



PLANNING DEPARTMENT

DATE: January 19, 2017

TO: Planning Commission

APPLICANT: Kamus and Keller for Bruce Albert
31416 Agoura Road
Westlake Village, CA 91362

CASE NOS.: SPR-01285-2016, OAK-01286-2016, LOT-01287-2016, & VAR-01317-2016

LOCATION: 28210 and 28216 Dorothy Drive
(A.P.N. 2061-012-011, -038, & -042)

REQUEST: Request for the Planning Commission to conduct a public hearing to consider approval of: 1) a Site Plan/Architectural Review to allow exterior and related interior improvements to an existing office building development, and modify the site layout to include an adjacent parcel for additional parking; 2) a Lot Merger to merge three (3) parcels; 3) an Oak Tree Permit to remove one (1) on-site oak tree; 4) a Variance from Zoning Ordinance Section 9553.7 to allow reduced percentage of site landscape coverage, from Section 9654.5.B to allow a reduced parking lot landscape coverage, from Section 9654.5.C to allow a reduced percentage of parking lot shade canopy coverage, and from Section 9654.6.B to allow the office use with a parking reduction of eight and a half (8.5) percent; and 5) a request to make a finding of exemption under the California Environmental Quality Act (CEQA).

ENVIRONMENTAL DETERMINATION: Exempt from CEQA per Section 15301 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends approval of Site Plan/Architectural Review Case No. SPR-01285-2016, Oak Tree Permit Case No. OAK-01286-2016, Lot Merger Case No. LOT-01287-2016, and Variance Case No. VAR-01317-2016, subject to conditions and based on the findings of the draft Resolutions.

ZONING DESIGNATION: CRS-FC-OA (Commercial Retail Service-Freeway Corridor and Old Agoura Design Overlay Districts)

GENERAL PLAN
DESIGNATION: CRS – Commercial Retail Service

I. PROJECT DESCRIPTION AND BACKGROUND

The applicant, Cory Anttila of Kamus and Keller, representing the owner Bruce Albert, has submitted a request to undertake Phase II of the remodel of an existing office building complex, including merging three lots, expanding the parking lot, upgrading building accessibility requirements, and updating the exterior design of the buildings. The site is located at the southwest corner of Chesebro Road and Dorothy Drive in the Old Agoura Business Center Area. Two of the lots are occupied by one building each and vehicle parking: 28210 Dorothy Drive and 28216 Dorothy Drive. A pedestrian bridge connects the two buildings. The third, vacant lot has recently been acquired to serve as a parking lot for the office uses.

Phase I of the project consisted of accessibility upgrades and interior improvements for the building at 28216 Dorothy Drive. That phase was reviewed and approved by the Planning Director under a separate Site Plan/Architectural Review (SPR) application (Case No. SPR-01237-2016) in August 2016, and is currently under construction. The purpose of the Phase I application was to upgrade the accessibility routes from the street to the building entrances to meet Building Codes so that the building could be considered a habitable structure. The scope of work was minor, and the phasing of the project remodeling allowed the owner to move his law practice into one of the buildings while the more extensive work of Phase II was being reviewed by the City.

The current project application (Phase II) is to upgrade the accessibility of the building at 28210 Dorothy Drive; conduct exterior design improvements to the buildings at both 28210 and 28216 Dorothy Drive; create a parking lot on the third, vacant parcel; and merge all three lots. The current application is for Site Plan/Architectural Review Case No. SPR-01237-2016. An Oak Tree Permit (Case No. OAK-01286-2016) is required because the necessary grading for the parking lot on the vacant parcel would result in the removal of an oak tree straddling the western property line. A Lot Merger (Case No. LOT-01287-2016) will merge the three lots of the building complex into one. The original use of the site included storage/warehouse space for a publishing company. This use had a minimal parking demand, so that the existing parking spaces were sufficient. With the publishing use now being replaced by a solely office use, additional parking spaces are needed. The applicant has attempted to preserve as many parking stalls as possible while meeting current accessibility requirements, and has acquired a third vacant lot to create another parking lot. The applicant has also provided several on-site for pedestrian seating areas as an amenity. Nonetheless, there are still insufficient spaces to fully comply with the parking demand of the office buildings. The required parking spaces total 114, while 105 are proposed (77 spaces are

currently provided), yielding a shortfall of nine (9) spaces or eight (8) percent. The overall amount of site landscaping is about twelve (12) percent compared to the required 15 percent, a shortfall of twenty-five percent. The amount of landscaping proposed in the parking lot is 12 percent compared to the required 15 percent, a shortfall of twenty-five percent. Lastly, the required shade canopy coverage is 50 percent, while only 25.5 percent is provided. As such, a Variance (Case No. VAR-01317-2016) is required for the four reductions in development standards. Although the request for a parking reduction could be reviewed with a Modification instead of a Variance because the reduction is less than ten (10) percent, it is being reviewed and presented to the Planning Commission as part of the other Variance requests for simplification.

The site is zoned Commercial Retail Service, Freeway Corridor and Old Agoura Design Overlay (CRS-FC-OA). The project site is located in the Old Agoura Business Center Area, which is characterized by a diversity of uses, and form and design of buildings, that reflect the Agoura Hills' history and semi-rural character. Although the property is separated from the edge of the freeway corridor by other developed parcels, it remains highly visible from the freeway, and therefore, the proposed architecture must be of a design that is compatible for commercial buildings located within the corridor.

Below are the existing and proposed development standards for the site:

	Existing	Proposed	Allowed/Required	
			CRS	OA
Lot Size				
Size				
Lot 12	33,110	n/a	10,000	n/a
Lot 11	22,380	n/a	10,000	n/a
Lot 10 (Vacant)	21,180	n/a	10,000	n/a
Total	76,660	76,660	10,000	
Building Height				
	35 ft.	35 ft.	35 ft.	
Building Square Footage				
28210 Building	19,879	19,879	n/a	
28216 Building	14,219	14,219	n/a	
TOTAL	34,098	34,098	n/a	

	Existing	Proposed	Allowed/Required	
			CRS	OA
Lot Coverage				
Lot 12	21%	n/a	60 %	50%
Lot 11	32%	n/a	60%	50%
Lot 10 (Vacant)	0	n/a	60%	50%
TOTAL	n/a	23.2%	60%	50%
Parking				
	77	105	114	
Site Landscape Coverage				
Lot 12	18%			
Lot 11	24.9%			
Lot 10 (Vacant)	n/a			
All 3 lots combined		11.53%	15%	
Parking Landscape Coverage				
Lot 12	10.8%	n/a		
Lot 11	24.9%	n/a		
Lot 10 (Vacant)	n/a	n/a		
All 3 lots combined		12.1%	15%	
Parking Shade Canopy Coverage				
	<50%	25.5%	50%	

II. STAFF ANALYSIS

A. Site Plan and Buildings

The two 35-foot high office buildings total approximately 34,000 square feet on a 76,660 square-foot lot (1.76 acres) upon merger of the three lots. The building at 28210 Dorothy Drive is 19,879 square feet, while the building at 28216 is 14,219 square feet. The project is the largest office complex in the Old Agoura Business Center Area, and a prominent development, as it serves as the gateway to the Old Agoura Business Center Area. The two buildings are linked by a pedestrian bridge. The project includes several areas near the building and parking areas for pedestrian seating as an amenity. Each site consists of surface and covered parking (e.g., "tuck under" parking). The architectural style of the buildings is that of an older generation of office buildings clad with diagonal wood paneling painted a uniform light brown and with wood trims around the windows painted light green. The wood trims are also applied to all the corners of the buildings' elevations. The

buildings' roofs are clad with Spanish tiles and the bridge, stair cases and handrails are all built out of wood as well. In some areas, the wood has deteriorated and needs replacement. New interior work requires new energy efficient systems and handicap accessibility upgrades that connect to the exterior space including the parking lot and public street access. As a result, the applicant has requested to make cosmetic changes to the buildings which would not affect the height, and total square footage of the structures as well as all the required exterior amenities improvements. Accessible ramps and parking spaces would be upgraded to conform to the current Building Code, and the parking lot expanded onto the adjacent vacant lot.

Currently, each office site provides between 32 and 33 percent building site coverage, whereas the OA overlay district permits up to 50 percent, and the CRS zone up to 60 percent. Once merged, the new overall building site coverage would be reduced to 23 percent, consistent with the Zoning Ordinance. In regards to the site landscaping coverage, each lot currently provides between 18 and 25 percent. With the project, the proposed site landscaping coverage would be 12 percent, lower than the minimum required 15 percent for the OA design overlay district, but higher than the minimum required 10 percent for the CRS zone. For parking lot landscape coverage, the project would provide 12 percent, whereas the minimum required for all commercial developments is 15 percent in both the OA design overlay district and CRS zone. The existing parking landscape coverage is 18 percent and 25 percent for each lot.

When considering the buildings as one structure and upon the merger of the lots, the project increases or maintains most of the same setback distances except the front yard setback where an added architectural projection of the east building now reduces the front yard setback slightly from eight (8) feet to six (6) feet. The Old Agoura Overlay district does not include specific setback requirements but the Planning Commission has discretion to determine whether the proposed setback distances are compatible with the Old Agoura Design Guidelines. The projection would not have any impact on the line-of-sight of motorists traveling east on Dorothy Drive and turning right on Chesebro Road or south on Chesebro Road and turning left on Dorothy Drive.

Included in the Phase I remodel was the conversion of a warehouse space on the ground floor of the building at 28216 Dorothy Drive into general office use. The driveway in front of the 28216 Dorothy building, which led to the warehouse space by way of a roll-up door, was removed. In its place would be an accessible ramp from the street to the building entrance with an outdoor pedestrian area, which includes a seating area. The roll up door would be replaced with a window and door. Since the warehouse space is being converted to an office space, there is no need for the roll-up door in the back of the building either, and the door is being replaced by a window and a door as well. In addition, the existing catwalk was approved to be extended and wrap around the 28216 Dorothy Drive building to a new staircase that would bring employees to a future parking lot. The staircase in the rear of the building was also redesigned out of metal instead of wood. The driveway in front of the west building was removed and a switch-back accessible

ramp was built with retaining walls to compensate for the elevation difference between the street and the building pad. In order to screen the ramp retaining walls from the street, a landscape planter was created, which would extend the width of the parcel and provide new landscaping along the frontage. The existing parking spaces in the front yard that were also removed as a result of the construction of the ramp and were added next to the spaces along the driveways. An intermediate design of the parking was approved with the administrative SPR for Phase I and although the upgrade to exterior meet the Building Code requirements, the application of exterior finishes was put on hold until this application is approved.

Phase II of the remodel includes merging a vacant lot to accommodate the expansion of the parking lot. The vacant lot has frontage on Dorothy Drive, and will be developed to provide a new access onto the property. With the addition of the vacant lot, a net of 28 additional parking spaces would be added. Other parking lot improvements include widening a drive aisle in the rear parking lot of the 28216 Dorothy Drive building to a conforming width in order to serve the two-way traffic along with a vehicle access between the existing developed and the new vacant parcel. The new parcel would be graded and paved for new parking spaces. New retaining walls are required to retain the slope in the rear of the lot and to support handrails on the sides of the property. Other exterior improvements include new landscape planters with new planting and parking lot lighting. Pedestrian amenities with new furniture and a shade structure are also being upgraded.

The building related improvements would include upgrading all exterior materials, from an entirely wood clad building to a combination of wood and stucco with metal handrails for the catwalk and staircases. New and replacement windows are also proposed and a new balcony on the west elevation of the building to the west. New wall-mounted fixtures are proposed on the buildings' elevations for safety with the same design as the parking lot light poles. The applicant has provided a photometric plan to show compliance with the maximum one-foot candle illumination requirement at the property line. The fixtures are shielded and not expected to impact adjacent properties. The bronze fixtures have a contemporary design with a very slim structure encapsulating the LED lights that point down for maximum illumination of the grounds. With both phases, the street frontage improvements will eliminate the driveway approach in front of the building to the west and restore it to a sidewalk, curb and gutter to match the existing sidewalk. A driveway approach in front of the vacant parcel already exists so no additional improvements are expected.

B. Architectural Design

The architectural improvements are to modernize the style of the buildings while maintaining an eclectic look that the Old Agoura Design Overlay District promotes. The improvements include removing the wood diagonal siding on the facades and replacing the material with a combination of stucco painted a khaki color and a new synthetic wood finish. New and existing wood trim would be installed around clusters of windows instead of individual windows and painted light grey. The

existing pedestrian bridge would be stuccoed and painted dark grey and the hand rail would be built out of cables and metal brackets. The columns supporting the second floors over the car spaces would be painted in a rust color. The existing Spanish roof tiles would remain and be painted gray.

As for the building at 28210 Dorothy Drive, the front elevation shed roof would be replaced by a flat parapet roof, which emphasizes the front of the building architecture without increasing the overall height of the building and as a result will continue to comply with the maximum allowed height of 35 feet. Wood trims would be removed. Most of the balconies' wood rails would remain and be repainted dark grey with the exception of the balcony wood railing that ties into the pedestrian bridge which would be replaced with metal cables.

For the building at 28216 Dorothy Drive, the same new exterior materials would be applied to the facades, plus new windows would be added on the first and second floors of the building's east and west elevations where solid walls used to be. A glass door would be added to access the catwalk near the pedestrian bridge. The catwalk's wood handrail would be replaced with metal cables. The changes will help the building appear more like an office rather than a warehouse/storage facility, and so be more consistent with the Old Agoura Business Center area neighborhood commercial structures and uses.

The design required review by the Architectural Review Panel prior to being considered by the Planning Commission. The Panel was in support of the changes, and provided some minor suggestions, which the applicant incorporated, such as further continuing the rust color accents to create a more uniform look.

C. Parking

The project was originally built with 45 parking spaces for the 28210 Dorothy Drive building and 32 spaces for the 28216 Dorothy Drive building. Different parking ratios were used for the office use parking demand (one (1) space for every 300 square feet of gross floor area) than for the warehouse use parking demand (one (1) space for the first 5,000 square feet of warehouse gross floor area plus one (1) space for the remainder square footage). Although no new building square footage is being added, the conversion of the warehouse space into office space requires 37 additional parking spaces. To provide the additional number of spaces, the owner acquired the vacant parcel immediately to the west of the site, which totals 21,180 square-feet (0.49 acres) to create another parking lot. The parcel is long and narrow, and presents a challenge to create a parking lot that conforms to Zoning Ordinance standards. The parking lot must provide two-way traffic circulation, and a turn radius that is wide enough for a fire truck to negotiate a turn throughout the entire site, in addition to landscape planters and accessible spaces that require twice the width of a regular space. Given these constraints, the applicant can only provide an additional 28 spaces for a total of 105 spaces on the entire site, instead of the required 114 spaces. This is a shortfall of nine (9) spaces or eight (8) percent. The request is being reviewed under a Variance in connection with the reduced landscaping coverage and shade canopy coverage proposed.

D. Old Agoura Design Overlay District

The Old Agoura Design Overlay District encourages "the broadest possible range of individual and creative design" while meeting a series of standards for commercial properties that include: signage as an integrated architectural feature; screening of equipment; adequate and safe circulation; ADA access to the main entrance; fences and walls finished on both sides; no outdoor display or storage; design in character with Old Agoura; consideration of the relationship between existing and finished grades; lighting deflected from adjacent properties; architectural treatment of all four sides of a structure; materials and colors that harmonize and complement the surrounding natural and built environment; and recommended use of native and drought-resistant plants. The applicant has not yet applied for a sign permit. The owner is interested in naming the building and will be developing a sign program at a later date. The signage can be approved administratively since fewer than five (5) signs would be proposed.

The upgraded mechanical equipment will remain on the roof, and will continue to be screened by the existing shed roof and the new parapet walls. Utility and trash receptacle areas are enclosed in an accessory structure at the rear of the property, to be screened from public view from all around the property.

Once the lots are merged, the access points into the property from Dorothy Drive will be increased from one to two. The second access would directly serve the new parking lot, and provide improved vehicular circulation throughout the site, as the new parking lot would be connected to the other existing parking areas. The site layout eliminates conflicts between pedestrian and vehicular traffic by removing the driveway to the warehouse on the front elevation of the 28216 Dorothy Drive building that once served trucks loading and unloading products from the warehouse, and by replacing it with new accessible ramps strictly reserved for pedestrians. A total of five (5) accessible parking spaces are required to be provided closest to the building entrances, and all are provided per the Building Code. Pedestrians will continue to have access to either building via the existing pedestrian bridge, which is being extended to a new staircase on the west side of the building at 28216 Dorothy Drive to by-pass the center drive-aisle, overall protecting pedestrian circulation.

As one of the goals of the project is to provide accessibility per the ADA, the main entrances of the buildings would be compliant with accessibility requirements. New retaining walls less than 6 feet in height are proposed at the rear of the property to address the grade difference between the site and the adjacent rear parcel (which is also owned by the applicant). The wall would be stuccoed on both sides to match the building. Small walls with handrails are proposed along the western property line and to support the ramps.

New energy efficient light poles would be installed and placed so as to not spill onto adjacent parcels and wall-mounted fixtures to increase safety for the visitors and occupants of both buildings.

The buildings would be occupied by uses that operate strictly within the building envelope and do not require outdoor display or storage.

All building elevations would be architecturally improved for "360 degree" design. The colors proposed are earth tone or muted, with the exception of the rust accent color, which would be used minimally and would create aesthetic interest. The composite wood material is compatible with the surrounding natural and built environment, and the Spanish roof tiles would be painted grey. Although one oak tree is being removed, four more will be planted as part of a new and improved landscaping. The landscape plan incorporates some native species, and Condition 46 has been added to require predominantly native shrubs and other plants in the Final Landscape Plan to maintain a native and drought-tolerant scape as required by the district.

E. Freeway Corridor Overlay District

The purpose of the Freeway Corridor (FC) Overlay is to recognize the importance of the land use, architectural design, and appearance of development within the freeway corridor to the City's image. Projects in the FC are to incorporate naturalistic and native landscaping, particularly oaks; preserve key vistas to the Santa Monica Mountains; screen unsightly uses; exhibit a low intensity development style; convey a high quality image; minimize impacts to sensitive and endangered species; and use compatible colors and materials to preserve and enhance the scenic quality of the freeway corridor. The project would modernize and improve the design and character of the existing buildings, while continuing to maintain a low-intensity development style. The project is below the maximum building coverage allowed, and there would be no change in the building footprint. The building height of 35 feet and the building massing would remain with the improvements. As the building height and massing would not be altered, the project would not obscure views to the Santa Monica Mountains. The project includes oak trees in the Landscape Plan, and upon implementation of Condition 46, the majority of the plants and trees on-site would be native. Since the site is mostly developed and the vacant parcel is an urban infill lot, no sensitive or endangered species are anticipated. Most of the parking area is screened by the building and by a wall. The building colors are compatible with the surrounding area; they offer more contrast and a distinct architectural identity which would improve upon the appearance of the area from the freeway corridor. The composite wood material to be added to the buildings provides a more rustic treatment, compatible with Old Agoura and the Freeway Corridor. Trash receptacles are within a fully closed structure at the rear of the lot, and the roof equipment is screened by shed roofs and parapet walls.

F. Homeowners Association

The Old Agoura Homeowners Association reviewed the proposed changes and is favorable toward the project. The HOA suggested a more contemporary roof material in lieu of the Spanish tile. However, the applicant prefers to keep the tile roof, which will be painted gray. The HOA also recommended that the pedestrian

bridge be clad so that the uneven level (at a slight slope) appears even. The applicant proposes to stucco the bridge to achieve a level appearance.

G. Oak Trees

The applicant has submitted an Oak Tree Report which indicates that three (3) oak trees are on the site (all three properties), with two (2) located in the rear of each building and one (1) straddling the western property line of the currently vacant lot. The applicant is asking to remove that tree as a result of the grading that will raise the elevation of the lot and greatly impact the tree. Per the City Oak Tree Preservation Guidelines, the applicant is required to mitigate the loss of the tree by planting new Coast Live Oaks at a four (4) to one (1) ratio (one (1) 36-inch and three (3) 24-inch box size). The mitigation oak trees have been incorporated into the Landscape Plan, as well as an additional four (4) 24-inch oak trees.

H. Landscaping

The project proposes approximately 12 percent of the site as landscaping, as compared to the required minimum 15 percent. The project proposes a total landscaping coverage in the parking areas of 12 percent, compared to the required 15 percent. Currently, the amount of landscaping for the lot located at 28210 Dorothy Drive is 18 and the amount of landscaping for the lot located at 28216 Dorothy Drive is 25 percent. Furthermore, the amount of parking lot landscaping on the sites is 11 and 25 percent respectively. Therefore, there would be a shortage of landscaping as part of Phase II. To create more landscaped areas parking spaces would be lost. The project proposes less than the required number of parking spaces, and so any loss of stalls would further contribute to the deficiency of parking. Similarly, the vacant lot is proposed for a new parking lot, which would still not provide the required number of stalls per the Zoning Ordinance. Increasing the amount of landscaping in the new lot would necessitate removal of stalls. The project also falls short of the required 50 percent shade canopy coverage. A total 25.5 percent is proposed; in order to meet the full 50 percent standard, parking stalls would need to be removed.

Therefore, as previously noted, the applicant has applied for a Variance to reduce the site landscape coverage, the parking lot landscape coverage, and a shade canopy coverage.

The Landscape Plan incorporates oak, sycamore, and crape myrtle trees along with new shrubs and ground covers that are mostly ornamental and non-native. As previously noted, Condition 46 has been incorporated to ensure that the majority of species are native as part of the Final Landscape Plan.

I. Variance Summary

The applicant is requesting a Variance from Zoning Ordinance Section 9553.7 to provide 12.1 percent of site landscape coverage versus 15 percent required; from Section 9654.5.B to provide 12 percent of parking landscape coverage versus 15

percent required); from Section 9654.5.C to provide 25.5 percent parking lot shade canopy coverage compared to the 50 percent required); and from Section 9654.6.B to allow an eight and a half (8.5) percent reduction in parking (114 spaces required versus 105 provided).

The two lots that contain the office buildings are existing developments, and no additional square footage is proposed as part of the project. Currently, there are sufficient parking spaces for the types of uses that had been located here, warehousing and office. Warehousing is not an allowed use in the Old Agoura Design Overlay District. Since the warehouse use is being replaced by solely office use, which is compatible with the district, the new business requires additional parking spaces. To create additional spaces, the applicant acquired the vacant lot adjacent to the office buildings on the west, and proposes to create a parking lot. Given the vacant lot's narrow and long dimensions, as previously noted in this report, there is an added challenge in constructing parking stalls. Additionally, the lot must meet the development and landscaping standards of the Zoning Ordinance. Consequently, the applicant proposes to meet some of the parking requirement and some of the landscape requirements, but is not able to meet all of the standards. Overall, the project is a benefit to the neighborhood, as it would improve the aesthetics of the area through attractive architectural treatments and landscaping, would not increase the amount of development, and would ensure a land use that is allowed in the zoning district. The site consists primarily of an existing development with limited land to accommodate additional parking and landscaping. Lastly, the applicant has made a significant effort to create more parking by acquiring a vacant parcel to build a parking lot, yet while the lot offers a substantial number of stalls, the additional lot cannot meet all of the parking and landscaping requirements due to its constrained size and configuration.

The reduction in landscaping and shade canopy coverage do not adversely impact the public health and safety. Landscaping and shade coverage would be provided, but in a lesser amount. The reduction in parking would also not adversely affect public health and safety, as the majority of required spaces would be provided. The parking areas would meet City and County Fire Department design requirements for stall dimensions, aisle widths, turning radii and access. The overall coverage of these public areas represents 3,800 square feet, which complement the outdoor open space but cannot be counted toward landscaping coverage.

The specific Variance findings are provided in the attached draft resolution.

J. General Plan Consistency

Staff finds the project will be consistent with the following applicable General Plan goals and policies.

Goal LU-4. City Form and Structure. Structure and form of development that respects Agoura Hills' natural setting; maintains distinct and interconnected places

for residents to live, shop, work and play; and is more compact to reduce automobile dependence.

- *Policy LU-4.6 Building Scale and Design.* Encourage development of buildings and exterior spaces that are of human scale and encourage pedestrian activity, and discourage structures that do not relate to exterior spaces and designs that do not consider such features.

The project complies with Goal LU-4 in that the size of the building does not increase while the lot size increases reducing the lot coverage and the density of development as required in the rustic community. Not only does the project upgrade the accessibility to physically challenged users, it also expands on the pedestrian amenities with the intent to attract tenants and provide additional pedestrian safety. More outdoor spaces and separated paths are created to serve each building equally.

Goal LU-30 Historic Business Center. A distinct district characterized by its diversity of uses and form, scale, and design of buildings and landscapes that reflect Agoura Hills' history of semi-rural character.

- *Policy LU- 30.2 Identity and Character.* Require that new and upgraded development reflects Old Agoura's history and character, as specified by guidelines for site development, architecture, and public streetscapes.

The project complies with Goal LU-30 in that the eclectic design blends with the surrounding styles and the site development promotes pedestrian access and circulation. The building style creates an identity for the Old Agoura Business district and an example of what is required in the area. The parking lot is screened from the intersection and emphasis is given to an aesthetically pleasing entry and streetscape. Landscaped areas are maintained and replanted with drought tolerant material along the Chesebro Road frontage and wraps around the property in front of the eastern building to screen the accessible ramps. In place of a driveway, a new landscape planter is created along Dorothy Drive in the front of the western building. The planting will serve to screen the ramps and buildings. The new driveway is placed the furthest from the intersection and the western building will screen the additional parking.

Goal ED-1 A strong, and sustainable economic base that supports continued growth in the City revenues.

- *Policy ED-1.2 Business Attraction and Retention.* Promote the retention of existing and attraction of new commercial, office, research and development and light industrial businesses and afford opportunities for their growth and expansion through the designation of sufficient land use capacity and economic development incentives.

The project complies with Goal ED-1 will encourage the more efficient use of the interior space to provide more jobs and promote economic development. The project is the largest office complex in the Old Agoura Business Center Area, and a prominent development, as it serves as the gateway to the Old Agoura Business Center Area and will encourage future development of the vacant parcels surrounding it as well as older structures in the same neighborhood.

