

PLANNING DEPARTMENT

DATE: December 15, 2016

TO: Planning Commission

APPLICANTS: Mark and Kristina Clemens
6105 Lapworth Drive
Agoura Hills, CA 91301

CASE NOS: CUP-01187-2015, OAK-01188-2015, & VAR-01301-2016

LOCATION: 6105 Lapworth Drive

REQUEST: Request for approval of a Conditional Use Permit to demolish an existing 1,242 square-foot residence and build a 4,970 square-foot residence in the same location with an attached 953 square-foot garage, and 1,323 square feet of attached covered patios; approval of an Oak Tree Permit to encroach in the protected zone of seven (7) on-site oak trees; approval of a Variance to exceed the maximum allowable height of the structure per the hillside development standards; and to make a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL DETERMINATION: Exempt from the California Environmental Quality Act (CEQA) per Section 15303 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Conditional Use Permit Case No. CUP-1187-2015; Oak Tree Permit Case No. OAK-1188-2015; and Variance Request Case No. VAR-01301-2016, subject to conditions, based on the findings of the attached Draft Resolutions.

ZONING DESIGNATION: Open Space-Restricted - Old Agoura Design and Equestrian Overlay Districts (OS-R-OA-EQ)

GENERAL PLAN

DESIGNATION: Open Space-Restricted (OS-R)

I. PROJECT BACKGROUND AND DESCRIPTION

Mark and Kristina Clemens are requesting the approval of a Conditional Use Permit (CUP) to demolish an existing pre-manufactured, 1,242 square-foot, single-story residence, and build a 4,970 square-foot residence and a 953-square-foot garage in its place. The 48.68-acre project site is located at 6105 Lapworth Drive, the last parcel of the cul-de-sac. Access to the parcel is provided by a 350-foot long driveway leading to the fairly flat area where the existing residence and a 784 square-foot, detached garage currently stand. Both the residence and the attached garage are set back from the property boundaries between 100 feet at their closest point and 1,000 feet at their furthest point.

The existing residence was approved by the City Council in 1992 to the previous property owner, by way of a Conditional Use Permit for light agricultural use (horses) and later as a modular home for use as a caretaker's residence. The project was conditioned to renew the CUP within three (3) years of the occupancy date of May 1994. The CUP was renewed, which allowed the existing single-story caretaker's unit to be used as a single-family residence, and construction of a 784 square-foot, detached garage and workshop. Today, a new Conditional Use Permit is required for this pending development request because the parcel is located in the Open Space-Restricted (OS-R) zone and the lot is considered a hillside lot based on the average slope of the entire parcel. The applicants are also requesting the approval of an Oak Tree Permit to encroach in the protected zone of seven (7) on-site oak trees and a Variance to exceed the maximum allowable height of the structure based on the Hillside Ordinance requirements. The parcel extends 2,150 feet in a north-south direction and 1,200 feet in an east-west direction with a hilly topography. The applicants are seeking to develop in the same previously developed area so as to not disturb the more pristine, undeveloped remaining 48.68-acres of private open space land. The following table summarizes how the proposed project compares with the relevant lot and development standards.

	Existing	Proposed	Allowed/Required
Lot Dimensions			
Size in acres	48.68 acres	48.68 acres	1 unit / 5 acres
Size in square feet	2,120,480 sq.ft.	2,120,480 sq.ft.	1 unit / 5 acres
Lot Width	2,150 ft.	Same as existing	n/a
Lot Depth	1,700 ft.	Same as existing	n/a

	Existing	Proposed	Allowed/Required
Building Height			
Residence	15 ft.6 in. (To be demolished)	30 ft. 8 in.	15 ft. at front property line average elevation
Detached Garage	15 ft. 6 in. (To remain)	n/a	n/a
Building Square Footage			
Residence 1 st Floor	1,242 sq.ft.	3,728 sq.ft. ¹	n/a
Residence 2 nd Floor	n/a	1,242 sq.ft. ¹	n/a
Total	1,242 sq.ft.	4,970 sq.ft.	
Attached Garage	n/a	953 sq.ft. ¹ (690 sq.ft. credited) ²	n/a
Residence + Garage Total	1,242 sq.ft.	5,923 sq.ft.	
Residence Patio Covers			
Solid Covers			n/a
-Entry Porch/Loggia		251 sq.ft. (credited) ²	
-Kitchen Porch		63 sq.ft. (credited) ²	
-Rear Loggia		308 sq.ft. ¹	
-Garage Porch		210 sq.ft. ¹	
Trellis Cover (Rear Loggia)		180 sq.ft. (credited) ²	
Total		1,012 sq.ft.	
Accessory Structure			
-Attached cover	784 sq.ft.	784 sq.ft. ¹	n/a
Patio Cover Total	n/a	1,095 sq.ft.	
Total	2,026 sq.ft.	8,030 sq.ft.	
Lot Building Coverage			
	0.09%	0.32%	10% max.
House Building Setbacks			
Front Yard (south)	108 ft.	114 ft.	50 ft.
Side Yard (west)	891 ft.	876 ft.	25 ft.
Side Yard (east)	227 ft.	227 ft.	25 ft.
Rear Yard (north)	1,047 ft.	962 ft.	50 ft.
Average Lot Slope			
	41%	41%	n/a

¹ Square footage that is subject to the maximum floor area as stipulated in the Architectural Design Standards and Guidelines for the Old Agoura residential neighborhood.

² The floor area allows the exclusion of some useable space, which is referred to as *credit* in the table.

	Existing	Proposed	Allowed/Required
Maximum Floor Area			
	2,026 sq.ft.	6,846 sq.ft. (4,970+263+308 +210+784+311)	3,600 sq.ft. max. (45% of the maximum recommended square footage based on 41% slope)

II. STAFF ANALYSIS

The applicants are requesting approval of a Conditional Use Permit (CUP) to construct a 4,970 square-foot, two-story, single-family residence, an attached 953 square-foot garage, 832 square feet of solid, attached covered patios, and 180 square feet of attached lattice patio covers. Additionally, the existing 784 square-foot accessory structure currently used as a play room will remain as an accessory to the residence, and a 311 square-foot attached patio cover will be added to it. The architectural plans indicate a new pool, but the owners are not interested in building the pool at this time. The pool is shown for reference only, and is not part of this permit. It will be reviewed administratively when the applicant decides to build it, taking into consideration the conditions of approval of this project.

The custom home is proposed on a 48.68-acre lot located at the terminus of Lapworth Drive, which is one of the largest lots in the Old Agoura neighborhood. The parcel has rolling hills that extend from Lapworth Drive to over 1,000 feet in the northerly and easterly/westerly directions. It abuts both developed and undeveloped parcels. The parcel is in the Open Space-Restricted, Old Agoura Design Overlay, Equestrian Overlay (OS-R-OA-EQ) zones, and in a Significant Ecological Area designation (SEA #12). The 350-foot long driveway starts from where Lapworth Drive is no longer shared by other properties, leads to the residence with an existing 1,200 square-foot turn-around area, and continues an additional 300 feet where it becomes a walking trail. Lapworth Drive is a private cul-de-sac that serves 11 other Open Space zoned lots either vacant or developed with single-family homes before connecting to Balkins Drive and Fairview Drive. Maintenance of the road is shared by the property owners who take access from it. The lots on that street vary greatly in size, shape, and topography. The square footages of the residences also vary in size. Recent development activities on Lapworth Drive include one 4,712 square-foot residence with a 692 square-foot garage recently approved at 5290 Lapworth Drive (at the northeast corner of Lapworth and Balkins Drive), and for which construction was finalized and completed during the month of September 2016. Another residential project proposed at 6000 Lapworth Drive with 4,374 square feet was denied by the Planning Commission earlier this year. The Planning Commission's decision was subsequently upheld on appeal by the City Council. The Planning Commission's and the City Council's decision to deny that project was based, amongst other things, on the overall square footage of all the proposed structures and the design of the structures.

A. Site Plan and Buildings

The OS-R-OA-EQ zone allows one single-family dwelling unit per lot with the approval of a CUP. The primary structure must be set back a minimum of 50 feet from the front (south) and rear (north) property lines, and 25 feet from each side property line. The project proposes to build a new single-family structure approximately in the same location of the existing modular structure, but with a larger footprint. The house would be oriented in the same north-south direction, but extends further north to accommodate more living space and a garage. The development pad also includes a vehicle turn-around designed to comply with requirements of the Los Angeles County Fire Department. The original structure was set back 108 feet from the front and 1,047 feet from the rear property line. The new structure is set back over 114 feet from the front property line, 1,000 feet from the rear property line, and over 200 and 800 feet from the side property lines, well above the minimum setback requirements established for the zone. The accessory structure will remain in the same location and complies with the minimum setback requirements of ten (10) feet to the front and rear of the property, five (5) from the side property lines. The accessory structure would be 50 feet from the front property line, over 1,000 feet from the rear property line, and 166 feet from the closest side property line.

Per the OS-R zone, the building site coverage is restricted to 10 percent (or a potential of 217,800 square feet), whereas the project proposes less than one (1) percent including the footprint of the house, garage, accessory structure, and both solid and trellis patio covers. The hillside development standards further restrict the development area to a maximum of 2.5% based on the average slope of the lot, which the project complies with. A more in-depth discussion is provided in Section C. Although the proposed development size is considerably lower than the maximum allowed building site coverage, it reflects the development restrictions imposed by the original CUP. The CUP restricted the development from expanding into sensitive habitats on the site. In order to determine the boundaries of the development impacts, the project was required to submit a Biology Study. The same requirement was imposed on this application to establish whether the entire project would impact the on-site fauna and flora. The Biological Resources Inventory and Impact Analysis dated June 29, 2015, prepared by Envicom Corporation, analyzed the area of the development pad, plus an area within a 200-foot radius around the proposed residence. The 200-foot radius is a zone subject to the Los Angeles County Fire Department Fuel Modification Department's requirements of brush clearance for fire protection in relation to proposed structures. It is also a zone where disturbance would most likely occur as a result of the proposed project, including grading for accessory uses and vehicle access and turn-around requirements. In this case, the boundary of the zone begins at the entrance of the driveway adjacent to the accessory structure and extends to the end of the driveway where the Fire Department turn-around is required to be located, and from the edge of the useable and flatter area east of the residence to the edge of the equestrian pad across from the driveway. As proposed, the project development boundaries

and fuel modification activities would not extend beyond the 200-foot radius zone and no additional impacts are expected as a result of the larger footprint and additional grading.

Other development standards that affect the design of the house include the overall height of the residence. The proposed overall height of the residence is 30 feet 8 inches as measured to the ridge of the roof with only 24 feet of height on the side (south) elevation. The side elevation is closest to the front property line. The maximum height allowed for a residence in this zone is 35 feet, however, in the case of a hillside lot (over 10 percent slope), the height of the proposed structure is controlled by the elevation line of either the front or rear of the lot. Per Section 9607.1 of the Zoning Ordinance, when the front property line elevation is higher than the rear setback line, the house is restricted to a maximum 15-foot height so as to limit the visual impacts from the street and adjacent development. Staff calculated the average topography in the rear of the lot to be at 1,136 feet and the front of the lot to be at 1,170 feet. Since the residence is being plotted on the same existing pad, and the pad has an elevation of 1,215 feet, which is 45 feet above the average front property line elevation, the height of the structure would naturally exceed the maximum 15-foot height above the front property line average elevation. The architectural plan includes line-of-sight studies to show the residence visibility from off-site all around the property lines. Since the residence's height would exceed the 15-foot height above the front property line elevation, the request requires the approval of a Variance. Findings in support of the Variance are provided in the attached Draft Variance Resolution. Staff believes that a Variance is appropriate because of the distance to and elevations of the adjacent developments, including the house's set back of over 100 feet from the front property line, and 200 feet from the closest residential structure, which minimizes the visual impact.

The project requires retaining walls on the east and west sides of the residence since the property slopes down and away from the structure. These walls avoid extending the grading further into the undisturbed areas of the parcel. These walls vary between 100 and 130 feet in length, and between one-half (0.5) foot to six (6) feet in height at the highest point. A portion of the wall on the east is shown to retain the wall of a proposed infinity pool but the owners do not plan to construct a pool at this time, and as such, the wall would be built to retain soil. The area would also be required to be landscaped as well. The existing walls that were built out of stone and used as planters, and the slope retention along the driveway, will remain.

The project site is within the Equestrian Overlay District (EQ), which requires that a 1,500 square-foot horse-keeping area be identified on the property for equestrian purposes. A 1,500 square-foot horse keeping area has been designated across the driveway from the main residence. Although the applicants are not interested in keeping horses on the property at this time, they have included a graded pad for a future equestrian area that will be completed as part of the project and landscaped to stabilize the slopes that support it. Any

future structure constructed on that pad would comply with the minimum 35-foot required separation to the on- and off-site habitable space. The new level pad would also be adjacent to the driveway, which could provide vehicular access in and out of the property to support emergency services to the animals on site.

The project proposes wall-mounted lighting fixtures as shown on the Architectural Plans. An exhibit is provided to illustrate the style of the selected fixture. The fixture is shaped like a lantern and hangs from a curved hook, and allows lighting through three sides of the fixture. There are five (5) fixtures proposed on the residence's west elevation, one (1) on the north elevation, and two (2) on the east elevation. Fixtures are not proposed on the south elevation. Lighting is also proposed on the ground to light the walking path and steps, the driveway, and some of the trees in proximity to the house. The locations of these fixtures are shown on the Landscape Plan. The plan identifies 24 path lights, 13 tree lights, 15 step lights, and a potential of three (3) additional lights for a future pool. The fixtures are low to the ground and either point up to the trees or down on the walkways. Most of the lights are provided as safety measures, with a few to act as accent lighting and are within the development pad, and not in the open space areas. A condition of approval has been added to require shielding the fixtures to minimize light pollution on the parcel (Condition No 24 in Exhibit A of Attachment 1).

The Biology Study addresses the sensitive nature of the parcel, given that is located within the Significant Ecological Area designation (SEA#12) as shown in the City General Plan. The Biology Study indicates that within a 200-foot buffer zone Purple Sage Shrubland, California Sage Scrub, and Black Sage Scrub, and Bush Mallow Black Sage were identified, but despite their various quality levels, in no case would the project cause adverse effects to the habitat. Therefore, the additional square footage of the new residence, the extended driveway, and the new graded pad to accommodate a future equestrian area would not cause any significant impact to the existing flora. No drainage course is located in the vicinity of the project development pad, and therefore no significant impact would result from the proposed development.

Other residences that are located on Lapworth Drive average 3,051 square feet of living space, and the lots sizes average 66,236 square feet or approximately 1.5 acres; the average of the living space decreases slightly when including homes nearby on Balkins Drive and Fairview Drive to 2,925 square feet and the average size of the lots increases slightly to 78,557 square feet or about 1.8 acres. While the proposed residence of 4,970 square feet of living space is larger than the surrounding homes, the applicant's lot of about 49 acres is substantially larger than the adjacent developed lots, and so is relatively much less dense with regard to other development in the area.

The project site is within the Old Agoura Design Overlay District (OA) for which guidelines pertaining to the size of the development were developed and incorporated in the City's Architectural Design Standards and Guidelines. These

guidelines have specific recommendations for the Old Agoura residential neighborhood. The guidelines provide a total square footage for the dwelling unit, garage and other habitable structures in relation to the lot size so that a house is in proportion with the size of the lot. The guidelines are advisory, and the Zoning Code does not require perfect conformity with them. Unlike the building site coverage, the recommended square footage in the guidelines includes the second story square footage as well, but also allows for specific structures and uses to be excluded from the calculations in order to maintain certain rustic characteristics, such as a front porch and a barn.

The City Architectural Design Standards and Guidelines recommend a maximum useable square footage based on the size of the lot, but when a lot exceeds 130,001 square feet in size, the recommended maximum square footage is 8,000. As proposed, the residence's square footage of 4,970 square feet is under the maximum allowed square footage of living space with 6,846 square feet that are subject to the requirement. But because of the slope of the entire parcel, the square footage of the residence must be reduced by a ratio proportional to the slope percentage. In this case, the parcel has a 41 average percent slope, which corresponds to a slope ratio factor of 0.45. When applied to the maximum 8,000 square-foot maximum recommended square footage, the allowed size of the residence is reduced to 3,600 square feet. Despite the difference between the recommended and proposed square footage, it is unlikely that the project will have impacts on the community as a whole, given that the parcel is almost 49 acres and the residence would be set back over 200 feet from the closest nearby private residence. This is a unique project because the proposed home will be placed on the largest parcel subject to the Architectural Design Standards and Guidelines specific to Old Agoura.

B. Architectural Design

Zoning Code Sections 9555.B.2 and 9555.C.1 require that projects proposed in Old Agoura embrace an eclectic, rural style that preserve the equestrian nature of the area, and that the design is in character with the existing development within the Old Agoura Overlay District. The Architectural Design Standards and Guidelines also provide general recommendations on how to maximize architectural compatibility of new dwelling units with existing residential development, including the height of the structure, materials, colors, roof pitch, roof eaves and the preservation of privacy. The applicants propose a rustic style of architecture for the residence. The exterior materials include Spanish tiles for the roof, and smooth stucco, and stone veneer for the walls. The design incorporates covered patios and lattice patio covers, which encourages the outdoor use of the property. The applicants are interested in accessing the exterior of the house from the second floor, and so propose an exterior stair case on the front elevation. The color scheme is an earth tone palette, with beige walls and brown trims. The accessory structure's design will be upgraded to match the proposed residence's architectural style with the same exterior materials and colors. A shed cover is added over the front door and a solid patio cover to the rear of the structure to further expand the outdoor use. The second

story of the main structure is smaller than the first floor, and is enhanced with balconies, minimizing the mass as viewed from the driveway as called for in the City Architectural Design Standards and Guidelines. The residence is located over 350 feet from the street and will not be visible by the public traveling on Lapworth Drive.

The Architectural Review Panel (ARP) reviewed the project. The ARP requested that a rendering of the residence be provided for the benefit of the Planning Commission. A rendering is attached to this report. The project is consistent with the City's Architectural Design Standards and Guidelines in that the earth tone color scheme, and the construction materials are rustic, and fit well within the neighborhood architecture. The new structure is not out of proportion with the lot size and neighboring structures, and abides by the requirements of the original CUP regarding the location and ultimate boundaries of the development. The second floor is set back from the edges of the first floor, thereby reducing the impacts of the mass of the second story on the surrounding vistas. Furthermore, the proposed development would be only partially visible from the street.

C. Hillside

The parcel is subject to the hillside development standards of the Zoning Ordinance because its slope is in excess of ten (10) percent. The Zoning Ordinance establishes special regulations in hillside areas to protect them from incompatible development, and preserve the natural terrain, quality environment and aesthetic character while encouraging creative innovative and safe residential development. The hillside development standards address how tall a structure can be in relation to the elevation of a front or rear property line. A structure cannot exceed 15 feet in height at the front property line when the topographic elevation of the front property line is higher than the rear yard setback line. The proposed house would be two-story and measure 30 feet and 8 inches in total height with a 24-foot high portion of the house closest to the front property line, thereby requiring the approval of a height variance. Findings are provided in the attached Height Variance Draft Resolution.

The standards also quantify the ratio of developable square footage versus undeveloped open space square footage. The ratio is determined by the slope of the lot. In this case, the parcel has a slope of 41 percent, and as a result, 2.5 percent of the parcel can be developed and 97.5 percent must remain undeveloped. This ratio translates into 53,012 square feet of developable area and 2,067,468 square feet or 47.46 acres of open space area, with which this project complies. The portion of the lot proposed for the development pad is 26,136 square feet or 0.6 acres (1.23 percent), leaving 2,094,344 square feet or 48.08 acres (98.77 percent) of open space. The standards also require that development protect the ecological value of the land and the natural terrain. In this case, the replacement residence would be developed in the same general location of the previous residence in an already disturbed area except for a minor modification to the driveway, and some additional grading to lower the pad by

three (3) feet and to accommodate for a future equestrian area. The Biology Study has indicated that this additional work will not have adverse effects on the natural habitat. The exposed slopes will be replanted to stabilize the new pad boundary. No natural feature or landmark will be removed or impacted by the larger, two-story home.

D. Significant Ecological Area

The project site is located in a Significant Ecological Area (SEA #12) as designated in the City's General Plan and on the Zoning Map. The goal of the SEA is to preserve the natural resources of the area. The special requirements outlined for the hillside areas in Section C above also pertain here. Projects must be compatible with the biotic resources; maintain water courses in a natural state; and retain vegetation and/or open spaces to buffer critical resource areas. The SEA calls for native plants or others that blend naturally with the landscape. The project has been designed to be compatible with the SEA as per the Biology Study, as development and fuel modification activities would not occur in the sensitive habitat or drainage area. Only minor encroachment to seven (7) on-site oak trees is required, but the oaks would remain and not require mitigation due to the limited extent of encroachment. Condition Nos 77 through 87 have been added to protect the oak trees during the construction phase, and preserve them for the life of the project. No special status plant species or vegetative community are expected, in the area to be developed. The Biology Study found that any potentially sensitive wildlife species that could potentially be on-site would not be adversely affected. A condition has been added that a bird nesting survey be conducted by the applicants prior to the project construction activities, with any nests found avoided to ensure nesting birds are not adversely affected by the project construction. Another condition is included that requires a pre-construction special status wildlife survey be conducted and any species found be avoided through special methods or construction timing.

The Los Angeles County Fire Department Fuel Modification Division staff works with applicants to create fuel modification measures to minimize impacts to oak trees. Based on the comments received by the Fire Department, the development will not adversely affect the on-site oak trees in order to meet Fuel Modification requirements. Moreover, the Biology Study indicates that no adverse effects are expected as a result of fuel modification activities.

E. Equestrian Overlay District

The purpose of the Equestrian Overlay District is to create, enhance, and protect the equestrian and rural atmosphere within the overlay area. A minimum area of 1,500 square feet horse keeping area shall be provided for stabling and servicing horses. The area shall be fairly level and shall be accessible by vehicles for emergency services to the animals. The area shall take into consideration the location and size of the anticipated structures so as to comply with minimum setback to structure designed for human living. The project proposes a new-level pad west of the existing driveway that would be within the developable pad area

assumed, and minor encroachment into the surrounding oak trees. The project complies with the minimum size by providing over 1,500 square feet of space, and provides sufficient space for a barn, and corral, with sufficient setback to adjacent habitable structures. The new pad is level and directly adjacent to a driveway for necessary access.

F. Old Agoura Overlay District

The Old Agoura Overlay district is intended to perpetuate Old Agoura's unique rural character. Residential development shall embrace an eclectic, rural style that preserves the equestrian nature of the area. The property received entitlement in the 1990s to allow for the keeping of horses on the property and to provide a caretaker's unit prior to becoming a structure intended as a permanent single-family residential unit. The new project proposes a residence designed with a rustic style of architecture and provides a graded pad for future equestrian use without impacting the natural open space areas remaining on the 49-acre parcel. The house consists of natural materials (tile, stone veneer), and earth tone colors that help integrate it with its natural surroundings. The house placement will be the same as the one to be removed. The hardscape coverage is kept to a minimum around the house for the personal use of the residents, and for the required driveway and an area to be used as turn-around for fire and medical emergency vehicles. For those reasons, the project is consistent with the original intent of the CUP and the Old Agoura Overlay district.

G. Homeowners Association

A letter, dated November 2, 2016, from the Old Agoura Homeowners Association regarding the project is included as Attachment 3.

H. Public Works/Engineering

The preliminary Grading Plan has been reviewed by the City Public Works/Engineering Department. The topography is fairly flat where the development is occurring. Grading is proposed west of the driveway to provide both an equestrian pad, and also to store soil removed from the pad where the house is proposed. This step would minimize the impacts onto adjacent properties resulting from the trucks traffic exporting the soil from the property. The project proposes an estimated 1,896 cubic yards of cut soil, and 1,982 cubic yards of import soil. Lapworth Drive is a private street and is improved as development occurs. The Public Works/Engineering Department has conditioned the project (Condition No. 47 in Exhibit A of Attachment 1) to improve vehicle access to the satisfaction of the Los Angeles County Fire Department Land Development Department on-site, and on Lapworth Drive beyond the property boundary.

The site is not within a flood hazard area. Stormwater runoff would be collected on site and placed in an underground pipe, which would outlet to a proposed rip-rap velocity reducer west of the driveway. From there, it would enter the natural drainage course downhill to a low elevation point on the parcel. The water would

be absorbed into the ground and naturally filtered before returning to the water table. The project would be required to comply with Low Impact Development standards to ensure proper drainage and water quality. The existing private septic system is being abandoned and a new one constructed to comply with current codes. The project has received a conceptual approval from the Los Angeles County Environmental Health Department.

I. Oak Trees

The Oak Tree Report prepared by L. Newman Design Group, Inc., dated December 19, 2015 and revised March 7, 2016, indicates 33 oak trees in the vicinity of the proposed residence. None of these trees will require removal. Minor encroachment in the protected zone of seven (7) of these 33 oak trees located within the fuel modification zone would occur as a result of the paving of the driveway, grading of a level pad for the equestrian area, and the construction of a retaining wall around the development area. Since the encroachments are minor, no replacement oak trees are required. However, the project is conditioned (Condition Nos. 77 through 87 in Exhibit A of Attachment 1) to protect the oak trees during construction and maintain them in perpetuity.

J. Landscaping

The applicants have provided a Landscape Plan that includes fruit trees adjacent to the residence and small vegetable plots near the kitchen, with ornamental shrubs around the structures. The plants are not considered invasive and are drought tolerant. Given the requirements of the hillside and SEA section of the Zoning Ordinance and that the use of native plants is strongly encouraged in the City Architectural Design Standards and Guidelines for Old Agoura, Condition No. 76 has been added to ensure more native species are incorporated on slopes that will be hydro-seeded as shown in the Landscape Plan. The remainder of the development pad would be hydro-seeded with a native plant mix to replant the new slopes in order to maintain their stability and provide native transition to the remainder of the open space areas on the lot. The Landscape Plan is subject to the approval by Los Angeles County Fire Department Fuel Modification Division, which has reviewed the plans and provided a conceptual approval.

K. Variance

The applicants are requesting a Variance from Zoning Ordinance Section 9607.1.B to exceed the 15-foot maximum allowed height of the structure above the front property line average elevation, per the hillside development standards. Based on the Grading Plan, and given the steep climbs and drops of the overall parcel, the rear setback line is at a lower elevation than the front property line, thereby dictating the maximum 15 feet height above the elevation of the front property line. Although the overall height of the residence is proposed to be 30 feet 8 inches with the side of the residence closest to the front property line at 24 feet instead of the 15 feet above the front setback, the visual impact would be minimal to surrounding properties, given the distance between the proposed

structure and the property lines, off-site habitable structures, and nearby roads, where the structure could potentially be seen. The new house would be 200 feet from the nearest off-site residential structure. The area's steep topography and the dense scrub vegetation are such that the visual impact from distant vistas is alleviated and the privacy of neighboring properties protected. The granting of the Variance would allow the applicants to build a residence on the same pad of the current development without further encroaching into the more sensitive open space areas. It would also avoid the need for more retaining walls to support a large pad for a one-story residential structure. Two-story residences are common in Old Agoura on both flat and hillside lots. The strict application of the building height restriction would not be consistent with the objectives of the Hillside and Significant Ecological Area Ordinance, in that it would create a larger development pad and potential impacts to the environment to accommodate the larger, single-story house footprint, required access around it, and minimum required setback to down-slopes. The project design will allow for an updated private septic system that will comply with the Los Angeles County Environmental Health Services Department. The request will not be detrimental to the public safety and welfare in that the structure is set back over 200 feet from the nearest off-site structure, would not block views from the surrounding park lands, and would be consistent with the natural character of the rustic Old Agoura community. Findings for the Variance are included in the Draft Resolution for the Variance.

L. General Plan Consistency

Staff finds the project will be consistent with the following applicable General Plan goals and policies:

Goal LU-7 Livable and Quality Neighborhoods. Neighborhoods that provide a variety of housing types, densities, and design, and a mix of uses and services that support the needs of their residents.

- Policy LU-7-1 Neighborhoods Conservation. Maintain the uses, densities, character, amenities, and quality of Agoura Hills' residential neighborhoods, recognizing their contribution to the City's identity, economic value, and quality of life for residents.
- Policy LU-7-2 Housing Character and Design. Require that new and renovated housing within existing single- and multi-family neighborhoods be located and designed to maintain their distinguishing characteristics and qualities, including prevailing lot sizes; building forms, scale, massing, and relationship to street frontages; architectural design; landscape; property setback; and comparable elements. Continue to implement the City's Architectural Design Standards and Guidelines to ensure that residential units are designed to sustain the high level of architectural design quality and the character of the existing lands forms that

characterize the Agoura Hills neighborhoods, in consideration of the following principles as identified in the Standards and Guidelines.

- Harmony with the natural land forms and native vegetation
- Response to the local climate (through proper building orientation, appropriate glazing, use of overhangs, shading devices, native vegetation, etc.)
- Reflection of the highest standards of adjacent buildings and the neighborhood style[s], proportions, colors, and materials.

The project is consistent with the City's Architectural Design Standards and Guidelines with respect to design and form in relation to the topography of the lot. The rustic style of architecture with natural stone veneer and tile elements, and other high quality elements would be integrated with the natural surroundings. The new garage is placed beyond the residence so it is not visible from the property's edge. The garage doors are turned away from the entrance of the driveway so the focus remains on the residence. The building incorporates attached patio covers and a wide roof overhang to protect the house from the elements. The building materials are of high quality and the building color is a neutral tone. The proposed single-family residence conforms to the required front, side and rear yard setbacks of the OS-R zone. The building scale and massing is mitigated by a smaller second floor that is stepped back from the first level and by varying roof pieces and arches that provide architectural interest. The closest residential structures are located 200 feet away and at different topographic elevations. The proposed residence would be 4,970 square feet on almost 49 acres in the OS-R zone, which represents a low square footage in comparison to other nearby residential lots. The project would be integrated into the natural setting by focusing the development in the flatter portion of the site that has already been disturbed. Given the large lot, the project would not be easily visible from passers-by. On-site sensitive habitat will not be affected, and areas between the development portions and those to remain open space will be seeded with a native plant mix. Condition No. 76 ensures the incorporation of further natives on the slopes as shown in the Landscape Plan.

Goal LU-8 Residential neighborhoods containing very low-and low-density housing reflecting Agoura Hills' history and designed to respect their environmental setting.

- Policy LU-8.1 Neighborhood identify
- Policy LU-8.2 Development Compatibility with Community Character
- Policy LU-8.3 Integration of Development with Natural Setting
- Policy LU-8.4 Property Setbacks
- Policy LU-8.5 Building Materials and Colors
- Policy LU-8.6 Landscaping
- Policy LU-8.7 Open Spaces

The project complies with Goal LU-8 and its policies as it preserves the neighborhood identity of Old Agoura by maintaining a small scale development and providing an area for horses. The project maintains the rustic appearance of the property, by keeping the development pad to a minimum including the access, and at the same time renovates an older residential development. The structures are set back over 50 feet from the public access. The minimum hardscape is provided on the property to provide a minimum required access for the delivery of emergency services, and only one structure is proposed as part of the renovation with the remodel of an existing smaller structure. The construction of the replacement residence does not impact the natural habitat beyond the previously disturbed area. The graded areas would be replanted with a native plant mix to integrate the project with its natural environment. Access to a horse keeping area is provided as part of the new development.

Goal LU-9 Single Family Neighborhoods. Maintenance of the identity, scale and character of the City's distinct residential neighborhoods.

- Policy LU-9.1 Neighborhood Identity. Maintain the distinguishing characteristics that differentiate by topography, parcel size, housing scale and form, and public streetscapes in Agoura Hills' single-family neighborhoods.

The project complies with Goal LU-9 and Policy LU-9.1 by remaining in scale with or being less dense than the other residences in the neighborhood in terms of the relationship of the home size to the lot size. The yard setbacks exceed those of the other existing development on the same street and throughout the Old Agoura residential neighborhood. The development would be a small portion of the entire lot in which the majority of the acreage would be left as open space. Given the large setbacks, the topography and natural vegetation, the development would not be readily visible from passers-by.

M. Environmental Review

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorical Exempt from the CEQA Guidelines per Section 15303. This exemption includes the construction of new structures, including a single-family residence and accessory structures. No significant environmental impacts are expected from development of this project. No exception to this categorical exemption applies, as set forth in Section 15300.2 of the CEQA Guidelines, including but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

III. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Conditional Use Permit Case No. CUP-01187-2015, Oak

Tree Permit Case No. OAK-01188-2015, and Variance Request Case No. VAR-01301-2016, subject to conditions of approval, and based on the findings of the attached Draft Resolutions.

IV. ATTACHMENTS

1. Draft Resolution for Conditional Use Permit and Oak Tree Permit with Exhibit A - Conditions of Approval
2. Draft Resolution for Variance Request with Exhibit A - Conditions of Approval
3. Letter from the Old Agoura Homeowners Association
4. Vicinity/Zoning Map
5. Rendering and Color and Material Board
6. Reduced Copies of the Proposed Project Architectural, Civil, and Landscape Plans
7. Photographs of the Property

Case Planner: Valerie Darbouze, Associate Planner

DRAFT RESOLUTION NO. 16-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-01187-2015 AND OAK TREE PERMIT CASE NO. OAK-01188-2015 FOR THE CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE LOCATED AT 6105 LAPWORTH DRIVE; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Mark and Kristina Clemens with respect to the real property located at 6105 Lapworth (Assessor's Parcel No. 2055-001-044), requesting approval of a Conditional Use Permit to demolish an existing residence and rebuild a new 4,970 square-foot, two-story residence, a 953 square-foot, attached garage, 1,012 square feet of attached patio cover and to remodel the exterior of an existing 784 square-foot accessory structure with a 311 square-foot attached patio cover (Case No. CUP-01187-2015); and requesting an Oak Tree Permit to encroach in the protected zone of seven (7) on-site oak trees for the proposed development (Case No. 01188-2015).

