impacts from the project have been addressed in the site design and the Initial Study/Mitigated Negative Declaration mitigation measures. Measures have been incorporated into the project to reduce impacts on the transportation system by contributing a fair share toward construction of a traffic signal in the future at Agoura and Roadside Roads (Mitigation Measure TRA-1); noise and light impacts have been reduced by placing the loading and unloading zones for the warehouse component toward the interior of the site; and by screening some of the parking lot light poles, and requiring submittal of a final lighting and photometric plan to ensure consistency with the City's lighting requirements, including light spillover (Condition #26).

Overall, the project demonstrates compliance with the Freeway Corridor Overlay District development standards and contributes to a high level of aesthetics standards against developed parcels along major access road and scenic vistas. The aesthetic analysis looked at, among other standards, the placement and height of structures on the site, and how they compare to adjacent developments. Development on each respective parcel along the freeway between the west end of the City and Kanan Road varies in terms of setback and placement of structures, which contributes to the diversity of the development. Distances of these neighboring structures to the freeway right-of-way vary between 18 feet and 100 feet. The Bank of America buildings to the west, which is closest to the project site are set back approximately 70 and 90 feet from the Caltrans right-of-way. The property beyond, the Nationwide Medical formerly occupied by Line 6 property has a setback of approximately 40 feet, and the TouchCommerce Building,

formerly occupied by THQ is approximately 67 feet from the freeway right-of-way. The Los Angeles County Animal Shelter building, to the east, is setback approximately 100 feet from the freeway right-of-way. Two recently approved projects beyond the shelter facility have been approved at 35 and 90 feet from the freeway right-of-way. One these projects included a setback variance. The SleepShop building located east of Reyes Adobe Road is setback 22 feet. The proposed project provides a 70-foot setback that is over twice the height of the building, which helps integrate the new development into the zone. The style of each development is different given that the buildings were built over a period of 20 years but most of the adjacent buildings are two stories with similar bulk and mass, which the project follows.

No excessive contrast exists amongst the buildings' colors, a trend that is followed by the project. The buildings were constructed with different types of roof systems (parapet, full or shed roofs) and are tall enough to screen roof-mounted equipment and low enough to maintain the views of the hillsides as does the project. All have large expanses of glazing typically used in office building construction despite the industrial zoning as does the proposed project. Landscaping, a major component of the aesthetics analysis, is typically found along the perimeter of the properties and supplemented by the freeway right-of-way landscaping. The project not only follows the trend but also maintains the landmark oak tree, which is a key feature of the parcel, and will provide a 50-percent canopy coverage in the parking lot to soften the appearance of the development based on the submitted landscape plans.

G. Geotechnical

The geotechnical report prepared for the project by the applicant's consultant Gorian and Associates contains recommendations and requirements for final design and construction, which have been reviewed and accepted by the City's Geotechnical Consultant and made conditions of approval (Condition No. 83) included as Exhibit A of the Draft Resolution for the Site Plan/Architectural, and Oak Tree Permit (Attachment 2). The report recommends that during the grading phase, all vegetation and debris should be removed as well as the artificial fill to the level of in-place native alluvium or bedrock. Clean fill should be moisture conditioned and compacted to a minimum of 90 percent relative compaction. The final project plans would need to incorporate the recommendations and requirements, and would be reviewed by the City Geotechnical Consultant prior to issuance of a grading permit. Prior to issuance of a grading permit or a building permit, the applicant would be required to obtain final clearance from the City's Geotechnical Consultant and the Public Works Department.

H. Public Works/Engineering

The project will generate an estimated 12,412 cubic yards of cut soil, 7,214 cubic yards of fill and will export an estimated 5,196 cubic yards of soil from the site to create the building pad. Existing elevations range from 875 to 877 feet above sea level at the

closest edge of Agoura Road and elevations from 885 to 878 feet at the freeway travel lanes. The building pad elevations will vary between 873 feet for Building A near Agoura Road and 870 feet for Building E near the freeway corridor. Based on a 26-foot nine inch building height, Building A would appear as 24.75 feet high as viewed from Agoura Road and Building E would appear between 11.75 and 18.75 feet high. The closest proposed buildings on the site would be located 70 feet from the freeway right-of-way and 125 feet from the nearest southbound lane.

The proposed pad elevation of the site will require construction of approximately two by 407-foot long retaining walls along the entire length of the western property line. The eastern wall would be of six (6) feet tall, while the western would be a maximum of two (2) feet tall. This wall would connect to three (3) other six (6)-foot high retaining walls totaling 76.3 feet in length that will support the northeast corner of the property. These walls will be also supported by a second wall six-foot (6') high by approximately 382-foot long along the same property line. A retaining wall surrounding the landmark oak is also proposed to maintain the grade around the crown of the tree and minimize any disturbance to the tree, and also allow the pad elevation to be close in elevation to the existing topography. This wall will vary between two (2) and four (4) feet in height. A three (3)-foot high by approximately 451-foot long retaining wall along the front of Building A is proposed to retain the slope along Agoura Road. The eastern property edge wall has a 42-inch rail atop for safety purposes, due to a change in topography between the subject and adjacent lots.

The parcel is encumbered with a storm drain easement owned by the Los Angeles County Flood Control District, which runs east-west in the front yard area of the lot. No building is allowed to be constructed on top of the easement, thus requiring that the buildings be placed further away from Agoura Road than the minimum setback requirement of 25 feet. As part of the grading, the storm drain will require reinforcement. The storm drain is a result of the encapsulation of Lindero Creek during the construction of the freeway right-of-way. An exposed outlet exists at the southwest corner of the parcel, which will be required to be modified per the Los Angeles County Flood Control District. The applicant is required to apply for a permit with the Flood Control District post Planning Commission review and approval. In the event that the agency's approval requires modifications of the site plan layout, the project will require staff additional review and approval by the City.

No street improvements are required of the applicant other than driveway approaches. The Agoura Road Widening project did not affect the north side of the street adjacent to the project site because it was already at its widest and already improved with curb, gutter, and sidewalks. Only minor improvements were required in proximity to the site, which included relocating an underground vault near the eastern driveway proposed by the applicant, which will not affect the design of the driveway. The existing water and sewer lines would encroach on the property in the front yard, whereas utility including

water lines are typically located in the right-of-way. The Las Virgenes Municipal Water District has noted that as long as the new above-ground structures do not encroach into the easement, the project may proceed as proposed. Other utility lines such as reclaimed water lines, natural gas and power lines will remain in the right-of-way. In addition, a sewer line is located along the east property line, connecting the sewer systems located north of the freeway, to south of the freeway and will not need to be modified.

I. Oak Trees

Certain on-site and off-site oak trees will be impacted as a result of the construction. All potential impacts to oak trees were identified in an Oak Tree Report prepared by Envicom Corporation and submitted for the previous project on this site that received approval of an Oak Tree Permit from the Planning Commission in 2005. The applicant's consultant reevaluated the impacts per the current projects design and updated the Oak Tree Report by Envicom Corporation in May 2016. The applicant has applied for an Oak Tree Permit to allow for removal and encroachment into the protected zone of several protected oak trees. The applicant proposes to remove seven (7) oak trees (tree # 4, 5, 14, 58, 59, 78, and 83). One other oak tree (tree # 82) is dead, and would also be removed and not replaced. The encroachment to the oak trees is primarily a result of grading activities, creating access into the site, utilities, and parking lot construction, and the construction of retaining walls along the eastern side of the property. The project would encroach in the protected zone of 16 other oak trees (tree # 1, 3, 6, 7, 8, 9, 10, 11, 13, 57, 61, 63, 84, 64, and 100). Additionally, the City Oak Tree Consultant found that the encroachment on Oak tree # 85 is too great, and is being considered a removal even though the applicant would like to keep the tree on-site. Both the removal of trees and the encroachment of trees are required to be mitigated. The mitigation for the removal of the oak trees is based on a replacement ratio of 4:1. The applicant is required to plant one (1) 36-inch box, two (2) 24-inch box and one (1) 15-gallon tree for every tree removed of the same species. As a result, the site should contain eight (8) 36-inch box trees, sixteen (16) 24-inch box trees, and eight (8) 15-gallon trees. Furthermore, the applicant is required to plant one (1) 24-inch box tree for every tree encroached upon, or sixteen (16) 24-inch oak trees. Also, the Zoning Ordinance requires that one 24-inch box tree be planted for every 15,000 square feet of new gross floor area, adding five (5) more 24-inch box trees to the count for a grand total of 53 new oak required trees. The applicant is only able to plant 24 oak trees due to a shortage of space, and the Fire Department Fuel Modification restrictions regarding proximity of trees to structures and too great of a tree density. The remaining mitigation will be collected as a fee from the applicant. The mitigation fee would be placed in an Oak Tree Mitigation Fund to later be used for the purchase of property consisting of oak habitat, or the replanting of trees off-site. Protective measures have been incorporated into the project to ensure the preservation of the oak trees to remain on-site. These requirements are addressed as mitigation measures Bio-5 in the IS/MND and as Conditions of Approval No 84 through 96.

J. Landscaping

The project is designed like an office development, which incorporated landscaped planters all around the property but also around the buildings, and numerous finger planters in the parking lot.

The project is required to provide landscaping for at least 20 percent of the total site and 15 percent of the parking area with at least 50 percent tree canopy coverage. These measures are intended to enhance the visual appearance of the project, moderate the temperature, reflect the natural open space surrounding, and reduce noise and glare. The applicant is proposing 22.2 percent landscaping for the overall site and 18 percent for the parking area alone, and has accomplished a 52-percent canopy coverage within the parking area.

Furthermore, the project is located in the Freeway Corridor Overlay District, which has special landscape requirements. These include additional landscaping, berming or a wall parallel to the freeway right-of-way to screen the project. In this case, the finished grade elevation is lower than the freeway traveling lanes and, as such, the use of a wall or berming would not accomplish the necessary screening. Instead, the applicant is proposing a row of trees that would provide a softer landscape buffer from the freeway and would be consistent with the treatment on other parcels in the corridor.

The Landscape Plan has incorporated some native trees (Oak trees, and Western Redbud trees), shrubs (Oregon Grape, Creeping Red Fescue, Blue Fescue, Douglas Iris, Wild Rye, and Penstemon), and ground cover (Bush Morning Glory) to blend the project into the natural surrounding open space. In order to be more consistent with the freeway corridor overlay district, the species should be primarily native. The project is conditioned accordingly (Attachment 2 Exhibit A, Condition No. 110). The addition of further native species in the Final Landscape Plan would require concurrence from the County Fuel Modification Unit as part of the future plan check process.

The City Landscape Consultant has reviewed the project Landscape plan and finds to be in compliance with the Zoning Ordinance upon implementation of the condition to increase the proportion of native species.

K. Vesting Tentative Tract Map

The applicant has applied for a Vesting Tentative Tract Map to subdivide of the building space, allowing for the sale of each individual building or unit within a building. As a condominium project, the map would not result in the subdivision of the underlying land but rather the airspace within the six proposed buildings. The City Engineer has reviewed the Vesting Tentative Tract Map and recommends the request, with conditions.

L. General Plan Consistency

The project is consistent with the following applicable General Plan goals and policies.

Goal LU-2. City of Diverse Uses. A mix of land uses that meets the diverse needs of Agoura Hills' residents, offers a variety of employment opportunities, and allows for the capture of regional population and employment growth.

- *Policies LU-2.3. Employment Opportunities.* Provide for a variety of commercial uses that offer job opportunities for Agoura Hills' residents, including retail, office, industrial, and research development.

The project complies with Goal LU-2 and Policy LU-2.3 in that the new use provides new and diversified employment opportunities, and along the freeway corridor.

Goal LU-12. Diverse Districts and Corridors. A diversity of vital and active commercial districts providing a choice of uses and activities for Agoura Hills' residents and visitors.

- *Policies LU-12.2. Freeway Corridor.* Accommodate the development of commercial centers within the freeway corridor to provide a strong fiscal base for the City. Facilitate the development of vacant and underutilized freeway parcels with commercial uses that capitalize on their freeway access and visibility in an aesthetically pleasing manner.

The project complies with Goal LU-12 and Policy LU-12.2 by developing an underutilized freeway parcel with a use that assists in providing a strong fiscal base, and that is within a short distance from freeway interchanges. The project would be a quality industrial development that blends in with the adjacent office developments, and employs architectural elements and materials compatible with Agoura Hills and landscaping that provides an attractive buffer of the building from adjacent rights-of-way.

Goal LU-15. Quality Business Park. A diversity of business parks accommodating office and light industrial uses that provides a variety of job opportunities for Agoura Hills' residents.

- *Policies LU-15.1. Diversity of Business Park Uses.* Provide for a variety of business park uses that offer job opportunities for Agoura Hills' residents, including office, light industrial, and research development.

The project complies with Goal LU-15 and Policy LU-15.1 by providing a more specialized employment source amongst more general office uses along the corridor.

Goal LU-16. Well Designed and Attractive Business Parks. Business park and light

industrial districts that are designed as an attractive working environment and valuable place to do business.

- *Policies LU-16.1. Site Planning.* Require that new and renovated business park development projects are designed to accommodate safe and convenient walking, biking and transit, and exhibit a high-quality, attractive, and cohesive “campus environment”, characterized by the following:
 - Location of buildings around common plazas, courtyards, walkways, and open spaces, including amenities for the comfort of employees, such as outdoor seating areas.
 - Incorporation of landscape that enhances a park-like setting along property edges, building frontages, and to break the visual continuity of surface parking lots.
 - Common signage program for tenant identification and way-finding.
 - Readily observable site access, entrance driveways, building entries, and pedestrian paths through parking lots to create a safe haven for pedestrians and minimize conflict between services, private automobiles and pedestrians.

The project complies with Goal 16 and Policy LU-16.1 by providing a campus-like environment whereby buildings and have individual entrances to tenant spaces, with the warehouse and loading areas separate from pedestrian accesses, and are placed around a central oak tree. The project provides outdoor seating for the employees near the employees entrances. The project provides 50 percent canopy coverage throughout the parking lot, and the perimeter of the parcel is generally landscaped. The proposed signage program is discrete and at the same provides clear directions to each tenant space and identity to each building and businesses within it. The parking lot is treated with different materials, and textures to separate the vehicular from the pedestrian paths in order to provide a safe environment. Special paving is provided from parking spaces to the buildings at three locations in the parking lot.

- *Policies LU-16.2. Development Form and Architecture.* Require that new and renovated business park, office, and supporting buildings are designed to convey a unified and high-quality character in consideration of the following principles:
 - Modulation of bulking, mass, height, and elevations articulation of building elevations, with particular sensitivity to views along the freeway corridor.
 - Avoidance of blank building walls that internalize uses with no outdoor orientation to public spaces.

- Architectural design vocabulary, articulation, materials, and color palette that are generally consistent, but allow for some variation.
- Integration of signage with the buildings' architectural style and character.
- Architectural treatment of parking structures consistent with their primary commercial office building including incorporation of retail and services uses along the periphery.

The project complies with Policy LU-16.2 as the buildings are placed strategically in order to first screen them on the site as viewed from the freeway corridor and Agoura Road, and second, maintain a view of the landmark oak tree from the same rights-of-way. The buildings are below the freeway and Agoura Road travel lanes, to help in minimizing the appearance of the two-story buildings and further protect the views of the hillsides south of Agoura Road and residential development across the freeway. The buildings are divided into multiple-tenant spaces with a choice of orientations to various vistas. The buildings are simple in design and in subdued colors, which is consistent with the adjacent office structures along the corridor. The signage is compatible with the building architecture in that it is simple and non-illuminated, made with white letters against a brown background and attached to the patio cover over the main entries. The signage provides identification for each individually owned building, and for the site as a whole, which includes primary and secondary building-mounted signs and ground-mounted signs. The buildings exhibit well-articulated architecture, modulating the mass through design features, such as steel awnings and balconies. The buildings are low-profile, less than the maximum height allowed, and reflect natural materials and colors, such as stone-like tile clad elevations and brown painted walls and trims.

The light industrial park would be compatible with the aesthetics of the area as the project is below the freeway corridor and Agoura Road, which minimizes the visual impacts of the new structures. The parking is distributed throughout the site evenly so as to not cause large expanses of paved surfaces resulting in a heat-island effect. The project uses earth tone colors and natural materials as accents. Two types of stamped concrete are used at the entrance of the driveways and in the drive-aisle around the landmark oak tree to delineate the vehicular path from the loading and unloading zones, and at the same time, enhance the oak tree surroundings. The landmark oak tree would remain and would act a focal point on the site. The remainder of the site is landscaped with numerous oak trees that provide shade coverage and other plant species that reflect the natural surroundings. The proposed signage is appropriately dispersed on the buildings, and property. Tenants are to be identified by a vinyl appliqué on each door of each tenant space. An emphasis was placed on identifying the buildings since each building will be owned separately. The signs are not illuminated and placed under the balcony immediately above the main entrance of each building.

M. Environmental Review

A Draft Initial Study/Mitigated Negative Declaration (IS/MND) was prepared for this project, in compliance with the California Environmental Quality Act (CEQA). The IS/MND concluded that, although potentially significant impacts were identified for biological resources, cultural resources, geology and soils, noise, and transportation/traffic, the implementation of mitigation measures would reduce impacts to a less than significant level. These measures include BIO-1, that would require pre-construction surveys for potential special-status wildlife species; BIO-2 to conduct nesting birds surveys; BIO-3 that would require the preparation of a Habitat Mitigation and Monitoring Program of the loss of 0.036 acres of California Department of Fish and Wildlife jurisdictional wetland/riparian habitat consisting of Red willow Woodland Alliance; BIO-4 to construct fencing to protect the remaining riparian wetland area; BIO-5 to mitigate the removal of, and encroachment into oak trees; BIO-6 that outlines measures to protect the remaining oak trees; CR-1 and CR-2 to protect unanticipated cultural resources discovered during construction activities; GEO-1 to incorporate the applicant's and the City's Geotechnical and Geological Consultants' recommendations for final design and construction; NOI-1 that would incorporate noise attenuating features in the buildings and NOI-2 to minimize noise impacts on the property to the west; TRA-1 would reduce the impacts to the circulation system to less than significant impacts by paying a fair share of the cost to install a traffic signal at a nearby intersection.

The IS/MND further concluded that the project will result in either less than significant impacts or no impacts depending on the issue area, to aesthetics, hydrology and water quality, population and housing, public services, recreation, utilities and service systems, greenhouse gas emissions, hazards and hazardous materials, and air quality. Although air quality impacts were found to be less than significant, the IS/MND lists standard dust minimizing measures to be implemented during construction, as recommended by the South Coast Air Quality Management District (SCAQMD). The IS/MND finally concluded that there would be no impacts to land use and planning and mineral resources. The Draft IS/MND was circulated for public review from July 28, 2016 to August 29, 2016. The Notice of Availability and Notice of Intent to Adopt the MND (NOA/NOI) was published in the Acorn newspaper on July 28, 2016, and posted at City Hall, the Agoura Hills Library, and at the City Recreation Center, as well as on the City's website. The NOA/NOI was also mailed to public and regulatory agencies and interest groups that typically receive CEQA document notices. A hard copy of the IS/MND was made available for public review at the Planning Counter at City Hall and at the Agoura Hills Library, and the document was posted on the City's website. The City received three (3) comments on the Draft IS/MND. Comments received during the public review period were addressed in writing as part of the Response to Comments section of the IS/MND (refer to Final IS/MND Section 7). The Final IS/MND includes the Responses to Comments and the Mitigation Monitoring Program (refer to Section 6 in the Final IS/MND), which outlines

when each mitigation measure will be implemented and what entity is responsible for ensuring it is implemented.

A copy of the Final IS/MND has been posted on the City's website. A notice of the availability of the Final IS/MND and the Planning Commission hearing to consider adoption of the Final IS/MND has been published in the Acorn and sent to the entities on the CEQA document mailing list. All persons and entities that provided comments on the Draft IS/MND have been provided with a notice of the public hearing and a copy of the Responses to Comments.

Pursuant to CEQA, to adopt the IS/MND, the Planning Commission must find that it independently reviewed the IS/MND and all comments received regarding the document, and based on the whole record before it, finds that: (1) the IS/MND was prepared in compliance with CEQA and the City's local CEQA Guidelines; (2) that City staff has correctly concluded that there is no substantial evidence that the Project will have a significant effect on the environment; and (3) the IS/MND reflects the independent judgment and analysis of the Planning Commission. These findings are outlined in the Draft Resolution for the Site Plan/Architectural Review application (Attachment 2).

III. RECOMMENDATION

Based on the foregoing analysis, staff recommends approval of the project. Attached for the Planning Commission's review and approval is a draft resolution for adoption of the Initial Study/Mitigated Negative Declaration, and draft resolutions and conditions of approval for: Site Plan/Architectural Review Case No. SPR-01048-2015; Oak Tree Permit Case No. OAK-01049-2015; Sign Permit Case No. SIGN-01069-2015; and Vesting Tentative Tract Map No. 73890 (Case No. TRM-01170-2015).

IV. ATTACHMENTS

1. Draft Resolution for the Initial Study/Mitigated Negative Declaration, with Exhibit A (the Final IS/MND and Mitigation Monitoring Program)
2. Draft Resolution for the Site Plan/Architectural Review and Oak Tree Permit with Exhibit A for the Conditions of Approval
3. Draft Resolution for the Sign Permit with Exhibit A for the Conditions of Approval
4. Draft Resolution for the Vesting Tentative Tract Map with Exhibit A for the Conditions of Approval
5. Vicinity/Zoning Map
6. Reduced Photocopies of the Plans with Color Renderings and Photo-Simulations
7. Photographs of the Existing Site and of the Color and Material Board

Planning Commission

Case Nos. SPR-01048-2015, OAK-01049-2015, SIGN-01069-2015 & VTTM 73890-TRM-01170-2015

Page 21 of 21

Case Planner: Valerie Darbouze, Associate Planner



**ATTACHMENT 1
EXHIBIT A**

**FINAL INITIAL STUDY-
MITIGATED NEGATIVE DECLARATION WITH
MITIGATED MONITORING PROGRAM
(Under Separate Cover)**



ATTACHMENT 1

**DRAFT RESOLUTION FOR
FINAL INITIAL STUDY-
MITIGATED NEGATIVE DECLARATION
WITH
EXHIBIT A
FINAL INITIAL STUDY-
MITIGATED NEGATIVE DECLARATION WITH
MITIGATED MONITORING PROGRAM
(Under Separate Cover)**

RESOLUTION NO. 16-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, ADOPTING THE INITIAL STUDY/MITIGATED NEGATIVE DECLARATION; MAKING ENVIRONMENTAL FINDINGS PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT; AND ADOPTING A MITIGATION MONITORING PROGRAM FOR THE AGOURA LANDMARK PROJECT LOCATED AT 29621 AGOURA ROAD (CASE NOS. SPR-01048-2015; OAK-01049-2015; SIGN-01069-2015; AND VTTM 73890-TRM-01170-2015).

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Agoura Landmark, L.P. with respect to the real property located at 29621 Agoura Road (Assessor Parcel No. 2061-003-027), requesting approval of a Site Plan/Architectural Review (Case No. SPR-01048-2015); an Oak Tree Permit (Case No. OAK-01049-2015); a Sign Permit (Case No. SIGN-01069-2015); and Vesting Tentative Tract Map No. 73890 (Case No. TRM-01170-2015) as part of the Agoura Landmark Project (the "Project").

A. The above noted application requests have been processed in the time and manner prescribed in state and local law, including the California Environmental Quality Act ("CEQA"), the CEQA Guidelines, and the City's Local CEQA Guidelines, and, pursuant to CEQA, the City is the Lead Agency for the project.

B. In accordance with CEQA, the CEQA Guidelines, and the City's Local CEQA Guidelines, an Initial Study/Mitigated Negative Declaration (IS/MND) was prepared. The following environmental issue areas were addressed in the IS/MND: aesthetics; agriculture resources; air quality; biological resources; cultural resources; geology and soils; greenhouse gases; hazards and hazardous materials; hydrology and water quality; land use and planning; mineral resources; noise; population and housing; public services; recreation; transportation/traffic; and utilities and service systems. The following issue areas were found to have potentially significant impacts that can be reduced to a less than significant level with incorporation of mitigation measures identified in the IS/MND: biological resources; cultural resources; geology and soils; noise; and transportation and traffic. All other issues areas had either no impacts or less than significant impacts.

C. A Notice of Availability/Notice of Intent (NOA/NOI) to adopt the IS/MND was circulated for public review from July 28, 2016 to August 29, 2016, as required by

law. The NOA/NOI, with the availability of the IS/MND for public review noted, was duly noticed in the local newspaper, and posted at City Hall, the City Recreation Center, and the Agoura Hills Library in accordance with state law. A copy of the IS/MND was made available for review on the City's website, at the Planning Counter at City Hall, and at the Agoura Hills Library. The IS/MND was circulated to the State Clearinghouse of the State of California's Office of Planning and Research.

D. The City accepted and responded in writing to comments on the IS/MND received during the public review period. Both the comments and the City's written responses thereto were incorporated in the Final IS/MND. Only minor changes to item XV of Section 4.0 of the IS/MND for clarification purposes were required as a result of the comments. The changes do not substantially revise, introduce new information or otherwise affect the conclusions of the IS/MND, and do not require recirculation of the document for public review pursuant to CEQA Guidelines Section 15073.5. The Final IS/MND consists of the IS/MND, comments and responses to the comments, and the Mitigation Monitoring Program (MMP), and is attached hereto as Exhibit A.

E. On October 20, 2016, the Planning Commission conducted a duly noticed public hearing to consider the Final IS/MND and the Project, during which opportunity was given to address the adequacy of the Final IS/MND. All comments regarding the Final IS/MND raised during the hearing were considered by the Planning Commission.

F. The Planning Commission finds that the IS/MND was completed in compliance with the provisions of CEQA and the CEQA Guidelines promulgated pursuant thereto, and the City's Local CEQA Guidelines, and is legally adequate. The Planning Commission has reviewed and considered the contents of the Final IS/MND, along with any comments received during the public comment period, prior to deciding whether to approve the application for the Project.

G. The Planning Commission finds, on the basis of the whole record before it, that there is no substantial evidence that the Project will have a significant effect on the environment. Feasible mitigation measures have been incorporated into the Project IS/MND that reduce potential impacts to a less than significant level.

H. The Final IS/MND reflects the Planning Commission's independent judgment and analysis.

I. The Planning Department of the City of Agoura Hills is the custodian of records, and the documents and other materials that constitute the record of proceedings upon which this decision is based are located at the City of Agoura Hills, 30001 Ladyface Court, Agoura Hills, CA 91301.

Section II. The Planning Commission of the City of Agoura Hills, California, exercising its independent judgment and analysis, and after considering the administrative record, hereby adopts the Final IS/MND and Mitigation Monitoring Program for the Project.

PASSED, APPROVED AND ADOPTED this 20th day of October, 2016, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

John O'Meara, Chairperson

ATTEST:

Doug Hooper, Secretary



ATTACHMENT 2

**DRAFT RESOLUTION FOR
THE SITE PLAN/ARCHITECTURAL REVIEW
AND
OAK TREE PERMIT
WITH
EXHIBIT A FOR THE
CONDITIONS OF APPROVAL**

RESOLUTION NO. 16-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01048-2015 AND OAK TREE PERMIT CASE NO. OAK-01049-2015 FOR THE CONSTRUCTION OF A LIGHT INDUSTRIAL PROJECT NAMED AGOURA LANDMARK LOCATED AT 29621 AGOURA ROAD.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Agoura Landmark, L.P., with respect to the real property located at 29621 Agoura Road (Assessor's Parcel No. 2061-003-027), requesting approval of a Site Plan/Architectural Review to construct a new 69,852 square-foot, one- and two-story light industrial business park on a vacant parcel; and a request for an Oak Tree Permit to remove seven (7) oak trees and encroach into the protected zone of sixteen (16) other oak trees for the Agoura Landmark Project (the "Project").

Section II. In accordance with the California Environmental Quality Act (CEQA), the City provided public notice of the intent to adopt an Initial Study/Mitigated Negative Declaration (IS/MND) and a Mitigation Monitoring Program (MMP) for this Project. On October 20, 2016, the Planning Commission held a public hearing to review the IS/MND and MMP. Upon the close of the public hearing, and based upon the initial study, public comments and the record before the Planning Commission, the Planning Commission adopted Resolution No. 16-_____, adopting the IS/MND, making environmental findings pursuant to CEQA, and adopting the MMP for the Project. Resolution No. 16-_____ and the findings therein are hereby incorporated by this reference as though set forth in full.

Section III. The Planning Commission of the City of Agoura Hills considered the applications at a public hearing held on October 20, 2016 at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Site Plan Review. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9677.5 of the Agoura Hills Zoning Ordinance, that:

A. The proposed use, as conditioned, is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the

use is located, and will comply with each of the applicable provisions of the Zoning Ordinance. The property designation allows for the development of a light industrial business park and the proposal meets the development standards for the Business Park-Manufacturing/Freeway Corridor Overlay district (BP-M-FC) relative to use, lot coverage, parking, access, circulation, amenities, landscaping, and tree canopy coverage.

B. The proposed use, as conditioned, and the manner in which it will be operated or maintained, will not be detrimental to the public health, safety, or general welfare. The buildings will be constructed to comply with the most recent Building Code requirements. The proposed use is subject to the Zoning Ordinance standards with respect to noise, light, and operational standards. Limited lighting and incorporation of majority native landscaping will minimize the impacts on the low density development and open space south of Agoura Road. The driveways and distribution of the parking were designed to facilitate truck circulation and limit conflicts between pedestrian and commercial vehicles. The project's finished pad elevation will be below the adjacent freeway and Agoura Road will help screen the project from these roadways and travel lanes. The access in and out of the site is designed to maximize safety in the right-of-way. The placement and design of the buildings will preserve the light, air, and privacy of the adjacent parcels by maximizing the side yard setback adjacent to the properties and by avoiding the drainage easement.

C. The proposed use, as conditioned, will not conflict with the character and design of the buildings and surrounding area, and is compatible with the surrounding properties. The design of the proposed development will provide a desirable environment for its occupants, as well as for its neighbors. The project is aesthetically of good composition, materials, textures, and colors. The proposed building design is compatible with the variety of architectural styles in the area. The buildings are below the maximum height allowed in the Zoning Ordinance, and placed below the adjacent grade to minimize visual impacts to motorists on the freeway and on Agoura Road. The project is compatible with the City's low intensity development style by remaining below the maximum allowed building coverage and incorporating landscaped areas into the site plan, and by maintaining a low profile building structure. The project design successfully incorporates the structures with on-site pedestrian and vehicular circulation. The project is designed to preserve the landmark oak tree, which will be the project's visual focus.

D. The proposed use, as conditioned will comply with each of the applicable regulatory provisions of the regulatory provisions of the Zoning Ordinance. The future tenants of this property that are permitted in the Business Park-Manufacturing (BP-M) zone and their business operations will operate indoors. The building coverage, height, and setback are within the BP-M district requirements. The low building coverage (28 percent) allows ample room for parking and landscaping. All the parking is provided on-site and is evenly distributed to serve each individual building adequately.

E. The project, as conditioned, is consistent with the City's General Plan Goal LU-2, Policy LU-2.3, Goal LU-12, Policy LU-12.2, Goal LU-15, Policy LU-15.1, Goal LU-16, and Policies LU-16.1 and LU-16.2 in that it the project complies with the development

standards of the Business Park-Manufacturing zone and will include light industrial use of the property, which provides for larger scale businesses while remaining in scale with the zone's development standards. The project provides employment opportunities for a variety of industrial uses. The project develops an underutilized freeway parcel, providing for a strong fiscal base. The project will be equally accessible from two major freeway interchanges.

The project complies with Goal 16 and Policy LU-16.1 specifically by providing a campus-like environment whereby buildings have individual entrances to tenant spaces, and are placed around a central oak tree. The project provides outdoor seating for the employees near the employee entrances. The project provides 52 percent canopy coverage throughout the parking lot, and the perimeter of the parcel is generally landscaped. The proposed signage program is discrete and provides clear directions to each tenant space and identity to each building and businesses within it. The parking lot is treated with different materials, and textures to separate the vehicular from the pedestrian paths in order to provide a safe environment. Special paving and pedestrian access are provided from parking spaces to the buildings at three locations in the parking lot, in the loading and unloading areas, and to define the vehicular circulation around the landmark oak tree.