K. Environmental Review

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorical Exempt from CEQA per CEQA Guidelines Section 15301. This exemption includes the repair, maintenance, permitting, or minor alteration of existing private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing, and minor additions to structures. No significant environmental impacts are expected from the remodeling of this office development and lot merger. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

III. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Case No. SPR-01285-2016, OAK-01286-2016, LOT-01287-2016, & VAR-01317-2016, subject to conditions and based on the findings of the attached draft Resolutions.

IV. ATTACHMENTS

1. Draft Resolution for the Site Plan/Architectural Review and Oak Tree Permit with Exhibit A for the Conditions of Approval
2. Draft Resolution for the Variance Request with Exhibit A for the Conditions of Approval
3. Draft Resolution for the Lot Merger (with Exhibit A for the Conditions of Approval)
4. Vicinity Map
5. Reduced Architectural, Landscape, and Civil Plans
6. Photographs of the Site

Case Planner: Valerie Darbouze

RESOLUTION NO. 17-___

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01285-2016 AND OAK TREE PERMIT CASE NO. OAK-01286-2016 FOR THE REMODELING OF AN EXISTING OFFICE DEVELOPMENT LOCATED AT 28210 AND 28216 DOROTHY DRIVE; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Kamus and Keller for Bruce Albert, with respect to the real property located at 28210 and 28216 Dorothy Drive (Assessor's Parcel Nos. 2061-012-011, -038, and -042), requesting approval of a Site Plan/Architectural Review to remodel an office development and site layout modifications; and a request for an Oak Tree Permit to remove one (1) on-site oak tree (the "Project").

Section II. The Project is a request to remodel two office buildings and site layout, and is exempt from the California Environmental Quality Act (CEQA); per CEQA Guidelines Section 15301 (Existing Facilities), which includes the repair, maintenance, permitting, or minor alteration of existing private structures, facilities, mechanical equipment, or topographical features involving negligible or no expansion of use beyond that existing, and minor additions to structures. The Project would not result in significant impacts to the environment. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c), which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the applications at a public hearing held on January 19, 2017 at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Site Plan Review. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9677.5 of the Agoura Hills Zoning Ordinance, that:

A. The proposed use, as conditioned, is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located, and will comply with each of the applicable provisions of the Zoning Ordinance. The property designation allows for the development of an office use and its remodeling and complies with the requirements of the Commercial Retail Service (CRS), and Freeway Corridor (FC) and Old Agoura Design Overlay (OA) Districts relative to use, lot coverage, height, setback, access, circulation, and other public amenities.

B. The proposed use, as conditioned, and the manner in which it will be operated or maintained, will not be detrimental to the public health, safety, or general welfare. The buildings will be remodeled to comply with the most recent Building Code requirements. The proposed use is subject to the Zoning Ordinance standards with respect to noise, light, and operational standards. Access in and out of the site is designed to maximize safety in the right-of-way. The architectural improvements of the buildings will preserve light, air, and privacy of the adjacent uses in that the new lot that is being added to the project and that will be used for a parking lot will increase side yard setback and provide greater separation between the existing building and future buildings on adjacent parcels.

C. The proposed use, as conditioned, will not conflict with the character and design of the buildings and surrounding area, and is compatible with the surrounding properties. The design of the proposed development will provide a desirable environment for its occupants, as well as for its neighbors. The office remodeling is aesthetically of good composition, materials, textures, and colors. The Project is compatible with the City's low intensity development style due to the merging of three lots, which allows the building site coverage to remain below the maximum allowed building coverage and to incorporate landscaped areas and public amenities into the site plan. The Project design successfully incorporates the structures with a mix of on-site pedestrian and vehicle zones.

D. The proposed use, as conditioned, will comply with each of the applicable regulatory provisions of the Zoning Ordinance. The future tenants of this property that are permitted in the CRS-FC-OA, specifically in the Old Agoura Business Center Area and their business operations will remain indoors. The building coverage will be lower than required (23 percent). The proposed yard setbacks are acceptable for the OA district. The building height will remain at 35 feet, consistent with the CRS and OA district requirements. The low building coverage allows for pedestrian amenities, such as outdoor resting areas and separated paths. Parking is provided on-site in proximity to the buildings.

E. The Project, as conditioned, is consistent with the City's General Plan Goal LU-4, Policy LU-4.6, Goal LU-30, Policy LU-30.2, Goal ED-1, and Policy ED-1.2. The Project involves remodeling two smaller buildings connected by a pedestrian bridge. The Project maintains the human scale of the commercial use by not increasing the building height or lot coverage in keeping with Old Agoura's history and character. The architectural design and colors and materials will be consistent with the surrounding built and natural environment with mostly muted colors with a rust hue accent, and composite wood treatment along with the light colored stucco. The renovation of the buildings and site will serve to upgrade the character of the neighborhood and provide a modernized facility for office

development and potential economic growth. The Project increases the number of outdoor pedestrian amenities including outside eating and resting areas and separated walking paths. The street scape is improved by additional landscaping and pedestrian access.

F. The Project, as conditioned, preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The development will be an aesthetic improvement of the district and will act as the gateway to the Old Agoura Business Center Area with its attractive design and architectural style that exhibits natural or muted colors with a brighter accent, and simple decorative features. The Project's site design is consistent with the Zoning District standards, particularly with regard to the pedestrian amenities, which include outdoor seating and protected pedestrian paths. The Project will continue to be lower scale in terms of lot coverage, consistent with the low-intensity development encouraged in this area of the City and near open space areas.

Section VI. Architectural Review. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9677.7.G. of the Agoura Hills Zoning Ordinance, that:

A. The Project, as conditioned, is consistent with the City's General Plan Goal LU-4, Policy LU-4.6, Goal LU-30, Policy LU-30.2, Goal ED-1, and Policy ED-1.2 in that the existing buildings respected the surrounding topography and the Project continues that trend. The Project was built with two smaller buildings connected by a bridge, which maintains the human scale of the commercial use and provides multiple outdoor pedestrian amenities, in keeping with the Old Agoura's history and character. The remodeled building and enlarged parcel will promote the retention of existing and attract new commercial, office, research and development and afford opportunities for their growth. The Project provides employment opportunities for a variety of commercial uses.

B. The design and location of the development and proposed improvements, as conditioned, and their relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood; will not unreasonably interfere with the use and enjoyment of existing developments in the vicinity thereof; and will not create traffic hazards or congestion. The addition of a third lot to be used for parking provides for improved vehicle circulation on-site since the new lot would connect with the existing parking areas. It will also provide a second vehicle entry from Dorothy Drive, and the two ingress/egress points from Dorothy Drive will minimize vehicle back up and overflow onto Dorothy Drive. The site safely separates pedestrian and vehicular circulation by creating a catwalk over a driveway and around a building to connect to additional parking spaces

C. The proposed use, as conditioned, is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of the City. As conditioned, the project layout blends in with the surrounding development and open space environment in terms of scale and intensity of development preservation of views and hillsides, and use of native landscaping. The proposed building remodel and site design are

attractive and reflect Agoura Hills' eclectic style, natural or muted colors with one brighter accent color, and low-profile development in terms of height and building lot coverage. The modernization of the buildings will improve the character of the area. Access to the site via two driveways helps divide the traffic circulation in and out of the site. The development will improve the unused adjacent parcel as a parking lot and provide an opportunity for additional landscaping.

D. The design of the proposed development, as conditioned, provides a desirable environment for its occupants, as well as for the Project's neighbors, because the Project is aesthetically of good composition, materials, textures, and colors. The buildings blend with the newer and older adjacent buildings mostly occupied by office uses, and with the overall image of the City, especially in Old Agoura and the freeway corridor. The Project is compatible with the City's low-intensity development style with a low building coverage; and the Project would not increase the buildings' height. The Project provides attractive design features, landscaping, and pedestrian amenities, such as seating areas. The parking associated with the uses is all contained on the property and adjacent to the buildings.

E. The Project, as conditioned, complies with all applicable requirements of the district, including those pertaining to height, setbacks, and building coverage in which it is located. Office uses are permitted in the CRS-FC-OA zones.

F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare. The building will be remodeled to comply with the most recent Building Code requirements, including those for accessibility. The driveways and distribution of the parking are designed to limit conflicts between pedestrian and vehicles by separating pedestrian access from vehicular access in the way of a catwalk and accessible paths, and providing multiple ingress and egress points. The access in and out of the site maximizes safety in the right-of-way by spreading the number of vehicles over two possible access points and minimizing the potential stacking of vehicles in the right-of-way and impacts to street traffic.

Section VII. Freeway Corridor Overlay. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds pursuant to Section 9541.1 of the Agoura Hills Zoning Ordinance, that:

The purpose of the Freeway Corridor (FC) Overlay district is to recognize the importance of the land use, architectural design, and appearance of development within the freeway corridor to the City's image. Projects in the FC shall incorporate naturalistic and native landscaping, particularly oaks; preserve key vistas to the Santa Monica Mountains; screen unsightly uses; exhibit a low intensity and semi-rural development style; convey a high quality image; and use compatible colors and materials to preserve and enhance the scenic quality of the freeway corridor. Per the FC Overlay, the Project is consistent with the City's semi-rural character and does not overwhelm the City's low-intensity development style. The Project, which is below the maximum building site coverage allowed (about 23 percent versus 50 percent), is proposed to be developed on a larger site that allows for ample space between on- and off-site structures. The Project preserves the views of Ladyface Mountain

and the Santa Monica Mountains. The buildings setback does not change from all the property lines at the exception of the front as a result of the minor architectural feature serving to protect the front door from the element. The site design maintains a substantial setback distance between the building and property boundaries so as to minimize impacts on future developments on adjacent parcels. The landscaping compliments the natural setting of the region. The Project includes four (4) oak trees in the Landscape Plan, which are mitigation replacement trees. The Project, as conditioned, will incorporate a majority of native tree and plant species, including oak trees. The site layout, is improved. Trash enclosure is an actual building and will be remodeled to match the buildings style. The retaining wall will be lower than the maximum six-foot requirement of the Municipal Code, would not be widely visible from the freeway corridor either because they are perpendicular to the freeway, screened by landscaping, and/or at a considerable distance from the freeway travel lanes. The proposed landscaping further screens the development. The Project has an attractive parking lot layout some of which is under the buildings second floor or behind the buildings. The most distant parking spaces would be reserved for employees and the closest to the entrances and street would be for the customers. Pedestrian access into the buildings is provided in several locations to facilitate access into the buildings. The high quality image of the City, particularly along the freeway corridor, is preserved in that the buildings contain natural and subdued colors, an eclectic style of architecture to revive the commercial development style since many of the adjacent buildings were constructed at different type periods. The new design provides a lot more architectural articulation with a new balcony, upgraded stair cases, various roof lines and variation of materials and colors on all sides of the buildings. The height and leasable footprint of the buildings will not change, therefore the visual impacts from the building massing along the freeway, and Dorothy Drive will not change.

Section VIII. Oak Tree Permit. The Planning Commission finds pursuant to Municipal Code Section 9657.5.C. that the removal of one (1) oak tree straddling the western property line is required due to grading of the parking lot. The removal of the Coast Live Oak tree requires four (4) new mitigation oak trees per the requirements of the City's Oak Tree Preservation Guidelines. The new oak trees will help preserve the rustic character of the community and complement the nearby open space and natural areas in the Santa Monica Mountain Mountains foothills. The other two (2) on-site oak trees will be protected per the requirements of the City Oak Tree Preservation Guidelines during the construction phase, and have been made conditions of approval. Keeping the tree would increase the parking shortfall even more, and given that the tree straddles the property line, impacts related to development from both parcels would most likely affects its health and increase liability.

Section IX. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. SPR-01285-2016, and Oak Tree Permit Case No. OAK-01286-2016, subject to the conditions of approval, attached herein as Exhibit A, with respect to the property described in Section I hereof.

Section X. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 19th day of January, 2017, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

Curtis Zacuto, Chairperson

ATTEST

Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case Nos. SPR-01285-2016 & OAK-01286-1286-2016)

PLANNING DEPARTMENT CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of action, subject to filing appropriate forms and related fees.
2. The approval of these permits shall not be effective for any purpose until the applicant/property owner has agreed in writing that he is aware of, and accepts, all conditions of these permits with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete confirmation with the approved Architectural Plans.
4. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted herein shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permits shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the permits or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Planning Director.
9. The applicant shall obtain all required construction permits from the Department of Building and Safety.
10. Unless this permit is used within two (2) years from the date of approval, Case Nos. SPR-01285-2016 and Oak-01286-2016 shall expire. A written request for a one (1) year extension may be considered prior to the expiration date.
11. The applicant shall pay to the City the applicable fees owed to the City for the purposes of this application prior to review of any plans for plan check by the Building and Safety Department.

12. No construction work or repair work shall be performed outside the hours of 7:00 a.m. to 7:00 p.m. or any Sunday or Holiday.
13. The Final Landscape Plan shall incorporate a majority of native and drought-tolerant species to the satisfaction of the Planning Director.
14. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this Condition.
15. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, and employees from and against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter.

PUBLIC WORKS/ENGINEERING DEPARTMENT CONDITIONS

16. Prior to permitting, this project shall be required to process a lot line adjustment.
17. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
18. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of any permits, all improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc. shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
19. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those

- monuments per City's Standards and file the necessary information with the County Recorder's office.
20. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
 21. The grading plan shall show location(s) of all oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
 22. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
 23. Prior to the approval of the Grading Plan and issuance of Grading Permit, a completed Low Impact Development (LID) Plan shall be submitted to, and approved by the Engineering Department. The LID Plan shall comply with the requirements of the LID Ordinance and Los Angeles County LID Standards Manual. The LID Plan shall include the following information:
 - a) Identification of whether the proposed project is a Designated or Non-Designated Project.
 - b) If the proposed project is a Designated Project, identification of the project category.
 - c) Feasibility of infiltration including a percolation report as part of a geotechnical report prepared by a geotechnical engineer.
 - d) Source control measure(s) proposed to be implemented.
 - e) Calculation of the SWQDv.
 - f) Discussion on whether stormwater runoff harvest and use is feasible.
 - g) Stormwater quality control measure(s) proposed to be implemented.
 - h) Discussion of how the applicable water quality standards and total maximum daily loads (TMDLs) will be addressed (off-site mitigation projects only).
 - i) Proposed hydromodification controls and calculations (if necessary).
 - j) Proposed maintenance plan (if necessary).

24. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a) Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b) Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c) Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d) Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
25. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm Water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm Water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
26. Prior to issuance of Certificate of Occupancy, all remaining fees/ deposits required by the Engineering Department must be paid in full.
27. Prior to issuance of Certificate of Occupancy, all requirements including construction of public improvements must be completed to the satisfaction of the City Engineer.
28. Prior to issuance of Certificate of Occupancy, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final

inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.

29. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
30. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

31. All exterior materials used for eaves, sidings, porch, patio, decks, canopies, carports and other similar structures must meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code.
32. This project shall be subject to the 2016 California Building, Mechanical, Plumbing, Electrical, Energy, Green Building Codes and the Agoura Hills Municipal Code.
33. Los Angeles County Fire Department review and approval will be required for the project prior to the issuance of a Building Permit.
34. Las Virgenes Municipal Water District approval will be required prior to the issuance of a Building Permit.
35. Accessible path of travel must be provided from building entrance to all other parts of the building including offices, bathrooms, accessible parking stalls, elevator and all other common areas.
36. Detectable warnings must be provided at all curb ramps, zero-curb areas and/or locations where you are entering a vehicular area.

LANDSCAPE AND IRRIGATION CONDITIONS

37. The Final Landscape Plans shall substantially conform to the Landscape Plan prepared by Landmark Design, Landscape Architecture Dated 1-3-17 as approved by the City of Agoura Hills Planning Commission.

38. Prior to the approval of a grading permit, the applicant shall submit three (3) sets of Final Landscape and Irrigation Plans for review by the City Landscape Consultant and approval by the Planning Director. A California – licensed Landscape Architect shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans. The Landscape and Irrigation Plan shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.
39. Planting Plans shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees and shrubs shall be as indicated on the plan dated 1-3-17. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
40. The Final Landscape Plans shall include the following notes:
 - a) The project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans.
 - b) Identification of the total square footage of the landscape area within the project.
41. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
42. With the Final Landscape Plans, three (3) copies of planting and irrigation details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, instillation details and post installation maintenance.
43. The approved landscaping shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
44. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
45. Landscaping and irrigation installation shall be subject to inspection and approval by the Planning Department prior to final building permit inspection.

46. The final landscape plans shall increase the number of native and drought-tolerant plants.

OAK TREE CONDITIONS

47. A total of four coast live oak trees obtained from a local nursery shall be planted onsite to mitigate the removal of tree #1. This shall include one 36" box, two 24" box and one 15-gallon coast live oak trees. The locations of the mitigation oak trees shall be approved by the City's Oak Tree Consultant and shall be depicted on the project Site Plans. Mitigation trees shall be maintained in perpetuity by the property owner. The mitigation trees shall be planted at the time of site development. The property owner shall be responsible for replacing any mitigation tree that dies or is in severe decline during the normal lifespan of the tree.
48. All oak trees located on the property that would be encroached or otherwise avoided shall be preserved in perpetuity.
49. An Oak Tree Permit Application and associated fees shall be submitted to the city, and approved, prior to the initiation of any ground disturbance activities.
50. All new subsurface ground disturbance that will occur within the protective zone of an oak tree shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant. If vegetation clearing or grading is not feasible within the protective zone with the use of hand tools, mechanical equipment may be allowed so long as a certified arborist is present to ensure that no impacts occur to the oak tree and to prescribe measures for significantly impacting the tree's root system.
51. Prior to the start of any work or mobilization at the site, protective fencing shall be installed at the limits of the protective zone of oak trees located on the site. The applicant or their consulting arborist shall consult the City's Oak Tree Consultant to determine the exact fencing configuration and appropriate fencing material, and submit a fencing plan subject to approval by the City's Oak Tree Consultant.
52. The applicant shall provide a minimum of 48 hours' notice to the City Oak Tree Consultant prior to the start of approved work within the protected zone of any oak tree.
53. No grading, scarifying or other soil disturbance shall be permitted within the portion of the protected zone of any oak tree except as specifically required to complete the approved scope of work and in accordance with this oak tree permit.

54. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
55. No irrigation or ground cover shall be installed within the Protective Zone of any oak tree unless specifically approved by the City Oak Tree Consultant and the Planning Director.
56. Prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
57. No pruning of live wood of an oak tree (including branches and roots) shall be permitted unless specifically authorized by the City Oak Tree Consultant and/or following an approved oak tree permit. Any authorized pruning shall be performed by a qualified arborist under the direct observation of the applicant's oak tree consultant. All pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.
58. No herbicides shall be used within 100 feet of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.

SOLID WASTE MANAGEMENT CONDITIONS

59. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
60. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a

Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

61. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

RESOLUTION NO. 17-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING VARIANCE REQUEST CASE NO. VAR-01317-2016 TO REDUCE THE OVERALL SITE LANDSCAPE, PARKING LOT LANDSCAPE COVERAGE, AND SHADE CANOPY COVERAGE, AND REDUCE THE PARKING REQUIREMENT FOR THE PROJECT LOCATED AT 28210 AND 28216 DOROTHY DRIVE.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Kamus and Keller for Bruce Albert, with respect to the real property located at 28210 and 28216 Dorothy Drive (Assessor Parcel Nos. 2061-012, 011, -038, and -042), requesting approval of a Variance Case No. VAR-01317-2016 to reduce the site landscape coverage from the required 15 percent to 12 percent, the parking lot landscape coverage from the required 15 percent to 12 percent, and shade canopy coverage requirement of 50 percent to 25.5 percent; and the required parking spaces by eight and a half (8.5) percent from 114 required to 105 proposed as specified in Sections 9553.7, 9654.5.B and C, and 9654.6.B of the Agoura Hills Zoning Ordinance for the Bruce Albert Project (the "Project").

Section II. The project is a request to remodel two office buildings and site layout, and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15301 (Existing Facilities), which includes the repair, maintenance, permitting, or minor alteration of existing private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing, and minor additions to structures. The project would not result in significant impacts to the environment. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c), which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the application at a public hearing held on January 19, 2107, at 6:30 p.m. in the Council Chambers, City Hall, at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Sections 9553.7, 9654.5.B and C of the Agoura Hills Municipal Code, pertaining to landscaping, that:

A. There are special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, in which the strict application of the Zoning Ordinance would deprive such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. The subject property contains two buildings that have been used most recently for a combination of offices and a warehouse. The warehouse use, which is proposed to be replaced by a solely office use, is not an allowed use in the zoning district. However, with the current combination of office and warehouse use, the parking demand is met on-site since the required parking for warehouse is less than for office. The project proposes no addition to the square footage of the existing buildings and so would not increase the demand for parking due to a larger use area; however, reverting to a solely office use, consistent with the zone, increases the parking demand, leaving the project short of parking stalls. The applicant proposes to construct a new parking lot on a vacant lot adjacent to the western border of the project site, and merge all three lots to plan for the site as a whole, contiguous development. The lot is narrow and long, and is not easily converted to a parking lot when considering the need for fire truck access and turn-around and the topographic changes between the existing developed lot and the vacant lot. The Zoning Ordinance standards for parking lots require landscaping planters and shade canopy coverage, which take space away from potential parking. The applicant is attempting to provide as many parking stalls as possible to get close to the required Zoning Ordinance amount, while also providing landscaping throughout the parking lot. However, given the existing size and configuration of the buildings and the change in land use to one of a higher parking demand, as well as the site limitations of the new parking lot parcel, the project cannot meet all of the parking and landscape standards. Absent approval of the Variance, the project would be required to provide additional landscaping that would reduce the number of parking spaces currently proposed, which are already below the standard amount.

B. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone. The commercial properties on Dorothy Drive and Agoura Road within the Old Agoura Business Center Area have similar development standards and have been challenged with balancing landscaping, parking and vehicle access demands, given the older buildings and smaller lot sizes compared to other commercial areas of the City. The project remodel is an opportunity to rejuvenate the existing commercial site with new and healthier landscaping. The applicant has acquired a vacant parcel in order to construct a parking lot and landscaping in an effort to closer meet Zoning Ordinance standards.

C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The applicant has acquired an adjacent vacant parcel to construct additional parking and landscaping, as the change in use from

office/warehouse to a solely office development, while bringing the property into compliance with the allowed uses in the Old Agoura Design Overlay District and Business Center Area, results in additional demand for parking spaces. The applicant is not increasing the amount of square footage of development. Without the Variance approval, the applicant would either have to demolish portions of the existing buildings, maintain the existing non-conforming warehouse land use, remove the proposed pedestrian seating areas, and/or provide the required landscaping to the detriment of parking availability. Rather than requesting a more significant Variance from just the landscaping requirements or just the parking requirements, the applicant is requesting a Variance from both sets of standards and providing a compromise between partially meeting parking and landscaping requirements, while providing desirable pedestrian amenities.

D. The granting of the Variance will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements of the aesthetic value in the vicinity. The new parking layout will provide adequate size parking spaces and aisle widths, and will comply with the Los Angeles County Fire Department requirements for access. Landscaping will be provided throughout the site, including parking areas. While the amount of landscaping would not be provided to the extent called for in the Zoning Ordinance, it would nonetheless contribute to the aesthetic value of the property and surrounding area.

E. The granting of the Variance will be consistent with the character of the surrounding area. The project complies with and/or provides development characteristics that are appropriate for the Old Agoura Design Overlay District, Freeway Corridor Overlay District, and the CRS District. Despite a reduction in the required site landscaping, the project would provide new, attractive, native and drought-tolerant landscaping throughout the site, including the parking areas, as well as pedestrian amenities like seating areas. The new landscaping and pedestrian amenities would be an improvement to the neighborhood, as the project seeks to renovate and modernize the site.

Section VI. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9654.6.B of the Agoura Hills Municipal Code pertaining to parking, that:

A. There are special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, in which the strict application of the Zoning Ordinance would deprive such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. The subject property contains two buildings that have been used most recently for a combination of offices and a warehouse. The warehouse use, which is proposed to be replaced by a solely office use, is not an allowed use in the zoning district. However, with the current combination of office and warehouse use, the parking demand is met on-site since the required parking for warehouse is less than for office. The project proposes no addition to the square footage of the existing buildings and so would not increase the demand for parking due to a larger use area; however, reverting to a solely office use, consistent with the zone, increases the parking demand, leaving the project short of parking stalls. The applicant proposes to construct a new parking lot on a vacant lot adjacent to the western border of the project

site, and merge all three lots to plan for the site as a whole, contiguous development. The lot is narrow and long, and is not easily converted to a parking lot when considering the need for fire truck access and turnaround and the topographic changes between the existing lot elevation and the current lot. Zoning Ordinance standards for parking lots require landscaping planters and shade canopy coverage, which take space away from potential parking. The applicant is attempting to provide as many parking stalls as possible to get close to the required Zoning Ordinance amount, while also providing landscaping throughout the parking lot. However, given the existing size and configuration of the buildings and the change in land use to one of a higher parking demand, as well as the site limitations of the new parking lot parcel, the project cannot meet all of the parking and landscape standards. Absent approval of the Variance, the project would be required to provide additional parking to the detriment of landscaped areas. Even with the elimination of landscaping, the full amount of parking spaces may not be feasible on the vacant lot due to the site size and dimensions and Fire Department access requirements.

B. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone. The commercial properties on Dorothy Drive and Agoura Road within the Old Agoura Business Center Area have similar development standards and have been challenged with balancing landscaping, parking and vehicle access demands, given the older buildings and smaller lot sizes compared to other commercial areas of the City. The project remodel is an opportunity to rejuvenate the existing commercial site and make the land use compliant with the allowed uses in the district. The applicant has acquired a vacant parcel in order to construct a parking lot, as well as complementary landscaping, in an effort to closer meet Zoning Ordinance standards. Other existing developments in the area are below parking supply standards based on the land use parking ratios, but have not proposed to improve the property and possibly require consideration of a Variance.

C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The applicant has acquired an adjacent vacant parcel to construct additional parking and landscaping, as the change in use from office/warehouse to a solely office development, while bringing the property into compliance with the allowed uses in the Old Agoura Design Overlay District and Business Center Area, results in additional demand for parking spaces. The applicant is not increasing the amount of square footage of development. Without the Variance approval, the applicant would either have to demolish portions of the existing buildings, maintain the existing non-conforming warehouse land use, remove the proposed pedestrian seating areas, and/or provide the required landscaping to the detriment of parking availability. Rather than request a more significant Variance from just the landscaping requirements or just the parking requirements, the applicant is requesting a Variance from both sets of standards and providing a compromise between partially meeting parking and landscaping requirements, while providing desirable pedestrian amenities. Without the Variance for parking, the owner could not improve the property to meet the City and outside agencies' minimum requirements for safety and to provide for desired quality office space.