Section II. The project is a request for one single-family residence with an accessory structure and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures), particularly Subsections (a) and (e). The project would not result in significant impacts to the environment. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c), which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the application at a public hearing held on December 15, 2016 at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Conditional Use Permit. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning

Commission finds for the Conditional Use Permit, pursuant to Section 9673.2.E. of the Agoura Hills Zoning Ordinance, that:

A. The proposed use, as conditioned, is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located, and will comply with each of the applicable provisions of the Zoning Ordinance, with the exception of building height for which a Variance is required. The proposed project is located within the Open Space-Restricted (OS-R) zoning district, and Significant Ecological Area (SEA), which allows for the development of one single-family residence and accessory structures with a Conditional Use Permit. The subject site is 48.68 acres (2,120,480 square feet) and the development constitutes less than one (1) percent of the site. The project complies with the building site coverage and SEA requirements of preserving natural resources. The project complies with Section 9489.2, of the Zoning Ordinance, which dictates the setback requirements of the OS-R zone. The OS-R zone requires 50 feet for the front and rear yards and 25 feet for each side yard. The proposed setbacks between the structure and all property lines exceed the minimum required setbacks for the OS zone by twice the distance for the front yard, 19 times for the rear yard, 17 times for the west side yard and 9 times for the east side yard. The project is also subject to the Old Agoura Design and Equestrian Overlay Districts pertaining to the rustic style of architecture, the preservation of open space and the use of the site for horse keeping. The site plan accommodates a sufficient equestrian area, and therefore complies with the Equestrian Overlay District.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The project will contribute to the aesthetic value of the neighborhood. The proposed Spanish revival style of architecture and high quality building materials, which include beige colored stuccoed and stone veneer walls, Spanish tile clad roof, and brown wood trims will contribute to the rustic appearance of the project per the City's Architectural Design Standards and Guidelines. Many of the surrounding homes are two-story, like that proposed. The project will only exceed the maximum floor area found standard set forth in the Guidelines by a non-significant amount, while remaining under the maximum allowed one percent building site coverage for the zone. The project is in keeping with the low density development found in the neighborhood and is not out of proportion with the lot size and neighboring residences as set forth in the Guidelines' Old Agoura specific standards. Exceeding the maximum floor area does not require a Variance because the Guidelines are advisory rather than mandatory.

C. The proposed use, as conditioned, and the conditions under which the project will be operated or maintained, will not be detrimental to the public health, safety or welfare, in that the proposed use will ensure adequate light, air, open space to surrounding properties and privacy by recessing the second floor from the first floor building envelope and providing the required yard setbacks. The proposed two-story structure provides sufficient separation between the proposed building and the closest residence per the setback requirements of the OS-R zone. Preliminary geotechnical and drainage studies, as well as landscape plans, have been provided and approved by the City's geotechnical and engineering consultants. The project must be in full compliance with the City's Building Code. The site will be served by a new private septic system,

which has been conditioned to receive Los Angeles County Environmental Health Department approval prior to issuance of grading and building permits. The Los Angeles County Fire Department has approved the upgraded access in and around the site from Lapworth Drive for the delivery of emergency services.

D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance, upon approval of a Variance for the building height. As more fully explained in subsection (A), the project meets the development standards of the underlying zone relative to building coverage, the required front, side and rear yard setbacks, as well as the Old Agoura Design and Equestrian Overlay Districts relative to the rustic style of architecture and minimum acceptable size of the equestrian use of the parcel.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community. The OS-R zone allows for residential units and accessory uses. The structures comply with the OS-R zone setback requirements which provide substantial distance from adjacent structures. In this case, the proposed residence is set back two hundred feet from the nearest off-site structure and so views and privacy are preserved. The development is designed to minimize impacts on natural features, such as biological habitat and hillsides, and minimize the development appearance as viewed from the street and neighboring properties, per the intent of the original Conditional Use Permit. The development is mostly screened due to the large lot and its remote location, as well as existing oak trees. The development is proposed on a flat part of the lot away from the slopes of the lot. The rustic style of the residence is compatible with this open space zoned lot.

F. The proposed use is consistent with the City's General Plan. The project is consistent with Goal LU-7 and Policies LU-7.1 and LU-7.2, Goal LU-8 and all its policies, and Goal LU-9 and Policy LU-9.1, which dictate that houses maintain densities characteristics, amenities, and qualities, and design of the residential neighborhood to ensure compatibility and quality of life. The architectural style of the existing homes on Lapworth Drive is varied, and yet the proposed design maintains the rustic character of the area by high quality architecture and the use of neutral colors and natural materials, and by preserving hillsides and natural vegetation. The project incorporates the equestrian features found in the Old Agoura residential neighborhood, which includes areas for future corrals and a multi-purpose structure built to accommodate animal and animal related equipment housing. The project is in scale or of less density when compared with the other residences in the neighborhood, in terms of building coverage, the development is slight relative to the large size of the lot and occupies approximately one percent of the lot. The building height requires a Variance due to the steep slope and resulting maximum height of 15 feet. However, the proposed height of 30 feet 8 inches is compatible with the surrounding neighborhood, as the proposed house is on the flatter portion of the lot surrounded by steep slopes and natural vegetation. The height is also lower than the maximum 35 feet allowed if the lot was not a hillside. The garage accommodates personal vehicles and is turned away from the street and screened by the residence, so as to not impact the aesthetics value of the open space

surrounding the property. The front, rear and side yards comply with the OS-R zone requirements. Fruit trees and native planting will enhance the development.

Section VI. Oak Tree Permit. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds pursuant to Section 9657.5.C and the Oak Tree Preservation Guidelines of the Agoura Hills Zoning Ordinance, that:

The proposed use will not endanger the health of the remaining trees on the subject property and the encroachment into the protected zone of seven (7) on-site oak trees will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated. The encroachment will not endanger the health of the remaining trees on the lot. The encroachment is considered to be minor, and will not need to be mitigated by replacement trees but rather by adhering to protection measures to preserve the health of oak trees during the construction phase as described in the City of Agoura Hills, Oak Tree Preservation Guidelines, Appendix A.

Section VII. Hillside Areas. The Planning Commission finds, pursuant to Section 9652.15.A.1 and 2 of the Zoning Ordinance, which establishes special regulations for hillside development areas, that:

A. The applicants have satisfied their burden of proof set forth in section 9652.15.A of the Zoning Ordinance for the following reasons:

1. The proposed project, as conditioned, is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood mud flow, erosion hazards or other hazards. The project has been conditioned to comply with the Low Impact Development (LID) requirement of the Code to protect storm water quality and drainage, and will require the following: an approved Grading Plan; Erosion and Sediment Control Plan; and a Standard Urban Storm-water Mitigation Plan. A geotechnical report has been approved by the City Geotechnical Consultant with conditions that shall become a project requirement, and the City's Consultant concludes that the proposed use will not threaten the stability of the hillside. The City Public Works/Engineering Department and Building Department have also reviewed the project and imposed conditions. The conditions will ensure the project would be consistent with safety requirements and do not pose significant threat to life or property. Final geotechnical reports are required for review and acceptance by the City prior to Grading Permit issuance.

2. The proposed project, as conditioned, is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project will not block neighbors' view from Lapworth Drive. The proposed project will not impact any of the existing on-site oak trees, thereby preserving the harmony of the natural environment. No significant known biological or cultural resources are located on the site. The project has been conditioned to protect any potential wildlife species, and protect nesting birds that may occur on-site during construction, and to incorporate more

native and/or naturalized vegetative species where hydro-seeding is used. Open space resources on-site will be protected, as only less than one (1) percent of the site will have building coverage.

3. The proposed project can be provided with essential services and is consistent with objectives and policies of the General Plan. The proposed design maintains the rustic character of the area by high quality architecture and the use of neutral colors and natural materials, and by preserving hillsides and natural vegetation. The project incorporates the equestrian features found in the Old Agoura residential neighborhood, which includes areas for future corrals and a multi-purpose structure built to accommodate animal and animal related equipment housing. The project is in scale or of less density when compared with the other residences in the neighborhood, in terms of building coverage, designed to be highly compatible with the biotic resources present, including the setting aside of appropriate and sufficient undisturbed areas. The project is conditioned to provide a more native landscaping on the slopes and disturbed areas to improve the transition between development and natural open spaces. The project retains sufficient natural vegetation cover and/or open spaces to buffer critical resource areas from the development. The exposed slopes will be replanted with a native plant mix to allow for a natural transition between development and natural open spaces. The project is conditioned to restrict the development to the pad identified in the Biology Study. Roads and utilities serving the proposed project are located and designed so as not to conflict with critical resources habitat areas or migratory paths. The utilities and access already exist and the access will be improved for the delivery of emergency services. Although the private septic system requires reconstruction and relocation, it will not encroach into the natural open space.

B. The applicants have satisfied their burden of proof set forth in section 9652.15.B of the Zoning Ordinance for the following reasons:

The project as conditioned will be compatible with the biotic resources present. The project landscape plan provides some native planting, and some non-invasive plants so as to not overtake adjacent native vegetation. The use of native species on the slopes and disturbed areas has been conditioned. No wildlife movement corridor is known to cross the approved tract and, therefore, the development will not prohibit protected movement of local wildlife. The site plan keeps the development at a reasonable distance from the oak trees and more sensitive plant material, thereby protecting existing natural resources areas. The project is designed to maintain water bodies, water courses, and their tributaries in a natural state. The development is not located in a flood zone. The necessary roads and utilities serving the project will not conflict with critical resources, habitat areas and migratory paths. All essential utilities are provided in the street and do not reach into environmentally sensitive areas.

Section VIII. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. CUP-01187-2015 and Oak Tree Permit Case No. Oak-01188-2015, subject to the attached conditions attached as Exhibit A, with respect to the property described in Section I hereof.

Section IX. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 15th day of December, 2016, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John O'Meara, Chair

ATTEST

Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case Nos. CUP-01187-2015 & OAK-01188-2015)

PLANNING DEPARTMENT CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of these permits shall not be effective for any purpose until the applicant has agreed in writing that he is aware of, and accepts, all conditions of the permits with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plans, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of these permits is held or declared invalid, the permits shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permits shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the permits or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Planning Director.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property for the primary residence, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and

Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless these permits are used within two (2) years from the date of City approval, Conditional Use Permit Case No. CUP-01187-2015 and Oak Tree Permit Case No. OAK-01188-2015 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of Building Permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.48 per square foot for residential construction.
15. In the event archaeological resources are encountered during ground-disturbing activities, the City Planning Department shall be notified immediately, and work shall stop within a 100-foot radius until a qualified archaeologist approved by the City Planning Department, and retained and paid for by the developer/applicant, has assessed the nature, extent, and potential significance of any remains pursuant to the California Environmental Quality Act (CEQA). In the event such resources are determined to be significant, appropriate actions are to be determined by the archaeologist consistent with CEQA (PRC Section 21083.2) and the City General Plan, in consultation with the City Planning Department.
16. If human remains are unearthed, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the developer/contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) thought to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assess the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City."All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
17. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

18. A pre-construction conference shall be held prior to the issuance of a Grading Permit, with all construction personnel involved with the grading operations in attendance.
19. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this Condition.
20. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, and employees from and against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter.
21. To the extent feasible, the applicant shall not remove or otherwise disturb vegetation, prepare the site, or conduct any other construction related activities within the work areas from February 1 through September 1, the recognized breeding, nesting and fledging season for raptor and bird species. If such activities in the work areas during the breeding and nesting season cannot be avoided, then prior to any ground or vegetation disturbing activities, the applicant shall have a qualified biologist/ornithologist acceptable to the City Planning Department conduct a survey of all breeding and nesting habitats within the work areas and vicinity within one (1) week prior to construction or vegetation clearing activities. The extent of the survey buffer area surrounding the site shall be established by the biologist to ensure that direct and indirect effects to nesting/breeding birds are avoided. A report discussing the results of the bird survey shall be submitted for review to the City Planning Department prior to issuance of Grading and Building Permits or prior to any vegetation removal, site preparation or construction activity. If active nests are found within the survey area, activities within a 300-foot radius (500 feet for raptors) shall not be allowed until an appropriate buffer can be established. Limits of construction to avoid a nest site shall be established in the field with flagging and stakes or construction fencing. Activities within the buffer area shall be postponed or halted at the discretion of a biological monitor until the nest is vacated and juveniles have fledged, and there is no evidence of a second attempt at nesting. If a state or federally listed species is found, the California Department of Fish and Wildlife and/or the United State Fish and Wildlife Service, as applicable, shall be notified within 24 hours of the sighting, and construction work shall not occur until concurrence has been received by those agencies that operations may proceed. The biologist shall record the results of the recommended protective measures described above to document compliance with applicable state and federal laws pertaining to the protection of native birds, and provide the documentation to the City

Planning Department upon completion of the work and prior to issuance of a Certificate of Occupancy.

22. No more than two (2) weeks prior and no later than three (3) days prior to ground disturbing construction at the project site, pre-construction surveys for the coast horned lizard, coast patch-nosed snake, San Diego desert woodrat, San Diego black-tailed hare, and roosting special-status bats, as well as any other potentially occurring special status species shall be conducted by a qualified biologist and submitted to the City Planning Department prior to beginning construction and/or commencement of any disturbance. The pre-construction surveys shall incorporate appropriate methods and timing to detect the special-status wildlife species that could potentially occur at the site. If a special-status species is found, avoidance is the preferred mitigation option. If avoidance is not feasible, these species shall be captured, when possible, and transferred to adjacent appropriate habitat within the open space areas either on-site or directly adjacent to the project area. This shall be performed only by a California Department Fish and Wildlife approved biologist. The CDFW and the City Planning and Community Development Department shall be formally notified and consulted regarding the presence of these species on-site. If a federally listed species is found prior to grading of the site, the USFWS shall also be notified. Only a USFWS approved biologist may capture and relocate these animals.
23. A detailed Lighting and Photometric Plan shall be submitted for review and approval by the Planning Director, prior to issuance of a Building Permit.
24. The ground-mounted and wall-mounted lighting fixtures shall be kept to a minimum illumination and shielded, and shall not extend into the open space areas in order to minimize light pollution.
25. The accessory structure shall not be used for residential purposes.
26. The approval of the pool is not part of this application. A separate review and approval process is required.
27. The ground-mounted solar panels shown on the plans are not part of this application. A separate review and approval process is required, and may include additional environmental review.
28. The development shall be limited to the proposed pad area, and sensitive habitat on-site shall be protected from disturbance.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

29. All exterior materials used for eaves, sidings, porch, patio, decks, canopies, carport and other similar structures must comply with the Very High Fire Hazard Severity Zone as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code.
30. A two percent (2%) slope away from the structure for drainage (on the first 5 feet) all around all new structures shall be provided.

31. All new windows will be tempered on at least one side of the dual pane, or a 20 minute rated window or glass blocks per Section 704A.3.2.2 of the 2013 California Building Code.
32. This project shall be subject to the 2013 California Codes and Agoura Hills Municipal Code unless it is submitted to the Building and Safety Department on or after January 1, 2017 at which point it will be reviewed under the 2016 California Codes as adopted by the City of Agoura Hills.
33. Per AQMD Rule 445, only fireplaces fueled by gas (such as gas logs) may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted.
34. Fire Sprinklers will be required for all new structures per Section 903.2, Article VIII of the Agoura Hills Municipal Code 903.2.
35. A soils report is required to be submitted to the Building and Safety Department for this project at the time of submittal of construction plans for approval and permitting purposes.
36. Los Angeles County Fire Department review and approval will be required for all new structures prior to permit issuance.
37. Los Angeles County Health Department approval is required prior to permit issuance for the installation of any septic tanks, leach fields or seepage pits and future leach fields and seepage pits.
38. The project applicant shall apply for a demolition permit and obtain a final inspection of the demolition of the existing primary structure prior to obtain a Building Permit for the proposed residence.

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

39. All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the Director of Public Works for review and approval.
40. For all work within a public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet Las Virgenes Municipal Water District standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Public Works/Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.

41. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB 1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
42. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Public Works/Engineering Department until this detailed utility information is included on the plans.
43. Grading Plan shall show location(s) of all Oak trees within the vicinity of the site. Applicant shall adhere to all requirements pertaining to Oak trees as outlined in the Oak Tree conditions of approval.
44. Applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer as part of the plan check submittal.
45. Prior to issuance of permits from the Public Works/Engineering Department, this project will require a permit from the following agencies:
 - Los Angeles County Health Department
 - Las Virgenes Municipal Water District
46. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. Contact Public Works/Engineering Department @ 818.597.7322 for approved City certification forms.
47. Building Permits shall not be issued until applicant has obtained septic system approval from Los Angeles County Health Department, and approval from the Los Angeles County Fire Department related to street improvements.
48. Prior to permitting, the applicant shall design full public improvements in accordance with City Code, Specifications, approved specific plan, and/or approved Conditions of Approval for the area. Such improvements may include, but not limited to, the following: Install a new DG driveway approach and all water appurtenances shall be per Las Virgenes Municipal Water District's standards.
49. This property is within the LVMWD service area. Applicant shall make arrangements with LVMWD for those services and provide the City with written proof that all LVMWD fees have been paid at the time of building permit issuance.
50. Applicant shall submit a title report not older than 30 days.

51. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
52. A hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual, is required prior to the issuance of a grading permit. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
53. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites.
 - Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
54. Prior to the approval of the Grading Plan and issuance of Grading Permit, a completed Low Impact Development (LID) Plan shall be submitted to and approved by the Engineering Department. The LID Plan shall comply with the requirements of the LID Ordinance and Los Angeles County LID Standards Manual. The LID Plan shall include the following information:
 - Identification of whether the proposed project is a Designated or Non-Designated Project.
 - If the proposed project is a Designated Project, identification of the project category.
 - Feasibility of infiltration including a percolation report as part of a geotechnical report prepared by a geotechnical engineer.
 - Source control measure(s) proposed to be implemented
 - Calculation of the SWQDv.

- Discussion on whether stormwater runoff harvest and use is feasible.
 - Stormwater quality control measure(s) proposed to be implemented.
 - Discussion of how the applicable water quality standards and total maximum daily loads (TMDLs) will be addressed (off-site mitigation projects only).
 - Proposed hydromodification controls and calculations (if necessary).
 - Proposed maintenance plan (if necessary).
55. Prior to certificate of occupancy, all remaining fees/ deposits required by the Public Works/Engineering Department shall be paid in full.
56. Prior to certificate of occupancy, all requirements including construction of improvements covered in this section entitled "ENGINEERING/PUBLIC WORKS", must be completed to the satisfaction of the City Engineer.
57. The Applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. Please note that no final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.
58. The applicant shall record a covenant for continued stormwater maintenance, using City-approved forms. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
59. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Public Works/Engineering Department. Any monuments damaged as a result of construction shall be reset to the City's satisfaction.
60. Upon receiving Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by City Engineer, to resolve said conflicts/issues. All items listed are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL CONDITIONS

61. The applicant shall comply with all the items in the City Geotechnical Consultant's (GeoDynamics, Inc.) Conditions of Approval memorandum dated March 17, 2016, which is incorporated herein by this reference.

LANDSCAPE AND IRRIGATION CONDITIONS

62. The Final Landscape Plans shall substantially conform to the Landscape Preliminary Plan prepared by Landscape Architect Olwyn Kingery presented to the City of Agoura Hills Planning Commission as part of this application.
63. Any tree of heaven (*Ailanthus altissima*) located on-site is to be permanently eradicated. The Final Landscape Plans must contain a note to this effect and specify the method of eradication.
64. Prior to the approval of a grading permit, the applicant shall submit three (3) sets of Final Landscape and Irrigation Plans for review by the City Landscape Consultant and approval by the Planning Director. A California licensed Landscape Architect shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans. The Landscape and Irrigation Plan shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.
65. At the time of the Final Landscape Plans submittal, the project Landscape Architect shall provide the City with written confirmation that he/she has reviewed the civil engineering drawings and that the Landscape Plan is not in conflict with the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID).
66. Planting Plans shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees shall be 15-gallons. The minimum size of shrubs shall be 5-gallons except shrubs planted as groundcovers and or as accent planting, which may be 1-gallon in size. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
67. The Final Landscape Plans shall include the following notes:
 - a. The project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans.
 - b. Identification of the total square footage of the landscape area within the project.
68. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
69. With the Final Landscape Plans, three (3) copies of planting and irrigation details and specifications shall be provided, addressing but not limited to, planting, soil

preparation, tree staking, guying, instillation details and post installation maintenance.

70. The approved landscaping shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
71. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
72. The Final Landscape Plan shall be approved by the Fuel Modification Unit of the County of Los Angeles Fire Department prior to the issuance of a building permit.
73. Landscaping and irrigation installation shall be subject to inspection and approval by the Planning Department prior to final building permit inspection.
74. If pool construction is deferred for a period of 12 months beyond the anticipated date of occupancy a temporary landscape treatment shall be submitted and approved by the Planning Director and installed prior to occupancy.
75. If any existing areas that are not proposed to be landscaped are damaged during construction, then those areas shall be graded to the original conditions and planted with the basic native erosion control mix indicated on the plan.
76. The large slope area west of the drive shall be hydroseeded with the "Santa Monica Mountain Cover Mix" indicated on the plan. This area shall also be enhanced with additional one (1) gallon native shrubs at the rate of one per 100 square feet that are compatible with the hydroseed mix and compatible with Zone B requirements of the Los Angeles County Fuel Modification Unit.

OAK TREE CONDITIONS

77. All oak trees located on the property that would be encroached or otherwise avoided shall be preserved in perpetuity in accordance with the Mitigation Measures outlined in the project's Revised Oak Tree Report, incorporated herein by this reference.
78. All new subsurface ground disturbance that will occur within the protective zone of an oak tree shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant. If vegetation clearing or grading is not feasible within the protective zone with the use of hand tools, mechanical equipment may be allowed so long as a certified arborist is present to ensure that no impacts occur to the oak tree.
79. Prior to the start of any work or mobilization at the site, protective fencing shall be installed at the protective zone of preserved oak trees. The applicant or his/her consulting arborist shall consult the City's Oak Tree Consultant to determine the

exact fencing configuration and appropriate fencing material, and submit a fencing plan subject to approval by the City's Oak Tree Consultant.

80. The applicant shall provide a minimum of 48-hour notice to the City Oak Tree Consultant prior to the start of approved work within the protected zone of any oak tree.
81. No grading, scarifying or other soil disturbance shall be permitted within the portion of a protected zone of any oak tree except as specifically required to complete the approved scope of work and in accordance with this oak tree permit.
82. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
83. No irrigation or ground cover shall be installed within the Protective Zone of any existing oak tree unless specifically approved by the City Oak Tree Consultant and the Planning Director.
84. Prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
85. No pruning of live wood of an oak tree (including branches and roots) shall be permitted unless specifically authorized by the City Oak Tree Consultant and/or following an approved oak tree permit. Any authorized pruning shall be performed by a qualified arborist under the direct observation of the applicant's oak tree consultant. All pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.
86. No herbicides shall be used within 100 feet of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
87. The applicant's consulting arborist shall submit certification letters for all work completed within the protected zone of an oak tree within five working days of the completion of said work. The letter(s) shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

SOLID WASTE MANAGEMENT CONDITIONS

88. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall

include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.

89. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
90. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

DRAFT RESOLUTION NO. 16-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING VARIANCE REQUEST CASE NO. VAR-01301-2016 TO PERMIT EXCESS BUILDING HEIGHT FOR THE PROPERTY LOCATED AT 6105 LAPWORTH DRIVE; AND MAKING THE FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Mark and Kristina Clemens with respect to the real property located at 6105 Lapworth Drive, Assessor's Parcel Number 2055-001-044 requesting approval of Variance Case No. VAR-01301-2016 to increase the building height in relation to the front property line per the hillside development standards in Section 9676.2.E. of the City of Agoura Hills Municipal Code from the maximum allowable fifteen (15) feet to the proposed thirty (30) feet eight (8) inches.

Section II. The project is a request for one single-family residence with an accessory structure and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures), particularly Subsections (a) and (e). The project would not result in significant to the environment. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including but not limited to, subsection (c), which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the application at a public hearing held on December 15, 2016, at 6:30 p.m. in the Council Chambers, City Hall, at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Variance. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section. 9676.2.E. of the Agoura Hills Municipal Code, that:

- A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other property owners in the vicinity and under identical zoning classification. The project site is zoned Open

Space-Restricted (OS-R), Old Agoura Design Overlay (OA), and Equestrian Overlay (EQ). The Hillside Development Ordinance requires a maximum of fifteen (15) feet height for any structure when the elevation at the front property line is higher than the rear setback line of the property. Lots in the OS-R zone are generally much smaller than this parcel, and have less topographic constraints than this one. Most other nearby lots in the OS-R zone are permitted to develop single-family homes of up to 35 feet in height, with this lot, due to its large size and unique slopes, is nevertheless permitted 15 feet in height. This lot is 48.68 acres and slopes in various directions and with higher elevation points than the proposed pad elevation which screen the view of the project from distant vantage points. The lot and the development pad are somewhat remote and isolated from other nearby homes, and are situated at the end of Lapworth Drive and the edge of Old Agoura. The residence would be over 100 feet from the front property line, 900 feet from the rear property line, and 800 and 1,200 feet each from the side property lines, with such a complex topography, the project would be minimally visible from off-site vantage points. The project seeks to build in the same location as the existing residence to be demolished to avoid expanding into remaining open space areas. While a single-story home would meet the height limitation, the proposed two-story floor plan was selected over a one-story floor plan to limit the size of the developed area. A one-story design would increase the size of the development footprint and pad. It would also increase the necessary setback distance of the structures to the down-slopes, and would require the need for multiple retaining walls. Access into the steeply sloped site is limited to a narrow driveway, limiting the choice of potential buildable areas on the parcel suitable for development. Two-story structures are common in Old Agoura and adjacent homes have similar characteristics, including a two-story design with small developed pad.

- B. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone. The underlying zoning designation for the property, OS-R, otherwise permits buildings of up to 35 feet in height. The granting of the Variance would allow the applicants to build in the same location as currently disturbed and without additional impacts on natural resources. The building height is a function of the elevation of the lot. The project site is located on 48.68 acres of rolling topography varying in elevation. As an average, the topography at the rear setback line is slightly lower than the front property line and therefore dictates the height of the structure, despite the peak elevation immediately behind the structure that screens the structure from distant vistas. The closest home is a two-story structure, 200 feet southeast from the proposed house, and placed at a higher elevation than the proposed project. The other homes on Lapworth Drive that are two stories as well and at a higher elevation than their rear setback lines.
- C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The strict application of the building height restriction would not be consistent with the objectives of the Hillside and Significant

Ecological Area Ordinances, in that it would create a larger development pad due to the larger house footprint and required access, around it as well as minimum required setback to down-slopes, which would increase the development area that would likely have more impacts on the natural environment, including slopes, natural vegetation and oak trees. The project is proposed in the same location as the original approval for the existing structure without further impacting the adjacent open spaces. As such, strict application of the building height requirement would deprive the applicants from the needed square footage and the preservation of natural resources.

- D. The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity. The taller building will not cause a public hazard, as the project is proposed to be built to current Building Code standards. The project will not block any adjacent properties' views or impede on neighboring properties' privacy, given the limited development area on an extensive and remote parcel. The separation between on- and off-site structures is over 200 feet with various building pad elevations. The geotechnical report prepared for the project, including required conditions, demonstrates all structures can be safely developed. The project design will allow the placement of a septic system that will meet the standards of the Los Angeles County Environmental Health Services Department.
- E. The granting of the Variance will be consistent with the character of the surrounding area. The building height (nearly 31 feet) is lower than the maximum height (35 feet) of a building otherwise permitted on a flat lot. The proposed project is surrounded by two-story structures. The proposed structures will be screened from off-site views by new and existing trees, the hilly terrain, and the large and remote lot on which it is located. The project is conditioned to control light pollution on neighboring properties and the natural open spaces, and all structures will be designed to be aesthetically compatible with Old Agoura.

Section VI. Based on the aforementioned findings, the Planning Commission hereby approves Variance Case No. VAR-01301-2016, subject to the conditions attached hereto as Exhibit A, with respect to the property described in Section I hereof.

Section VII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 15th day of December, 2016, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John O'Meara, Chair

ATTEST

Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case No. VAR-01301-2016)

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all conditions of this variance with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits (Site Plan; Elevation Plans; Floor Plans, Roof Plan, and Grading Plan) approved on December 15, 2016.
4. It is hereby declared to be the intent that if any provision of this variance is held or declared to be invalid, the variance shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a condition of this action that if any condition herein is violated, the variance shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. Unless the approval is used within two (2) years from the date of City approval, Case No. VAR-01301-2016 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
7. The Variance Case No. VAR-01301-2016 is valid only in conjunction with Conditional Use Permit Case No. CUP-01187-2015 and Oak Tree Permit Case No. OAK-01188-2015, and the conditions of approval therein. The effectiveness of this variance is contingent upon approval of those entitlements.
8. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this Condition.
9. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, and employees from and against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense.

The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter.

END

**Old Agoura Home Owners Association
Planning and Zoning Committee**

November 2, 2016,

Attn: City of Agoura Hills Planning Dept.

Re: 6105 Lapworth Drive, Agoura Hills.
Clemens project.

The Planning and zoning committee, from the Old Agoura Home Owners has reviewed the proposed plans by L+S design, dated December 22 2015.

The proposed project consists of a new house, and renovation of the existing garage structure.

The Project has nice design elements, and articulation. The style of the house is welcomed and a nice fit. The colors of the house appear to be warm and consistent with the natural environment. A wonderful example of a house that fits our community.

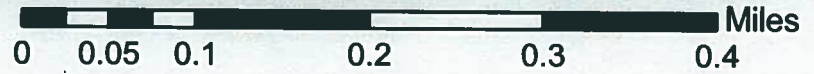
Thank you for the opportunity to comment on this project. Please feel free to call, if the Planning commission or the applicant has any questions. We can be reached at 818-599-6842.

Thank you.
DANIEL FARKASH
Phil Ramuno
Daniel Farkash
Mike Colabella

City of Agoura Hills

Vicinity/Zoning
Map

Conditional Use Permit Case No. CUP-01187-2015, Oak Tree Permit Case No. OAK-01188-2015 & VAR-01301-2016





L + S DESIGNS

Light + Space Residential Designs

Trevor Light

444 Via Colinas ph: 818 292 4447

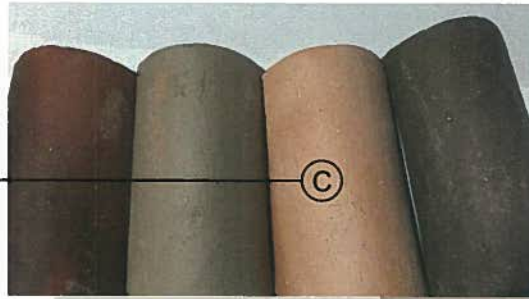
Westlake Village email: light.space.designs@gmail.com
CA 91362

PROJECT CLEMENS RESIDENCE

Client:

MARK & KRISTINA CLEMENS
6105 LAPWORTH DRIVE
AGOURA HILLS
CA 91301

C. ROOFING:
TWO PIECE MISSION CLAY TILE
BY REDLAND CLAY TILE CO
COLOR/BLEND: "OLD SEDONA BLEND"
2243, 22171, 2395



WOOD DOORS & RAFTER TAILS:
COLOR: SEMI-TRANSPARENT STAIN
"SKY GRAY"

E

A. STUCCO:
MOTTLED FINISH,
COLOR: DUNN EDWARDS
DE6170 "RICE BOWL"

A

D. DOORS & WINDOWS:
BY PELLA WINDOWS
COLOR: "IRON ORE"

D

W.I. STAIR, EXPOSED STEEL BEAMS, DOWNSPOUTS,
GUTTERS & LIGHT FIXTURES
TO MATCH WINDOWS & DOORS:
"IRON ORE"

B. STONE VENEER:
1-1/2" THICK NATURAL STONE VENEER
"KANSAS CREME" W/ OVERGROUT
BY SOUTHWEST STONE

B

B



VICINITY MAP



CLEMENS RESIDENCE

6105 LAPWORTH DRIVE
AGOURA HILLS, CA 90301
A.P.N.: 2055-001-044

CIVIL ENGINEER:
WALLACE E. MASON
831 RANCHO ROAD
THOUSAND OAKS, CA 91321
TELEPHONE: 805 734 3558

DESIGN & PLANS BY:
L+S DESIGNS
444 VIA COLINAS
WESTLAKE VILLAGE, CA 91362
TELEPHONE: 818 510 5085

SOILS ENGINEER:
GOLD COAST GEOSERVICES
8261 VERDADO WAY, SUITE J
CANAVERA, CA 92012
TELEPHONE: 360 484 8070

SURVEYOR:
CHRIS NELSON & ASSOC.
31328 VIA COLINAS, BLITE 'C'
WESTLAKE VILLAGE CA 91362
818 991 1040

BIOLOGICAL REVIEW:
ENVICOM CORPORATION
4106 E. THOUSAND OAKS BLVD., SUITE 300
WESTLAKE VILLAGE, CA 91362
TELEPHONE: 818 670 4700

LANDSCAPE ARCHITECT:
OLWYN KINGERY LANDSCAPE DESIGN
P.O. BOX 780
NEWBURY PARK, CA 91319
TELEPHONE: 805 279 6119

OAK TREE CONSULTANT:
JOHN OBLINGER
31300 VIA COLINAS, BLITE 104
WESTLAKE VILLAGE, CA 91361
TELEPHONE 818 991 8058

APPLICABLE CODES:

ALL WORK SHALL COMPLY WITH THE
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA MECHANICAL CODE &
2013 CALIFORNIA ELECTRICAL CODE

OCCUPANCY GROUP CLASSIFICATION:

DWELLING "R-3" SINGLE FAMILY DWELLING
GARAGE "U" ATTACHED PRIVATE GARAGE

NOTE:

1 HOUR FIRE RESISTIVE OCCUPANCY SEPARATION
SHALL BE PROVIDED BETWEEN R-3 AND U OCCUPANCIES
AS INDICATED ON FLOOR PLAN

FIRE ZONE:

UNRATED

CONSTRUCTION TYPE:

TYPE "V-C" (SPRINKLERED)

BUILDING CODE DATA:

1. OCCUPANCY GROUP: RESIDENCE - ALL GARAGE: U
2. AREA: SINGLE FAMILY DWELLING w/ ATTACHED 2-CAR GARAGE
3. TYPE OF CONSTRUCTION: TYPE V-C
4. FLOOR AREA: 315 SQ. FT.
5. STORIES: 2
6. HEIGHT: 20'-0"

7. FLOOR AREA: 315 SQ. FT.
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100. FLOOR AREA: 315 SQ. FT.
101. FLOOR AREA: 315 SQ. FT.
102. FLOOR AREA: 315 SQ. FT.