The project complies with Policy LU-16.2 as the buildings are placed strategically in order to first screen them on the site as viewed from the freeway corridor and Agoura Road, and second, maintain a view of the landmark oak tree from the same rights-of-way. The buildings are below the freeway and Agoura Road travel lanes, to help in minimizing the appearance of the two-story buildings and further protect the views of the hillsides south of Agoura Road and residential development across the freeway. The buildings are divided into multiple-tenant spaces with a choice of orientations to various vistas. The buildings are simple in design and in subdued colors, which is consistent with the adjacent office structures along the corridor. The signage is compatible with the building architecture in that it is simple and non-illuminated, made with white letters against a brown background and attached to the patio cover over the main entries. The signage provides identification for each individually owned building, and for the site as a whole, which includes primary and secondary building-mounted signs and ground-mounted signs. The buildings exhibit well-articulated architecture, modulating the mass through design features, such as steel awnings and balconies. The buildings are low-profile, less than the maximum height allowed, and reflect natural materials and colors, such as stone-like tiles clad elevations and brown painted walls and trims.

The light industrial park would be compatible with the aesthetics of the area as the project is below the freeway corridor and Agoura Road, which minimizes the visual impacts of the new structures. The parking is distributed throughout the site evenly so as to not cause large expanses of paved surfaces resulting in a heat-island effect on the environment. The project uses earth tone colors and natural materials as accents. Two types of stamped concrete are used at the entrance of the driveways and in the drive-aisle around the landmark oak tree to delineate the vehicular path from the loading and unloading zones, and at the same time, enhance the oak tree surroundings. The landmark oak tree would remain and would act as a focal point on the site. The remainder of the site is

landscaped with numerous oak trees that provide shade coverage and other plant species that reflect the natural surroundings. The proposed signage is appropriately dispersed on the buildings and property. Tenants are to be identified by a vinyl appliqué on each door of each tenant space. An emphasis was placed on identifying the buildings since each building will be owned separately. The signs are not illuminated and placed under the balcony immediately above the main entrance of each building.

F. The proposed use, as conditioned, preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The development will provide for an opportunity for landscaping, including oak trees, and be an aesthetic improvement of the area with its attractive design and architectural style that exhibits natural colors and simple decorative features. The site design of the project is consistent with the Zoning District standards, particularly with regard to the campus-like setting. The lower scale project in terms of building height and coverage is consistent with the low-intensity development encouraged in this area of the City, near open space areas.

Section VI. Architectural Review. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9677.7.G. of the Agoura Hills Zoning Ordinance, that:

A. The proposed use, as conditioned, is consistent with the General Plan, any specific plans, and any design standards adopted by the City Council. The project complies with the City General Plan Goal LU-2 and Policy LU-2.3 in that the new use provides new and diversified employment opportunities, in the project and along the corridor as a whole, and at the same time a potential for support services to the surrounding businesses. The project complies with Goal LU-12 and Policy LU-12.2 by developing an underutilized freeway parcel and within a short distance from two equally distant freeway interchanges and by developing a quality project that blends in with the adjacent office developments. The project complies with Goal LU-15 and Policy LU-15.1 by providing a more specialized employment source amongst more general office uses along the corridor. The project complies with Goal LU-16 and Policy LU-16.1 by providing a campus-like environment whereby buildings are articulated and have individual entrances to tenant spaces with the warehouse and loading areas separate from pedestrian access, and are placed around a landmark oak tree. The project provides outdoor seating for the employees near the employees' entrances. The project provides 52 percent canopy coverage throughout the parking lot and the perimeter of the parcel is generally landscaped. The proposed signage is discrete and at the same provides clear directions to each tenant space and identity to each building. The parking lot is treated with different material design and texture to separate the vehicular from the pedestrian paths in order to provide a safe environment. The project complies with Policy LU-16.2 despite its industrial use designation in that the buildings were placed strategically in order to first screen the other buildings on the site as viewed from the freeway corridor and a public street and second, maintain a view of the landmark oak tree from the same rights-of-way. The buildings are below the freeway and Agoura Road travel lanes, to help in screening the two-story buildings and further protect the views of the hillsides south of Agoura Road and the residential development across the freeway on the hillsides. The

buildings are divided into multiple-tenant spaces with a choice of orientations to various vistas. The buildings are simple in design while providing large expanses of glazing and subdued colors which is consistent with the adjacent office structures along the corridor. The signage serves each tenant equally while providing identification for each individually owned building, and for the site as a whole. The project is named Agoura Landmark as evidenced by the large, centrally landmark oak tree.

B. The design and location of the proposed development, as conditioned, and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood; and that it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and that it will not create traffic hazards or congestion. The project is designed with a campus-like setting around a landmark oak tree and the lower profile, size and design style of each building and its placement, the proposed development and its relationship to existing developments will increase the desirability of investment or occupation in the neighborhood. The proposed development will not interfere with the use and enjoyment of existing developments in the area. The site safely separates pedestrian and vehicular circulation and maintains the interior courtyard for loading and unloading of trucks. The project provides three access points to facilitate vehicular circulation and minimize congestion. The project is located at a midpoint between two freeway interchanges, the Reyes Adobe and Kanan Interchanges, which will disperse traffic efficiently away from the development without affecting nearby properties.

C. The proposed use, as conditioned, is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of the City. As conditioned, the project layout blends in with the surrounding development and open space environment in terms of scale and intensity of development preservation of views and hillsides and use of native landscaping. The building and site design are attractive and reflect the Agoura Hills aesthetics building style, natural colors and low profile campus-like layout. Access to the site via three driveways helps divide the traffic into three egress/ingress points limiting congestion at any one location. Truck access will be provided in the interior portions of the site with customer access on the perimeter and safely segregating pedestrian and vehicular traffic. The development will improve the previously unused parcel and provide an opportunity for additional landscaping and buffering from freeway noise.

D. The design of the proposed development, as conditioned, provides a desirable environment for its occupants, as well as for the project's neighbors, because the project is aesthetically of good composition, materials, textures, and colors. The buildings blend with the newer and older adjacent buildings mostly occupied by office uses, and with the overall image of the City's especially in the freeway corridor. The project is compatible with the City's low-intensity development style with a low building coverage and height. The project provides attractive design features, landscaping, and pedestrian amenities, such as seating areas. The parking associated with the uses is all contained on the property and also evenly distributed on the site to serve each individual building.

E. The proposed use, as conditioned, complies with all applicable requirements of the district, including pertaining to height, setbacks, and building coverage in which it is located and all other applicable requirements Light industrial uses are permitted uses in the BP-M-FC zone.

F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare. The buildings will be constructed to comply with the most recent Building Code requirements. Building occupants are restricted to operating indoors only and are subject to the Zoning Ordinance standards with respect to noise, light, and operation. Restricted lighting will prevent disturbance of open space and low intensity development south of Agoura Road. The driveways and distribution of the parking were designed to limit conflicts between pedestrian and vehicles by separating loading and unloading areas from pedestrians and providing multiple ingress and egress points. The access in and out of the site maximizes safety in the right-of-way by spreading the number of vehicles over three possible access points and avoiding the stacking of vehicles in the right-of-way and impacts to street traffic. The placement and design of the buildings with the loading and unloading areas situated toward the center of the site facing the interior courtyard, not the site perimeter, will preserve the light, air, and privacy of the adjacent parcels.

Section VII. Freeway Corridor Overlay. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds:

The purpose of the Freeway Corridor (FC) Overlay district is to recognize the importance of the land use, architectural design, and appearance of development within the freeway corridor to the City's image. Projects in the FC naturalistic and native landscaping, particularly oaks; preserve key vistas to the Santa Monica Mountains; screen unsightly uses; exhibit a low intensity and semi-rural development style; convey a high quality image; and use compatible colors and materials to preserve and enhance the scenic quality of the freeway corridor.

A. Per the FC Overlay, the project is consistent with the City's semi-rural character and does not overwhelm the City's low-intensity development style. The project, which is below the maximum building coverage allowed (about 28 percent versus 30 percent), is proposed to be developed on a relatively large site that allows for ample space between on- and off-site structures.

B. The project preserves the views of Ladyface Mountain and the Santa Monica Mountains. The building is to be constructed from the lowest elevation possible, considering the topography of the site, and maintains the natural grade differential between the building pad and both Agoura Road and the freeway without the need for tall retaining walls as required by the FC overlay district. The building is set back 39 feet from Agoura Road and 70 feet from the freeway corridor, minimizing the visual impacts from the building massing along the freeway, the hillsides south of Agoura Road, north of the

freeway corridor, and adjacent properties are minimized. The height of the building, at 27 feet, is significantly below the elevation of the adjacent Agoura Road and freeway, resulting in an effective appearance of approximately 24 feet from Agoura Road and between and 18 feet from the freeway. This allows for maintenance of views from the site and from off-site to the Santa Monica Mountains. The site design maintains a substantial open space buffer between Agoura Road and the front of the building due to a flood control channel easement restriction, preserving native oak trees along the frontage.

C. The landscaping compliments the natural setting of the region. The project includes 24 oak trees in the Landscape Plan, which are a combination of mitigation replacement trees and those required in the Municipal Code based on the new construction square footage. The remaining oak tree mitigation will be collected as an in-lieu fee, as there is insufficient room on-site to accommodate all the necessary oak trees. The project, as conditioned, will incorporate a majority of native tree and plant species, including oak trees.

D. The site layout, with the warehouse components of the buildings facing an interior courtyard, and the building front entrances along the perimeter oriented to the adjacent lots and rights-of-way, serves to screen the more unsightly loading and unloading activities of the industrial park from the public. Trash enclosures, as well as retaining walls, which are lower than the maximum six-foot requirement of the Municipal Code, would not be widely visible from the freeway corridor either because they are perpendicular to the freeway or screened by buildings. Proposed landscaping, including trees along the site perimeter, would further screen the development and any potential unsightly uses from users of the site, as well view off-site.

E. The project has an attractive parking lot layout in that the shape and siting of the building on the property allows parking areas to be situated evenly on the site, and adequately landscaped, avoiding vast expanses of uninterrupted parking spaces. Pedestrian access into the building is provided along the exterior perimeter with parking in proximity, which maximizes the efficiency of the parking lot.

F. The high quality image of the City, particularly along the freeway corridor, is preserved in that the buildings contain natural and subdued colors, natural looking materials and a simple style of architecture to blend in with the surrounding natural environment and the adjacent buildings that were constructed at different type periods. The landmark oak tree at the center of the property will remain, and the building complex is designed around this focal point; views to the oak from Agoura Road and the freeway will be preserved at the driveway openings. Architectural articulation is provided with awnings and balconies and there is variation of materials and colors on the building elevations. The height of the buildings below the maximum required height and existing grades of adjacent rights-of-way will reducing massing as viewed from the public rights-of-way and the roof equipment will be screened from public view. Because the building is set back greater distances from the property lines than both the FC Overlay and BP-M districts require, the visual impacts from the building massing along the freeway, Agoura Road, and adjacent properties are minimized.

Section VIII. Oak Tree Permit. In regards to the oak trees, the Planning Commission finds pursuant to Municipal Code Section 9657.5.C. that the removal of seven (7) oak trees and encroachment into the protected zone of sixteen (16) oak trees is required because their continued existence would prevent the development of the subject property. The proposed use will not endanger the health of the landmark oak tree and other oak trees to remain on the subject property and the removal of the trees will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated. The removal of these trees is necessary because their continued existence precludes the reasonable and efficient use of the property for a use otherwise authorized on that parcel. The removal of the seven (7) oak trees requires 40 mitigation oak trees; the encroachment will require 16 other mitigation oak trees. At least 24 will be planted on-site and a value of the remaining 32 mitigation oak trees will be established with an in-lieu fee collected per the requirements of the City of Agoura Hills, Oak Tree Preservation Guidelines, Appendix A. The new oak trees will help preserve the rustic character of the community and complement the nearby open space and natural areas in the Santa Monica Mountain Mountains foothills. The trees to be encroached upon and the remaining oak trees on-site will be protected per the requirements of the City Oak Tree Preservation Guidelines, Appendix A.

Section IX. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. SPR-01048-2015, and Oak Tree Permit Case No. OAK-01049-2015, subject to the conditions of approval, attached herein as Exhibit A, with respect to the property described in Section I hereof.

Section X. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 20th day of October, 2016, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

John O'Meara, Chairperson

ATTEST

Doug Hooper, Secretary

Exhibit A
CONDITIONS OF APPROVAL
(Case Nos. SPR-01048-2015 and OAK-01049-2015)

PLANNING DEPARTMENT

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of these permits shall not be effective for any purpose until the applicants have agreed in writing that they are aware of, and accept, all conditions of these permits with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plan, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of these permits is held or declared invalid, the permits shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permits shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in these permits or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Director of Planning.
9. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
10. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

11. Unless these permits are used within two (2) years from the date of City approval, Site Plan/Architectural Review Case No. SPR-01048-2015 and Oak Tree Permit Case No. OAK-01049-2015 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
12. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
13. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$0.56 per square foot for commercial construction.
14. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
15. Final Fuel Modification Plan approval by the County Fire Department Fuel Modification Unit is required prior to issuance of a Building Permit.
16. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
17. A pre-construction conference shall be held prior to the issuance of a Grading Permit, with all construction personnel involved with the grading operations.
18. If substantial changes are made to the approved Preliminary Landscape Plan, as determined by the Planning Director, the revised Landscape Plan shall be subject to approval by the Planning Commission.
19. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought up against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.
20. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from an against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter at applicant's expense.

21. Prior to the starting construction, the site shall be temporarily fenced and screened on all sides for the duration of the construction project. The height of the fence shall be six (6) feet and fence material shall be overlaid on the exterior with a dark, opaque vinyl screen, or other equivalent fencing and screening material as approved by the Planning Director. Temporary construction fencing and gates shall be maintained in good order at all times.
22. All proposed retaining walls shall be a maximum of six (6) feet high and consist of decorative materials and/or vegetative screening subject to review and approval by the Planning Director.
23. Vehicle routes and access to the property for construction purposes shall be subject to review and approval by the City Engineer.
24. No construction work or repair work shall be performed between the hours of 7:00 p.m. to 7:00 a.m., or any Sunday or holiday.
25. The applicant and delegated contractors shall participate with City staff in a pre-construction meeting prior to issuance of a grading permit. Any change in the construction team shall be reported to the Building and Safety Department in a timely manner.
26. A detailed Lighting and Photometric Plan shall be submitted for review and approval by the Planning Director, prior to issuance of a Building Permit. The Photometric Plan shall demonstrate a maximum of one foot candle at the property lines.
27. A copy of all communications between the City and the applicant pertaining to the approved plans shall be kept at the construction site at all times.
28. Inspections shall be scheduled by the applicant as required by the Building and Safety Department and coordinated with the Engineering and Planning Departments.
29. All transformers, other equipment, and refuse containers shall be screened from view. A plan demonstrating compliance with condition shall be reviewed and approved by the Planning Director.
30. All parking stalls shall be pinstriped. A minimum of 149 parking spaces shall be provided for the project per the Municipal Code parking requirements, and as indicated on the project plans.
31. The project shall provide one (1) bicycle rack space for every 25 parking spaces provided on site with a minimum of six (6) bicycle rack spaces.
32. In the event that revisions to the plans required during the plan check process cause substantial changes to the project design as determined by the Planning

Director, the project will be subject to additional review and approval by the Planning Commission

33. Pursuant to Municipal Code Section 9659, prior to the issuance of a Building Permit, the applicant shall submit an arts plan for the buildings that meets the requirements set forth by the City Council, for review and approval by the Planning Director. Prior to the issuance of occupancy for the building, the art shall be constructed and thereafter displayed for view by the public in a location approved by the Planning Director. If the approved art display is not maintained in good condition, or is altered without the permission of the Planning Director so that the improvements no longer conform to the approved arts plan, the Certificate of Occupancy may be revoked and the owner of the property on which the improvement is located may be subject to prosecution to the extent permitted by law.
34. The SPR-01048-2015 and OAK-01049-2015 are valid in conjunction with VTTM 73890 (Case No. TRM-01170-2015) and SIGN-01069-2015, and the approved conditions of approval therein.
35. Applicant shall obtain final approval from the Los Angeles County Fire Department Land Development Unit – Fire Prevention Division with respect to on-site emergency pedestrian access around the buildings, vehicular access to the building, fire hydrant location and water availability for the site, and other items as required by the Fire Department prior to issuance of any City permit.
36. Trucks shall not be allowed to be parked in proximity to the public right-of-way for the purpose of advertising the business located on or off the property.
37. The applicant shall pay the Transportation Impact fee at a rate of \$5,136 per 1,000 square feet of gross floor area.
38. The applicant shall comply with each mitigation measure listed in the Final Initial Study/Mitigated Negative Declaration and outlined in the Mitigation Monitoring Program for the project approved on October 20, 2016. The Mitigation Monitoring Program is hereby attached to these Conditions of Approval and incorporated herein.
39. A list of all project conditions of approval and mitigation measures found in the Initial Study/Mitigated Negative Declaration shall be included, along with a signed copy of the Resolution for Case Nos. SPR-01048-2015 and OAK-01049-2015, on the construction plans submitted prior to issuance of a Grading or Building Permit.
40. SCAQMD air quality measures (Rule 403) shall be adhered to and copied onto the cover sheets of the Grading Plans. They include:

- A. Minimization of Disturbance. Construction contractors should minimize the area disturbed by clearing, grading, earth moving, or excavation operations to prevent excessive amounts of dust.
- B. Soil Treatment. Construction contractors should treat all graded and excavated material, exposed soil areas, and active portions of the construction site, including unpaved onsite roadways to minimize fugitive dust. Treatment shall include, but not necessarily be limited to, periodic watering, application of environmentally safe soil stabilization materials, and/or roll compaction as appropriate. Watering shall be done as often as necessary, and at least twice daily, preferably in the late morning and after work is done for the day.
- C. Soil Stabilization. Construction contractors should monitor all graded and/or excavated inactive areas of the construction site at least weekly for dust stabilization. Soil stabilization methods, such as water and roll compaction, and environmentally safe dust control materials, shall be applied to portions of the construction site that are inactive for over four days. If no further grading or excavation operations are planned for the area, the area shall be seeded and watered until landscape growth is evident, or periodically treated with environmentally safe dust suppressants, to prevent excessive fugitive dust.
- D. No Grading During High Winds. Construction contractors should stop all clearing, grading, earth moving, and excavation operations during periods of high winds (20 miles per hour or greater, as measured continuously over a one-hour period).
- E. Street Sweeping. Construction contractors should sweep all onsite driveways and adjacent streets and roads at least once per day, preferably at the end of the day, if visible soil material is carried over to adjacent streets and roads.

BUILDING AND SAFETY DEPARTMENT

- 41. All exterior materials used for eaves, sidings, porch, patio, decks, canopies, carport and other similar structures shall meet the requirements of the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code.
- 42. A two percent (2%) slope away from the structure for drainage (on the first 5 feet) all around the new structure(s) shall be provided.
- 43. A note shall be added on the plans that all new or replaced windows will be tempered on at least one side of the dual pane, or a 20 minute rated window or glass blocks per Section 704A.3.2.2 of the 2013 California Building Code.

44. This project shall be subject to the 2013 California Codes, unless the project is submitted to the Building and Safety Department on or after January 1, 2017 at which point it will be reviewed under the 2016 California Codes as adopted by the City of Agoura Hills.
45. Fire Sprinklers will be required for all new structures per Section 903.2, Article VIII of the Agoura Hills Municipal Code 903.2.
46. A soils report is required to be submitted to the Building and Safety Department as part of the project review.
47. Los Angeles County Fire Department approval will be required for all new structures.
48. Las Virgenes Municipal Water District approval will be required.

PUBLIC WORKS/ENGINEERING DEPARTMENT

49. Prior to issuance of a building permit, applicant shall record Condominium Tract Map No. 73890 pursuant to the Subdivision Map Act and in accordance with City Code. A duplicate photo mylar of the recorded map shall be submitted to the Director of Public Works.
50. Prior to final map recordation, applicant shall provide a copy of proposed Covenants, Conditions, and Restrictions (CC&Rs), as applicable to the project, to the City Engineer for review and approval of the City Attorney. These CC& R's shall ensure, among other things, common ingress and egress, joint maintenance of all common access parking areas, utilities and drives as applicable to the project.
51. The applicant shall provide a Monumentation bond (i.e. cash deposit) in an amount calculated by the Engineering Department or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater, prior to issuance of a grading permit.
52. The applicant shall provide a preliminary title report not older than 30 days.
53. All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the Director of Public Works for review and approval.
54. For all work within a public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City

Engineer. Water plans shall be designed to meet Las Virgenes Municipal Water District standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Public Works/Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.

55. Prior to the issuance of a grading permit, applicant shall pay all applicable Transportation Impact Fees (TIF) to the Building and Safety Department.
56. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
57. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Public Works/Engineering Department until this detailed utility information is included on the plans.
58. Grading Plan shall show location(s) of all Oak trees within the vicinity of the site. Applicant shall adhere to all requirements pertaining to Oak trees as outlined in the Oak Tree conditions of approval.
59. The applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
60. Applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer as part of the plan check submittal.
61. Prior to issuance of permits from the Public Works/Engineering Department, this project will require a permit from the following agencies:
 - Los Angeles County Flood Control District (LACFCD)
 - Las Virgenes Municipal Water District
62. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. Contact Public Works/Engineering Department @ 818.597.7322 for approved City certification forms.

63. Applicant shall provide written permission from affected property owner prior to any off-site construction. Grading plans shall clearly show all details associated with this work. Said design shall be reviewed and approved by the Director of Public Works prior to issuance of a grading permit.
64. Prior to permitting, the applicant shall design full public improvements in accordance with City Code, Specifications, approved specific plan, and/or approved Conditions of Approval for the area.
65. The applicant shall design and construct road improvements along the project fronting Agoura Road and any necessary transitions. Said improvements shall include, but not be limited to, the installation of a new driveway approach. The design of the roadway improvements shall be reviewed and approved by the Director of Public Works during the plan check review. In addition, applicant shall pay a fair share toward construction of a traffic signal at Agoura and Roadside Roads.
66. Applicant shall overlay Agoura Road with concrete asphalt for all new project related service cuts in the roadway. The extent of the repairs shall be at the discretion of the Director of Public Works Director.
67. A trunk sewer line is available for connection by this project in Agoura Road (Ref. Sewer Plan Dwg #T105). Applicant shall use existing laterals, whenever provided, for connection to the public sewer system.
68. This property is within the LVMWD service area. Applicant shall make arrangements with LVMWD for those services and provide the City with written proof that all LVMWD fees have been paid at the time of building permit issuance.
69. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
70. A hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual, is required prior to the issuance of a grading permit. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
71. The proposed site/portion of site falls within a designated flood hazard area as indicated on the Los Angeles County Assessor's Map, and is subject to flooding in a 100 year frequency storm. This site plan shall comply with all provisions found in Article III- Chapter 7 (Floodplain Management) of the City's Municipal Code.
72. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall

specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites.

- Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
73. Prior to the approval of the Grading Plan and issuance of Grading Permit, a completed Low Impact Development (LID) Plan shall be submitted to and approved by the Engineering Department. The LID Plan shall comply with the requirements of the LID Ordinance and Los Angeles County LID Standards Manual. The LID Plan shall include the following information:
- Identification of whether the proposed project is a Designated or Non-Designated Project.
 - If the proposed project is a Designated Project, identification of the project category.
 - Feasibility of infiltration including a percolation report as part of a geotechnical report prepared by a geotechnical engineer.
 - Source control measure(s) proposed to be implemented
 - Calculation of the SWQDv.
 - Discussion on whether stormwater runoff harvest and use is feasible.
 - Stormwater quality control measure(s) proposed to be implemented.
 - Discussion of how the applicable water quality standards and total maximum daily loads (TMDLs) will be addressed (off-site mitigation projects only).
 - Proposed hydromodification controls and calculations (if necessary).
 - Proposed maintenance plan (if necessary).
74. Applicant shall obtain coverage under the State Water Resources Control Board's General Permit For Storm Water Discharges Associated With Construction Activity. Proof of filing a Notice of Intent (NOI) with the State for coverage under this permit is required prior to approval of the grading plan and issuance of grading permits. The applicant shall submit a copy of the Waste Dischargers Identification Number

(WDID) for coverage under the General Construction Permit to the Public Works/Engineering Department.

75. SWPPP Plan – Applicant shall prepare a Storm Water Pollution Prevention Plan (SWPPP), utilizing the model form in Appendix B of the 2003 CASQA Stormwater BMP Handbook for Construction at: www.cabmphandbooks.com and submit a copy of the plan to the City of Agoura Hills Engineering Department for review. A copy of the adopted SWPPP shall be maintained in the construction site office at all times during construction and the Site Superintendent shall use the plan to train all construction site contractors and supervisory personnel in construction site Best Management Practices, prior to starting work on the site.
76. Said SWPPP shall, among other things, ensure that the following minimum requirements are effectively implemented at all construction sites:
 - Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
77. Prior to certificate of occupancy, all remaining fees/ deposits required by the Public Works/Engineering Department shall be paid in full.
78. Prior to certificate of occupancy, all requirements including construction of improvements covered in Section 2, must be completed to the satisfaction of the City Engineer.
79. The Applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. Please note that no final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.

80. The applicant shall record a covenant for continued stormwater maintenance, using City-approved forms. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
81. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Public Works/Engineering Department. Any monuments damaged as a result of construction shall be reset to the City's satisfaction.
82. Upon receiving Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by City Engineer, to resolve said conflicts/issues. All items listed are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL

83. The applicant shall comply with all the items in the City Geotechnical Consultant's (GeoDynamics, Inc.) approval memorandum, which is incorporated herein by this reference, and the Geotechnical Site Evaluation Update (December 12, 2014) proposed for the project both of which are incorporated herein by this reference.

OAK TREES

84. All tree replacement, monitoring, and avoidance and minimization measures outlined in the Revised Oak Tree Report (Envicom, May 23, 2016) under Mitigation Measures (pages 12-14) and Recommendations (page 14) shall be implemented. Specifically, as stated in the Oak Tree Report, the following oak trees shall be planted onsite to mitigate for the trees that would be removed (including tree #85 that would be significantly encroached by the retaining wall): (16) 24-inch box coast live oak trees, (8) 36-inch box coast live oak trees, and eleven (8) 15-gallon (or larger) coast live oak trees.
85. Coast live oak trees shall be incorporated into the project landscape plan. If it is determined by the City Planning Director that there is insufficient land available to plant the full number of mitigation trees onsite, then the applicant may pay an in-lieu fee for the remainder of the mitigation requirement. The exact amount of the fee is to be determined by the City's Oak Tree Consultant, based on the appraised value of the trees, as determined by the International Society of Arboriculture Guide for Plant Appraisal (9th Edition), and approved by the City Planning Director prior to issuance of a building permit or grading permit, whichever occurs first. The in-lieu fee shall be paid to the City's Oak Tree Mitigation Fund prior to issuance of a grading permit or commencement of project construction, whichever occurs sooner.
86. The following trees will be permanently encroached by the parking lot and/or waterline that introduce impermeable surfaces: 1, 3, 6, 8, 7, 9, 10, 11, 13, 57, 61, 63, 64, 84, and 100 (Tree No. 85 will also be encroached; however, because the encroachment would be severe, this tree is treated as a removal). If permeable

surfaces (i.e., pavers with decomposed granite in-between) cannot be used within the protective zone of these trees for the parking lot and driveway, one 24-inch box oak tree of the same species shall be planted for each tree that will be encroached by (permanent) impermeable surface at a suitable location onsite as determined by a qualified arborist. Oak trees that will be planted for the aforementioned encroached trees shall be depicted on the Landscape Plan and shall depict the species, planting sizes, and planting locations, and shall be subject to review and approval by the City's Oak Tree Consultant. If there is not a suitable location to plant all mitigation oak trees on-site or at an off-site location (as determined by the city's oak tree consultant) for those trees that would be permanently encroached as indicated above, an in-lieu fee shall be paid for each tree that would be permanently encroached. The amount of the in-lieu fee for permanently encroached trees shall be based on the cost to purchase a 24-inch box oak tree, plus the estimated cost to plant the tree, and maintain the tree for one year, which shall be calculated by the City's Oak Tree Consultant.

87. All oak trees located on the property, including those that would be planted as shown on the landscape plan, shall be preserved in perpetuity.
88. All new subsurface ground disturbance that will occur within the protective zone of an oak tree shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant. If vegetation clearing or grading is not feasible within the Protective Zone with the use of hand tools, mechanical equipment may be allowed so long as a certified arborist is present to ensure that no impacts occur to the oak tree.
89. Prior to the start of any work or mobilization at the site, protective fencing shall be installed at the Protective Zone of preserved oak trees. The applicant or its consulting arborist shall consult the City's Oak Tree Consultant to determine the exact fencing configuration and appropriate fencing material, and submit a fencing plan subject to approval by the City's Oak Tree Consultant.
90. The applicant shall provide a minimum of 48 hours notice to the City Oak Tree Consultant prior to the start of approved work within the protected zone of any oak tree.
91. No grading, scarifying or other soil disturbance shall be permitted within the portion of a protected zone of any oak tree except as specifically required to complete the approved scope of work and in accordance with this Oak Tree Permit.
92. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
93. No irrigation or ground cover shall be installed within the protective zone of any existing oak tree unless specifically approved by the City Oak Tree Consultant and the Planning Director.

94. Prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
95. No pruning of live wood of an oak tree (including branches and roots) shall be permitted unless specifically authorized by the City Oak Tree Consultant and/or following an approved Oak Tree Permit. Any authorized pruning shall be performed by a qualified arborist under the direct observation of the applicant's oak tree consultant. All pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.
96. No herbicides shall be used within 100 feet of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
97. The applicant's consulting arborist shall submit certification letters for all work completed within the protected zone of an oak tree within five (5) working days of the completion of said work. The letter(s) shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

LANDSCAPING

98. The Final Landscape Plans shall substantially conform to the Landscape Preliminary Plan prepared by L. Newman Design Group, Inc., Landscape Architect dated 4-26-16, as approved by the City of Agoura Hills Planning Commission.
99. Any tree of heaven (*Ailanthus altissima*) found on-site is to be permanently eradicated. The Final Landscape Plans must contain a note to this effect and specify the method of eradication.
100. Prior to the approval of a grading permit, the applicant shall submit three (3) sets of Final Landscape and Irrigation Plans for review by the City Landscape Consultant and approval by the Planning Director. A California – licensed Landscape Architect shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans. The Landscape and Irrigation Plan shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.
101. At the time of the Final Landscape Plans submittal, the project Landscape Architect shall provide the City with written confirmation that the Landscape Plan is not in conflict with any requirements of the National Pollutant Discharge Elimination System

(NPDES) or Low Impact Development Standards (LID) as shown on the Civil Engineers Drawings.

102. Planting Plans shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees shall be 24" box size. The minimum size of shrubs shall be five (5) gallon except shrubs planted as groundcovers and/or as accent planting, which may be one (1) gallon size. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
103. The Final Landscape Plans shall include the following notes:
 - a. "The project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans".
 - b. Identification of the total square footage of the landscape area within the project.
104. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
105. With the Final Landscape Plans, three (3) copies of planting and irrigation details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, instillation details and post installation maintenance.
106. The approved landscaping shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
107. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
108. The Final Landscape Plan shall be approved by the Fuel Modification Unit of the County of Los Angeles Fire Department prior to the issuance of a Building Permit.
109. Landscaping and irrigation installation shall be subject to inspection and approval by the Planning Department prior to final Building Permit inspection.
110. The shrub planting throughout the site shall include a majority of California native plants that are adaptive to the Agoura Hills local and are suitable in the ornamental landscape environment.