D. The granting of the Variance will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements of the aesthetic value in the vicinity. The new parking layout will provide adequate size parking spaces, aisle widths and turning radii, and will comply with the Los Angeles County Fire Department requirements for access. Landscaping will be provided in the parking areas. While the amount of landscaping would not be provided to the extent called for in the Zoning Ordinance, it would nonetheless contribute to the aesthetic value of the property and surrounding area.

E. The granting of the Variance will be consistent with the character of the surrounding area. The project proposed development characteristics comply with and/or are reasonable for the Old Agoura Design Overlay District, Freeway Corridor Overlay District, and the CRS District. Many commercial properties in the OA district only have one driveway and substandard parking space size and aisle widths, unlike the proposed project, and some are under-parked in comparison to the Zoning Ordinance standards. Providing additional parking spaces with this project, even at a number less than the standard, would be a benefit to the site and surrounding area.

Section VII. Based on the aforementioned findings, the Planning Commission hereby approves Variance Case No. VAR-01317-2016, subject to the conditions of approval, attached herein as Exhibit A, with respect to the property described in Section I hereof.

Section VIII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 19th day of January, 2017, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

Curtis Zacuto, Chairperson

Doug Hooper, Secretary

Exhibit A
CONDITIONS OF APPROVAL
(Case No. VAR-01317-2016)

1. his decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all conditions of this action with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the conditions of approval.
4. It is hereby declared to be the intent that if any provision of this action is held or declared to be invalid, the approval shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a condition of this action that if any condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. Unless the approval is used within two (2) years from the date of City approval, Case No VAR-01317-2016 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
7. Variance Case No. VAR-01317-2016 is valid only in conjunction with Site Plan/Architectural Review Case No. SPR-01285-2016, Oak Tree Permit Case No. OAK-01286-2016 and Lot Merger, LOT-01287-2016, and the approved conditions of approval therein.
8. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought up against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.
9. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from an against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves

the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter at applicant's expense.

END

RESOLUTION NO. 17-___

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING LOT MERGER CASE NO. LOT-01287-2016 FOR THE REMODELING OF AN EXISTING OFFICE DEVELOPMENT LOCATED AT 28210 AND 28216 DOROTHY DRIVE; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Kamus and Keller for Bruce Albert, with respect to the real property located at 28210 and 28216 Dorothy Drive (Assessor's Parcel Nos. 2061-012-011, -038, and -042), requesting approval of a lot merger to merge three (3) lots into one (1) lot, in connection with site layout modifications related to the remodeling of an office development (the "Project").

Section II. The Project is a request to merge three (3) lots into one (1) in order to make site layout modifications in connection with the remodeling of an office development, and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15305 (Minor Alterations in Land Use Limitations). Class 5 consists of minor alterations in land use limitations in areas with an average slope of less than 20 percent, which do not result in any changes in land use or density, including but not limited to minor lot line adjustments, side yard, and set back variances not resulting in the creation of any new parcel and the issuance of minor encroachment permits. The Project would not result in significant impacts to the environment. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c), which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The City Zoning Administrator reviewed the application and referred the request to the Planning Commission pursuant to Agoura Hills Municipal Code Section 10900.301(b). The Planning Commission of the City of Agoura Hills considered the applications at a public hearing held on January 19, 2017 at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 10900.301 of the Agoura Hills Zoning Ordinance, that:

A. The Project consists of a lot merger involving three contiguous parcels under common ownership.

B. A single lot is proposed to be created instead of multiple lots for one single development Project by the lot merger, which will comply with all applicable zoning and subdivision regulations in that the ultimate lot size will comply with the 10,000 square-foot minimum lot size as required by the Commercial Retail Service (CRS) zone and minimum street frontage width of and overall depth of 100 feet. The final parcel is less than 20 percent in topographic slope and the Project will have less density of development.

C. The lot merger, in and of itself, will not result in the need for additional improvement and/or facilities related to major drainage, sewage and storm-water quality management facilities. The merged lots are considered in-fill lots and are in a developed urban zone. The current vacant lot will be graded and paved to only serve as a parking lot and will provide access to an existing office development.

D. No additional parcels shall result from the merger, and/or no land will be taken from one lot to be added to an adjacent parcel not owned in common or outside of the Project development. The lot merger will reduce the density from three non-conforming to one legal conforming lot.

Section VI. Based on the aforementioned findings, the Planning Commission hereby approves Lot Merger Case No. LOT-01287-2016, subject to the conditions of approval, attached herein as Exhibit A, with respect to the property described in Section I hereof.

Section VII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 19th day of January, 2017, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

Curtis Zacuto, Chairperson

Resolution 17- _____
Page 3 of 3

ATTEST

Doug Hooper, Secretary

Exhibit A
CONDITIONS OF APPROVAL
(Case No. LOT-1287-2016)

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all conditions of this action with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the conditions of approval.
4. It is hereby declared to be the intent that if any provision of this action is held or declared to be invalid, the approval shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a condition of this action that if any condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. Unless the approval is used within two (2) years from the date of City approval, Case No LOT-01287-2016 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
7. Lot Merger Case No. LOT-01287-2016 is valid only in conjunction with Site Plan/Architectural Review Case No. SPR-01285-2016, Oak Tree Permit Case No. OAK-01286-2016, and Variance Request Case No. VAR-01317-2016, and the approved conditions of approval therein.
8. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought up against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.
9. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from an against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves

the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter at applicant's expense.

END

City of Agoura Hills

Site Plan/Architectural Review Case No. SPR-01285-2016, Oak Tree Permit Case No. Oak-01286-2016, Lot Merger Case No. LOT-01287-2016, & Variance Case No. 01317-2016



PROJECT CONTACTS

CONTRACTOR: COMPANY: DOLPHIN CONSTRUCTION
 ADDRESS: 20308 AGOURA RD SUITE 208
 CITY, STATE: AGOURA HILLS CA 91301
 CONTACT: MICHAEL RUTZ
 PHONE: (805) 732-4213

ARCHITECT: COMPANY: KAMUS + KELLER
 ADDRESS: 31418 AGOURA RD, STE 118
 CITY, STATE: WESTLAKE VILLAGE, CA 91361
 CONTACT: CORY ANTILLA, DIRECTOR
 PHONE: 805-883-8038
 EMAIL: CANTILLA@KXKA.COM

ELECTRICAL ENGINEER: COMPANY: PEI (PARVIZ EBRAHIM, INC.)
 ADDRESS: 20308 AGOURA RD SUITE 208
 CITY, STATE: AGOURA HILLS CA 91301
 CONTACT: PARVIZ EBRAHIM
 PHONE: 818.861.7371
 EMAIL: PEI@CARTHLINK.NET

CIVIL ENGINEER/SURVEYOR: COMPANY: DELANE ENGINEERING
 ADDRESS: 2812 SANTA MONICA BLVD, SUITE 208
 CITY, STATE: SANTA MONICA, CA
 CONTACT: SCOTT UMLES
 PHONE: 310-861-5711
 EMAIL: s@delane@delanegroup.com

STRUCTURAL ENGINEER: COMPANY: ROSE INC. STRUCTURAL
 ADDRESS: 2720 COCHRAN ST. SUITE 88
 CITY, STATE: SIM VALLEY, CA 92683
 CONTACT: RAMON GARCIA
 PHONE: 805-822-5879
 EMAIL: GARCIA@RSOCCOLAB.NET

LANDSCAPE ARCHITECT: COMPANY: LANDMARK DESIGN
 ADDRESS: 1014 S. WESTLAKE BLVD, SUITE 105
 CITY, STATE: WESTLAKE VILLAGE, CA 91361
 CONTACT: CAROL ROBINSON
 PHONE: 818.682.7200

BUILDING OWNER: COMPANY: BRUCE ALBERT
 ADDRESS: 28348 Rowlands Dr # 106
 CITY, STATE: Agoura Hills, CA 91301
 CONTACT: BRUCE ALBERT
 PHONE: 818-716-7128
 EMAIL: BALBERT@ALBMAC.COM

PROJECT INFORMATION

LOCATION: 28210 & 28216 DOROTHY DR. AGOURA, CA
APR: 2061-010-038, 2061-011-038, 2061-012-038
PROJECT AIM: REPOSITIONING OF EXISTING BUILDINGS 28210 + 28216 DOROTHY DRIVE AND ADJACENT LOT APN#2061-010-038 INTO A CREATIVE OFFICE CAMPUS. THE EXISTING BUILDINGS CONSIST OF BOTH OFFICE AND WAREHOUSE. THE PROPOSED ADDITIONAL PARKING LOT DEVELOPMENT WILL ALLOW THE CONVERSION OF WAREHOUSE SPACE INTO OFFICE.

- PROPOSED SCOPE:**
1. ACCESSIBILITY IMPROVEMENTS
 - 1.1. ACCESSIBLE RAMPS FROM PUBLIC WAY INTO BUILDING 28210 DOROTHY
 - 1.2. ACCESSIBLE PARKING PROPOSED THROUGHOUT DEVELOPMENT
 - 1.3. ACCESSIBLE DOORS
 2. SITE IMPROVEMENTS
 - 2.1. NEW LANDSCAPING
 - 2.2. NEW REMODELED HARDSCAPE
 - 2.3. EXPANSION OF PARKING LOT WITH DEVELOPMENT OF LOT APN#2061-010-038.
 3. 28210 DOROTHY IMPROVEMENTS
 - 3.1. ENTRANCE CANOPY WITH STOREFRONT SYSTEM AND FACADE
 - 3.2. NEW CABLE GUARDRAIL WEST
 - 3.3. REFURBISH AND REPAINT ALL EXISTING WALLS, BALCONIES AND EXISTING GUARDRAIL
 4. 28216 DOROTHY IMPROVEMENTS
 - 4.1. NEW WINDOWS EASTWEST
 - 4.2. NEW FACADE
 - 4.3. NEW CABLE GUARD RAIL THROUGHOUT
 - 4.4. NEW STAIR ON SOUTH FACADE
 - 4.5. REFURBISH AND REPAINT ALL EXISTING WALLS AND BALCONIES

ZONING INFORMATION

- ZONE:**
- COMMERCIAL RETAIL SERVICE
 - FREEWAY CORRIDOR
 - OLD AGOURA

28216 + 28210 DOROTHY IMPROVEMENTS & 28210 ACCESSIBILITY UPGRADES



BUILDING CODE ANALYSIS

1. CONSTRUCTION TYPE

TYPE	TYPE VS CONSTRUCTION
28210 & 28216 ARE BOTH SPRINKLERED BUILDINGS	

2. SEPARATION

28210 & 28216 ARE BOTH SPRINKLERED BUILDINGS

3. OCCUPANCY

EXISTING	PROPOSED
28216 1st floor	B
28216 2nd floor	B
28210 1st floor north	B
28210 2nd floor north	B
28210 2nd floor south	B

4. ALLOWABLE AREA

EXISTING	ALLOWABLE
28210 1st floor	52 - 7,248 SQ.FT
28210 2nd floor	B - 6,973 SQ.FT
28210 1st floor north	B - 6,250 SQ.FT
28210 2nd floor north	B - 7,290 SQ.FT
28210 1st floor south	B - 863 SQ.FT
28210 2nd floor south	B - 6,540 SQ.FT

5. ALLOWABLE HEIGHT

EXISTING	ALLOWABLE
28210 - 2 STORIES	2 STORIES
28216 - 2 STORES	2 STORES

5. TOTAL BUILDING SQUARE FOOTAGE

LOT 10: EMPTY LOT	0 SQ.FT
LOT 11: 28216 DOROTHY DR.	14,219 SQ.FT
LOT 12: 28210 DOROTHY DR.	19,879 SQ.FT
LOT 12: 28210 ACCESSORY STRUCTURE	806 SQ.FT

PARKING INFORMATION (SHARED PARKING BETWEEN 28210 & 28216 DOROTHY DR)

PARKING CALCULATION	USE	SQUARE FOOTAGE	PARKING LOAD FACTOR	SUB-TOTAL	REQUIRED PARKING
28210 DOROTHY DRIVE					
1st Floor (Main) Office	Office	6,800	0.00	21.67	23.00
1st Floor (Main) Lobby	Lobby	500	0	0.00	0.00
1st Floor (Main) Accessory Structure	Trunk	500	0	0.00	0.00
2nd Floor (Main) Office	Office	7,200	0.00	24.01	25.00
2nd Floor (Main) Lobby	Lobby	5,540	0.00	18.47	19.00
2nd Floor (Main) Mechanical	Mechanical	17	0	0.00	0.00
Sub-Total (Main) Office		20,247		64.15	67.00
28216 DOROTHY DRIVE					
1st Floor Lobby	Lobby	500	0	0.00	0.00
1st Floor Office	Office	6,346	0.00	21.49	23.00
2nd Floor Office	Office	6,516	0.00	21.85	24.00
2nd Floor Mechanical	Mechanical	17	0	0.00	0.00
Sub-Total (Main) Office		14,219		43.34	46.00
TOTAL PARKING					
28210 Dorothy Drive (Est 12)	EXISTING	21	0	0	35.00
28216 Dorothy Drive (Est 11)	EXISTING	38	0	0	30.00
Various (Est 16)	EXISTING	0	0	0	40.00
	PROPOSED NEW				
	CONFORMING TO REGAM	30	0	0	30.00
	CONFORMING	75	0	0	30.00
TOTAL AREA FROM 28210 DOROTHY DRIVE					114
TOTAL PARKING REQUIRED					146
TOTAL PARKING PROVIDED					146
TOTAL ACCESSIBLE PARKING					6

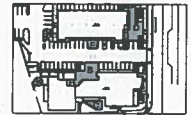
7. INDIVIDUAL LOT SIZES AND BUILDING FOOTPRINT BEFORE LOT MERGE

LOT #	LOT SIZE	ADDRESS	BUILDING FOOTPRINT	% COVERAGE
10	21,180 SQ.FT.	VACANT	N/A	0%
11	22,500 SQ.FT.	28216 DOROTHY DR	7,200 SQ.FT.	32.0%
12	33,110 SQ.FT.	28210 DOROTHY DR	10,822 SQ.FT.	31.7%

8. COMBINED LOT SIZES AND BUILDING FOOTPRINT AFTER LOT MERGE

LOT #	LOT SIZE	ADDRESS	BUILDING FOOTPRINT	% COVERAGE
10, 11, 12	76,800 SQ.FT.	28210 + 28216 DOROTHY + VACANT	17,782 SQ.FT.	23.2%

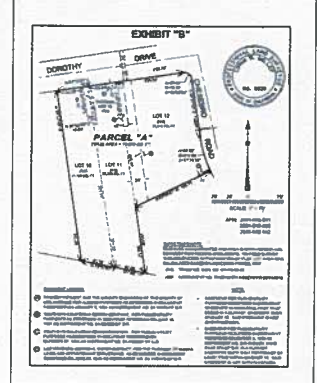
- 9. OUTDOOR PLAZA SIZES**
- A) 28216 MAIN (FRONT) NORTH PLAZA: 300 SQ.FT
 - B) 28216 WEST PLAZA: 1,320 SQ.FT
 - C) 28210 EAST PLAZA: 441 SQ.FT
 - D) 28216 MAIN (FRONT) NORTH PLAZA: 1,308 SQ.FT
 - E) 28216 EAST PLAZA: 334 SQ.FT



10. LANDSCAPE COVERAGE (SQ.FT)

PARKING LOT SHADE CALCULATIONS	PARKING LOT LANDSCAPE CALCULATIONS
PARKING LOT	37,203
TREE CANOPY COVERAGE	7,948
COVERED PARKING	2,048
COVERED PARKING	2,048
NET PARKING LOT	35,155
TOTAL COVERAGE	9,996
PERCENTAGE	26.8%
PERCENTAGE	12.1%

11. LOT SIZE AFTER MERGE



ARCHITECTURAL

- CS-1 COVER SHEET
- GN-1 GENERAL NOTES
- A-0.0 EXISTING SITE PLAN
- A-0.1 28210 - DEMOLITION 1ST FLOOR PLAN
- A-0.2 28210 - DEMOLITION 2ND FLOOR PLAN
- A-0.3 28210 & 28216 - DEMOLITION ROOF PLAN
- A-0.3.2 28210 & 28216 - NEW ROOF PLAN
- A-1.0 PARKING VS LANDSCAPE PROPOSED SITE EXHIBIT
- A-1.1 28210 & 28216 - PROPOSED OVERALL SITE PLAN
- A-1.2 28210 & 28216 - PROPOSED ENLARGED SITE PLAN
- A-1.2A 28210 & 28216 - PROPOSED ENLARGED PLAZA PLANS
- A-1.2.1 28210 - 1ST FLOOR PLAN
- A-1.2.2 28210 - 2ND FLOOR PLAN
- A-1.6.1 28210 - NORTH ELEVATION
- A-1.6.2 28210 - EAST ELEVATION
- A-1.6.3 28210 - SOUTH ELEVATION
- A-1.6.4 28210 - WEST ELEVATION
- A-1.6.5 28210 - AXON PERSPECTIVES
- A-2.1 28216 - 1ST FLOOR PLAN
- A-2.2 28216 - 2ND FLOOR PLAN
- A-2.1.1 28216 - NORTH ELEVATION
- A-2.1.2 28216 - EAST ELEVATION
- A-2.1.3 28216 - SOUTH ELEVATION
- A-2.1.4 28216 - WEST ELEVATION
- A-2.1.5 28216 - AXON PERSPECTIVES

CIVIL

1. 28210 ACCESSIBILITY IMPROVEMENTS - PHASE 3 COVER SHEET
2. 28210 ACCESSIBILITY IMPROVEMENTS - PHASE 3 OVERALL SITE PLAN
3. 28210 ACCESSIBILITY IMPROVEMENTS - PHASE 3 PRECISE GRADING
4. 28210 ACCESSIBILITY IMPROVEMENTS - PHASE 3 PRECISE GRADING
5. 28210 ACCESSIBILITY IMPROVEMENTS - PHASE 3 PRECISE GRADING

ELECTRICAL ENGINEER

- E1 SITE PHOTOMETRICS

LANDSCAPE

- L-0.0 28210 & 28216 LANDSCAPE CONCEPT PLAN

VICINITY MAP-LOCATION PLAN



ISSUE DATE

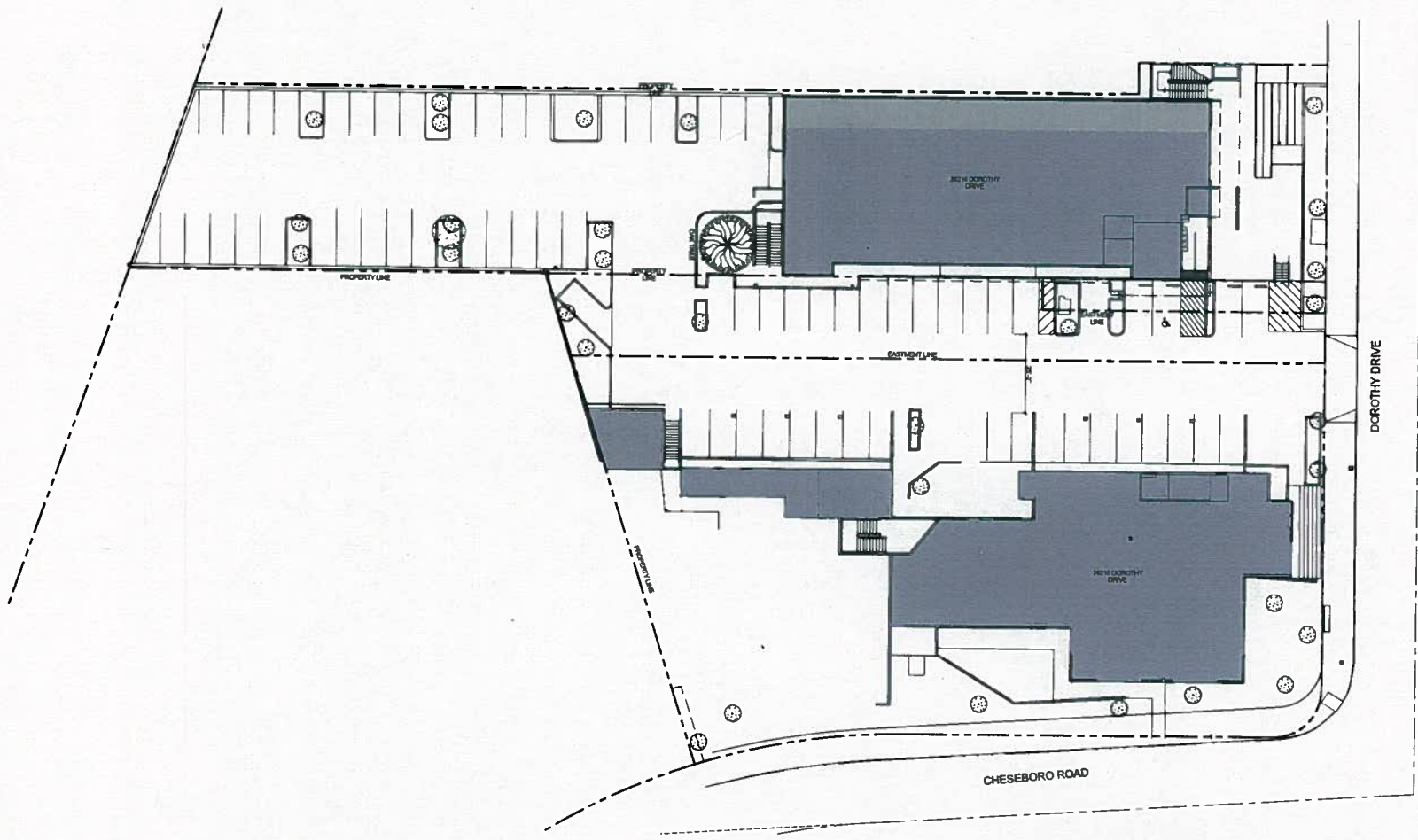
ISSUED TO PLANNING	08.28.18
REVISIONS	
ISSUED TO PLANNING	11.16.18
REVISIONS	
ISSUED TO PLANNING	12.16.18
REVISIONS	

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28210 + 28216 DOROTHY DR
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PROJECT NO.	16.0292
DRAWING REVIEWED	ALCA
DATE	12/14/2016
SHEET TITLE	COVER SHEET
SHEET NO.	CS



1 KEY SITE PLAN (EXISTING)
1/16" = 1'-0"

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ISSUED TO PLANNING	12.16.18

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 AGOURA HILLS, CA 91301

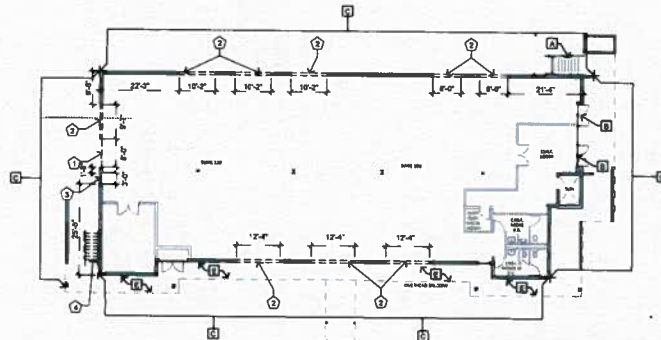
PROJECT NO.
10.0292

DRAWN/REVIEWED
ALCA

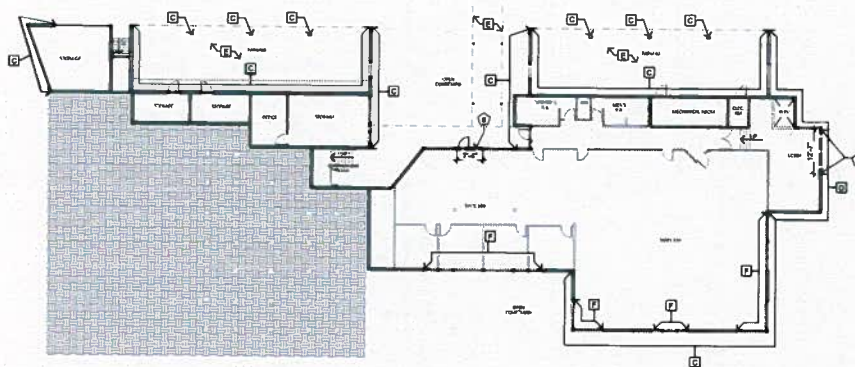
DATE/ISSUE
12/14/2018

SHEET TITLE
EXISTING
SITE PLAN

SHEET NO.
A-0.0









A 28216 1ST FLOOR DEMO PLAN
SCALE: 1/16" = 1'-0"



A 28210 1ST FLOOR DEMO PLAN
SCALE: 1/16" = 1'-0"

LEGEND

-  EXISTING WALL TO REMAIN
-  DEMOLISH
-  OVERHEAD BALCONY OR FLOOR ABOVE
-  PACKED DIRT INFILL
-  EXISTING DOOR
-  DEAD DOOR

DEMO NOTES

- ① DEMO EXISTING GARAGE DOOR FRAME & HARDWARE
 - ② DEMO EXISTING WALL
 - ③ DEMO DOOR AND FRAME
 - ④ DEMO EXISTING STAIR & GUARDRAIL / HANDRAIL
 - ⑤ DEMO FRONT STORE FRONT SYSTEM & WOOD POSTS
 - ⑥ MODIFY EXISTING STOREFRONT SYSTEM AS REQUIRED FOR NEW PAIR OF STOREFRONT DOORS
- * CONTRACTOR TO ALSO DEMO ALL EXISTING WOOD SIDING AND DECORATIVE WOOD TRIM THROUGH OUT DEVELOPMENT. PLEASE SEE ELEVATION SHEETS.