L + S DESIGNS

Light Space Residential Designs
444 Via Colinas ph: 818 292 4447
Westlake Village email: light.space.designs@gmail.com
CA 91362

PROJECT

CLEMENS RESIDENCE

Client:
MARK & KRISTINA CLEMENS
6105 LAPWORTH DRIVE
AGOURA HILLS
CA 91301

Project Site:
6105 LAPWORTH DRIVE
AGOURA HILLS
CA 91301
APN: 2055-001-044

DRAWING INDEX

PAGE	DESCRIPTION
ARCHITECTURAL	
A1.1	COVER SHEET, DRAWING INDEX, VENTRY MAP & SITE PLAN
A1.1a	BLAZED SITE PLAN (PARTIAL)
A1.1b	SITE PHOTOS
A1.1c	LINE OF BOUNDARY - KEY PLAN
A1.1d	LINE OF BOUNDARY - KEY SECTION
A1.1e	FIRE CODE, SITE PLAN & FIRE DEPT. NOTES
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A3.1	ROOF PLAN
A4.1	SCREENED ENCLOSURE (SOUTH WEST)
A4.1a	EXTENSION ENCLOSURE (SOUTH WEST) - Cedar Plank Deck
A4.2	EXTENSION ENCLOSURE (SOUTH EAST)
A4.2a	EXTENSION ENCLOSURE (SOUTH EAST) - Cedar Plank Deck
A4.3	SCREENED PERGOLA (SOUTH WEST) ENCLOSURE
A7.1	SCREENING SECTIONS
A7.2	SCREENING SECTIONS
A8.1	ARCHITECTURAL DETAILS
A8.1a	ARCHITECTURAL DETAILS
CIVIL	
1	GRADING PLAN COVER SHEET
2	BLAZED TOPOGRAPHICAL SURVEY
3	SOIL ANALYSIS
4	CONCRETE FINISH PLAN
5	CONCRETE FINISH PLAN
6	CONCRETE FINISH PLAN
7	CONCRETE FINISH PLAN
8	CONCRETE FINISH PLAN
9	CROSS SECTION AND DETAILS
10	CONCRETE FINISH PLAN COVER SHEET
11	CONCRETE FINISH PLAN
12	CONCRETE FINISH PLAN ATTACHMENTS
LANDSCAPE	
L-1	SITE PLAN
L-2	LANDSCAPE PLAN

Description:
**COVER SHEET,
DRAWING INDEX,
VICINITY MAP &
SITE PLAN**

A1.1
Scale: 1"=200'-0" U.N.O.
Date: 05/02/2016

Designed by:
Trevor Light

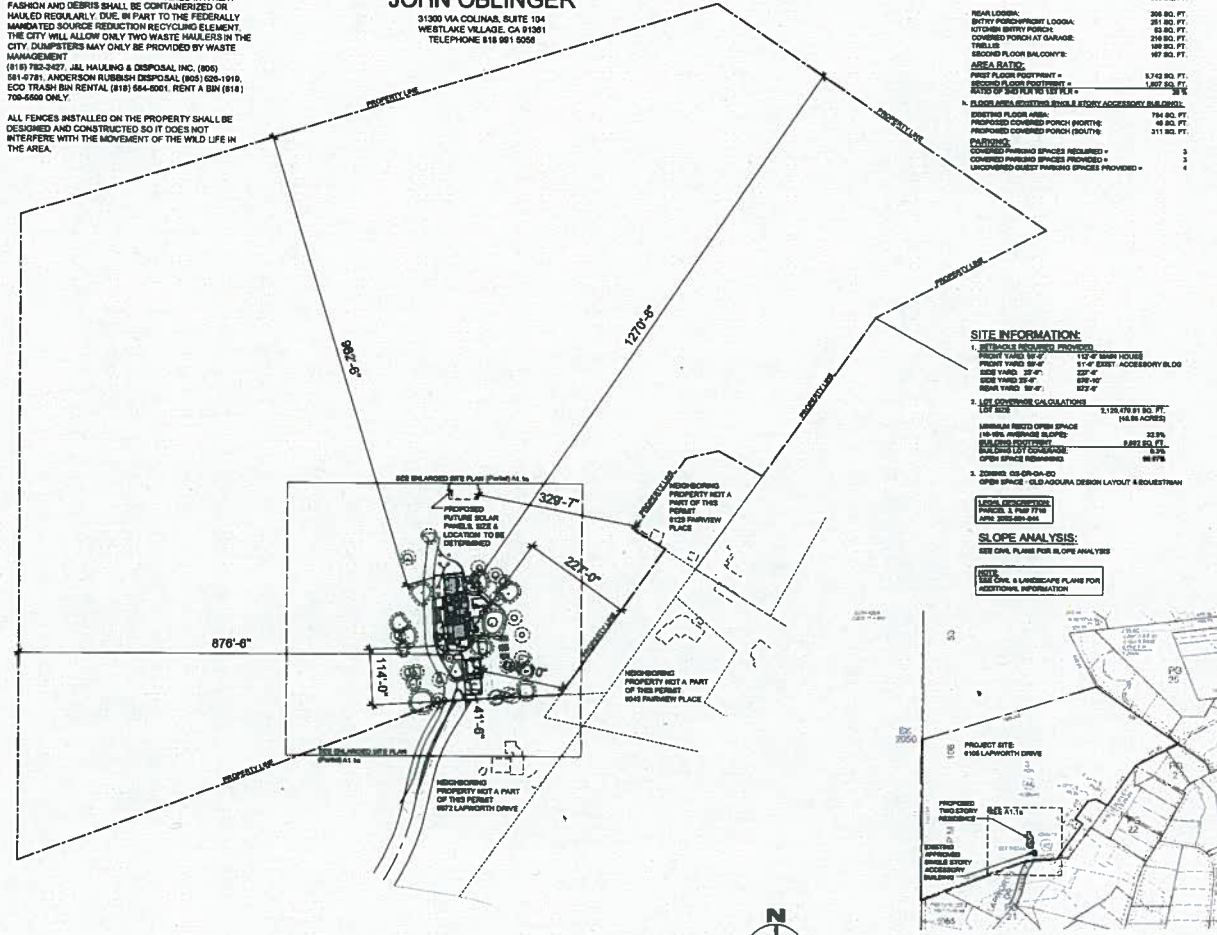
PROJECT NOTES

- COPYRIGHT:**
All plans, designs, and concepts shown in these drawings are the exclusive property of L+S Designs, and shall not be used, disclosed, or reproduced for any purpose whatsoever without written permission.
- CODES:**
This project is governed by the 2013 Edition of the California Building Code. Code compliance is mandatory. The drawings and notes shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals.
- FIELD VERIFICATION:**
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify L+S Designs of any conflicts or discrepancies in the drawings immediately.
- DIMENSIONS:**
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work, and notify L+S Designs of any conflicts or discrepancies by interpretation or observation. Plan dimensions are to the face of forming members, face of wood framing or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete slab, top of plywood or light weight concrete, and top of wall panels and/or beams unless otherwise noted.
- DISCREPANCIES:**
The Owner has requested L+S Designs provide limited design and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, the Contractor shall immediately notify L+S Designs. Failure to give ample notice shall relieve L+S Designs of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from L+S Designs.
- DUTY OF COOPERATION:**
Release of these plans contemplates further cooperation among the Owner, the Contractor, and L+S Designs. Design and construction are complex. Although L+S Designs and their consultants have performed their services with due care and diligence, they cannot guarantee perfection. Every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to L+S Designs. Failure to notify L+S Designs compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice shall relieve L+S Designs from responsibility for all consequences.
- CHANGES TO THE WORK:**
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans made without consent of L+S Designs are unauthorized and shall relieve L+S Designs of responsibility for any and all consequences resulting from such changes.
- WORKMANSHIP:**
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.
- SUBSTITUTIONS:**
Substitution of "equal" products will be acceptable with the approval of L+S Designs.
- CONSTRUCTION SAFETY:**
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.
- EXCAVATION PROCEDURES:**
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of the design. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER and any other required agency.
- FIELD MODIFICATIONS OF STRUCTURAL MEMBERS:**
The General Contractor and Subcontractors shall field coordinate and obtain approval from the Engineer of record before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building.
- WEATHER CONDITIONS:**
Extended exposure of underlayment, framing and sheathing is damaging to these building components. The Contractor should schedule construction accordingly to avoid extended exposures to components not intended to be exposed to the elements. When weather conditions dictate, the appropriate measures should be taken to protect these building components.
- PROJECT SURVEYING AND STAKING:**
The general contractor shall verify all existing grades and survey and stake all building corners including driveway location for Owner, L+S Designs approval prior to beginning any grading.
- PROJECT GRADES:**
The General Contractor shall check and verify all grades including paved road slopes prior to pouring any foundations. Survey work should be verified in detail.

SITE PLAN NOTES:

CONSTRUCTION SITE MUST BE MAINTAINED IN A NEAT FASHION AND DEBRIS SHALL BE CONTAINERIZED OR HAULED REGULARLY. DUE IN PART TO THE FEDERALLY MANDATED SOURCE REDUCTION RECYCLING ELEMENT, THE CITY WILL ALLOW ONLY TWO WASTE HAULERS IN THE CITY. DUMPSTERS MAY ONLY BE PROVIDED BY WASTE MANAGEMENT (818) 783-2127, JAL HAULING & DISPOSAL, INC. (805) 581-6781, ANDERSON RUBBISH DISPOSAL (805) 628-1919, ECO TRASH BIN RENTAL (818) 884-8001, RENT A BIN (818) 708-6588 ONLY.

ALL FENCES INSTALLED ON THE PROPERTY SHALL BE DESIGNED AND CONSTRUCTED SO IT DOES NOT INTERFERE WITH THE MOVEMENT OF THE WILD LIFE IN THE AREA.



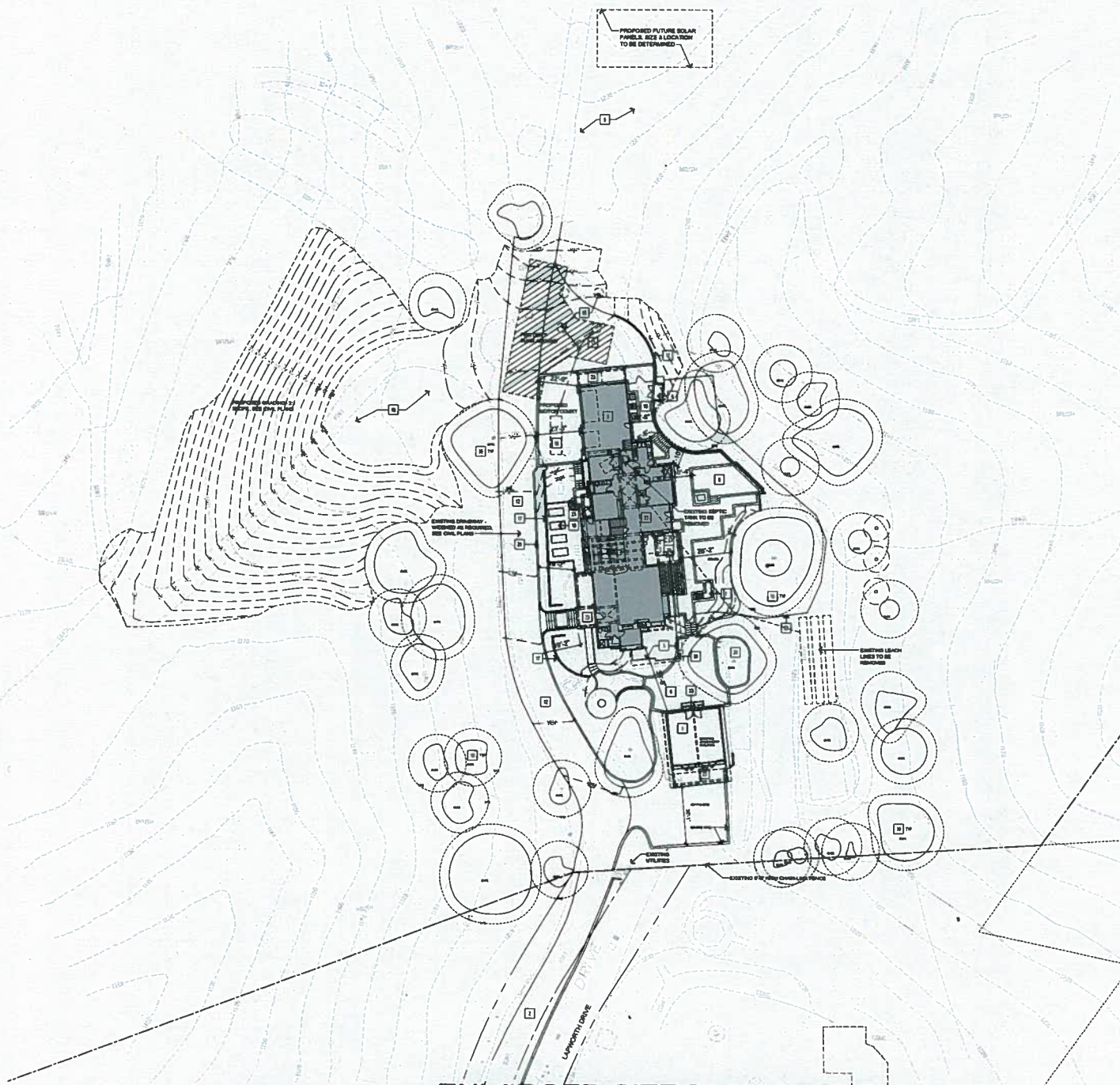
OVERALL SITE PLAN
SCALE: 1" = 200'-0"

ASSESSOR MAP
SCALE: 1" = 400'-0"

PROJECT
CLEMENS
RESIDENCE

Client:
MARK & KRISTINA CLEMENS
 6105 LAPWORTH DRIVE
 AGOURA HILLS
 CA 91301

Project Site:
 6105 LAPWORTH DRIVE
 AGOURA HILLS
 CA 91301
 APN: 2055-001-044



- SITE PLAN NOTES:**
- EXISTING APPROVED SINGLE STORY ACCESSORY BUILDING
 - EXISTING PRIVATE DRIVEWAY, SEE LANDSCAPE DWGS
 - EXISTING SINGLE STORY 1.50 SQ. FT. MODULAR HOME TO BE DEMOLISHED
 - POOL, EQUIPMENT ENCLOSURE, 8'-0" HIGH OAK WALLS W/ STUCCO FINISH TO MATCH BARNHOUSE AND PLS. 2'-0" WIDE x 8'-0" HIGH WOOD SIDING
 - LOCATION OF FUTURE/ELECTRIC SOLAR PANELS
 - EXISTING EXIST' PATIOS/SPACES
 - NEW BRG BLAND PATIOS/SPACES PLANS
 - NEW FINISHED POOL SPACES LANDSCAPE DWGS
 - CS COVERED PATIOS/SPACES AT ATTACHED GARAGE SU OCC
 - VEGETABLE PLANTING SEE LANDSCAPE DWGS
 - PROPOSED TWO STORY RESIDENCE
 - EXISTING SPACES/SPACES AS REQUIRED
 - CS PROPOSED GUEST/STAIRING SPACES
 - GATES
 - PROPOSED ON-SITE SEPTIC SYSTEM, SEE SOLI/SEPTIC DESIGN
 - LOCATION OF PROPOSED GATE
 - PROPOSED SITE RETAINING WALL, SEE CIVIL & LANDSCAPE DWGS
 - FUTURE 1.50 SQ. FT. MIN. HORSE KEEPING AREA
 - EXISTING OAK TREES AND PROTECTED ZONES, SEE OAK TREE REPORT
 - EXISTING RASSED PLANTER
 - EXISTING SITE RETAINING WALL, SEE CIVIL & LANDSCAPE DWGS
 - NEW POOL, SECURITY/FENCING, SEE LANDSCAPE DWGS
 - NEW COVERED LOOKING/POOL, SEE ALL

SCALE:
 SEE CIVIL & LANDSCAPE PLANS FOR
 ADDITIONAL INFORMATION



Description:
ENLARGED
SITE PLAN

A1.1a
 Scale: 1" = 20'-0"
 Date: 05/02/2016

Designed by:
Trevor Light

ENLARGED SITE PLAN (partial)
 SCALE: 1" = 20'-0"

PROJECT
CLEMENS
RESIDENCE

Client:
MARK & KRISTINA CLEMENS
 6105 LAPWORTH DRIVE
 AGOURA HILLS
 CA 91301

Project Site:
 6105 LAPWORTH DRIVE
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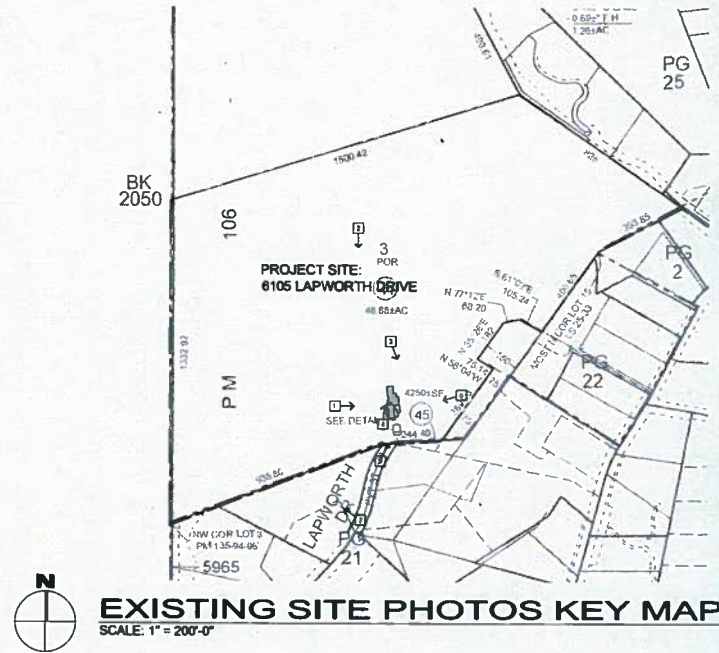


PHOTO VIEW 1



PHOTO VIEW 2



PHOTO VIEW 3



PHOTO VIEW 4



PHOTO VIEW 7



PHOTO VIEW 6



PHOTO VIEW 5

Description:
SITE PLAN &
PHOTO VIEWS

A1.1b
 Scale:
 Date: 05/02/2016
 Designed by:
 Trevor Light

PROJECT
CLEMENS
RESIDENCE

Client:
MARK & KRISTINA CLEMENS
6105 LAPWORTH DRIVE
AGOURA HILLS
CA 91301

Project Site:
6105 LAPWORTH DRIVE
AGOURA HILLS
CA 91301
APN: 2055-001-044



LINE OF SIGHT KEY PLAN
 SCALE: 1" = 100'-0"

SEE DWG A1.1d FOR LINE OF SIGHT SECTIONS



Description:
LINE OF SIGHT
KEY PLAN

A1.1c
 Scale: 1"=100'-0"
 Date: 05/02/2016
 Designed by:
 Trevor Light

PROJECT
CLEMENS
RESIDENCE

Client:
 MARK & KRISTINA CLEMENS
 6105 LAPWORTH DRIVE
 AGOURA HILLS
 CA 91301

Project Site:
 6105 LAPWORTH DRIVE
 AGOURA HILLS
 CA 91301
 APN: 2055-001-044



6072 LAPWORTH DRIVE 1"=50'-0"



6045 FAIRVIEW PLACE 1"=50'-0"



6029 FAIRVIEW PLACE 1"=50'-0"



6165 FAIRVIEW PLACE 1"=50'-0"



6045 LAPWORTH DRIVE 1"=50'-0"

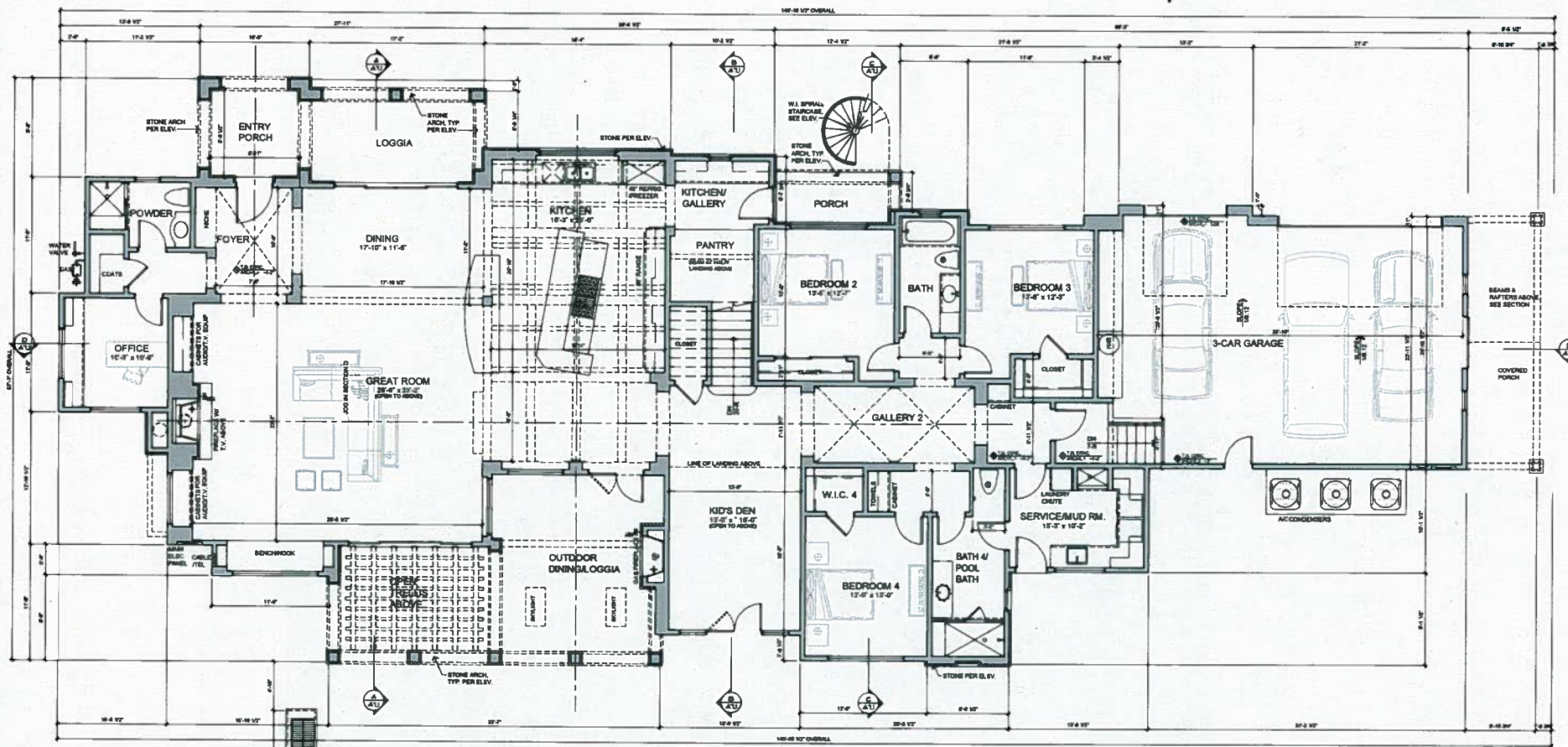
Description:
 LINE OF SIGHT
 SECTIONS

A1.1d

Scale: 1"=50'-0"
 Date: 05/02/2016

Designed by:
 Trevor Light

PROJECT
Clemens
Residence



FIRST FLOOR PLAN



AREAS/CONTENTS:

FIRST FLOOR LIVING SPACE	3,729 SQ. FT.
SECOND FLOOR LIVING SPACE	1,302 SQ. FT.
TOTAL LIVING SPACE	5,031 SQ. FT.
GARAGE AREA:	
BEAM LOGGIA	163 SQ. FT.
BESTER POWDER/FIREPLACE LOGGIA	305 SQ. FT.
KITCHEN ENTRY PORCH	65 SQ. FT.
COVERED PORCH AT GARAGE	218 SQ. FT.
TRILLIS	169 SQ. FT.
SECOND FLOOR BALCONY	147 SQ. FT.

Project Site:
 6105 LAPWORTH DRIVE
 AGOURA HILLS
 CA 91301
 APN: 2055-001-044

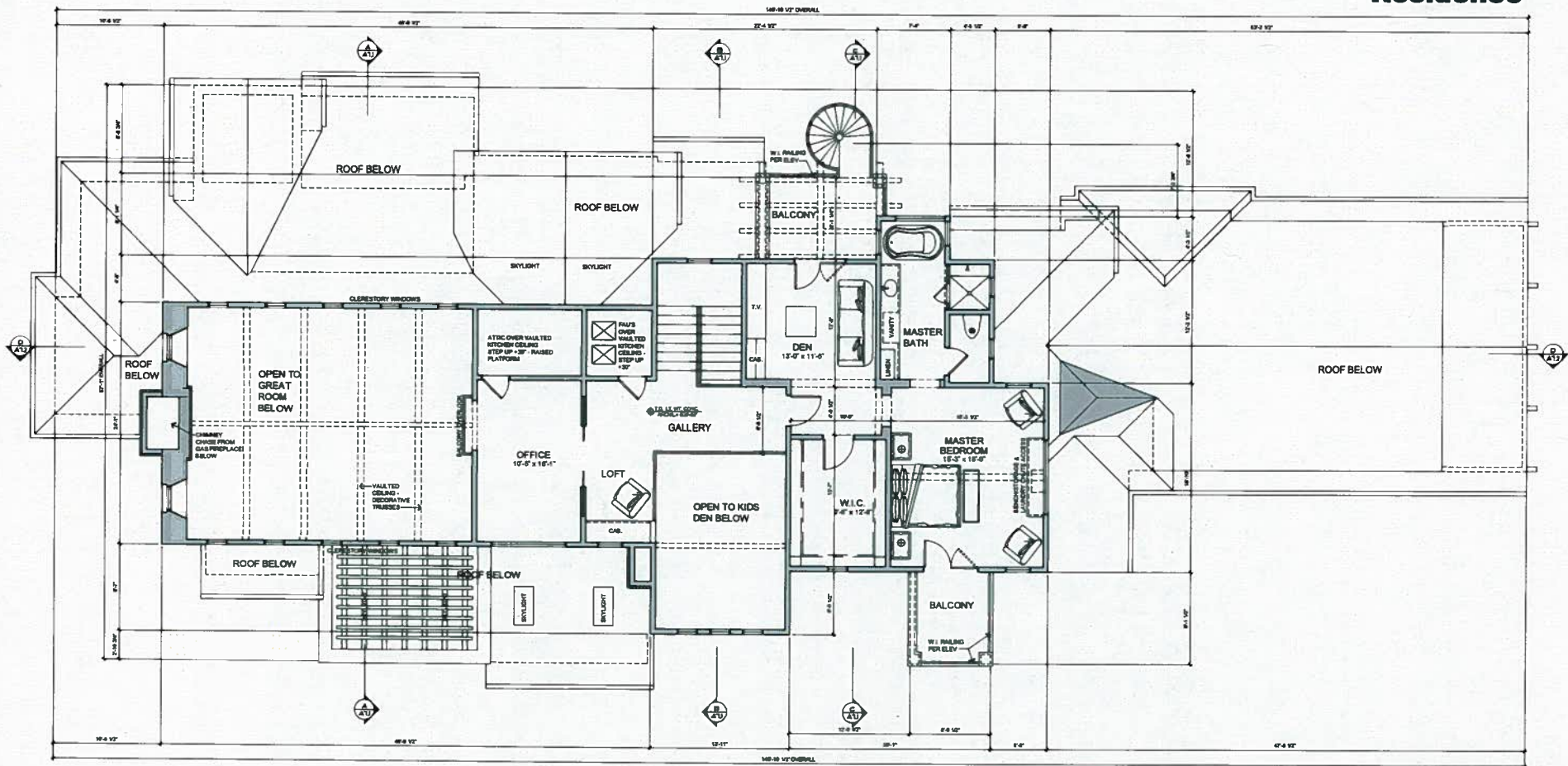
Client:
 MARK & KRISTINA CLEMENS
 6105 LAPWORTH DRIVE
 AGOURA HILLS
 CA 91301

Description:
FIRST FLOOR
PLAN

A2.1
 Scale: 1/4"=1'-0"
 Date: 04/11/2016

Designed by:
Trevor Light

PROJECT
Clemens Residence



SECOND FLOOR PLAN



Project Site:
 6105 LAPWORTH DRIVE
 AGOURA HILLS
 CA 91301
 APN: 2055-001-044

Client:
 MARK & KRISTINA CLEMENS
 6105 LAPWORTH DRIVE
 AGOURA HILLS
 CA 91301

Description:
SECOND FLOOR PLAN

A2.2
 Scale: 1/4"=1'-0"
 Date: 04/11/2016

Designed by:
 Trevor Light

SPARK ARRESTOR NOTE:

THE NET FREE AREA OF THE SPARK ARRESTOR SHALL NOT BE LESS THAN FOUR TIMES THE NET FREE AREA OF THE ORIFICE OF THE CHIMNEY. THE SPARK ARRESTOR SCREEN SHALL HAVE HEAT AND CORROSION RESISTANCE EQUIVALENT TO 15-GAUGE WIRE. SPARKS SHALL BE COLLECTED IN A CONTAINER OF STAINLESS STEEL. CAPSCREENS SHALL NOT PERMIT THE PASSAGE OF SPARKS HAVING A DIAMETER LARGER THAN 1/2 INCH AND SHALL LOCK THE PASSAGE OF SPARKS HAVING A DIAMETER OF LESS THAN 3/8 INCH.

