



PLANNING DEPARTMENT

DATE: March 16, 2017

TO: Planning Commission

APPLICANTS: SC Planners for Chaney and Marisa Sheffield
619 South Fremont Avenue, Suite C
Alhambra, CA 91803

CASE NOS: CUP-01247-2016, OAK-01248-2016, & VAR-01249-2016

LOCATION: 27901 Blythedale Road

REQUEST: Request for approval of: 1) a conditional use permit to build a 7,057 square-foot residence with an attached 1,002 square-foot garage, a 540 square-foot basement, a 535 square-foot storage room, and 1,304 square feet of attached covered patios; 2) an oak tree permit to remove one (1) on-site oak tree and to encroach in the protected zone of five (5) other oak trees; 3) a variance to exceed the maximum allowable height of the structure per the hillside development standards; and to make a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL DETERMINATION: Exempt from the California Environmental Quality Act (CEQA) per Section 15303 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Conditional Use Permit Case No. CUP-01247-2016; Oak Tree Permit Case No. OAK-01248-2016; and Variance Case No. VAR-01249-2016, subject to conditions, based on the findings of the attached draft resolutions.

ZONING DESIGNATION: Open Space-Restricted – Old Agoura Design and Equestrian Overlay Districts (OS-R-OA-EQ)

GENERAL PLAN

DESIGNATION: Open Space-Restricted (OS-R)

I. PROJECT BACKGROUND AND DESCRIPTION

Matthew Jewett from SC Planners, representing the applicants, Chaney and Marisa Sheffield, is requesting the approval of a Conditional Use Permit (CUP) to build a 7,057 square-foot residence; an attached, 1,002 square-foot garage over a 540 square-foot basement; a 535 square-foot storage room; and 1,304 square feet of attached covered patios. The 6.45-acre lot is located at 29701 Blythedale Road. Access to the parcel is provided by a 460- and a 620-foot long driveway on each side of the property. The residence is proposed at the top of the hill. The project requires an oak tree permit because of the encroachment of construction activities into the protected zone of five (5) coast live and valley oak trees and the removal of one (1) on-site coast live oak tree. Additionally, in order to build the residence with a 31-foot-5 inch high roof line, a variance is necessary because the structure is in excess of the maximum 15-foot height limit.

Currently, the lot is vacant and fenced, with a paved driveway along the lot's western edge from Blythedale Road to the top of the northern edge of the lot. This driveway is included in the project plans and will remain a secondary driveway. Another driveway is proposed on the eastern side of the property, and will provide the main access from the street to the residence. Off this main driveway, a branch is proposed to serve a future equestrian area, and another for a fire truck turn-around and foot path for fire access.

A 4,961 square-foot, two-story residence with an attached 875 square-foot garage and a 506 square-foot non-residential detached studio on this same site in the same general location was approved by the Planning Commission in 2004 but the home was never constructed. The entitlements have since expired.

The parcel is within a four-lot subdivision that was approved in 1984 by the City (Parcel Map 15257). The lots in that subdivision range in size from 3.25 to 12.25 acres. The two lots to the west have been developed with single-family homes, and the lot to the east of the subject parcel is vacant. The Parcel Map depicts the driveway currently on the property that was intended to serve three of the four lots, but was never developed as such because of the steep topography. The existing lots to the west take access from Chesebro Road, a road perpendicular to Blythedale Road. The subject lot provides access from Blythedale Road, as would the vacant lot to the east.

The following table summarizes how the proposed project compares with the relevant lot and development standards.

	Existing	Proposed	Allowed/Required
Lot Dimensions			
Size	6.45 acres	6.45 acres	1 unit / 5 acres
Size in square feet	280,997 sq.ft.	280,997 sq.ft.	n/a
Public St. Frontage	450 ft.	450 ft.	n/a
Lot Width	450 ft.	450 ft.	n/a
Lot Depth	608 to 653 ft.	608 to 653 ft.	n/a
Building Height			
	n/a	31.5ft.	15 ft.
Building Square Footage			
Residence 1 st Floor	n/a	5,738 sq.ft.	n/a
Residence 2 nd Floor	n/a	1,319 sq.ft.	n/a
Total Residence	n/a	7,057 sq.ft.	n/a
Attached Garage	n/a	1,002 sq.ft.	n/a
Basement	n/a	540 sq.ft.	n/a
Storage	n/a	535 sq.ft. ¹	n/a
Residence + Accessory Uses Total	n/a	9,134 sq.ft.	n/a
Residence Patio Covers			
<u>Solid Covers</u>			
• North Porch (Entry)	n/a	59 sq.ft. ¹	n/a
• South Porch	n/a	821sq.ft.	n/a
• Master Bedroom Porch	n/p a	150 sq.ft. ¹	n/a
<u>Trellis Covers</u>			
• Garage Side Porch	n/a	274 sq.ft.	n/a
Patio Cover Total		1,304 sq.ft	n/a
Lot Coverage			
House + Hardscape	n/a	6.81%	10% max.
Building Setbacks			
Front Yard (south)	n/a	353 ft.	50 ft. min.
Side Yard (west)	n/a	113.6 ft.	25 ft.
Side Yard (east)	n/a	178 ft.	25 ft. min.
Rear yard (north)	n/a	152.9 ft.	50 ft. min.
Average Lot Slope			
	15%	15%	n/a
Maximum Floor Area			

¹ Per the Architectural Design Standards & Guidelines floor area calculations, this item is included in the formula in addition to the house and 312 square feet of the garage.

	Existing	Proposed	Allowed/Required
	n/a	8,113 sq.ft.	8,000 sq.ft.

II. STAFF ANALYSIS

The applicants are requesting approval of a conditional use permit (CUP) to construct a 7,057 square-foot, two-story, single-family residence; an attached 1,002 square-foot garage; a 540 square-foot basement; a 535 square-foot underground storage room; 1,030 square-feet of solid, attached covered patios; and 274 square feet of attached lattice patio covers. The project also includes a pool, spa and outdoor play area on separate graded pads.