REPAIR / PREP. NOTES

- A EXISTING STAIR & GUARDRAIL / HANDRAIL TO REMAIN
 - B EXISTING STOREFRONT SYSTEM TO REMAIN UNLESS OTHERWISE NOTED
 - C PREP EXISTING WALL / COLUMN FOR NEW FINISH
 - D PREP EXISTING WALL FOR NEW FACADE
 - E PREP SOFFIT ABOVE FOR NEW FINISH
 - F EXISTING WINDOW SYSTEM OR SLIDING GLASS DOORS TO REMAIN. PREPARE FRAME AS REQUIRED FOR NEW FINISH (INTERIOR AND EXTERIOR). REPAIR / ADJUST MECHANISMS FOR DOOR TO OPERATE SMOOTHLY.
- * CONTRACTOR TO ALSO DEMO ALL EXISTING WOOD SIDING AND DECORATIVE WOOD TRIM THROUGH OUT DEVELOPMENT. PLEASE SEE ELEVATION SHEETS.

ISSUE DATE

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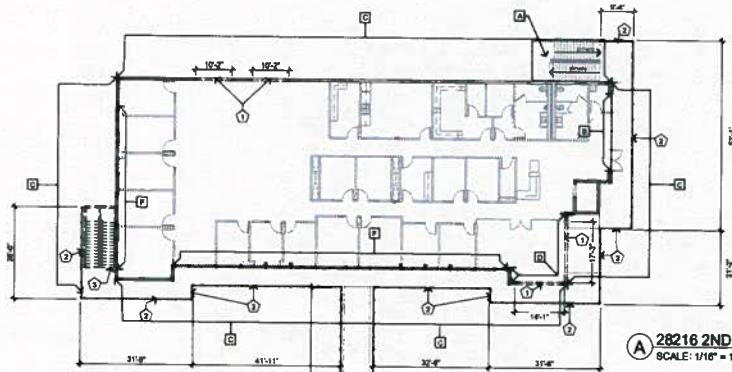
PROJECT NO.
16.0292

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ALCA

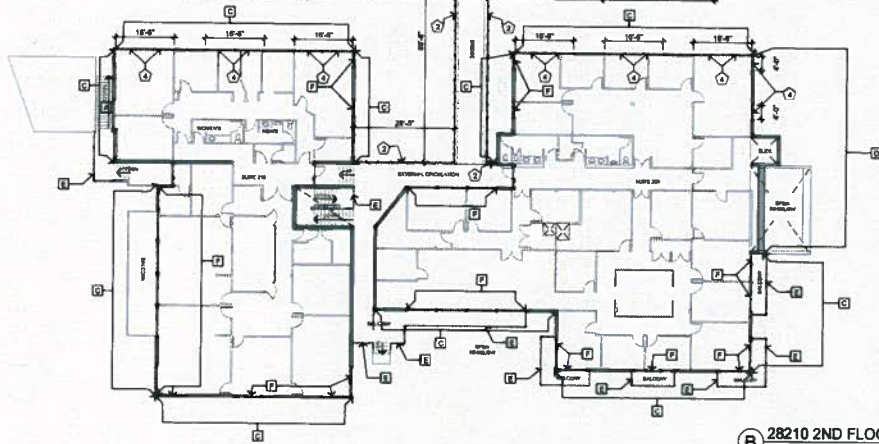
DATE/ISSUE
12/14/2016

SHEET TITLE
28210 & 28216
1ST FLOOR DEMO

SHEET NO.
A-02.1



A 28216 2ND FLOOR DEMO PLAN
SCALE: 1/16" = 1'-0"



B 28210 2ND FLOOR DEMO PLAN
SCALE: 1/16" = 1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- DEMOLISH
- EXISTING DOOR

DEMO NOTES

- ① DEMO EXISTING WALL
- ② DEMO EXISTING WOODEN GUARDRAIL
- ③ DEMO EXISTING STAIR & GUARDRAIL / HANDRAIL
- ④ DEMO EXISTING WINDOWS

* CONTRACTOR TO ALSO DEMO ALL EXISTING WOOD SIDING AND DECORATIVE WOOD TRIM THROUGH OUT DEVELOPMENT. PLEASE SEE ELEVATION SHEETS.

REPAIR / PREP. NOTES

- A** EXISTING STAIR & GUARDRAIL / HANDRAIL TO REMAIN
- B** EXISTING STOREFRONT SYSTEM TO REMAIN UNLESS OTHERWISE NOTED
- C** PREP EXISTING WALL / COLUMN FOR NEW FINISH (SEE ELEVATION SHEETS)
- D** PREP EXISTING WALL FOR NEW FACADE
- E** EXISTING GUARDRAIL TO REMAIN AND TO BE REFURBISHED WHERE NECESSARY
- F** EXISTING WINDOW SYSTEM OR SLIDING GLASS DOORS TO REMAIN. PREPARE FRAME AS REQUIRED FOR NEW FINISH (INTERIOR AND EXTERIOR). REPAIR / ADJUST MECHANISMS FOR DOOR TO OPERATE SMOOTHLY.

* CONTRACTOR TO ALSO DEMO ALL EXISTING WOOD SIDING AND DECORATIVE WOOD TRIM THROUGH OUT DEVELOPMENT. PLEASE SEE ELEVATION SHEETS.

ISSUE DATE

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ISSUED TO PLANNING REVISIONS 11.10.18
ISSUED TO PLANNING REVISIONS 12.18.18

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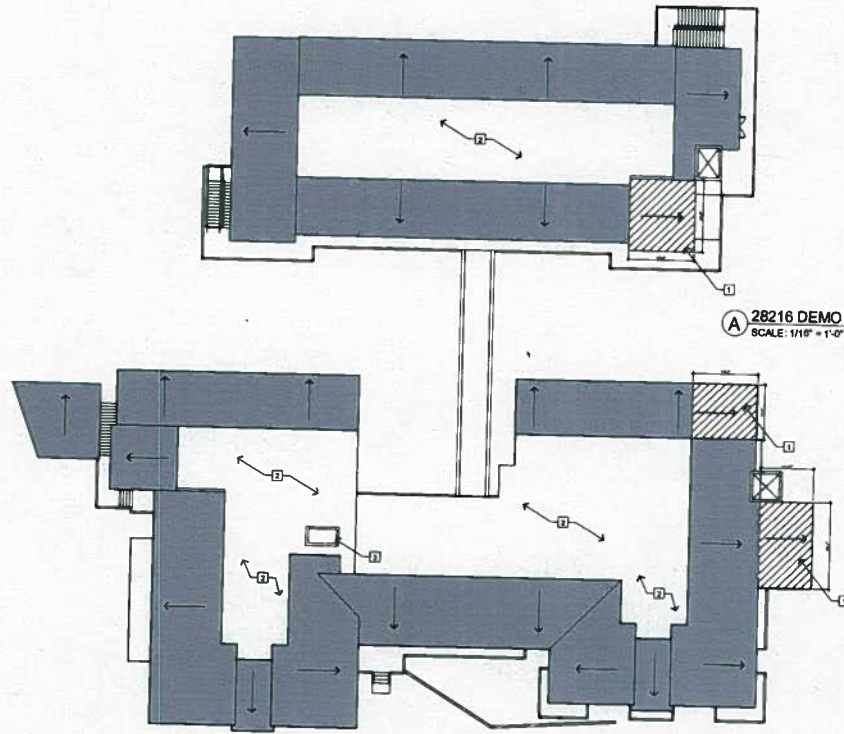
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DATE/ISSUE
12/14/2018

SHEET TITLE
28210 & 28216
2ND FLOOR DEMO

SHEET NO.
A-0.2.2



A 28216 DEMO ROOF PLAN
SCALE: 1/16" = 1'-0"

B 28210 DEMO ROOF PLAN
SCALE: 1/16" = 1'-0"

LEGEND

- EXISTING ROOF
- SLOPE DIRECTION
- DEMO

NOTES

- 1 EXISTING ROOF STRUCTURE FRAMING TO REMAIN. REMOVE SHEETING, WATERPROOFING AND TILES IN AREA SHOWN. PREPARE FOR NEW FRAMING WATERPROOFING AND ROOFING.
- 2 ALL EXISTING ROOFING HVAC, PLUMBING, SKYLIGHTS, VENTS ETC TO REMAIN IN PLACE
- 3 EXISTING SKYLIGHT TO REMAIN IN PLACE

ISSUE	DATE
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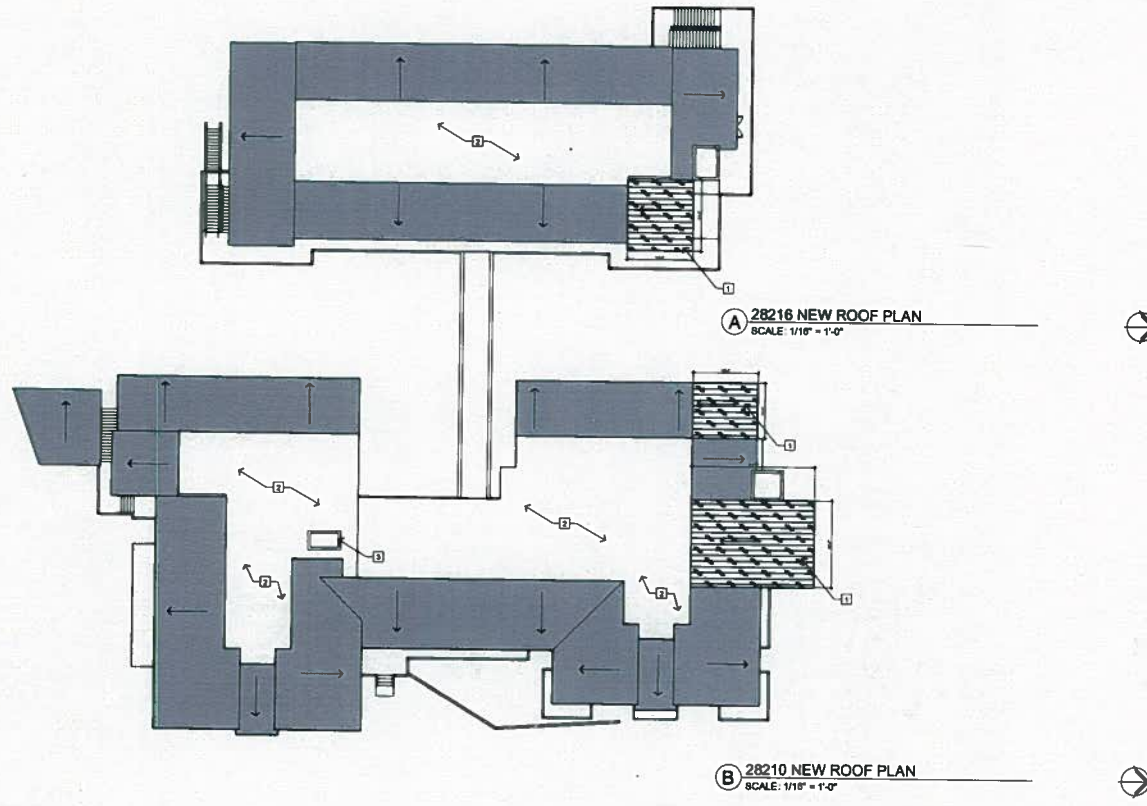
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16-0292

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DATE/ISSUE
12/14/2018

SHEET TITLE
DEMO ROOF PLANS

SHEET NO.
A-0.3.1



LEGEND

- EXISTING ROOF
- SLOPE DIRECTION
- NEW ROOF

NOTES

- 1 NEW ROOF
- 2 ALL EXISTING ROOFING HVAC, PLUMBING, SKYLIGHTS, VENTS ETC TO REMAIN IN PLACE
- 3 EXISTING SKYLIGHT TO REMAIN IN PLACE

ISSUE	DATE
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PROJECT NO.
16.0292

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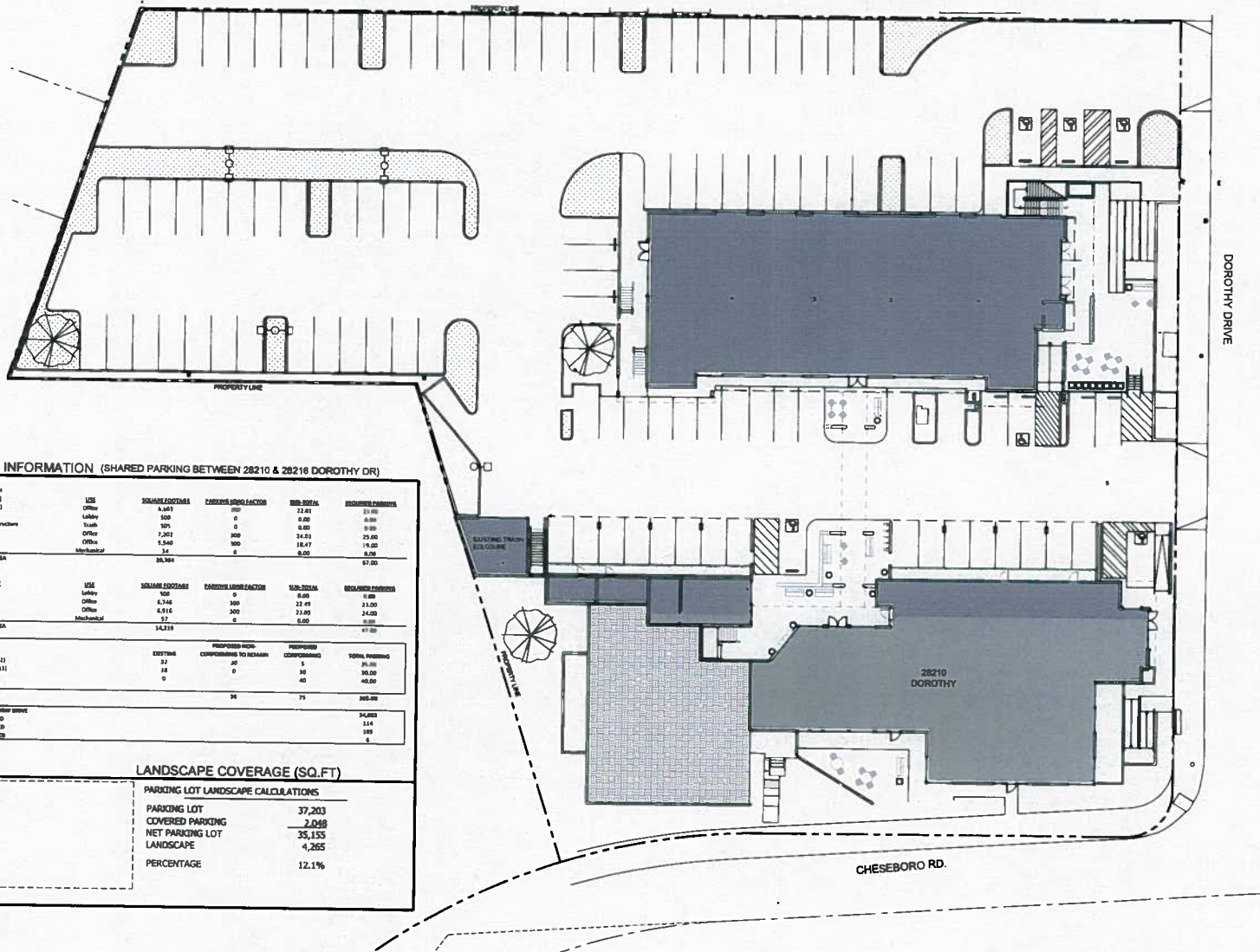
DATE/SUB
12/14/2016

SHEET TITLE
NEW ROOF PLAN

SHEET NO.
A-0.3.2

PROPOSED SITE PLAN: EXHIBIT A1

PARKING: 35,155 SQ.FT. NET = 105 PARKING SPACES / 114 REQUIRED = +/- 92% FULFILLMENT = MODIFICATION
LANDSCAPE: 4,265 SQ.FT. LANDSCAPE / 35,155 SQ.FT. NET PARKING = 12.1% = VARIANCE



PARKING INFORMATION (SHARED PARKING BETWEEN 28210 & 28216 DOROTHY DR)

PARKING CALCULATION					
28216 DOROTHY DRIVE					
1st Floor (General) Landsc	USE	SQUARE FOOTAGE	CARSPACE LAYOUT FACTOR	REQ-2008A	REQUIRED PARKING
1st Floor (General)	Office	6,661	100	22.81	21.00
	Office	500	0	0.00	0.00
1st Floor (General) Accessory Structure	Trash	50	0	0.00	0.00
2nd Floor (General)	Office	7,262	300	24.21	25.00
2nd Floor (General)	Office	1,540	300	18.47	19.00
2nd Floor (General)	Mechanical	34	0	0.00	0.00
SUB-TOTAL REQUIRED PARKING AREA					
		14,987			67.00
28210 DOROTHY DRIVE					
1st Floor	USE	SQUARE FOOTAGE	CARSPACE LAYOUT FACTOR	REQ-2008A	REQUIRED PARKING
1st Floor	Office	500	0	0.00	0.00
2nd Floor	Office	6,745	300	22.41	23.00
2nd Floor	Office	6,816	300	22.85	24.00
2nd Floor (General)	Mechanical	37	0	0.00	0.00
SUB-TOTAL REQUIRED PARKING AREA					
		13,628			47.00
TOTAL PARKING					
28210 Dorothy Drive (Lot 11)	EXISTING		RESPONSE REQUIRED	RESPONSE	TOTAL PARKING
28216 Dorothy Drive (Lot 11)	EXISTING		COMPLYING TO REGAM	COMPLYING	35.00
Vacant (Lot 10)	EXISTING		0	40	40.00
TOTAL PARKING PROVIDED					
			94	75	105.00
TOTAL PARKING REQUIRED					
					114.00
TOTAL PARKING PROVIDED					
					105.00
TOTAL ACCESSIBLE PROVIDED					
					6.00
LANDSCAPE COVERAGE (SQ.FT)					
PARKING LOT LANDSCAPE CALCULATIONS					
PARKING LOT		37,203			
COVERED PARKING		2,068			
NET PARKING LOT		35,135			
LANDSCAPE		4,265			
PERCENTAGE					12.1%

ISSUE	DATE
ISSUED TO PLANNING	08.28.16
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ISSUED TO PLANNING	12.16.16

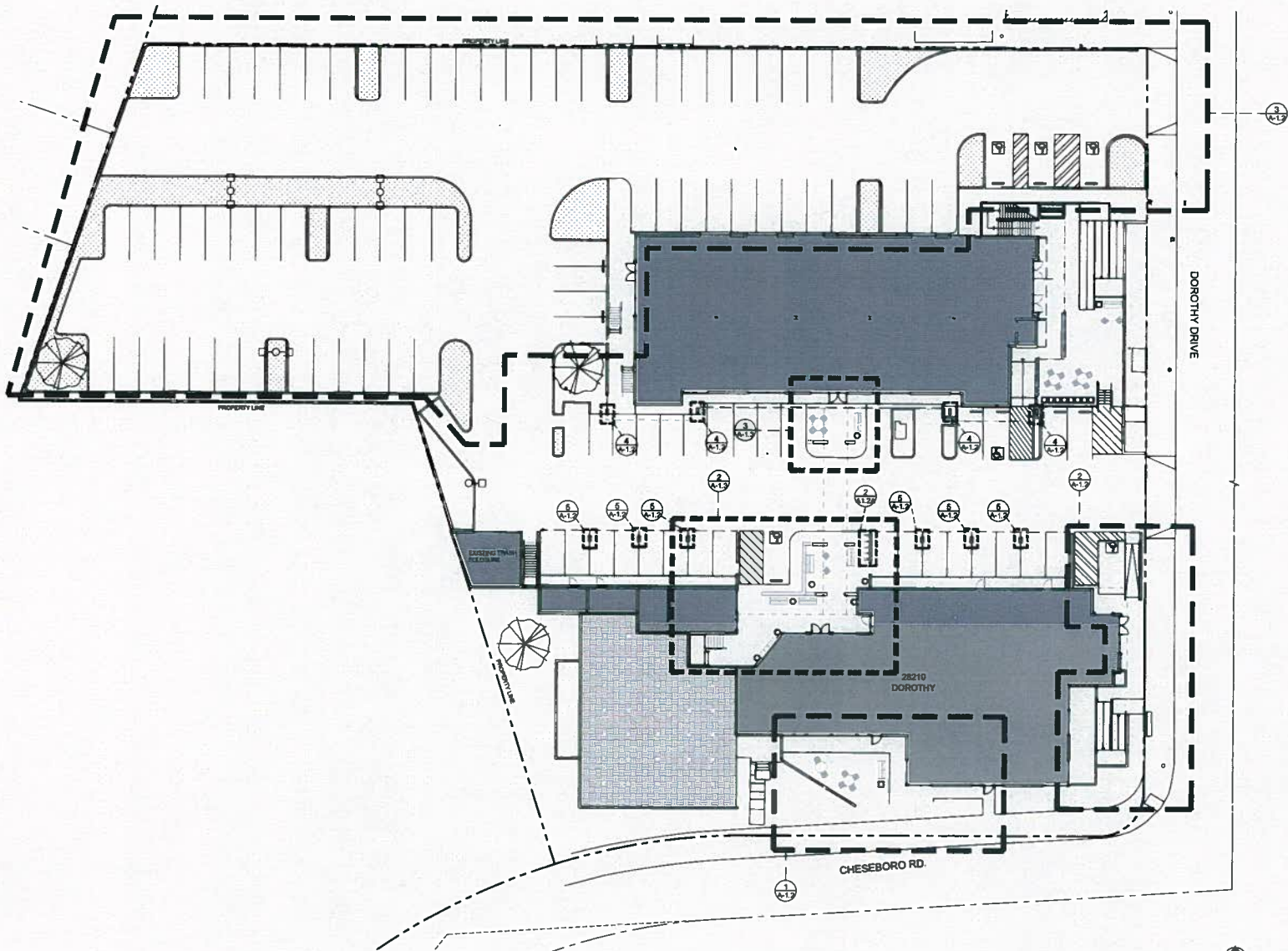
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28210 + 28216 DOROTHY DR
 AGOURA HILLS, CA 91301

PROJECT NO.	18.0282
DRAWN/REVIEWED	AL/CA
DATE/ISSUE	12/14/2016
SHEET TITLE	PARKING VS. LANDSCAPE
SHEET NO.	A-1.0

1 KEY SITE PLAN (PROPOSED)
 1/16" = 1'-0"



1 KEY SITE PLAN (PROPOSED)
1/16" = 1'-0"

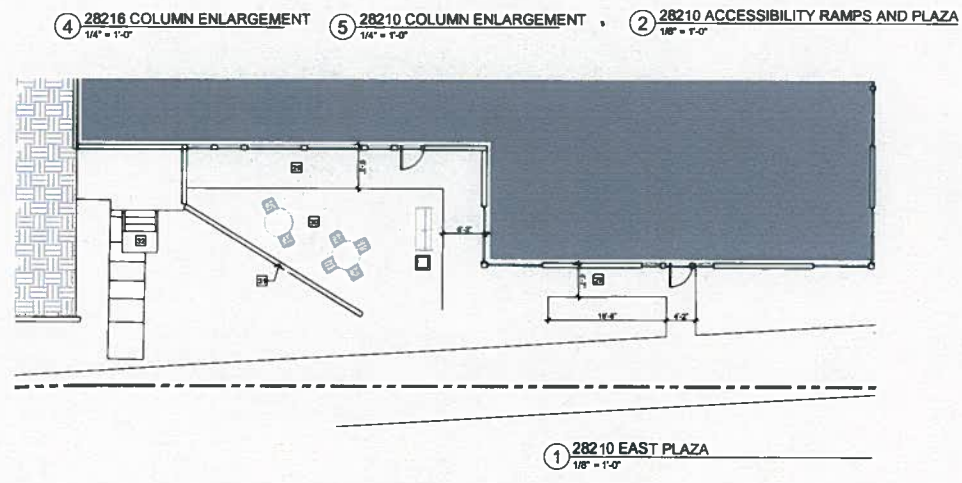
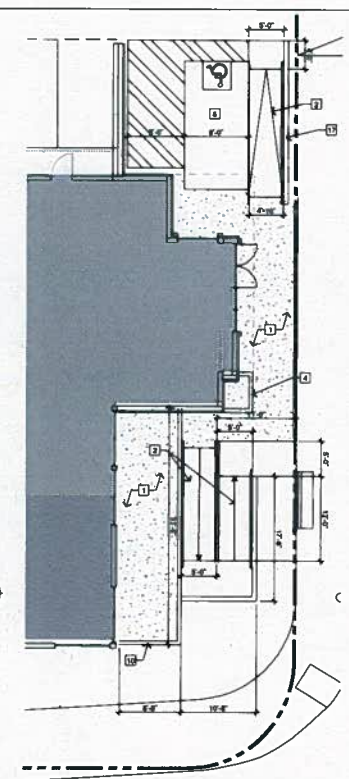
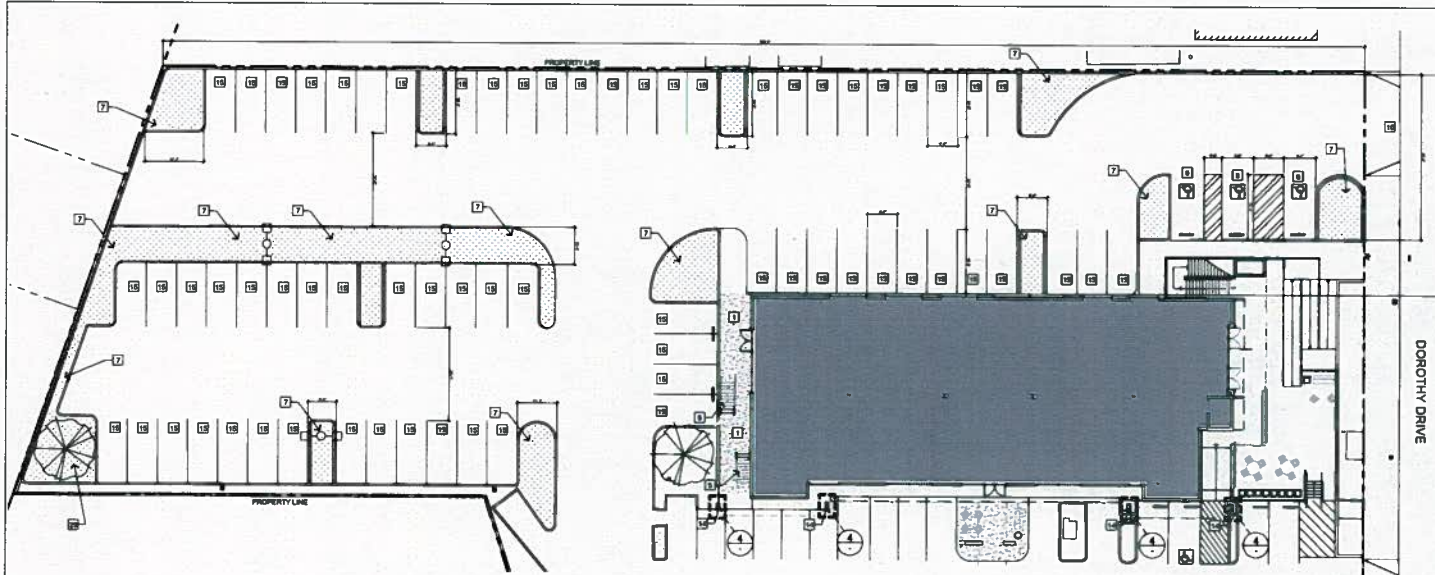
ISSUE	DATE
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ISSUED TO PLANNING	12.18.18