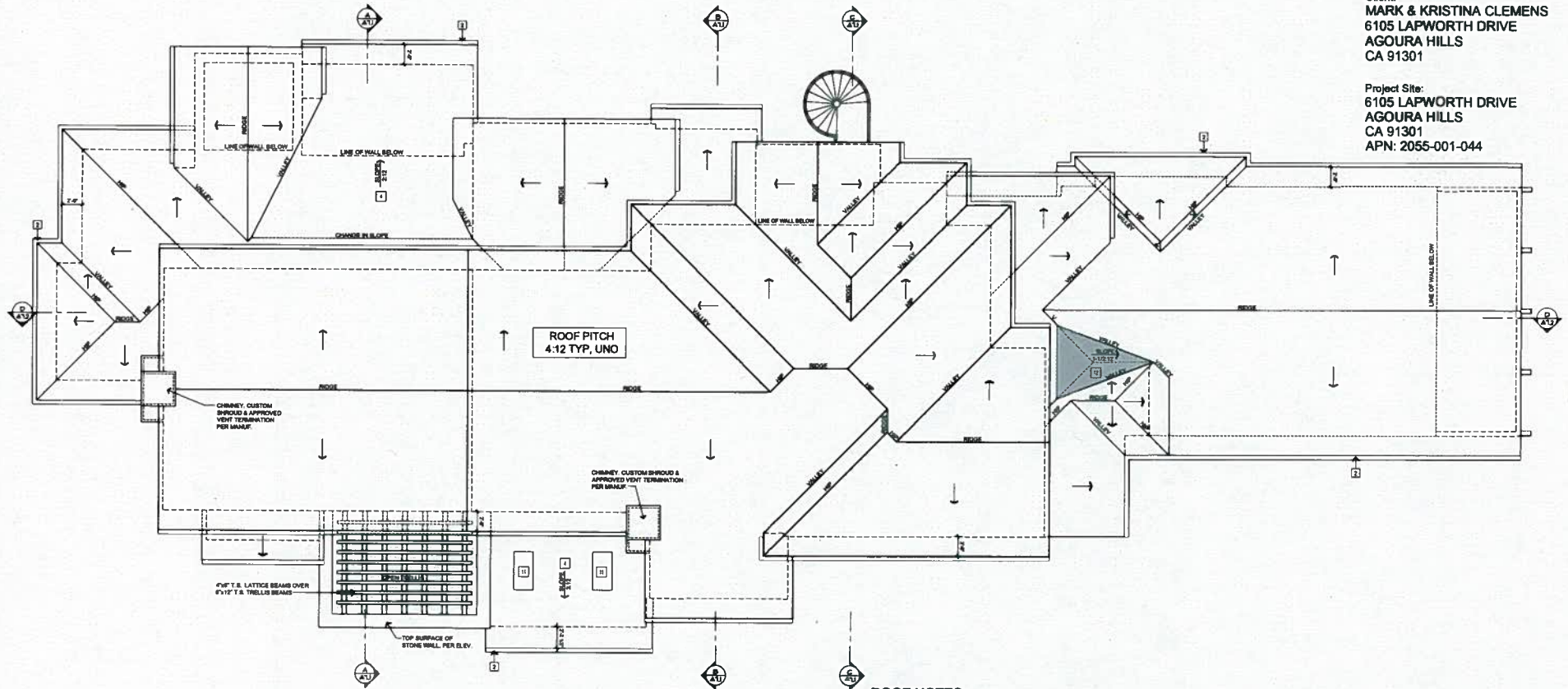
ROOF MATERIAL:

CLASS IV TWO PLYCE MISSION CLAY TILE BY REDLAND CLAY TILE CO (ICC ESR-1488) COLOR: BROWN "OLD BROWN BLEND" - DIAL 2071, 2288 OR MULTILAYERED STACKED HIPS & RIDGES "CLOSET VALLEY" 3/8" ROOFED A MORTAR BANE PLASS OVER 2 LAYERS OF #4 U.S. RES T BROWN TILE WEIGHT NOT TO EXCEED 14 LBS) PROVIDE FULL SIZE SAMPLE FOR OWNER & DESIGNER APPROVAL. PRIOR TO ORDERING MATERIAL.
 PROVIDE TORCH-DOWN WATERPROOFING UNDER ROOFING MATERIAL AT PITCH OF 3:12 OR LESS
 ALL ROOF METAL SHALL BE G-1

PROJECT
CLEMENS
RESIDENCE

Client:
MARK & KRISTINA CLEMENS
 6105 LAFWORTH DRIVE
 AGOURA HILLS
 CA 91301

Project Site:
 6105 LAFWORTH DRIVE
 AGOURA HILLS
 CA 91301
 APN: 2055-001-044



ROOF PLAN

ROOF NOTES:

SYMB
 NOTE: SEE ROOF PLAN FOR LOCATION OF PLAN NOTES WHERE OCCURS AS LISTED BELOW:

1. ATISC VENTILATION: PROVIDE 3" DIA. TUBES @ ATTIC VENTILATION PER IRC SECTION R803. BY CHIMNEY, SEE ROOF PLAN FOR CLAY TILE ROOFING, SEE CHIMNEY REPORT FOR AREA OF VENTILATION SHALL BE #18 OF ATISC AREA.
 INSTALL VENTS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS AND DETAILS. AVOID PLACING VENTS ON ROOF PLANES FACING STREET OR FRONT OF HOUSE.
 ADDITIONAL VENTS MAY BE REQUIRED AS DETERMINED BY THE BLDG OFFICIAL HAVING JURISDICTION.
2. ROOF FLASHING: a. ALL GUTTERS, DOWNSPOUTS, PIPES AND/OR OTHER NON-ROOFING DEVICES SHALL BE PROVIDED TO COLLECT AND CONDUCT WATER TO A STREET, STORM DRAIN OR OTHER APPROVED WATER COURSE OR DRAIN. b. CONCENTRIC FLASHING (SUCH AS TRANSOMERS FROM GUTTERS AND DOWNSPOUTS, SCALLOPS, AND ROOF SCALES) SHALL BE INSTALLED FROM ROUNDTOPS BY CONCRETE SPLASH BLOODS OR OTHER NON-ROOFING DEVICE.
3. RUN ROOF OVERHEADS BACK TO SLOPED ROOF BELOW FOR SMOOTH TERMINATION. PROVIDE FRAMED VERTICAL BLOOD-OUT TO RECEIVE IF VERTICAL, G-1 FLASHING UNDER OVERHEAD AT VALLEY INTERSECTION.
4. PROVIDE TORCH-DOWN WATERPROOFING UNDER TILE AT ROOFING PITCH OF 3:12 OR LESS.
5. SHEET METAL SADDLE & FLASHING
6. APPROVED SPARK ARRESTOR OR SHEET METAL CHIMNEY CAP, PAINT TO MATCH STUCCO (SEE NOTE BELOW)
7. IN BATTEN FLASH @ 2" O.C. TYP. WHERE OCCURS. LOCATE ADDITIONAL PARTS 24.1 @ ALL HIP & VALLEY CONDITIONS AS PER THE PLAN.
8. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH ROOF COLOR.
9. COORDINATE REQUIREMENTS & LOCATIONS OF ROOF/EAVE ELECTRICAL OUTLETS (Per Approved Lighting, and BY OWNER).
10. THE CONTRACTOR SHALL MEET WITH ARC DESIGN GROUP, INC ON SITE TO REVIEW LOCATION OF DOWNSPOUTS & ATISC VENTS PRIOR TO INSTALLATION OF THESE ITEMS.
11. 2" x 4" 4'-0" SILLIGHT AS SHOWN BY HOLLER AMERICA OR APPROVED EQUAL. WWW.HOLLERAMERICA.COM. QUIN, 1/4" DIA. CURB MOUNTED MODEL, REF: 1012 2246. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS AND DETAILS. CODE APPROVALS PER THE EB MSR-216 (2003.1.2)
12. BUILT UP ROOF CRACKER - SHEET METAL.

Description:
ROOF PLAN

A5.1
 Scale: 1/4"=1'-0"
 Date: 05/02/2016

Designed by:
Trevor Light

PROJECT
CLEMENS
RESIDENCE

Client:
MARK & KRISTINA CLEMENS
 6105 LAPWORTH DRIVE
 AGOURA HILLS
 CA 91301

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ELEVATION NOTES

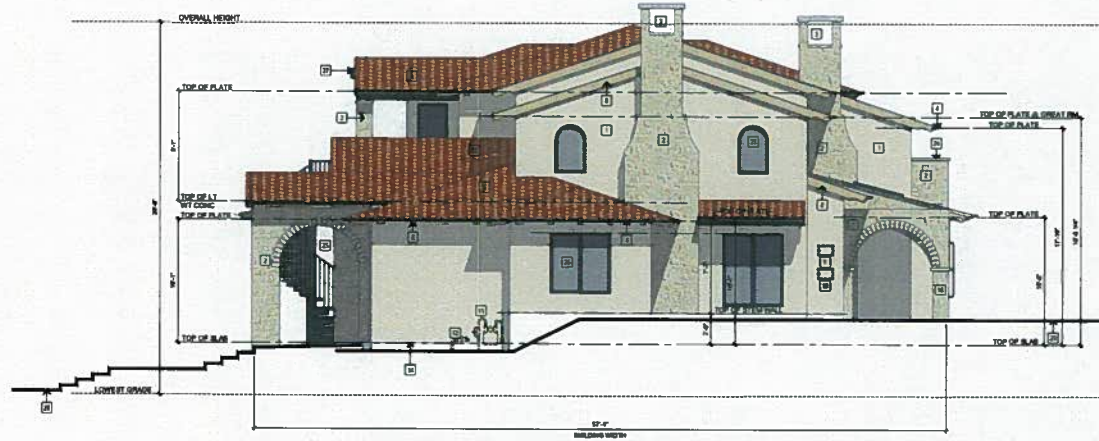
1. 7/8" THK. SMOOTH STUCCO OVER TWO LAYERS OF GRADE 17 FELT PAPER (TYPICAL). COLOR PER (A)
2. INTERIOR STONE VENEER PER MATERIAL SPEC. INSTALLED PER SUPPLIER SPEC. AND DETAILS (SEE SECTION NOTES). COLOR PER (B)
3. CUSTOM BRICK/OLD AND APPROVED SPINER APPLICATOR PER MANUFACTURER SPEC.
4. PREPARED ALUMINUM BUTTRESS AND DOWNSCOURTS. SEE ROOF PLAN. COLOR TO MATCH FRASCA COLOR OVER 2" STAIN GRADE FRASCA (TYPICAL)
5. ROOFING MATERIAL PER ROOF PLAN OVER TWO LAYERS OF #8 U.S. FELT PAPER. COLOR PER (C)
6. BULK TAP CRACKS (TYPICAL)
7. A/C CONDENSER LOCATIONS - SCREEN WALLS TO BE PROVIDED PER SITE PLAN
8. #6 STAIN GRADE RAFTER TAILS AND GABLED END FRASCA BORDERS. SEE RELATED DETAILS & ADJUST SPACING AS FOLLOWS AS REQUIRED TO MAINTAIN APPROXIMATELY 2" x 4" SPACING. SPACING TO BE EQUAL AT EACH RUN - SEE REFLECTED CEILING PLAN FOR LAYOUT DETAIL. COLOR PER (D)
9. TELEPHONE CABINET
10. GABLE TV
11. GAS METER
12. PRESSURE RELIEF VALVE
13. MAIN ELECTRICAL PANEL
14. WIND EXTENDED LIG STUCCO WEEP SCREENED. TYPICAL
15. DECORATIVE WINDSCREEN PER MANUFACTURER SPEC. PER RELATED DETAIL AND AS NOTED ON PLAN. COLOR PER (E)
16. CUSTOM ENTRY DOOR PER DOOR SCHEDULE. COLOR PER (F)
17. CUSTOM ENTRY DOOR PER DOOR SCHEDULE. COLOR PER (F)
18. BULK TAP CRACKS (TYPICAL)
19. WOOD DOOR. COLOR PER (G)
20. FURNISHMENT WALL FINISH TO BE PROVIDED AS REQUIRED BY CODE
21. LIGHT FIXTURE. COLOR PER (H)
22. CLAD WOOD FOLDING DOOR. LIGHT AS SCHEDULED. COLOR PER (I)
23. LIGHT FIXTURE. COLOR PER (H)
24. FLUORESCENT WINDSCREEN TAIL. COLOR PER (J)
25. W/1 SPINAL STAIRCASE. SEE FLOORPLAN. COLOR TO MATCH (K)
26. W/1 SPINAL STAIRCASE. SEE FLOORPLAN. COLOR TO MATCH (K)
27. W/1 SPINAL STAIRCASE. SEE FLOORPLAN. COLOR TO MATCH (K)
28. NET BRICK WALL PER CIVIL WITH STUCCO FINISH TO MATCH (A)
29. APPROXIMATE FINISHED GRADE
30. BRG ISLAND. SEE LANDSCAPE GRADE
31. STPL. SEE LANDSCAPE GRADE
32. RECESSED NICHE WITH STONE OR BRICK FINISH

MATERIALS & COLORS

- A. STUCCO AT WALLS
- B. NOTED FINISH COLOR BY "TOMMY EDWARDS". DESIG: "TRICE BOWK"
- C. STONE VENEER AT WALL/COLUMNS
- D. 1/2" THK. NATURAL STONE VENEER. MARBLE CREME WE OVERDRESS BY SOUTHWEST STONE. SHOWN BRISTONE COMA. INSTALL PER MANUFACTURER'S SPEC. & RECOMMENDATION
- E. ROOF TILE
- F. CLASS 2. TWO PICE MISSION CLAY TILE BY REDLAND CLAY TILE CO. PCC REAR 1488 COLOR CODED "TILI REDDISH BROWN" - ZNCL 2071, 2265
- G. W/1 BRAYTONS. STAINLESS STEEL & BRASS. "TOOZEY VALLEY". SPS. ROOSTER & MORTAR BURN FLUIDS OVER 3 LAYERS OF #8 U.S. FELT PAPER. BRAYTONS TILE WEIGHT NOT TO EXCEED 14 psf.
- H. DOORS & WINDOWS - VINYL ALUMINUM CLAD WINDSCREENDOORS
- I. FRENCH DOORS AND WINDOWS BY PELLA WINDOWS AND DOORS - DESIGNER SERIES B OR EQUAL AS APPROVED BY OWNER. COLOR: BROWN/ONE
- J. CASEMATE BRASS. SEE SECTION FOR ELEVATION
- K. RAFTER TAILS EXPOSED BRASS & WOOD ELEMENTS. SEMI-TRANSPARENT STAIN BY CABOT STAIN. "BRY GRAY"
- L. #6 STAIN GRADE RAFTER TAIL @ 24" MAX O.C. SPACE EVENLY ALONG GABLE FOR UNIFORM APPEARANCE. PROVIDE EXTENDED RAFTER TAIL @ ALL HP & WALLRY CONDITIONS
- M. NOTE: SEE REFLECTED CEILING PLAN FOR LAYOUT DETAIL OF RAFTER TAIL
- N. EXTERIOR SOLID DOORS. COLOR TO MATCH (F)
- O. BRICKS & DECORATIVE WINDSCREEN TO MATCH (D)
- P. EXTERIOR LIGHT FIXTURES
- Q. WINDSCREEN LIGHT FIXTURE AS AVAILABLE THROUGH SP/LIGHTING INC. (800) 488-3527
- R. FINISH TO BE OIL FINISHED DUNE BRICK. GLASS TO BE "TRUSTED" GLASS

FOR MANUFACTURED COMPONENTS CONTACT MANUFACTURER AS SPECIFIED ABOVE.
 REDLAND CLAY TILE
 2000 ANCHORAGE BOULEVARD, SUITE 208
 LA MESA, CA 91941
 PHONE: 619-594-8800
 WWW.REDLANDCLAYTILE.COM

NOTE:
 CONTRACTOR TO PROVIDE 7/8" SHINGLE BOARDS OF ROOF TILE. FINISHED STUCCO, AND STONE WITH BRONZED JOINTS FOR OWNER AND DESIGNER APPROVAL. PRIOR TO BEGINNING EXTERIOR FINISH WORK.



RIGHT-SIDE (SOUTH) ELEVATION



FRONT (WEST) ELEVATION

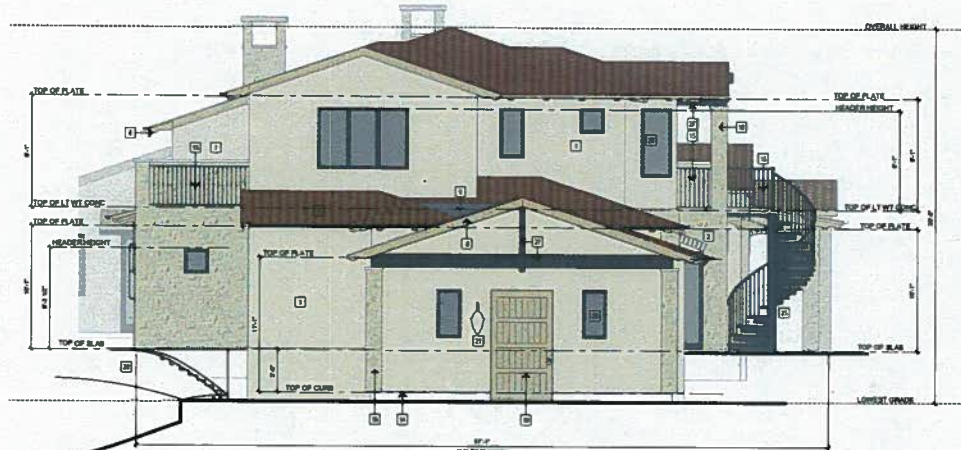
Description:
ELEVATIONS

A6.1
 Scale: 1/4"=1'-0"
 Date: 05/02/2016

Designed by:
Trevor Light

PROJECT
CLEMENS RESIDENCE
 Client:
 MARK & KRISTINA CLEMENS
 6105 LAPWORTH DRIVE
 AGOURA HILLS
 CA 91301

Project Site:
 6105 LAPWORTH DRIVE
 AGOURA HILLS
 CA 91301
 APN: 2055-001-044



LEFT-SIDE (NORTH) ELEVATION

- ELEVATION NOTES**
1. 7/8" THK. SMOOTH STUCCO OVER TWO LAYERS OF GRADE 70 FELT PAPER (TYPICAL). COLOR PER (A)
 2. MATERIAL, STONE VENEER PER MATERIAL SPEC. RE-INSTALLED PER SUPPLIER SPEC. AND DETAILS SEE SECTION NOTES. COLOR PER (A)
 3. CUSTOM SPECIFIED AND APPROVED SPINER. ANGLE/STAIN PER MANUFACTURER SPEC
 4. PREFINISHED ALUMINUM BUTTERS AND CORNERS/PTS. SEE ROOF PLAN. COLOR TO MATCH PAUCA COLOR OVER 2" STAIN GRADE PAUCA. (TYPICAL)
 5. ROOFING GUTTER/FL. PER ROOF PLAN OVER TWO LAYERS OF #16 FELT PAPER. COLOR PER (A)
 6. BUILT-UP CONCRETE (TYPICAL)
 7. AC CONDENSER LOCATIONS: SCREEN WALLS TO BE PROVIDED PER SITE PLAN. #16 STAIN GRADE. RAFTER TAILS AND GABLED END PAUCA BOARD. SEE RELATED DETAIL. ADJUST SPACING AT BEAM AS REQUIRED TO MAINTAIN APPROXIMATELY 2" OF AC SPACING. SPACING TO BE EQUAL AT EACH RUN. SEE REFLECTED CEILING PLAN FOR LAYOUT DETAIL. COLOR PER (A)
 8. TILE FINISH: CABINET
 9. CABLE TV
 10. GAS METER
 11. PRESSURE RELIEF VALVE
 12. MAIN ELECTRICAL PANEL
 13. VIEW: EXTENDED LED STUCCO WEEP SCREED. TYPICAL
 14. DECORATIVE WINDOW/DOOR HEAD GUARD/MANORAL. PER RELATED DETAIL AND AS NOTED ON PLAN. COLOR PER (A)
 15. SOLID SECTIONAL GARAGE DOOR w/ DECORATIVE PANELS. SEE SCHEDULE. COLOR PER (A)
 16. CUSTOM ENTRY DOOR. PER DOOR SCHEDULE. COLOR PER (A)
 17. BUILT-UP COLUMN w/ STONE VENEER. 1/2" SQ. OVERALL. COLOR PER (A)
 18. WOOD DOOR. COLOR PER (A)
 19. FURFRESHMETAL GARAGE SYSTEMS AS REQUIRED BY CODE
 20. LIGHT FIXTURE. COLOR PER (A)
 21. OLD WOOD FLOORING DOOR LINT AS SCHEDULED. COLOR PER (A)
 22. SPLITLIGHT. SEE ROOF PLAN. FINISH TO MATCH (A)
 23. FLAGSTONE WAINSCOT SILL. COLUMN CAP. COLOR TO MATCH (A)
 24. W/ SPRING STAIRCASE. SEE FLOORPLAN. COLOR TO MATCH (A)
 25. DOORS & WINDOWS PER SCHEDULE. MANUFACTURER & COLOR PER (A)
 26. APPROXIMATE FINISHED GRADE
 27. T.S. BEAM PER STRUCT. COLOR TO MATCH (A)
 28. FINISHING WALL PER PLAN. WITH STUCCO FINISH TO MATCH (A)
 29. ISD ISLAND. SEE LANDSCAPE DRWG
 30. STEPS. SEE LANDSCAPE DRWG
 31. STEPS. SEE LANDSCAPE DRWG
 32. RECESSED MOUSE WITH STONE OR BRICK FINISH
- ALTERNATES & COLORS**
- A. STUCCO AT WALLS: MOTTLED FINISH. COLOR BY "DUNN EDWARDS" DEN179 "ICE BOWL"
 - B. STONE VENEER AT WALL/COLUMNS: 1-1/2" THK. NATURAL STONE VENEER - KANSAS CREEK W/ OVERCAST BY SOUTHWEST STONE (WWW.SWSTONE.COM). INSTALL PER MANUFACTURER'S SPEC. & RECOMMENDATION
 - C. ROOF TILE: CLASS III, TWO PIECE MEXICAN CLAY TILE BY REDLAND CLAY TILE CO. ACC. REAR 1489 COLOR/SHADE: "COLOR REGION BLEND" - 2251, 2271, 2285
 - D. W/ RAFTERS: STAKED HPB & PIERCE "CLOSED" VALLEY'S 305. BOOSTED A MOUNTAIN SHIP FLUOR OVER 3 LAYERS OF #16 FELT. SHAGBARK TILE HEIGHT: NOT TO EXCEED 14" w/ DOORS & WINDOWS - BRIDG ALUMINUM CLAD WINDOW/DOORS
 - E. FINISHING DOORS AND WINDOWS BY: PELLA WINDOWS AND DOORS - DESIGNER SERIES OR EQUIV. AS APPROVED BY OWNER. COLOR: BROWN ORE CABINETRY BRAND (OR EQUIV.) PER ELEVATION
 - F. RAFTER TAILS, EXPOSED BEAMS & WOOD ELEMENTS: SEMI-TRANSPARENT STAIN BY CABOT'S "SEY GRAY"
 - G. #16 STAIN GRADE RAFTER TAIL @ 1/2" MAX. O.C. SPACE EVENLY ALONG RAFTERS FOR UNIFORM APPEARANCE. PROVIDE EXTENDED RAFTER TAIL @ ALL HP & VALLEY CONDITIONS
 - H. NOTE: SEE REFLECTED CEILING PLANS FOR LAYOUT DETAIL OF RAFTER TAIL
 - I. EXTERIOR SOLID DOORS. COLOR TO MATCH (A)
 - J. PAUCA & DECORATIVE WINDOW/DOOR. TO MATCH (A)
 - K. EXTERIOR LIGHT FIXTURES
 - L. WALL MOUNT LIGHT FIXTURE AS AVAILABLE THROUGH SP LIGHTING INC. (800) 488-3827. FINISH TO BE OIL RUBBED DARK BRONZE. GLASS TO BE "PROTECTED BEZEL"
- FOR MANUFACTURED COMPONENTS CONTACT MANUFACTURER AS SPECIFIED ABOVE:
 REDLAND CLAY TILE
 1500 APACADO BOULEVARD, SUITE 288
 LA BREA, CA 91031
 PHONE: (818) 354-8820
 WWW.REDLANDCLAYTILE.COM
- NOTE:
 CONTRACTOR TO PROVIDE 2"X2" SAMPLE BOARDS OF ROOF TILE, FINISHED STUCCO, AND STONE WITH GROUNDED JOINTS FOR OWNER AND DESIGNER APPROVAL, PRIOR TO BEGINNING EXTERIOR FINISH WORK.



REAR (EAST) ELEVATION

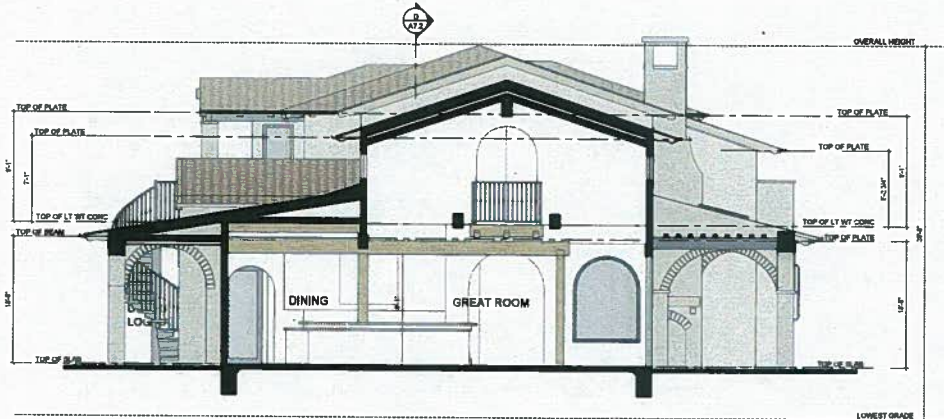
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A6.2
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 Trevor Light

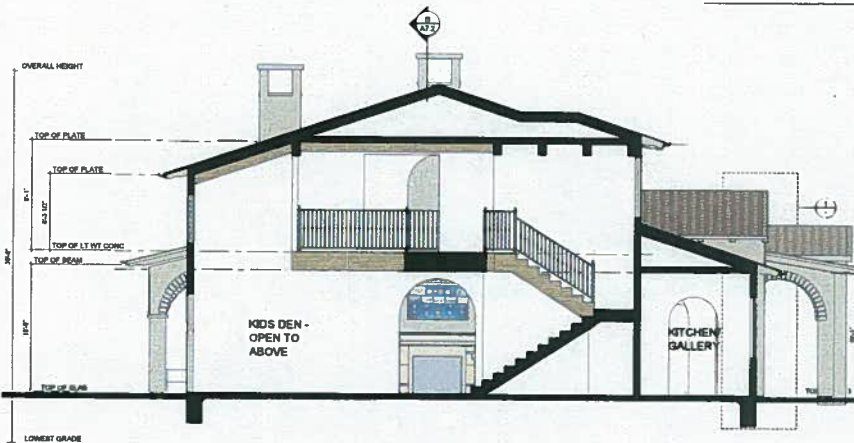
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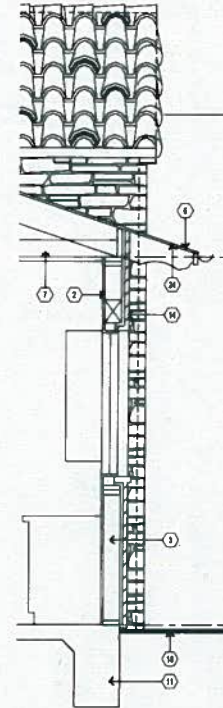


SECTION A



SECTION B

SECTION



WALL SECTION '1'
 SCALE: 3/4"=1'-0"

SECTION NOTES:

- 1 7/8" THK. STUCCO OVER TWO LAYERS OF GRADE T&B FELT PAPER OVER PLYWOOD SHEATHING AND 2X FRAMING PER STRUCT. DRAWINGS, TYPICAL. GYPSUM BOARD PER PLAN, TYPICAL.
- 2 R-19 INSULATION TYP. @ EXTERIOR WALLS AND WHERE INDICATED
- 3 R-30 INSULATION TYP. AT ALL CEILING/ATTIC SPACES
- 4 R-18 INSULATION @ GARAGE C/L, VAULTED CEILING & EXTERIOR FLOOR SYSTEM
- 5 TYPICAL ROOFING MATERIAL OVER UNDERLAYMENT (SEE ROOF PLAN OVER ROOFING) BARRIER PLYWOOD SHEATHING, REF. LIFTED/CHIMED BY LP PRODUCTS (1/8" BUBBLES OR APPROVED EQUAL OVER ROOF FRAMING OR OVERDRAPPING (SEE STRUCT. DRAWINGS) 2x CEILING JOIST PER STRUCT. DRAWINGS
- 6 FURRED DOWN CEILING OR SOFFIT WITH 2X FRAMING, SEE REFLECTED CEILING PLAN
- 7 1 1/2" LIGHT WEIGHT CONCRETE OVER PLYWOOD FLOOR DECK OVER FLOOR FRAMING PER STRUCT.
- 8 GAMBREL/DOMICAL HOUSE WALL & CEILING LID. PURNISH. INSTALL (1) LAYER OF 5/8" GYP. BD. AT WALLS FULL HEIGHT TO CEILING AND AT ENTIRE CEILING. PURNISH. INSTALL (1) LAYERS OF 5/8" TYPE X GYP. BD. AT ENTIRE GARAGE CEILING WHERE LIVING SPACE OCCURS ABOVE. FOUNDATION PER STRUCTURAL DRAWINGS
- 9 GRADE / 1/2" BEAM PER STRUCTURAL.
- 10 FRESH MATERIAL AND/OR CONC. SLAB - COORDINATE W/ LANDSCAPING & OWNER.
- 11 STONE VENEER PER ELEVATION OVER MORTAR SETTING BED. STUCCO BONDING COAT. METAL LATH, WEATHER RESISTIVE BARRIER, PLYWOOD SHEATHING AND 2X FRAMING (SEE STRUCT.)
- 12 DECORATIVE FRAMING PER ELEVATION
- 13 QUADRANT / HANDRAIL - SEE PLAN NOTES FOR ADDITIONAL INFORMATION
- 14 SULT-AP ROOF CRICKET
- 15 APPROPRIATE FINISHED GRADE
- 16 APPROPRIATE EXISTING GRADE
- 17 USEABLE AREA UNDER STAIR
- 18 5/8" (1) LAYER 5/8" GYPSUM BOARD @ ALL WALLS & ENTIRE CEILING LID 5/8" TYPE X GYPSUM BOARD
- 19 MOISTURE RESISTANT GYP. BD. AT WALLS AND CEILING PER CODE
- 20 DECORATIVE BEAMS OR TRIMS PER REFLECTED CEILING PLAN
- 21 1x T&B CEILING PER REFLECTED CEILING PLAN OVER 7/8" TYPE X GYP. BD.
- 22 1x T&B PER REFLECTED CEILING PLAN
- 23 FINISH/INSTALL DELTA-DRAIN GARD BY CORONA-DORICH AT RETAINING WALLS DOWN TO JOURNAL END - 4 COPPER CHANNELS EVERY 16" (SEE REFLECTED CEILING PLAN) COMPARE AT FOOTING/RETAINING WALL ANCHORS PER H-1888 RECOMMENDATIONS AND SPECIFICATIONS INCLUDING GUTTERS (DRAINAGE COMPONENTS AVAILABLE THROUGH SYSTEMS WATERPROOFING SUPPLY, 800-368-7348 OVER 1/2" (1) FINISH IN PLIP GOLD FLUID APPLIED WATERPROOFING AS AVAILABLE THROUGH EPIC SERVICES INC. (702) 582-8237. REMOVE 1/2" (1) COPPER CHANNELS WITH 1/2" (1) SCREWS PRIOR TO FINISH WORK.
- 24 FRESH MATERIAL, OVER FINISH SET AND WATERPROOFING PER PLAN OVER WOOD FRAMING PER STRUCT. DO NOT PENETRATE WATERPROOFING WITH ANY ANCHORS OR OTHER FINISH WORK OR FINISH ACCESSORIES.
- 25 BOYLIGHT PER ROOF PLAN AND WINDOW SCHEDULE

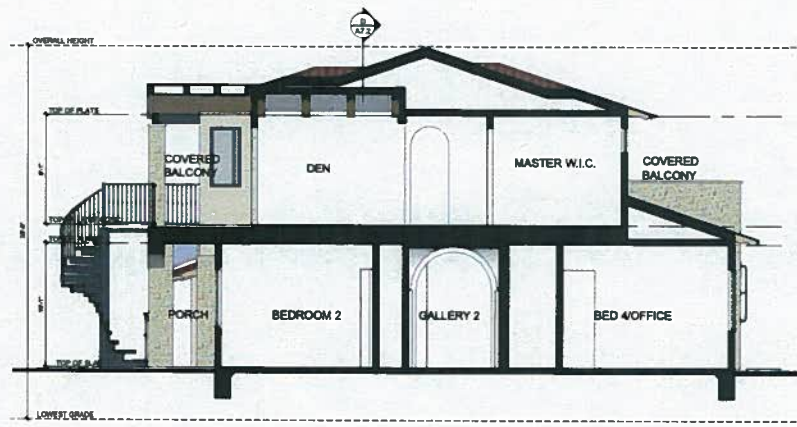
Description:
SECTIONS

A7.1
 Scale: 1/4"=1'-0" U.N.O.
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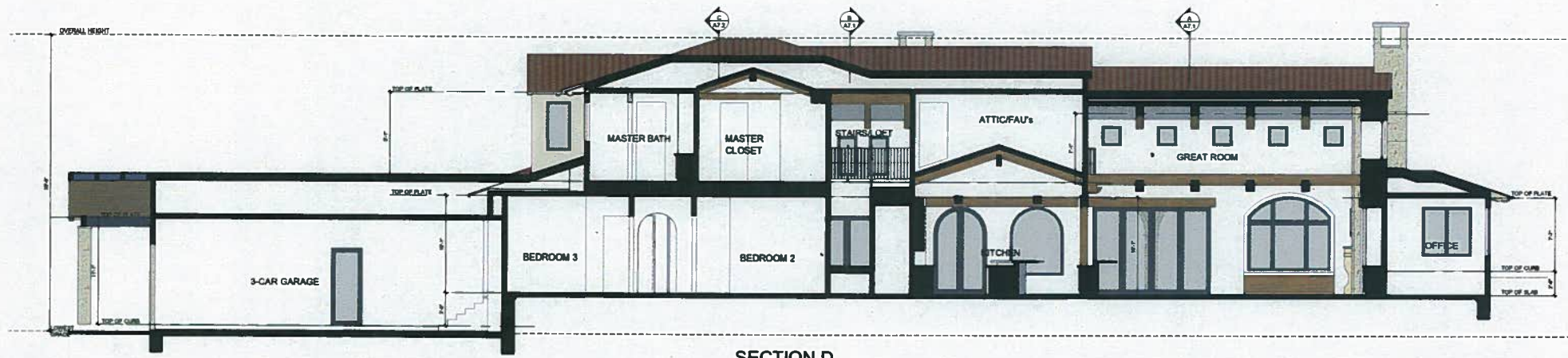
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SECTION C



SECTION D

Description:
SECTIONS

A7.2
 Scale: 1/4"=1'-0"
 Date: 05/02/2016
 Designed by:
 Trevor Light

GRADING NOTES

1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 6 OF THE AGOURA HILLS MUNICIPAL CODE.
2. A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
3. ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
4. ALL GEOLGIC AND SOIL RECOMMENDATIONS ISSUED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
5. ANY CHANGES IN THE WORK HEREIN SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
6. THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
7. REPORTS REQUIRED:
 1. MOUIN GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A MOUIN GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL MOUIN GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 2. FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND RESTORATION ACTIVITIES HAVE BEEN INSTALLED IN COMPLIANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 3. AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE THE DOCUMENTATION OF ALL FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DETAILING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMAINING BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBSURFACES AND FLOW LINE ELEVATIONS, AND LOCATION AND ELEVATIONS OF ALL RETAINING WALL BACKSLOPES AND OUTLETS. GEOLGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLGIC MAP.
 4. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 13%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 5. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
 6. A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
 7. ALL CONSTRUCTION ACTIVITY SHALL BE COMPLETED WITHIN THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

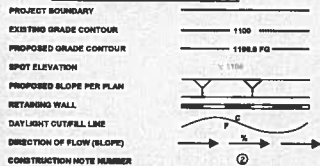
INSPECTION NOTES

- THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.
1. WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN RECLAIMED, BENCHED, OR OTHERWISE PREPARED FOR FILL, FILL SHALL NOT HAVE BEEN PLACED PRIOR TO THIS INSPECTION.
 2. ROUGH, WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED, DRAINAGE TERRACES, SWALES AND BENCHES INSTALLED AT THE TOP OF SLOPE, AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
 3. FINAL: WHEN GRADING HAS BEEN COMPLETED, ALL DRAINAGE DEVICES INSTALLED, SLOPE INSTALLED AND THE RECORD DRAWINGS (AS-BUILT PLANS), REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED.
- ALL REQUIRED REPORTS AND STATEMENTS TO THE BUILDING AND SAFETY DEPARTMENTS SHALL BE PREPARED IN ACCORDANCE WITH SECTIONS 702B AND 702C OF THE BUILDING CODE.