The home is proposed on a 6.45-acre parcel (280,997 square feet) located on the north side of Blythedale Road in the Old Agoura residential neighborhood. The parcel abuts a vacant lot to the east and developed lots on the west and north sides. Blythedale Road is a fairly level, east-west, private road, running perpendicular to Chesebro Road and ending in a cul-de-sac. The 1,360-foot long road serves 11 lots and is divided by a median. The parcels on the north side of the road are zoned Open Space-Restricted, with an Old Agoura Design and Equestrian Overlay (OS-R-OA-EQ), and average 4.6 acres in size. The parcels on the south side of the road are zoned Residential Very Low, also with an Old Agoura Design and Equestrian Overlay (RV-OA-EQ), and average 1.2 acres. Minimum lot size in the OS zone is five (5) acres, whereas the minimum lot size in the RV zone is one (1) acre. The lots on the north side range from 3.67 to 10.35 acres in size with homes averaging 5,687 square feet, and the lots on the south side range from .99 to 2.26 acres, with homes averaging 3,326 square feet. As a result, the density of development on the north side is less than on the south.

The building pads of the homes on Blythedale Road vary in elevation, with some lots relatively level with the road and some elevated, such as the one proposed on this lot. The parcel gently rises from 1,020 to 1,030 feet in elevation along Blythedale Road, and from 1,044 to 1,084 feet along the rear of the property, with a level pad at 1,070 feet at the top of the mound where the house is proposed. The overall site slope is 15 percent.

A. Site Plan and Buildings

The OS-R-OA-EQ zone allows one single-family dwelling unit per lot with the approval of a CUP. The primary structure must be set back a minimum of 50 feet from the front (south) and rear (north) property lines, and 25 feet from each side property line. In this case, the house is set back 353 feet from the front property line, 153 feet from the rear property line and 113.6 feet and 178 feet from the sides, which complies with the zone's requirements. The project proposes to build a two-story single-family structure with amenities. The house would be oriented in an east-west direction with the garage at a right angle on the west side and the basement, and storage room underneath to connect to the western

driveway. The garage is completely screened by the house as seen from Blythedale Road.

The proposed paved eastern driveway leads to the entrance of the house and the garage in the rear of the residence, and would be the primary access. The existing western driveway, with semi-permeable aggregate material, leads to the basement storage facility below the garage, and would serve as a secondary driveway. The driveways do not connect. A staircase is provided to connect the higher pad to the lower, as required for emergency access. Los Angeles County Fire Department requirements for access are accommodated with a truck turn around near the house along the eastern driveway, with a staircase leading to the residence. As with the existing driveway, most of the driveways along Blythedale Road are concrete or paved with impermeable surfaces due to the steep incline or the distance between the house and the property line, where permeable or semi-permeable materials are not practical but the new driveway will be paved with a permeable material.

Per the OS-R zone, the building site coverage is restricted to 10 percent (or 28,099 square feet), whereas the project proposes 6.81 percent (24,840 square feet), including the footprint of the house, garage, both solid and trellis patio covers, and hardscape surfaces. The hillside development standards restrict the development area to a maximum of 67.5 percent of the site based on the average slope of the lot, with which the project complies. The remaining 32.5 percent will stay as developed open space. Developed open space means open space substantially free of structures but with some improvements that are part of the development plan or appropriate for the residents of residential development, including access, and outdoor amenities. In addition to regulating the spread of the development, the hillside development standards restrict the height of structures in addition to the maximum allowed 35 feet in the OS-R zone. Because the lot's rear lot line is at an elevation higher (1,063 feet on average) than the front property line (1,026 feet), the hillside standards limit the residence's height to 15 feet at the rear setback line (also 1,063 feet). The proposed structure is situated 31.5 feet above a finished floor on a pad that is graded seven (7) feet higher than the setback line (1,071 feet). Thus, the roofline of the house is 1,102.42 above sea level instead of 1,078 feet and requires a variance.

To encourage applicants to design projects that are compatible with the neighborhood scale, the City Architectural Design Standards & Guidelines (ADS&G) establish a maximum recommended useable floor area in Old Agoura. Maximum square footages of useable space are established for various lot sizes and based on a calculation. Per the ADS&G calculation, the project could be allowed 8,472 square feet, yet the ADS&G also recommends that in no case should a maximum useable space exceed 8,000 square feet for lots totaling 130,000 square feet (2.98 acres) and above. For an 8,000 square-foot home, the lot would have to be 5.5 acres and this lot is 6.45 acres.

The ADS&G exempts from that number a 690 square-foot structure used for parking vehicles; a front covered porch; trellis cover but not an attached patio cover with a solid roof; and a 300 to 576 square-foot structure for animal keeping. The proposed square footage, after the exemptions, is 8,113. In this case, the project would be slightly over the maximum recommended 8,000 square feet (by 113 square feet).

B. Architectural Design

The proposed architectural style is rustic and the materials include wood plank siding painted white and cedar shingles, with the roof clad in gray asphalt shingles. The window trims and fascia boards would be painted white and the window frames have a dark bronze color. Some of the walls are clad with a stone veneer. The house would be enhanced with attached patio covers of wooden material on all sides as called for in the ADS&Gs' style recommendation pertaining to architectural design. The ADS&G call for wrap-around porches, rear- or side-facing garage doors, generous roof overhang and use of natural materials, such as wood and stone, which the project incorporates in the design.

Lighting is proposed on the facades and ceiling mounted under the patio covers. Decorative ground-mounted lighting fixtures are also proposed to illuminate the pathways, staircases and play areas. The project is conditioned (Condition No. 23) to use the minimum illumination possible and to shield the lenses so as to not cause light pollution to the surrounding open space.

The project was presented to the Architectural Review Panel, which recommended approval of the project as presented.

C. Hillside

The parcel is subject to the hillside development standards of the Zoning Ordinance because its slope is in excess of ten (10) percent. The Zoning Ordinance establishes special regulations in hillside areas to protect them from incompatible development, and to preserve the natural terrain, quality environment and aesthetic character while encouraging creative, innovative and safe residential development.

The project is subject to overall height limitations per the Hillside Development Ordinance, that address how tall a structure can be in relation to the elevation of a front property line and rear setback line. The Ordinance states that a structure cannot exceed 15 feet in height above the rear setback line elevation when the elevation of the front property line is lower than that of the rear property line. Conversely, where the average elevation of the rear lot line is below the average elevation of the front lot line, no building or structure shall exceed a height of fifteen 15 feet above the average elevation of the front lot line. In this case, the average elevation of the front lot line is below the rear lot line. Therefore, this residence roof line may not exceed 15 feet above the rear setback line elevation of 1,078 feet.