SOLID WASTE MANAGEMENT

111. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
112. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
113. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END



ATTACHMENT 2

EXHIBIT 1

**DRAFT RESOLUTION FOR
THE SITE PLAN/ARCHITECTURAL REVIEW
AND OAK TREE PERMIT
WITH THE CONDITIONS OF APPROVAL**

**WITH EXHIBIT 1
FOR THE MITIGATED MONITORING PROGRAM
(MMP)**

#	Mitigation Measure	Action	Time of Clearance	Date & Status
BIO-1	<p>Pre-Construction Surveys for Special-Status Wildlife Species</p> <p>Prior to the commencement of ground or vegetation disturbing activities, including but not limited to grading and fuel modification, a qualified biologist(s) acceptable to the City Planning Department shall conduct two (2) pre-construction surveys for special-status wildlife species. The first survey shall be conducted within fourteen (14) days and the second survey shall be conducted within three (3) days of commencement of ground or vegetation disturbing activities. The pre-construction surveys shall incorporate appropriate methods and timing to detect potentially occurring special-status species. If a special-status species is found, avoidance of the species until it vacates the site is the preferred mitigation option. If special-status bats are found, and avoidance is not feasible, appropriate exclusionary devices shall be used, if applicable, that allow bats to exit but not enter the roost site. If special-status bats are found roosting in tree foliage of a tree that is to be removed, the tree shall be removed using a method approved by CDFW that will allow bats to escape. Bat maternity roosts shall be left in place until the biologist determines the bats are no longer raising young. If avoidance of a special-status species is not feasible, the species may be captured and transferred to an appropriate habitat and location where it would not be harmed by project activities, preferably to open space habitats in the vicinity of the project site. The City of Agoura Hills Planning Department and CDFW, if applicable, shall be consulted regarding the presence of a special-status species at the site. If a federally listed species is found, the USFWS shall also be notified. Capture and relocation shall be subject to approval by the City of Agoura Hills Planning Department and CDFW. A letter report summarizing the methods and results of the surveys and exclusion, capture, and relocation activities, if applicable, shall be submitted to the City of Agoura Hills Planning Department and CDFW prior to commencement of project activities.</p>	<p>Conduct Pre-Construction Surveys</p> <p>Prepare and submit letter report to City Planning Department and CDFW</p>	<p>Prior to the commencement of ground or vegetation disturbing activities</p>	

#	Mitigation Measure	Action	Time of Clearance	Date & Status
BIO-2	<p>Nesting Bird Surveys.</p> <p>To the extent feasible, the applicant shall not remove or otherwise disturb vegetation, prepare the site, or conduct any other construction related activities within the work areas to avoid impacts to breeding and/or nesting birds from February 1 through September 1, the recognized breeding, nesting and fledging season for raptor and bird species. If such activities in the work areas during the breeding and nesting season cannot be avoided, then prior to any ground or vegetation disturbing activities, the applicant shall have a qualified biologist/ornithologist acceptable to the City Planning Department conduct a survey of all breeding and nesting habitats within the work areas and vicinity within one (1) week of construction or vegetation clearing activities. The extent of the survey buffer area surrounding the site shall be established by the biologist to ensure that direct and indirect effects to nesting/breeding birds are avoided. A report discussing the results of the bird survey shall be submitted for review by the City Planning Department prior to any vegetation removal, site preparation or construction activity. If active nests are found within the survey area, activities within a 300-foot radius (500 feet for raptors) shall not be allowed until an appropriate buffer can be established. Limits of construction to avoid a nest site shall be established in the field with flagging and stakes or construction fencing. Activities within the buffer area shall be postponed or halted at the discretion of a biological monitor until the nest is vacated and juveniles have fledged, and there is no evidence of a second attempt at nesting. If a state or federally listed species is found, the CDFW and/or the USFWS, as applicable, shall be notified within 24 hours of the sighting, and construction work shall not occur until concurrence has been received that operations may proceed. The biologist shall record the results of the recommended protective measures described above to document compliance with applicable state and federal laws pertaining to the protection of native birds, and provide the documentation to the City Planning Department upon completion of the work and prior to issuance of a Certificate of Occupancy.</p>	<p>Conduct nesting bird survey</p> <p>Prepare and submit report discussing results to City Planning Department</p>	<p>Within one (1) week of construction or vegetation clearing activities</p>	

#	Mitigation Measure	Action	Time of Clearance	Date & Status
BIO-3	<p>Habitat Mitigation and Monitoring Program</p> <p>The project shall implement the requirements of the final approved Habitat Mitigation and Monitoring Program, which shall mitigate for permanent impacts to 0.036 acres (97 linear feet) of CDFW jurisdictional habitat consisting of the sensitive Red Willow Woodland Alliance on at least 1:1 ratio or a ratio acceptable to CDFW and any other applicable regulatory agencies.</p> <p>The Habitat Mitigation and Monitoring Program shall mitigate for permanent impacts to riparian habitat via an acceptable mitigation approach that involves one or a combination of restoration or enhancement of degraded in-kind habitats, preservation of in-kind habitats, or by a contribution to an in-lieu fee program approved by the City of Agoura Hills Planning Department and the CDFW.</p> <p>The Habitat Mitigation and Monitoring Program shall be developed by a qualified biologist, restoration ecologist or resource specialist and submitted to and approved by the City of Agoura Hills Planning Department in compliance with California Fish and Game Code 1602, prior to issuance of a grading permit for the project. In broad terms, this program shall at a minimum include:</p> <ul style="list-style-type: none"> • Description of the project/impact and mitigation sites; • Specific objectives; • Success criteria; • Plant palette identifying species, quantity, and size; • Planting methods; • Implementation plan; • Maintenance activities; • Monitoring plan; • Contingency measures; and • Detailed location map and photos of the mitigation site. 	Implement final Habitat Mitigation and Monitoring Program	Prior to issuance of a grading permit	

#	Mitigation Measure	Action	Time of Clearance	Date & Status
	<p>Success criteria shall at a minimum be evaluated based on appropriate survival rates and percent cover of planted native species, as well as eradication and control of invasive species within the restoration area.</p> <p>The target species and native plant palette, as well as the specific methods for evaluating whether the project has been successful at meeting the above-mentioned success criteria shall be determined by the qualified biologist, restoration ecologist, or resource specialist and included in the mitigation program. The Habitat Mitigation and Monitoring Program shall be prepared by the applicant’s biologist and submitted to the City Planning Department and CDFW for review and approval prior to issuance of a grading permit or commencement of construction, whichever occurs sooner.</p> <p>The mitigation project shall ideally be located on-site. If no feasible on-site mitigation location is available, as confirmed by the City Planning Director, an off-site location as close to the impact area as feasible (at least in the Malibu watershed) may be utilized, as approved by the City Planning Director. If there is no feasible off-site location, then the applicant shall contribute an in-lieu fee. The in-lieu fee shall be paid to an entity acceptable to the City Planning Department and the CDFW for use to restore or enhance habitat of the same or similar types as close to the impact area as possible, but at least within the watershed. The amount of the in-lieu fee shall be calculated by the applicant’s biologist and approved by the receiving entity, CDFW, and the City Planning Department. The in-lieu fee shall be paid, and evidence of payment provided in writing, prior to issuance of a grading permit or initiation of project construction, whichever occurs sooner.</p> <p>The mitigation project shall be implemented over a five-year period and shall incorporate an iterative process of annual monitoring and evaluation of progress and allow for adjustments to the program, as necessary, to achieve desired outcomes and meet success criteria. Annual reports</p>			

#	Mitigation Measure	Action	Time of Clearance	Date & Status
	discussing the implementation, monitoring, and management of the mitigation project shall be submitted to the City of Agoura Hills Planning Department and the CDFW. Five years after project start, a final report shall be submitted to the City of Agoura Hills Planning Department and CDFW, which shall at a minimum discuss the implementation, monitoring and management of the mitigation project over the five-year period, and indicate whether the mitigation project has been successful based on established success criteria. Restoration will be considered successful after the success criteria have been met for a period of at least two years without any maintenance or remediation activities other than invasive species control. The project shall be extended if success criteria have not been met at the end of the five-year period to the satisfaction of the City of Agoura Hills Planning Department and the CDFW.			
BIO-4	<p>Construction Fencing for Wetland</p> <p>Prior to the commencement of site preparation activities, sturdy temporary fencing shall be installed at the limits of grading to prevent inadvertent impacts to the wetland at the northeastern corner of the site. The fencing shall be monitored routinely throughout grading and construction to ensure that it remains in proper functioning condition.</p>	Install temporary protective fencing for wetland	Prior to commencement of site preparation	
BIO-5	<p>Oak Tree Replacement Plantings and Maintenance Program.</p> <p>To compensate for the loss of seven (7) coast live oaks (Oak Tree Nos. 4, 5, 14, 58, 59, 78 and 83) due to their removal, and the significant encroachment into the protected zone of one coast live oak (Oak Tree No. 85) which is expected to result in a loss, the applicant shall plant the following for each such tree removed: at least two (2) 24-inch box specimens, one (1) 36-inch box specimen, and one (1) 15-gallon or larger specimen of the same species, consistent with the City's Oak Tree Ordinance and Oak Tree Preservation Guidelines. The sixteen (16) 24-inch box, eight (8) 36-inch box, and eight (8) 15-gallon or larger trees (a total of 32 trees) shall be planted in a suitable on-site location and incorporated into the project Final Landscape Plan. The Final Landscape Plan shall depict the species, planting size, and planting locations, and shall be subject to review</p>	Submit Final Landscape Plan	Prior to issuance of grading permit or building permit, whichever occurs first	

#	Mitigation Measure	Action	Time of Clearance	Date & Status
	<p>and approval of the Planning Director, in consultation with the City Oak Tree Consultant, prior to issuance of a grading permit or commencement of construction activities, whichever occurs sooner. The planting shall be completed in accordance with the Oak Tree Planting and Replacement Program outlined in the City’s Oak Tree Preservation Guidelines, and the oak trees shall remain in perpetuity. If it is determined that there is insufficient land available on-site to plant the full number of trees, the applicant may pay an in-lieu fee for the remainder of the mitigation requirement. The exact amount of the fee is to be determined by the City Oak Tree Consultant, based on the average appraised value of the trees to be removed, as determined by the International Society of <i>Arboriculture Guide for Plant Appraisal (9th edition)</i>, and approved by the Planning Director. The in-lieu fee shall be paid to the City’s Oak Tree Mitigation Fund prior to issuance of a grading permit or commencement of project construction, whichever occurs sooner. The City Oak Tree Mitigation Fund is used to purchase open space land and plant trees.</p> <p>To compensate for potential impacts to thirteen (13) coast live oaks (Oak Tree Nos. 1, 3, 6-11, 13, 57, 61, 63, and 84) and two (2) valley oaks (Oak Tree Nos. 64 and 100) due to permanent encroachment into the protected zone resulting from project construction of impermeable surfaces, one (1) 24-inch box oak tree of the same species shall be planted at a suitable location on-site for each tree encroachment, and shown on the project Final Landscape Plan. Therefore, a total of fifteen (15) 24-inch box trees (13 coast live oak and 2 valley oak) shall be planted to mitigate for the encroachment impacts. The Final Landscape Plan shall depict the species, planting size, and planting locations, and shall be subject to review and approval of the Planning Director, in consultation with the City Oak Tree Consultant, prior to issuance of a grading permit or commencement of construction activities, whichever occurs sooner. The planted oak trees shall remain in perpetuity. The planting shall be completed in accordance with the Oak Tree Planting and Replacement Program outlined in the City’s Oak Tree Preservation Guidelines. If it is determined that there is insufficient</p>			

#	Mitigation Measure	Action	Time of Clearance	Date & Status
	<p>land available on-site to plant the full number of trees, the applicant may pay an in-lieu fee to the City Oak Tree Mitigation Fund for the remainder of the mitigation requirement. The exact amount of the in-lieu fee per tree encroached shall be calculated by the City Oak Tree Consultant and approved by the City Planning Director based on the cost to purchase the 24-inch box tree plus the cost to plant and maintain the tree for one (1)-year period. The City Oak Tree Mitigation Fund is used to purchase open space land and plant trees. If the applicant is able to incorporate permeable pavers rather than impermeable surfaces in the protected zone of the trees to the extent that a permanent encroachment is eliminated and the tree is considered preserved and protected, as confirmed by the Planning Director in consultation with the City Oak Tree Consultant, then mitigation for the tree encroachment may not be required.</p>			
BIO-6	<p>Oak Tree Preservation Program</p> <p>For oak trees on the site not proposed for removal as a part of the project, the project applicant shall submit an Oak Tree Preservation Program prepared by a qualified oak tree specialist for review and approval by the City Planning Department and City Oak Tree Consultant prior to the granting of a grading permit or commencement of construction, whichever occurs first. The Oak Tree Preservation Program shall establish measures to prevent the loss of oak trees to remain preserved on-site. The program shall include but not be limited to the following components:</p> <ul style="list-style-type: none"> • All oak trees located on the property that are not proposed for removal as part of the project, including those that would be planted as shown on the landscape plan, shall be preserved in perpetuity. • All new subsurface ground disturbance that will occur within the Protective Zone of an oak tree shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant. If vegetation clearing or grading is not feasible within the Protective Zone with the use of hand tools, mechanical equipment may be allowed so long as a certified arborist is present to ensure that 	Submit Oak Tree Preservation Program	Prior to the granting of a grading permit or building permit, whichever occurs first	

#	Mitigation Measure	Action	Time of Clearance	Date & Status
	<p>no impacts occur to the oak tree.</p> <ul style="list-style-type: none"> • Prior to the start of any work or mobilization at the site, protective fencing shall be installed at the Protective Zone of preserved oak trees. The applicant or their consulting arborist shall consult the City’s Oak Tree Consultant to determine the exact fencing configuration and appropriate fencing material, and submit a fencing plan subject to approval by the City’s Oak Tree Consultant. • The applicant shall provide a minimum of 48 hours notice to the City Oak Tree Consultant prior to the start of approved work within the protected zone of any oak tree. • No grading, scarifying or other soil disturbance shall be permitted within the portion of a protected zone of any oak tree except as specifically required to complete the approved scope of work and in accordance with this oak tree permit. • No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work. • No irrigation or ground cover shall be installed within the Protective Zone of any existing oak tree unless specifically approved by the City Oak Tree Consultant and the Planning Director. • Prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time. • No pruning of live wood of an oak tree (including branches and roots) shall be permitted unless specifically authorized by the City Oak Tree Consultant and/or following an approved oak tree permit. Any authorized pruning shall be performed by a qualified arborist under the direct observation of the applicant’s oak tree consultant. All pruning operations shall be consistent with ANSI A300 Standards – 			

#	Mitigation Measure	Action	Time of Clearance	Date & Status
	<p>Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.</p> <ul style="list-style-type: none"> • No herbicides shall be used within 100 feet of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant. • The applicant’s consulting arborist shall submit certification letters for all work completed within the protected zone of an oak tree within five working days of the completion of said work. The letter(s) shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval. 			
CUL-1	<p>Archaeological and Paleontological Resources</p> <p>Monitoring of all project related ground disturbing activities of sediments that appear to be in a primary context shall be conducted by a qualified archaeologist and/or paleontologist and Native American monitor qualified to identify Chumash and Gabrieleno resources, as approved by the City Planning Department. Archaeological monitoring shall be performed under the direction of an archaeologist meeting the Secretary of the Interior’s Professional Qualifications Standards for archaeology (NPS 1983). Paleontological monitoring shall be performed by a paleontologist meeting the Society of Vertebrate Paleontology’s Paleontological Resource Monitor (SVP 2010). A cross trained monitor meeting both of these requirements may also be used. Archaeological monitoring is required until excavation is complete or until a soil change to a culturally sterile formation is achieved, to be determined by the archaeologist. The archaeologist and/or paleontologist may reduce or stop monitoring depending on observed conditions. Paleontological monitoring is required until excavation is complete or until ground disturbance is no longer occurring within the Topanga or Monterey Formations, to be determined by the paleontologist. If archaeological/paleontological resources are encountered during ground-disturbing activities, the City Planning Department shall be notified immediately, and work shall stop within a 100-foot radius until the</p>	<p>Monitor all project related ground disturbing activities of sediments that appear to be in a primary context</p>	<p>Until excavation is complete or until a soil change to a culturally sterile formation is achieved</p>	

#	Mitigation Measure	Action	Time of Clearance	Date & Status
	archaeologist and/or paleontologist has assessed the nature, extent, and potential significance of any remains pursuant to the California Environmental Quality Act (CEQA). In the event such resources are determined to be significant, appropriate actions are to be determined by a qualified archaeologist/paleontologist consistent with CEQA (PRC Section 21083.2) and the City General Plan, in consultation with the City Planning Department.			
CUL-2	If human remains are unearthed, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the developer/contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) thought to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assessed the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City.	Contact the City Planning Department and County Coroner immediately if human remains are unearthed	During site preparation and grading activities	
GEO-1	Prior to the issuance of a grading permit, the Applicant shall demonstrate that there is no need for additional excavation of potentially expansive soils to the satisfaction of the City Geotechnical/Geological Consultant and the City Building Official. This may involve extending the depth of overexcavation or performing additional subsurface explorations to obtain samples of uncertified fill soil to verify they exhibit acceptable engineering characteristics. The applicant/developer shall incorporate the design and construction recommendations in the final geotechnical reports prepared for the project. These recommendations include those found in Section 9 of the Geotechnical Site Evaluation Update (Gorian and Associates, Inc., 2014)pertaining to seismic design parameters, site preparation and grading,	Demonstrate there is no need for additional excavation of potentially expansive soils	Prior to issuance of grading permit	

#	Mitigation Measure	Action	Time of Clearance	Date & Status
	<p>soil expansiveness, foundation recommendations, slabs-on-grade, concrete placement and cracking, soil corrosivity, retaining walls, preliminary pavement design, site drainage, and gutters and downspouts. The recommendations of the most recent report shall supersede if recommendations for the same project or feature are provided in updated reports.</p>			
NOI-1	<p>To reduce the noise from the Ventura Freeway and provide acceptable interior noise levels, the applicant shall install windows on with a minimum Standard Transmission Class of (STC) of 33 buildings within noise contour 70 CNEL with windows that face the Ventura (U.S. 101) Freeway. These windows shall properly installed, weather stripped, and insulated conforming to Title 24 requirements. Exterior wall facing material should be designed for a minimum STC of 35. The Applicant shall show these noise attenuating features on the plans submitted to the Department of Building and Safety prior to issuance of a building permit. All offices in Buildings “D” and “E” shall be equipped with and fresh air supply systems or air conditioning to allow for acceptable noise levels as well as air circulation with the windows closed.</p>	<p>Show noise attenuating features on plans submitted to Building and Safety</p> <p>Install windows on with a minimum Standard Transmission Class of (STC) of 33 buildings within noise contour 70 CNEL with windows that face the Ventura (U.S. 101) Freeway</p>	<p>Prior to issuance of a building permit</p>	

#	Mitigation Measure	Action	Time of Clearance	Date & Status
NOI-2	<p>Animal Care Center Construction Noise</p> <p>The following noise mitigation shall be incorporated to reduce the potential for noise impacts upon the adjacent Animal Care Center.</p> <ol style="list-style-type: none"> 1. Prior to issuance of a grading permit, the applicant shall erect a temporary sound barrier along the common property line between the project site and the adjacent Animal Care Center to the satisfaction of the Planning Director. 2. During construction, the applicant shall locate all stationary noise sources as far from the Animal Care Center property as practically possible for each construction activity. 3. During construction, the applicant shall maintain all equipment, especially engine exhaust mufflers, in like-new condition for the duration of the construction phase. 4. The applicant shall prohibit the use of radios or other music reproduction devices within 50 feet of the eastern common property line. 	<p>Erect temporary sound barrier</p> <p>Locate stationary noise sources away from the Animal Care Center</p> <p>Maintain construction equipment</p> <p>Prohibit radio and music devices within 50 ft of property line.</p>	<p>1. Prior to issuance of a grading permit,</p> <p>2-3. During construction</p> <p>4. During construction</p>	
TRA-1	<p>Fair Share Cost for Signal Warrant</p> <p>The applicant shall pay a fair share of the cost of a signal at the intersection of Agoura Road and Roadside Road to be constructed at a future date to be determined by the City Public Works Department. This project accounts for 18.4% of the cumulative project trips at this intersection. Assuming that the future signal will cost \$350,000, the fair share fee allocated to this project is \$64,254 (18.4% of \$350,000). The fair share fee shall be reviewed and approved by the Public Works Director/City Engineer and paid to the City of Agoura Hills prior to issuance of a building permit.</p>	<p>Pay a fair share fee toward constructing a traffic signal at the intersection of Agoura Road and Roadside Road</p>	<p>Prior to issuance of a building permit</p>	



ATTACHMENT 3

**DRAFT RESOLUTION FOR
THE SIGN PERMIT
WITH
EXHIBIT A FOR THE
CONDITIONS OF APPROVAL**

RESOLUTION NO. 16-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SIGN PERMIT CASE NO. SIGN-01169-2015 TO ESTABLISH A SIGN PROGRAM FOR THE AGOURA LANDMARK PROJECT LOCATED AT 29621 AGOURA ROAD.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Agoura Landmark, L.P., with respect to the real property located at 29621 Agoura Road (Assessor Parcel No. 2061-003-027), requesting approval of a Sign Permit (Case No. SIGN-01152-2015) to establish a sign program for the Agoura Landmark Project (the "Project").

Section II. In accordance with the California Environmental Quality Act (CEQA), the City provided public notice of the intent to adopt an Initial Study/Mitigated Negative Declaration (IS/MND) and a Mitigation Monitoring Program (MMP) for this Project. On October 20, 2016, the Planning Commission held a public hearing to review the IS/MND and MMP. Upon the close of the public hearing, and based upon the initial study, public comments and the record before the Planning Commission, the Planning Commission adopted Resolution No. 16-_____, adopting the IS/MND, making environmental findings pursuant to CEQA, and adopting the MMP for the Project. Resolution No. 16-_____ and the findings therein are hereby incorporated by this reference as though set forth in full.

Section III. The Planning Commission of the City of Agoura Hills considered the application at a public hearing held on October 20, 2016, at 6:30 p.m. in the Council Chambers, City Hall, at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public meeting.

Section V. Sign Permit Review. Based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section. 9655.5.D. and 9555.6.E of the Agoura Hills Municipal Code, that:

A. The proposed signs are consistent with the General Plan and the provisions of the Zoning Ordinance and specifically the intent of the Sign Ordinance in that the sign program promotes fairness in competition and retains the identity of the business community while recognizing the importance of well designed business signs. The building mounted signs are integrated with the building's architectural character and

provide meaningful identification for the larger tenant spaces from the parking lot without being visually dominant. The smaller tenant spaces would have vinyl letters applied to the doors to direct pedestrians to the businesses. The signs are limited to one above the main entrance of each building. The building signage is discreet in that it is attached below the balcony and does not extend beyond the space between the posts supporting the balcony, and is not intended to be visible from off-site. The ground-mounted sign design is compatible with the building architecture through complimenting colors, stucco, and stone base. The sign would not be higher than the first floor of the building. All signs would be designed with the same design criteria per the proposed sign program and enforced by way of Covenants, Conditions and Restrictions (CC&Rs). As such, the signs are consistent with Goal LU-13 and Policies LU-13.1 and LU-13.2, and Goal LU-16 and Policies LU-16.1 and 16.2 of the General Plan.

B. The locations of the proposed building and ground mounted signs are legible under normal viewing conditions where the signs are to be installed. The signs will be built so as to identify the business clearly during the daytime without impacting nearby properties. The building sign letters are not illuminated. The sign program can easily accommodate revisions when the tenants change without impacting the architectural aesthetics of the buildings. The signage applied to the doors will be used to identify the tenant for pedestrians already in the industrial park. The monument sign is externally lit and the font highly legible. The directional signs will not be illuminated but will have reflective vinyl lettering to remain effective in the evenings. The content of the signs and the number of colors comply with the Sign Ordinance requirements. The signage contains only a white color, attractive fonts, and simple design, all of which minimize impacts to neighboring properties.

C. The location and design of the proposed signs for the buildings and their size, shape, and colors are compatible with the visual characteristics of the surrounding area so as not to cause significant depreciation of the value or quality of adjacent properties. Each sign will be on the door of each tenant for the smaller tenants, and below the balcony for the larger tenants, no more than ten (10 feet) above the ground, and will not compete with any of the buildings' architectural features or be widely visible from off-site, including from the freeway. On the freeway facing elevation of the building, there will be four (4) signs. Views to the building signage will be minimized by on-site landscaping, including oak trees along the freeway border. The monument sign complies with the maximum allowable size of 48 square feet and will be externally lit, and will not interfere with vehicular traffic.

D. The proposed signs are consistent with the sign standards of the Sign Design Guidelines of the City Architectural Design Standards and Guidelines. The proposed sign program allows for the comprehensive review of the new signs in relation to all other on-site improvements including the buildings, which enhances the overall development without requiring a modification or a variance. All design elements are in compliance with the Zoning Ordinance for both the building and ground-mounted signs. The building-mounted signs' letters incorporate one color, do not compete with the design of the building, and no illumination is proposed. The ground-mounted monument sign is

externally lit to the minimum extent feasible, yet still provide sufficient illumination. The directional signs facilitate circulation throughout the site without causing clutter, and use the same design as the other signs.

E. The proposed signs are consistent with the Sign Design Guidelines in that the dimensions of the signs are in good proportion to the buildings, the building signs do not interfere with windows or other architectural features, and the building signs do not exceed the height of the roof line.

Section VI. Based on the aforementioned findings, the Planning Commission hereby approves Sign Permit Case No. SIGN-01169-2015, subject to the Conditions of Approval, attached herein as Exhibit A, with respect to the property described in Section I hereof.

Section VII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 20th day of October, 2016, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John O'Meara, Chairperson

Doug Hooper, Secretary

Exhibit A
CONDITIONS OF APPROVAL
(Case No. SIGN-01069-2015)

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all conditions of this action with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the conditions of approval.
4. It is hereby declared to be the intent that if any provision of this action is held or declared to be invalid, the approval shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a condition of this action that if any condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. Unless the approval is used within two (2) years from the date of City approval, Case Nos. SIGN-01069-2015 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
7. The Sign Permit Case No. SIGN-01069-2015 is valid only in conjunction with Site Plan/Architectural Review Case No. SPR-01048-2015; Oak Tree Permit Case No. OAK-01049-2015, and Vesting Tentative Tract Map No. 73890 Case No. TRM-01170-2015, and the conditions of approval therein.
8. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought up against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.
9. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from an against any claim, action or proceeding against the City or its agents, officers, or employees to attack,

set aside, void, or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter at applicant's expense.

10. The ground and building-mounted signage will require obtaining a building permit from the Building and Safety Department.

END



ATTACHMENT 4

**DRAFT RESOLUTION FOR
THE VESTING TENTATIVE TRACT MAP
EXHIBIT A FOR THE
CONDITIONS OF APPROVAL**

RESOLUTION NO. 16-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING VESTING TENTATIVE TRACT MAP NO. 73890 CASE NO. TRM-01170-2015 FOR THE AGOURA LANDMARK PROJECT LOCATED AT 29621 AGOURA ROAD

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Agoura Landmark, L.P., with respect to the real property located at 29621 Agoura Road (Assessor Parcel No. 2061-003-027), requesting approval of a Vesting Tentative Tract Map No. 73890 (Case No. TRM-01170-2015) to subdivide the Agoura Landmark Project (the "Project") into condominium spaces, plus a portion of parcel "A" serving as the common area.

Section II. In accordance with the California Environmental Quality Act (CEQA), the City provided public notice of the intent to adopt an Initial Study/ Mitigated Negative Declaration (IS/MND), and a Mitigation Monitoring Program (MMP) for this Project. On October 20, 2016, the Planning Commission held a public hearing to review the IS/MND and MMP. Upon the close of the public hearing, and based upon the initial study, public comments and the record before the Planning Commission, the Planning Commission adopted Resolution No. 16-_____, adopting the IS/MND, making environmental findings pursuant to CEQA, and adopting the MMP for the Project. Resolution No. 16-_____ and the findings therein are hereby incorporated by this reference as though set forth in full.

Section III. The Planning Commission of the City of Agoura Hills considered the application at a public meeting held on October 20, 2016, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of time, date and place and purpose of the aforesaid was duly given.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Based on the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to the Agoura Hills Zoning Ordinance and Subdivision Ordinance, that:

A. The proposed Vesting Tentative Tract Map (VTTM), as conditioned, is consistent with the City's General Plan Goal LU-2, Policy LU-2.3, Goal LU-12, Policy LU-12.2, Goal LU-15, Policy LU-15.1, Goal LU-16, and Policies LU-16.1 and LU-16.2 in that it the project complies with the development standards of the Business Park-Manufacturing-Freeway Corridor Overlay zone and will include light industrial use of the property, which provides for larger scale businesses while remaining in scale with the

zone's development standards. The project provides employment opportunities for a variety of industrial uses. The project develops an underutilized freeway parcel, providing for a strong fiscal base. The project will be equally accessible from two major freeway interchanges.

The project complies with Goal 16 and Policy LU-16.1 specifically by providing a campus-like environment whereby buildings have individual entrances to tenant spaces, and are placed around a central oak tree. The project provides outdoor seating for the employees near the employee entrances. The project provides 52 percent canopy coverage throughout the parking lot, and the perimeter of the parcel is generally landscaped. The proposed signage program is discreet and provides clear directions to each tenant space and identity to each building and businesses within it. The parking lot is treated with different materials, and textures to separate the vehicular from the pedestrian paths in order to provide a safe environment. Special paving and pedestrian access are provided from parking spaces to the buildings at three locations in the parking lot, in the loading and unloading areas, and to define the vehicular circulation around the landmark oak tree.

The project complies with Policy LU-16.2 as the buildings are placed strategically in order to screen them on the site as viewed from the freeway corridor and Agoura Road, and maintain a view of the landmark oak tree from the same rights-of-way. The buildings are below the freeway and Agoura Road travel lanes, to help in minimizing the appearance of the two-story buildings and further protect the views of the hillsides south of Agoura Road and residential development across the freeway. The buildings are divided into multiple-tenant spaces with a choice of orientations to various vistas. The buildings are simple in design and in subdued colors, which is consistent with the adjacent office structures along the corridor. The signage is compatible with the building architecture in that it is simple and non-illuminated, made with white letters against a brown background and attached to the patio cover over the main entries. The signage provides identification for each individually owned building, and for the site as a whole, which includes primary and secondary building-mounted signs and ground-mounted signs. The buildings exhibit well-articulated architecture, modulating the mass through design features, such as steel awnings and balconies. The buildings are low-profile, less than the maximum height allowed, and reflect natural materials and colors, such as stone-like tiles clad elevations and brown painted walls and trims.

The light industrial park would be compatible with the aesthetics of the area as the project is below the freeway corridor and Agoura Road, which minimizes the visual impacts of the new structures. The parking is distributed throughout the site evenly so as to not cause large expanses of paved surfaces resulting in a heat-island effect on the environment. The project uses earth tone colors and natural materials as accents. Two types of stamped concrete are used at the entrance of the driveways and in the drive-aisle around the landmark oak tree to delineate the vehicular path from the loading and unloading zones, and at the same time, enhance the oak tree surroundings. The landmark oak tree would remain and would act a focal point on the site. The remainder of the site is landscaped with numerous oak trees that provide shade coverage and other plant species that reflect the natural surroundings. The proposed signage is appropriately dispersed on

the buildings and property. Tenants are to be identified by a vinyl signage on each door of each tenant space. An emphasis was placed on identifying the buildings since each building will be owned separately. The signs are not illuminated and placed under the balcony immediately above the main entrance of each building.

B. The site is physically suitable for the light industrial business park in that it meets all required development and design standards of the Zoning Ordinance, and there are no physical features of the site that would render the site undevelopable as an industrial use. The site allows for proper access to the project; adequate site design and building arrangement; safe vehicular and pedestrian circulation; and sufficient landscaping to create an attractive and efficient industrial park.

C. The site is physically suitable for the proposed density of the development. The size of the parcel is in excess of the BP-M zone three (3)-acre minimum parcel size, with over five (5) acres. The project will maintain the required maximum allowed building site coverage and building setbacks. The building height of 26 feet 9 inches is less than the maximum allowed 35 feet.

D. The design of the development is not likely to cause substantial environmental damage or substantially injure fish or wildlife or their habitat because an IS/MND was prepared for the project that assessed potential impacts to biological resources and mitigation measures were incorporated in the document, and therefore the Project to reduce environmental impacts to a less than significant level.