ABBREVIATIONS

- | | |
|-------------------------|------------------------------|
| AC - ASPHALTIC CONCRETE | MP - MAIN POINT |
| BS - BOTTOM OF FOOTING | NS - NORTH |
| CB - CATCH BASIN | NO - NATURAL GROUND |
| CC - CURB FACE | PL - PROPERTY LINE |
| C - CENTERLINE | POS - POINT OF BEGINNING |
| CLF - CHAIN LINK FENCE | RDWH - RETAINING WALL MARKER |
| CL - CLEAN OUT | SBH - SEWER MANHOLE |
| DB - DESIGN BASIN | SB - SANITARY SEWER |
| DL - DAYLIGHT | TS - TOP OF SEWER |
| ED - EDGE OF GUTTER | TO - TOP OF FOOTING |
| EP - EDGE OF PAVEMENT | TO - TOP OF GRADE |
| FP - FINISHED FLOOR | TW - TOP OF WALL |
| FG - FINISHED GRADE | TY - TYPICAL |
| PH - FIRE HYDRANT | WB - WATER METER |
| PL - PLUMBLINE | WV - WATER VALVE |
| FS - FINISH SURFACE | |
| NO TOP - HANDLAP RAMP | |

LEGEND AND SYMBOLS



PUBLIC IMPROVEMENT NOTES

1. AN ENCROACHMENT PERMIT IS REQUIRED OF ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY (ROW), ALL APPLICABLE FEES MUST BE PAID AND SECURED PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL WORK INVOLVING STREET IMPROVEMENTS REQUIRES APPROVAL FROM THE PUBLIC WORKS INSPECTOR. APPLICANTS SHALL ALLOW 48 HOURS ADVANCE NOTICE TO THE DEPARTMENT OF PUBLIC WORKS TO SCHEDULE ALL INSPECTIONS.
2. CONTRACTORS SHALL TELEPHONE UNDERGROUND SERVICE ALERT (USA) 1-888-481-1313 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
3. REQUIREMENTS FOR STREET STRUCTURAL SERVICE TO BE DETERMINED BY SOIL ANALYSES AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF BASE MATERIALS.
4. WATER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LAS VEGAS MUNICIPAL WATER DISTRICT WORKS MANUAL.
5. SEPARATION OF WATER AND WASTEWATER LINES SHALL BE IN ACCORDANCE WITH LAS VEGAS MUNICIPAL WATER DISTRICT.
6. PRIOR TO CONNECTION TO WATER AND WASTEWATER IN THE PUBLIC RIGHT-OF-WAY, APPLICANT SHALL PROVIDE DOCUMENTATION FROM LAS VEGAS MUNICIPAL WATER DISTRICT TO THE CITY STATING THAT ALL CONNECTION FEES HAVE BEEN PAID.
7. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPELINES, CONSULTANTS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS.

OAK TREE NOTES

1. APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (916) 897-7368, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES".
2. FOR OAK TREES EXISTING ON OR OFF-SITE OR IMMEDIATELY ADJACENT (WITHIN 100 FEET OF THE PROJECT BOUNDARIES) THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT PRIOR TO ANY WORK THAT REMOVES AROUND OR THROUGH PROTECTIVE ZONES SHALL BE PROVIDED, AND ALL CLEARING AND GRUBBING OF OBSTACLE MATTERS AND REMOVAL OF BRUSH AND OTHER UNSUITABLE MATERIAL SHALL BE COMPLETED PRIOR TO THE START OF ANY CONSTRUCTION. AFTER THE APPROVAL TO PROCEED WITH THE GRADING WILL BE ISSUED, AFTER NOTIFICATION THAT THIS STAGE HAS BEEN COMPLETED, THE SITE WILL BE INSPECTED BY THE CITY'S OAK TREE ADMINISTRATOR. WHEN APPROVED, THE APPROVAL TO PROCEED WILL BE ISSUED IN WRITING BY THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT.
3. ALL OAK TREE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS TREE ORDINANCE AND OAK TREE PRESERVATION AND PROTECTION GUIDELINES.
4. UNDER NO CIRCUMSTANCES SHALL ANY WORK BE DONE WITHIN THE PROTECTED ZONE OF ANY OAK TREE WITHOUT OBTAINING A TREE ENCROACHMENT PERMIT AND 48 HOURS ADVANCE NOTICE TO THE CITY. FURTHERMORE, NO PROTECTIVE FENCING SHALL BE INSTALLED OR MOVED WITHOUT CITY APPROVAL.

PUBLIC UTILITIES / SERVICES

- WATER: LAS VEGAS MUNICIPAL WATER DISTRICT
4322 LAS VEGAS ROAD
CALABASSA, CA 91302
(818) 898-4119
- ELECTRICAL: SOUTHWEST CALIFORNIA Edison
328 FOOTBALL DRIVE
THOUSAND OAKS, CA 91321
(805) 894-2919
- TELEPHONE: 800 (PAC BELL)
1829 RAYNER STREET, #110
VAN NUYS, CA 91410
(818) 371-8289
- Gas: SOUTHWEST CALIFORNIA Gas
888 GARDALE AVENUE
CHATTERTOWN, CA 91310
(818) 794-3229
- SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1688 S. FREIGHT AVENUE, BLDG. 48 EAST
ALHAMBRA, CA 91803
(951) 398-3380
- CABLE: ADELPHI
2822 TELLES ROAD
MILPITAS, CA 95138
(950) 374-4213
- CABLE: CHARTER COMMUNICATIONS
2800 GARDENERS ROAD
MILPITAS, CA 95035
(951) 486-8910
- CALTRANS: CALTRANS
800 REDENA BOULEVARD
TAYLOR, CA 91780
(909) 265-1429

LEGAL DESCRIPTION

PARCEL 3, PM # 7716
APN #: 2055-001-044

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF FAIRVIEW PLACE AS SHOWN ON THE EXISTING PLAN FOR PARCELS 3, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

BENCHMARK

B.M. NO. Y 11632 MAVD 1988 COUNTY OF LOS ANGELES DATUM
FOUND LAGO BR TAO IN NE CORN DRYWY TO HSE #8131 FAIRVIEW PL. 4.1M W. CO. 4.1M NO. CL. PCD. COORD. ON DR. ELEVATION = 1982.31 FEET (ADJUSTMENT OF 2002)

PREPARED BY: WALLACE E. LAMON & ASSOC.
851 RANCHO ROAD
THOUSAND OAKS, CA. 91362
(805) 734-3559

STORMWATER POLLUTION NOTES

1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE REVIEWED AND STAMPED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) IMPLEMENTATION TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF SOLIDS AND POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
2. A SITE-SPECIFIC "WET-WEATHER EROSION CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.
3. IT IS THE PROPERTY OWNERS RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.
4. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA STREET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND.
5. STOCKPILES ON EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCE OF WIND OR WATER.
6. PAINTS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LABELS AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
7. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO OBTAIN CONTRACT WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
8. TRASH AND CONSTRUCTION-RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RUNOFF WATER AND DISPOSAL BY WIND.
9. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLES TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
10. ANY SLOPES WITH DISTURBED SOIL OR REMOVED VEGETATION MUST BE STABILIZED SO AS TO PREVENT EROSION BY WIND AND WATER.
11. EXCEPT AS OTHERWISE DIRECTED BY THE CITY INSPECTOR, ALL DRAINAGE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE PROBABILITY OF RAIN PROBABILITY IS 5% AND MAINTAINED DURING THE RAINY SEASON (NOVEMBER 1ST THROUGH APRIL 15TH) OF THE SUCCESSIVE YEARS FOR EACH YEAR THE GRADING REMAINS INCOMPLETE. REFER TO SITE-SPECIFIC WET-WEATHER EROSION CONTROL PLAN.
12. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

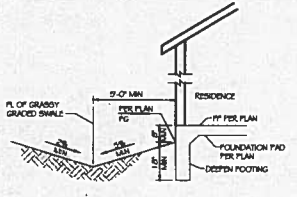
OAK TREE CONSULTANT

JOHN DELINGER
31206 VIA COLMAR BTE, 904
WESTLAKE VILLAGE, CA 91361
REPORT DATE:
CONTACT: JOHN DELINGER
PHONE: (916) 961-8069

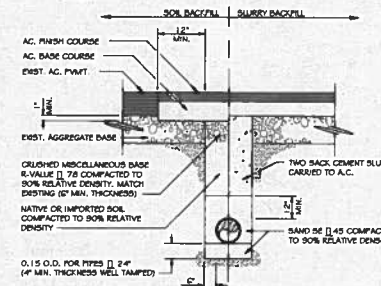


ADDITIONAL NOTES

1. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REQUIREMENTS.
2. AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE DOCUMENTATION OF ALL FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS AS WELL AS A MAP DETAILING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL SLOPES, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBSURFACES AND FLOW LINE ELEVATIONS, AND LOCATION AND ELEVATIONS OF ALL RETAINING WALL BACKSLOPES AND OUTLETS. GEOLGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLGIC MAP.
3. THE EXISTING WELL SHALL BE VERIFIED TO HAVE BEEN AS SHOWN IN ACCORDANCE WITH CITY/STATE STANDARDS AS WELL AS ANY OTHER APPLICABLE JURISDICTION PRIOR TO FILL PLACEMENT OVER THE WELL LOCATION.
4. ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF REINFORCING STEEL.
5. PROVIDE HANDRAILS FOR FIVE STAIRS WITH 4 OR MORE RISERS, PER ARCHITECTURE & LANDSCAPE ARCHITECTURAL DRAWING.
6. CONTRACTOR TO FIELD VERIFY ALL UTILITY CONNECTIONS PRIOR TO CONSTRUCTION.
7. ALL CUT SLOPES SHOULD BE MAPPED DURING GRADING. STABILIZATION MEASURES SHOULD BE APPLIED WHERE FUTURE CUTS EXPOSE ADVERSELY ORIENTED JOINT SURFACES OR INTERSECTIONS OF JOINT SURFACES.
8. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS, AND FOUNDATIONS AND SLAB PLANS SHOULD BE REVIEWED BY THE GEOTECHNICAL CONSULTANT AND REVISED, IF NECESSARY, ACCORDINGLY.
9. ALL RETAINING WALL EXCAVATIONS SHALL BE REVIEWED BY THE PROJECT GEOTECHNICAL CONSULTANT FOR THE PRESENCE OF ADVERSELY ORIENTED JOINT SURFACES. ADVERSE SURFACES SHALL BE EVALUATED AND SUPPORTED IN ACCORDANCE WITH RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEERING GEOLOGIST.



(B) TYPICAL DEEPEN FOOTING DETAIL
N.T.S.



(A) TRENCH DETAIL
N.T.S.

CONTRACTORS NOTE:

THE EARTHWORK QUANTITIES ARE PROVIDED AS A COURTESY AND CONFORMANCE TO THE OWNERS, AND ARE FOR RECORDING AND PLAN CHECK PURPOSES ONLY. THE QUANTITIES SHOWN ARE APPROXIMATE CALCULATED QUANTITIES BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND ELEVATIONS AND DESIRED ROUGH GRADE ELEVATIONS. THE CALCULATIONS MAKE NO PROVISIONS FOR STRIPPINGS, SURFACE, BUILDING OR ANY OTHER CONDITION NOT SHOWN. FOR THIS REASON, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE PROJECT'S SOILS ENGINEER AND GEOLGIC INVESTIGATIONS, AND TO DETERMINE FOR HIMSELF, THE QUANTITIES OF EARTHWORK THAT WILL BE REQUIRED TO COMPLETE THE PROJECT.

1. A.C. BASE COURSE SHALL BE TYPE II B3-AE-4000.
2. FINISH A.C. FINISH COURSE SHALL BE TYPE III C2-AE-4000.
3. COMPACTION TESTING IS REQUIRED FOR ALL NATIVE/IMPORTED SOILS.

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	GRADING PLAN COVER SHEET
2	TOPOGRAPHIC SURVEY & SLOPE ANALYSIS
3	ENLARGED PARTIAL TOPOGRAPHIC SURVEY
4	OVERALL SITE PLAN & SHEET INDEX
5, 6 & 7	ENLARGED GRADING AND DRAINAGE PLAN
8 & 9	CROSS SECTIONS AND DETAILS
10	EROSION CONTROL PLAN COVER SHEET
11	EROSION CONTROL PLAN
12	EROSION CONTROL PLAN ATTACHMENTS

ESTIMATED EARTHWORK QUANTITIES

ESTIMATED CUT:	1,026.07	ESTIMATED EXPORT:	0.07
ESTIMATED FILL:	3,672.07	ESTIMATED IMPORT:	1,702.07
ESTIMATED OVER-EXCAVATION:	0.07		

BENCHMARK:

DESCRIPTION: B.M. NO. Y-11632	ELEVATION: 1982.31	SURVEY DATE: FEB 2015
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RECORD DRAWING STATEMENT

I, _____, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. _____ THROUGH _____, MARKED AS "RECORD DRAWINGS" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

SOILS APPROVAL

REGISTERED CIVIL ENGINEER	DATE	647CA	03-31-16
REGISTERED GEOLOGIST	DATE	REC-NR	EXP-DATE
REGISTERED GEOTECHNICAL ENGINEER	DATE	REC-NR	EXP-DATE

OWNER
NAME: MARK GUMPERT
ADDRESS: 6105 LAPWORTH DRIVE, AGOURA HILLS, CA 91301
REPRESENTATIVE: CHLOE SOY
TELEPHONE: (805) 730-2112

CIVIL ENGINEER
NAME: WALLACE E. LAMON & ASSOC.
ADDRESS: 851 RANCHO ROAD, THOUSAND OAKS, CA 91362
REPRESENTATIVE: JESSICA MASON
TELEPHONE: (805) 734-3559

GEOTECHNICAL ENGINEER
NAME: GOLD COAST GEOTECHNICAL
ADDRESS: 2117 VICTORIA WAY # 8, CARROLLTON, CA 95622
REPRESENTATIVE: SCOTT HOGREY
TELEPHONE: (925) 444-5070

PROJECT LOCATION
VICINITY MAP
NTS

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	68855	080618	EXP DATE

CLEMENS RESIDENCE
6105 LAPWORTH DRIVE
AGOURA HILLS, CA. 91301 SHEET 1 OF 12

PRELIMINARY TITLE REPORT PREPARED BY:

PROGRESSIVE TITLE COMPANY,
425 W. BROADWAY, SUITE 200, CARLSBAD, CALIFORNIA 92008
TITLE OFFICE/ELLA H. GARDNER TEL: (619) 311-4549

ITEMS PER SCHEDULE B EXCEPTIONS OF P.T.R. NO. PRL1582815, DATED 11-24-2015

ITEM NO. FOR PURPOSE IN FAVOR OF RECORDED DATA

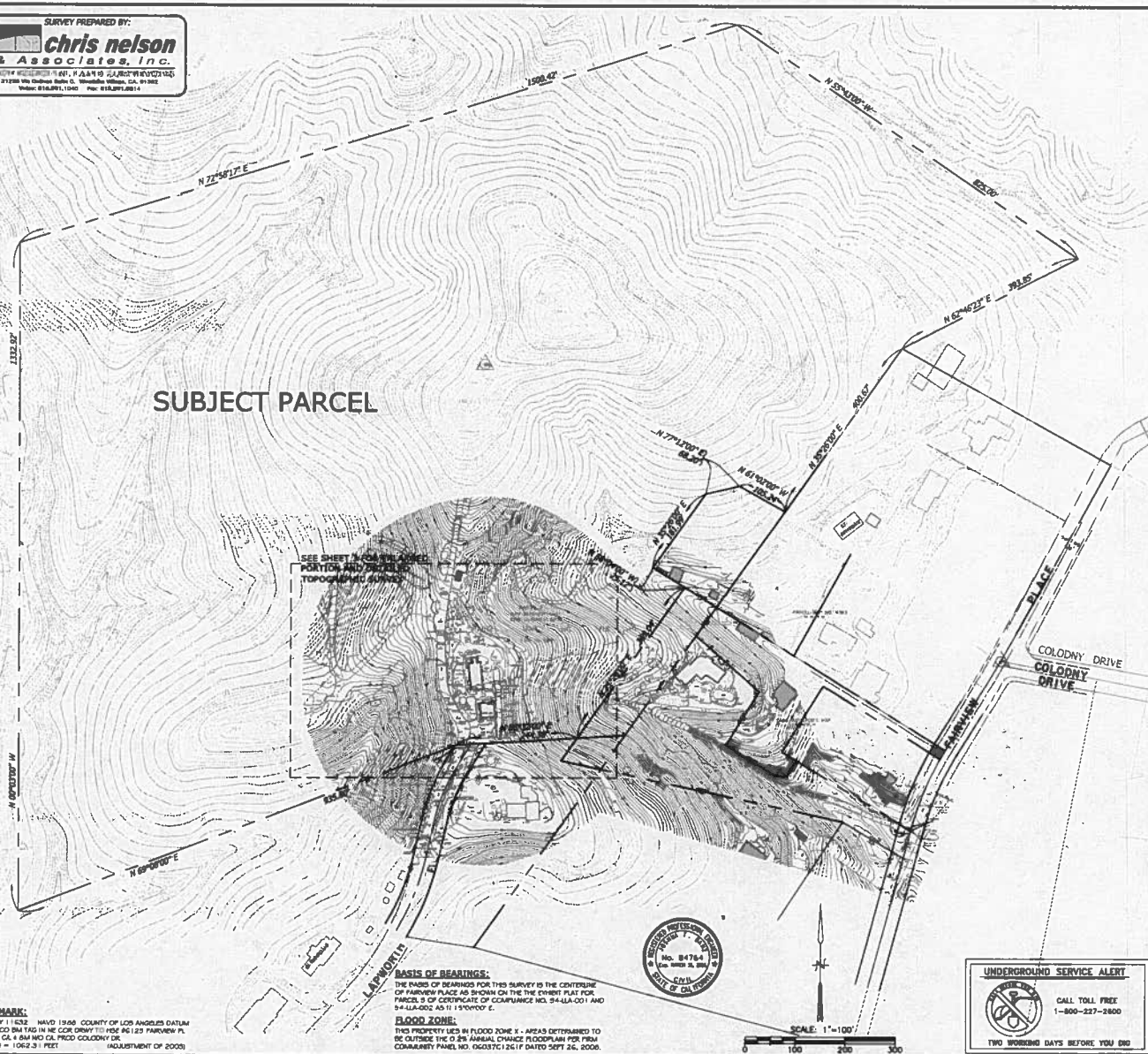
NOTE: THIS CONSIDERATION OF SCHEDULE B EXCEPTIONS ITEMS IN THE P.T.R. IS PREPARED FOR THE CONVENIENCE OF THOSE PERSONS USING THIS SURVEY. FOR FULL DETAILS OF TITLE ITEMS, REFER TO THE COMPLETE REPORT AND TO THOSE DOCUMENTS REFERRED TO THEREIN.

1. TAXES
2. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
3. A PROVISION IN THE DEEDS OF PARTITION IN BOOK NO. 2888 OF THE SUPERIOR COURT OF SAID COUNTY
4. A PROVISION IN SAID DEEDS FORS GENERAL AND VERTICAL RIGHTS OF WAY AND TRAVEL OVER READS FROM FUTURE HEREON AND DELIMITED ON THE PARTITION MAPS
5. EASEMENTS, ERECTIONS AND INCIDENTAL RIGHTS BOOK 4768 PAGE 81 & BOOK 6725 PAGE 77, O.R.
6. EASEMENT FOR INGRESS AND EGRESS AND INCIDENTAL RIGHTS OVER THOSE PORTIONS OF SAID LAND, SHOWN AS PRIVATE STREETS ON SAID RECORD OF SURVEY MAP, BOOK 1900 PAGE 199 O.R.
7. EASEMENT FOR INGRESS AND EGRESS AND INCIDENTAL RIGHTS OVER SAID LAND, SHOWN AS PRIVATE STREETS ON SAID RECORD OF SURVEY MAP, BOOK 35150 PAGE 2, O.R.
8. EASEMENT FOR INGRESS AND EGRESS AND INCIDENTAL RIGHTS OVER SAID LAND, SHOWN AS PRIVATE STREETS ON SAID RECORD OF SURVEY MAP, BOOK 35150 PAGE 2, O.R.
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SURVEY PREPARED BY:

Chris Nelson & Associates, Inc.

17000 W. CENTRAL EXPRESSWAY, SUITE 100, THOUSAND OAKS, CA 91320
TEL: (805) 499-1100 FAX: (805) 499-1101



SUBJECT PARCEL

EASEMENT NOTES

- ITEM 4 DOES NOT AFFECT PLO
- ITEM 5 FALLS WITHIN PRIVATE STREETS OF RS 25-33
- ITEM 6 DOES NOT AFFECT PLO ITEM 7 FALLS WITHIN CHANDLER RD
- ITEM 11 RESERVATION OF EASEMENT, DOES NOT DEFINE LOCATION
- ITEM 13 DOES NOT DEFINE LOCATION OF EASEMENT
- ITEM 14 FALLS WITHIN PARCEL 2 PM 3772 BK 47 PD 54
- ITEM 15 FALLS WITHIN WESTERLY 22' LAPWORTH DR
- ITEM 16 FALLS WITHIN WESTERLY 22' LAPWORTH DR
- ITEM 17 FALLS WITHIN WESTERLY 22' LAPWORTH DR AND NORTHERLY 22' BALDWIN DR
- ITEM 18 FALLS WITHIN WESTERLY 22' LAPWORTH DR
- ITEM 19 FALLS WITHIN WESTERLY 22' LAPWORTH DR
- ITEM 24 FALLS WITHIN PRIVATE STREETS OF RS 25-33
- ITEM 25 DOES NOT RELATE TO PLO
- ITEM 26 AFFECTS LOT 14 OF RS 25-33
- ITEM 27 AFFECTS LOT 14 OF RS 25-33
- ITEM 28 DOES NOT DEFINE LOCATION

SLOPE ANALYSIS

S= 11.4%
L= 3.7' 174.300 X 100
L= 2,120.479
S= 4.1%
L= 3 FOOT (FOOT COUNTER INTERVALS)
L= 174,506 FT LENGTH OF CONTOURS
A= 2,100.479 SQ FT (NET AREA OF PARCEL)
GUP REQUIRED
(NET SYSTEM ONLY)

NET LOT SIZE

NET LOT SIZE= 2,100.479 SQ FT, NET
GROSS LOT SIZE= 2,100.479 SQ FT
TOTAL REZONED AREA TO REMAIN NATURAL= NA

NOTES:

1. THE BOUNDARY SHOWN HEREON IS FROM THE DEEDS PLAT FOR PARCEL 5 OF CERTIFICATE OF COMPLIANCE NO. 94-14-001 AND 94-14-002 RECORDED APRIL 24, 1996. THE POINT THAT WAS USED WOULD BE THE INTERSECTION OF PARCEL 5 TO THE E. OF C. 300 AS THE DESCRIPTION DOES NOT CLOSE MATHEMATICALLY. DIMENSIONS FROM THE DESCRIPTION WHICH DIFFER FROM THE DEEDS PLAT ARE SHOWN IN PARENTHESES.
2. LANDSCAPING AND LANDSCAPE RESTORATION SERVICES MAY COST WITHIN THE PROPERTY AND ARE NOT SHOWN.
3. TREEING CONCEPTS ARE FACTORIAL AND MAY NOT REFLECT TREE DIMENSIONS.
4. IF EXISTING WALLS OR SIMILAR STRUCTURES ARE TO BE DEMOLISHED FROM TOPOGRAPHY SHOWN HEREON, THE ELEVATIONS OF CRITICAL POINTS DETERMINING THE DESIGN MUST BE REFERRED TO ADOPTION OF FINAL DESIGN.

LEGAL DESCRIPTION:

PARCEL 3 OF PARCEL MAP 7716, BOOK 106, PAGES 53 TO 56, APRIL 2005-001-044

THOSE PORTIONS OF PARCELS 16 AND 18, IN CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON THE LAND SURVEYORS MAP FILED IN BOOK 23, PAGE 33 OF RECORDS OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THAT PORTION OF PARCEL 3 OF PARCEL MAP NO. 7716, AS SHOWN ON THE MAP RECORDED IN PARCEL MAP BOOK 106, PAGES 53 TO 56, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERLY CORNER OF PARCEL 1 OF PARCEL MAP NO. 8511, AS SHOWN ON THE MAP RECORDED IN PARCEL MAP BOOK 96, PAGES 22 AND 23, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SAID NORTHERLY CORNER ALSO BEING THE SOUTHWESTERLY CORNER OF SAID PARCEL 16, THENCE ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL 16 SOUTH 15° 02' 00" EAST 25.00 FEET TO AN ANGLE POINT THEREON AND THE TRUE POINT OF BEGINNING OF THE LAND DESCRIBED IN THE DEED TO CHARLES LAPWORTH AND WIFE, RECORDED IN BOOK 3902, PAGE 65, OFFICIAL RECORDS, SAID POINT ALSO BEING THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTWARD HAVING A RADIUS OF 519.60 FEET, A LINE PARALLEL THEREON BEARS S 04° 53' 03" WEST 1.00 FEET TO A POINT, THENCE IN A NORTHERLY DIRECTION ALONG SAID NON-TANGENT CURVE, AND WESTERLY LINE OF SAID LAND OF LAPWORTH, THROUGH THE CENTERLINE OF A 10" DIA. OF AN ARC LENGTH OF 1.624 FEET TO ITS NORTHERLY TERMINUS, THENCE CONTINUING ALONG THE WESTERLY LINE OF SAID LAND OF LAPWORTH, TANGENT TO SAID CURVE, NORTH 1° 30' 00" EAST 40.00 FEET TO THE NORTHWESTERLY CORNER OF THE LAND DESCRIBED IN SAID DEED TO LAPWORTHS, THENCE ALONG THE NORTHERLY PROLONGATION OF LAST SAID COURSE NORTH 12° 53' 00" EAST 35.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTWARD HAVING A RADIUS OF 106.10 FEET, THENCE ALONG LAST SAID CURVE THROUGH A CENTRAL ANGLE OF 181° 40' 00" OF AN ARC LENGTH OF 100.00 FEET TO ITS NORTHERLY TERMINUS, THENCE TANGENT TO SAID CURVE NORTH 84° 03' 00" EAST 64.00 FEET TO A POINT, THENCE NORTH AND 2.00 FEET EAST 44.50 FEET TO THE NORTHWESTERLY PROLONGATION OF THE NORTHEASTERLY LINE OF SAID LAND OF LAPWORTH DESCRIBED IN SAID DEED AS HAVING A BEARING OF SOUTH 7° 04' 00" EAST, THENCE ALONG LAST SAID PROLONGATION NORTH 77° 54' 00" EAST 128.63 FEET TO ITS INTERSECTION WITH THE NORTHWESTERLY PROLONGATION OF A LINE THAT BEARS S 04° 53' 03" WEST 1.00 FEET NORTHWESTERLY OF AND PARALLEL TO THAT CERTAIN COURSE IN THE SOUTHEASTERLY LINE OF PARCEL 3 SHOWN ON SAID PARCEL MAP 7716 HAVING A BEARING OF NORTH 35° 41' 00" EAST, THENCE ALONG LAST SAID PROLONGATION AND PARALLEL LINE NORTH 35° 26' 00" EAST 424.34 FEET TO ITS INTERSECTION WITH THE NORTHEASTERLY PROLONGATION OF THE SOUTHWESTERLY LINE OF PARCEL 4 OF PARCEL MAP 8511, AS SHOWN ON THE MAP RECORDED IN PARCEL MAP BOOK 50, PAGE 83, OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, THENCE ALONG LAST SAID PROLONGATION NORTH 50° 00' WEST 75.14 FEET TO ITS INTERSECTION WITH A LINE THAT BEARS S 04° 53' 03" WEST 1.00 FEET NORTHWESTERLY OF AND PARALLEL TO SAID SOUTHWESTERLY LINE OF PARCEL 3, THENCE ALONG LAST SAID PARALLEL LINE NORTH 35° 26' 00" EAST 162.00 FEET TO A POINT, THENCE ALONG LAST SAID PARALLEL LINE NORTH 77° 12' 00" EAST 64.00 FEET TO THE NORTHWESTERLY PROLONGATION OF THE NORTHEASTERLY LINE OF SAID PARCEL 4, THENCE ALONG LAST SAID PROLONGATION LINE SOUTH 61° 02' 00" EAST 105.24 FEET TO A POINT IN SAID SOUTHWESTERLY LINE OF PARCEL 3, LOCATED AT THE NORTHERLY CORNER OF SAID PARCEL 4, THENCE ALONG SAID SOUTHWESTERLY LINE OF PARCEL 3 NORTH 35° 26' 00" EAST 400.63 FEET TO AN ANGLE POINT THEREON AND NORTHERLY CORNER OF PARCEL 19 AS SHOWN ON SAID LAND SURVEYORS MAP, THENCE CONTINUING ALONG THE VARIOUS COURSES OF PARCEL 19 AS SHOWN ON SAID PARCEL MAP, AS FOLLOWS:

NORTH 62° 40' 25" EAST 323.75 FEET, NORTH 55° 43' 00" WEST 450.00 FEET, SOUTH 77° 50' WEST 1500.42 FEET AND SOUTH 00° 00' EAST 1532.82 FEET TO THE NORTHERLY CORNER OF PARCEL 3 OF PARCEL MAP NO. 10341, AS SHOWN ON THE MAP RECORDED IN PARCEL MAP BOOK 134, PAGES 59 AND 60 OF PARCEL MAPS, OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND SOUTHWESTERLY CORNER OF PARCEL 3 OF SAID PARCEL MAP NO. 7716, THENCE ALONG THE NORTHEASTERLY LINE OF PARCEL 3 OF SAID PARCEL MAP 10341 NORTHERLY 201.11 FEET TO THE NORTHERLY CORNER OF PARCEL 3 OF SAID PARCEL MAP NO. 10941, THENCE ALONG THE NORTHEASTERLY LINE OF LAST SAID PARCEL 3 AND THEN THE NORTHEASTERLY LINE OF PARCEL 4 OF SAID PARCEL MAP NO. 10941, SOUTH 62° 00' EAST 80.00 FEET TO A POINT THEREON, DISTANT 215.00 FEET FROM THE EASTERLY CORNER OF LAST SAID PARCEL 4, THENCE ALONG LAST SAID NORTHEASTERLY LINE NORTH 27° 21' 01" EAST 61.00 FEET TO A POINT, THENCE NORTH 61° 02' 00" EAST 21.00 FEET TO A POINT, THENCE S 04° 53' 03" WEST 1.00 FEET TO THE NORTHERLY CORNER OF SAID PARCEL 4, AND THE POINT OF BEGINNING OF THIS DESCRIPTION.

SAID LAND IS SHOWN AS PARCEL 2 ON CERTIFICATE OF COMPLIANCE RECORDED APRIL 24, 1996 AS INSTRUMENT NO. 96-04466-1, OFFICIAL RECORDS.