The average parcel slope is 15 percent. The parcel extends over 600 feet in depth and 450 feet in width, and rises from 1,020 at the street to 1,084 feet above sea level. The proposed residence pad elevation would be at 1,070 feet, making it 50 feet above the road. The pad's elevation is appropriate when considering the surrounding landscape bordering the project. Secondary ridges rise beyond the property at more than 1,350 feet above sea level, 280 feet above the project's building pad and up to 200 feet away from the rear property line. Residences in this area are at distances of 200 to 500 feet from the project pad, thereby reducing the visual impacts of the mass of the new structure from existing developments. Most of the structure is designed as a one story, with the second floor occupying 40 feet of the 155-foot long footprint with the exception of the 40-foot wide section for the second floor. The first floor measures 17 feet 4 inches feet on a higher pad elevation than the rear setback line and the second floor reaches 31.5 feet, therefore exceeding the maximum requirement. Since the home exceeds the allowed height by 15 feet, the applicant is requesting a height variance. Findings are provided in the attached height variance draft resolution (Attachment 2).

Although there would be 4,972 cubic yards of soil moved to create the residential pad, the proposed contours are generally in keeping with the existing topography in that they follow the slope contours of the existing hill. The excavated soil would be used to create other smaller pads on the site, and no export of soil would result. By matching the cut and fill soil quantities on-site impacts on adjacent properties and roads from truck trips moving soil are eliminated.

D. Significant Ecological Area

The boundary of the Palo Comado Significant Ecological Area (SEA #12) zone extends over the northern half of the parcel, and as such, a biota report was required as part of the review of the project. The biota report provides an inventory of the flora and fauna on-site and considers potential impacts to the natural resources of the area as a result of the project. In the SEA, development is allowed, but projects must be compatible with the on-site biotic resources; maintain water courses in a natural state; maintain any wildlife corridors on-site; and retain on-site vegetation and/or open spaces to buffer critical resource areas. The home, pool, garage, play areas and a portion of the new driveway would be located in the SEA. The infiltration basin, future potential horse-keeping area, and a portion of the new driveway would be located outside the SEA. The project would be compatible with the SEA, as no vegetation critical to sensitive species and no sensitive plant communities are found on-site. There are also no on-site water courses. Although not a corridor, wildlife may cross the parcel; the project would not adversely affect the continued use of these areas for wildlife travel, since the site would retain a large amount of open space and no special status wildlife and plant species are expected on-site. Condition No. 21 and Condition No. 22 have been included in Attachment 1, Exhibit A to avoid bird nests during construction and allow any woodrats found on-site to leave prior to construction commencing. The Los Angeles County Fire Department Fuel Modification

Division staff works with applicants to create fuel modification measures to minimize impacts to oak trees. Based on the comments received by the Division, the development would not cause adverse impacts to the on-site oak trees in order to meet fuel modification requirements.

E. Equestrian Overlay District

The project site is within the Equestrian Overlay District (EQ), which requires that a 1,500 square-foot horse-keeping area be identified on the property for equestrian purposes. An approximate 3,500 square-foot horse keeping area with space for a 1,500 square-foot structure has been designated along the eastern driveway. Although the applicants are not interested in keeping horses on the property at this time, they have included an equestrian area on the plans. Given the particular location on-site, any future equestrian structure proposed in that area would comply with the minimum 35-foot required separation to on- and off-site habitable space. Since the equestrian area would be adjacent to the driveway, vehicular access would be provided in and out of the property to support emergency services to the animals.

F. Old Agoura Overlay District

The intent of the Old Agoura (OA) overlay district is to preserve Old Agoura's unique semi-rural character. Residential development shall embrace an eclectic, rural style that preserves the equestrian nature of the area. The project is consistent with the overlay district, as it includes the use of natural materials and colors and traditional architectural style; an outdoor activities component (outdoor eating area, pool, and play area); a viable area for equestrian use; and minimal impacts on natural resources. The development is clustered in the northern part of the lot, leaving large expanses of undeveloped open space. The project would be built where the topography is level in between the oak trees, with some minor encroachment except for one (1) small coast live oak tree which would sustain too much encroachment and requires removal. Grading is limited to what is required for the house, the driveway and two small areas to be used as play areas and for a pool, leaving the remainder of the lot natural open space. Attached patios are proposed on three sides to encourage outdoor activities.

G. Homeowners Association

The Old Agoura Homeowners Association has reviewed the project design. A copy of their letter dated June 28, 2016 is included as Attachment 3.

H. Public Works/Engineering Department

The grading plan shows 4,972 cubic yards of soil being moved around the site, with no export of soil off-site, minimizing impacts on adjacent properties from truck trips transporting soil. The property is encumbered by a slope easement in favor of the City along the front property line, which is to be abandoned as part of this project (Condition No. 51 of Attachment 1 Exhibit A) since it is no longer required for the development of the street.

A private septic system on-site has been approved on a conceptual basis by the Los Angeles County Health Department. The septic tank and four pits would be located in the front yard part of the property, just south of the house and east of the pool. The septic system is located away from trees, structures and driveways so as to be easily accessible for maintenance.

An infiltration basin for stormwater purposes is proposed at the base of the hill near Blythedale Road, and would collect drainage from the hillside. The basin would be landscaped with native species to blend in with the natural environment.

Although the engineering project plans show a flood zone on-site (which also extends onto neighboring properties along Blythedale Road), it is not a designated flood zone by the Federal Emergency Management Agency (FEMA) and is not shown on the Flood Insurance Rate Maps by FEMA. The Engineering Department recommends that future structures proposed in that zone be designed so as to not worsen the potential for flooding, and has conditioned the project accordingly. Per the project plans, no structures or grading are proposed in that zone other than a fence. Consequently, there are no special standards of development that need to be imposed on the project as a result.

I. Oak Trees

The applicant has applied for an oak tree permit and has submitted an oak tree report. The report was reviewed by the City Oak Tree Consultant, who concurs with the findings. There are 16 oak trees on the property mature enough to be protected under the City Oak Tree Preservation Guidelines. Half of the trees have grown in clusters and the other half have grown as individual trees. The project would result in minor encroachments in the protected zone of five (5) oak trees, Coastal Live Oak and Valley Oak. One (1) small Coast Live Oak tree with an average health is proposed to be removed as result of the construction of the house. The removal requires oak replacement at a ratio of 4:1, with the planting of at least one (1) 36-inch box, two (2) 24-inch box trees and one (1) 15-gallon size tree. The landscape plan incorporates an additional five (5) new Coast Live Oak trees, as well as Burgundy Sweetgum, Crape Myrtle, Western Redbud, Deodar Cedar, Strawberry tree, and fruit trees. Both existing and new trees will serve to screen the residence from adjacent residences at the rear and the south sides. Conditions Nos. 77 through 87 are proposed in Exhibit A of Attachment 1 to protect the oak trees to remain during the construction phase, and in perpetuity after the construction is finalized.