E. The design of the VTTM and proposed improvements is not likely to cause serious public health problems. On-site improvements, such as circulation, storm water, sewer services, and fire access will be required upon development of the site, and the improvements will be designed per City and other applicable standards and requirements.

F. The design of the VTTM and type of improvements, as conditioned, will not conflict with easements acquired by the public at large for access through or use of property within the proposed development. Access to the site will be provided via Agoura Road and via a driveway on the adjacent property to the west pursuant to a recorded easement.

Section VI. Based on the aforementioned findings, the Planning Commission hereby approves Vesting Tentative Tract Map No. 73890 (Case No. TRM-01170-2015), subject to Conditions of Approval, attached herein as Exhibit A, with respect to the property described in Section I hereof.

Section VII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED and ADOPTED this 20th day of October, 2016, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

John O'Meara, Chairperson

ATTEST:

Doug Hooper, Secretary

Exhibit A
CONDITIONS OF APPROVAL
VESTING TENTATIVE TRACT MAP
NO. 73890 (CASE NO. TRM-01170-2015)

1. This decision for approval of the Vesting Tentative Tract Map application, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the required forms and related fees with the City.
2. The approval of this action shall not be effective for any purpose until the applicant and property owner have agreed in writing that they are aware of and accept all conditions of this action with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires the complete conformation to the approved Vesting Tentative Tract Map reviewed and approved by the Planning Commission on October 20, 2016.
4. It is hereby declared to be the intent that if any provision of this action is held or declared invalid, the approval shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a condition of this action that if any condition herein is violated, the approval shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. The approval of Vesting Tentative Tract Map No. 73890 (Case No. TRM-01170-2105) shall expire in two (2) years from the date of the Planning Commission approval. A written request for a one (1) year extension may be considered by the City prior to the expiration date.
7. All requirements of the City Zoning Ordinance and City Subdivision Ordinance must be met unless set forth in the approval or on the approved Vesting Tentative Tract Map.
8. Prior to issuance of building permit, applicant shall record Condominium Tract Map No. 73890 pursuant to the Subdivision Map Act and in accordance with City Code. A duplicate photo mylar of the recorded map shall be submitted to the Director of Public Works.
9. Prior to final map recordation, applicant shall provide a copy of proposed Covenants, Conditions and Restrictions (CC&Rs), as applicable to the project, to the City Engineer for review and approval of the City Attorney.

These CC&Rs shall ensure, among other things, common ingress and egress, joint maintenance of all common access parking areas, utilities and drives, as applicable to the project.

10. The applicant shall provide a Monumentation bond (i.e. cash deposit) in an amount calculated by the Engineering Department or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
11. The applicant shall provide a preliminary title report not older than 30 days at the time of plan check.
12. All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the Director of Public Works for review and approval.
13. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Public Works Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
14. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, the applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All items listed are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.
15. Prior to permitting, the applicant shall design full public improvements in accordance with City Code, City standards and specifications, approved specific plan, and/or approved Conditions of Approval for the area.
16. The applicant shall design and construct road improvements along the project fronting Agoura Road and any necessary transitions. Said improvements shall include, but not be limited to, the installation of a new driveway approach. The design of the roadway improvements shall be reviewed and approved by the Director of Public Works during the plan check review. In addition, applicant shall pay a fair share toward construction of a traffic signal at Agoura and Roadside Roads.
17. Applicant shall overlay Agoura Road with concrete asphalt for all new project related service cuts in the roadway. The extent of the repairs shall be at the discretion of the Director of Public Works Director.
18. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought up against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may,

at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.

19. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from an against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter at applicant's expense.

END



ATTACHMENT 5

VICINITY/ZONING MAP

City of Agoura Hills

SITE PLAN/ARCHITECTURAL REVIEW - CASE NO. SPR-01048-2015 & OAK-01049-2015
SIGN-01069-2015 & VTTM 73890-TRM-01170-2015

Vicinity/Zoning
Map





ATTACHMENT 6

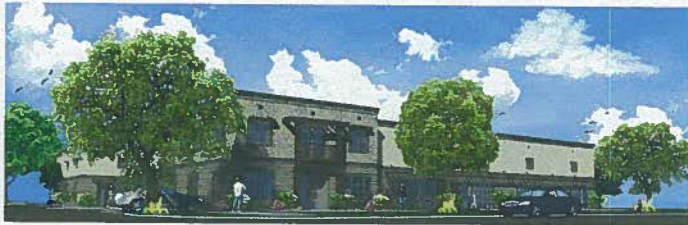
**COPY OF THE
PLANS WITH COLOR RENDERINGS AND PHOTO SIMULATIONS**

Agoura Landmark

29621 Agoura Rd. Agoura California

Building Department Permit	
Final Review Permit	6-27-18
LANEY / SHAW ARCHITECTS INC. 11741 W. Pico Blvd. LOS ANGELES, CA 90084 Phone 310 478-4775	
For Markus Tullmann	
Project #	
Sheet No.	
Scale	
Project	Agoura Landmark 29621 Agoura Rd. Agoura, CA
Date	10/01/18
Scale	As Noted
Project No.	1325
Sheet No.	T.0
Title Sheet & General Info	

Building A



Building F



Building E



Landscape Summary

Planters	48,840 sq. ft.
Paved	113,539 sq. ft.
Buildings	83,381 sq. ft.
Total Site Area	226,760 sq. ft.
Landscape Ratio	22%

Consultants

Architect:	Lane/Shaw Architects Inc.	Contact: Brett Shaw	310 888 8245
Landscape Architect:	L. Newman Design Group	Contact: Bob Bombardier	818 891 3058
Electrical Engineer:	A.K. Electric	Contact: Wade Puckett	818 365 1473
Civil Engineer:	Odean Engineering	Contact: Scott Ulmer	310 548 8711

Abbreviations

A.B. Anchor Bolt	F.F. Finish Floor	REDOV. Restroom
Altr. Altrus	F.M. Fencing	RED. Redding
A.C. Asphalt concrete	F.T.G. Footing	RECOF. Receiving
ACQST. Acoustical	GA. Grading	SCHED. Schedule
ALUM. Aluminum	GRV. Gr. Gravel	SECT. Section
BLKS. Blanking	H.S.V. H. Handicapped van	SH-1. Shallow
BST. Barbed	HC. High	SH-2. Shallow
CLB. Ceiling	HGR. Hanger	SH-3. Shallow
C.L. Center line	J.C. Joint	SH-4. Shallow
CLR. Clear	J.T. Joint	SH-5. Shallow
COL. Column	M.A.K. Machine	TYP. Typical
CONC. Concrete	M.S. Machine Bolt	U.N.C. Union Nut
CONF. Conference	M.D. Machine	WD. Wood
COR. Corridor	M.F.D. Manufacturer	WF. Wire
COR. Corridor	M.F.D. Manufacturer	WV. Wire
DET. Detail	M.F.D. Manufacturer	WV. Wire
DIV. Division	M.F.D. Manufacturer	WV. Wire
DMS. Dimension	M.F.D. Manufacturer	WV. Wire
D.S. Dimension	M.F.D. Manufacturer	WV. Wire
EMBLA. Elevation	M.F.D. Manufacturer	WV. Wire
ELEV. Elevation	M.F.D. Manufacturer	WV. Wire
E.V. Elevation	M.F.D. Manufacturer	WV. Wire
Est. Estimate	M.F.D. Manufacturer	WV. Wire

Development Summary

Zoned	B,P,M
Zoned	B,P-M
Occupancy	B,S,F
Site Area	226,337 sq. ft.
Landscape Area	49,840 sq. ft.
Landscape Ratio	22%
Building Footprint	8 buildings at
A =	7,088 sq. ft.
B =	11,575 sq. ft.
C =	8,403 sq. ft.
D =	8,754 sq. ft.
E =	7,983 sq. ft.
F =	20,098 sq. ft.
Total =	83,381 sq. ft.
Building Footprint Ratio =	36.83%

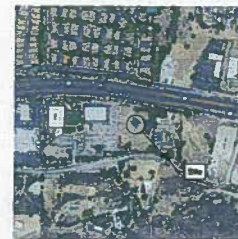
Warehouse Area	48,532 sq. ft.	Maz. =	6,471 sq. ft.
Office Area	21,320 sq. ft.	1st Floor =	14,849 sq. ft.
Total Built Area	69,852 sq. ft.		

Parking for office	85
1 for every 250 sq. ft.	
Parking requirement for first 6,000 warehouse	5
1 for every 1,000 sq. ft. for first 5,000 sq. ft.	
Parking requirement for remainder warehouse	9
1 for every 5,000 sq. ft. after the first 5,000 sq. ft.	
Total Parking Requirement =	99
Total Parking Provided =	149

Sheet Index

General Information	
T.0	Title Sheet & General Info
Site Info	
A.1.01	Site Plan & Site Map
A.1.02	Site Photographs
Building A	
A.1.01	Building A - Plan
A.1.02	Building A - Elevation Drawings
Building B	
A.1.01	Building B - Plan
A.1.02	Building B - Elevation Drawings
Building C	
A.1.01	Building C - Plan
A.1.02	Building C - Elevation Drawings
Building D	
A.1.01	Building D - Plan
A.1.02	Building D - Elevation Drawings
Building E	
A.1.01	Building E - Plan
A.1.02	Building E - Elevation Drawings
Building F	
A.1.01	Building F - 1st Floor Plan
A.1.02	Building F - Elevation Plan
A.1.03	Building F - 2nd Floor
A.1.04	Building F - Elevation Drawings
Architectural Details	
A.1.01	Architectural Details & Materials

Vicinity Map



Assessor's Parcel Numbers

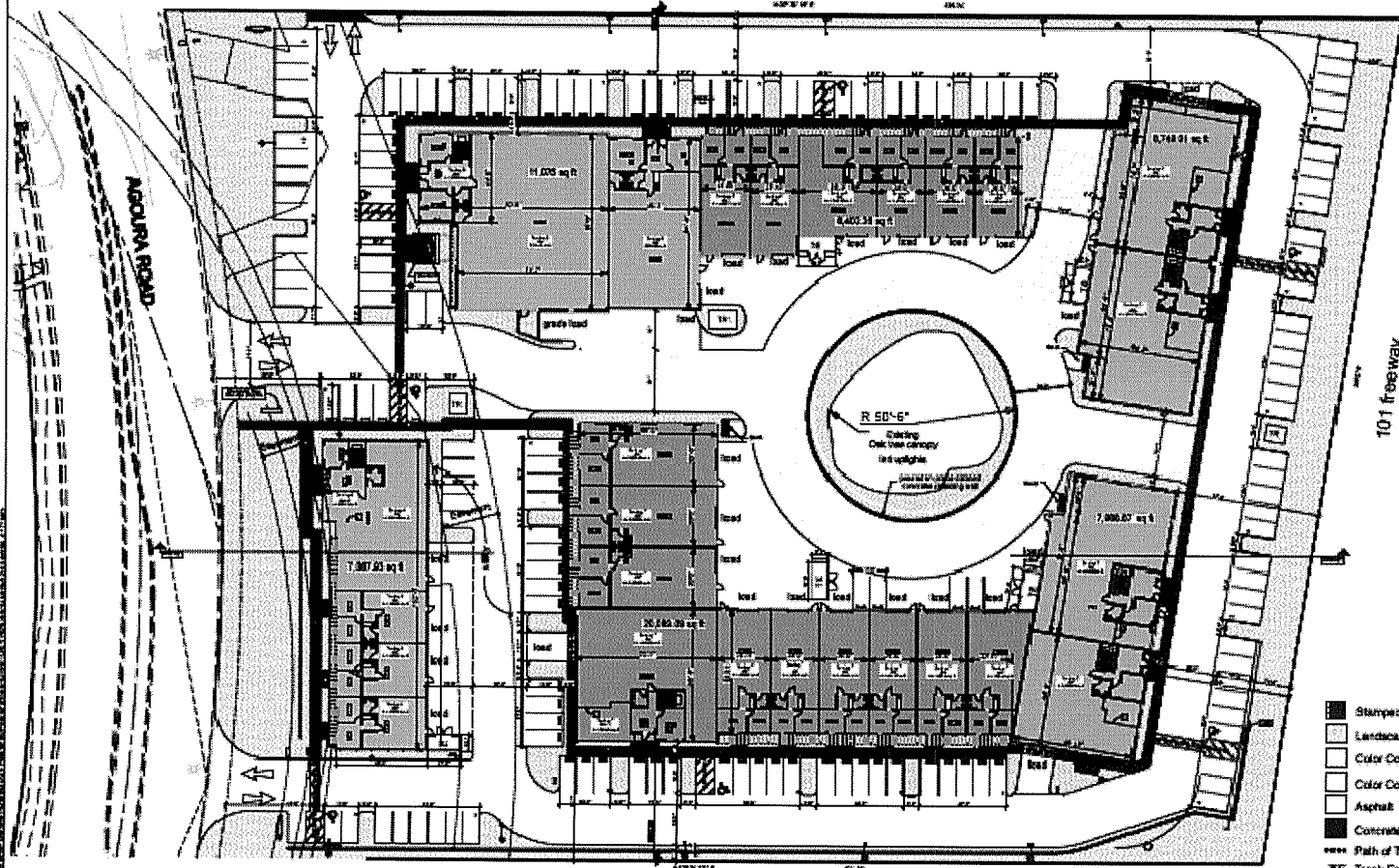
2061-003-027



Line of Sight



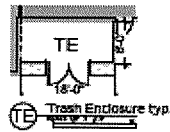
Transvers Line of Sight



Room #	Room Name	Area
1000	Office	1,200
1001	Office	1,200
1002	Office	1,200
1003	Office	1,200
1004	Office	1,200
1005	Office	1,200
1006	Office	1,200
1007	Office	1,200
1008	Office	1,200
1009	Office	1,200
1010	Office	1,200
1011	Office	1,200
1012	Office	1,200
1013	Office	1,200
1014	Office	1,200
1015	Office	1,200
1016	Office	1,200
1017	Office	1,200
1018	Office	1,200
1019	Office	1,200
1020	Office	1,200
1021	Office	1,200
1022	Office	1,200
1023	Office	1,200
1024	Office	1,200
1025	Office	1,200
1026	Office	1,200
1027	Office	1,200
1028	Office	1,200
1029	Office	1,200
1030	Office	1,200
1031	Office	1,200
1032	Office	1,200
1033	Office	1,200
1034	Office	1,200
1035	Office	1,200
1036	Office	1,200
1037	Office	1,200
1038	Office	1,200
1039	Office	1,200
1040	Office	1,200
1041	Office	1,200
1042	Office	1,200
1043	Office	1,200
1044	Office	1,200
1045	Office	1,200
1046	Office	1,200
1047	Office	1,200
1048	Office	1,200
1049	Office	1,200
1050	Office	1,200
1051	Office	1,200
1052	Office	1,200
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1056	Office	1,200
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1058	Office	1,200
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1060	Office	1,200
1061	Office	1,200
1062	Office	1,200
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1064	Office	1,200
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1066	Office	1,200
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1096	Office	1,200
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1193	Office	1,200
1194	Office	1,200
1195	Office	1,200
1196	Office	1,200
1197	Office	1,200
1198	Office	1,200
1199	Office	1,200
1200	Office	1,200

Overall Summary:
 Gross Floor Area = 69,862 sq ft
 Parking Provided = 348

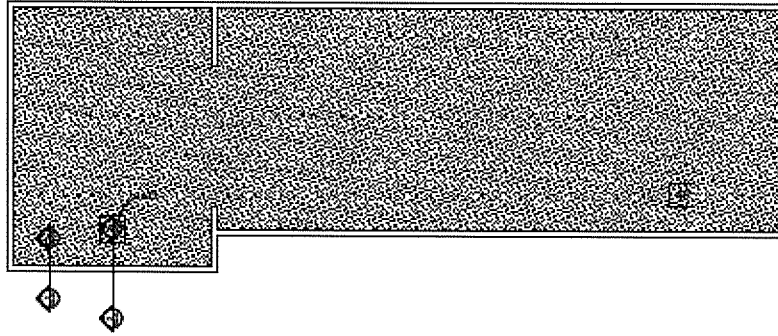
- Stamped Conc.
- Landscape
- Color Concrete 2
- Color Concrete 1
- Asphalt
- Concrete Walk
- Path of Travel
- TE Trash Enclosure
- TR Electrical Transformer



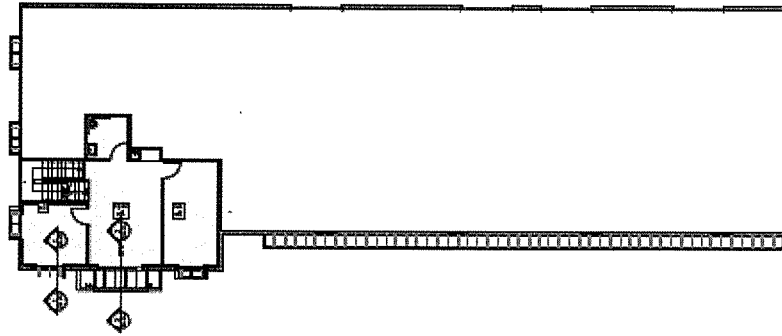
Project: Agoura Landmark
 11774 W. Pico Blvd.
 Agoura, CA
 Date: As Shown
 Scale: 1/8" = 1'-0"
 Project: 1200
 Sheet: A1.01

Preparer: [Name]
 Designer: [Name]
 Checker: [Name]
 Date: [Date]

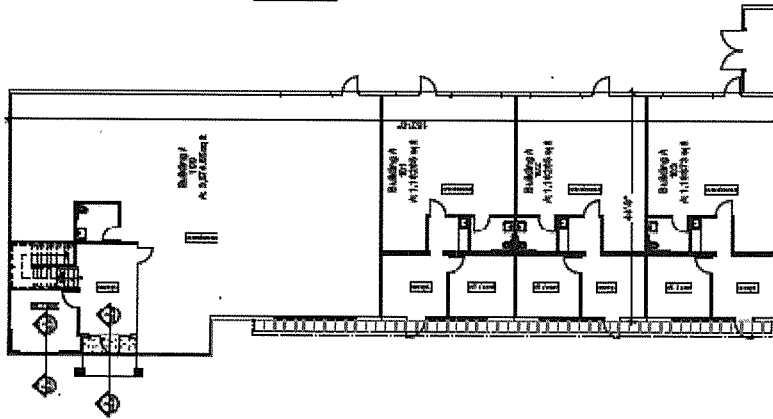
LANEY / SHAW
 ARCHITECTS INC.
 11774 W. PICO BLVD.
 LOS ANGELES, CA 90044
 Phone 310 372-3778



A Roof Plan
Scale 1/8" = 1'-0"



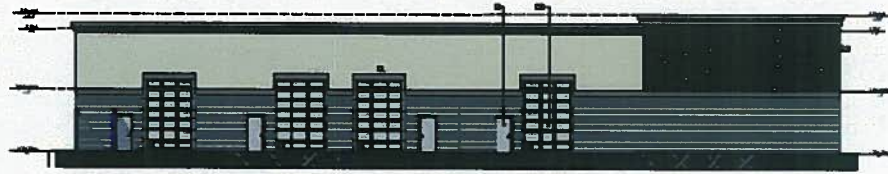
A Mechanical Plan
Scale 1/8" = 1'-0"



A Site Floor Plan
Scale 1/8" = 1'-0"

<p>LANEY / SHAW ARCHITECTS INC. 11751 W. PINE ST. #100 LOS ANGELES, CA 90024 PHONE 310 478-8770</p>	
<p>Project: Agoura Landmark 2825 Agoura Pl. Agoura CA</p>	
<p>Sheet: Building A - Plans</p>	
<p>Date: 8/20/02</p>	
<p>Rev: As Shown</p>	
<p>Project No: 1989</p>	
<p>Revised:</p>	
<p>A2.01</p>	
<p>Building Department Permit Number: 4201-01</p>	<p>City of Los Angeles Engineering Division</p>

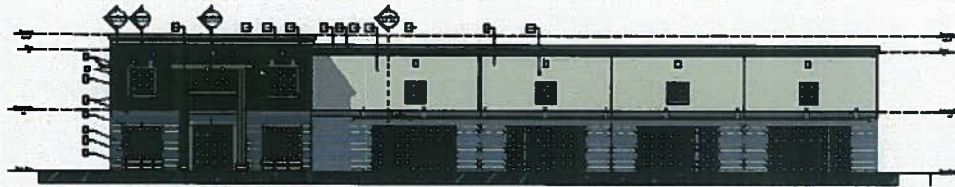
LANEY / SHAW ARCHITECTS INC. 11751 W. PINE ST. #100 LOS ANGELES, CA 90024



A North Elevation
Scale: 1/4" = 1'-0"



A East Elevation
Scale: 1/4" = 1'-0"



A South Elevation
Scale: 1/4" = 1'-0"



A West Elevation
Scale: 1/4" = 1'-0"

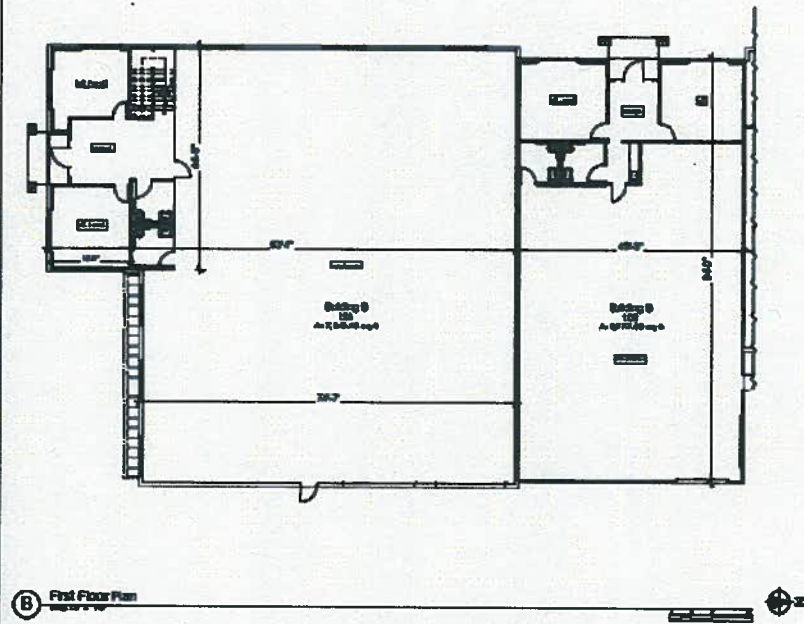
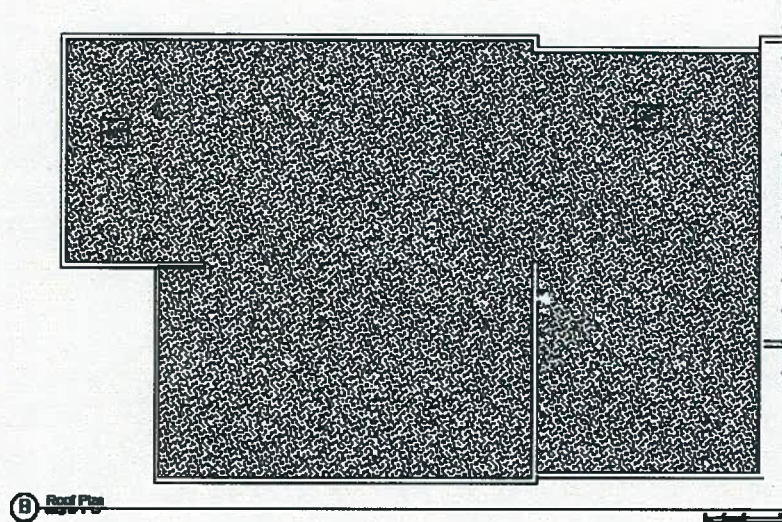
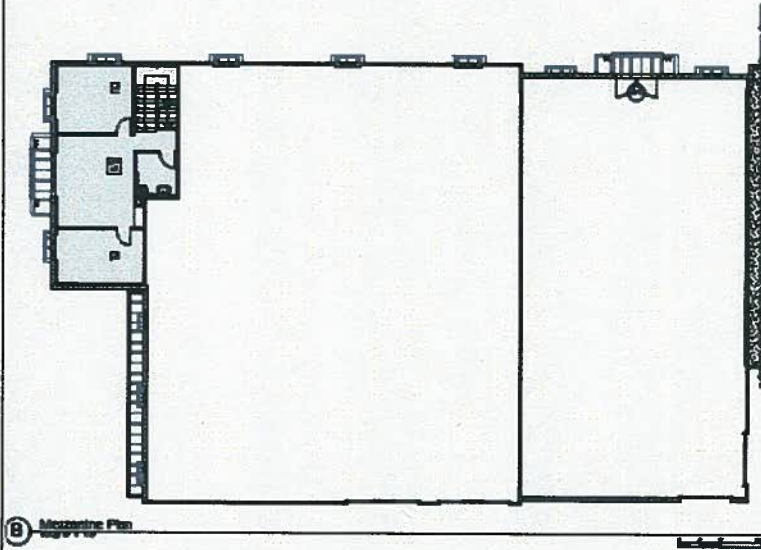
Exterior Elevation Key Notes

1. Refer to Section 05100 for window details.
2. Refer to Section 05200 for door details.
3. Refer to Section 05300 for panel details.
4. Refer to Section 05400 for trim details.
5. Refer to Section 05500 for roof details.
6. Refer to Section 05600 for exterior lighting details.
7. Refer to Section 05700 for exterior wall details.
8. Refer to Section 05800 for exterior floor details.
9. Refer to Section 05900 for exterior stairs details.
10. Refer to Section 06000 for exterior railing details.
11. Refer to Section 06100 for exterior furniture details.
12. Refer to Section 06200 for exterior signage details.
13. Refer to Section 06300 for exterior landscaping details.
14. Refer to Section 06400 for exterior painting details.
15. Refer to Section 06500 for exterior maintenance details.

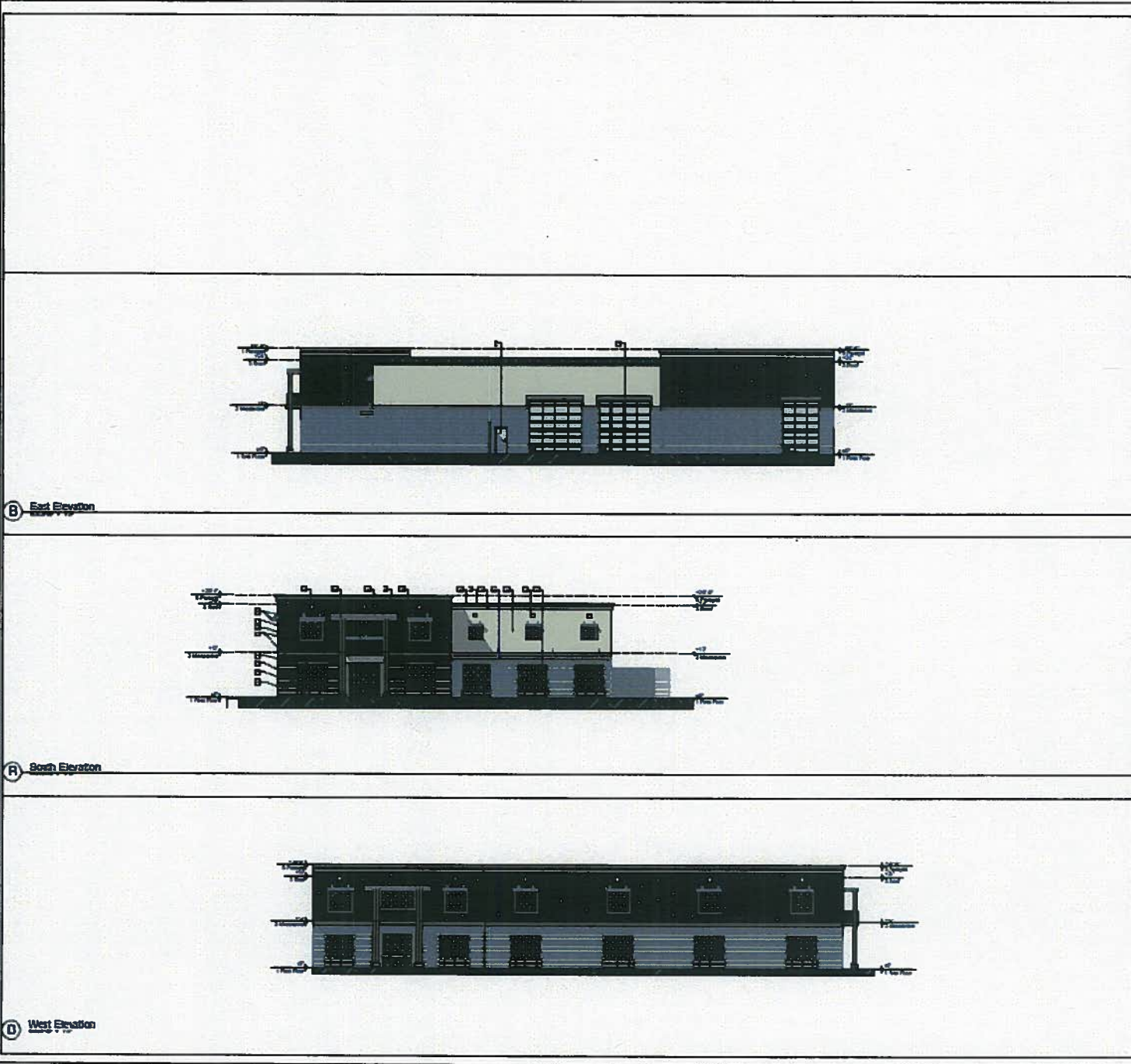
Material Legend

- 1. Light Gray Glass or Ceramic Tiles
- 2. Polished Metal
- 3. Painted Masonry
- 4. Stained Glass
- 5. Dark Gray Stone

Building Information	Sheet No.
Project Name	
Client	
Architect	
Scale	
Date	
Author	
Checker	
Project No.	
Page No.	
Sheet No.	
JANET B. SHAW ARCHITECT 11241 R Pico Blvd. Los Angeles, CA 90064 Phone 310 411-0715	
Project: Agoura Landmark 11241 R Pico Blvd. Agoura Hills, CA 91301 Building A - Exterior Elevations	
A2.02	



Project Name	Agoura Landmark
Project No.	11201 W. Pines, Agoura Hills, CA 91301
Client	Agoura Hills
Architect	JANET L. SMAY ARCHITECTS
Scale	1/8" = 1'-0"
Sheet No.	A3.01
Revision	
Notes	
Drawn by	
Checked by	
Approved by	
Date	



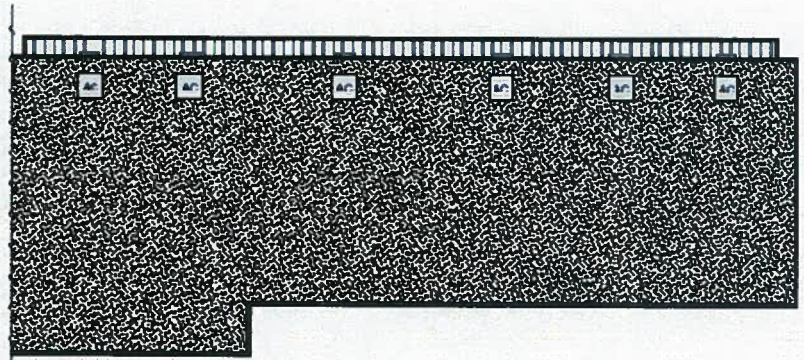
Exterior Elevation Key Notes

1. Material Schedule
2. Window Schedule
3. Door Schedule
4. Siding Schedule
5. Foundation Schedule
6. Roof Schedule
7. Mechanical Schedule
8. Electrical Schedule
9. Plumbing Schedule
10. HVAC Schedule
11. Fire Protection Schedule
12. Other Schedule