PREPARED BY: RANJANA F. WANKO & ASSOC., 8511 RANCHO ROAD, THOUSAND OAKS, CA 91362 (805) 754-3559

BENCHMARK: B.M. NO. 711632 HAVD 1988 COUNTY OF LOS ANGELES DATUM POLAND LAGOON T&E IN NE COR CORNER TO HSE NO 23 PARRAVEN PL. 4.3M AND 6.4M HO CAL POND COLONY DR. ELEVATION = 1062.31 FEET (ADJUSTMENT OF 2005)

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	NAME/NO. ADEVA III CITY ENGINEER	DATE	88895 TRCE NO.	08/30/18 EXP DATE

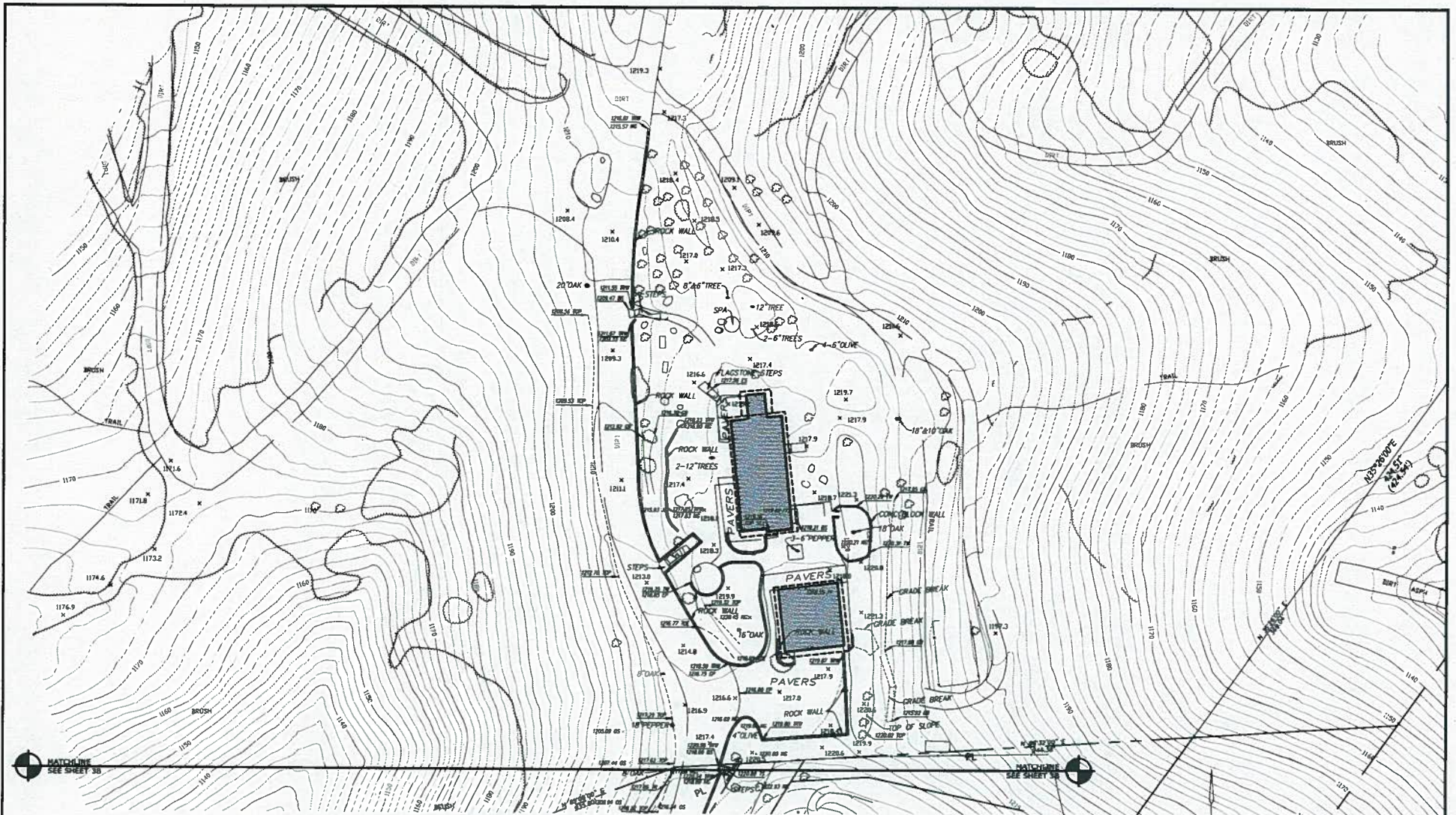
CITY OF AGOURA HILLS APPROVAL

TOPOGRAPHIC SURVEY & SLOPE ANALYSIS
CLEMENS RESIDENCE
6105 LAPWORTH DRIVE
AGOURA HILLS, CA. 91301 SHEET 2 OF 12

UNDERGROUND SERVICE ALERT
CALL TOLL FREE 1-800-227-2800
TWO BUSINESS DAYS BEFORE YOU DIG

AGOURA HILLS

CITY OF AGOURA HILLS HDG. NO.



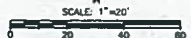
SURVEY PREPARED BY:

Chris Nelson & Associates, Inc.
 FIELD OFFICE: 3030 W. 14TH STREET, SUITE 100, THOUSAND OAKS, CA 91320
 PHONE: (818) 261-1100 FAX: (818) 261-1101

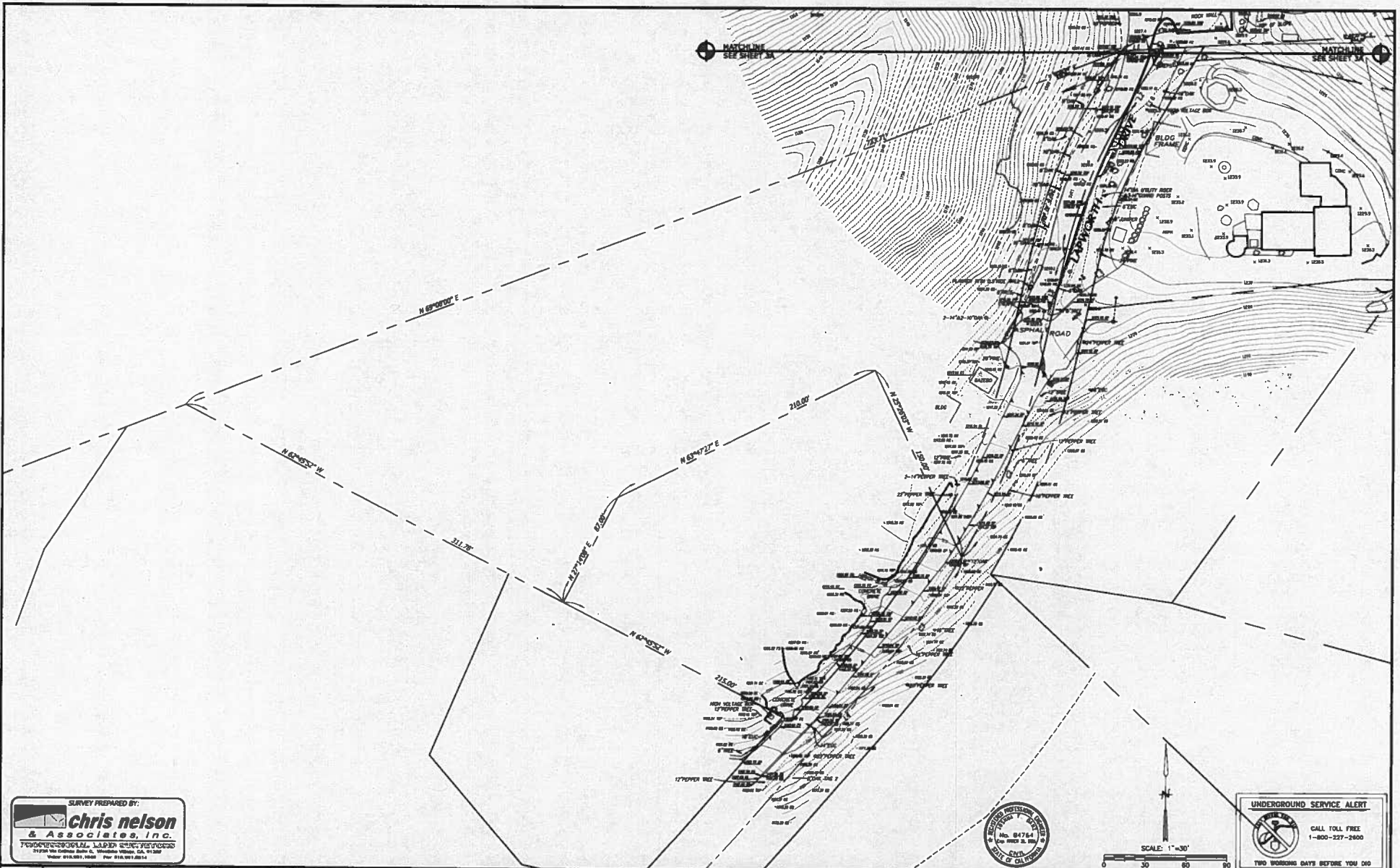


UNDERGROUND SERVICE ALERT

 CALL TOLL FREE
 1-800-237-2600
 TWO WORKING DAYS BEFORE YOU DIG

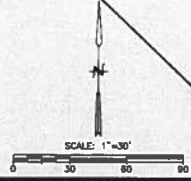


REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY OF AGOURA HILLS APPROVAL	DATE	08895 FEED NO.	09/30/16 EXP DATE	AGOURA HILLS	ENLARGED PARTIAL TOPOGRAPHIC SURVEY CLEMENS RESIDENCE 6105 LAPWORTH DRIVE AGOURA HILLS, CA. 91301 SHEET 3A OF 12
					WILLIAMS, MASON & ASSOC. 851 RANCHO ROAD THOUSAND OAKS, CA 91322 (805) 794-3559									



SURVEY PREPARED BY:

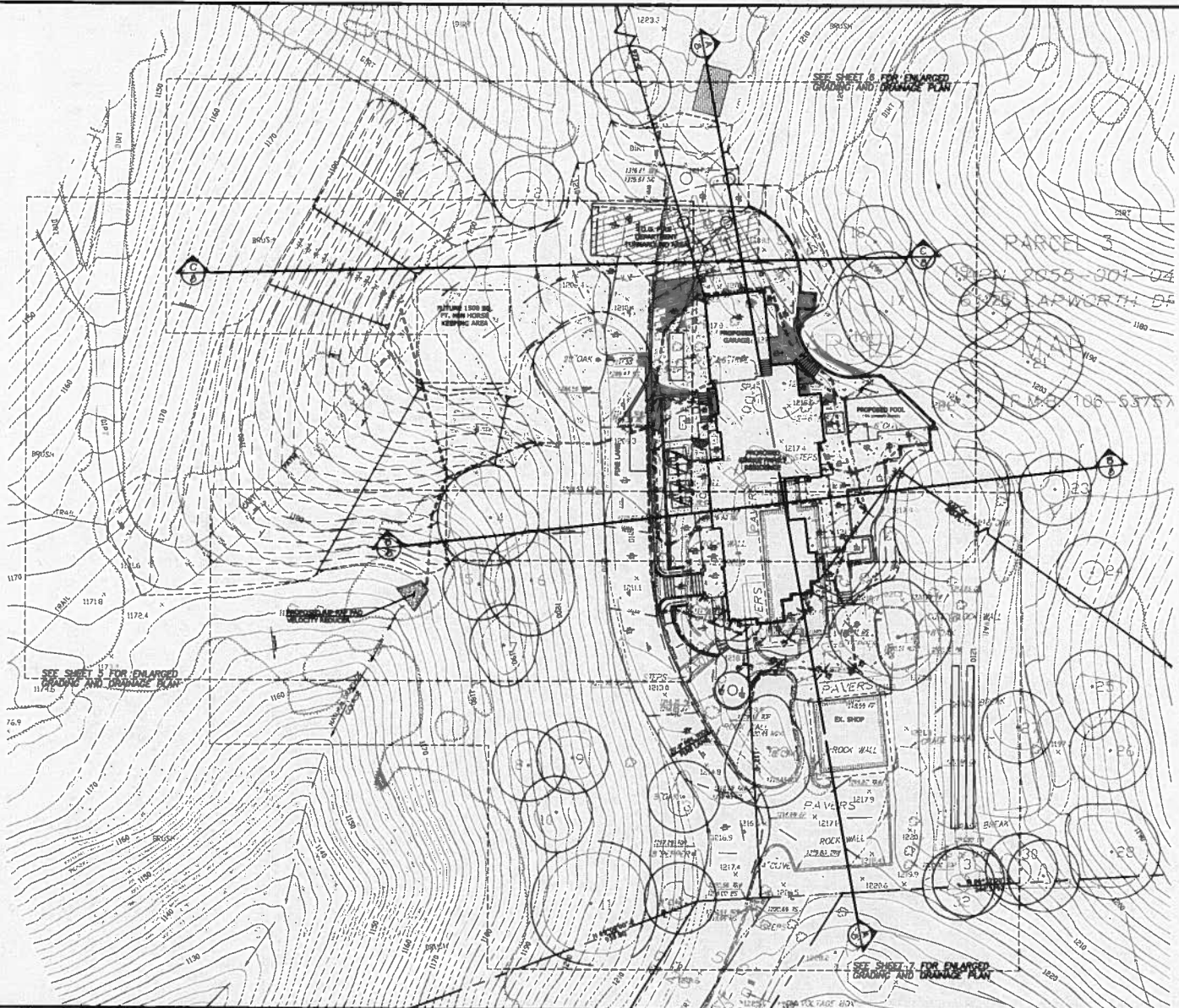
Chris Nelson & Associates, Inc.
 21720 160th Street, Suite C, Westminster, CA 91391
 Telephone: 916.833.1888 Fax: 916.833.2814



UNDERGROUND SERVICE ALERT

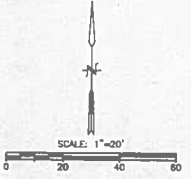
 CALL TOLL FREE
 1-800-227-2800
 TWO WORKING DAYS BEFORE YOU DIG

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMERO ADEVA IS CITY ENGINEER	DATE	68885	08/30/18	AGOURA HILLS	ENLARGED PARTIAL TOPOGRAPHIC SURVEY CLEMENS RESIDENCE 6105 LAPWORTH DRIVE AGOURA HILLS, CA. 91301 SHEET 30 OF 12



NOTE TO CONTRACTOR

CONTRACTOR TO VERIFY THE LOCATIONS OF ALL EXISTING STRUCTURES, UTILITIES, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.



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TWO WORKING DAYS BEFORE YOU DIG



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY:
WALLACE C. MASON & ASSOC.
651 RANCHO ROAD
THOUSAND OAKS, CA. 91362
(805) 794-3959

CITY OF AGOURA HILLS APPROVAL

PROJECT ENGINEER _____ DATE _____

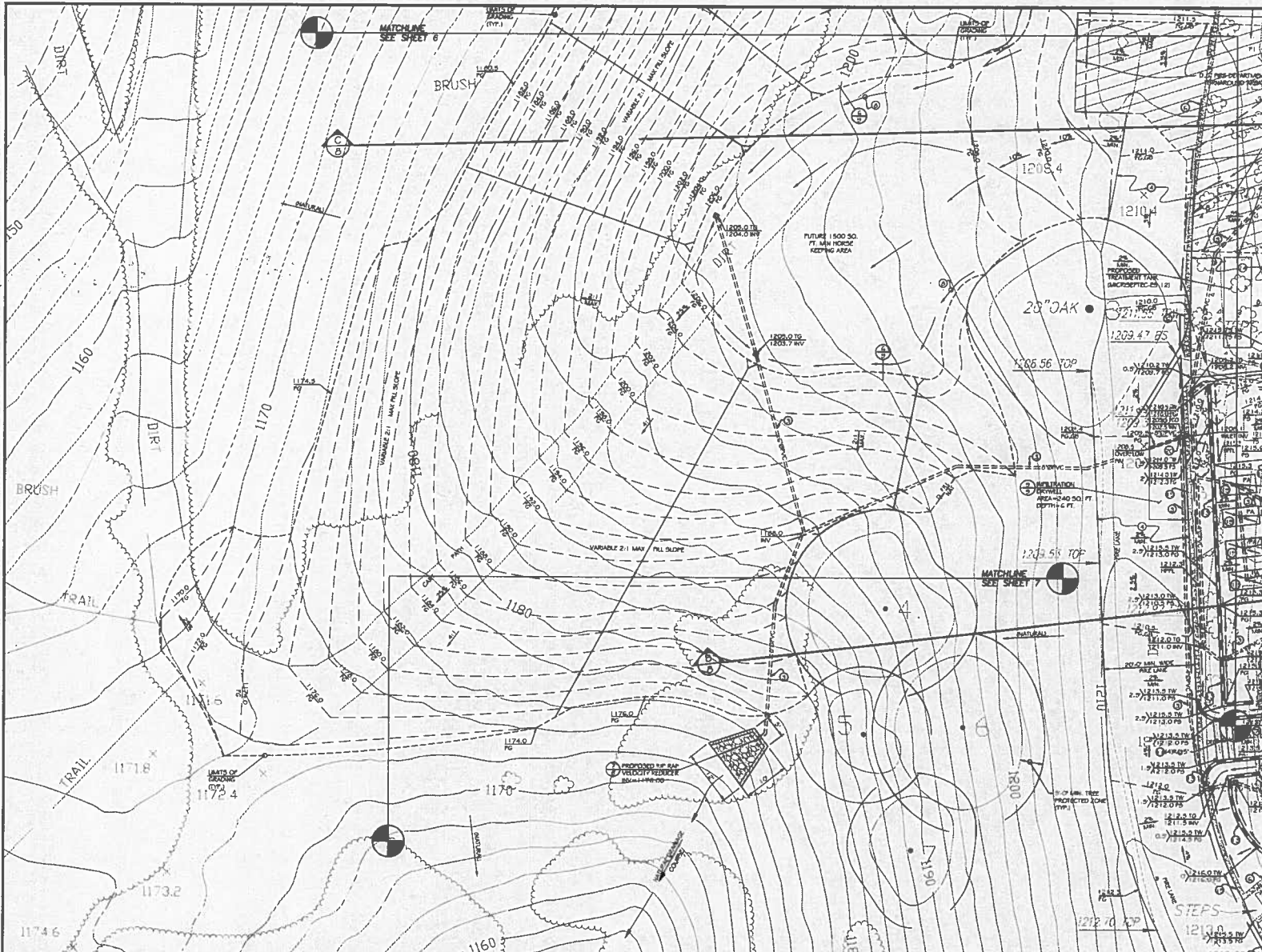
REVIEWED BY _____ DATE _____

RAMERO ADEVA III
CITY ENGINEER

6895
RCE NO. 09/01/16
EXP DATE



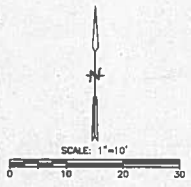
OVERALL SITE PLAN/SHEET INDEX
CLEMENS RESIDENCE
6105 LAPWORTH DRIVE
AGOURA HILLS, CA. 91301 SHEET 4 OF 12



- LEGEND**
- CL CENTER LINE
 - CLNOUT CLEANOUT
 - DG DECOMPOSED GRANITE
 - DL DAYLIGHT LINE
 - DN DOWN
 - DS DOWNSPOUT
 - FF FINISH FLOOR
 - FG FINISH GRADE
 - FL FLOW LINE
 - FS FINISH SURFACE
 - FP HIGH POINT
 - INV INVERT
 - PA PLANTER AREA
 - PL PROPERTY LINE
 - NG NATURAL GRADE
 - TC TOP OF CURB
 - TD TOP OF DECK
 - TG TOP OF GRATE
 - TW TOP OF WALL
- UNLESS NOTED OTHERWISE
- RETAINING WALL PER SEPARATE PERMIT
 - BLOCK WALL PER SEPARATE PERMIT
 - CONTRACTOR TO VERIFY HARD SURFACE THICKNESS PER ARCHITECTURAL SPECIFICATIONS AND DETAILS TO DETERMINE ROUGH GRADE ELEVATIONS.
 - 1/2\"/>

- CONSTRUCTION NOTES**
1. CONSTRUCT STRUCTURAL SLAB FOOTINGS THICKNESS OF BASE AND REINFORCING PER STRUCTURAL DRAWING AND PER SOILS ENGINEER RECOMMENDATIONS.
 2. OVER EXCAVATE ENTIRE BUILDING AND POOL SHELL AREA PLUS 3\"/>

NOTE TO CONTRACTOR
 CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.



UNDERGROUND SERVICE ALERT

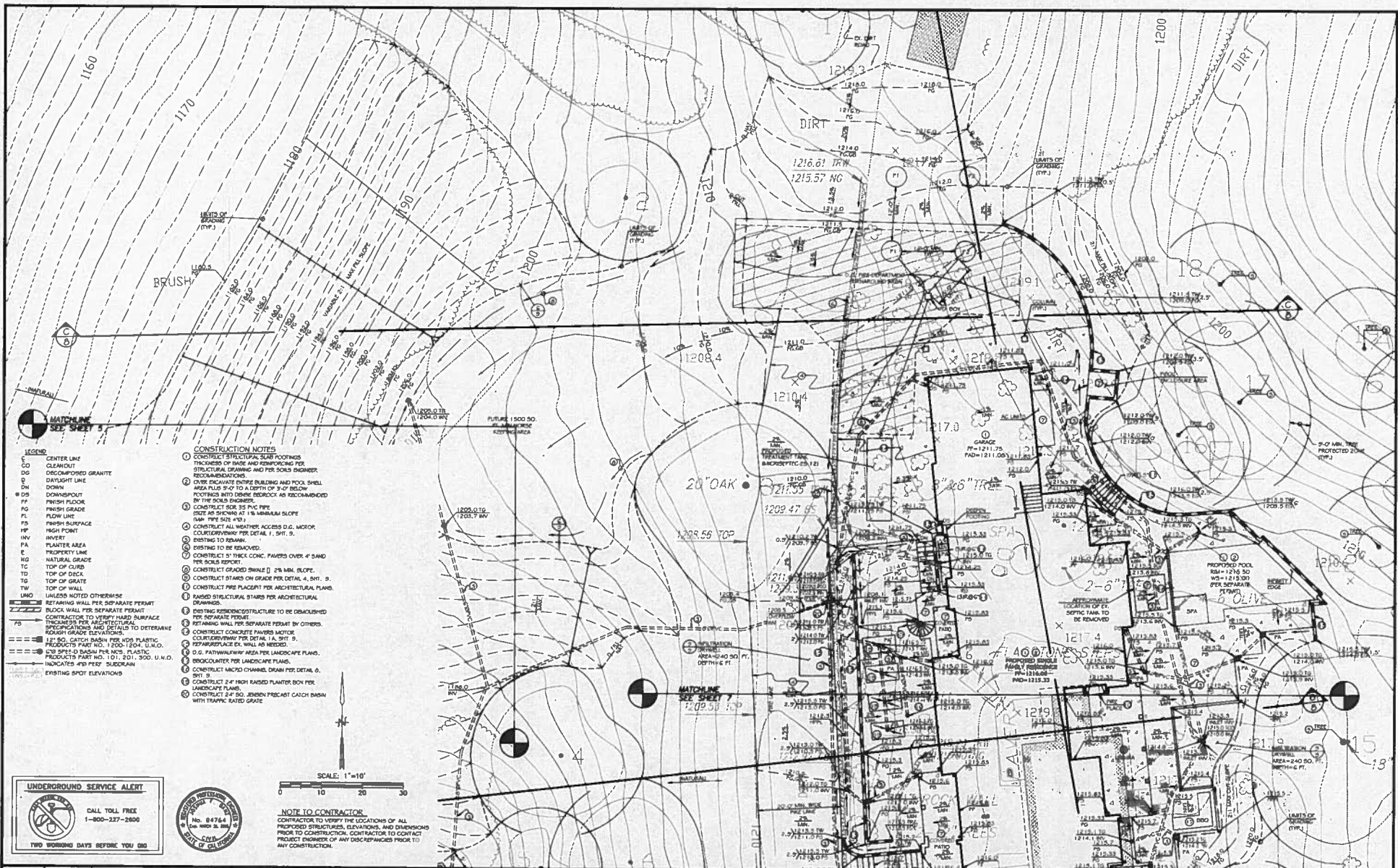
CALL TOLL FREE
 1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMERO ADEVA III CITY ENGINEER	DATE	6896	08/03/16	EXP. DATE

ENLARGED GRADING AND DRAINAGE PLAN
CLEMENS RESIDENCE
6105 LAPWORTH DRIVE
AGOURA HILLS, CA. 91301 SHEET 5 OF 12



- LEGEND**
- CL CENTER LINE
 - CO CLEANOUT
 - CG DISCOMBURED GRANITE
 - DL DAYLIGHT LINE
 - DN DOWN
 - DS DOWNSPOUT
 - FF FINISH FLOOR
 - FG FINISH GRADE
 - FL FLOW LINE
 - FS FINISH SURFACE
 - FP HIGH POINT
 - HF INVERT
 - PA PLANTER AREA
 - PL PROPERTY LINE
 - NG NATURAL GRADE
 - TC TOP OF CURB
 - TD TOP OF DRAIN
 - TG TOP OF GRATE
 - TH TOP OF HALL
 - UW UNLESS NOTED OTHERWISE
 - RETAINING WALL PER SEPARATE PERMIT
 - BRICK WALL PER SEPARATE PERMIT
 - CONTRACTOR TO VERIFY HARD SURFACE SPECIFICATIONS AND DETAILS TO DETERMINE PROPOSED GRADE ELEVATIONS.
 - 12" SO. CATCH BASIN PER IWS PLASTIC PRODUCTS PART NO. 1200-1204, U.I.C.O.
 - 18" SPES-D BASIN PER IWS PLASTIC PRODUCTS PART NO. 1011-1011, 3000, U.I.C.O.
 - INDICATES 40 PEEZ SUBDRAIN
 - EXISTING SPOT ELEVATIONS

- CONSTRUCTION NOTES**
1. CONSTRUCT STRUCTURAL SUB FOOTINGS THICKNESS OF BASE AND REINFORCING PER STRUCTURAL DRAWING AND PER SOILS ENGINEER RECOMMENDATIONS.
 2. ONCE GRAVATE ENTIRE BUILDING AND POOL SHELL AREA PLUS 3'-0" TO A DEPTH OF 3'-0" BELOW FOOTINGS INTO CONCRETE BEDROCK AS RECOMMENDED BY THE SOILS ENGINEER.
 3. CONSTRUCT 3/8" PVC PIPE (SIZE AS SHOWN) AT 1% MINIMUM SLOPE TOWARD THE SEE 100).
 4. CONSTRUCT ALL WEATHER ACCESS D.C. MOTOR COURT/DRIVEWAY PER DETAIL 1, SHT. 9.
 5. EXISTING TO REMAIN.
 6. EXISTING TO BE REMOVED.
 7. CONSTRUCT 5" THICK CONC. PAVEMENT OVER 4" SAND PER SOILS REPORT.
 8. CONSTRUCT GRADED SWALE @ 2% MIN. SLOPE.
 9. CONSTRUCT STAIRS ON GRADE PER DETAIL 4, SHT. 9.
 10. CONSTRUCT FEEE PLACENT PER ARCHITECTURAL PLANS.
 11. RANDED STRUCTURAL STAIRS PER ARCHITECTURAL DRAWINGS.
 12. EXISTING REINFORCING STRUCTURE TO BE DEMOLISHED PER SEPARATE PERMIT.
 13. RETAINING WALL PER SEPARATE PERMIT BY OTHERS.
 14. CONSTRUCT CONCRETE PAVED MOTOR COURT/DRIVEWAY PER DETAIL 1, SHT. 9.
 15. REPAIR/REPLACE EX. WALL AS NOTED.
 16. D.O.G. PATHWAYWAY AREA PER LANDSCAPE PLANS.
 17. BROOK/CLATER PER LANDSCAPE PLANS.
 18. CONSTRUCT 24" HOH RANDED PLANTER BOX PER LANDSCAPE PLANS.
 19. CONSTRUCT 24" SO. JERSON PRECAST CATCH BASIN WITH TRAMPING RANDED GRADE.

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1-800-337-2800

TWO WORKING DAYS BEFORE YOU DIG

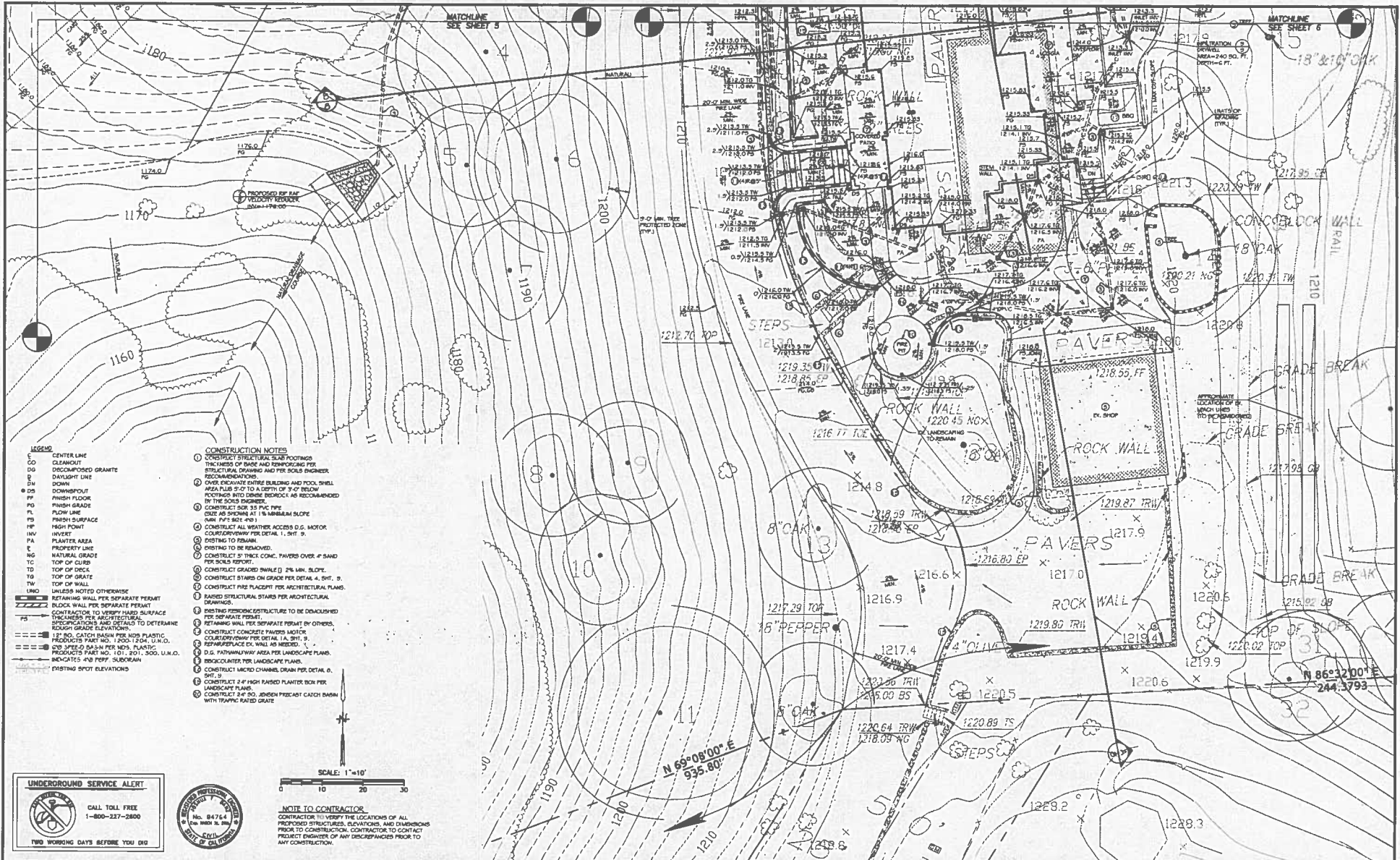
NOTE TO CONTRACTOR

CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

SCALE: 1"=10'

N

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMERO ADEVA III CITY ENGINEER	DATE	6885 RDE NO.	08/02/16 EXP DATE	AGOURA HILLS	ENLARGED GRADING AND DRAINAGE PLAN CLEMENS RESIDENCE 6105 LAPWORTH DRIVE AGOURA HILLS, CA. 91301	SHEET 6 OF 12
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- LEGEND**
- CL CENTER LINE
 - CO CLEANOUT
 - DC DISCOMPOSED GRANITE
 - DL DAYLIGHT LINE
 - DN DOWNSPOUT
 - FF FINISH FLOOR
 - FG FINISH GRADE
 - FL FLOW LINE
 - FS FINISH SURFACE
 - FP FINISH POINT
 - INV INVERT
 - PA PLASTER AREA
 - PL PROPERTY LINE
 - NG NATURAL GRADE
 - TC TOP OF CURB
 - TD TOP OF DECK
 - TG TOP OF GRADE
 - TW TOP OF WALL
 - UNO UNLESS NOTED OTHERWISE
 - RETAINING WALL PER SEPARATE PERMIT
 - BLOCK WALL PER SEPARATE PERMIT
 - CONTRACTOR TO VERIFY HARD SURFACE THICKNESS PER ARCHITECTURAL SPECIFICATIONS AND DETAILS TO DETERMINE APPROPRIATE AND OPTIMAL ROUGH GRADE ELEVATIONS.
 - 12" SD. CATCH BASIN PER MOD. PLASTIC PRODUCTS PART NO. 1202-1204, U.N.O.
 - 24" S.P.E.D. BASIN PER MOD. PLASTIC PRODUCTS PART NO. 101-201, 200, U.N.O.
 - INDICATES 4" SD. SUBDRAIN
 - EXISTING SPOT ELEVATIONS

- CONSTRUCTION NOTES**
1. VERIFY STREET ELEVATIONS THICKNESS OF BASE AND REINFORCING PER STRUCTURAL DRAWING AND PER SOILS ENGINEER RECOMMENDATIONS.
 2. OVER EXCAVATE ENTIRE BUILDING AND POOL SHALL AREA PLUS 2'-0" TO A DEPTH OF 3'-0" BELOW FOOTINGS AND CONCRETE RECOMMENDED BY THE SOILS ENGINEER.
 3. CONSTRUCT 30" PVC PIPE (24" SD) MINIMUM AT 1% MINIMUM SLOPE (MIN. 1/2" SFT. 10').
 4. CONSTRUCT ALL WEATHER ACCESS D.G. MOTOR COURSE/DRIVEWAY PER DETAIL 1, SHT. 9.
 5. EXISTING TO REMAIN.
 6. EXISTING TO BE REMOVED.
 7. CONSTRUCT 3" THICK CONC. PAVERS OVER 4" SAND PER SOILS REPORT.
 8. CONSTRUCT GRADED SWALE @ 2% MIN. SLOPE.
 9. CONSTRUCT STAIRS ON GRADE PER DETAIL 4, SHT. 9.
 10. CONSTRUCT FIRE PLACENT PER ARCHITECTURAL PLANS.
 11. BARRIED STRUCTURAL STAIRS PER ARCHITECTURAL DRAWINGS.
 12. EXISTING PERFORM STRUCTURE TO BE DEMOLISHED PER SEPARATE PERMIT.
 13. RETAINING WALL PER SEPARATE PERMIT BY OTHERS.
 14. CONSTRUCT CONCRETE PAVERS MOTOR COURSE/DRIVEWAY PER DETAIL 1A, SHT. 9.
 15. REINFORCE EX. WALL AS NEEDED.
 16. D.G. PATHWAY/DRIVEWAY AREA FOR LANDSCAPE PLANS.
 17. BRICK/COUNTER PER LANDSCAPE PLANS.
 18. CONSTRUCT MICRO CHANNEL DRAIN PER DETAIL D, SHT. 9.
 19. CONSTRUCT 2" IF HIGH RAINED PLASTER BOX PER LANDSCAPE PLANS.
 20. CONSTRUCT 24" SD. JERSON PRECAST CATCH BASIN WITH TRAPPING RATED GRATE.