J. Landscaping

The landscape plan focuses on the areas affected by the construction specifically the slopes around the pad, along the new driveway, and over the infiltration basin by restoring the planting. Secondly, the landscape provides screening of the new house and retaining walls that support the development as viewed from off-site, by the residences at the northwest, southwest corners and west sides of the

project and across Blythedale Road. In addition to the house being nestled between oak trees, native trees including five more oak trees are added to the palette to screen the structure. Hedges are proposed along the perimeter of the pool and play areas. There are two locations where sod is proposed - one for a play area and one a "great lawn" in front of the house. Other plantings near the buildings are a mix of natives and non-natives. The areas just beyond the development would be hydro-seeded with native species to provide an appropriate transition to open space areas on- and off-site. As previously noted, the infiltration basin would be planted with native species. The landscape plan was reviewed by the City Landscape Consultant and found to be acceptable. The Los Angeles County Fire Department, Fuel Modification Unit, has provided preliminary approval of the project.

K. Biological Resources

A biota report was prepared for the project by BRC in June 2016. No special-status plant species were observed within the project area, nor are they expected to occur. Likewise, no special-status wildlife species were observed within the project area. The San Diego desert woodrat (no special status listing) has the potential to occur within the project area based on the presence of woodrat middens, although the middens are likely not from this particular species. This species has been known to occur in the general area at least five (5) miles away. There is potential for nesting birds and raptors within the project area, however, special-status bird species are only expected to occur within the project area during foraging and associated roosting. There are no known significant or sensitive habitat types on-site; the sage scrub community is not considered of high value. Therefore, there are not expected to be adverse impacts to significant or sensitive plant communities, nor to special status wildlife or plant species. Conditions No. 21 (avoiding bird nests) and No. 22 (allowing any woodrats to escape before construction) are included in Attachment 1, Exhibit A to further ensure no adverse impacts to nesting birds or bats and to the woodrat.

L. Variance

The applicants are requesting a variance from Zoning Ordinance Section 9607.1.B to exceed the 15-foot maximum allowed height of the primary structure above the rear setback line average elevation, per the hillside development standards. As shown on the grading plan, the rear setback line is at a higher elevation than the front property line, thereby dictating the maximum 15-foot height above the elevation at the rear setback line. This requirement only permits a one-story design. One part of the house is one-story with a gable roof height of 17 feet 4 inches. The second story portion roof line rises to 31 feet 6 inches, exceeding the maximum requirement because it rises 39.5 feet above the setback line or 24.5 feet above the 15-foot limit. The second floor only occupies one quarter of the length of the first floor. The visual impact of the structure would be minimal to surrounding properties, given the distance between the proposed structure and the site's property lines, off-site habitable structures, and the main nearby road, from which the structure would be seen. The residence

would be visible from Blythedale Road, but not from Chesebro Road, the main road in Old Agoura, since it would be behind the residences fronting Chesebro Road. The proposed landscaping would buffer views to the development from adjacent homes and distant vistas by screening all the retaining walls with four (4) to six (6)-foot high hedges and the house with trees of various sizes. The granting of the variance would allow the applicants to build a residence in the northern portion of the site, without further encroaching into the open space portions of the site. The proposed two-story height and location of the residence and other structures, clustered in the northern half of the parcel area, would avoid a more sprawling development with a larger pad for a one-story residence, including the need for more retaining walls to support the larger pad, given the descending slopes surrounding it.

Two-story residences up to 35 feet in height are common in Old Agoura, in the Open Space and the Residential Very Low Density zones, on both flat and hillside lots. The strict application of the building height restriction would not be consistent with the objectives of the City Hillside and Significant Ecological Area Ordinance, in that it would create a larger development pad and potential impacts to the environment to accommodate the larger, single-story house footprint, required access around it, and minimum required setback to down-slopes and additional grading. Findings for the variance are included in the height variance Draft Resolution (Attachment 2).

M. General Plan Consistency

Staff finds the project would be consistent with the following applicable General Plan goal and policies, which specifically pertain to Old Agoura:

Goal LU-8 Residential Very Low- and Residential Low-Density Neighborhoods (Old Agoura). Residential neighborhoods containing very low- and low-density housing reflecting Agoura Hills' history and designed to respect their environmental setting.

- Policy LU-8.1 Neighborhood identify. Promote and maintain the integrity of Old Agoura residential neighborhoods for their low-density large estates, rustic character, non-urban infrastructure, and keeping of horses and other farm animals.
- Policy LU-8.2 Development Compatibility with Community Character. Require that renovation of existing and construction of new housing and property improvements respect the characteristics that distinguish Old Agoura, including its topography parcel sizes, housing scale and form, nonurban infrastructure and streetscapes (no sidewalks, curbs and gutters, and street lighting), and equestrian trails.
- Policy LU-8.3 Integration of Development with Natural Setting. Require that buildings be located, scaled, and designed to reflect the existing

terrain and minimize grading to the maximum extent possible. Structures shall be integrated into the hillsides, taking care to preserve the view-shed and natural ridgelines.

- Policy LU-8.4 Property Setbacks. Encourage variable setbacks to enhance streetscape character and increase building separation.
- Policy LU-8.5 Building Materials and Colors. Limit exterior building materials to those that have the appearance of materials that are characteristics of rural environments.
- Policy LU-8.6 Landscaping. Require that on-site landscapes transition smoothly to the natural undeveloped open areas.
- Policy LU-8.7 Open Spaces. Encourage the provision of open space areas suitable for horses or other farm animals, thereby enhancing the equestrian and rural character of the area.

The project's site and building design are consistent with the low-density and rustic character of Old Agoura by maintaining open space on the site; clustering the development in a smaller portion of the site with a two-story residence and exceeding the required minimum setbacks from property lines; and providing for horse-keeping. The proposed architecture is traditional with wood panel and shingle siding, along with stone veneer. The roofs are steeply pitched. Colors are muted and earth tone.