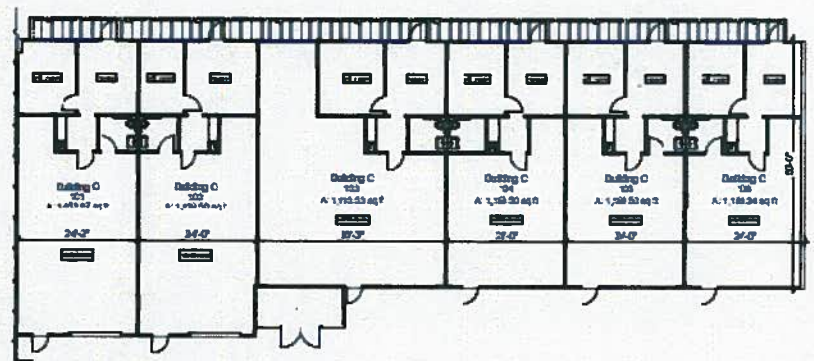
Material Legend

- 1. Lath & Plaster
- 2. Brick
- 3. Concrete
- 4. Wood
- 5. Metal
- 6. Glass
- 7. Asphalt
- 8. Insulation
- 9. Foundation
- 10. Roofing
- 11. Mechanical
- 12. Electrical
- 13. Plumbing
- 14. HVAC
- 15. Fire Protection
- 16. Other

Project Name	437 B
Client	
Architect	
Scale	
Date	
Sheet No.	
Project No.	
Revision	
	
LANEY SHAW ARCHITECTS, INC. 17701 W. 27th St., Los Angeles, CA 90044 Phone: 310 412-1175	
Project # _____ Date _____ Name _____ Title _____ Address _____ City _____ State _____ Zip _____	
A GUILD LAMINATE 601 West 10th St. Seattle, WA 98101 Building 6 - Carrier Overhead	
A3.02	



© 1001/150

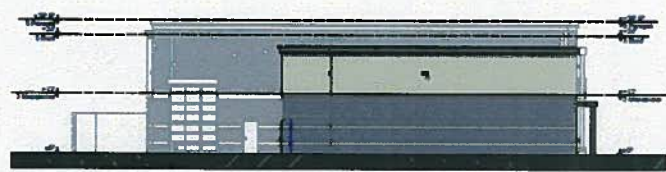


© First Floor Plan

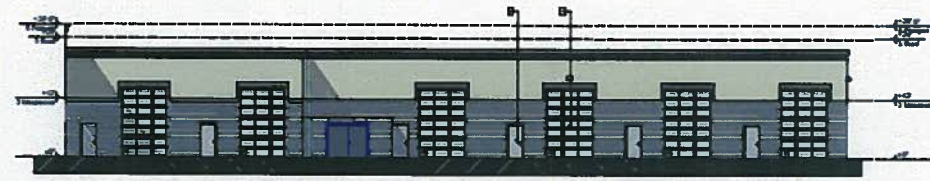
Project	Agourd Landmark 2411 Agoura St. Agoura CA
Client	Agoura Landmark
Architect	LANEY SHAW ARCHITECTS, INC. 1721 N. Price Blvd. Los Angeles, CA 90034 Phone 310 119-4170
Scale	As Shown
Date	1/20
Sheet	A4.01
Building C - Plans	



C West Elevation



C North Elevation



C East Elevation

Exterior Elevation Key Notes

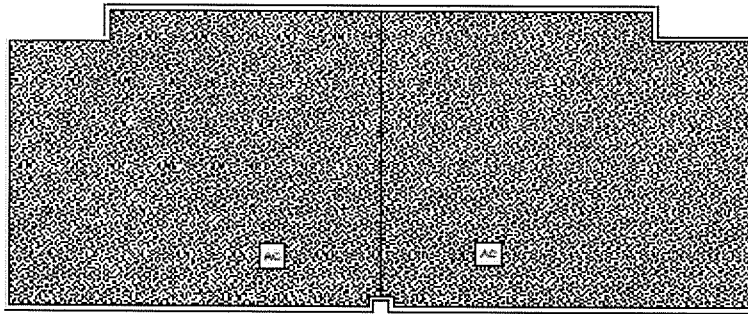
1. Refer to drawing notes
2. Refer to drawing notes
3. Refer to drawing notes
4. Refer to drawing notes
5. Refer to drawing notes
6. Refer to drawing notes
7. Refer to drawing notes
8. Refer to drawing notes
9. Refer to drawing notes
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11. Refer to drawing notes
12. Refer to drawing notes
13. Refer to drawing notes
14. Refer to drawing notes
15. Refer to drawing notes
16. Refer to drawing notes
17. Refer to drawing notes
18. Refer to drawing notes

Material Legend

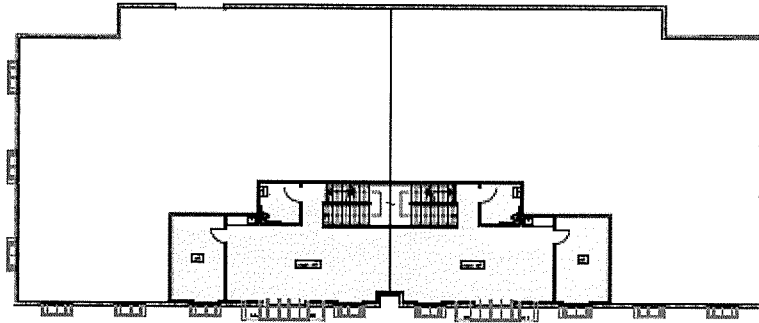
- L.F. Clear glass with metal frame walls
- T. Tinted Glass
- Polished concrete panel, see materials note
- Solid color concrete block
- Refer to drawing notes for details

Building Name	AGORA
Address	1000 10th St
City	Los Angeles, CA
State	CA
Zip	90015
Client	AGORA
Architect	LANEY SHAW ARCHITECTS INC.
Project No.	1000 10th St
Sheet No.	A4.02
Date	08/11/08
Scale	As Shown
Project No.	1000
Sheet No.	A4.02

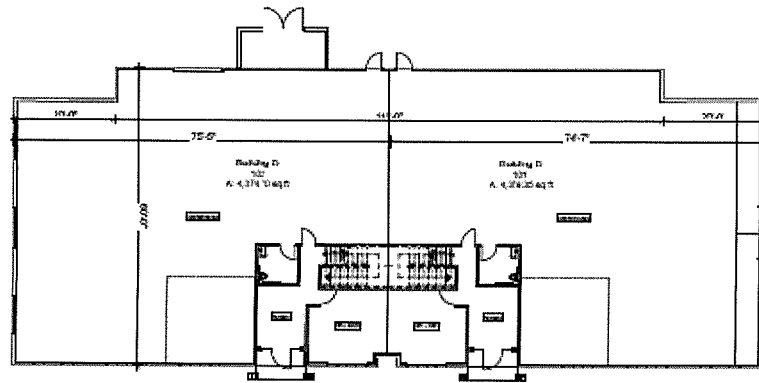
AGORA LANDMARK
 1000 10th St.
 Los Angeles, CA
 Building C - Collector Elevations



(D) Roof Plan
Scale: 1/8" = 1'-0"



(D) Mezzanine Plan
Scale: 1/8" = 1'-0"

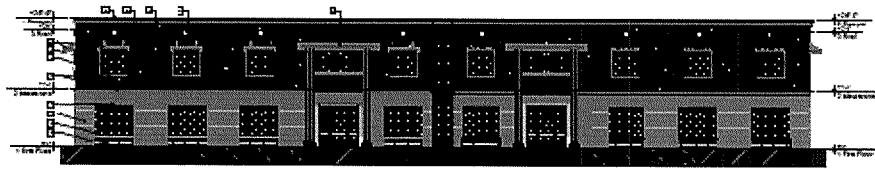


(D) First Floor Plan
Scale: 1/8" = 1'-0"

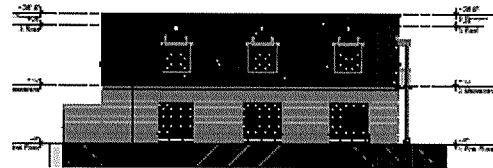
First Floor Plan

Project Name	
Client	
Architect	LANET / SHAW
Architect's License No.	11721 (R. Pineda) / 11722 (S. Shaw)
Project No.	11721-11722
Sheet No.	A5.01
Scale	As Shown
Date	1/23/21
Drawn By	
Checked By	
Project Name	Agrius Landmark
Client	Agrius Landmark
Project No.	11721-11722
Sheet No.	A5.01

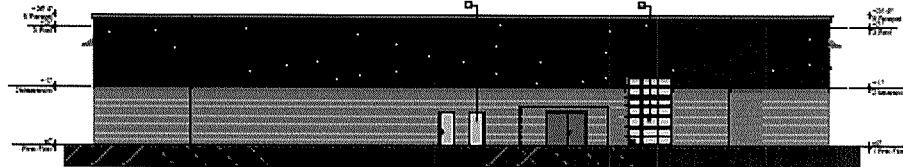
A5.01



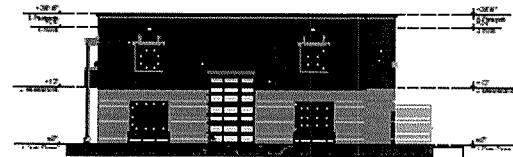
D North Elevation
13/31/17



D East Elevation
13/31/17



D South Elevation
13/31/17



D West Elevation
13/31/17

Exterior Elevation Key Notes

1. Finishes shown to be applied
2. Fixtures, hardware, etc. are shown for general reference only.
3. All dimensions are to the exterior face unless noted.
4. All elevations are to the exterior face unless noted.
5. All elevations are to the exterior face unless noted.
6. All elevations are to the exterior face unless noted.
7. All elevations are to the exterior face unless noted.
8. All elevations are to the exterior face unless noted.
9. All elevations are to the exterior face unless noted.
10. All elevations are to the exterior face unless noted.
11. All elevations are to the exterior face unless noted.
12. All elevations are to the exterior face unless noted.
13. All elevations are to the exterior face unless noted.
14. All elevations are to the exterior face unless noted.
15. All elevations are to the exterior face unless noted.
16. All elevations are to the exterior face unless noted.
17. All elevations are to the exterior face unless noted.
18. All elevations are to the exterior face unless noted.
19. All elevations are to the exterior face unless noted.
20. All elevations are to the exterior face unless noted.

Material Legend

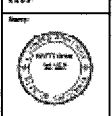
- If Clear glass is used, construction details are shown.
 - If Tinted Glass
 - If Other material is used, material name and manufacturer are shown.
 - If Material is to be used, material name and manufacturer are shown.
 - If Material is to be used, material name and manufacturer are shown.
- All elevations are to the exterior face unless noted.

Building Department
Application No. 15711
Date 1/13/18

Project Name: 15711
Project Address: 15711
City: Los Angeles
State: CA
Zip: 90044

LAUREL SHAW ARCHITECTS, INC.
11146 P. PINE AVE
LOS ANGELES, CA 90044
Phone: 310-470-1775

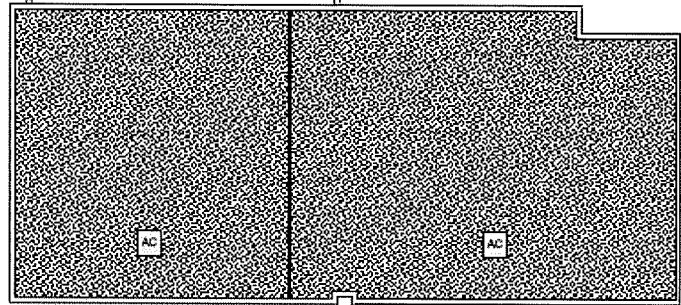
15
15711-1775-18
15711-1775-18
15711-1775-18



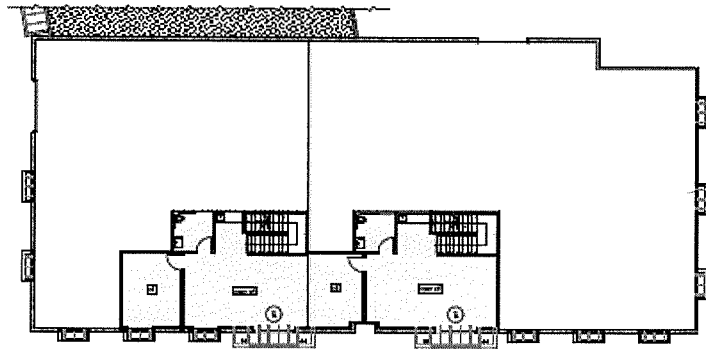
Project: Aurora Landmark
15711
City: Los Angeles, CA
State: CA
Zip: 90044
Building ID: 15711-1775-18

Date: 8/25/17
Scale: As Shown
Project No.: 15711
Sheet No.: 15711-1775-18

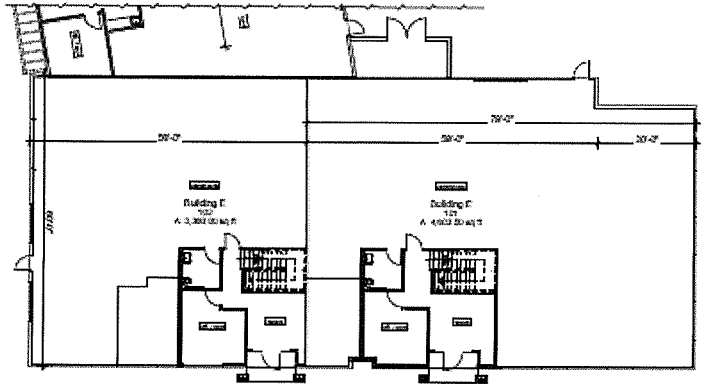
A5.02



E Roof Plan
Scale: 1/4" = 1'-0"



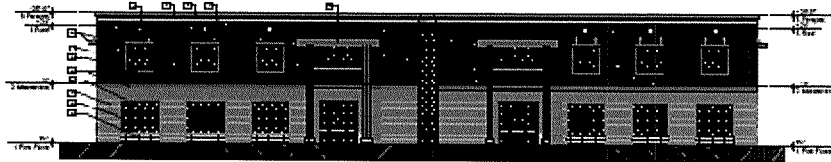
E Mezzanine Plan
Scale: 1/4" = 1'-0"



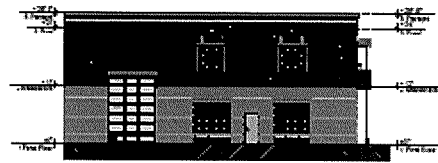
E First Floor Plan
Scale: 1/4" = 1'-0"

Building Information Building Name: _____ Use: _____ Date: _____ Sheet No.: 621.04	
LANEY / SHAW ARCHITECTS, INC. 11724 W. Foothill Blvd. Los Angeles, CA 90068 Phone: 310 473-4775	
Project Name: _____ Address: _____ City: _____	Scale: _____ Date: _____
Project: Agoura Landmark 3841 Agoura Rd. Agoura, CA Drawing: Building E - Plans	
Date:	02/11
Scale:	As Shown
Sheet No.:	1000
Sheet No.:	

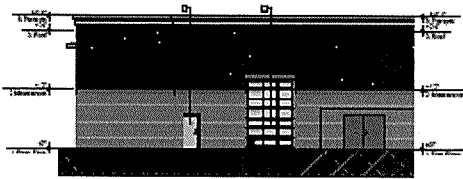
A6.01



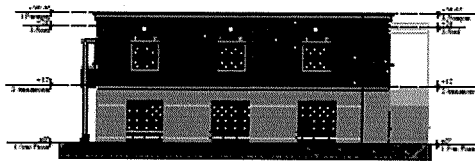
E North Elevation
Scale: 1/8" = 1'-0"



E East Elevation
Scale: 1/8" = 1'-0"



E South Elevation
Scale: 1/8" = 1'-0"



E West Elevation
Scale: 1/8" = 1'-0"

Exterior Elevation Key Notes

1. Floor surface is to be painted.
a. 100% Solid Epoxy Resin Paint
b. 2 Coats
c. Color: *(color swatch)*
2. Typical paint job.
3. Typical paint.
4. *(color swatch)*
a. *(color swatch)*
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a. *(color swatch)*

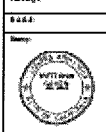
Material Legend

- 1. *(color swatch)*
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- 2. *(color swatch)*
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- 4. *(color swatch)*
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- 50. *(color swatch)*
a. *(color swatch)*

Building Department
09/15/2010
A11-4

LANEY J. SHAW
ARCHITECTS, P.A.
1740 N. 22ND ST., SUITE 100
ARLINGTON, VA 22201
PHONE: 703-419-4732
FAX: 703-419-4733

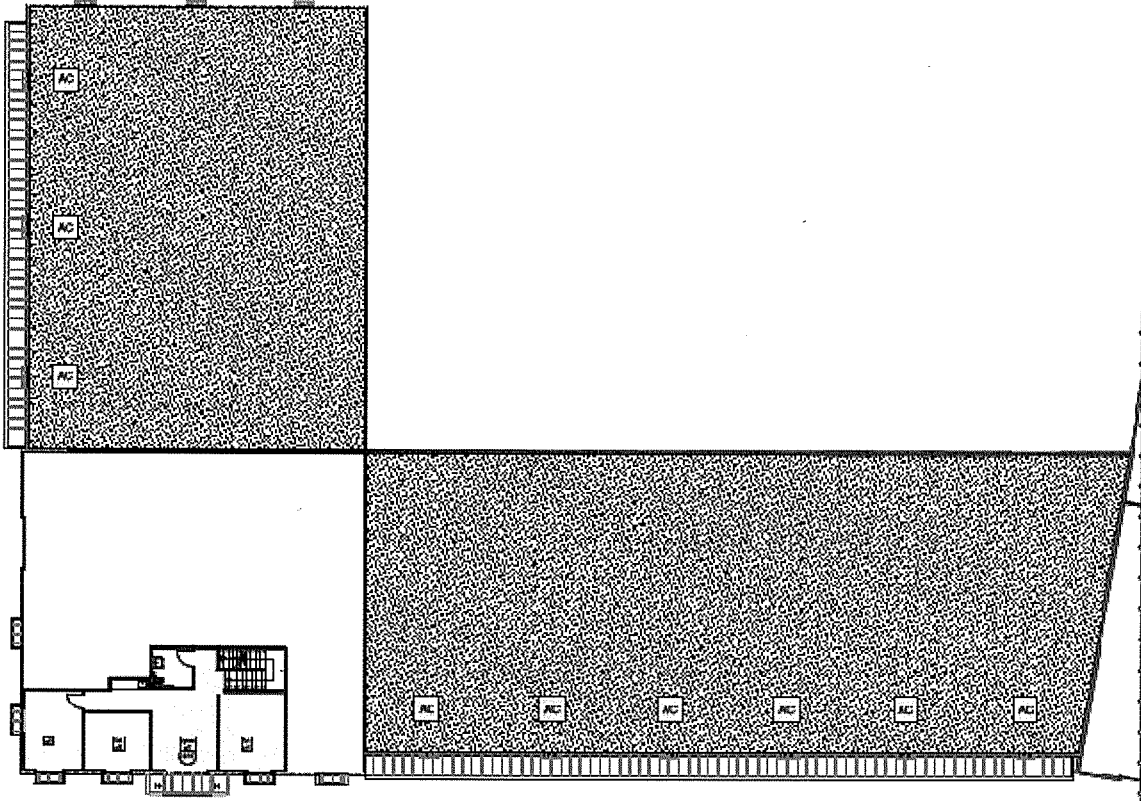
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Sheet *(blank)*



Project: Agoura Landmark
2845 Agoura Pk.
Agoura, CA

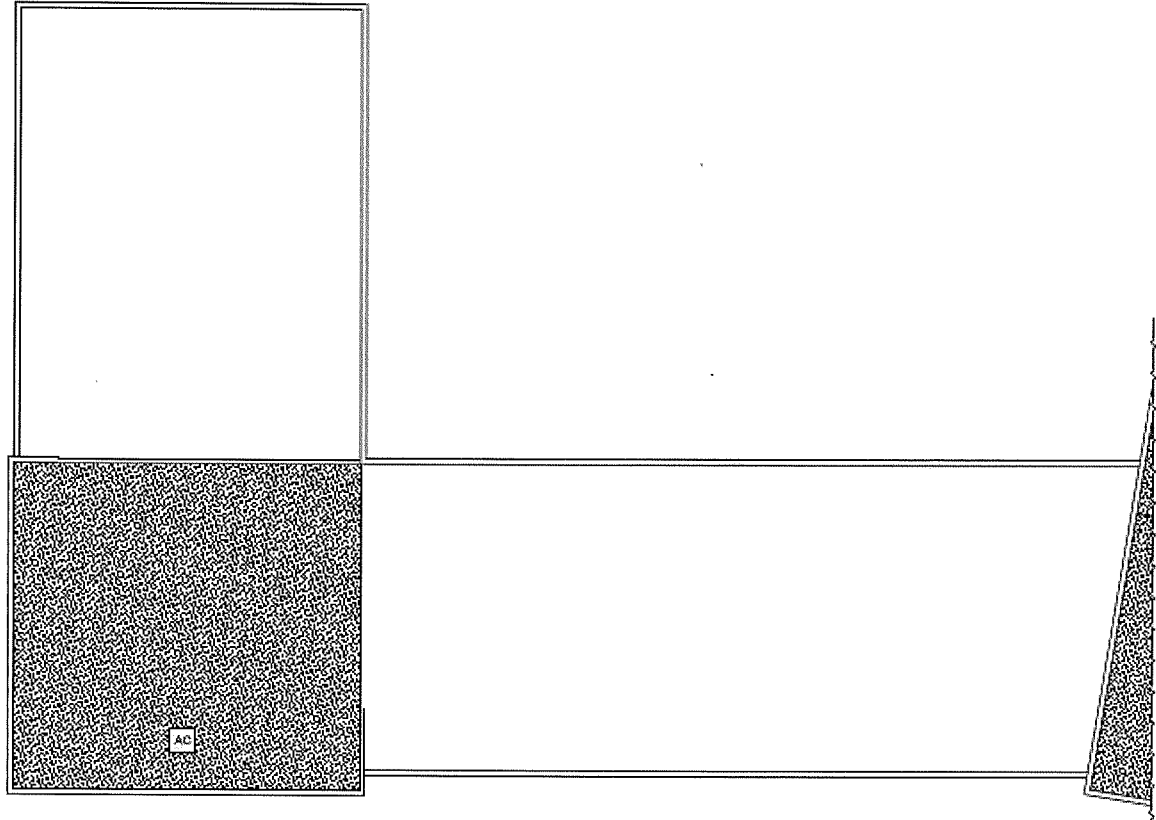
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Project No: 100
Sheet No: 100

Mezzanine Plan
Scale: 1/8" = 1'-0"

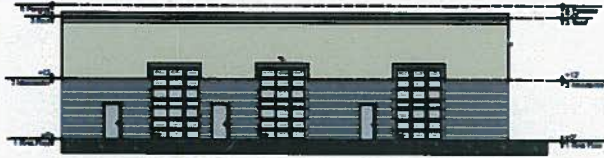


Project Name	AGORA LANDMARK
Client	AGORA LANDMARK
Architect	JANET SHAW ARCHITECTS INC.
Address	11741 W. PINE BLVD LOS ANGELES, CA 90064
Phone	310 478-0770
Scale	1/8" = 1'-0"
Sheet No.	A7 02
Revision	
Drawn By	
Checked By	
Date	02/20/04
Project No.	04-0004
Sheet No.	1 of 1
Scale	
Project Name	AGORA LANDMARK
Client	AGORA LANDMARK
Architect	JANET SHAW ARCHITECTS INC.
Address	11741 W. PINE BLVD LOS ANGELES, CA 90064
Phone	310 478-0770
Scale	1/8" = 1'-0"
Sheet No.	A7 02
Revision	
Drawn By	
Checked By	
Date	02/20/04
Project No.	04-0004
Sheet No.	1 of 1
Scale	

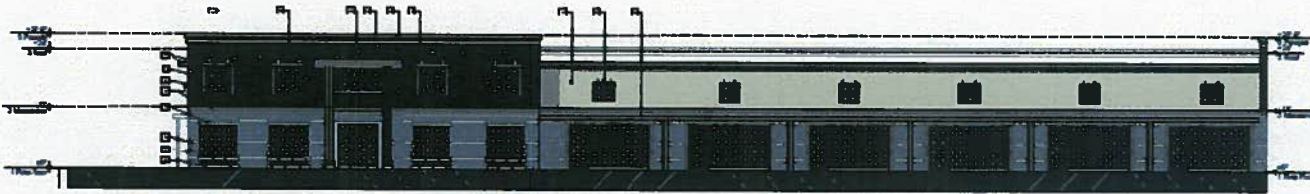
F Roof Plan
 10/10/19



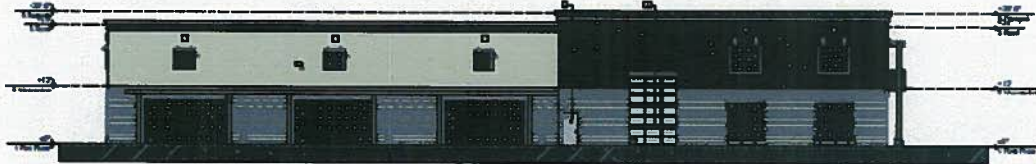
Building Department Building Information System 63734	
LANEY / SHAW ARCHITECTS, INC. 1124 N. FIDELITY LOS ANGELES, CA 90064 Phone 210 472-4725	
Project Name 10/10/19	Designer 10/10/19
Project No. 1225	
Scale No. A7.03	



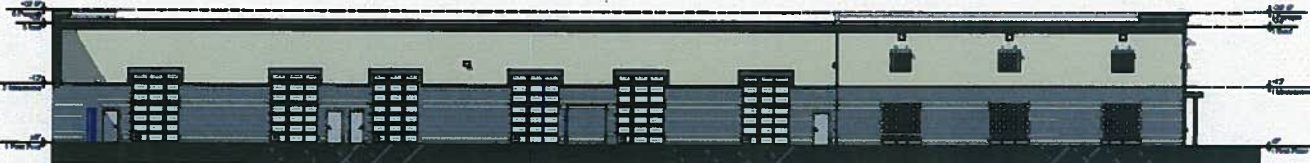
F North Elevation



F East Elevation



F South Elevation



F West Elevation

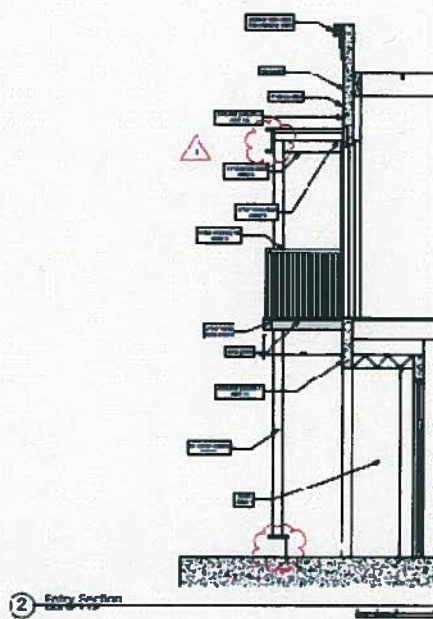
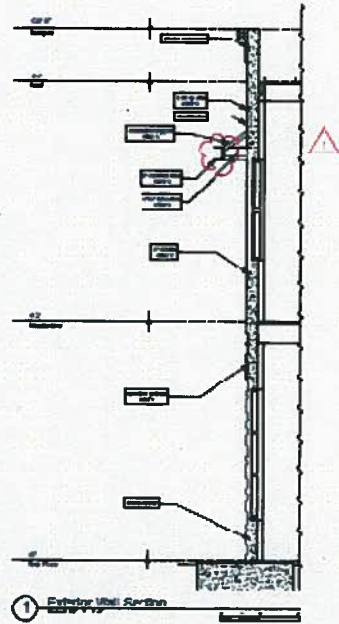
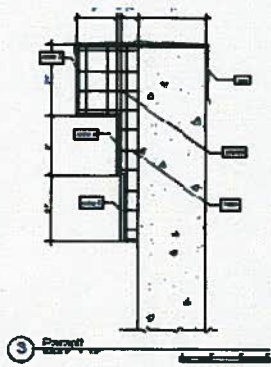
Exterior Elevation Key Notes

1. Material schedule as shown
2. All elevations are to be finished
3. All elevations are to be finished
4. Typographic
5. Typographic
6. All elevations are to be finished
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Material Legend

- 1. All elevations are to be finished
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- 20. All elevations are to be finished

<p>LANEY / SHAW ARCHITECTS, INC. 17241 N. 70th Blvd Los Angeles, CA 90044 Phone: 310 419-4773</p>	<p>Project: Agoura Landmark 1401 Agoura Rd. Agoura, CA</p>
<p>Architect: LANEY / SHAW</p>	<p>Client: Agoura Landmark</p>
<p>Scale: As Shown</p>	<p>Sheet No: A7.04</p>



<p>JANET SHAW ARCHITECT 6011 Highway 104, Suite 200 Atlanta, GA 30328 Phone: 404-412-4170</p>	
<p>Project: AguraLanmark 600 Agura Ln Atlanta, GA</p>	
<p>Client: Wall Structures & Detail Co.</p>	
<p>Scale: 1/8" = 1'-0"</p>	
<p>Sheet: AN 02</p>	
<p>Date: 10/15/10</p>	
<p>Drawn by: [Signature]</p>	
<p>Checked by: [Signature]</p>	
<p>Approved by: [Signature]</p>	
<p>Professional Seal: [Seal]</p>	

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT: PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL MOOR GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT: PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANNING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL SENSITIVITY TESTS, GROUTING AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBSIDIARY AND FLOW LINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL, RAMPWAYS AND GUTTERS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
- TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 150, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVELY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-DESIGNED HOLIDAYS.
- AN ENCROACHMENT PERMIT IS REQUIRED OF ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY (ROW). ALL APPLICABLE FEES MUST BE PAID AND SECURITIES POSTED PRIOR TO ISSUANCE OF THE PERMIT. ALL WORK REQUIRES APPROVAL FROM THE PUBLIC WORKS INSPECTOR.

INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT (818) 592-2260, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES".

ABBREVIATIONS

AC	ASPHALT CONCRETE	INV	INVERT OF PIPE
APN	ACCESSORY PARCEL NUMBER	LF	LINEAR FEET
C&G	CURB AND GUTTER	NAP	NOT A PART
CONC	CONCRETE	P/L	PROPERTY LINE
CONST	CONSTRUCT	PO	POUCHING THE MAIN
CL	CENTER LINE	R/W	RIGHT OF WAY
DWG	DRAWING	STD	STANDARD
DOT	DOCUMENT	S	SEWER
E	ELECTRICAL	SD	STORM DRAIN
END	END CURVE	SGT	SOUTHERN CALIFORNIA Edison
EX OR EXIST	EXISTING	T	TELEPHONE
FG	FILTERED GRADE	TC	TOP OF CURB
FL	FILLINE	TOP	TOP OF GRADE
FS	FURNISHED SURFACE	TP	TYPICAL
G&S	GRADE	VCP	VETTERED CLAY PIPE
GB	GRADE BREAK	W	WATER
HP	HIGH POINT		

LEGEND AND SYMBOLS

-----	DAYLITE LIMITS	■	GRADED CATCH BASIN
-----	FLOOR LINE	▲	EXISTING FIRE HYDRANT
-----	SEWER LINE	+	NEW SIGN
-----	EXISTING IMPROVEMENTS	→	INDICATES FLOW DIRECTION
-----	NEW STORM DRAIN	(853) 1	EXISTING ELEVATION
-----	PROPERTY LINE	853.1	PROPOSED ELEVATION
-----	RIGHT OF WAY		
-----	CASEMENT		
-----	RIBBON GUTTER		
-----	CONCRETE CURB		

PUBLIC UTILITIES / SERVICES

WATER:	LAS VIRGENES MUNICIPAL WATER DISTRICT 4232 LAS VIRGENES ROAD CALABAS, CA 91302 (818) 880-4110
ELECTRICAL:	SOUTHERN CALIFORNIA Edison 3688 FOOTHILL DRIVE THOUSAND OAKS, CA 91321 (805) 494-7016
TELEPHONE:	SGC (PAC BELL) 16201 RAYNER STREET, #115 VAN NUYS, CA 91406 (818) 373-6889
GAS:	SOUTHERN CALIFORNIA GAS 9400 DAPDALE AVENUE CHARTERSMITH, CA 91313 (818) 701-3324
SEWER:	LA COUNTY, DEPT. OF PUBLIC WORKS SEWER MAINTENANCE DIVISION 1000 S. TREMONT AVENUE, BLDG 49 EAST ALHAMBRA, CA 91803 (626) 300-3308
CABLE:	TIME WARNER CABLE 2526 INELL DRIVE NEARBY PARK, CA 91003 (909) 732-8474
CABLE:	QUARTER COMMUNICATIONS 2608 CROSSCREEK ROAD MALIBU, CA 90265 (310) 456-9010
CALTRANS:	CALTRANS 5400 REEDA BOULEVARD TARZANA, CA 91356 (805) 389-1428

GENERAL NOTES

- THE GRADING PLAN SHOULD INCLUDE THE LIMITS AND DEPTHS OF OVER EXCAVATION OF THE BUILDING PAD AND PLATFORM AREAS AS RECOMMENDED BY THE CONSULTANT.
- "ALL OUT-SLOPES SHOULD BE MAPPED DURING GRADING. STABILIZATION MEASURES SHOULD BE APPLIED WHERE FUTURE CUTS EXPOSE ADVERSELY ORIENTED JOINT SURFACES OR INTERSECTIONS OF JOINT SURFACES."
- "ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED, IN WRITING, BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF REINFORCING STEEL."
- DRAINAGE PLANS DEPICTING ALL SURFACE AND SUBSURFACE NON-EROSIVE DRAINAGE DEVICES, FLOW LINES, AND CATCH BASINS SHALL BE INCLUDED ON THE BUILDING PLANS.
- FINAL GRADING, DRAINAGE, AND FOUNDATION PLANS SHALL BE REVIEWED, SIGNED, AND WET STAMPED BY THE CONSULTANT.