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28210 + 28216 DOROTHY DR
AGOURA HILLS, CA 91301

PROJECT NO.	16.0282
OWNER/ARCHITECT	AUCA
DATE/ISSUE	12/14/2016
SHEET TITLE	PROPOSED SITE PLAN
SHEET NO.	A-1.1



KEY NOTES

- | | | |
|--|---|---|
| 1 NEW CONCRETE PLAZA RAISED TO FINISHED FLOOR PLAN LEVEL (SEE CIVIL) | 12 NEW DRAIN PER CIVIL PLANS. PLEASE SEE CIVIL (NOT USED) | 24 NEW CONCRETE WITHIN 3/4" OF EXISTING COLUMN |
| 2 NEW ACCESSIBLE RAMPS. PROVIDE 2" MINIMUM HIGH CURBS (SEE SECTIONS AND CIVIL) | 13 CATCH BASIN (SEE CIVIL FOR WATER MITIGATION) | 25 PROVIDE RECESSED WALL PUCK LIGHT FLUSH WITH WALL |
| 3 NEW CONCRETE STEPS AND RAILING (SEE AD-2.1.2) | 14 FUR OUT EXISTING COLUMN TO BE 2X12". SEE DETAIL #4 ON A-1.2. | 26 PROVIDE WALL LIGHT FIXTURE ABOVE |
| 4 NEW STRUCTURAL COMPONENT | 15 NEW PARKING STALL | 27 EXISTING OAK TREE TO REMAIN |
| 5 NEW STAIR TO SECOND FLOOR | 16 EXISTING CURB CUT TO REMAIN | 28 RE-LOCATED OAK TREE. PROTECT DURING TRANSPORT |
| 6 NEW CONCRETE CURB (NOT USED) | 17 EXISTING WALL TO REMAIN | 29 NEW ACCESSIBLE PATH OF TRAVEL |
| 7 NEW LANDSCAPE | 18 EXISTING FIRE RISER AND WATER PIPES TO REMAIN (NOT USED) | 30 OUTSIDE SEATING AREA |
| 8 NEW ACCESSIBLE PARKING STALL | 19 NEW CONCRETE WALL (NOT USED) | 31 EXISTING RETAINING WALL TO REMAIN |
| 9 NEW SHEAR WALL (NOT USED) | 20 NEW TRUNCATED DOMES | 32 EXISTING STEPS AND PATH TO REMAIN |
| 10 NEW WALL AND GUARDRAIL | 21 NEW GUARD RAIL AROUND PLAZA AND RAMPS | |
| 11 NEW SIDEWALK (NOT USED) | 22 NEW ACCESSIBLE PARKING SIGN. PLEASE SEE DETAIL #2 ON SHEET A-2.1.1 | |
| | 23 NEW WHEEL BUMPER. PLEASE SEE DETAIL #3 ON SHEET A-2.1.1 | |

LEGEND



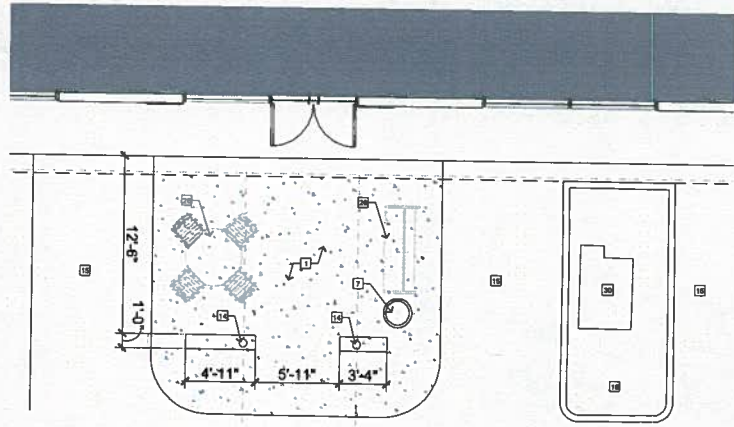
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REVISIONS	

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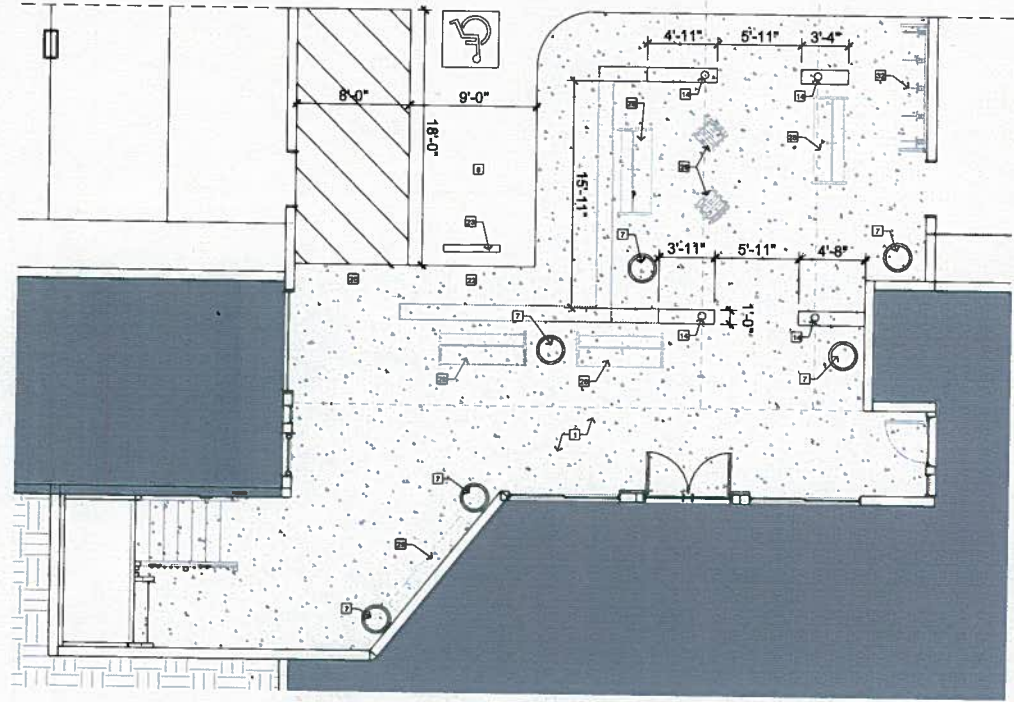


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AGOURA HILLS, CA 91301

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SHEET TITLE	ENLARGED SITE PLAN
SHEET NO.	A-1.2



3 28216 EAST SIDE PLAZA
1/8" = 1'-0"



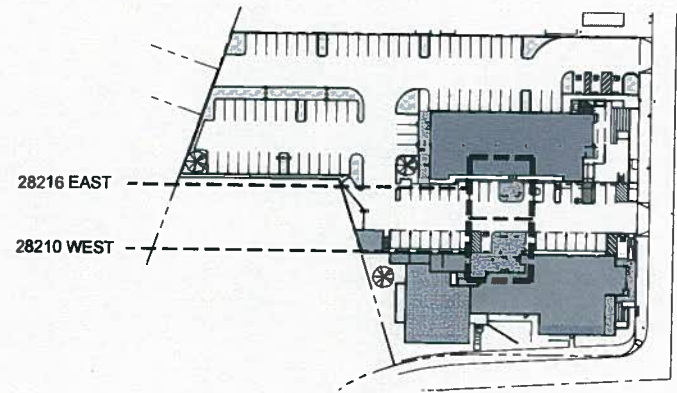
2 28210 WEST MAIN PLAZA
1/8" = 1'-0"

LEGEND



KEY NOTES

- | | | |
|---|---|---|
| 1 NEW CONCRETE PLAZA RAISED TO FINISHED FLOOR PLAN LEVEL (SEE CIVIL) | 12 NEW DRAIN PER CIVIL PLANS. PLEASE SEE CIVIL (NOT USED) | 21 NEW GUARD RAIL AROUND PLAZA AND RAMPS (NOT USED) |
| 2 NEW ACCESSIBLE RAMPS. PROVIDE 2" MINIMUM HIGH CURBS (SEE SECTIONS AND CIVIL) (NOT USED) | 13 CATCH BASIN (SEE CIVIL FOR WATER MITIGATION) (NOT USED) | 22 NEW ACCESSIBLE PARKING SIGN. PLEASE SEE DETAIL #2 ON SHEET A-2.1 |
| 3 NEW CONCRETE STEPS AND RAILING (SEE A-D-1.1.2) (NOT USED) | 14 EXISTING COLUMN TO REMAIN | 23 NEW WHEEL BUMPER. PLEASE SEE DETAIL #3 ON SHEET A-2.1 |
| 4 NEW STRUCTURAL COMPONENT (NOT USED) | 15 NEW PARKING STALL | 24 NEW CONCRETE WITHIN 2" OF EXISTING COLUMN (NOT USED) |
| 5 NEW STAIR TO SECOND FLOOR (NOT USED) | 16 EXISTING CURB CUT TO REMAIN | 25 PROVIDE RECESSED WALL PLUCK LIGHT FLUSH WITH WALL (NOT USED) |
| 6 NEW CONCRETE CURB (NOT USED) | 17 EXISTING WALL TO REMAIN (NOT USED) | 26 PROVIDE WALL LIGHT FIXTURE ABOVE (NOT USED) |
| 7 NEW LANDSCAPE | 18 EXISTING FURE RISER AND WATER PIPES TO REMAIN (NOT USED) | 27 EXISTING OAK TREE TO REMAIN (NOT USED) |
| 8 NEW ACCESSIBLE PARKING STALL | 19 NEW CONCRETE WALL (NOT USED) | 28 PLAZA FURNITURE |
| 9 NEW SHEAR WALL (NOT USED) | 20 NEW TRUNCATED DOMES | 29 FREE STANDING TENANT MAILBOXES |
| 10 NEW WALL AND GUARDRAIL (NOT USED) | | 30 EXISTING ELECTRICAL EQUIPMENT TO REMAIN |
| 11 NEW SIDEWALK (NOT USED) | | 31 PROVIDE NEW LIGHT FIXTURE AT NOTED LOCATIONS |
| | | 32 NEW BIKE RACK |



1 KEY SITE PLAN (PROPOSED)
N.T.S.

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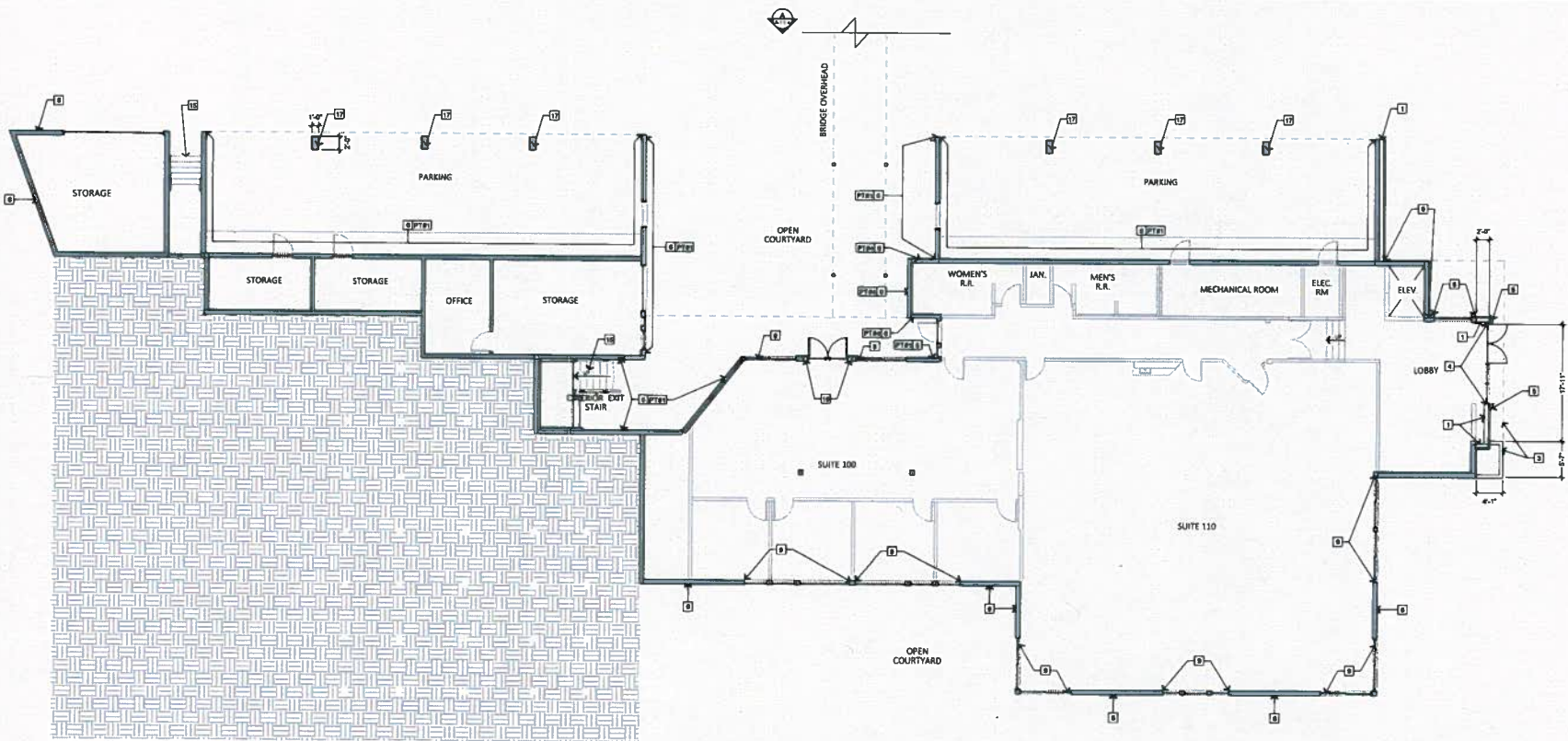
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12/14/2018

SHEET TITLE
ENLARGED PLAZA PLAN

SHEET NO.
A-1.2A



LEGEND

- EXISTING WALL
- NEW WALL
- EXISTING INTERIOR
- EXISTING DOOR
- NEW DOOR
- OVERHEAD BALCONY OR FLOOR ABOVE
- COMPACT INFILL DIRT

PAINT & MATERIAL KEY (FOR HIDDEN ELEV.)

- DUNN EDWARDS "DESIRE BARREL STOVE" - SMOOTH STUCCO FINISH
- DUNN EDWARDS "LATTICE LAITIE PROTY"

FOR A FULL LIST OF FINISH PAINT AND MATERIALS FOR ALL OTHER ELEVATIONS PLEASE SEE ELEVATION SHEETS.

NEW NOTES NOTES

- 1 NEW FACADE WALL
- 2 NOT USED
- 3 NEW SOFFIT & COMPONENT
- 4 NEW STORE FRONT SYSTEM WITH DOUBLE DOORS
- 5 NEW TRIM
- 6 STUCCO AND PAINT EXISTING WALL. (SEE ELEVATION SHEETS FOR FINISHES)
- 7 NOT USED
- 8 NOT USED
- 9 EXISTING WINDOW / DOOR TO REMAIN. PAINT FRAMES AS EXISTING FINISH.
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 NOT USED
- 14 NOT USED
- 15 EXISTING STAIRS TO REMAIN
- 16 NEW DOUBLE DOORS IN PLACE OF WINDOW / SLIDING DOOR
- 17 FUR OUT EXISTING COLUMNS TO BE 2" x 1" STUCCO AND PAINT. (SEE DRAWING #5 ON SHEET A-1.2)

A PROPOSED 28210 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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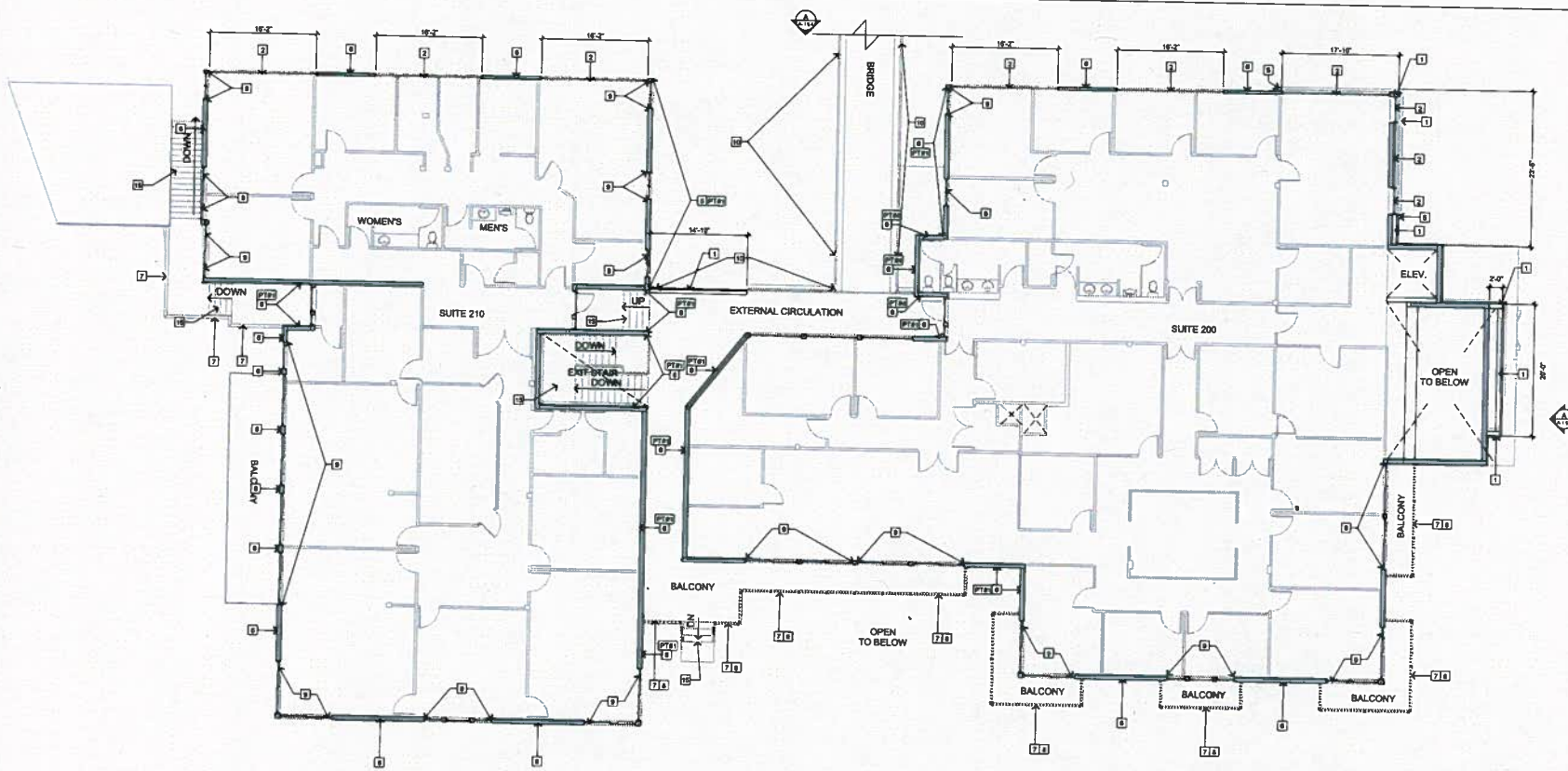
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DATE/ISSUE
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SHEET TITLE
28210 1ST FLOOR PLAN

SHEET NO.
A-1.2.1



LEGEND



PAINT & MATERIAL KEY (FOR HIDDEN ELEV.)

- PT2** DUNN EDWARDS 'DEK218 BARRIL STOVE' - SMOOTH STUCCO FINISH
 - PT20** DUNN EDWARDS 'DEK229 LATTE PROTH' - SMOOTH STUCCO FINISH
- FOR A FULL LIST OF FINISH PAINT AND MATERIALS FOR ALL OTHER ELEVATIONS PLEASE SEE ELEVATION SHEETS.

NEW NOTES NOTES

- 1 NEW FACADE WALL
- 2 NEW GLAZING SYSTEM
- 3 NOT USED
- 4 NOT USED
- 5 NEW TRIM
- 6 STUCCO AND PAINT EXISTING WALL (SEE ELEVATION SHEETS FOR FINISHES)
- 7 REFURBISH AND PAINT EXISTING WOOD GUARDRAILS
- 8 REFURBISH / REPLACE FASCIA WHERE NECESSARY
- 9 EXISTING WINDOW / DOOR TO REMAIN. PAINT FRAMES AS EXISTING FINISH
- 10 NEW CABLE GUARD RAIL
- 11 NOT USED
- 12 NOT USED
- 13 NOT USED
- 14 NOT USED
- 14 EXISTING STAIRS TO REMAIN
- 15 NOT USED

A PROPOSED 28210 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

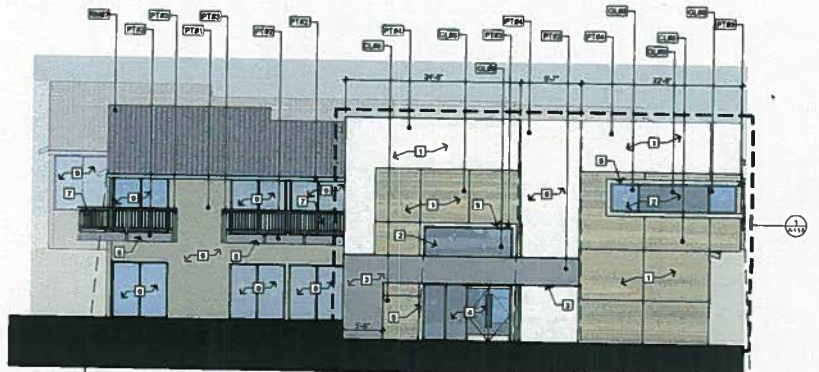
ISSUE	DATE
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ISSUED TO PLANNING REVISIONS	11.10.18
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PROJECT NO. 18.0292
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SHEET TITLE 28210 2ND FLOOR PLAN
SHEET NO. A-1.2.2



A PROPOSED 28210 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



B EXISTING 28210 NORTH ELEVATION
SCALE: NTS

PAINT & MATERIAL KEY

- PT1** DUNN EDWARDS "DES216 BARREL STOVE" - SMOOTH STUCCO FINISH
- PT2** DUNN EDWARDS "DES363 BANK VAULT" - SMOOTH STUCCO FINISH
- PT3** DUNN EDWARDS "DES6361 SILVER BULLET" - SMOOTH STUCCO FINISH
- PT4** DUNN EDWARDS "DES236 LATTE FRONT"
- PT5** NOT USED
- CL1** TRESPA ELEGANT OAK WOOD PANEL CLADDING
- CL2** EXISTING ROOF TILES. PAINT FINISH TO MATCH COLOR PT2
- CL3** TRANSPARENT GLASS PANEL. COLOR TO MATCH EXISTING WINDOWS
- CL4** OPAQUE GLASS

NEW NOTES NOTES

- 1** NEW FACADE WALL
- 2** NEW GLAZING SYSTEM
- 3** NEW BOFRT & COMPONENT
- 4** NEW STORE FRONT SYSTEM WITH DOUBLE DOORS
- 5** NEW TRIM
- 6** STUCCO AND PAINT EXISTING WALL
- 7** REFURBISH AND PAINT EXISTING WOOD GUARDRAILS
- 8** REFURBISH / REPLACE FASCIA WHERE NECESSARY
- 9** EXISTING WINDOW / DOOR TO REMAIN. PAINT FRAMES AS EXISTING FINISH.
- 10** NOT USED
- 11** NOT USED
- 12** NOT USED
- 13** NOT USED
- 14** NOT USED
- 15** NOT USED
- 16** NOT USED

DEMO NOTES

- 1** REMOVE WOOD SIDING
- 2** REMOVE GUTTER
- 3** REMOVE DECORATIVE WOOD TRIM
- 4** DEMO STRUCTURAL COMPONENT
- 5** NOT USED
- 6** NOT USED
- 7** REMOVE ROOF TILES AND KEEP STRUCTURE
- 8** REMOVE FINISH COAT OF EXISTING STUCCO DOWN TO THE BRICK/SICAT AND APPLY NEW FINISH COAT AS SPECIFIED UNDER PAINT AND MATERIAL KEY. (TYPICAL APPLICATION FOR ALL EXISTING STUCCO FINISHINGS)