All accessory uses (including basement, garage and underground storage room) are combined into one main structure along with the house, instead of multiple detached structures, therefore minimizing grading on site. The main structure has varied heights and roof elements so as to break up the massing and minimize visual obstructions of the hillsides. The main structure also incorporates variable setbacks, and is aligned primarily east-west, with the attached garage and adjacent pool area perpendicular along a north-south axis, further breaking up massing. The proposed driveway would be of a semi-permeable aggregate material to blend with the surroundings and minimize pavement.

The planting palette includes a combination of native and non-native, but non-invasive, species around the developed areas. Native species would be hydro-seeded in other portions of the site around the main structure and driveway, along with some areas left as is, in their natural state. The use of native species and retention of existing vegetation on most of the site would help transition the project to the surrounding natural open space environment.

N. Environmental Review

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorically Exempt from the

CEQA Guidelines per Section 15303. This exemption includes new construction of a single-family residence. No significant environmental impacts are expected from development of this project. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

III. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Conditional Use Permit Case No. CUP-01247-2016, Oak Tree Permit Case No. OAK-01248-2016, and Variance Case No. VAR-01249-2016, subject to conditions of approval, and based on the findings of the attached Draft Resolutions.

IV. ATTACHMENTS

1. Draft Resolution for Conditional Use Permit and Oak Tree Permit with Exhibit A - Conditions of Approval
2. Draft Resolution for Variance Request with Exhibit A - Conditions of Approval
3. Letter from the Old Agoura Homeowners Association
4. Vicinity/Zoning Map
5. Rendering and Color and Material Board
6. Reduced Copies of the Proposed Project Architectural, Civil, and Landscape Plans
7. Photographs of the Property

Case Planner: Valerie Darbouze, Associate Planner

RESOLUTION NO. 17-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-01247-2016 AND OAK TREE PERMIT CASE NO. OAK-01248-2016 FOR THE CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE LOCATED AT 27901 BLYTHEDALE ROAD; AND MAKING A FINDING OF EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. SC Planners, for Chaney and Marisa Sheffield, duly filed an application with respect to the real property located at 27901 Blythedale Road (Assessor's Parcel No. 2055-001-038), requesting approval of a conditional use permit to allow the construction of a new 6,457 square-foot, two-story residence; a 1,002 square-foot, attached garage; a 540 square-foot basement; 535 square-foot underground storage area; and 1,304 square feet of attached patio covers (Case No. CUP-01247-2016); and a request for an oak tree permit to remove one (1) on-site oak tree and to encroach in the protected zone of five (5) other oak trees for the proposed development (Case No. OAK-01248-2016).

Section II. The project is a request for one single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303(a) (New Construction or Conversion of Small Structures). The project would not have a significant effect on the environment because it does not exceed the maximum allowable number of structures on one parcel and it is not located in an environmentally sensitive area. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines including but not limited to subsection (c) which relates to unusual circumstances.

Section III. The Planning Commission of the City of Agoura Hills considered the applications at a public hearing held on March 16, 2017 at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Conditional Use Permit. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds for the conditional use permit, pursuant to Section 9673.2.E. of the Agoura Hills Zoning Ordinance, that:

A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the land use district in which the use is located. The proposed project is located within the Open Space-Restricted (OS-R) zoning district and partially in the Significant Ecological Area (SEA) zone, which allow for the development of single-family residences with a conditional use permit. The project is also within the Old Agoura Overlay (OA) and Equestrian Overlay (EQ) districts, and on a hillside lot subject to the City Hillside Ordinance. The project complies with the SEA requirements of preserving the natural resources on-site by minimizing the disturbed areas at the site and retaining most of the site undeveloped. There are no known sensitive species or plant communities on site. Upon approval of the variance for building height exceeding the maximum height allowed by the Hillside Ordinance, the project would comply with all development standards of the OS-R zone, SEA and Hillside Ordinance, and EQ and OA Overlay zones, including minimum yard setbacks and maximum building coverage. As called for in the Hillside Ordinance, the project would preserve the natural features of the site through minimizing grading, especially on hillsides, and preserving much of the site as open space, as well as by concentrating the structures and outdoor activity areas within the northern portion of the lot. The site plan can accommodate an equestrian area, including a corral and accessory structures with a direct access to the structures and the street, and therefore complies with the EQ and OA Overlay districts. Further, the residential development reflects a traditional architectural style with natural and rustic materials, like wood and stone, neutral or earth-tone colors, and split rail fencing, consistent with the OA Overlay district. The plant palette utilizes a combination of native plants, and non-native but non-invasive and drought tolerant plants, around the proposed structures, and native species in areas adjacent to open space on- and off-site, as recommended in the OA Overlay district provisions.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The proposed single-family residential use and accessory structures are allowed in this zoning district, and are similar to other uses in the neighborhood. The project will contribute to the aesthetic value of the neighborhood by maintaining a rustic style of architecture and clustering the development, and maintaining a greater distance between structures and the property lines than the minimum required. The project screens the utilitarian side of the development by putting the equipment storage room under the garage at a lower elevation than the house and turned away from the street. Overall, the project proposes similar amenities as the surrounding properties, including primary structure with an attached garage, a pool, various size grassy areas, large expanses of equestrian areas. The proposed style of architecture and building materials, which include white wood panel siding, asphalt shingles, stone cladding, bronze window trim, and charcoal roofs, will all contribute to the rustic appearance of the property and are consistent with the City's Architectural Design Standards and Guidelines ("Guidelines"). The large, six and a half-acre parcel allows for the proposed size of house and accessory structures, while keeping the project at a low-density development with large open space areas, consistent with this semi-rural area of the City. While the building site coverage complies with the ten percent maximum allowed building site coverage for the zone, with 6.81 percent of a 280,997 square-foot lot including the structure and the hardscape, the project exceeds the recommended maximum floor area in relation to the lot size, as

outlined in the City's Architectural Design Standards and Guidelines ("Guidelines"). The Guidelines, which are advisory, call for no more than 8,000 square feet, while the applicable square footage is 8,113, a relatively small increase of 113 square feet over the recommended square footage. Such an increase is very small relative to the size of the lot. The useable floor area of 8,113 square feet represents 2.8 percent of the 280,962 square-foot lot. The development would be setback on average 200 to 300 feet from the adjacent residences, and would be sited at the rear of the lot away from the street. While the development would be larger than surrounding residences, the location on-site and the large lot size create a project compatible with the neighborhood. The height of the residence ranging from 17 to 31 feet would be similar to the height of the community's homes.