STORMWATER POLLUTION NOTES

- A SITE-SPECIFIC, "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND IDENTIFY THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED AT ALL TIMES.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED ON A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

LEGAL DESCRIPTION

LOT 3 OF PARCEL MAP NO. 13342, RECORDED IN BOOK 157, PAGE 50 THROUGH 57 INCLUSIVE OF PARCEL MAP.



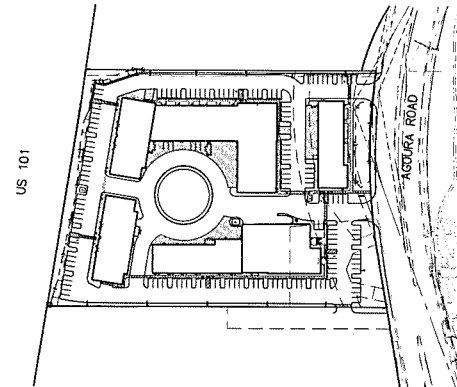
CALL 811 AT LEAST TWO DAYS BEFORE YOU DIG.

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

AGOURA LANDMARK

29621 AGOURA ROAD

AGOURA HILLS, CALIFORNIA



KEY MAP
SCALE: 1"=100'

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PRECISE GRADING AND DRAINAGE PLAN
3	SECTIONS
4	UTILITY PLAN
5	TRUCK TURN EXHIBIT

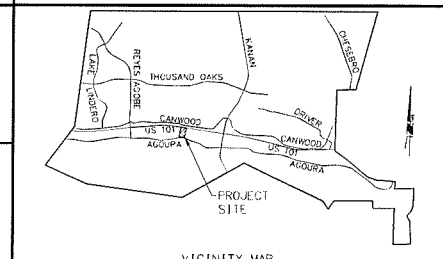
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ESTIMATED FILL:	12,412	CY	ESTIMATED EXPORT: 5,198
ESTIMATED CUT:	7,214	CY	ESTIMATED IMPORT: 0
ESTIMATED OVER-EXCAVATION:		CY	

BENCHMARK			
DESCRIPTION:	EM NO. CY-10008 (RM 7533)	ELEVATION:	939.168
		SURVEY DATE:	JUL 1998
			REBM TAG BE COR BRIDGE OVER (101 FW) 2M E/O 2' OF BR E/O C/L
			RODS ADGE RD 3 204 A/D C D/D ON-OFF RAMP

RECORD DRAWING STATEMENT			
I, _____, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTORS, THAT THE WORK ON SHEET NOS. _____ THROUGH _____ WAGGED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.			
REGISTERED CIVIL ENGINEER	DATE	RCE NO.	EXP. DATE

SOILS APPROVAL			
THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____			
REGISTERED GEOLOGIST	DATE	ROC NO.	EXP. DATE
REGISTERED GEOTECHNICAL ENGINEER	DATE	RCF NO.	EXP. DATE

OWNER	
NAME:	AGOURA LANDMARK, LTD
ADDRESS:	568 CONSTITUTION AVE., SUITE H
REPRESENTATIVE:	MR. MARTIN TELLEBALM
TELEPHONE:	(805) 383-2221
CIVIL ENGINEER	
NAME:	DELANE ENGINEERS
ADDRESS:	2812 SANTA MONICA BLVD., #206, SANTA MONICA CA 90404
REPRESENTATIVE:	SCOTT D. UDKES, P.E.
TELEPHONE:	(310) 876-0802
GEOTECHNICAL ENGINEER	
NAME:	GORDON & ASSOCIATES, INC.
ADDRESS:	3599 ELDORADO RD. THOUSAND OAKS, CA 91320
REPRESENTATIVE:	EROME BLONCK
TELEPHONE:	818-859-2137



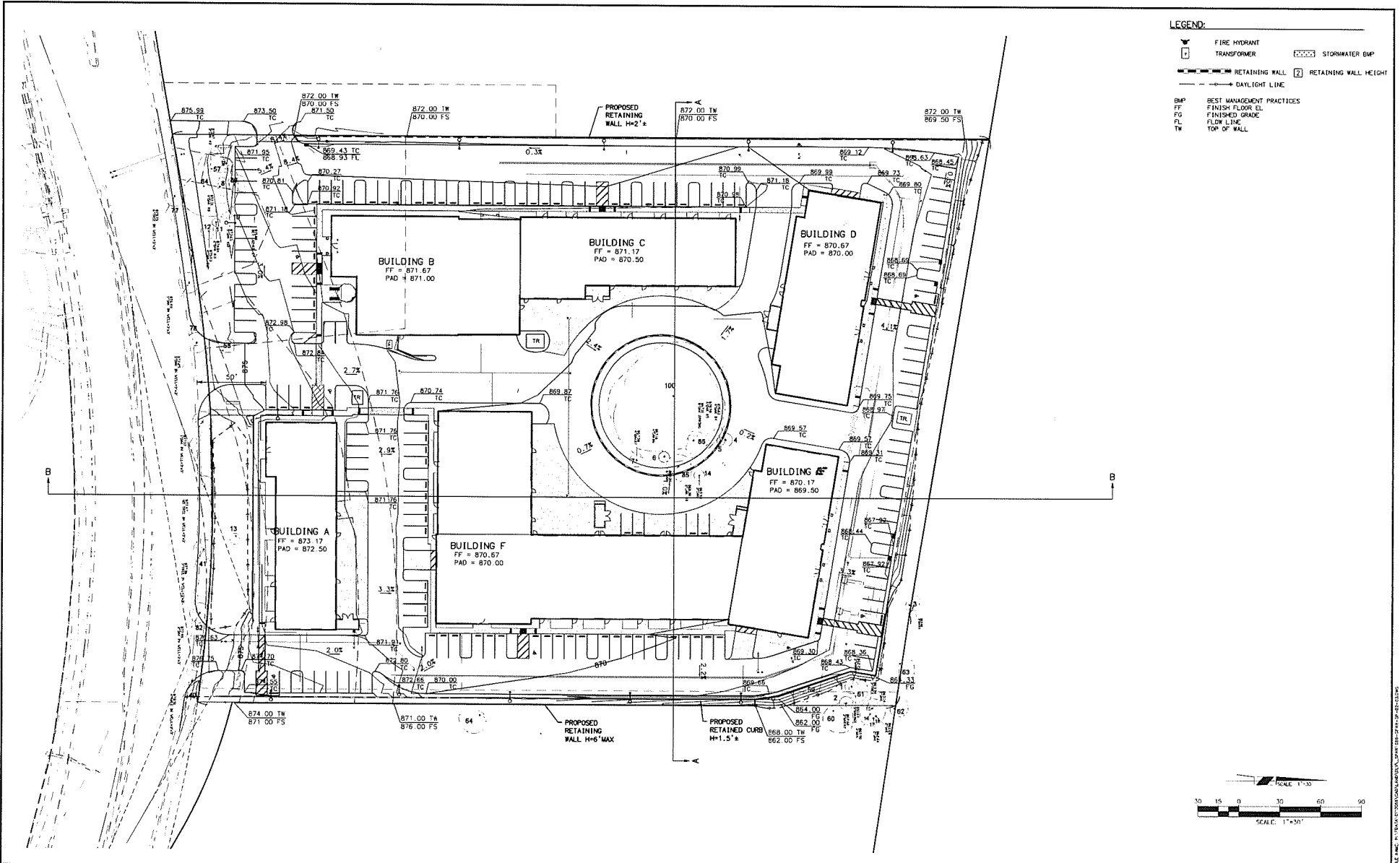
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY
DELANE ENGINEERS
SCOTT D. UDKES

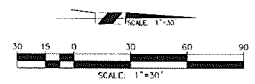
CITY OF AGOURA HILLS APPROVAL
ROMIRO ADEVA
CITY ENGINEER

AGOURA HILLS
6665 RCE/NO 3/30/14 EXP DATE

SITE PLAN/ ARCHITECTURAL REVIEW (SPAR) FOR AGOURA LANDMARK
COVER SHEET
SHEET 1 OF 5



- LEGEND:**
- FIRE HYDRANT
 - TRANSFORMER
 - STORMWATER BMP
 - RETAINING WALL
 - RETAINING WALL HEIGHT
 - DAYLIGHT LINE
 - BMP
 - FF
 - FF EL
 - FG
 - FL
 - TW



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY
DELANE
 ENGINEERS ARCHITECTS
 2000 W. AGOURA AVENUE, SUITE 100
 AGOURA HILLS, CA 91301
 SCOTT D. DUKES

CITY OF AGOURA HILLS APPROVAL

REVIEWED BY _____ DATE _____

ROMIRO ADEVA
 CITY ENGINEER

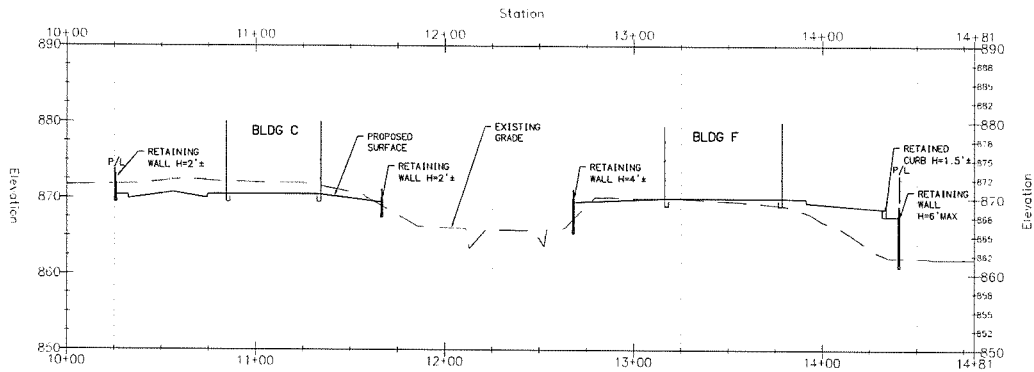
66005 RCE NO. 5/2014 EXP. DATE



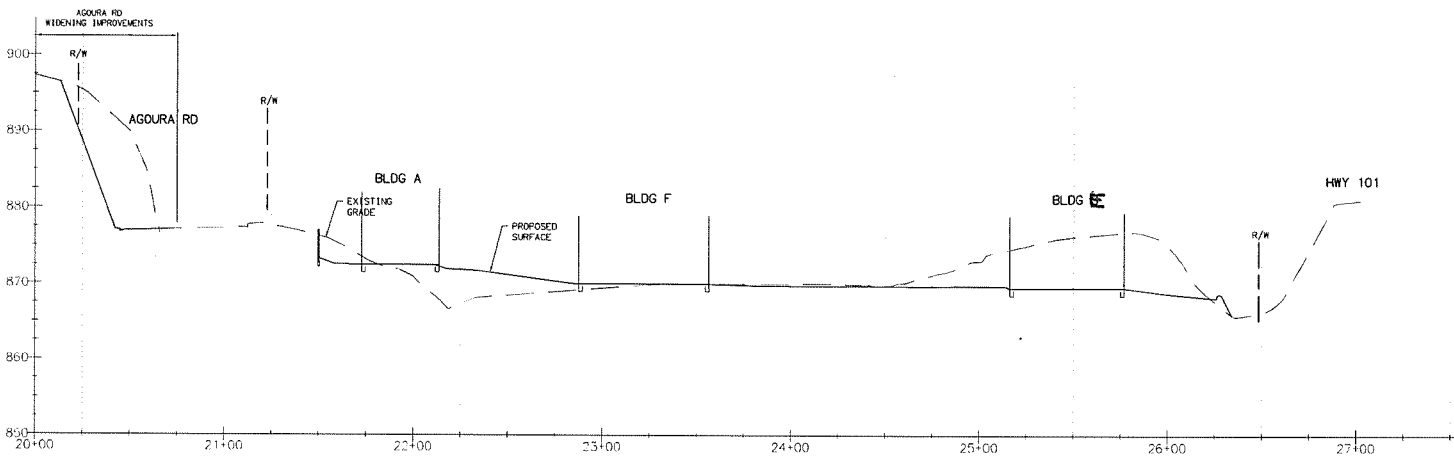
SITE PLAN/ ARCHITECTURAL REVIEW (SPAR)
 FOR AGOURA LANDMARK

GRADING PLAN

SHEET 2 OF 5



SECTION A-A
SCALE: 1"=30'



SECTION B-B
SCALE: 1"=30'

GEOTECHNICAL NOTES

- REMOVALS OF NON-ENGINEERED FILL, COMPRESSIBLE OR OTHERWISE UNSUITABLE ALLUVIUM AND WEATHERED BEDROCK ARE ANTICIPATED PREDOMINATELY AT THE WESTERN END OF THE ROAD WIDENING WITHIN AND ADJACENT TO THE EXISTING DRAINAGE COURSE. THE REMOVALS SHOULD EXTEND TO FIRM IN-PLACE ALLUVIUM OR BEDROCK. AFTER REMOVALS ARE COMPLETED, A REPRESENTATIVE OF GORIAN AND ASSOCIATES, INC. SHOULD OBSERVE THE BOTTOM OF THE REMOVAL AREA PRIOR TO PLACING FILL. NO FILLS SHOULD BE PLACED UNTIL THE GEOTECHNICAL OBSERVATION OF REMOVAL AREAS IS COMPLETED.
- WITHIN THE BUILDING AREA, ALL FILL SOILS SHOULD BE REMOVED TO FIRM IN-PLACE NATIVE ALLUVIUM OR BEDROCK. ALSO, THE MINIMUM REMOVAL SHOULD BE 10 FEET FROM THE EXISTING GRADE OR TO 3 FEET BELOW THE BOTTOM OF THE FOOTINGS, WHICHEVER IS THE DEEPER. THE REMOVALS SHOULD EXTEND PAST THE OUTSIDE OF THE FOOTINGS A MINIMUM DISTANCE EQUAL TO THE DEPTH OF REMOVAL BELOW THE FOOTING OR A MINIMUM OF 5 FEET, WHICHEVER IS GREATER. AFTER REMOVALS ARE COMPLETED, A REPRESENTATIVE OF GORIAN AND ASSOCIATES, INC. SHOULD OBSERVE THE BOTTOM OF THE REMOVAL AREA PRIOR TO PLACING FILL. NO FILLS SHOULD BE PLACED UNTIL THE GEOTECHNICAL OBSERVATION OF REMOVAL AREAS IS COMPLETED.
- AFTER COMPLETING REMOVALS, SUITABLE IN-PLACE SOILS SHOULD BE PROCESSED BEFORE PLACING FILL. PROCESSING SHOULD CONSIST OF SCARIFICATION OF THE EXPOSED SOIL TO A MINIMUM DEPTH OF 6 TO 8 INCHES. THE SCARIFIED SURFACE SHOULD BE RELATIVELY FREE OF UNEVEN FEATURES THAT WOULD PREVENT UNIFORM COMPACTING. SOILS SHOULD BE MOISTURE CONDITIONED TO SLIGHTLY ABOVE OPTIMUM MOISTURE CONTENT AND COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTING.
- EXCAVATED ON-SITE SOILS AND FILL SHOULD BE CLEANED OF MAJOR VEGETATION, TRASH AND DEBRIS PRIOR TO PLACEMENT AS FILL. ROCK SHOULD NOT EXCEED 12 INCHES IN DIAMETER. FILL SOILS SHOULD BE PLACED IN THIN UNIFORM LIFTS, BROUGHT TO SLIGHTLY ABOVE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTING.
- BACKFILL OF ALL UTILITY TRENCHES SHOULD BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTING.
- CUT SLOPES CONSTRUCTED WITHIN THE BEDROCK AND ALLUVIAL AREAS ARE EXPECTED TO EXPOSE FIRM, COMPETENT SLOPE FACES AND MAY BE CONSTRUCTED AT A MAXIMUM GRADIENT OF 2(H):1(V). THE PROJECT ENGINEERING GEOLOGIST SHOULD OBSERVE ALL OF THE CUT SLOPES FOR POSSIBLE ADVERSE GEOLOGIC CONDITIONS.
- A SMALL SECTION OF FILL SLOPE IS PROPOSED THAT MAY BE CONSTRUCTED AT A MAXIMUM GRADIENT OF 2(H):1(V). FILL SLOPES SHOULD BE KEYED AND BENCHED INTO FIRM IN-PLACE SOIL OR BEDROCK. FILL SLOPE KEYWAYS SHOULD BE A MINIMUM OF 15 FEET WIDE (OR AS DETERMINED IN THE FIELD BY A REPRESENTATIVE OF GORIAN AND ASSOCIATES, INC.) AND CUT TO A MINIMUM DEPTH OF 2 FEET AT THE TOE INTO COMPETENT IN-PLACE MATERIALS. THE KEYWAY SHOULD BE TILTED INTO THE SLOPE AND SHOULD BE AT LEAST 3 FEET DEEP AT THE HEEL (MEASURED FROM BELOW THE SLOPE TOE ELEVATION). A REPRESENTATIVE FROM GORIAN AND ASSOCIATES, INC. SHOULD OBSERVE THE KEYLESS PRIOR TO FILL PLACEMENT.
- THE UPPER 6 INCHES OF THE SLAB SUB GRADE SOILS SHOULD BE RECOMPACTED PRIOR TO PLACING THE SAID SUBBASE. IF THE SOILS WERE DISTURBED DURING FOOTING CONSTRUCTION OR UTILITY INSTALLATION.
- EXPANSION TESTED BY ESSC RANGED FROM LOW TO MEDIUM EXPANSION HOWEVER, THE EXPANSION POTENTIAL OF THE BUILDING PADS SHOULD BE EVALUATED AT THE END OF GRADING.
- ALL FOOTING SHOULD BE CUT SQUARE AND LEVEL AND CLEANED OF SLOUGH. SOIL EXCAVATED FROM THE FOOTING AND UTILITY TRENCHES SHOULD NOT BE SPREAD OVER AREAS OF CONSTRUCTION UNLESS PROPERLY COMPACTED. A REPRESENTATIVE OF GORIAN AND ASSOCIATES, INC. SHOULD OBSERVE THE FOOTING EXCAVATIONS PRIOR TO PLACING REINFORCING STEEL. SOILS SILTED INTO THE FOOTING EXCAVATIONS DURING THE PRE MOISTENING OPERATIONS SHOULD BE REMOVED PRIOR TO CASTING THE CONCRETE. THE FOOTINGS SHOULD BE CAST AS SOON AS POSSIBLE TO AVOID DEEP DESICCATION OF THE FOOTING SUBSOILS.
- DRAINAGE PLANS DEPICTING ALL SURFACE AND SUBSURFACE NON-EROSIVE DRAINAGE DEVICES, FLOW LINES, AND CATCH BASINS SHOULD BE INCLUDED ON THE BUILDING PLANS.
- AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE THE RESULTS OF ALL COMPACTION TESTS AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL, BACK DRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
- RECOMMENDATIONS PRESENTED IN THE GEOTECHNICAL REPORTS DATED JULY 12, 2005, AUGUST 11, 2005, AUGUST 18, 2005, OCTOBER 25, 2005, DECEMBER 2, 2005, JANUARY 11, 2006, JANUARY 11, 2006, JANUARY 25, 2006 BY GORIAN AND ASSOCIATES, INC. SHALL BE CONSIDERED PART OF THESE PLANS.

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY
DELANE
ENGINEERING & ARCHITECTURE
200 SOUTH GARDEN STREET, SUITE 200
AGOURA HILLS, CALIFORNIA 91301-2000
TEL: 714.271.1111 FAX: 714.271.1112

CITY OF AGOURA HILLS APPROVAL

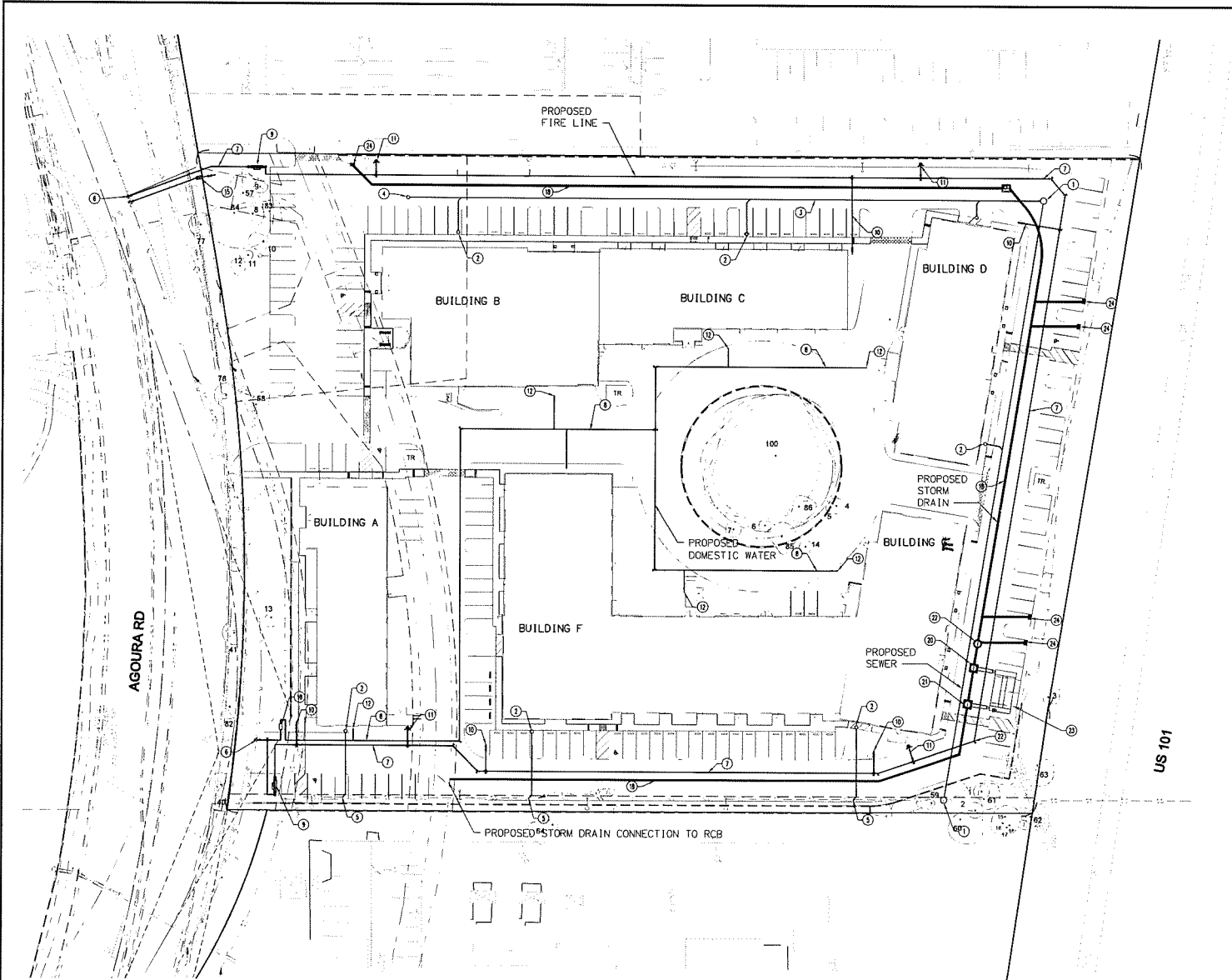
REVIEWED BY	DATE	ROHMO ADEVA CITY ENGINEER	DATE	66965 RECEIVED	9/30/14 EXP. DATE
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SITE PLAN/ ARCHITECTURAL REVIEW (SPAR)
FOR AGOURA LANDMARK

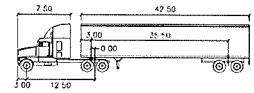
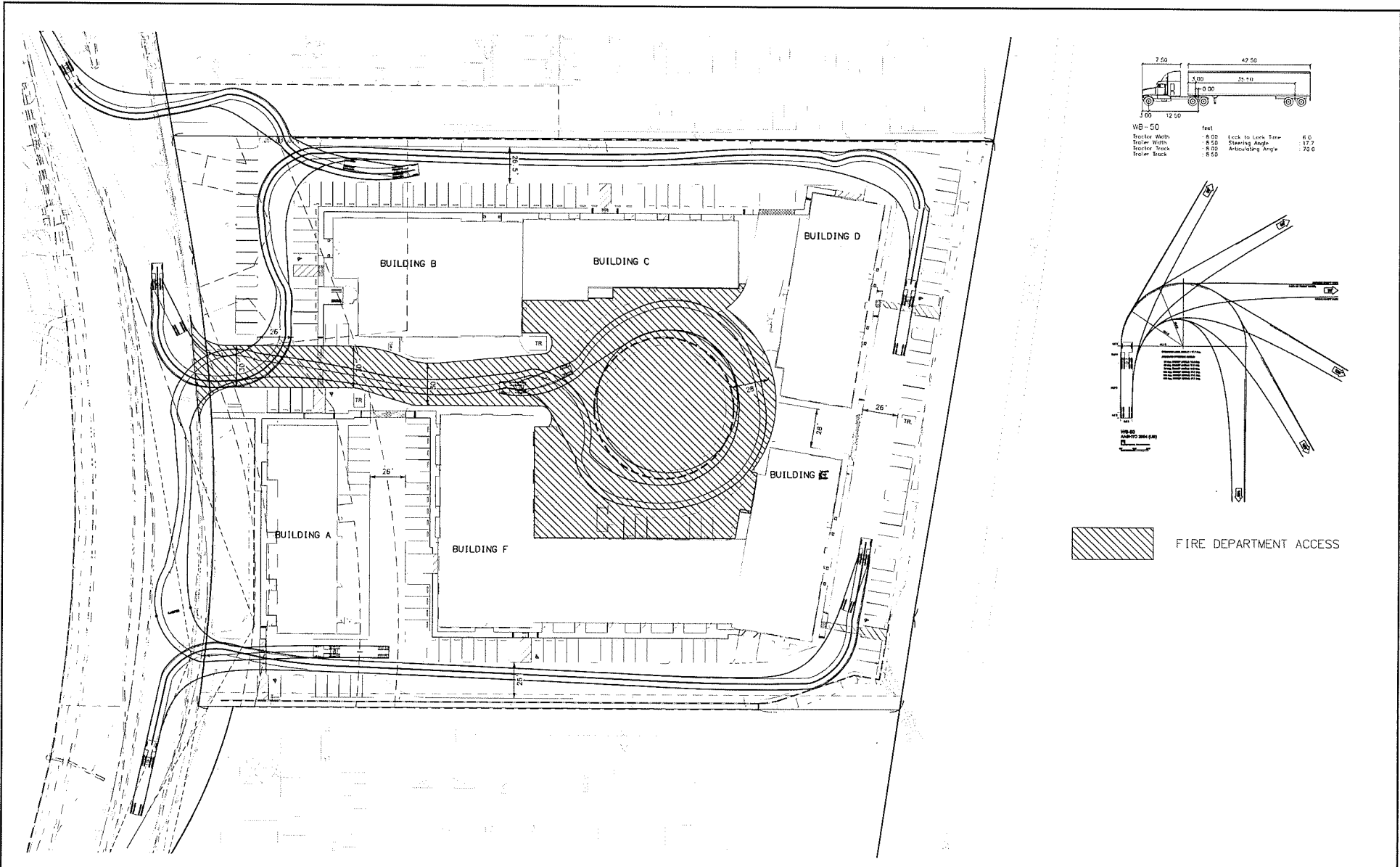
GRADING PLAN SECTIONS

SHEET 3 OF 5

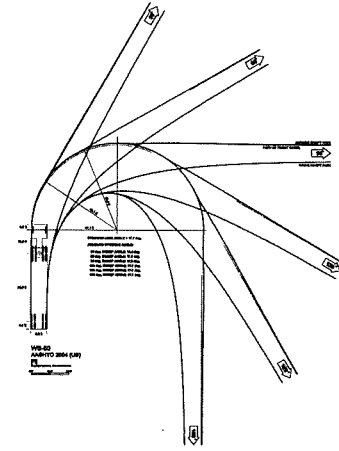


- ### CONSTRUCTION NOTES
- ① CONSTRUCT SEWER MANHOLE
 - ② CONSTRUCT 8" PVC SERVICE LATERAL
 - ③ CONSTRUCT 8" PVC SEWER MAIN
 - ④ CONSTRUCT 6" CLEANOUT
 - ⑤ CONNECT SEWER LATERAL TO EXISTING 12" SEWER MAIN
 - ⑥ CONNECT TO EXISTING 24" WATER MAIN WITH 24"x24"x8" TEE. COORDINATE SHUTDOWN WITH LUMID
 - ⑦ CONSTRUCT 6" PVC (C-900) WATER LINE (42" MIN COVER), FITTINGS & THRUST BLOCK
 - ⑧ CONSTRUCT 4" PVC (C-900) WATER LINE (42" MIN COVER), FITTINGS & THRUST BLOCK
 - ⑨ CONSTRUCT 6" FIRE LINE WITH DOUBLE CHECK DETECTOR BACKFLOW PREVENTER ASSEMBLY
 - ⑩ CONSTRUCT 6" FIRE LINE WITH POST INDICATOR VALVE AND FDC
 - ⑪ CONSTRUCT 6" FIRE HYDRANT ASSEMBLY
 - ⑫ CONSTRUCT 2" DOMESTIC WATER SERVICE
 - ⑬ CONSTRUCT 1" IRRIGATION SERVICE
 - ⑭ CONSTRUCT 6" POST INDICATOR VALVE
 - ⑮ CONSTRUCT 1-1/2" IRRIGATION METER. CONNECT TO RECYCLED WATER LINE
 - ⑯ CONSTRUCT DOMESTIC WATER METER
 - ⑰ CONSTRUCT 12" PVC (SDR-35) STORM DRAIN PIPE
 - ⑱ CONSTRUCT STORM DRAIN MANHOLE
 - ⑲ CONSTRUCT STORM DRAIN DIVERSION MANHOLE
 - ⑳ CONSTRUCT STORM DRAIN CONVERSION MANHOLE
 - ㉑ INSTALL CDS UNIT (UNDERGROUND DETENTION PRETREATMENT DEVICE)
 - ㉒ CONSTRUCT UNDERGROUND DETENTION BASIN. REQUIRED STORAGE VOLUME 1,684 CF
 - ㉓ CONSTRUCT GRATED CATCH BASIN WITH FILTER INSERT (NYLOPLAST PRODUCTS OR EQUAL)

PREPARED BY DELANE CIVIL ENGINEERING 221 W. AGOURA BLVD., SUITE 200 AGOURA, CA 91301-3418 TEL: 818.477.4477 FAX: 818.477.4478				CITY OF AGOURA HILLS APPROVAL REVIEWED BY _____ DATE _____ ROMIRO ADEVA CITY ENGINEER				CITY OF AGOURA HILLS	
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	RECEIVED	EXP. DATE	SITE PLAN/ ARCHITECTURAL REVIEW (SPAR) FOR AGOURA LANDMARK UTILITY PLAN SHEET 4 OF 5		