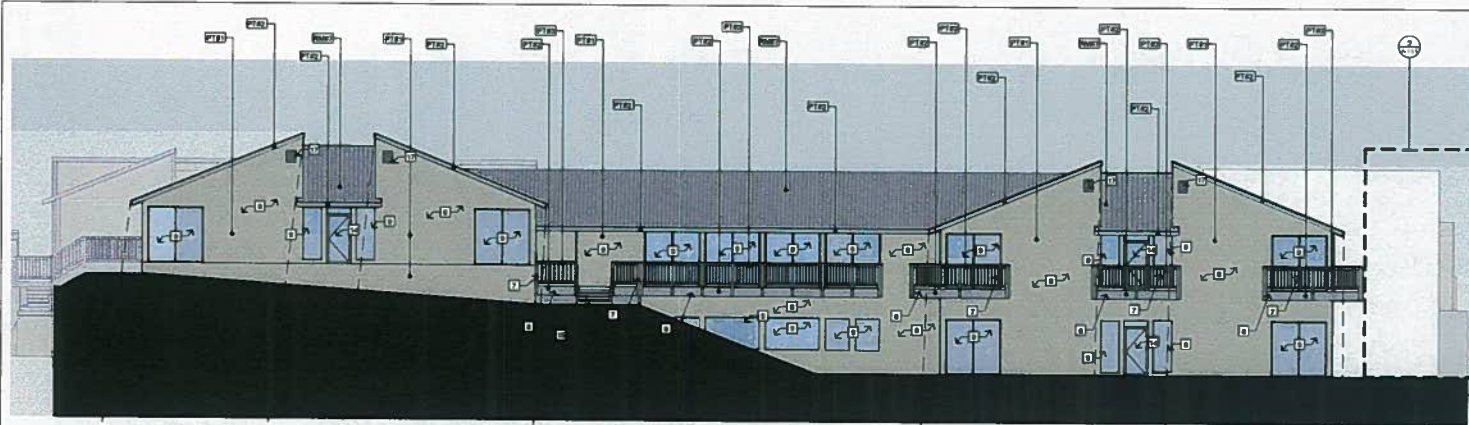
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PROJECT NO. 18.0292
DESIGNED BY ALCA
DATE ISSUED 12/14/2018
SHEET TITLE 28210 NORTH ELEVATIONS
SHEET NO. A-1.5.1



A PROPOSED 28210 EAST ELEVATION
SCALE: 1/8" = 1'-0"

PAINT & MATERIAL KEY

- PT1 DUNN EDWARDS "DES216 BARNEL STOVE" - SMOOTH STUCCO FINISH
- PT2 DUNN EDWARDS "DES233 BARK VAULT" - SMOOTH STUCCO FINISH
- PT3 DUNN EDWARDS "DES31 SILVER BULLET" - SMOOTH STUCCO FINISH
- PT4 DUNN EDWARDS "DES228 LATTE FROTH"
- PT5 NOT USED
- CL1 TRESPA ELEGANT OAK WOOD PANEL CLADDING
- CL2 EXISTING ROOF TILES. PAINT FINISH TO MATCH COLOR PT2
- CL3 NOT USED
- CL4 NOT USED

NEW NOTES NOTES

- 1 NOT USED
- 2 NOT USED
- 3 NOT USED
- 4 NOT USED
- 5 NOT USED
- 6 STUCCO AND PAINT EXISTING WALL
- 7 REFURBISH AND PAINT EXISTING WOOD GUARDRAILS
- 8 REFURBISH / REPLACE FASCIA WHERE NECESSARY
- 9 EXISTING WINDOW / DOOR TO REMAIN. PAINT FRAMES AS EXISTING FINISH.
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 NOT USED
- 14 EXISTING DOORS TO REMAIN
- 15 EXISTING STAIRS TO REMAIN
- 16 NOT USED
- 17 EXISTING VENTS TO REMAIN

DEMO NOTES

- 1 REMOVE WOOD SIDING
- 2 NOT USED
- 3 REMOVE DECORATIVE WOOD TRIM
- 4 NOT USED
- 5 NOT USED
- 6 NOT USED
- 7 NOT USED
- 8 REMOVE FINISH COAT OF EXISTING STUCCO DOWN TO THE BROWNCOAT AND APPLY NEW FINISH COAT AS SPECIFIED UNDER PAINT AND MATERIAL KEY. (TYPICAL APPLICATION FOR ALL EXISTING STUCCO FINISHES)



B EXISTING 28210 EAST ELEVATION
SCALE: 1/8" = 1'-0"

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REVISIONS	

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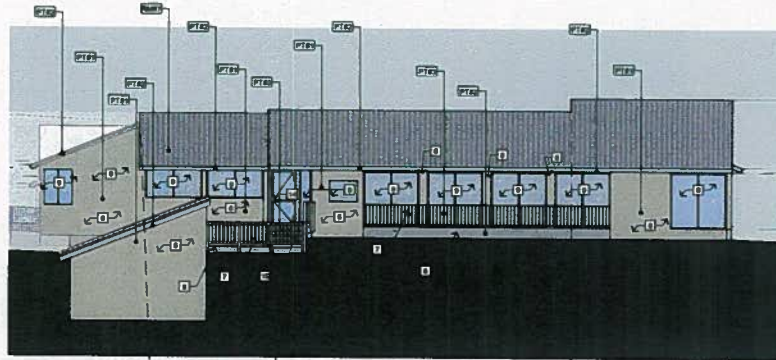
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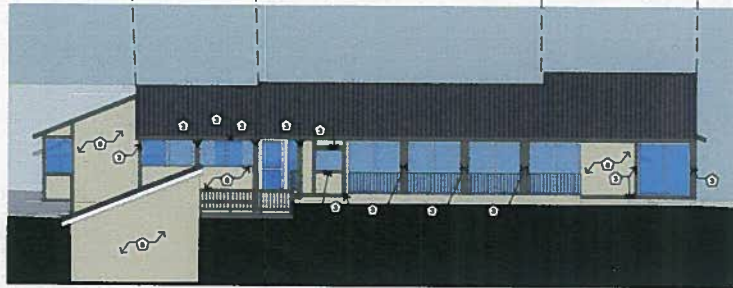
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SHEET TITLE
28210 EAST ELEVATIONS

SHEET NO.
A-1.5.2



(A) PROPOSED 28210 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



(B) EXISTING 28210 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

PAINT & MATERIAL KEY

- PT1** DUNN EDWARDS "DESIGN BARREL STOVE" - SMOOTH STUCCO FINISH
- PT2** DUNN EDWARDS "DESIGN BANK VAULT" - SMOOTH STUCCO FINISH
- PT3** DUNN EDWARDS "DESIGN SILVER BULLET" - SMOOTH STUCCO FINISH
- PT4** NOT USED
- PT5** NOT USED
- PT6** NOT USED
- PT7** NOT USED
- PT8** NOT USED
- PT9** NOT USED
- PT10** NOT USED
- PT11** EXISTING ROOF TILES. PAINT FINISH TO MATCH COLOR PT12
- PT12** NOT USED
- PT13** NOT USED

NEW NOTES NOTES

- 1** NOT USED
- 2** NOT USED
- 3** NOT USED
- 4** NOT USED
- 5** NOT USED
- 6** STUCCO AND PAINT EXISTING WALL
- 7** REFURBISH AND PAINT EXISTING WOOD QUARDRAILS
- 8** REFURBISH / REPLACE FABICA WHERE NECESSARY
- 9** EXISTING WINDOW / DOOR TO REMAIN. PAINT FRAMES AS EXISTING FINISH.
- 10** NOT USED
- 11** NOT USED
- 12** NOT USED
- 13** NOT USED
- 14** EXISTING DOORS TO REMAIN
- 15** EXISTING STAIRS TO REMAIN
- 16** NOT USED

DEMO NOTES

- 1** NOT USED
- 2** NOT USED
- 3** REMOVE DECORATIVE WOOD TRIM
- 4** NOT USED
- 5** NOT USED
- 6** NOT USED
- 7** NOT USED
- 8** REMOVE FINISH COAT OF EXISTING STUCCO DOWN TO THE BROWNCOAT AND APPLY NEW FINISH COAT AS SPECIFIED UNDER PAINT AND MATERIAL KEY. (TYPICAL APPLICATION FOR ALL EXISTING STUCCO FINISHES)

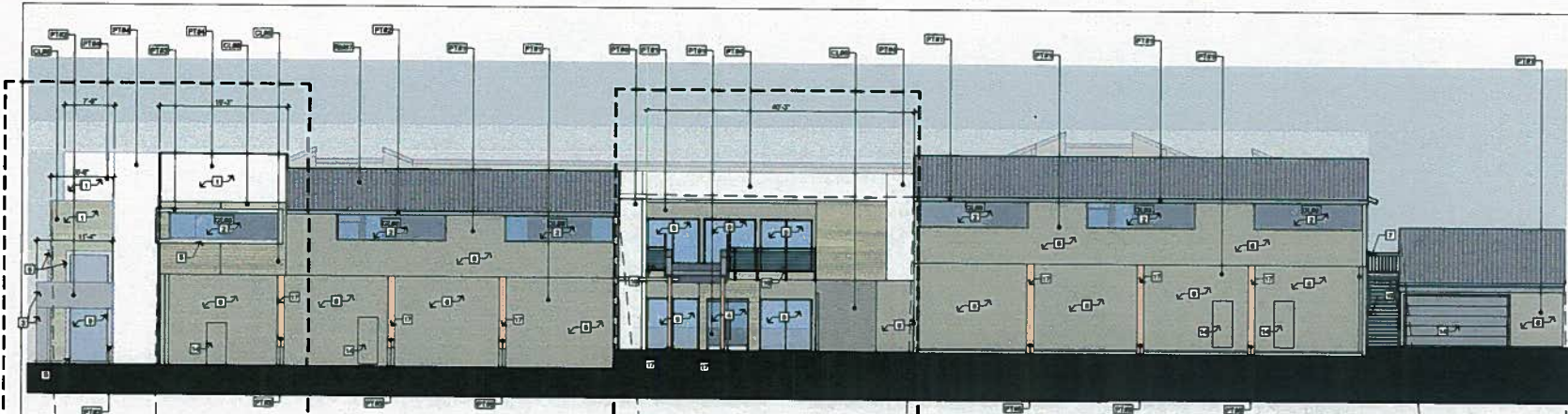
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SHEET TITLE	28210 SOUTH ELEVATIONS
SHEET NO.	A-1.5.3



(A) PROPOSED 28210 WEST ELEVATION
SCALE: 1/8" = 1'-0"

PAINT & MATERIAL KEY

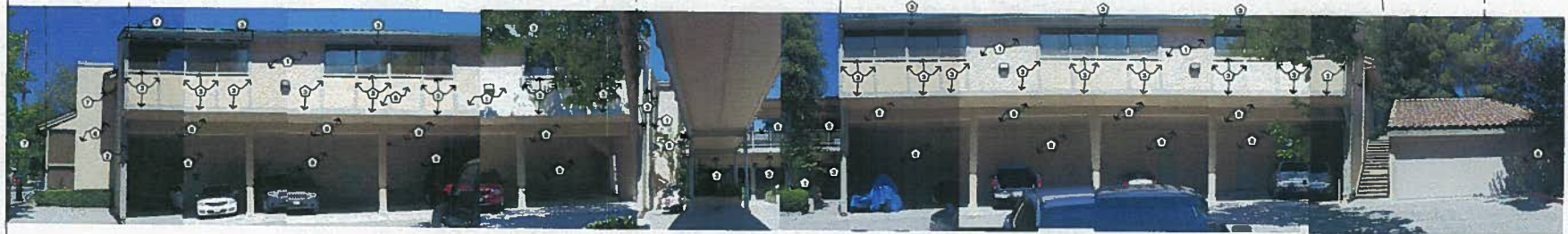
- PT12 DUNN EDWARDS "DE3216 BARNEL STOVE" - SMOOTH STUCCO FINISH
- PT13 DUNN EDWARDS "DE3383 BANK VAULT" - SMOOTH STUCCO FINISH
- PT14 DUNN EDWARDS "DE3361 SILVER BULLET" - SMOOTH STUCCO FINISH
- PT15 DUNN EDWARDS "DE3239 LATTE FROTH"
- PT16 DUNN EDWARDS "DET460 PRAISE CLAY"
- CL05 TRESPA ELEGANT OAK WOOD PANEL GLAZING
- RF07 EXISTING ROOF TILES. PAINT FINISH TO MATCH COLOR PT12
- GL20 TRANSPARENT GLASS PANEL COLOR TO MATCH EXISTING WINDOWS
- GL00 NOT USED

NEW NOTES NOTES

- 1 NEW WALL
- 2 NEW GLAZING SYSTEM
- 3 NEW SOFFIT & COMPONENT
- 4 NEW STORE FRONT SYSTEM WITH DOUBLE DOORS
- 5 NEW TRIM
- 6 STUCCO AND PAINT EXISTING WALL
- 7 REFURBISH AND PAINT EXISTING WOOD GUARDRAILS
- 8 NOT USED
- 9 EXISTING WINDOW / DOOR TO REMAIN. PAINT FRAMES AS EXISTING FINISH.
- 10 NEW CABLE GUARD RAIL
- 11 NOT USED
- 12 NOT USED
- 13 NOT USED
- 14 EXISTING DOORS TO REMAIN
- 15 EXISTING STAIRS TO REMAIN
- 16 NOT USED
- 17 FUR OUT EXISTING COLUMNS TO BE 2' x 1". STUCCO AND PAINT. (SEE DRAWING 85 ON SHEET A-1.2)

DEMO NOTES

- 1 REMOVE WOOD SIDING
- 2 REMOVE GUTTER
- 3 REMOVE DECORATIVE WOOD TRIM
- 4 NOT USED
- 5 REMOVE EXISTING GUARD RAIL
- 6 NOT USED
- 7 REMOVE ROOF TILES AND KEEP STRUCTURE
- 8 REMOVE FINISH COAT OF EXISTING STUCCO DOWN TO THE BROWNCOAT AND APPLY NEW FINISH COAT AS SPECIFIED UNDER PAINT AND MATERIAL KEY. (TYPICAL APPLICATION FOR ALL EXISTING STUCCO FINISHES)



(A) EXISTING 28210 WEST ELEVATION
SCALE: NTS

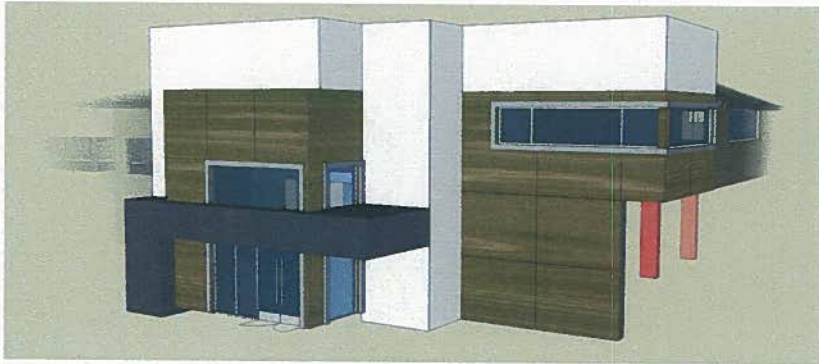
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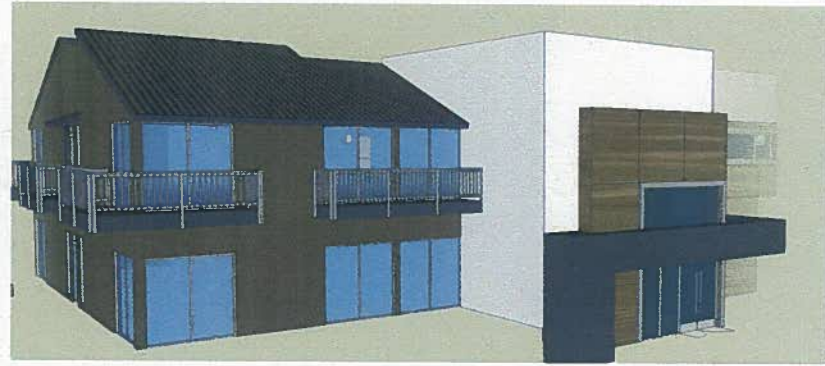


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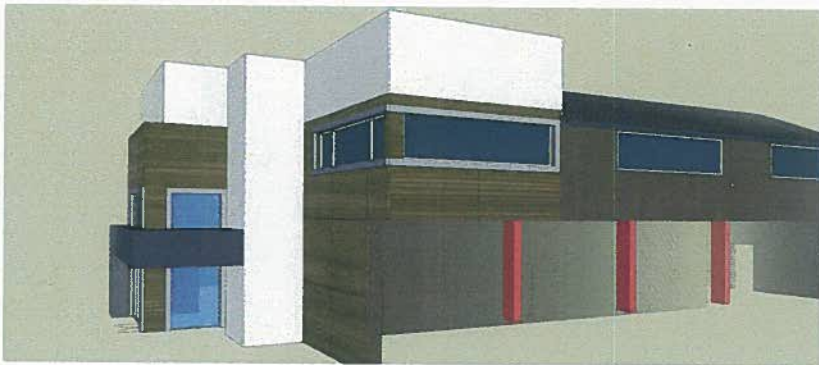
PROJECT NO.	18.0292
DATE PREPARED	AJCA
DATE ISSUE	12/14/2018
SHEET TITLE	28210 WEST ELEVATIONS
SHEET NO.	A-1.5.4



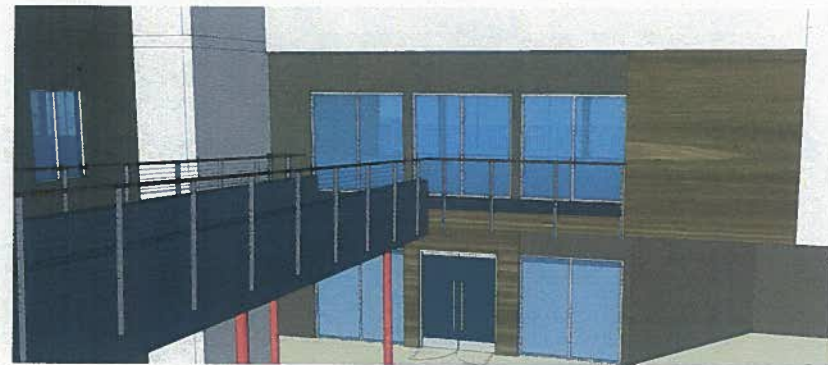
① 28210 NORTH WEST FACADE
SCALE: NTS



② 28210 NORTH EAST FACADE
SCALE: NTS



③ 28210 WEST FACADE
SCALE: NTS



④ 28210 WEST PLAZA FACADE
SCALE: NTS

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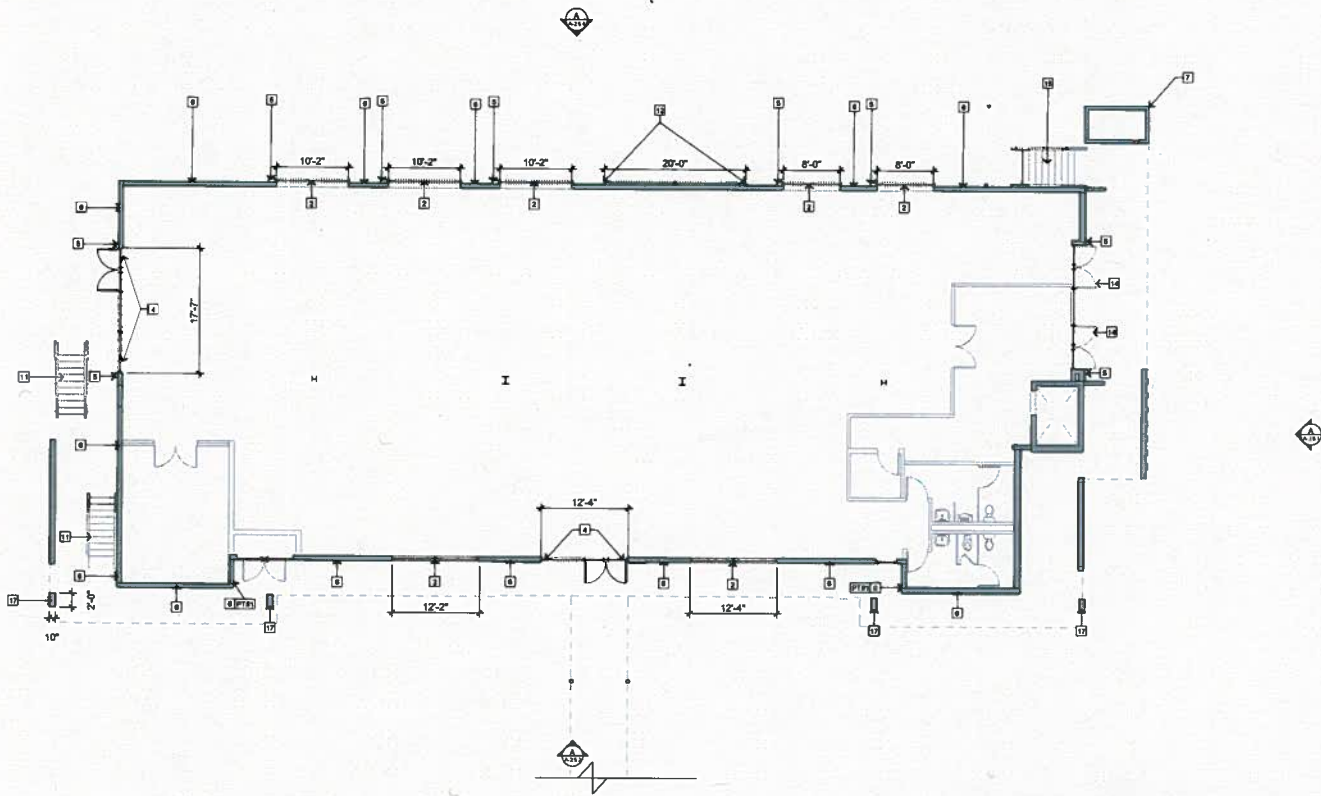
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DATE/ISSUE	12/14/2018
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SHEET TITLE	28210 PERSPECTIVES
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SHEET NO.	A-1.5.5
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(A) PROPOSED 28216 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- EXISTING WALL
- NEW WALL
- EXISTING INTERIOR
- EXISTING DOOR
- NEW DOOR
- OVERHEAD BALCONY OR FLOOR ABOVE

PAINT & MATERIAL KEY (FOR HIDDEN ELEV.)

- DUNN EDWARDS 'DESI 18 BARREL STOVE' - SMOOTH STUCCO FINISH
- * FOR A FULL LIST OF FRESH PAINT AND MATERIALS FOR ALL OTHER ELEVATIONS PLEASE SEE ELEVATION SHEETS.

NEW NOTES NOTES

- 1) NOT USED
- 2) NEW GLAZING SYSTEM
- 3) NOT USED
- 4) NEW STORE FRONT SYSTEM WITH DOUBLE DOORS
- 5) NEW TRIM
- 6) STUCCO AND PAINT WALL (SEE ELEVATION SHEETS FOR FINISHES)
- 7) NOT USED
- 8) NOT USED
- 9) NOT USED
- 10) NOT USED
- 11) NEW STAIR
- 12) NEW CURTAIN WALL WITH SPANDREL GLASS
- 13) NOT USED
- 14) EXISTING DOORS TO REMAIN
- 15) EXISTING STAIRS TO REMAIN
- 16) NOT USED
- 17) FUR OUT EXISTING COLUMNS TO BE 2 x 10". STUCCO AND PAINT. (SEE DRAWING #4 ON SHEET A-1.2)

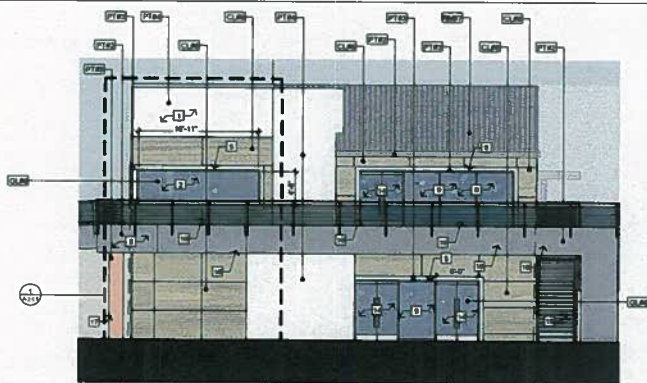
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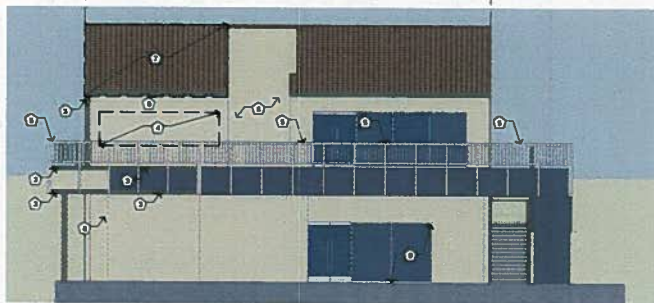


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SHEET TITLE	28216 1ST FLOOR PLAN
SHEET NO.	A-2.1



A PROPOSED 28216 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



B EXISTING 28216 NORTH ELEVATION (UNDER PHASE 1 IMPROVEMENTS)
SCALE: NTS

PAINT & MATERIAL KEY

PT1	NOT USED
PT2	DUNN EDWARDS "DESIGN BANK VAULT" - NEW SMOOTH STUCCO FINISH
PT3	DUNN EDWARDS "DESIGN SILVER BULLET" - NEW SMOOTH STUCCO FINISH
PT4	DUNN EDWARDS "DESIGN LATTE FROTH"
PT5	DUNN EDWARDS "DESIGN PRAIRIE CLAY"
GL1	TRESPA ELEGANT OAK WOOD PANEL CLADDING
TR1	EXISTING ROOF TILES. PAINT FINISH TO MATCH COLOR PTR2
GL2	TRANSPARENT GLASS PANEL COLOR TO MATCH EXISTING WINDOWS
GL3	NOT USED

NEW NOTES NOTES

- 1 NEW FACADE WALL
- 2 NEW GLAZING SYSTEM
- 3 NOT USED
- 4 NOT USED
- 5 NEW TRIM
- 6 NOT USED
- 7 NOT USED
- 8 REFURBISH / REPLACE FASCIA WHERE NECESSARY
- 9 EXISTING WINDOW / DOOR TO REMAIN. PAINT FRAME AS EXISTING FINISH
- 10 NEW CABLE GUARD RAIL
- 11 NOT USED
- 12 NOT USED
- 13 NOT USED
- 14 EXISTING DOORS TO REMAIN
- 15 EXISTING STAIRS TO REMAIN
- 16 NOT USED
- 17 PUR OUT EXISTING COLUMNS TO BE 2 x 10" STUCCO AND PAINT. (SEE DRAWING #4 ON SHEET A-1.2)
- 18 EXISTING BALCONY TO REMAIN

DEMO NOTES

- 1 NOT USED
- 2 NOT USED
- 3 REMOVE DECORATIVE WOOD TRIM
- 4 DEMO STRUCTURAL COMPONENT
- 5 REMOVE EXISTING GUARD RAIL
- 6 NOT USED
- 7 REMOVE ROOF TILES AND KEEP STRUCTURE
- 8 REMOVE FINISH COAT OF EXISTING STUCCO DOWN TO THE BROWN/CLAY AND APPLY NEW FINISH COAT AS SPECIFIED UNDER PAINT AND MATERIAL KEY (TYPICAL APPLICATION FOR ALL EXISTING STUCCO FINISHES)
- 9 REMOVE WINDOW