C. The proposed use, as conditioned, and the conditions under which the project will be operated or maintained, will not be detrimental to the public health, safety or welfare. The proposed use will ensure adequate light, air, and open space to surrounding properties. The proposed two-story structure is set on a large lot, and so exceeds the minimum required yard setbacks and has less lot coverage (8.84 percent) than the maximum amount allowed (10 percent). As a result, the project provides sufficient separation from the neighboring residence, and reflects a low-density development. Also, the second floor of the structure would be recessed from the first floor footprint, providing additional light, air and open space to adjacent properties. Geotechnical and drainage studies, as well as landscape plans for the purpose of slope stability, have been reviewed and accepted by the City. Adequate vehicular access to the property will be provided via two driveways. The project is required to be in full compliance with the City's Building Code. The site will be served by a private septic system, which has received preliminary approval from the Los Angeles County Department of Environmental Health; final approval will be required prior to issuance of City grading and building permits.

D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance, except for approved variances or modifications. The project meets the development standards of the underlying zoning districts relative to the required front, side and rear yard setbacks, and lot coverage, as well as the Old Agoura Design and Equestrian Overlay districts relative to the traditional style of architecture with natural materials and colors, native and drought-tolerant landscaping, minimization of grading, preservation of much of the lot as open space and sufficient area allotted for equestrian use. The applicant is requesting a variance to exceed the maximum building height as allowed in the Hillside Ordinance.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community. The OS-R zone allows for single-family residential units and accessory uses. The structures comply with the OS-R zone setback requirements, which provide substantial distance from adjacent structures. The project exceeds the fifty-foot distance from the front and rear property lines allowing for the protection of views and privacy of the adjacent residences. The closest homes adjacent to this lot are located over 200 to 300 feet away. Two of the four lots created under the subdivision that includes the subject lot (Parcel Map No. 15257) are developed with homes. The project's proposed

building pad is in keeping with the intended development shown on the parcel map by creating a building pad at the end of the driveway, which serves to minimize impacts on natural features. The placement of the structures minimally impacts views of the hillside sides or neighboring structures due to the distance of the structures from Blythedale Road and from adjacent building pads, maintain views of the distant landscape. The location of the residence is in keeping with adjacent lots where the residence is placed approximately 350 feet from the front property line.

F. The proposed use is consistent with the City's General Plan. The project is consistent with Goal LU-8 and applicable policies including Policy LU-8.1- Neighborhood identify, Policy LU-8.2 - Development Compatibility with Community Character, Policy LU-8.3 - Integration of Development with Natural Setting, Policy LU-8.4 - Property Setbacks, Policy LU-8.5 - Building Materials and Colors, Policy LU-8.6 - Landscaping, and Policy LU-8.7 Open Spaces. The project's site and building design is consistent with the low-density and rustic character of Old Agoura by maintaining open space on the site; clustering the development in a smaller portion of the site with a two-story residence and exceeding the required minimum setbacks from property lines; and providing for horse-keeping. The proposed architecture is traditional with wood panel and shingle siding, along with stone veneer. The roofs are steeply pitched. Colors are muted and earth tone. All accessory uses (including basement, garage and underground storage room) are combined into one main structure along with the house, instead of multiple detached structures, therefore minimizing grading on site. The main structure has varied heights and roof elements so as to break up the massing and minimize visual obstructions of the hillsides. The main structure also incorporates variable setbacks, and is aligned primarily east-west, with the attached garage and adjacent pool area perpendicular along a north-south axis, further breaking up massing. The proposed driveway would be of a semi-permeable aggregate material to blend with the surroundings and minimize pavement. The planting palette includes a combination of native and non-native, but non-invasive, species around the developed areas. Native species would be hydro-seeded in other portions of the site around the main structure and driveway, along with some areas left as is, in their natural state. The use of native species and retention of existing vegetation on most of the site would help transition the project to the surrounding natural open space environment. The development is clustered in one area to maintain as much of the lot as natural open space as possible.

Section VI. Oak Tree Permit. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds for the Oak Tree Permit, pursuant to Section 9657.5(C). and the Oak Tree Preservation Guidelines of the Agoura Hills Zoning Ordinance, that:

The proposed use will require the removal of one (1) Coast Live Oak tree and encroach in the protected zone of five (5) other Coast Live and Valley Oak trees as a result of the construction. The impacts will not endanger the health of the remaining trees on the property based on the project plans because the development maintains a reasonable distance from the trees. The removal will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated because the 3-

inch tree of average health proposed to be removed made only an insignificant contribution to retaining the soil in place. The absence of the young tree will not increase soil erosion since landscaping will be replacing the area originally occupied by the tree to stabilize the ground and new water flows resulting from the new impervious surfaces will be directed to underground drains by way of gutters and down spouts. The removal of the oak tree is required because of the proximity of the building's footprint and the closer proximity of the access around the building. Both severe encroachment on the root system and the continued growth of the root system would contribute to a decline in the health of the tree therefore, it is found that the placement of the oak tree precludes the reasonable and efficient use of the property. Although the project is conditioned to plant four (4) new oak trees on site, in accordance with the City's Oak Tree Preservation Guidelines, Section 9657.5, the project landscape plan includes five (5) new oak trees to 1) mitigate the removal of one (1) oak tree; and 2) to help screen the structures from adjacent views. The encroachment of the five oak trees is considered to be minor in that it is less than fifteen percent for each tree, and the trees will not be adversely affected during the construction and beyond. The project is conditioned to protect the life of the remaining oak trees on the subject property per the City Oak Tree Preservation Guidelines, Appendix A, by taking precautionary measures when grading in proximity to the oak trees, fencing the other oak trees during the construction phase, and restricting further development from the under the tree canopies.