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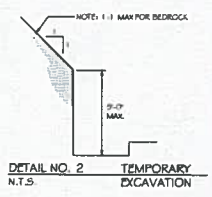
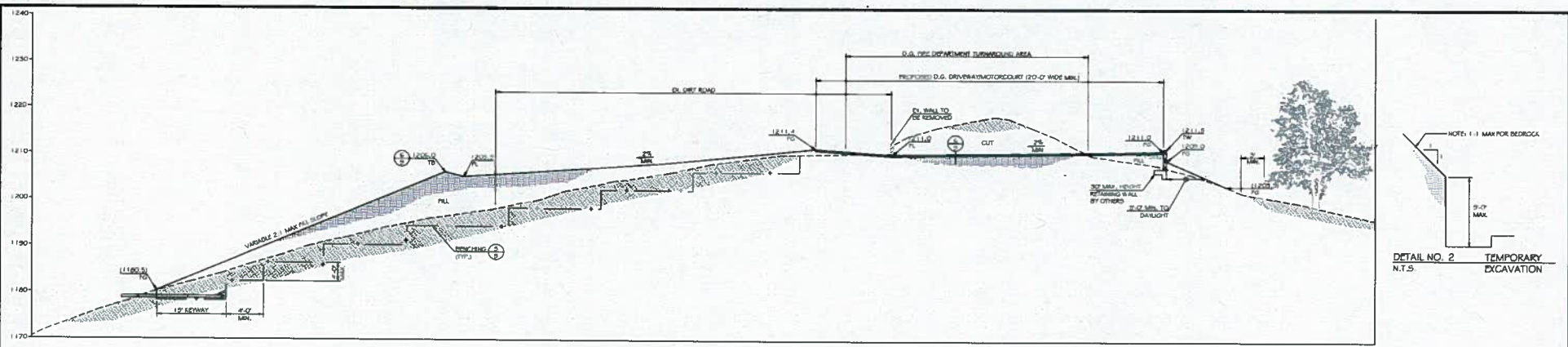
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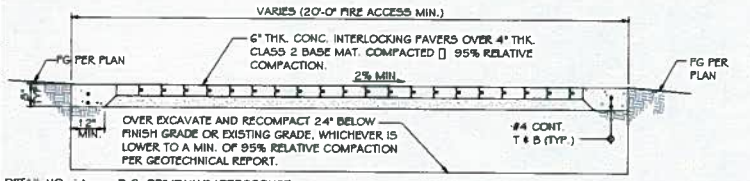
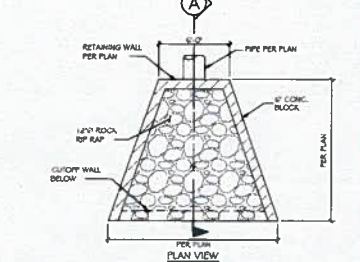
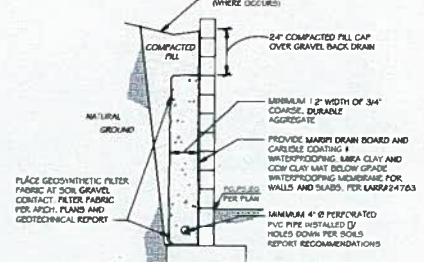
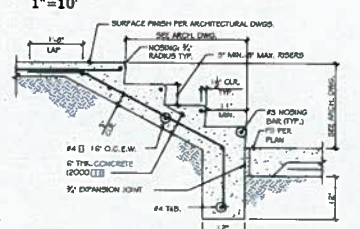
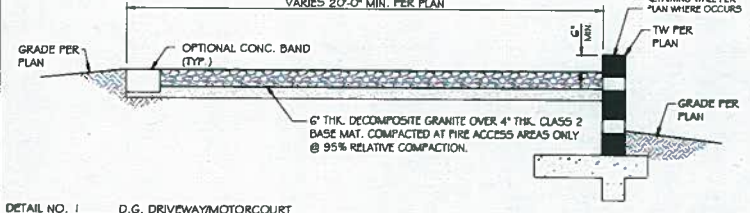
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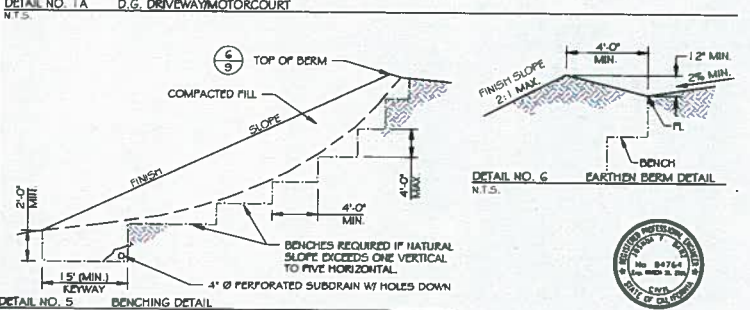
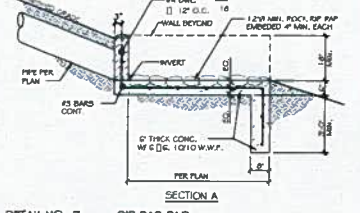
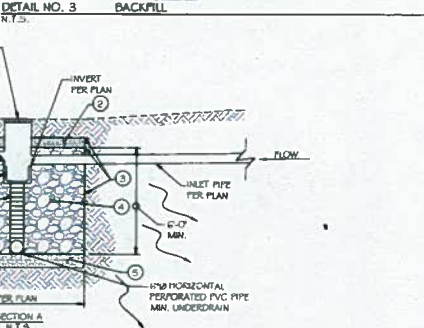
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY: WALLACE E. MASON # ASSOC 851 RANCHO ROAD THOUSAND OAKS, CA. 91362 (805) 794-3359	DATE	REVIEWED BY	DATE	RAMERO ADEVA III CITY ENGINEER	DATE	0885 RCE NO.	08/30/16 EXP DATE	AGOURA HILLS	ENLARGED GRADING AND DRAINAGE PLAN CLEMENS RESIDENCE 6105 LAPWORTH DRIVE AGOURA HILLS, CA. 91301 SHEET 7 OF 12
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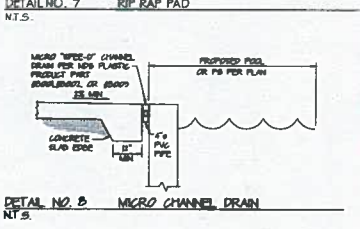
SECTION C



DETAIL NO. 4 CONCRETE STAIRS ON GRADE N.T.S.



- NOTES:
1. FILTER MEDIA INSERT
 2. 2\"/>
 - 3. PROVIDE FILTER FABRIC
 - 4. 4\"/>
 - 5. 6\"/>
 - 6. ALL PIPES SHALL BE SLOTTED 40 MIN.



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY OF AGOURA HILLS APPROVAL	DATE	68885 TRCE NO	08/03/16 EXPIRE DATE	AGOURA HILLS

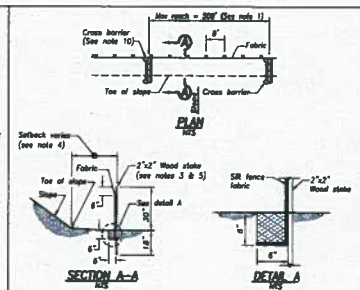
CROSS SECTIONS & DETAILS
CLEMENS RESIDENCE
6105 LAPWORTH DRIVE
AGOURA HILLS, CA. 91301 SHEET 9 OF 12

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WET WEATHER EROSION CONTROL PLAN (WWECP) GENERAL NOTES:

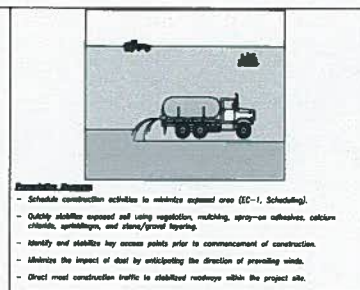
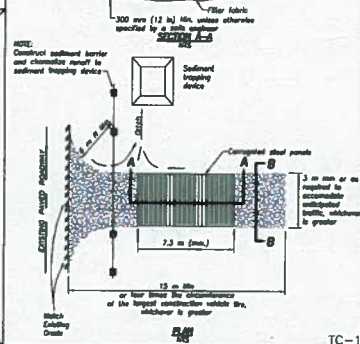
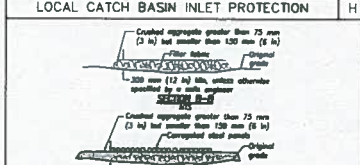
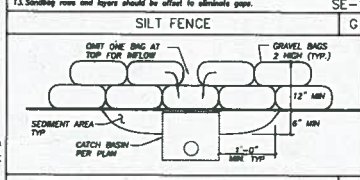
- IN CASE OF EMERGENCY, CALL 911.
- A STAFF OR CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE CONSTRUCTION PERIOD. A STAFF OR CREW SHALL BE AVAILABLE AT ALL TIMES DURING THE CONSTRUCTION PERIOD TO MAINTAIN THE PROGRESS OF CONSTRUCTION TO PREVENT DELAYS TO THE PROJECT.
- EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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ADDITIONAL GENERAL NOTES

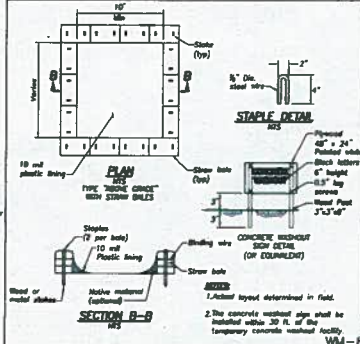
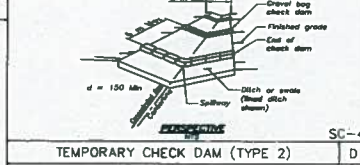
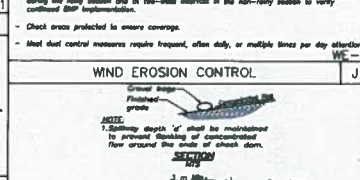
- TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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- NOTES:**
- Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/2 the height of the barrier. In no case shall the reach length exceed 500.
 - The top 8'-0" of force shall be turned up slope.
 - Stake dimensions are nominal.
 - Dimension may vary to fit field condition.
 - Stakes shall be spaced at 8'-0" maximum and shall be positioned on downstream side of fence.
 - Stakes to overlap and fabric fabric to fold around each stake one full turn. Secure fabric to stakes with 4 staples.
 - Stakes shall be driven tightly together to prevent potential flow-through of sediment of fill. The top of the stakes shall be secured with wire.
 - For top stake, fabric fabric shall be folded around two stakes one full turn and secured with 4 staples.
 - Minimum 4 staples per stake. Dimensions shown are typical.
 - Cross barriers shall be a minimum of 1/2 and a maximum of 1/2 the height of the barrier below.
 - Abandonment openings shall be constructed in a manner to ensure sediment remains behind all fence.
 - Joining sections shall not be placed at steep slopes.
 - Sealing joints and layers should be offset to eliminate gaps.

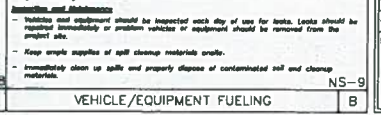
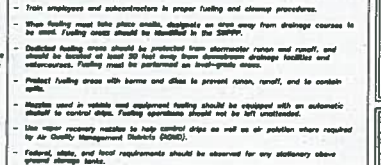
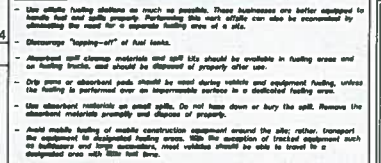
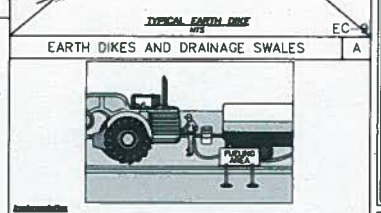
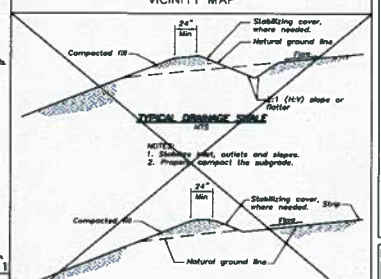


- NOTES:**
- Install and verify that actively-based BMPs are in place to the satisfaction of municipal authorities. While installing, coordinate with the BMP owner to inspect weekly during the rainy season and of low-water intervals in the non-rainy season to verify continued BMP effectiveness.
 - Check areas protected to ensure coverage.
 - Must that control measures require frequent, often daily, or multiple times per day attention.



INDEX OF SHEETS

SHT. 10	EROSION CONTROL COVER SHEET
SHT. 11	EROSION CONTROL PLAN
SHT. 12	EROSION CONTROL ATTACHMENTS (208-201)



REVISIONS	BY

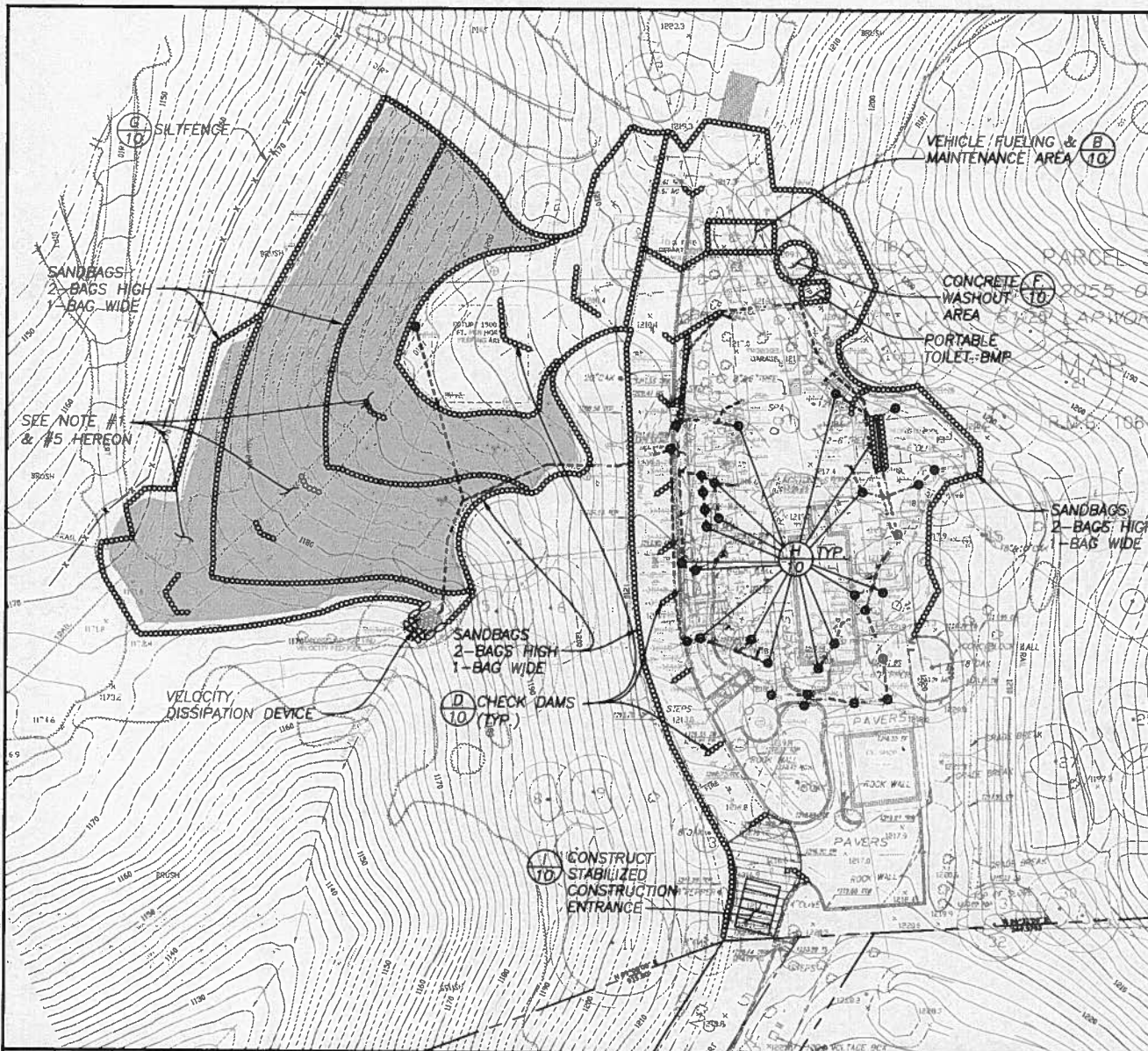
WALLACE E. MASON & ASSOC.
 891 KANGAROO ROAD
 THOUSAND OAKS, CA 91320
 (805) 734-9999

REGISTERED PROFESSIONAL ENGINEER
 No. 84764
 State of California

CLEMENS RESIDENCE
 605 LAKWORTH DRIVE
 AGOURA HILLS, CA 91301

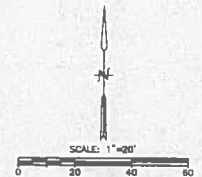
COVER SHEET
 WET WEATHER
 EROSION CONTROL PLAN

DATE: 4/28/16
 SCALE: N.T.S.
 DRAWN: JD
 JOB: 648-16
 SHEET: 10
 OF 16 SHEETS



NOTES:

1. ALL GRADED AND DISTURBED AREAS TO BE JUTTE NETTED OR PER EC3, EC4, & EC7, AS SOON AS GRADING IS COMPLETE.
2. CONTRACTOR TO REVIEW ALL BMP'S AND PROJECT ENGINEER AS SITE REQUIRES DURING ALL PHASES OF CONSTRUCTION.
3. AREAS BEYOND THE LIMITS OF GRADING AS SHOWN HEREON SHALL BE LEFT UNDISTURBED UNTIL LANDSCAPING IS TO BE DONE. NO STRIPPING OF THE EARTH OUTSIDE THE LIMITS OF GRADING UNTIL LANDSCAPING IS TO BE DONE.
4. ALL SEDIMENT TRAPS TO BE CLEANED AFTER EACH STORM DURING ALL PHASES OF CONSTRUCTION.
5. PROVIDE 4-MILL VISQUEEN OVER ALL DISTURBED VERTICAL EXCAVATIONS AND SLOPE AREAS.



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY: WALLACE E. MASON & ASSOC. 8511 RANCHO ROAD THORNTON, CA. 91362 (909) 794-3559		PROJECT ENGINEER DATE	REVIEWED BY DATE
--	--	--------------------------	---------------------

CITY OF AGOURA HILLS APPROVAL		68895 TRCE NO.	08/30/18 EXP DATE
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EROSION CONTROL PLAN
CLEMENS RESIDENCE
6105 LAPWORTH DRIVE
AGOURA HILLS, CA. 91301 SHEET 11 OF 12

SWPPP BMP SELECTION

Table 2.2 Temporary Erosion Control BMPs

CA/QPA Part Sheet	BMP Name	Meets a Minimum Requirement?	BMP Used		If not used, state reason
			YES	NO	
EC-1	Sedimentation				
EC-2	Preservation of Existing Vegetation				
EC-3	Disturbance Mats				
EC-4	Thatched				
EC-5	Soil Blankets				
EC-6	Silt Mats				
EC-7	Concrete and Adobe				
EC-8	Wood Mulching				
EC-9	Earth Erosion and Drainage Swales				
EC-10	Vegetative Strip/Inlets				
EC-11	Edge Drain				
EC-12	Stream Bank Stabilization				
EC-13	Contour Plantings				
EC-14	Silt/Trapment/Filtering				
EC-15	Non-Vegetated Stabilization				
EC-16	Wind Erosion Control				

Alternate BMPs Used: _____ If used, state reason: _____

²² Applicability in a specific project shall be determined by the QSD.
²³ The QSD shall cover implementation of one of the minimum measures listed or a combination thereof to achieve and maintain the Risk Level requirement.
 Reasons from officials shall be directed away from all disturbed areas, the crown of a ditch, or any other area that requires disturbance by a licensed civil engineer under additional environmental permitting.

Table 2.3 Temporary Sediment Control BMPs

CA/QPA Part Sheet	BMP Name	Meets a Minimum Requirement?	BMP used		If not used, state reason
			YES	NO	
NS-1	Silt Fence				
NS-2	Sediment Basin				
NS-3	Sediment Trap				
NS-4	Check Dam				
NS-5	Fence Posts				
NS-6	Gravel Filter				
NS-7	Sheet Piling				
NS-8	Sanitary Landfill				
NS-9	Storm Drain Barriers				
NS-10	Storm Drain Inlet Protection				
NS-11	ATS				
NS-12	Temporary Silt Dike				
NS-13	Concrete Silt and Storm				
NS-14	Underfill Inlets				
NS-15	Stabilized Construction Entrance and Exit				
NS-16	Stabilized Construction Entrance				
NS-17	Erosion Control Trench Wash				

Alternate BMPs Used: _____ If used, state reason: _____

²⁴ Applicability in a specific project shall be determined by the QSD.
²⁵ The QSD shall cover implementation of one of the minimum measures listed or a combination thereof to achieve and maintain the Risk Level requirement.
 Wash Level 2.1 shall provide linear sediment control along top of slope, foot of slope, and at the grade breaks of exposed slope.

Table 2.4 Temporary Non-Stormwater BMPs

CA/QPA Part Sheet	BMP Name	Meets a Minimum Requirement?	BMP used		If not used, state reason
			YES	NO	
NS-1	Water Cleaners/Filter Devices				
NS-2	Drainage Operation				
NS-3	Paving and Draining Operation				
NS-4	Temporary Stream Crossing				
NS-5	Clean Water Diversion				
NS-6	Illicit Connections - Illegal Dumping Connections				
NS-7	Possible Water Infiltration (Discharge/ Detection)				
NS-8	Vehicle and Equipment Cleaning				
NS-9	Vehicle and Equipment Parking				
NS-10	Vehicle and Equipment Maintenance				
NS-11	Concrete Curbing				
NS-12	Concrete Hardening				
NS-13	Material and Equipment Use Over Water				
NS-14	Drainage Operation				
NS-15	Drainage Operation				
NS-16	Temporary Hatch Plugs				

Alternate BMPs Used: _____ If used, state reason: _____

²⁶ Applicability in a specific project shall be determined by the QSD.

Table 2.5 Temporary Materials Management BMPs

CA/QPA Part Sheet	BMP Name	Meets a Minimum Requirement?	BMP used		If not used, state reason
			YES	NO	
WM-01	Material Delivery and Storage				
WM-02	Material Use				
WM-03	Recycling Management				
WM-04	Soil Preservation/Control				
WM-05	Solid Waste Management				
WM-06	Hazardous Waste Management				
WM-07	Contaminated Soil Management				
WM-08	Concrete Waste Management				
WM-09	Asphalt/Pavement Waste Management				
WM-10	Liquid Waste Management				

Alternate BMPs Used: _____ If used, state reason: _____

²⁷ Applicability in a specific project shall be determined by the QSD.

JOB ADDRESS: 405 LAPWORTH DRIVE PERMIT #: _____

**STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM
 PRIORITY PROJECTS
 CERTIFICATION STATEMENT**

AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THE APPROXIMATE BMP'S WILL BE IMPLEMENTED TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT CONTRACTOR IS AWARE THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: _____
 (OWNER OR AUTHORIZED AGENT OF THE OWNER)

SIGNATURE: _____ DATE: _____
 (OWNER OR AUTHORIZED AGENT OF THE OWNER)

JOB ADDRESS: 405 LAPWORTH DRIVE PERMIT #: _____

**DEPARTMENT OF BUILDING AND SAFETY
 MINIMUM REQUIREMENTS FOR CONSTRUCTION PROJECTS/
 CERTIFICATION STATEMENT**

THE FOLLOWING IS INTENDED AS AN ATTACHMENT TO THE CONSTRUCTION/GRADING PLANS AND REPRESENT THE MINIMUM STANDARDS OF GOOD HOUSEKEEPING WHICH MUST BE IMPLEMENTED ON ALL SITES CLASSIFIED AS DEVELOPMENT CONSTRUCTION PROJECTS.

DEVELOPMENT CONSTRUCTION PROJECTS ARE DEFINED AS PROJECTS WHERE THERE IS LESS THAN TWO ACRES OF DISTURBED SOIL, NOT LOCATED IN DESIGNATED HILLSIDE AREAS, AND NOT ON OR ADJACENT TO AN ENVIRONMENTAL SENSITIVE AREA. NOTE: A PROJECT IN A DESIGNATED HILLSIDE AREA WITH LESS THAN TWO ACRES OF DISTURBED SOIL AND NOT IN OR ADJACENT TO AN ENVIRONMENTAL SENSITIVE AREA, MAY BE CLASSIFIED AS A DEVELOPMENT CONSTRUCTION PROJECT IF THE GRADING PRE-INSPECTION (GPI) IS NOT REQUIRED OR THE ENTIRE LOT HAS A SLOPE OF TEN PERCENT OR LESS.

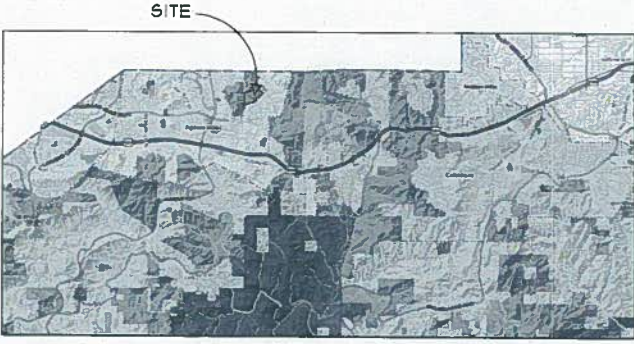
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ONSITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ONSITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

INSPECTION LOG

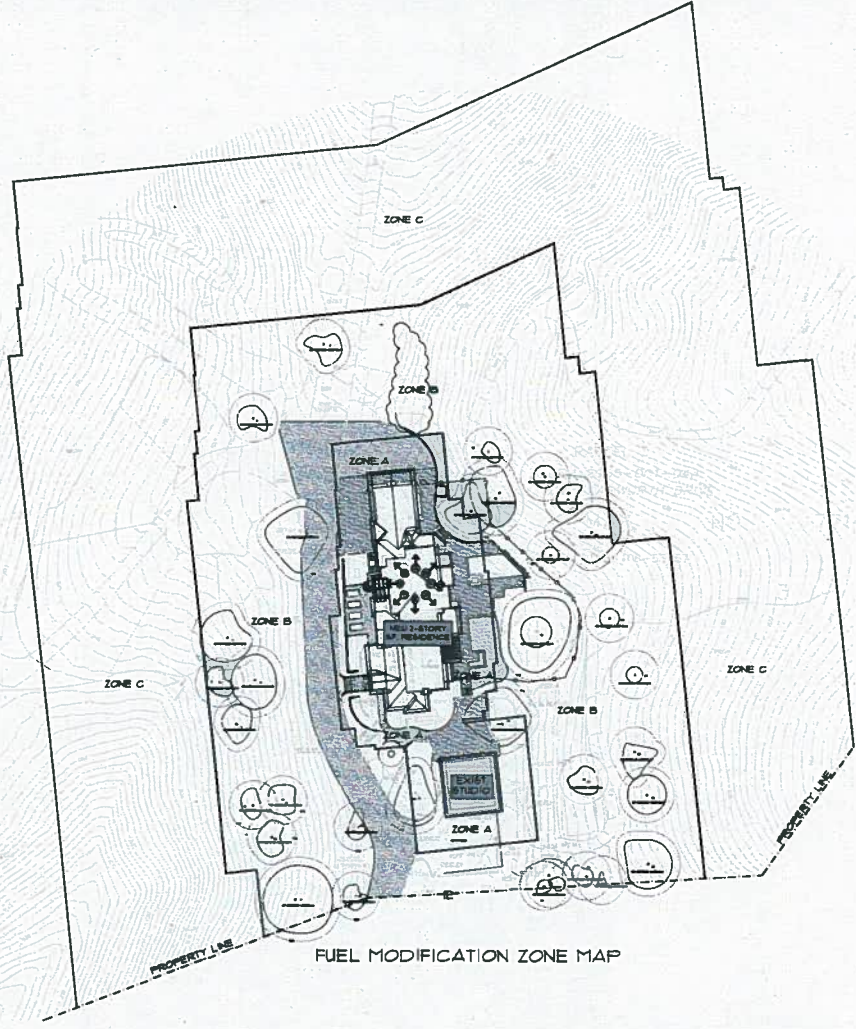
THE SITE SHALL BE INSPECTED BEFORE STORM EVENTS WITH PREDICTED PROBABILITY OF 50% OR GREATER AND EVERY DAY DURING AND WITHIN 48 HOURS AFTER STORM EVENTS WITH 0.50 INCHES OR GREATER OF ACTUAL PRECIPITATION, AND DOCUMENTED ON THE CONSTRUCTION SITE INSPECTION CHECKLIST. INCIDENTS OF NON-COMPLIANCE MUST BE REPORTED TO THE ENGINEER.

Date and Time of Inspection	Inspector Name	Site Report Number
Inspection Type: _____ Client area: _____	Inspector: _____ Title: _____	Report Number: _____
Part I. General Information		
Construction Site Name: _____		
Construction stage and progress: _____		
Is a "Watchdog BMP" installed on the site? <input type="checkbox"/> Yes <input type="checkbox"/> No		
Emergency Communication/Notification required? <input type="checkbox"/> Yes <input type="checkbox"/> No		
Part II. Descriptions of BMP Disturbances		
Disturbance	Description	Remarks
1		
2		
3		
4		
Part III. Additional Pre-Storm Observations		
Disturbance	Description	Remarks
1		
2		
3		
4		
Part IV. BMP Observations		
Disturbance	Description	Remarks
1		
2		
3		
4		
Part V. Additional Storm Water Observations		
Disturbance	Description	Remarks
1		
2		
3		
4		
Part VI. Additional Construction Related		
Disturbance	Description	Remarks
1		
2		
3		
4		

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY: WALLACE E. MASON & ASSOC. 651 SANDY ROAD THOUSAND OAKS, CA. 91321 (805) 794-3559	DATE	REVIEWED BY	DATE	RAMIRO ADEVA III CITY ENGINEER	DATE	8885 TDC NO.	08/20/16 EXP DATE		EROSION CONTROL ATTACHMENTS CLEMENS RESIDENCE 6105 LAPWORTH DRIVE AGOURA HILLS, CA. 91301 SHEET 12 OF 12
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VICINITY MAP



FUEL MODIFICATION ZONE MAP

Zone A - Setback Zone

- Setback 30 feet beyond the edge of any combustible structure, accessory structure, impervious or projection of any structure or other parts of the structure not necessarily reflected on the plan may require the approval of plant location on the approved plan.
- Impervious landscape in this zone shall be designed to maintain healthy vegetation and fire resistance.
- Landscaping and vegetation in this zone shall consist primarily of ground covers not exceeding 6 inches in height, and adequately spaced shrubs. The overall characteristics of the landscape shall be consistent with the overall characteristics of the site.
- Plants in Zone A shall be selected for maximum and optimal appearance. Species selection shall be made referencing the Fuel Modification Plant List. Other species may be subject to approval.
- The Fuel Modification Plant List shall be used to select plants in all zones established based on an approved Fuel Modification Plan List available from the Fuel Modification Unit.
- Except for trees less than 30 feet in height, trees are generally not recommended within Zone A.
- Target species will typically not be allowed within 30 or more feet of combustible structures and may require removal if existing on site.
- Vines and climbing plants shall not be allowed on any combustible structure requiring vines.

Zone B - Landscape Zone

- Setback from the exterior edge of Zone A to 100 feet from structure.
- Landscaping and vegetation in this zone shall be designed to maintain healthy vegetation and fire resistance.
- Impervious landscape in this zone shall be designed to maintain healthy vegetation and fire resistance.
- Landscaping and vegetation in this zone shall be selected at a height not to exceed 6 inches in Zone A and B, or 6 feet in a slope 12 inches in 12 feet in Zone C within 30 feet of a structure and 12 feet in a slope 12 inches in 12 feet in Zone C elsewhere in the zone.
- Landscaping and vegetation in this zone shall be selected at a height not to exceed 3 feet.
- Plants in Zone B shall be selected for maximum and optimal appearance. Species selection shall be made referencing the Fuel Modification Plant List. Other species may be subject to approval.
- Vegetation in this zone may consist of modified existing native plants, adequately spaced ornamental shrubs and trees, or both. There may also be replacement landscape planting with ornamental or native species to meet urban slope coverage requirements of City or County agencies or other Landscape or Mitigation ordinances. In all cases the overall characteristics of the landscape shall provide adequate defensible space in a fire emergency.
- Target species will typically not be allowed within 30 or more feet of combustible structures and may require removal if existing on site. This distance may extend to 50 feet if the situation dictates.
- Impervious landscape in this zone shall be designed to maintain healthy vegetation and fire resistance.
- All trees, unless otherwise approved, shall be planted for enough fire structure and Fire Department access to not encroach any structure or access at maturity.

Zone C - Urban Slope Zone

- Setback from the exterior edge of Zone B to 100 feet from structure or to property line.
- Required clearing and removal of all combustible vegetation. Required clearing may increase to maintain access by the Fire Code to maintain clearance of vegetation growth.
- Impervious landscape in this zone shall be designed to maintain healthy vegetation and fire resistance.
- Landscaping and vegetation in this zone shall be selected at a height not to exceed 6 inches in Zone A and B, or 6 feet in a slope 12 inches in 12 feet in Zone C within 30 feet of a structure and 12 feet in a slope 12 inches in 12 feet in Zone C elsewhere in the zone.
- Landscaping and vegetation in this zone shall be selected at a height not to exceed 3 feet.
- Plants in Zone C shall be selected for maximum and optimal appearance. Species selection shall be made referencing the Fuel Modification Plant List. Other species may be subject to approval.
- Vegetation in this zone may consist of modified existing native plants, adequately spaced ornamental shrubs and trees, or both. There may also be replacement landscape planting with ornamental or native species to meet urban slope coverage requirements of City or County agencies or other Landscape or Mitigation ordinances. In all cases the overall characteristics of the landscape shall provide adequate defensible space in a fire emergency.
- Target species will typically not be allowed within 30 or more feet of combustible structures and may require removal if existing on site. This distance may extend to 50 feet if the situation dictates.
- Impervious landscape in this zone shall be designed to maintain healthy vegetation and fire resistance.
- All trees, unless otherwise approved, shall be planted for enough fire structure and Fire Department access to not encroach any structure or access at maturity.