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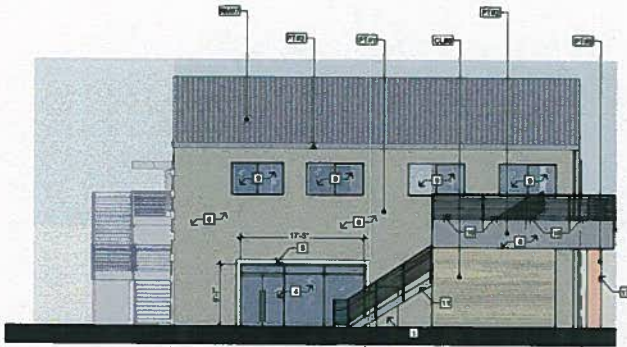
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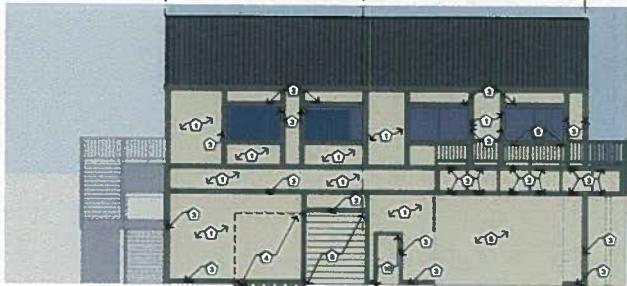
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SHEET TITLE
28210 NORTH ELEVATIONS

SHEET NO.
A-2.5.1



A PROPOSED 28216 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



B EXISTING 28216 SOUTH ELEVATION
SCALE: NTS

PAINT & MATERIAL KEY

- PT1** DUNN EDWARDS 'DE214 BARREL STOVE' - SMOOTH STUCCO FINISH
- PT2** DUNN EDWARDS 'DE263 BANK WALL' - SMOOTH STUCCO FINISH
- PT3** NOT USED
- PT4** NOT USED
- PT5** DUNN EDWARDS 'DE140 PRAIRIE CLAY'
- CL1** TRESPA ELEGANT OAK WOOD PANEL CLADDING
- RF1** EXISTING ROOF TILES, PAINT FINISH TO MATCH COLOR PT2
- SL1** NOT USED
- SL2** NOT USED

NEW NOTES NOTES

- 1** NEW FACADE WALL
- 2** NOT USED
- 3** NOT USED
- 4** NEW STORE FRONT SYSTEM WITH DOUBLE DOORS
- 5** NEW TRIM
- 6** STUCCO AND PAINT EXISTING WALL
- 7** NOT USED
- 8** REFURBISH / REPLACE FASCIA WHERE NECESSARY
- 9** EXISTING WINDOW / DOOR TO REMAIN, PAINT FRAME AS EXISTING FINISH
- 10** NEW CABLE GUARD RAIL
- 11** NEW STAIR
- 12** NOT USED
- 13** NOT USED
- 14** NOT USED
- 15** NOT USED
- 16** FUR OUT EXISTING COLUMNS TO BE 2' x 10". STUCCO AND PAINT (SEE DRAWING #4 ON SHEET A-1.2)

DEMO NOTES

- 1** REMOVE WOOD SIDING
- 2** NOT USED
- 3** REMOVE DECORATIVE WOOD TRIM
- 4** DEMO STRUCTURAL COMPONENT
- 5** NOT USED
- 6** DEMO EXISTING STAIRS
- 7** NOT USED
- 8** REMOVE FINISH COAT OF EXISTING STUCCO DOWN TO THE BROWN COAT AND APPLY NEW FINISH COAT AS SPECIFIED UNDER PAINT AND MATERIAL KEY. TYPICAL APPLICATION FOR ALL EXISTING STUCCO FINISHES
- 9** REMOVE GARAGE DOOR
- 10** REMOVE DOOR

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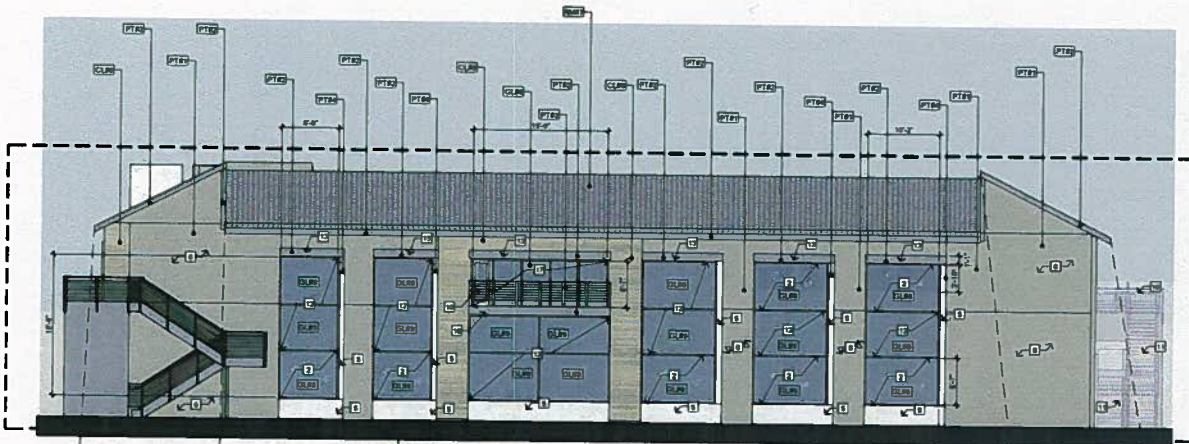
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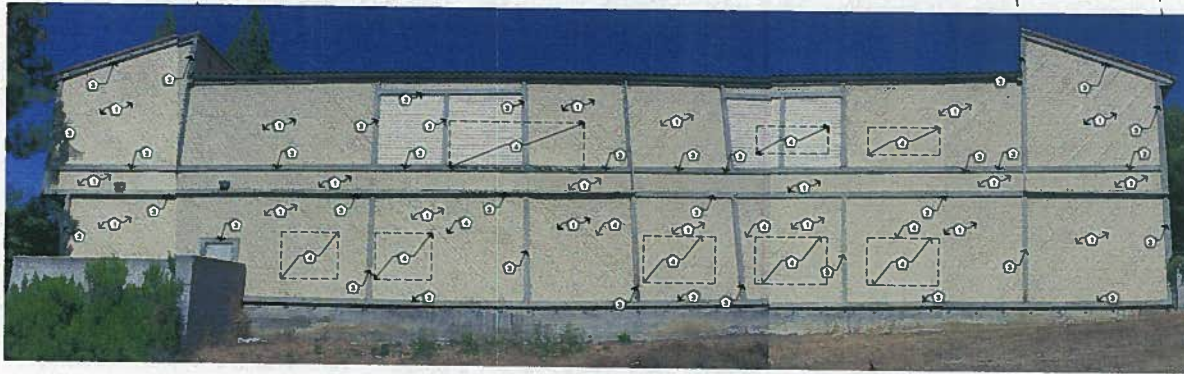
DATE/SCALE
12/14/2016

SHEET TITLE
28216 SOUTH ELEVATIONS

SHEET NO.
A-2.5.3



(A) PROPOSED 28216 WEST FACADE
SCALE: 1/4" = 1'-0"



(B) EXISTING 28216 WEST FACADE
SCALE: N.T.S.

PAINT & MATERIAL KEY

- PT12** DUNN EDWARDS "DEB216 BARREL STOVE" - SMOOTH STUCCO FINISH
- PT13** DUNN EDWARDS "DEB263 BANK VAULT" - SMOOTH STUCCO FINISH
- PT14** DUNN EDWARDS "DEB261 SILVER BULLET" - SMOOTH STUCCO FINISH
- PT22** DUNN EDWARDS "DEB226 LATTE FINISH"
- PT18** NOT USED
- CL12** TRESPA ELEGANT OAK WOOD PANEL CLADDING
- GL12** EXISTING ROOF TILES. PAINT FINISH TO MATCH COLOR PT12
- GL22** TRANSPARENT GLASS PANEL. COLOR TO MATCH EXISTING WINDOWS
- GL23** OPAQUE GLASS

NEW NOTES NOTES

- 1** NOT USED
- 2** NEW GLAZING SYSTEM
- 3** NOT USED
- 4** NOT USED
- 5** NEW TRIM
- 6** STUCCO AND PAINT EXISTING WALL
- 7** NOT USED
- 8** NOT USED
- 9** NOT USED
- 10** NEW CABLE GUARD RAIL
- 11** NEW STAIR
- 12** NEW CURTAIN WALL WITH SPANDREL GLASS
- 13** NEW CANOPY
- 14** NOT USED
- 15** NOT USED
- 16** NOT USED
- 17** NEW STOREFRONT SYSTEM WITH SINGLE GLASS DOOR
- 18** NEW BALCONY

DEMO NOTES

- 1** REMOVE WOOD SIDING
- 2** NOT USED
- 3** REMOVE DECORATIVE WOOD TRIM
- 4** DEMO STRUCTURAL COMPONENT
- 5** NOT USED
- 6** NOT USED
- 7** NOT USED
- 8** NOT USED

ISSUE	DATE
ISSUED TO PLANNING	09.28.16
ISSUED TO PLANNING REVISIONS	11.10.16
ISSUED TO PLANNING REVISIONS	12.14.16

KAMUS + KELLER
3100 AGOURA ROAD
SUITE 100, CA 91301
P 626.859.9795
WWW.KAMUS.COM



28210 + 28216 DOROTHY DR
AGOURA HILLS, CA 91301

PROJECT NO.
15.0282

DRAWN/REVIEWED
AL/CA

DATE/ISSUE
12/14/2016

SHEET TITLE
28216 WEST ELEVATIONS

SHEET NO.
A-2.5.4

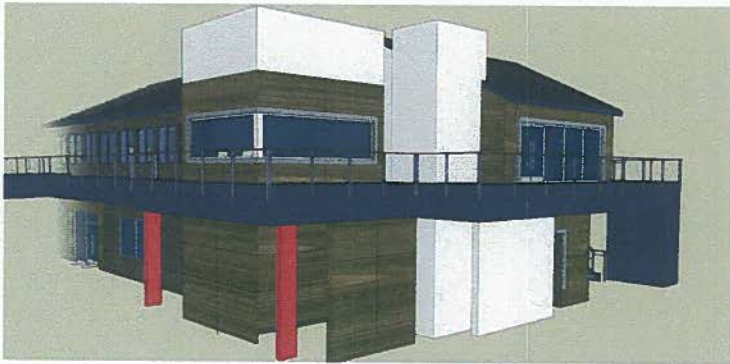
ISSUE	DATE
ISSUED TO PLANNING	08.28.16
ISSUED TO PLANNING REVISIONS	11.10.16
ISSUED TO PLANNING REVISIONS	12.18.16

KAMUS + KELLER
 ARCHITECTS
 2105 AGOURA ROAD
 AGOURA HILLS, CA 91301
 P: 909.833.9325
 WWW.KAMUS.COM



28210 + 28216 DOROTHY DR
 AGOURA HILLS, CA 91301

PROJECT NO.	16-0292
DRAWN/REVIEWED	ALCA
DATE/SCALE	12/14/2016
SHEET TITLE	28216 PERSPECTIVES
SHEET NO.	A-2.5.5



① 28216 NORTH-EAST FACADE
 SCALE: NTS



② 28216 EAST-FACADE
 SCALE: NTS



③ 28216 NORTH-WEST FACADE
 SCALE: NTS



④ 28216 WEST-FACADE BALCONY
 SCALE: NTS

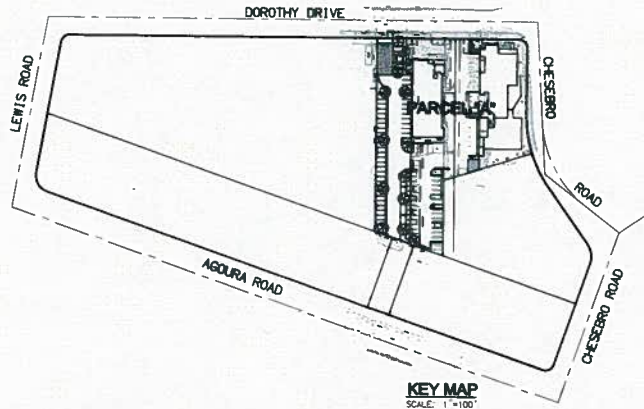


⑤ 28216 WEST-FACADE (REFERENCE OPENINGS ONLY)
 SCALE: NTS

ACCESSIBILITY IMPROVEMENTS - PHASE 3

28216 DOROTHY DRIVE

AGOURA HILLS, CALIFORNIA



GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT'S GEOLOGIC AND SOIL REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBIRGANS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL, BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
- TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 130, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.
- AN ENCROACHMENT PERMIT IS REQUIRED OF ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY (ROW). ALL APPLICABLE FEES MUST BE PAID AND SECURITIES POSTED PRIOR TO ISSUANCE OF THE PERMIT. ALL WORK REQUIRES APPROVAL FROM THE PUBLIC WORKS INSPECTOR.

PUBLIC UTILITIES / SERVICES

- WATER:** LAS VIRGENES MUNICIPAL WATER DISTRICT
4232 LAS VIRGENES ROAD
CALABASAS, CA 91302
(818) 800-4110
- ELECTRICAL:** SOUTHERN CALIFORNIA EDISON
3589 FOOTHILL DRIVE
THOUSAND OAKS, CA 91361
(805) 494-7018
- TELEPHONE:** SBC (PAC BELL)
18201 RANNEY STREET, #115
VAN NUYS, CA 91406
(818) 373-6689
- GAS:** SOUTHERN CALIFORNIA GAS
3405 GUNDEL AVENUE
CHATSORTH, CA 91313
(818) 701-3324
- SEWER:** LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1000 E. FREMONT AVENUE, BLDG. 68 EAST
ALHAMBRA, CA 91803
(626) 300-3308
- CABLE:** TIME WARNER CABLE
7225 KNULL DRIVE
NEWBURY PARK, CA 91303
(805) 732-9474
- CABLE:** CHARTER COMMUNICATIONS
3006 CROSSCREEK ROAD
MILPITAS, CA 95025
(310) 456-9010
- CALTRANS:** 5680 REYESA BOULEVARD
FARMAN, CA 91358
(805) 388-4428

GENERAL NOTES

- THE GRADING PLAN SHOULD INCLUDE THE LIMITS AND DEPTHS OF OVER EXCAVATION OF THE BUILDING PAD AND PLATFORM AREAS AS RECOMMENDED BY THE CONSULTANT.
- ALL CUT-SLOPES SHOULD BE MAPPED DURING GRADING. STABILIZATION MEASURES SHOULD BE APPLIED WHERE FUTURE CUTS EXPOSE ADVERSELY ORIENTED JOINT SURFACES OR INTERSECTIONS OF JOINT SURFACES.
- ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED. IN WRITING BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF REINFORCING STEEL.
- DRAINAGE PLANS DEPICTING ALL SURFACE AND SUBSURFACE NON-EROSIVE DRAINAGE DITCHES, FLOW LINES, AND CATCH BASINS SHALL BE INCLUDED ON THE BUILDING PLANS.
- FINAL GRADING, DRAINAGE, AND FOUNDATION PLANS SHALL BE REVIEWED, STAMPED, AND MET STAMPED BY THE CONSULTANT.

INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 587-7350, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."

ABBREVIATIONS

AC	ASPHALT CONCRETE	IMV	INVERT OF PIPE
APN	ACCESSORS PARCEL NUMBER	LF	LINEAR FEET
CRG	CURB AND GUTTER	N/P	NOT A PART
CONC	CONCRETE	P/L	PROPERTY LINE
CONST	CONSTRUCT	PCW	POLYETHYLENE MAIN
CL	CENTERLINE	R/W	RIGHT OF WAY
DWG	DRAWING	S/D	STANDARD
DOC	DOCUMENT	S	SEWER
E	ELECTRICAL	SD	STORM DRAIN
EO	END CURVE	SC	SOUTHERN CALIFORNIA EDISON
EX	EXIST	EX	EXISTING
FD	FINISHED GRADE	TC	TOP OF CURB
FL	FLOWLINE	TL	TOP OF GATE
F	FINISHED SURFACE	TYP	TYPICAL
G	GAS	VCP	VITRIFIED CLAY PIPE
GB	GRADE BREAK	#	WATER
HP	HIGH POINT		

LEGEND AND SYMBOLS

	DAKYLITE LIMITS		GRATED CATCH BASIN
	FLOW LINE		EXISTING FIRE HYDRANT
	SAWOUT LINE		NEW SIGN
	EXISTING IMPROVEMENTS		INDICATES FLOW DIRECTION
	NEW STORM DRAIN (>12")		RIGHT OF WAY
	PROPERTY LINE		EASEMENT
	RIGHT OF WAY		(853.1) EXISTING ELEVATION
	ROADWAY		(853.1) PROPOSED ELEVATION
	RIBBON BUTTER		
	CONCRETE CURB		

STORMWATER POLLUTION NOTES

- A SITE-SPECIFIC, "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED AT ALL TIMES.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

LEGAL DESCRIPTION

LOT 11, LOT 12 AND A PORTION OF LOT 10, BLOCK 1, TRACT NO. 8451, W. B. 104, PGS. 79-90



CALL 811
AT LEAST TWO DAYS
BEFORE YOU DIG

LAND USE		INDEX OF DRAWINGS	
PAR. LOT	AREA	SHEET NO.	DESCRIPTION
PAR. LOT 10	900 SF		
LOT 11	21,780 SF	1	COVER SHEET
LOT 12	33,110 SF	2	OVERALL SITE PLAN
PARCEL "A"	55,490 SF	3-5	PRECISE GRADING PLAN
LOT COVERAGE 10	0 SF		
LOT COVERAGE 11	14,219 SF		
LOT COVERAGE 12	19,879 SF		
LOT COVERAGE "A"	34,603 SF		
LANDSCAPE AREA	8,721 SF		
OUTDOOR PUBLIC SPACE	2,830 SF		
ACCESSORY STRUCTURE	305 SF		

ESTIMATED EARTHWORK QUANTITIES			
ESTIMATED CUT:	28 CY	ESTIMATED EXPORT:	0 CY
ESTIMATED FILL:	188 CY	ESTIMATED IMPORT:	160 CY
ESTIMATED OVER-EXCAVATION:	0 CY		

BENCHMARK

DESCRIPTION: BM NO. Y-10122 ELEVATION: 832.620 SURVEY DATE: 2003
NO. Y-10127 (NAVIGATE L.A. DATABASE) ELEVATION: 837.836 (2003 ADJ.) DATA: NAVD 1989
RDB# TAG IN S 8 600M E/O BOR @ SE COR AGOURA RD & LAURA LA PLANTE OR 14W E & 10W
S/O C/L INT

RECORD DRAWING STATEMENT

I, _____ HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. _____ THROUGH _____ WARRAS AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

REGISTERED CIVIL ENGINEER DATE _____ REC. NO. _____ EXP. DATE _____

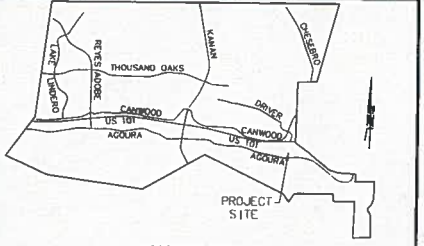
SOILS APPROVAL

THIS PLAN HAS BEEN REVIEWED AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____

REGISTERED GEOLOGIST DATE _____ REC. NO. _____ EXP. DATE _____

REGISTERED GEOTECHNICAL ENGINEER DATE _____ REC. NO. _____ EXP. DATE _____

OWNER	
NAME:	ALBERT B. MACKENZIE
ADDRESS:	28348 ROADSIDE DRIVE, SUITE 105, AGOURA HILLS, CA
REPRESENTATIVE:	BRUCE ALBERT
TELEPHONE:	(818) 575-9833
CIVIL ENGINEER	
NAME:	DELANE ENGINEERING
ADDRESS:	2812 SANTA MONICA BLVD. #206, SANTA MONICA, CA 90404
REPRESENTATIVE:	SCOTT D. URALES, P.E.
TELEPHONE:	(310) 876-0602
GEOTECHNICAL ENGINEER	
NAME:	AGE GEOTECHNICAL, INC.
ADDRESS:	18555 SHERMAN WAY, SUITE A, VAN NUYS, CA 91406
REPRESENTATIVE:	BILL ROBINSON, REG. 861
TELEPHONE:	(818) 785-5244



VICINITY MAP

ACCESSIBILITY IMPROVEMENTS - PHASE 3
28216 DOROTHY DRIVE
COVER SHEET

SHEET 1 OF 5

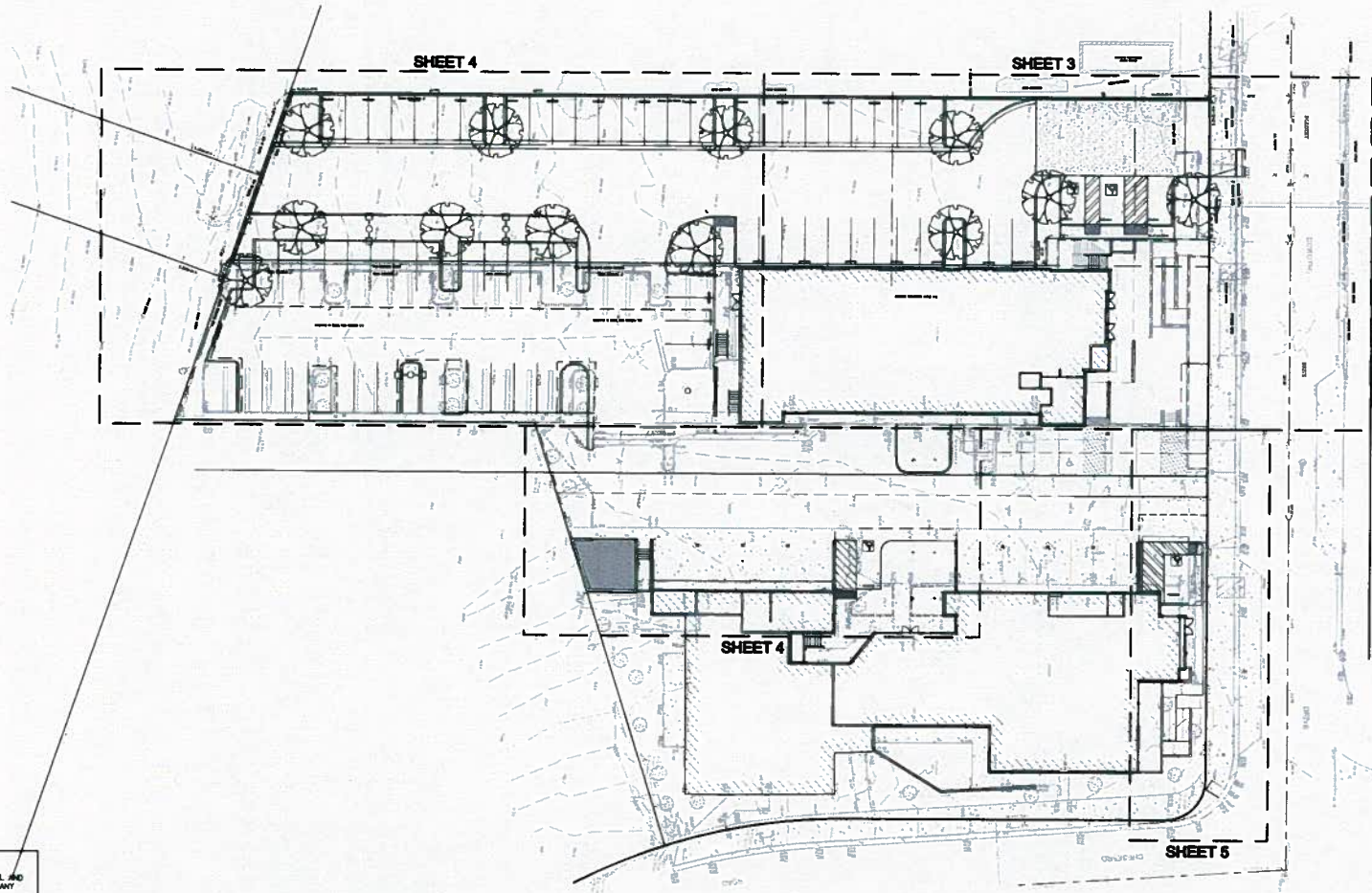
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY
DELANE ENGINEERING
REGISTERED CIVIL ENGINEER
NO. C 72381

811
Know what's Under.
Call before you dig.
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

REVIEWED BY	DATE	8885	8885	8885
		REC. NO.	EXP. DATE	

CITY OF
AGOURA HILLS



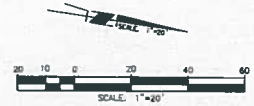
CAUTION:
 THE CONTRACTOR SHALL POT-HOLE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY NET UTILITY CONSTRUCTION. PRIOR TO POT-HOLING THE CONTRACTOR SHALL PROVIDE THE ENGINEER TWO WORKING DAYS NOTICE TO SURVEY AND VERIFY THE HORIZONTAL/VERTICAL LOCATION OF ALL EXISTING UTILITY CROSSINGS. CHANGES TO THE PROPOSED NET UTILITY ALIGNMENT COULD BE REQUIRED BASED ON THE ACTUAL UTILITY LOCATIONS.



CALL 811
 AT LEAST TWO DAYS
 BEFORE YOU DIG

Under what's below,
 Call before you dig.