Section VII. Hillside Area. Based on the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9652.18.A of the Zoning Ordinance that:

The project demonstrates that the safety of current and future community residents will be preserved based on the approved geotechnical/geological and hydrology studies, the grading, and related drainage design. Both studies and plans have demonstrated that the project will not create threats to life and property due to geologic, slope instability, fire, and flood erosion hazards based on accepted grading practices and slope retention systems by way of retaining walls and landscaping. Despite the improvements, the project remains compatible with the natural biotic, scenic, and open space resources. The project is not deprived of essential services of a residentially developed property. The project is consistent with the General Plan by maintaining the rustic character of the area by concentrating the development in one area and preserving undeveloped area of the lot. By providing amenities similar to other neighboring properties such as grassy areas, pool and spa, and space for equestrian activities, and utilizing materials, colors, and an architectural design compatible with Old Agoura, this project blends in the community and will serve the current and future property owners.

Section VIII. Significant Ecological Area. Based on the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9652.18. B of the Zoning Ordinance that:

1. The proposed project, as conditioned, is designed to be highly compatible with the natural resources on- and off-site, which is mostly made up of oak trees. No

special-status plant species or wildlife species were found or expected on the parcel nor are there any sensitive plant communities. The project is conditioned to survey and protect on-site raptor and bird species and woodrat middens prior to the start of construction. The project concentrates the development in one area of the parcel, and as a result preserves over 80 percent of the parcel undeveloped and in a natural state.

2. The Significant Ecological Area Ordinance requires that the development maintain waterbodies or watercourses in their natural state but they are no known such natural features on the site or nearby, and therefore the project does not impact the natural environment.
3. No wildlife movement corridor is known to cross the parcel. Nonetheless, the project would continue to allow for the movement of wildlife across the site, given the split rail fencing and amount of open space proposed. Natural vegetation will be retained. Therefore, the project would not conflict with biological resources on-site and in the surroundings.
4. The project retains over 80 percent of the parcel undeveloped and in a natural state. Graded areas are either covered with structures or re-landscaped to help transition with the existing vegetation. The project landscape plan provides native planting, and non-native but non-invasive and drought-tolerant plants, to be compatible with adjacent native vegetation. Oak trees are protected by conditions that the development will not further encroach into their protected zones. There are no important habitat exists on the parcel or in the vicinity that necessitate physical barriers from the development.
5. The required roads and utilities, which are critical for the development will not conflict with the natural resources. The driveways remain outside the oak trees' protected zones and the utilities lines required for the development. The project, as conditioned, will be compatible with the biotic resources present on site. Conditions of Approval Nos. 21 and 22 require a survey of all breeding and nesting habitats within one week of the construction if construction activities occur during the breeding season and the avoidance of injury to on-site woodrats.

Section VIII. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. CUP-01247-2016 and Oak Tree Permit Case No. Oak-01248-2016, subject to conditions attached as Exhibit A, with respect to the property described in Section I hereof.

Section IX. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 16th day of March, 2017, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Curtis Zacuto, Chair

ATTEST

Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case Nos. CUP-01247-2016 & OAK-01248-2016)

PLANNING DEPARTMENT CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of these permits shall not be effective for any purpose until the applicant has agreed in writing that he is aware of, and accepts, all conditions of the permits with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plans, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of these permits is held or declared invalid, the permits shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permits shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the permits or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Planning Director.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property for the primary residence, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and

Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless these permits are used within two (2) years from the date of City approval, Conditional Use Permit Case No. CUP-01247-2016 and Oak Tree Permit Case No. OAK-01248-2016 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of Building Permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.48 per square foot for residential construction.
15. In the event archaeological resources are encountered during ground-disturbing activities, the City Planning Department shall be notified immediately, and work shall stop within a 100-foot radius until a qualified archaeologist approved by the City Planning Department, and retained and paid for by the developer/applicant, has assessed the nature, extent, and potential significance of any remains pursuant to the California Environmental Quality Act (CEQA). In the event such resources are determined to be significant, appropriate actions are to be determined by the archaeologist consistent with CEQA (PRC Section 21083.2) and the City General Plan, in consultation with the City Planning Department.
16. If human remains are unearthed, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the developer/contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) thought to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assess the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City." All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
17. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

18. A pre-construction conference shall be held prior to the issuance of a Grading Permit, with all construction personnel involved with the grading operations in attendance.
19. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this Condition.
20. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, and employees from and against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter.
21. The applicant shall not remove or otherwise disturb vegetation, prepare the site, or conduct any other construction related activities within the work areas from February 1 through September 1, the recognized breeding, nesting and fledging season for raptor and bird species, unless prior to any construction work a qualified biologist/ornithologist acceptable to the City Planning Department conducts a survey of all breeding and nesting habitats within the work areas and vicinity within one (1) week prior to anticipated construction or vegetation clearing activities. The extent of the survey buffer area surrounding the site shall be established by the biologist to ensure that direct and indirect effects to nesting/breeding birds are avoided. A report discussing the results of the bird survey shall be submitted for review to the City Planning Department prior to issuance of Grading and Building Permits or prior to any vegetation removal, site preparation or construction activity. If active nests are found within the survey area, activities within a 300-foot radius (500 feet for raptors) construction shall not be allowed until an appropriate buffer can be established. Limits of construction to avoid a nest site shall be established in the field with flagging and stakes or construction fencing. Activities within the buffer area shall be postponed or halted at the discretion of a biological monitor until the nest is vacated and juveniles have fledged, and there is no evidence of a second attempt at nesting. If a state or federally listed species is found, the California Department of Fish and Wildlife and/or the United States Fish and Wildlife Service, as applicable, shall be notified within 24 hours of the sighting, and construction work shall not occur until those agencies agree that operations may proceed. The biologist shall record the results of the recommended protective measures described above to document compliance with applicable state and federal laws pertaining to the protection of native birds, and provide the documentation to the City Planning Department upon completion of the work and prior to issuance of a Certificate of Occupancy.