WB-50	feet
Tractor Width	8.00
Tractor Width	8.00
Tractor Track	8.00
Tractor Track	8.00
Lock to Lock Time	6.0
Steering Angle	17.7
Articulating Angle	70.0



FIRE DEPARTMENT ACCESS

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY
DELANE
 CIVIL ENGINEERS & ARCHITECTS
 2215 WILSON AVENUE, SUITE 100
 AGoura Hills, CA 92615
 TEL: 949.279.1111 FAX: 949.279.1112

CITY OF AGOURA HILLS APPROVAL		CITY OF AGOURA HILLS APPROVAL	
REVIEWED BY	DATE	ROMIRO ADEVA CITY ENGINEER	DATE
69965	9/30/14	RCE NO	EXP DATE



SITE PLAN/ ARCHITECTURAL REVIEW (SPAR)
 FOR AGOURA LANDMARK
TRUCK TURN EXHIBIT
 SHEET 5 OF 5

PLOT DATE: 10/14/14 10:27 AM FILE NAME: C:\TEMP\GIS\DRAWING\DWG\140924\SP-0338.DWG



D-Series Site U
IES File: D-Series_Site_U.ies

Specifications:

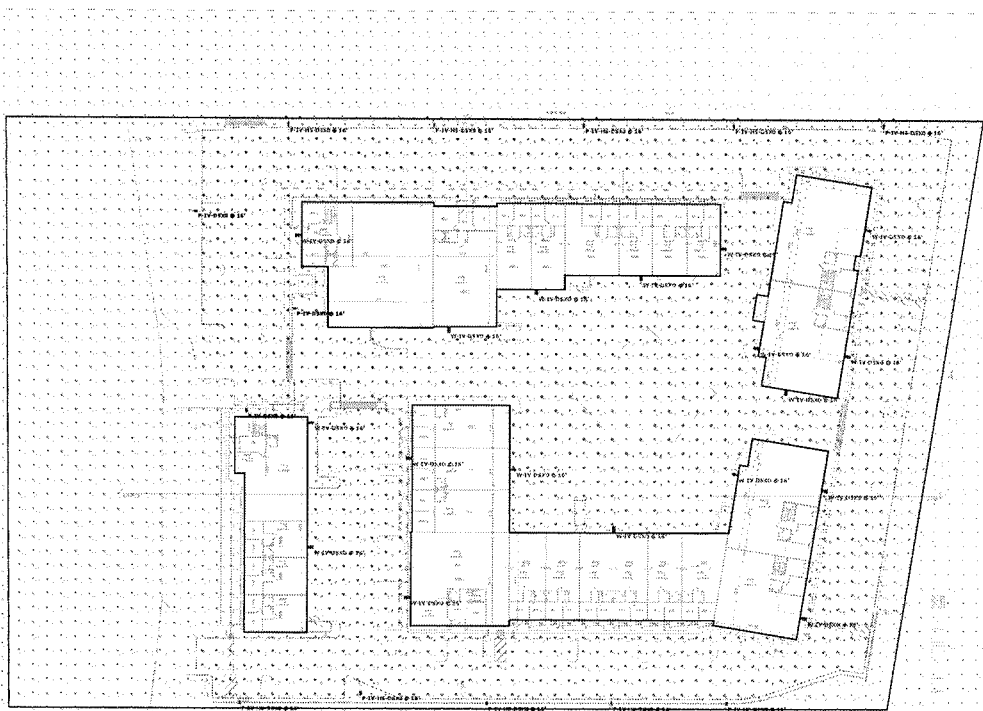
- Brand: VERA
- Model: D-Series Site U
- Height: 30.00 ft
- Width: 1.00 ft
- Depth: 1.00 ft
- Weight: 10.00 lbs
- Material: Aluminum
- Finish: White
- Beam Spread: 120°
- Color Temperature: 4000K
- Power: 100W
- Life Span: 50,000 hours

Year-Mounting Schedule

Year	Mounting Schedule
2015	100%
2016	100%
2017	100%
2018	100%
2019	100%
2020	100%
2021	100%
2022	100%
2023	100%
2024	100%
2025	100%

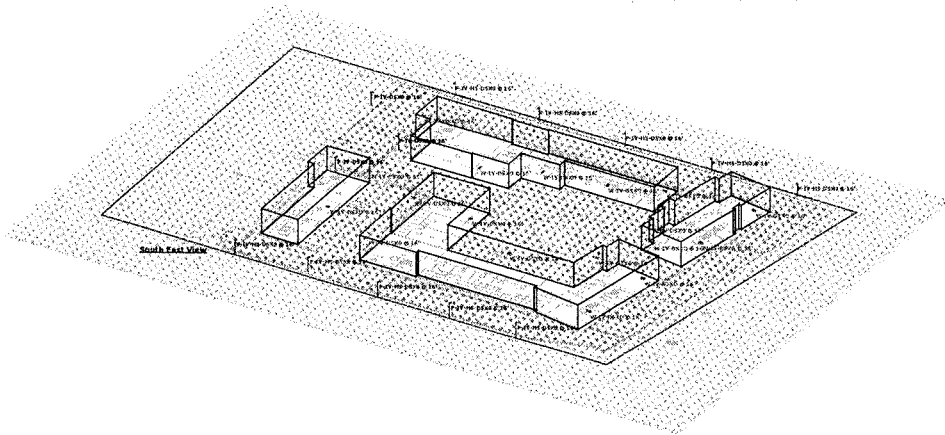
Summary

Item	Quantity	Unit Price	Total Price
D-Series Site U	10	137.49	1374.90
W-TV-D5X0	10	137.49	1374.90
P-TV-D5X0	10	137.49	1374.90
P-TV-HS-D5X0	10	137.49	1374.90
Subtotal	40		5500.00
Total	40		5500.00



Plan View
Scale: 1" = 40'

Item	Quantity	Unit Price	Total Price
D-Series Site U	10	137.49	1374.90
W-TV-D5X0	10	137.49	1374.90
P-TV-D5X0	10	137.49	1374.90
P-TV-HS-D5X0	10	137.49	1374.90
Subtotal	40		5500.00
Total	40		5500.00



- Note**
1. References: Site n/a (direct component only)
 2. Building Height: 30.00' (estimated)
 3. Fixture Mounting Height: As Noted on Plan (Mounting Height = Pole + Base)
 4. Calculation points are 10' x 10' on center spacing at height indicated in Schedule
 5. Landscaping, Trees, canopies, architectural features, handrails, stairs, slope and other obstructions are not included in the calculation results.
 6. Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including, but not limited to, ambient temperature, line voltage variations, installation, reflectances, and other site specific conditions.
 7. The model numbers in the Luminaire Schedule below may vary from the Architectural/Engineering Fixture Schedule due to the availability of IES files. Refer to Architectural/Engineering Fixture Schedule for the complete specification and model number.
 8. These lighting photometrics are not a substitute for independent engineering analysis and co-ordination of lighting system suitability and safety.

Luminaire Schedule	Item	Quantity	Manufacturer	Fixture Model	Photometric Data	Beam Spread	Beam Angle	Beam Diameter	Beam Area	Beam Power	Beam Flux
P-TV-D5X0	3	Ushora Lighting	D516 LED 40C 100W 40K TAN PVOLT	D516 LED WITH (3) 30 LED LIGHT ENGINES, TYPE TAN OPTIC, 4000K, #1000004	LED	1	D516 LED 40C 100W 40K TAN PVOLT	13198	0.9	137.49	
P-TV-HS-D5X0	10	Ushora Lighting	D516 LED 40C 100W 40K TAN PVOLT HS	D516 LED WITH (3) 30 LED LIGHT ENGINES, TYPE TAN OPTIC, 4000K, #1000004 WITH HOUSING SIDE MOUNT	LED	1	D516 LED 40C 100W 40K TAN PVOLT HS	9440	0.9	137.49	
W-TV-D5X0	10	Ushora Lighting	D516 LED 40C 100W 40K TAN PVOLT WBA	D516 LED WITH (3) 30 LED LIGHT ENGINES, TYPE TAN OPTIC, 4000K, #1000004	LED	1	D516 LED 40C 100W 40K TAN PVOLT WBA	13198	0.9	137.49	

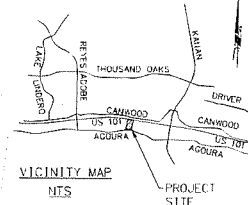
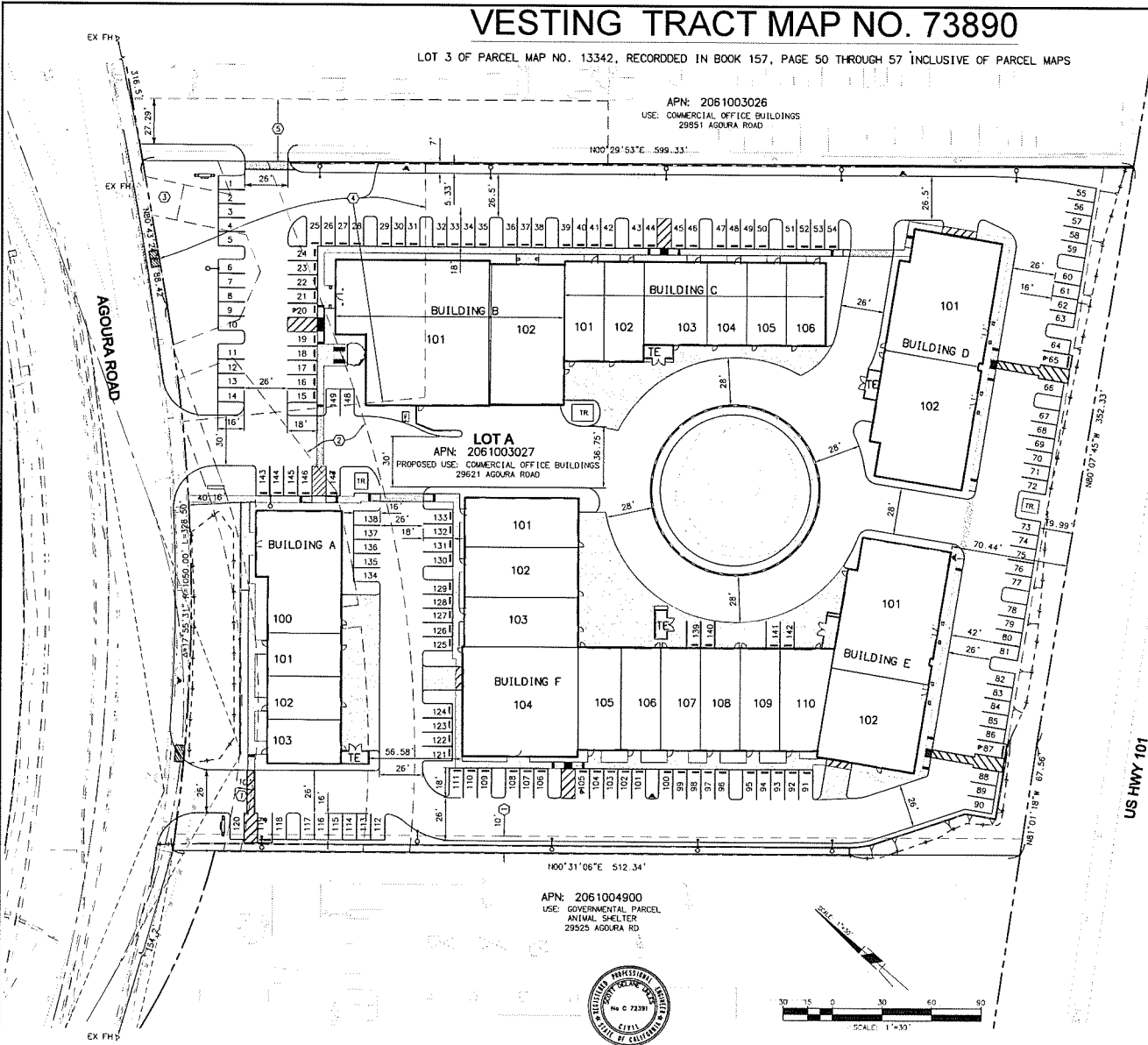
VESTING TRACT MAP NO. 73890

LOT 3 OF PARCEL MAP NO. 13342, RECORDED IN BOOK 157, PAGE 50 THROUGH 57 INCLUSIVE OF PARCEL MAPS

APN: 2061003026
USE: COMMERCIAL OFFICE BUILDINGS
29951 AGOURA ROAD

LOT A
APN: 2061003027
PROPOSED USE: COMMERCIAL OFFICE BUILDINGS
29521 AGOURA ROAD

APN: 2061004900
USE: GOVERNMENTAL PARCEL
ANIMAL SHELTER
29525 AGOURA RD



PROJECT INFORMATION	
PROJECT NAME	AGOURA LANDMARK
OWNER/SUBDIVIDER	AGOURA LANDMARK, LP 563 CONSTITUTION AVE, SUITE H CARMARTILLO, CA 93012
ARCHITECT	LANEY-SHAW ARCHITECTS INC. 11741 W. PICO BLVD LOS ANGELES, CA 90064
LEGAL DESCRIPTION	LOT 3 OF PARCEL MAP NO. 13342, RECORDED IN BOOK 157, PAGE 50 THROUGH 57 INCLUSIVE OF PARCEL MAPS
BENCHMARK	VENTURA CO. BM CY-10004 (BM 7553) ROOM TAG SE COR BRIDGE OVER (101 FW) 24' 1/2' E OF BM C/O C/L VINES MOORE RD & 24' N/O E END ON-OFF RAMP ELEV. 939.168 (ADJ. 1989)
THOMAS GUIDE	MAP PG 557 JS
FLOOD ZONE	ZONE X, MAP NUMBER 06037C1244F

PROPOSED LOTTING			
LOT	AREA (AC)	AREA (SF)	LAND USE
LOT A	5.17	225,337	INDUSTRIAL

FOR CONDOMINIUM PURPOSES

EASEMENT & R/W SCHEDULE		
EASEMENT DESCRIPTION	STATUS	
10' WIDE EASEMENTS FOR PIPE LINES PURPOSES, AS GRANTED TO LAS VIRGENES MUNICIPAL WATER DISTRICT PER BOOK D3031, PG 352 AND BOOK D3161, PG 593, BOTH OF OFFICIAL RECORDS OF LOS ANGELES COUNTY.	TO REMAIN	①
EASEMENT FOR COVERED STORM DRAIN, FLOOD CONTROL AND DRAINAGE AND EGRESS PURPOSES, AS GRANTED TO LOS ANGELES COUNTY FLOOD CONTROL DISTRICT PER INSTRUMENT NO. 3516, RECORDED JULY 18, 1973, IN BOOK D5951, PG 227 OF OFFICIAL RECORDS OF LOS ANGELES COUNTY.	TO REMAIN	②
22' WIDE EASEMENT FOR STORM DRAIN PURPOSES, AS GRANTED TO COUNTY OF LOS ANGELES PER DOCUMENT RECORDED AUGUST 9, 1980, AS INSTRUMENT NO. 80-764242 OF OFFICIAL RECORDS OF LOS ANGELES COUNTY.	TO REMAIN	③
AN EASEMENT FOR FLOOD HAZARD AREA PURPOSES, AS GRANTED TO THE COUNTY OF LOS ANGELES PER PARCEL MAP NO. 13342, FILED IN BOOK 157, PG 50 OF PARCEL MAPS.	TO REMAIN	④
38' WIDE DRIVEWAY EASEMENT PER DOCUMENT RECORDED DECEMBER 13, 2001, AS INSTRUMENT NO. 2001-3385342 OF OFFICIAL RECORDS OF LOS ANGELES COUNTY.	TO REMAIN	⑤

PARKING SUMMARY	
DESCRIPTION	UNITS
STANDARD PARKING STALLS	142
ACCESSIBLE PARKING STALLS	7
TOTAL PARKING STALLS	149

UTILITIES	
WATER:	LAS VIRGENES MUNICIPAL WATER DISTRICT 4332 LAS VIRGENES ROAD CALABAS, CA 91302 (818) 880-4110
ELECTRICAL:	SOUTHERN CALIFORNIA EDISON 3589 FOOTHILL DRIVE THOUSAND OAKS, CA 91361 (805) 494-7016
TELEPHONE:	SBC (PAC BELL) 16201 RAMBER STREET, #115 VAN NUYS, CA 91406 (818) 373-6889
GAS:	SOUTHERN CALIFORNIA GAS 9400 GARDALE AVENUE CHATELAIN, CA 91313 (818) 701-3324
SEWER:	LA COUNTY, DEPT. OF PUBLIC WORKS SEWER MAINTENANCE DIVISION 1000 S. FREMONT AVENUE, BLDG A9 EAST ALHAMBRA, CA 91803 (626) 300-3300
CABLE:	TIME WARNER CABLE 2525 KNOX DRIVE MENDOTA PARK, CA 91003 (626) 332-8474
CABLE:	CHARTER COMMUNICATIONS 3906 CROSSCREK ROAD MILLBU, CA 92065 (310) 456-5010
CALTRANS:	CALTRANS 5660 RESEDA BOULEVARD TARZANA, CA 91356 (805) 388-1426

LAND USE DATA	
GROSS AREA	225,337 SF (5.17 AC)
NET AREA	225,337 SF (5.17 AC)
EXISTING ZONING	INDUSTRIAL PLANNED DEVELOPMENT
PROPOSED ZONING	INDUSTRIAL PLANNED DEVELOPMENT
EXISTING LAND USE	INDUSTRIAL
PROPOSED LAND USE	INDUSTRIAL
BUILDING FOOTPRINT	69,467 SF
BUILDING A	8,058 SF
BUILDING B	12,093 SF
BUILDING C	8,403 SF
BUILDING D	10,716 SF
BUILDING E	9,452 SF
BUILDING F	21,130 SF
HARDSCAPE AREA	107,053 SF
LANDSCAPE AREA	48,417 SF

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY
DELANE
ARCHITECTS INC.
1000 S. FREMONT AVENUE, BLDG A9 EAST
ALHAMBRA, CA 91803
(626) 300-3300

CITY OF AGOURA HILLS APPROVAL
REVIEWED BY _____ DATE _____
ROMIRO ADEVA
CITY ENGINEER

66965 RCE NO. 8/30/16 EXP DATE



VESTING TRACT MAP NO. 73890
FOR
AGOURA LANDMARK
SHEET 1 OF 1
CITY OF AGOURA HILLS DWG NO. _____



PLANT PALLETTE

TREES

- (M) Arbutus unedo 'Marina' - Strawberry Tree
WUCOLS ZONE - A / B-15
- (L) Brachycthon populneus - Australian Bottle Tree
WUCOLS ZONE - B
- (L) Cercia occidentalis - Western Redbud
WUCOLS ZONE - A / B-10
- (M) Hymenosporum flavum - Sweetshade
WUCOLS ZONE - A / B
- (M) Lagerstroemia ind. 'Muskogee' - Crape Myrtle
WUCOLS ZONE - A / B
- (M) Platanus acer. 'Bloodgood' - London Plane Tree
WUCOLS ZONE - 15' From Structure
- (M) Rhaphiolepis 'Majestic Beauty' - Indian Hawthorn
WUCOLS ZONE - A / B
- (L) Quercus agrifolia - Coast Live Oak (Mitigation Replacement Oaks)
WUCOLS ZONE - B-30

SHRUBS / GRASSES - (Under 3'-0")

(See description by areas below)

- (L) Berberis aquifolium 'Compacta' - Oregon Grape
- (L) Cistus purpureus - Orchid Rockrose
- (M) Dianella revoluta 'Baby Bliss' - Flax Lily
- (L) Epilobium canum 'Catalina' - Catalina Fuschia
- (M) Festuca rubra 'Molise' - Creeping Red Fescue
- (M) Festuca ovina glauca - Blue Fescue
- (M) Hemerocallis hybrids - Daylily
- (M) Iris douglasiana - Douglas Iris
- (L) Leymus c. 'Canyon Prince' - Wild Rye
- (L) Penstemon h. heterophyllus - Penstemon
- (M) Rose 'Town & Country' (Pink) - Rose

UTILITY SCREEN PLANTS

- (L) Prunus l. lyonii - Catalina Cherry

GROUNDCOVER

- (L) Convolvulus creneum - Bush Morning Glory
- (L) Cotoneaster dammerii 'Lowfast' - Cotoneaster
- (L) Fragaria chiloensis - Ornamental Strawberry
- (L) Rosmarinus o. 'Prostratus' - Creeping Rosemary
- (M) Trachelospermum jasminoides - Star Jasmine

VINES - (On Trash Enclosures)

- (M) Clytostoma callistegioides - Violet Trumpet Vine

(*L), (M), (H) represents Low, Medium and High plant water needs, derived from WUCOLS.

PLANT DESCRIPTIONS:

(Trees designated by symbols in legend)

Building Edge Treatment consist of: Accent shrubs and herbaceous plantings (Dianella, Festuca, Hemerocallis, Iris, Roses, Trachelospermum).

Front Slope Planting consist of: Various drought tolerant shrub groupings (Berberis, Cistus, Leymus, Penstemon, Cotoneaster, Arctostaphylos, Rosemary) and grasses (Festuca, Leymus)

Finger Planters consist of: Accent shrubs (Berberis, Hemerocallis) and grasses (Dianella, Festuca, Leymus)

Perimeter Planters against adjacent existing development consist of (Berberis, Cistus, Dianella, Penstemon) and a hedge row of Prunus lyonii.

Buffer against Freeway consist of: Large shrubs (Prunus lyonii) and accent shrubs (Epilobium and Penstemon)

Trash enclosures to receive vines (Clytostoma)

*Existing oaks - Quercus agrifolia and lobata to be preserved as noted at random locations on site as well as existing Quercus ilex / agrifolia street trees along Agoura Road.

WATER CONSERVATION NOTE

The irrigation system will be a state of the art irrigation system, the system will include a combination sub-surface and point irrigation as well as an e.t. based controller to reduce evapotranspiration and conserve water. The irrigation valves shall be hydrozoned based on water requirements of specified plant material, all irrigation within the city right of way shall comply with the city requirements.

TOTAL SITE AREA = 225,337 SF
TOTAL SITE LANDSCAPE AREA = 49,869 SF
PERCENT PLANTING = 22.1%

TOTAL PARKING / DRIVE LANDSCAPE AREA = 12,465 SF
TOTAL PARKING AREA = 69,202 SF
PERCENT PLANTING = 16%

*NOTE: FOR SHADE STUDY, SEE SEPARATE EXHIBIT

LEGEND

- A Stamped Concrete - Square Pattern
- B Stamped Concrete - Brick Pattern
- C Asphalt Paving
- D Landscape Planters
- E Project Signage
- F Electrical Transformer
- G Permeable Paving at Oak tree canopy (For aeration)

Preliminary Landscape Plan

Agoura Landmark - Commercial

29621 Agoura Road, Agoura, CA 91301

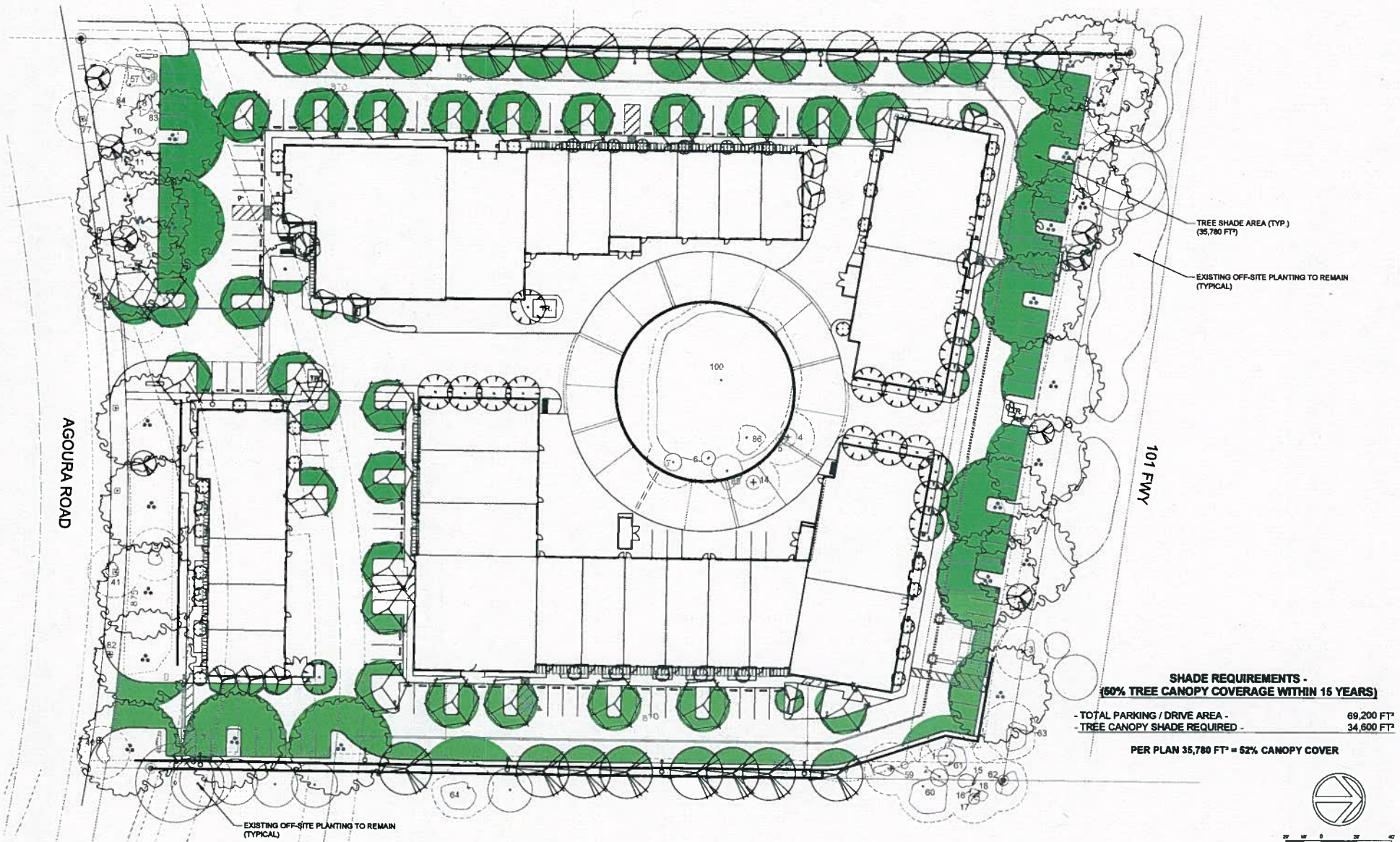
Applicant:
Agoura Landmark L.P.
569 Constitution Avenue, Suite H
Camarillo, CA 93012

Prepared By:
L. Newman Design Group, Inc.
31300 Via Collins, Suite 104
Westlake Village, Ca 91362



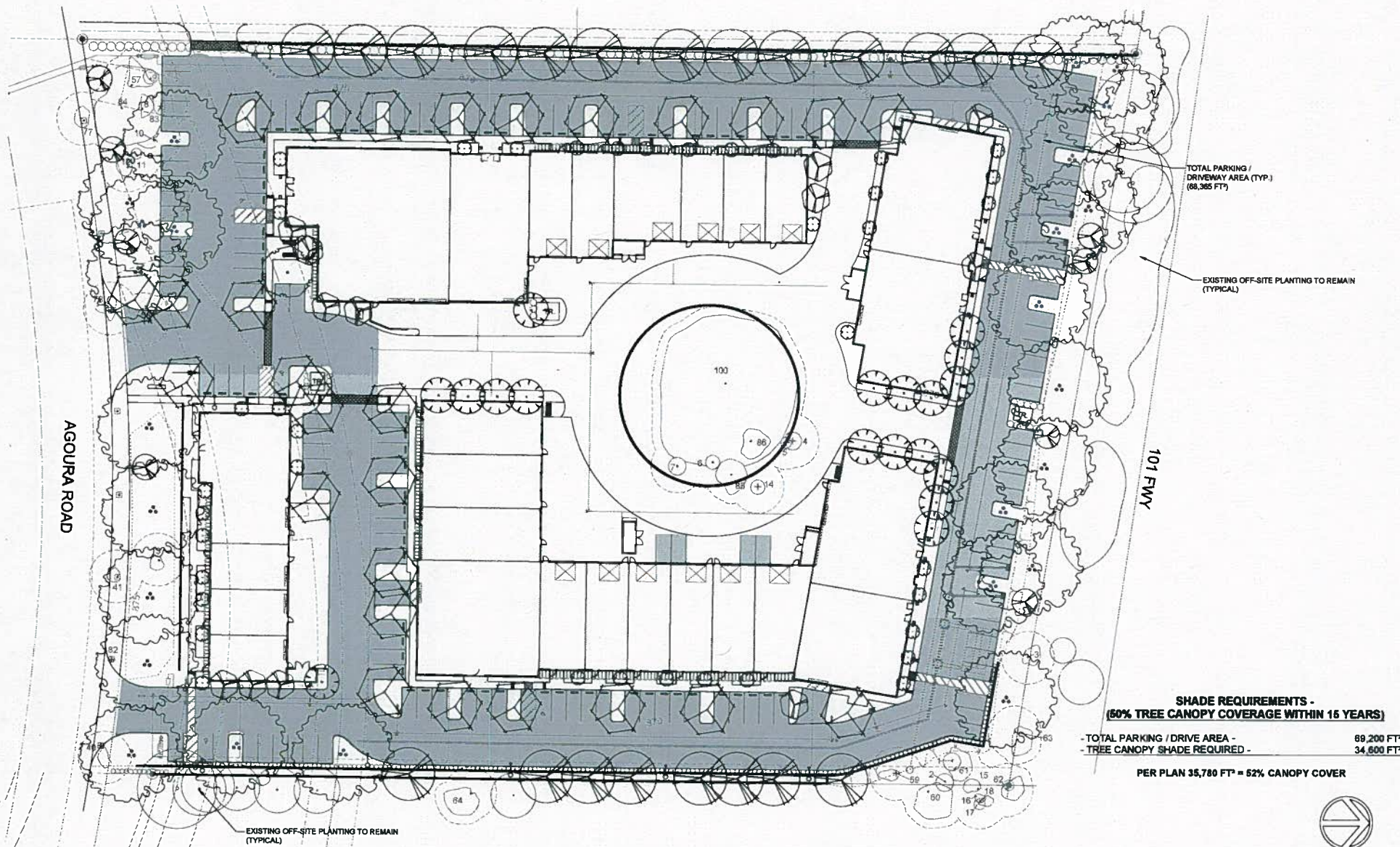
DATE: 04-28-18
LDDG JOB# 2278-01

L. Newman
Design Group, Inc.



Preliminary Landscape Plan - Shade Study
Agoura Landmark - Commercial
 29621 Agoura Road, Agoura, CA 91301


 SCALE: 1"=30'-0"
 DATE: 04-29-10
 USER: JDM 107564

TOTAL PARKING /
DRIVEWAY AREA (TYP.)
(68,365 FT²)

EXISTING OFF-SITE PLANTING TO REMAIN
(TYPICAL)

AGOURA ROAD

101 Fwy

EXISTING OFF-SITE PLANTING TO REMAIN
(TYPICAL)

**SHADE REQUIREMENTS -
(50% TREE CANOPY COVERAGE WITHIN 15 YEARS)**

- TOTAL PARKING / DRIVE AREA - 69,200 FT²
- TREE CANOPY SHADE REQUIRED - 34,600 FT²

PER PLAN 35,780 FT² = 52% CANOPY COVER



SCALE 1"=20'-0"

DATE: 04-28-15

USER: JRM/STW/AM



**Preliminary Landscape Plan -
Total Paved Parking / Driveway Area
Agoura Landmark - Commercial**
29621 Agoura Road, Agoura, CA 91301

ASSESSMENT NOTES AND RECOMMENDATIONS FOR FUEL MODIFICATION PLAN

ZONE A: FIREWORKS... ZONE B: FIREWORKS... ZONE C: FIREWORKS... ZONE D: FIREWORKS...