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY
DELANE ENGINEERING
 ENGINEERS ARCHITECTS AND PLANNERS
 10000 WILSON AVENUE, SUITE 100
 AGOURA HILLS, CA 91301
 (909) 271-1111
 WWW.DELANEENGINEERING.COM

SCOTT E. LEECH DATE

REVIEWED BY DATE

CITY OF AGOURA HILLS APPROVAL

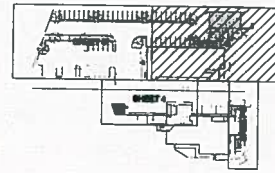
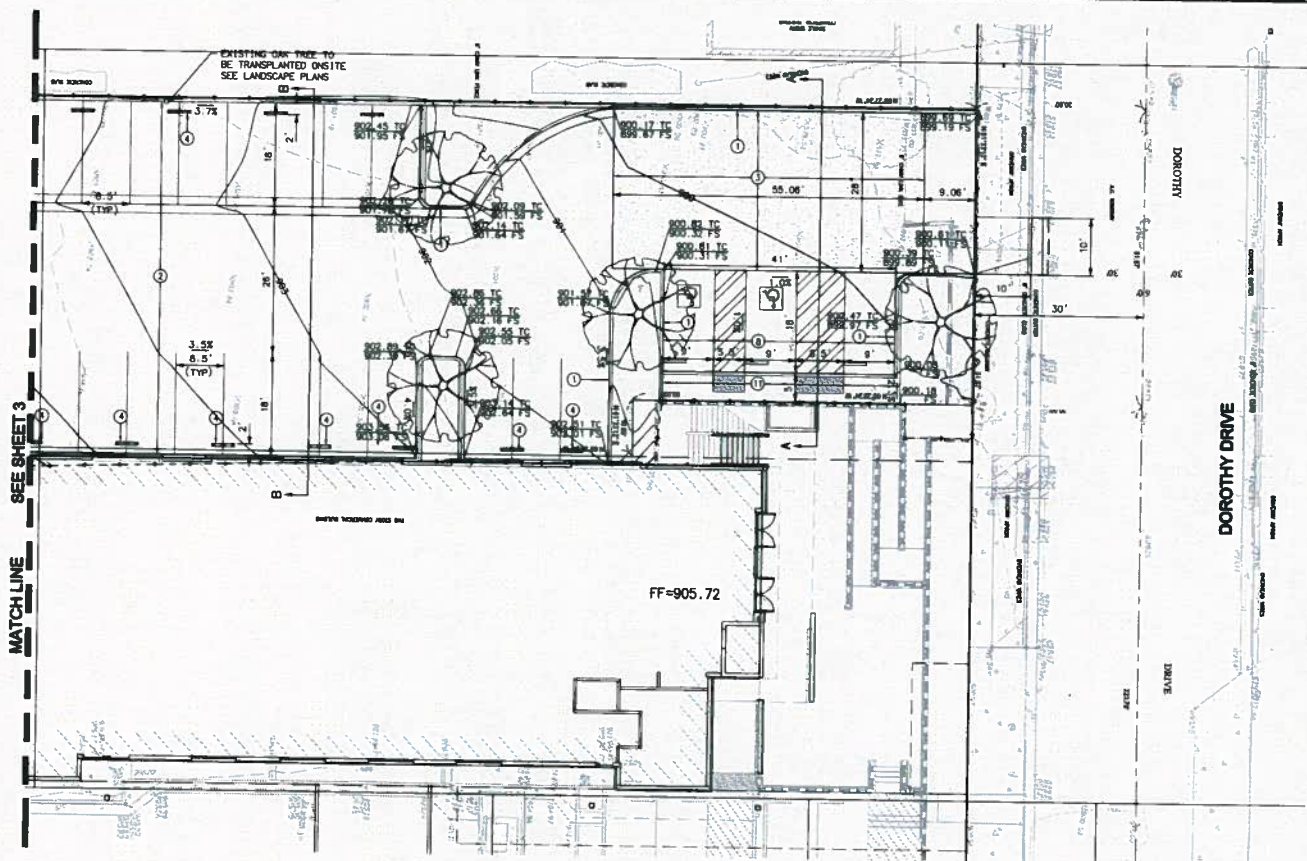
RAMIRO ACIÑA DATE
 CITY ENGINEER

6885 MONTH
 SIZE NO. EXP. DATE



ACCESSIBILITY IMPROVEMENTS - PHASE 3
28216 DOROTHY DRIVE
OVERALL SITE PLAN

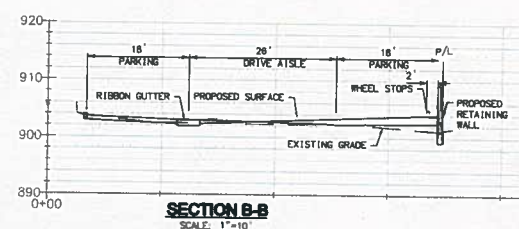
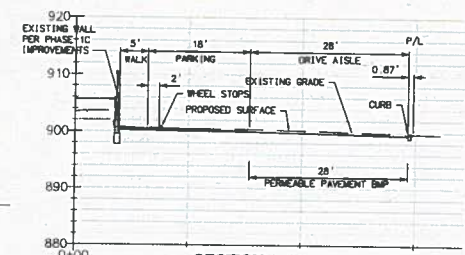
SHEET 2 OF 5



KEY MAP
SCALE: 1"=100'

CONSTRUCTION NOTES

- ① CONSTRUCT 6" CURB ONLY (A1-6), PER SPWIC STD PLAN 120-2
- ② CONSTRUCT 4" AC OVER 6" CMB MINIMUM OR MATCH EXISTING PAVEMENT SECTION, FINAL SECTION TO BE DETERMINED BY SOILS ENGINEER THROUGH R-WALLS TESTING (T-1-6)
- ③ LID BMP: PERMEABLE PAVEMENT: 2" THICK MIN PERMEABLE PAVEMENT OVER 1" THICK LAYER 0.5" CRUSHED STONE OVER 2" THICK LAYER 2" NO 57 STONE OVER 2" THICK LAYER 0.5" CRUSHED STONE OVER US200 PERMEABLE GEOMEMBRANE
- ④ CONSTRUCT WHEELSTOP PER SPWIC STD PLAN C1-6, L=4', OFFSET OF STALL CENTER
- ⑤ INSTALL ACCESSIBLE PARKING SIGNING AND STRIPING PER SPWIC STD PLAN 100-0
- ⑥ CONSTRUCT 4" THICK CONCRETE (500-C-2500) SIDEWALK, REINFORCED PLANE JOINTS TO MATCH EXISTING SPACINGS



CAUTION:
THE CONTRACTOR SHALL POT-HOLE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY NET UTILITY CONSTRUCTION. PRIOR TO POT-HOLING THE CONTRACTOR SHALL PROVIDE THE ENGINEER TWO WORKING DAYS NOTICE TO SURVEY AND VERIFY THE HORIZONTAL/VERTICAL LOCATION OF ALL EXISTING UTILITY CROSSINGS. CHANGES TO THE PROPOSED NET UTILITY ALIGNMENT COULD BE REQUIRED BASED ON THE ACTUAL UTILITY LOCATIONS.



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BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

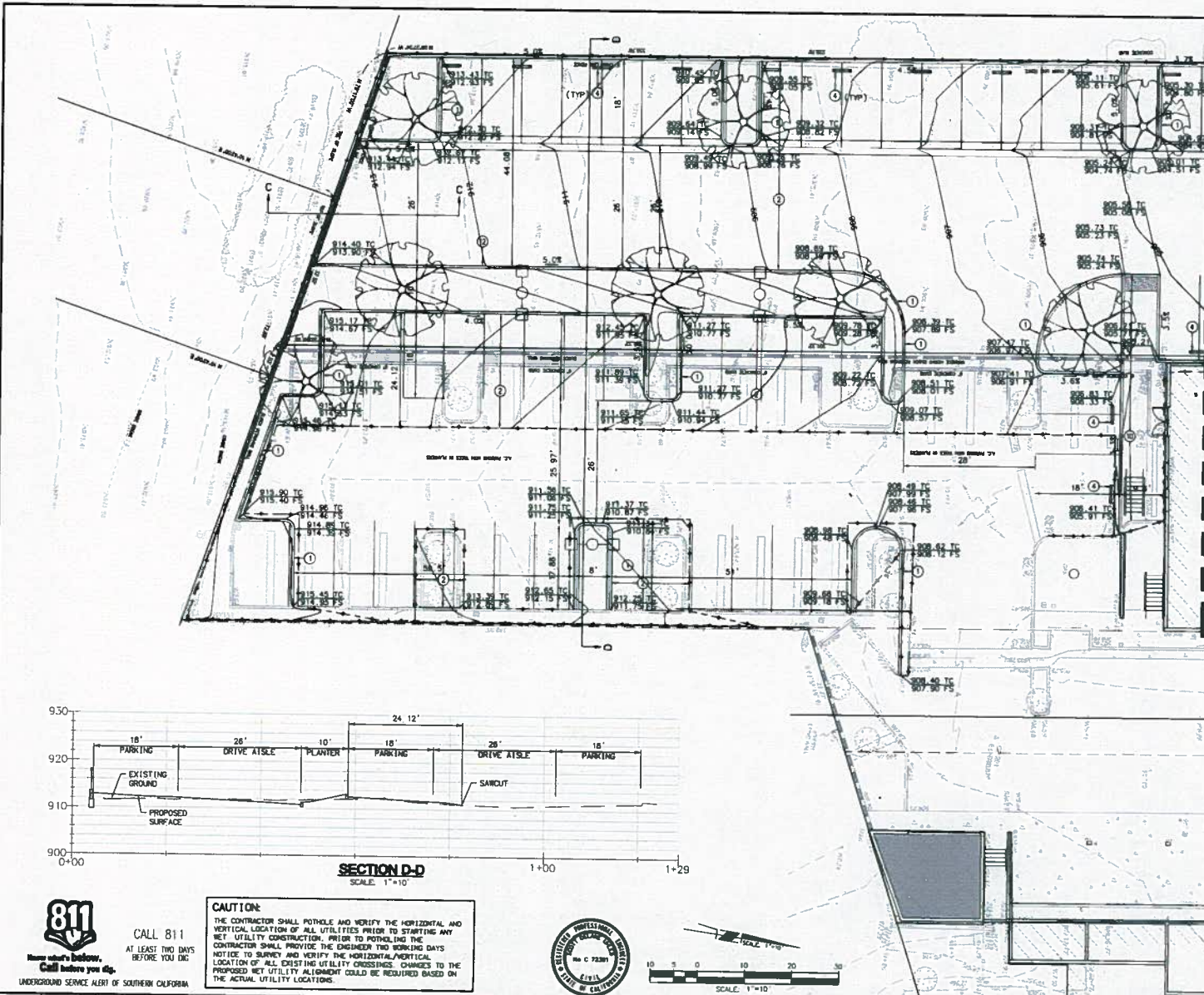


REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

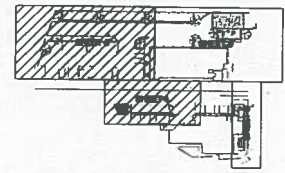
REVISION #	DATE	REVISION	DATE	REVISION	DATE



ACCESSIBILITY IMPROVEMENTS - PHASE 3
28216 DOROTHY DRIVE
Precise Grading



MATCH LINE SEE SHEET 2

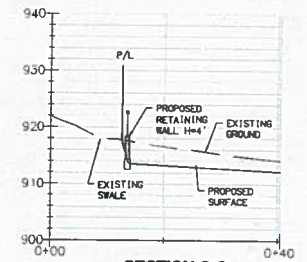


KEY MAP
SCALE: 1"=100'

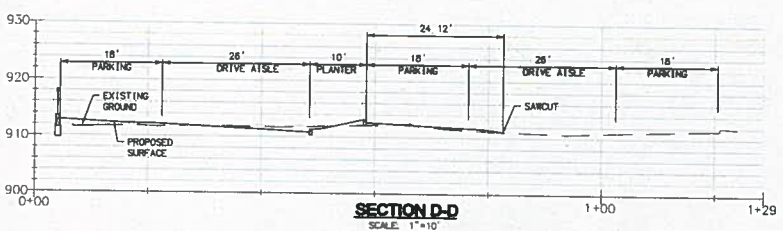
CONSTRUCTION NOTES

- ① CONSTRUCT 6" CURB ONLY (A1-A3), PER SPCC STD PLAN 120-2
- ② CONSTRUCT 4" AC OVER 6" C&G MINIMUM OR MATCH EXISTING PAVEMENT SECTION. FINAL SECTION TO BE DETERMINED BY SOILS ENGINEER THROUGH R-VALUE TESTING (T.1-6)
- ③ CONSTRUCT WHEELSTOP PER SPCC STD PLAN C1-8, L=4', OFFSET OF STALL CENTER
- ④ CONSTRUCT 4" PCC OVER 4" C&G REINFORCED WITH #4 BARS AT 24" ON CENTER EACH WAY
- ⑤ CONSTRUCT 8" CURB & GUTTER PER SPCC STD PLAN 120-2, A2-8, B=24"

FF=905.72



SECTION C-C
SCALE: 1"=10'



SECTION D-D
SCALE: 1"=10'

CAUTION:
THE CONTRACTOR SHALL POTHOLE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY NET UTILITY CONSTRUCTION. PRIOR TO POTHOLEING THE CONTRACTOR SHALL PROVIDE THE ENGINEER TWO WORKING DAYS NOTICE TO SURVEY AND VERIFY THE HORIZONTAL/VERTICAL LOCATION OF ALL EXISTING UTILITY CROSSINGS. CHANGES TO THE PROPOSED NET UTILITY ALIGNMENT COULD BE REQUIRED BASED ON THE ACTUAL UTILITY LOCATIONS.



811
Name what's below.
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UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

CALL 811
AT LEAST TWO DAYS
BEFORE YOU DIG

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY
DELANE ENGINEERING
No. C 72381
STATE OF CALIFORNIA

REVIEWED BY
DATE

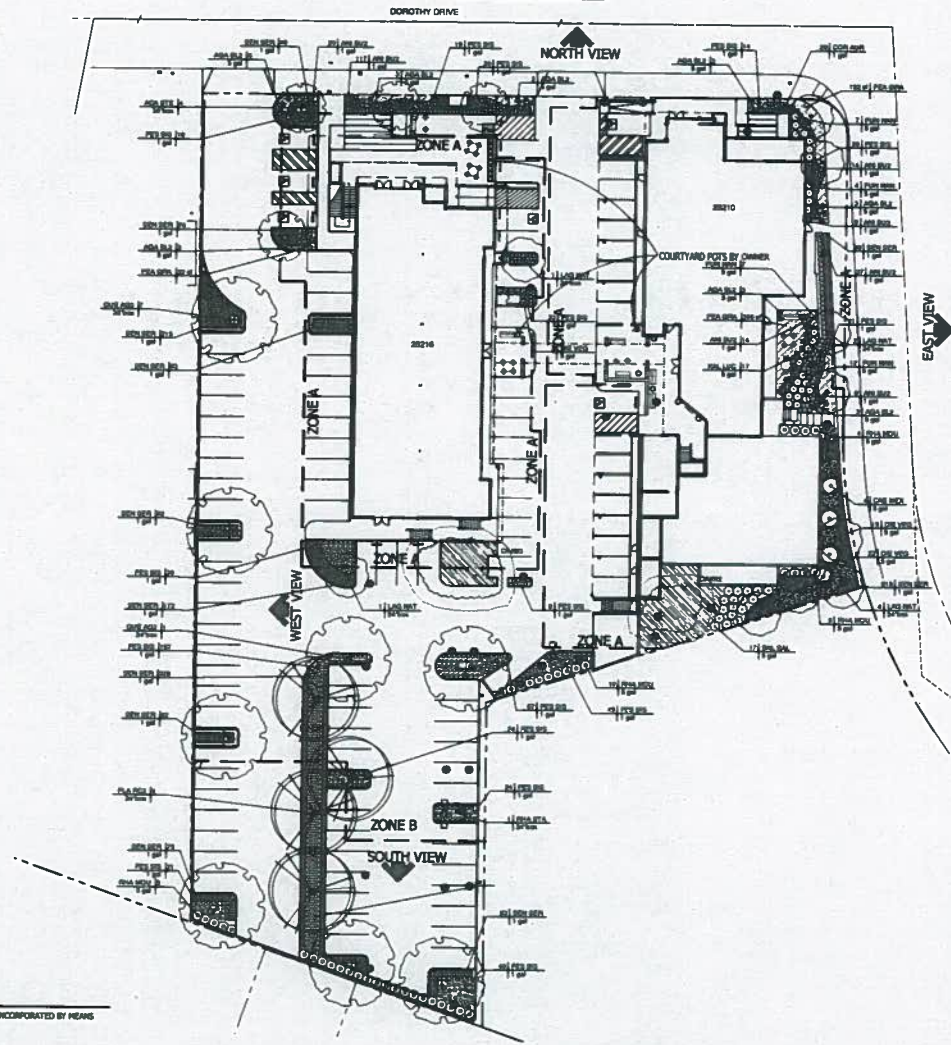
CITY OF AGOURA HILLS APPROVAL
DRAWING AGOURA
CITY ENGINEER
DATE



ACCESSIBILITY IMPROVEMENTS - PHASE 3
28216 DOROTHY DRIVE
PRECISE GRADING
SHEET 4 OF 5

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME / COMMON NAME	CODE	ZONE	SIZE	USDA	QTY	
	ACACIA SERRIFOLIA / RHODESIANA ACACIA	24"BOX	AV	24-32 X 4-5'	MEDIUM	4	
	EXISTING TREE REMOVAL	TO BE REMOVED					17
	LAGERSTROMIA X 'BATON ROUGE' / CHAPE MYRTLE	24"BOX	AV	9'-10' X 3'-4'	MEDIUM	16	
	PLATANUS RACEMOSA / CALIFORNIA SYCAMORE	24"BOX	B	8'-10' X 3'-4'	LOW	4	
	QUERCUS AGRIFOLIA / COAST LIVE OAK	24"BOX	B	8'-9" X 3'-4" W	LOW	1	
	QUERCUS AGRIFOLIA / COAST LIVE OAK	36"BOX				7	
	DINANDROLIS BICOLOR 'MAJESTIC BEAUTY' TM / MAJESTIC BEAUTY BIGNONIACEAE STANDARD	24"BOX	B			1	
SHRUBS							
BOTANICAL NAME / COMMON NAME	SIZE	USDA	ZONE	USDA	USDA	QTY	
AGAVE X 'BLUE FLAME' / BLUE FLAME AGAVE	1 GAL	LOW	AV	24" x 24"		27	
ANDROMEDAS X 'BUSH RANGER' / BIG RED KANGAROO BUSH	1 GAL	LOW	AV	24" x 24"		223	
CHELIPEDIA MEDICINA / MEDICINE BIRD OF PARADISE	1 GAL	LOW	A	16" x 16"		4	
CORDEA ALLICATA 'NANA' / NATIVILLE DART	1 GAL	LOW	A	14" x 14"		28	
DETICA VEGETA / APRICORN BEEB	1 GAL	LOW	A	16" x 16"		44	
FESTUCA LAMMOIDES 'ESKAYOU BLUE' / ESKAYOU BLUE FESCUE	1 GAL	LOW	A	16" x 16"		663	
HALIMOLIS LUCIDA / PINKLE PLANT	1 GAL	LOW	AV	16" x 16"		17	
PARICA GRANATUM 'NANA' / DWARF POMEGRANATE	1 GAL	LOW	AV	16" x 16"		30	
RYNCHUS CALIFORNICA 'HOURS SAN BILINO' / CALIFORNIA COFFEEBERRY	1 GAL	LOW	B	16" x 16"		43	
SALVIA GREGGII 'PURPURA RED' / PURPURA RED SALVIA	1 GAL	LOW	AV	16" x 16"		17	
SORBO SERRIS / BLUE CHALCOTRIS	1 GAL	LOW	A	12" x 12"		2,881	
GROUND COVERS							
BOTANICAL NAME / COMMON NAME	CODE	USDA	ZONE	USDA	USDA	QTY	
MULCH / 2" PINK BARK MULCH	MULCH					1,382 SF	
PEA GRAVEL						500 SF	



PLANTING NOTES

- THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO PLANT INSTALLATION. PLANT MATERIAL QUANTITIES ARE LISTED FOR THE CONFORMANCE OF THE CONTRACTOR. ACTUAL NUMBER OF PLANT SYMBOLS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION. NO SUBSTITUTIONS ALLOWED WITHOUT APPROVAL OF LANDSCAPE ARCHITECT OR OWNER.
- APPROVAL OF ALL TREES THAT ARE 2" BOX OR LARGER SHALL TAKE PLACE PRIOR TO SHIPPING TREES TO THE SITE. SMALL PORTION OF EACH TREE VARIETY SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND SHIPPED APPROVAL PRIOR TO SHIPPING.
- FINAL LAYOUT OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AT LEAST 48 HOURS PRIOR TO PLANTING.
- GROUNDCOVER PLANTINGS SHALL BE TRIANGULAR SPACED AND CONTINUOUS UNDER ALL TREES AND SHRUB PARCELS AS SHOWN ON PLAN.
- ALL 15 GALLON TREES AND 2" BOXED TREES SHALL BE DOUBLE-STAKED; LARGER BOXED TREES SHALL BE GATED.
- ALL LANDSCAPE AREAS SHALL BE FINISH GRADED TO REMOVE ROCKS AND TO INSURE SURFACE DRAINAGE AWAY FROM BUILDINGS.
- ALL FINISH GRADES IN PLANTED AREAS SHALL BE 1" BELOW ADJACENT PAVING UNLESS NOTED OTHERWISE.
- THE FOLLOWING AMENDMENTS SHALL BE UNIFORMLY BROADCAST AND THOROUGHLY INCORPORATED BY MEANS OF A ROTOTILLER TO A DEPTH OF 8":
3 CU. YDS. NITROGEN STABILIZED SANDWICH
20 LBS. 13-13-13 FERTILIZER
- THE BUDGET FOR USE AROUND THE FOOTBALL OF ALL TREES AND SHRUBS SHALL CONSIST OF THE FOLLOWING FORMULA:
50% ON-SITE SOIL
30% ORGANIC AMENDMENT
20 LBS. 13-13-13 FERTILIZER
- FERTILIZER TABLETS SHALL BE AGRIFORM, 21 GRAM TABLETS (20-10-5) IN QUANTITIES AS FOLLOWS:
1 GALLON SHRUB 2
5 GALLON SHRUB 3
15 GALLON TREE 5
BOXED TREES 1 TABLET PER 4" OF BOX SIZE
PLACE TABLETS AT HALF THE DEPTH OF THE ROOTBALL.
- ALL PLANTING AREAS TO BE COVERED WITH A 2" LAYER OF BARK MULCH.
- ANY TREE PLANTED WITHIN 5' OF ANY HARDSCAPE SHALL BE PROVIDED WITH A 8" LONG BY 1/2" DEEP LUNAR ROOT BARRIER INSTALLED AT THE HARDSCAPE EDGE.

NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO THE MOST RECENT EDITION OF ANSI Z601-1 AMERICAN STANDARD FOR NURSERY STOCK.
- ALL TREES SHALL CONFORM TO THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION STANDARD FOR NURSERY STOCK.
- PRIOR TO SCHEDULING AN INSPECTION OF THE LANDSCAPE INSTALLATION WITH THE CITY, THE APPLICANT'S LANDSCAPE ARCHITECT SHALL CERTIFY IN WRITING THAT THE INSTALLATION IS IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLANS.

PARKING LOT SHADE CALCULATIONS

PARKING LOT	37,203
TREE CANOPY COVERAGE	7,432
COVERED PARKING	2,048
TOTAL COVERAGE	9,480
PERCENTAGE	25.5%

PARKING LOT LANDSCAPE CALCULATIONS

PARKING LOT	37,203
COVERED PARKING	2,048
NET PARKING LOT	35,155
LANDSCAPE	4,265
PERCENTAGE	12.1%

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION

Carl Johnson

BOULDER SCHEDULE

BOULDER SCHEDULE	QTY
3' DIA. GRANITE BOULDER	8
7' DIA. GRANITE BOULDER	7
BURY 1/3 OF ALL BOULDERS WHEN INSTALLING.	

LANDMARK DESIGN

Landmark Architecture
1014 N. HIGHWAY 92, SUITE 11
WESTLAKE HILLS, CA 91361
PH: 818.337.1710
FAX: 818.337.1712
WWW.LANDMARKARCH.COM



SCALE: 1"=30'-0"

PROJECT NO. 18-0251

DATE: 01.03.17

SHEET TITLE: PLANTING PLAN

SHEET NO. L-2.0

DATE: 01.03.17

SCALE: 1"=30'-0"

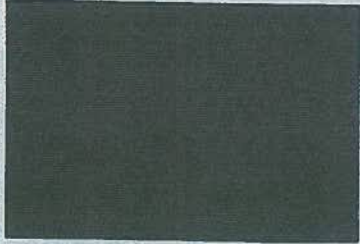
JK KAMUS + KELLER
2008 ANAHEIM ROAD
WESTLAKE HILLS, CA 91361
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LANDMARK DESIGN

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LOTS 10,11,12
28210 + 28212 DOROTHY DRIVE
AGOURA HILLS, CA 91301

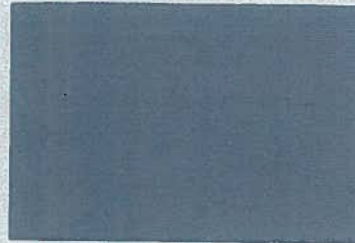
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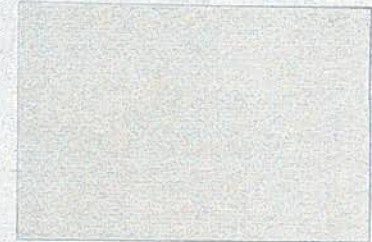
PT #1 | FIELD COLOR
DE6216 | BARREL STOVE
DUNN EDWARDS PAINTS



PT #2 | FIELD COLOR
DE6383 | BANK VAULT
DUNN EDWARDS PAINTS



PT #3 | FIELD COLOR
DE6381 | SILVER BULLET
DUNN EDWARDS PAINTS



PT #4 | FIELD COLOR
DE6239 | LATTE FROTH
DUNN EDWARDS PAINTS



PT #5 | FIELD COLOR
DET450 | PRAIRIE CLAY
DUNN EDWARDS PAINTS

WOOD VENEER



CL #6
NATURAL BAGENDA NW12
TRESPA

28210 & 28216 DOROTHY DRIVE | AGOURA HILLS, CA

 **KAMUS + KELLER**
Interiors | Architecture

**Site Plan/Architectural Review Case No. SPR-01285-2016, Oak Tree Permit Case No. Oak-01286-2016
Lot Merger Case No. LOT-01287-2016, & Variance Case No. 01317-2016**