Fire Access Road Zone

- Clear and remove combustible growth for a width of 10 feet on each side of Fire Access Road. (Fire Code 235.22) Additional clearance beyond 10 feet may be required upon inspection.
- This access road clearance and landscape shall be maintained to accordance with Fire Code 235.22.
- Landscaping and native plants within the Fire Access Road Zone shall be appropriately spaced and selected to provide safe access to established fire structures.
- All trees, unless otherwise approved, shall be planted for enough fire structure and Fire Department access to not encroach any structure or access at maturity.

Maintenance

MAINTENANCE SHALL BE REGULARLY PERFORMED IN ALL ZONES. REQUIREMENTS INCLUDE BUT ARE NOT LIMITED TO THESE ITEMS IN THE FUEL MODIFICATION GUIDELINES AND THOSE CALLED OUT BELOW:

- Removal of blocking of undesirable combustible vegetation and removal of dead or dying landscape to meet urban brush clearance requirements.
- Pruning and trimming to reduce overall fuel load and eliminating of fuel.
- Fuel loads shall be reduced to prevent brush fires. Fuel loads shall be reduced to a maximum of 12 inches in height, or 6 feet in a slope 12 inches in 12 feet in Zone C within 30 feet of a structure and 12 feet in a slope 12 inches in 12 feet in Zone C elsewhere in the zone.
- Annualized plant litter and dead plant litter shall be removed. Debris and trimmings produced by pruning and pruning shall be removed from the site or disposed and evenly dispersed in the same area to a maximum depth of 6 inches.
- All invasive species and their parts should be removed from the site.
- Pruning and trimming of trees shall be performed for structural integrity and pruning. Structures should be regularly evaluated to avoid over or under-coring.
- Compliance with Fire Code in a fire-prone area. Structures shall be regularly inspected by the Fire Department. Structures to be inspected shall be inspected to meet requirements are established in the Fire Code and the Fire Code and the Fire Code.
- All trees planted shall be in accordance with the City of Los Angeles Fire Department's Brush Clearance Ordinance (FDC 186-215).
- All trees planted shall be in accordance with the City of Los Angeles Fire Department's Fuel Modification Ordinance and approved prior to installation. Changes to the approved plan shall require approval from the Fire Department.
- Questions regarding landscape planting and maintenance shall be directed to the Fire Department's Fuel Modification Unit at (818) 999-5325.

Land Use Designation Agreement

The applicant is responsible for the long-term maintenance of this Fuel Modification plan as described herein. A Covenant / Agreement identifying the appropriate Fuel Modification Plan will be recorded on the parcel's / CC's approval, prior to issuing final Fuel Modification plan. Fuel Modification requirements to be in compliance with the Fire Code and the Fire Code shall be maintained by the Fire Department. The Fire Department will be responsible for the long-term maintenance of this Fuel Modification plan as described herein. A Covenant / Agreement identifying the appropriate Fuel Modification Plan will be recorded on the parcel's / CC's approval, prior to issuing final Fuel Modification plan. Fuel Modification requirements to be in compliance with the Fire Code and the Fire Code shall be maintained by the Fire Department.

Name (Print) _____ Signature _____ Date _____
 Name (Print) _____ Signature _____ Date _____

APPROVAL OF THIS FUEL MODIFICATION PLAN CONSTITUTES APPROVAL FOR ONLY THOSE CODES REFERRED AS PART OF THE FUEL MODIFICATION PROCESS AND DOES NOT REPLACE THE NEEDED APPROVAL OF ANY OTHER CODES OR AGENCY OR ASSOCIATION AND SPECS RESPONSIBILITY FOR THOSE ITEMS WHICH MAY OR MAY NOT BE ILLUSTRATED ON THE PLAN.

NOTES

CONTRACT REPORTS AND OTHER ITEMS ARE THE PROPERTY OF OLWYN KINGERY LANDSCAPE DESIGN. ANY AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF OLWYN KINGERY LANDSCAPE DESIGN. THIS DOCUMENT IS THE PROPERTY OF OLWYN KINGERY LANDSCAPE DESIGN. ANY AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF OLWYN KINGERY LANDSCAPE DESIGN. ANY AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF OLWYN KINGERY LANDSCAPE DESIGN.



OLWYN KINGERY
 LANDSCAPE DESIGN
 P.O. BOX 165
 NEWBURY PARK, CALIFORNIA 91315
 805.279.9119 VOICE

DATE: 7/1/16
 REVISIONS:
 PRINT DATE:

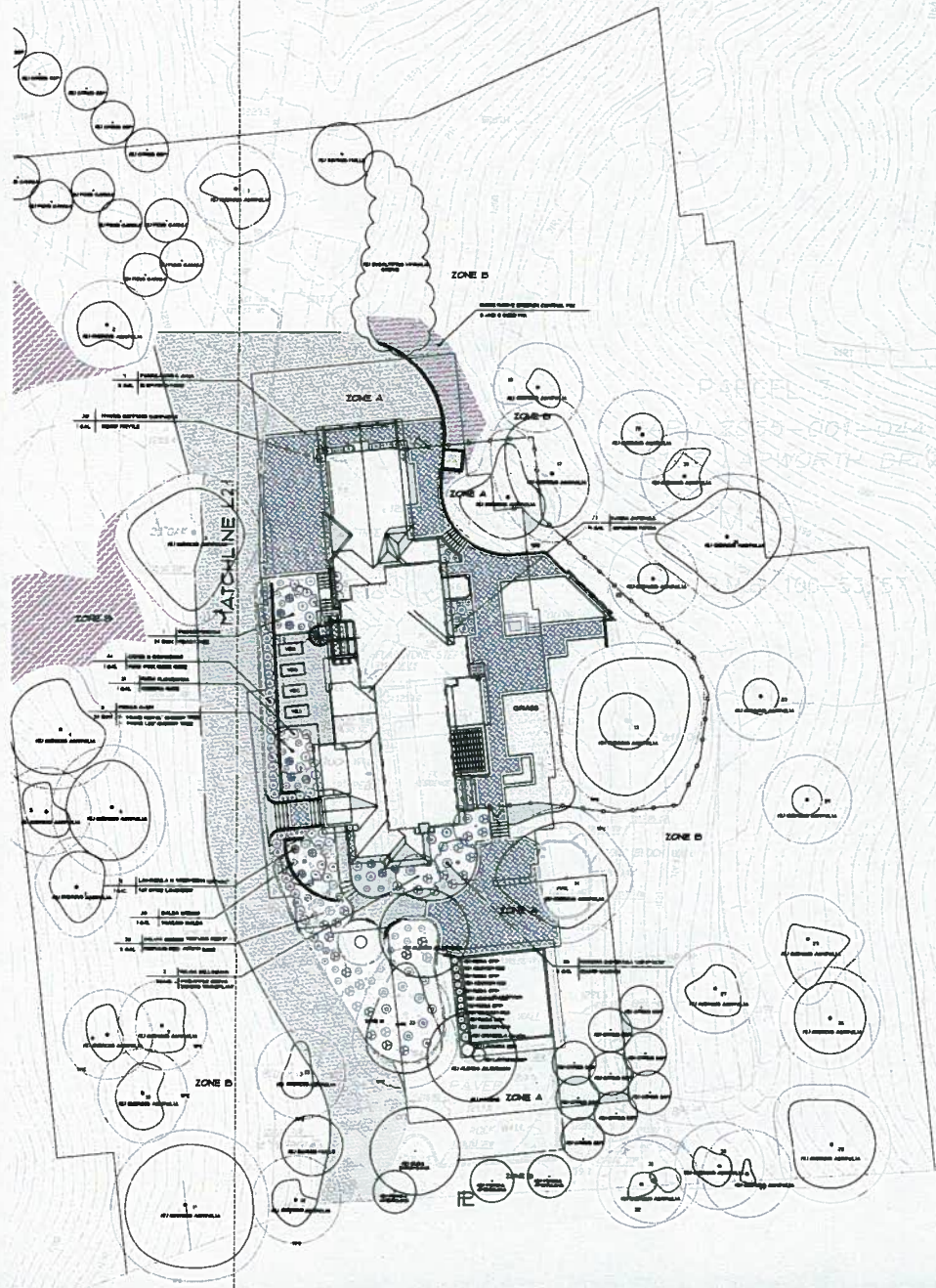


SCALE:
 1" = 30'

CLEMENS RESIDENCE
 6105 LAFWORTH DRIVE AGOURA HILLS, CA. 91301
 APN# 2055-001-044 PARCEL 3

L.I.O
 FUEL MOD. ZONES

CLEMENS RESIDENCE
 6105 LAFWORTH DRIVE AGOURA HILLS, CA. 91301
 APN# 2055-001-044 PARCEL 3



PLANT LEGEND

TREES					
SYMBOL	ABBREVIATION	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
	PEJ BEL	2	TRANS	PELSEA BELLOSIANA (L)	PINEAPPLE GUAVA
	PRU AVI	3	74" BX	PRUNUS AVELAN (M)	CHERRY TREES
	PRU PER	1	74" BX	PRUNUS PERSICA (M)	1- 'MINNIE LEE' CHERRY TREE PEACH TREE
SHRUBS					
SYMBOL	ABBREVIATION	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
	CS SKA	44	1 GAL	CISTUS X SICAMBERGII (L)	PURE PINK ROCK ROSE
	DAL GRE	36	1 GAL	DALEA GREGGII (VL)	TRAILING DALEA
	FAT JAP	2	15 GAL	FATSEA JAPONICA (L)	JAPANESE ARALIA
	LAV ORD	12	1 GAL	LAVANDULA X INTERMEDIA 'GROSSO' (L)	FAT SPICE LAVENDER
	MYR COP	30	1 GAL	MYRTUS COPPINII 'COMPACTA' (L)	OSIANP MYRTLE
	NAN GUL	25	9 GAL	NANDINA DOMESTICA 'COMPACTA' (L)	OSIANP NANDINA
	POR APR	7	9 GAL	PORTULACARIA AFRA (VL)	ELEPHANT'S FOOT
	ROB ICE	31	9 GAL	ROSA FLOREBUNDA 'ICEBERG' (L)	ICEBERG ROSE
	SAL PUR	28	9 GAL	SALVIA GREGGII 'PURPANS RED' (L)	PURPANS RED AUTUMN SAGE
SEED MIX					
	SANTA MONICA MOUNTAIN COVER MIX - S AND S SEEDS				
	<i>Artemisia californica/california sagebrush</i>			<i>Echinops californica/california poppy</i>	
	<i>Bromus carinatus/california brome</i>			<i>Lathyrus glabratus/golden lotus</i>	
	<i>Bromus carinatus 'Cucamonga' (Cucamonga brome)</i>			<i>Lupinus succulentus/erogy lupine</i>	
	<i>Ceanothus americanus/american blueberry</i>			<i>Malva parviflora/rose mallow</i>	
	<i>Clarkia purpurea/purple cup Clarkia</i>			<i>Penstemon spectabilis/penstemon</i>	
	<i>Erigeron californicus/california sunflower</i>			<i>Silene pulchra/purple nasturtium</i>	
	<i>Eriogonum fasciculatum/california buckwheat</i>			<i>Verbena lasiodictya/cocean verbena</i>	
	<i>Eriogonum fasciculatum 'california buckwheat'</i>				
	<i>Eriogonum confertum/ferns golden yarrow</i>				
	SANTA MONICA MOUNTAIN CONTROL MIX - S AND S SEEDS				
	<i>Bromus carinatus 'Cucamonga' (Cucamonga brome)</i>				
	<i>Pastuca microstachya (small fescue)</i>				
	<i>Trifolium cristatum (tree clover)</i>				

L2.2
 LANDSCAPE
 CLEMENS RESIDENCE
 6105 LAFWORTH DRIVE AGOURA HILLS, CA. 91301
 APN # 2055-001-044 PARCEL 3

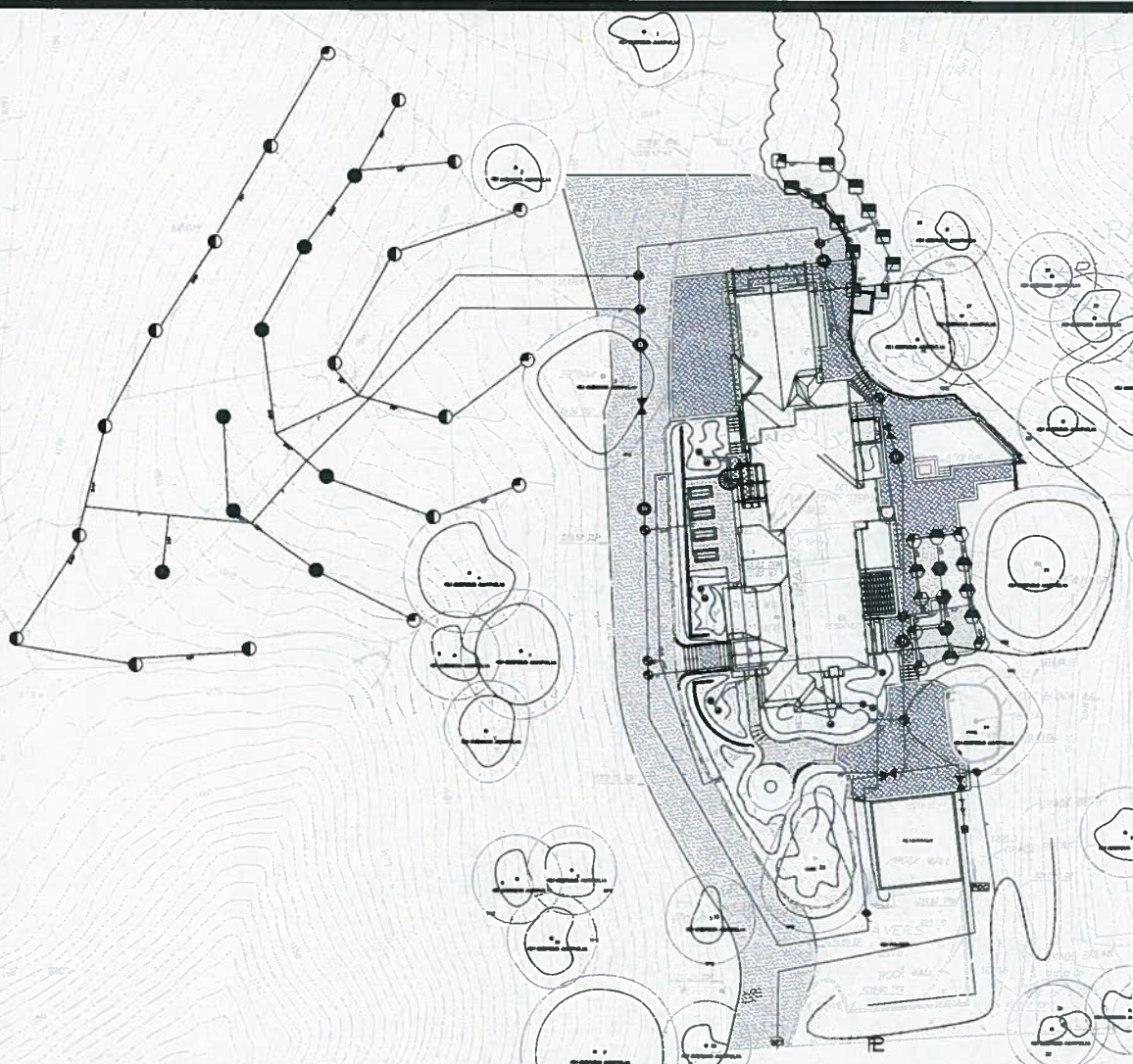


SCALE
1/16" = 1'-0"

OLWYN KINGERY
 LANDSCAPE DESIGN
 P.O. BOX 165
 NEWBURY PARK, CALIFORNIA 91315
 805.279.9119 VOICE

DATE: 7/16
 REVISIONS:
 PRINT DATE:

CLEMENS
 L2.2 LANDSCAPE PLAN



IRRIGATION LEGEND:

SYMBOL	MANUFACTURER	SPRAY BODY	NOZZLE	P.S.I.	RAD.	G.P.H.	P.M.
●	HANTER	PROB-04-PR330	FORED ARC RED	30 PSI	10'	1.86	1 1/4
○	HANTER	PROB-04-PR330	IDA	30 PSI	10'	0.88	1.95
○	HANTER	PROB-04-PR330	FORED ARC RED	30 PSI	10'	0.84	1.95
○	HANTER	PROB-04-PR330	FORED ARC RED	30 PSI	10'	0.71	1.95
■	HANTER	PROB-10-PR330	FORED ARC RED	30 PSI	10'	2.64	0.48
■	HANTER	PROB-10-PR330	FORED ARC RED	30 PSI	10'	2.26	0.48
■	HANTER	PROB-10-PR330	FORED ARC RED	30 PSI	10'	2.86	0.48
■	HANTER	PROB-10-PR330	FORED ARC RED	30 PSI	10'	2.86	0.48
■	HANTER	PROB-10-PR330	FORED ARC RED	30 PSI	10'	1.71	0.48
●	HANTER	PROB-0-PR340-CV	FP 3500	40 PSI	22'-30"	2.64	0.48
●	HANTER	PROB-0-PR340-CV	FP 3500	40 PSI	31'-30"	3.30	0.48
●	HANTER	PROB-0-PR340-CV	FP 3500	40 PSI	37'-30"	3.88	0.48
●	HANTER	PROB-0-PR340-CV	FP 3500	40 PSI	37'-30"	3.20	0.48
●	HANTER	PROB-0-PR340-CV	FP 3500	40 PSI	37'-30"	1.71	0.48
●	HANTER	ROB-8 - 10 - CV	ROOT WATERING SYSTEM W/ CHECK VALVE	30 PSI			
●	HANTER	KC-10-LP	1" 10V GLOBE VALVE WITH HPS-100-075 FILTER				
●	HANTER	POV-10-ABV	1" 20V BIPHON VALVE WITH FLOW CONTROL				
●	HANTER	IC-600-FL	6" STATION AND EXPANDED MODULE IRRAN SENSOR				
■	PEBICO	835Y	REDUCED PRESSURE PRINCIPLE BACKFLOW DEVICE WITH INLET AND OUTLET GATE VALVES				
■	NECO	HR4CA	1" BRONZE BALL VALVE				
■	SLUNG	BY-1000K	LEAD FREE BRONZE 1 IN. T TYPE STRAINER				
■	WATER METER	CITY	1" PORTABLE WATER SUPPLY				
■	HANTER	PLD-10	DRIP LINE W/ D' SPACERS	30 PSI			10 GPH
---	APPROVED	PVC SCH 40	LATERAL LINE PIPE				
---	APPROVED	PVC SCH 40	MAINLINE P				



MODEL WATER LANDSCAPE ORDINANCE NOTES

- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES. CHECK VALVES OR ANTI-SIPHON VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW FLOW DRAINAGE COULD OCCUR.
- VALVES CONNECTED BY A SOLID TEST COPPERT AT A RATE OF A PERFOUR OF FOUR CIRC. YARDS PER 1000 SQUARE FEET OF IRRIGABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 18 INCHES INTO THE SOIL.
- IRRIGATION ASBEST REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
- AT THE TIME OF FINAL INSPECTION, THE REPORT APPLICANT MUST PROVIDE THE COVER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

POINT OF CONNECTION

POINT OF CONNECTION CONNECT TO 1" WATER METER FOR REGULATION. VERIFY THE ACTUAL LOCATION, SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK.

STATE WATER PRESSURE: 65
DESIGN PRESSURE: 40

IRRIGATION CONTROLLER

THE 120 VOLT POWER SUPPLY FOR WIRING UP OF CONTROLLER SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. REFER TO SITE ELECTRICAL PLANS FOR PRECISE POWER SUPPLY LOCATION. FINAL LOCATION OF THE CONTROLLER SHALL BE APPROVED BY THE DESIGN AUTHORIZED REPRESENTATIVE.

VALVE LOCATION NOTE

ELECTRIC CONTROL VALVE AND GATE VALVE LOCATIONS SHOWN ON THE DRAWING ARE APPROXIMATE. THE CONTRACTOR SHALL STAKE OUT EACH ELECTRIC CONTROL VALVE AND GATE VALVE LOCATION FOR REVIEW AND APPROVAL BY OWNER PRIOR TO INSTALLATION OF VALVES. FINAL LOCATION AND EXACT POSITIONS OF ELECTRIC CONTROL VALVES AND GATE VALVES SHALL BE DETERMINED BY THE OWNER. FINAL INDICATIONS OF ELECTRIC CONTROL VALVE AND GATE VALVE LOCATIONS AS REQUIRED BY THE OWNER SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. FAILURE TO OBTAIN APPROVAL PRIOR TO INSTALLATION SHALL CAUSE CONTRACTOR TO MAKE CORRECTIVE REVISIONS AT NO ADDITIONAL COST TO OWNER.

EQUIPMENT LOCATION NOTE

IRRIGATION PLANS ARE DESIGNED AS DIAGNOSTIC AND APPROPRIATE. ALL IRRIGATION EQUIPMENT INCLUDING PIPES AND FITTINGS ARE TO BE INSTALLED IN LANDSCAPED AREAS UNLESS IRRIGATION EQUIPMENT SHALL BE LOCATED IN THE Hardscape. THE IRRIGATION CONTRACTOR SHALL ENSURE THERE IS NO OBSTRUCTION TO Hardscape STRUCTURES SHALL OR ANY OTHER Hardscape STRUCTURE.

SLEEVE NOTE

CONTRACTOR IS RESPONSIBLE TO SLEEVE ALL PIPE AND VALVE WERE CROSSING STREETS, DRIVEWAYS, WALKWAYS, ETC. SLEEVE SHALL BE PVC CONDUIT 30 AND A PERFOUR IN THE DIAMETER OF THE PIPE SLEEVED.



SCALE:
1/16" = 1'-0"

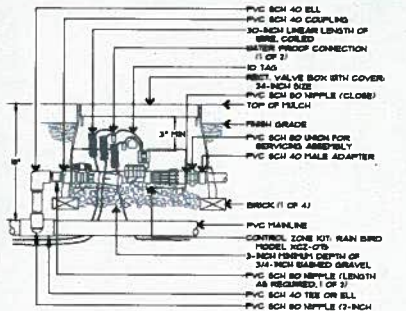
OLWYN KINGERY
LANDSCAPE DESIGN
P.O. BOX 165
NEUBURY PARK, CALIFORNIA 91319
805.219.9119 VOICE

DATE: 7/1/16
REVISIONS:
PRINT DATE:

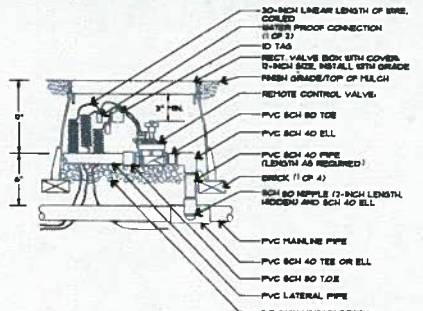
CLEMENS
L3 IRRIGATION PLAN

L3
IRRIGATION

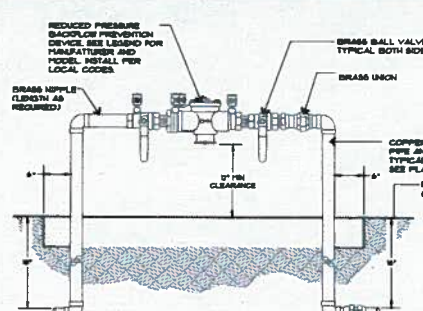
CLEMENS RESIDENCE
6105 LAPWORTH DRIVE AGOURA HILLS, CA. 91301
APN# 2055-001-044 PARCEL 3



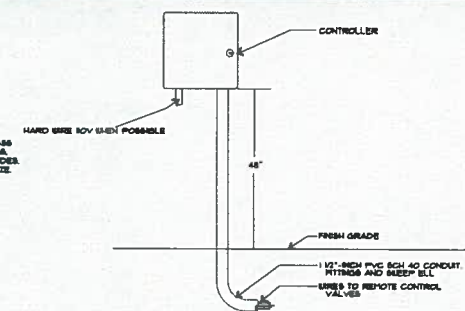
(A) REMOTE CONTROL VALVE DRIP



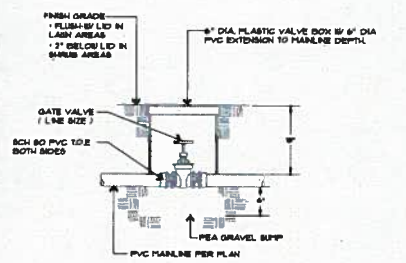
(B) REMOTE CONTROL VALVE



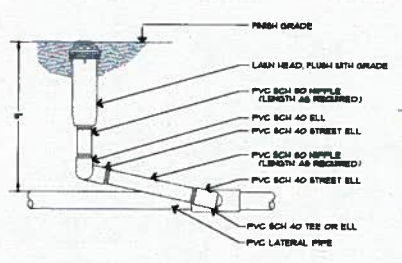
(C) BACKFLOW DEVICE



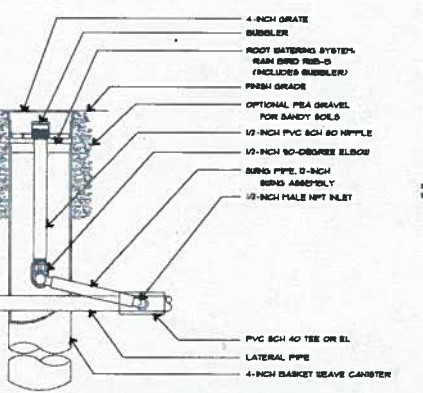
(D) CONTROLLER



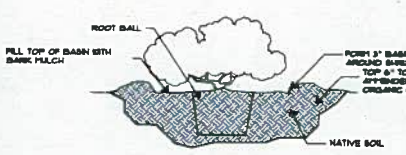
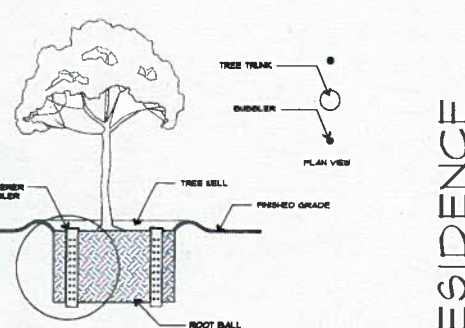
(E) GATE VALVE



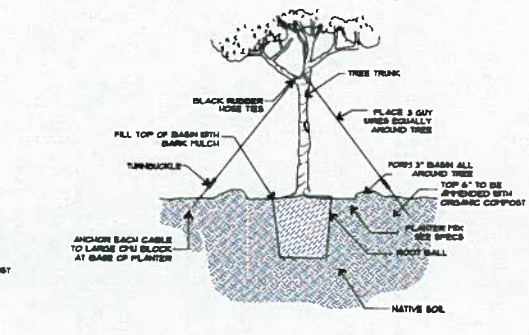
(F) POP UP SPRAY BODY



(G) TREE WELL BUBBLER



(H) SHRUB PLANTING



(I) TREE PLANTING/ GUYING

L4
DETAILS

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APN # 2055-001-044 PARCEL 3



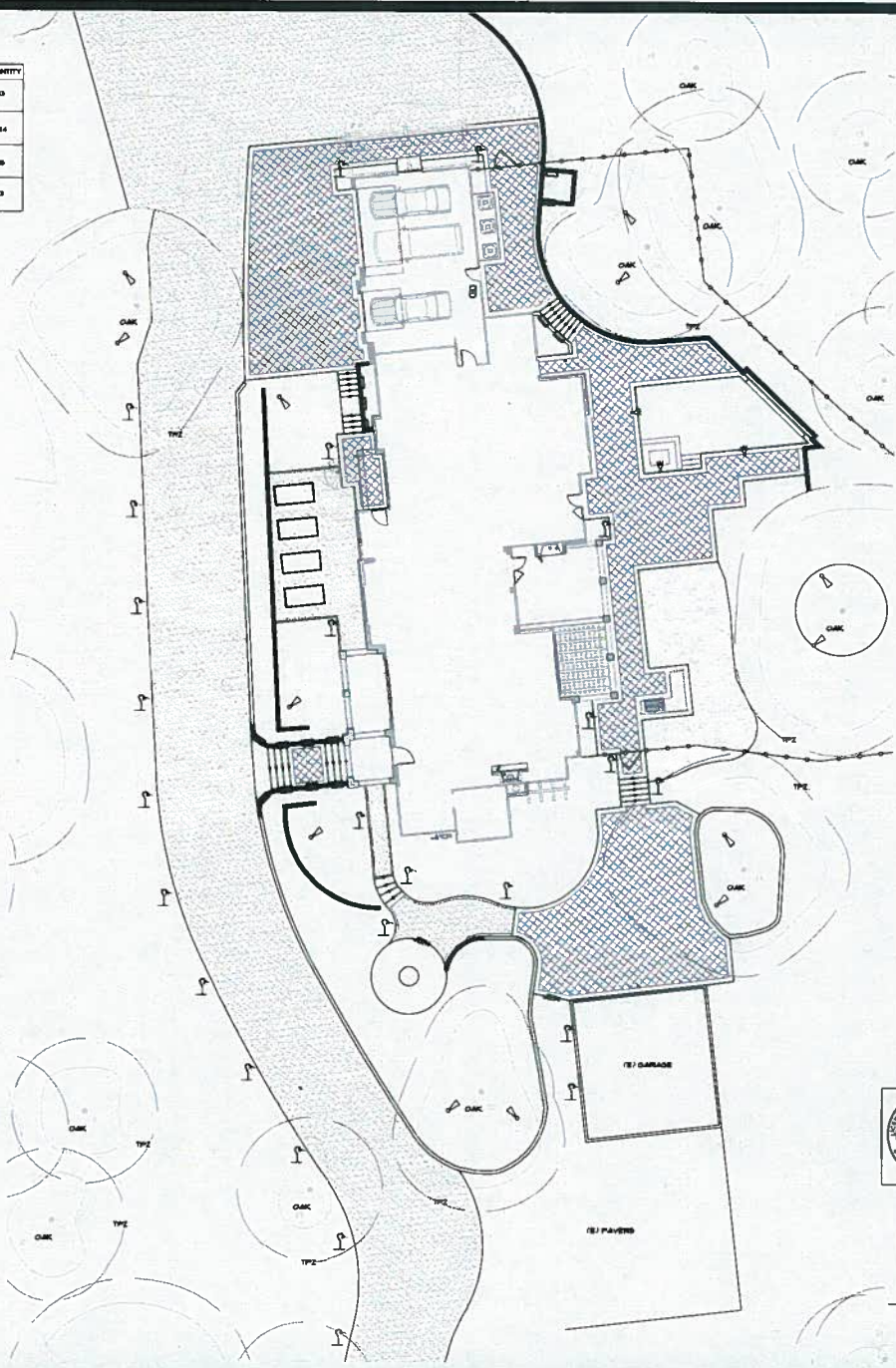
OLWYN KINGERY
LANDSCAPE DESIGN
P.O. BOX 165
NEWBURY PARK, CALIFORNIA 91315
805.279.9119 VOICE

DATE: 7/16
REVISIONS:
PRINT DATE:

CLEMENS
L4 DETAILS

LIGHTING LEGEND

SYMB	TYPE	DESCRIPTION	MATERIAL	VOLTS	WATS	QUANTITY
⌋	TREE UPLIGHT	VESA CATALOG: 376 COLOR: ARCHITECTURAL BRONZE LAMP: L3-30 S48	ALPL	0 VA	26 W	13
⌋	PATH LIGHT DRIVE LIGHT SURFACE	VESA CATALOG: 478 COLOR: ARCHITECTURAL BRONZE LAMP: L3-30 S	ALPL	0 VA	20 W	14
⌋	WALK LIGHT WALK LIGHT SURFACE	VESA CATALOG: 493 COLOR: WHITE LAMP: POWER LUM: 10 T3.5 MESH	ALPL	0 VA	20 W	6
⌋	POOL SPA FLOOD UNDERWATER	11 LINED HOSE MOUNTED DOWNWOMEN RESISTANT	STAIN- LESS STEEL	00 VA	50 W	3
⌋	TRANSFORMER	VPRO MODEL: VP-50	STAIN- LESS STEEL			



SCALE
1" = 10'

OLWYN KINGERY
LANDSCAPE DESIGN
P.O. BOX 160
NEWBURY PARK, CALIFORNIA 91319
805.279.9119 VOICE

DATE: 9/16/16
REVISIONS:
PRINT DATE:

CLEMENS
L3 LIGHTING PLAN

CLEMENS RESIDENCE
6105 LAFWORTH DRIVE AGOURA HILLS, CA. 91301
APN # 2055-001-044 PARCEL 3

L3
LIGHTING



Home > Architectural Lanterns > SPJ33-05



SPJ33-05

Scroll Mount

Model:	SPJ33-05
Shown:	Verde / Frosted Seedy
Material:	Solid Brass or Copper
Finish:	Specify
Glass:	Specify
Electrical:	120V
Socket:	(3) Light Candelabra
Engine:	Specify
Mounting:	Scroll Mount

Model	Width	Height	Ext.
SPJ33-05	9-1/2"	26"	12-3/4"

Forever Bright LED and Fluorescent Lamp Option Available

Resources:
[Specification Sheet \(download\) SPJ33-05](#)

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