PROPOSED SHRUB LIST table with columns: BOTANICAL NAME, COMMON NAME, SIZE, QUANTITY, WATER USE, FIRE ZONE

WATER USE and FIRE ZONE summary table

PROPOSED TREE LIST table with columns: BOTANICAL NAME, COMMON NAME, SIZE, QUANTITY, WATER USE, FIRE ZONE

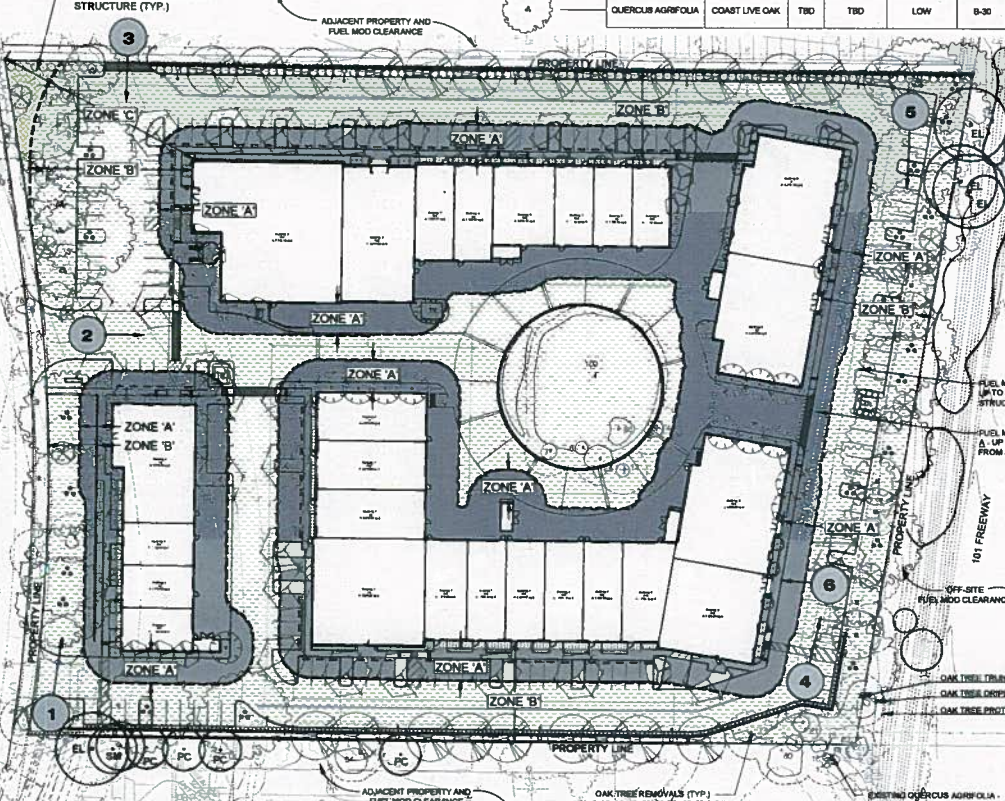
PLANT DESCRIPTIONS... PLANTING NOTES... WATER CONSERVATION NOTE... BASE INFORMATION WAS DERIVED FROM...

PROPOSED GROUNDCOVER LIST table with columns: BOTANICAL NAME, COMMON NAME, SIZE, QUANTITY, WATER USE, FIRE ZONE

WATER USE and FIRE ZONE summary table

NOTE: ALL OF THE PROPOSED SHRUBS AND GROUNDCOVERS HAVE A MAX HEIGHT OF NO MORE THAN 3'-0" WITH THE EXCEPTION OF PRUNUS LACINIA... FUEL MODIFICATION PLAN...

*LOW, MEDIUM AND HIGH PLANT WATER NEEDS ARE DERIVED FROM WUCOLS.



NOTE: 1. ALL NON-PROTECTED ORNAMENTAL TREES OCCURRING ON-SITE SHALL BE REMOVED INCLUDING CALIFORNIA PEPPER, EUCALYPTUS TREE OF HEAVEN AND SCISSOR SELECTED OAK TREES. (SEE PLAN FOR REFERENCE OF OAK TREE REMOVALS)...

ZONE A: FIREWORKS... ZONE B: FIREWORKS... ZONE C: FIREWORKS... ZONE D: FIREWORKS... FUEL MODIFICATION PLAN...



BASE INFORMATION WAS DERIVED FROM... THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF L. NEWMAN DESIGN GROUP, INC. (LNDG)...

L. Newman Design Group, Inc. logo and contact information: 31000 Via Colinas, Suite 104, Westlake Village, CA 91362-9924

Client: AGOURA LANDMARK, L.P. Address: 568 CONSTITUTION AVENUE, SUITE 104, CARLSBAD, CA 92015

PRELIMINARY FUEL MODIFICATION PLAN. Job No: 2378-01. Date: 03/10/16. Drawn By: ML. Revision: 1. Scale: 1"=30'-0"

AGOURA LANDMARK

29621 Agoura Rd
Agoura Hills, CA 91301

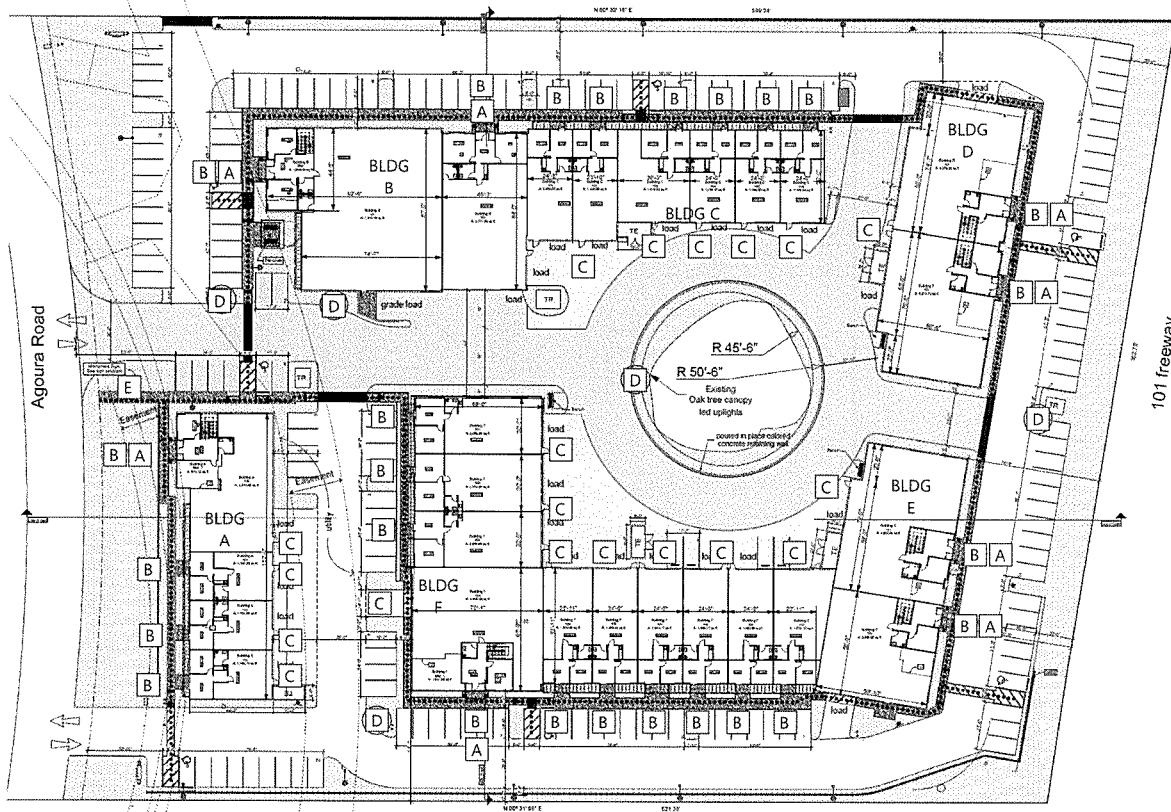
Master Sign Program

12/2015

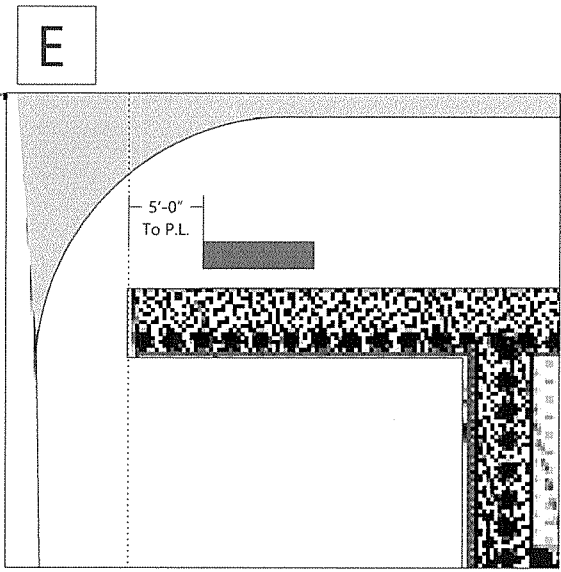
SOUTHWEST SIGN CO.

1852 Pomona Rd
Corona, CA 92882
P: 951-734-6275
F: 951-735-9667

www.southwestsign.com

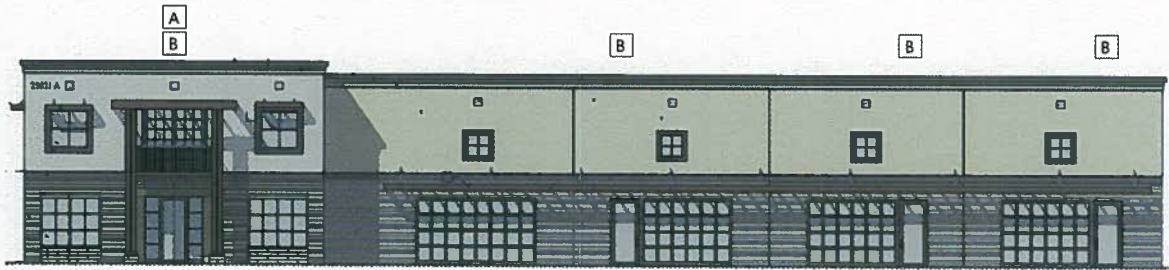


Key		Qty.
A	Sign Type A permitted	(8)
B	Sign Type B permitted	(26)
C	Sign Type C permitted	(19)
D	Directional Sign	(5)
E	Monument Sign	(1)



Enlarged Site Plan
Not To Scale

Site Plan
Not To Scale



Bldg A - South Elevation
Scale 1/16" = 1' 0"

Key

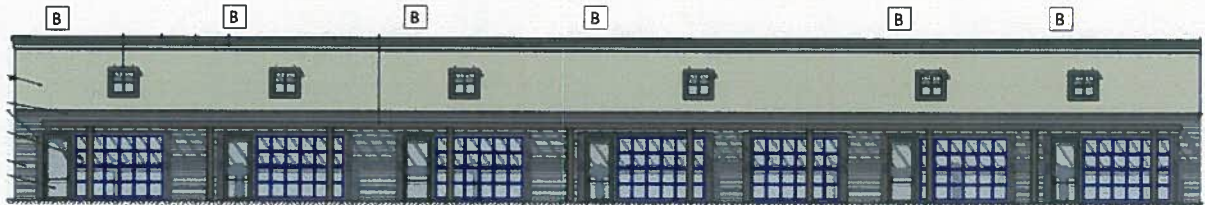
A	Sign Type A permitted
B	Sign Type B permitted



Bldg B South Elevation
Scale 1/16" = 1' 0"



Bldg B West Elevation
Scale 1/16" = 1' 0"



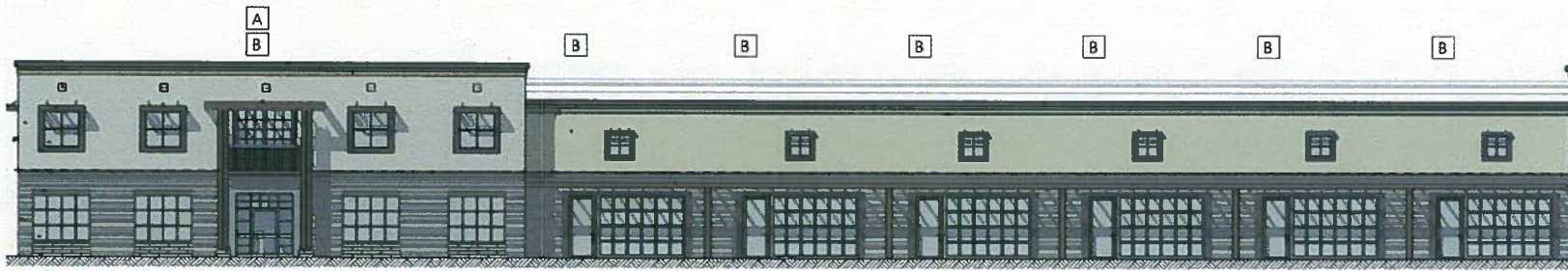
Bldg C West Elevation
Scale 1/16" = 1' 0"

No signage may be placed on any windows other than approved door locations

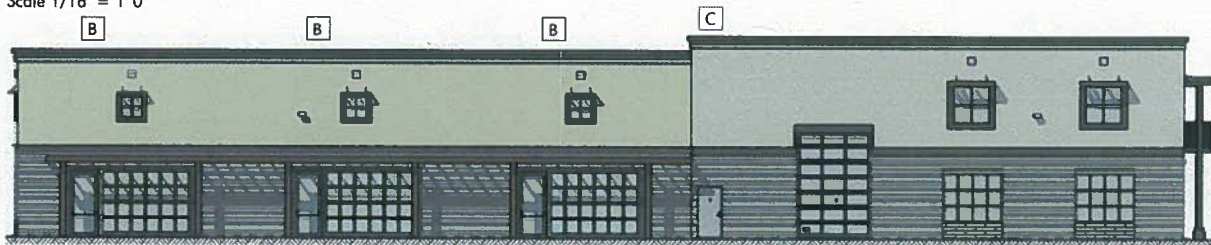


Bldgs D/E (Typ.) North Elevation
 Scale 1/16" = 1' 0"

- Key
- A Sign Type A permitted
 - B Sign Type B permitted
 - C Sign Type C permitted



Bldg F East Elevation
 Scale 1/16" = 1' 0"

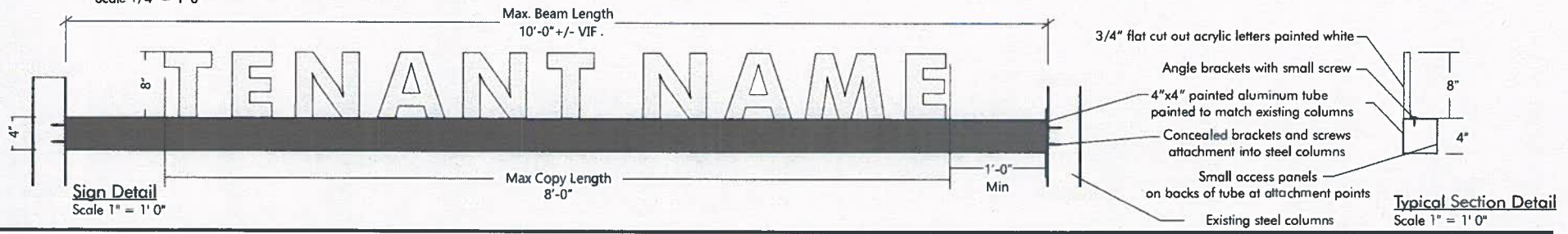


Bldg F South Elevation
 Scale 1/16" = 1' 0"

No signage may be placed on any windows other than approved door locations



Typical Storefront Elevation- Sign Type A
Scale 1/4" = 1' 0"





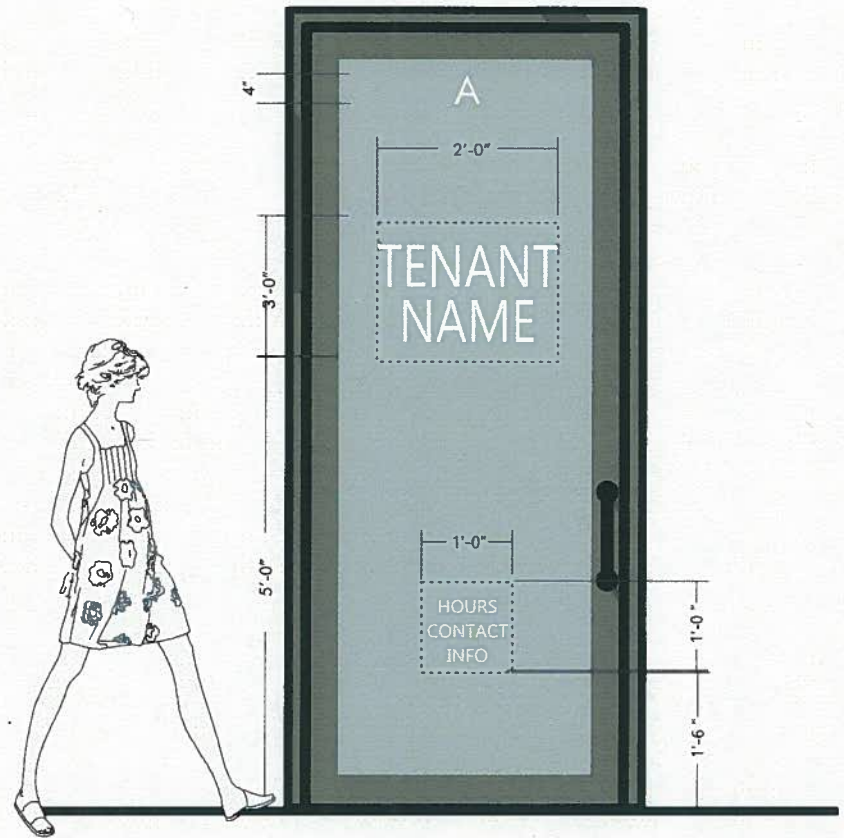
Typical Storefront Elevation- Sign Type B - Business Associate Sign & Informational Signage
Scale 1/4" = 1' 0"

Business associate signs. In addition to the basic sign entitlement, each separate business shall be allowed, without a sign permit, lettering on or behind windows facing the public view indicating the owners, operators, or business associates exercising the use, provided that such lettering shall be enclosed within a single area and shall not exceed a total of three (3) square feet

Informational signs. Signs within window areas that indicate addresses, hours and day of operation; whether a business is open or closed, credit card information and emergency address and telephone numbers. Such signs shall be located on the inside of the window and shall not require a sign permit, and shall not be used for the name of the business in excess of twenty-five (25) percent of said sign. "Open" and "closed" signs may be illuminated by light emitting diode (LED) or incandescent methods. Exposed neon illumination, exposed fluorescent illumination and scintillating, flashing, animating or revolving "open" and "closed" signs are prohibited.

4" tall suite letter at top of door and at top of back doors. These will be by landlord, not tenant.

No signage on any window other than designated door locations



Sign Type B - Entry Door Signage
Scale 3/4" = 1' 0"

White cut vinyl applied to exterior of glass.
Tenant choice of font and copy.



Sign Type D - Directional Signage

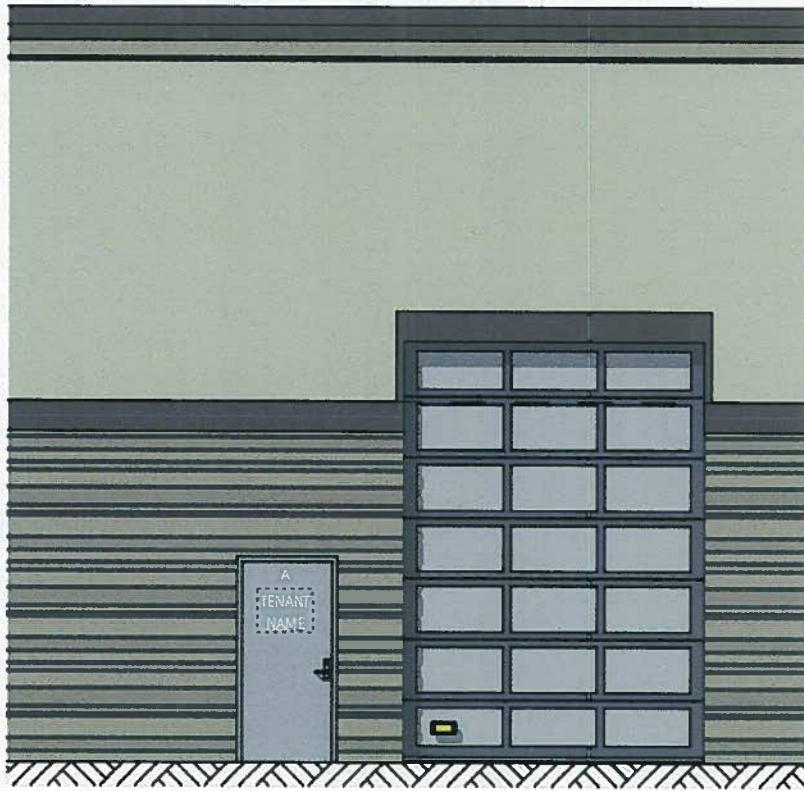
Scale 3/4" = 1' 0"

Aluminum panels painted color per architect palette, with white reflective vinyl lettering on stone base. Stone to match building

Sign Type E - Monument Signage

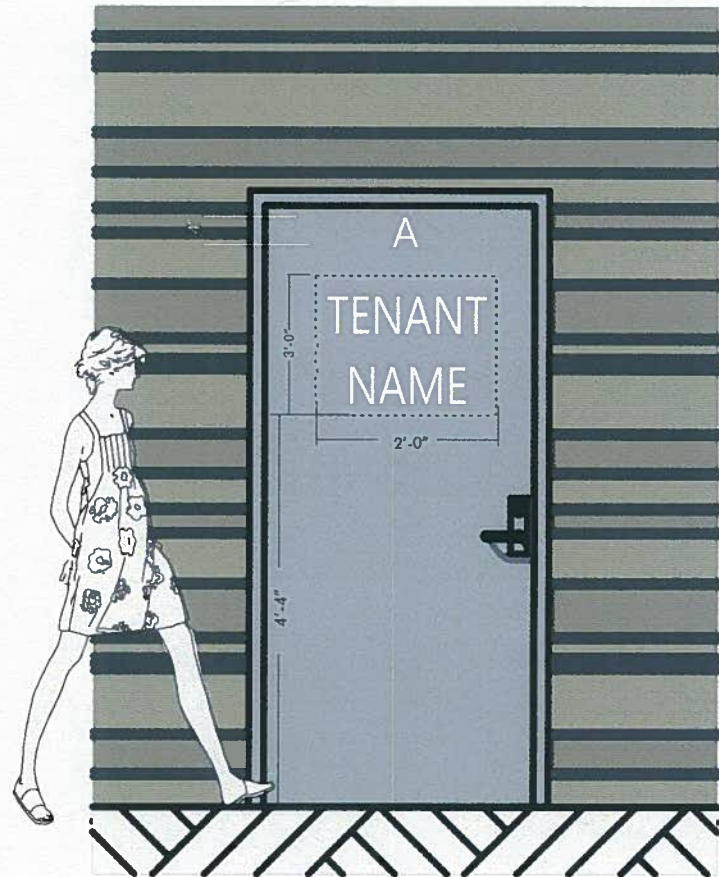
Scale 3/4" = 1' 0"

Plaster monument wall with 1/2" white aluminum lettering pin mounted 1/2" off on both sides
 Monument painted to match building color



Typical Storefront Elevation- Sign Type C- Back Door Signage
 Scale 1/4" = 1' 0"

Rear door signs shall not exceed a total of three (3) square feet
 No signage on any window other than designated door locations



Sign Type C - Rear Door Signage
 Scale 3/4" = 1' 0"

White cut vinyl applied to exterior of metal door.
 Tenant choice of font and copy.

Suite letter at top of door and at top of back doors. These will be
 by landlord, not tenant.

GENERAL PROVISIONS:

The purpose of this Master Sign Program is to provide design standards and specifications that create consistency in quality, size, placement, and configuration for signs throughout the Center.

SUBMITTALS AND APPROVALS

Prior to sign fabrication, plans shall be submitted to the Landlord for approval. Three (3) sets of complete, fully dimensioned, and detailed shop drawings including:

1. Elevation of sign location showing design, location, size, and layout of sign, drawn to scale, indicating dimensions, attachment devices, and construction detail.
2. Section through sign showing the dimensioned thickness of the letters, wiring and attachment details.
3. Scaled letter patterns for all graphics.
4. Site plan, indicating location of sign on property.

All sign submittals shall be reviewed by the Landlord for conformance with the provisions of these criteria. Fabrication and installation of all signs shall be performed in accordance with the standards and specifications outlined in these criteria and in the final approved plans and shop drawings.

PROHIBITED SIGNS

The following are prohibited:

1. Pre-manufactured signs, such as franchise signs, that have not been modified to meet the criteria.
2. Paper or cardboard signs, stickers, or decals hung around, on, or behind storefronts.
3. Exposed neon signs of any kind except where specifically approved by landlord and city of Agoura.
4. No signage on any window other than designated door locations

ACCEPTABLE SIGN TYPES

Sign Type A - 3/4" acrylic flat cut out letters with white paint finish mounted to top of square tube. See Sign Type A Exhibit.

Sign Type B - Entry Door Signage - White cut vinyl applied to storefront door. Lettering shall be enclosed within a single area and shall not exceed a total of three (3) square feet. See Sign Type B Exhibit.

Sign Type C - Rear Door Signage- White cut vinyl applied to back door. Lettering shall be enclosed within a single area and shall not exceed a total of three (3) square feet. See Sign Type C Exhibit.

Sign Type D - Directional Signs - Painted aluminum panels with white vinyl lettering on 2" square tube post. See Sign Type E Exhibit.

Sign Type E - Monument Signs - Plaster monument wall with white painted pin mounted aluminum lettering on both sides. See Sign Type D Exhibit.

SIGN CONTRACTOR RESPONSIBILITIES

The Tenant's sign contractor is responsible to do the following:

1. Submit to Landlord for approval prior to fabrication complete and fully-dimensioned shop drawings .
2. Obtain approved sign permits from the City of Agoura Hills prior to sign fabrication and deliver copies of same to Landlord.
3. Provide to Landlord, prior to commencing fabrication, an original certificate of insurance naming the Owner as an additional insured for liability coverage in the amount required by Landlord at time of submittal.

DESIGN REQUIREMENTS

1. Number and Placement - Each tenant with an entry feature is allowed one storefront sign on their primary frontage where designated on building elevations.
2. Typestyles - All fonts to be tenants' choice. All fonts are to be of professional quality. Copy to be white. All typestyles shall be accurately reproduced. Lettering that approximates typestyles shall not be acceptable. The Landlord reserves the right to reject any fabrication work deemed to be below standard.

CONSTRUCTION REQUIREMENTS

1. Notwithstanding Landlords approval of Tenant's sign proposal, Tenant understands and agrees that no signs may be manufactured or installed without Tenant having obtained prior approval of all applicable governmental agencies with appropriate jurisdiction.
2. All sign fabrication work shall be of excellent quality.
3. All sign finishes shall be free of dust, orange peel, drips, and runs, and shall have a uniform surface conforming to the highest standards of the industry.
4. Paints must be high quality acrylic polyurethane, Matthews, Spraylat or equivalent.
5. Penetrations into building walls, where required, shall be made waterproof.
6. The sign contractor on drawings submitted to the Landlord shall indicate location of all openings for support in sign panels and building walls. Sign contractor shall install same in accordance with the approved drawings.
7. In no case shall any manufacturer's label, stamp, or decal be visible from the street from normal viewing angles.
8. Tenant shall be fully responsible for all the actions of Tenant's sign contractor with respect to the installation of any sign in complex.
9. Tenant shall be responsible for the fulfillment of all requirements and specifications, completing the installation in a workmanlike manner, clean up, patching and painting all surfaces damaged by it or its contractor(s), employee(s), or agent(s).
10. Attachment shall be completed in accordance with building codes and customary installation practices.



Agoura Landmark



Agoura Landmark



Agoura Landmark

**View of proposed development looking NW.
from Agoura Rd. near the Eastern property line.**



Agoura Landmark

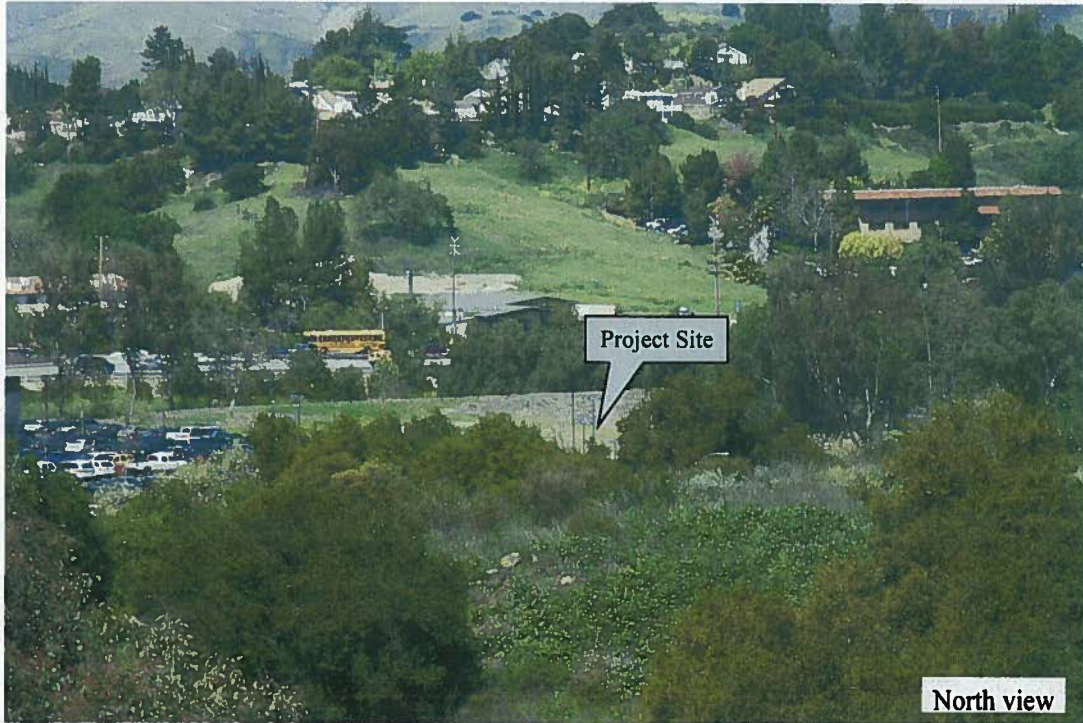
**View of proposed development looking SE .
from FWY101 near the Western property line.**



ATTACHMENT 7

**PHOTOGRAPHS OF THE SITE
AND
COLOR AND MATERIAL BOARD**

**SITE PLAN/ARCHITECTURAL REVIEW—CASE NO. SPR-01048-2015
OAK TREE PERMIT—CASE NO. OAK-01049-2015
SIGN PERMIT—CASE NO. SIGN-01069-2015
VESTING TENTATIVE TRACT MAP NO. 73890-TRM-01170-2015**



North view



South View



Agoura Landmark

29621 Agoura Rd. Agoura California 93033



Painted Concrete
1-A
Dunn Edwards
DEC752 Birchwood



Sandblasted Concrete
1-E



Painted Concrete
1-B ribbed formliner
Dunn Edwards
DEC755 Cocoa



Painted Steel
1-F
Dunn Edwards
DE5153 Iron Ore



Painted Concrete
1-C
Dunn Edwards
DEC776 Courtyard Green



Clear Glass
15



Painted Concrete
1-D
Dunn Edwards
DEC750 Bison Beige



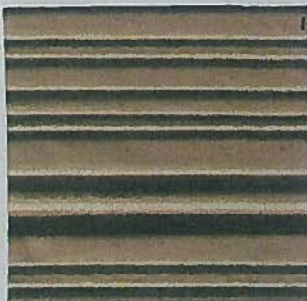
Mullion Color
15
Bronx Anodized Aluminum



Tinted Concrete
Davis Colors
Cliffside Brown



Tinted Concrete
Davis Colors
Spanish Gold



Ribbed Concrete
1-B
See color above



16. Sandstone