22. To the extent feasible, impacts to the woodrat middens shall be avoided. In the event the middens must be removed, a qualified biologist acceptable to the City shall be retained by the applicant. The biologist shall supervise the removal of the middens prior the start of construction, vegetational removal and site preparation using precautionary measures to ensure no woodrats are present, or shall allow them to escape prior to removing the material.
23. A detailed Lighting and Photometric Plan shall be submitted for review and approval by the Planning Director, prior to issuance of a Building Permit.
24. The ground-mounted and wall-mounted lighting fixtures shall be kept to a minimum illumination and shielded, and shall not extend into the open space areas on- or off-site in order to minimize light spillover.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

25. This project shall be subject to the 2016 California Residential, Building, Mechanical, Plumbing, Electrical, Energy, Green Building Codes and Agoura Hills Municipal Code.
26. All exterior materials used for eaves, sidings, porch, patio, decks, canopies, carport and other similar structures must comply with the Very High Fire Hazard Severity Zone as outlined in Chapter 7A of the California Building Code and Chapter 2 of Article VIII in the Agoura Hills Municipal Code.
27. A soils report is required to be submitted to the Building and Safety Department for this project at the time of submittal of construction plans for approval and permitting purposes.
28. A two percent (2%) slope away from the structure for drainage (on the first 5 feet) all around all new structures shall be provided.
29. All windows will be tempered on at least one side of the dual pane, or a 20 minute rated window or glass blocks or comply with SFM Standards 12-7A-2 per Section 708A of the 2016 California Building Code.
30. Hillside setbacks shall comply with the 2016 California Building Code Section 1807 and the Agoura Hills Municipal Code.
31. Handrails will be required for exterior stairs with four (4) or more risers per 2016 California Building Code Section 311.7.8.
32. Per AQMD Rule 445, only fireplaces fueled by gas (such as gas logs) may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted.

33. Fire Sprinklers will be required for all new structures per Agoura Hills Municipal Code Section 903.2 including the proposed future horse stall and storage.
34. Los Angeles County Fire Department review and approval will be required for all new structures prior to permit issuance.
35. Los Angeles County Health Department approval is required prior to permit issuance for the installation of any septic tanks, leach fields or seepage pits and future leach fields and seepage pits.
36. Las Virgenes Municipal Water District approval will be required prior to the issuance of a Building Permit.
37. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including structural, floor plan, mechanical, electrical, plumbing, energy plans, Title 24 plans will be required to be reviewed and approved by the Building and Safety Department.

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

38. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
39. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of any permits, all improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
40. Prior to permitting, the applicant shall pay all applicable Transportation Impact Fee (TIF) to the Building and Safety Department.
41. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
42. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.

43. The grading plan shall show location(s) of all oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any, and these conditions.
44. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
45. Prior to permitting, the project shall obtain a permit from the Los Angeles County Health Department, Las Virgenes Municipal Water District, and Los Angeles County Fire Department.
46. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at 818.597.7322 for approved City certification forms.
47. Building Permits shall not be issued until applicant has obtained septic system approval from Los Angeles County Health Department.
48. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The project is required to provide 20 feet of paved surface and repair pavement along property frontage, install a new stamped concrete driveway approach, and all water appurtenances shall be per Las Virgenes Municipal Water District's standards.
49. The following existing streets' pavement sections are substandard and will require repairs: Blythdale Road along property frontage.
50. This property is within the LVMWD service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
51. Applicant shall submit a legal description and map for the 10-foot slope easement for the City of Agoura Hills along the property frontage, and pay a processing fee of \$1,450 for this slope easement to be vacated.
52. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
53. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.

54. The proposed site/portion of site falls within a designated flood hazard area as indicated on the Los Angeles County Assessor's Map, and is subject to flooding in a 100 year frequency storm. This site plan shall comply with all provisions found in Article III- Chapter 7 (Floodplain Management) of the City's Municipal Code.
55. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
- a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
56. Prior to the approval of the Grading Plan and issuance of Grading Permit, a completed Low Impact Development (LID) Plan shall be submitted to and approved by the Engineering Department. The LID Plan shall comply with the requirements of the LID Ordinance and Los Angeles County LID Standards Manual. The LID Plan shall include the following information:
- Identification of whether the proposed project is a Designated or Non-Designated Project.
 - If the proposed project is a Designated Project, identification of the project category.
 - Feasibility of infiltration including a percolation report as part of a geotechnical report prepared by a geotechnical engineer.
 - Source control measure(s) proposed to be implemented
 - Calculation of the SWQDv.
 - Discussion on whether stormwater runoff harvest and use is feasible.
 - Stormwater quality control measure(s) proposed to be implemented.

- Discussion of how the applicable water quality standards and total maximum daily loads (TMDLs) will be addressed (off-site mitigation projects only).
- Proposed hydromodification controls and calculations (if necessary).
- Proposed maintenance plan (if necessary).

57. SWPPP Plan – All projects that develop one (1) acre or more of total land area or which are part of a larger phased development that will disturb at least one acre of land, are required to prepare a Storm Water Pollution Prevention Plan (SWPPP), utilizing the model form in Appendix B of the 2003 CASQA Stormwater BMP Handbook for Construction at: www.cabmphandbooks.com and submit a copy of the plan to the City of Agoura Hills Engineering Department for review. A copy of the adopted SWPPP shall be maintained in the construction site office at all times during construction and the Site Superintendent shall use the plan to train all construction site contractors and supervisory personnel in construction site Best Management Practices, prior to starting work on the site.

Said plan shall, among other things, ensure that the following minimum requirements are effectively implemented at all construction sites:

- a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
58. Prior to issuance of Certificate of Occupancy, all remaining fees/ deposits required by the Engineering Department must be paid in full.
59. Prior to issuance of Certificate of Occupancy, all requirements including construction of improvements covered in condition number 48 must be completed to the satisfaction of the City Engineer.
60. Prior to issuance of Certificate of Occupancy, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements.

No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.

61. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
62. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
63. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL CONDITIONS

64. The applicant shall comply with all the items in the City Geotechnical Consultant's (GeoDynamics, Inc.) Conditions of Approval memorandum dated January 24, 2017, which is incorporated herein by this reference.

LANDSCAPE AND IRRIGATION CONDITIONS

65. The Final Landscape Plans shall substantially conform to the Landscape Preliminary Plan prepared by Michael McGowan, Landscape Architect, as approved by the City of Agoura Hills Planning Commission.
66. Any tree of heaven (*Ailanthus altissima*) is to be permanently eradicated. The Final Landscape Plans must contain a note to this effect and specify the method of eradication.
67. Prior to the approval of a grading permit, the applicant shall submit three (3) sets of Final Landscape and Irrigation Plans for review by the City Landscape Consultant and approval by the Planning Director. A California licensed Landscape Architect shall prepare, stamp and sign the final plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans.
68. The Final Landscape Plans shall conform to the approved grading plans and the requirements of the National Pollutant Discharge Elimination System (NPDES) and or Low Impact Development Standards (LID).

69. Planting Plans shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees shall be 15 gallons. The minimum size of shrubs shall be five (5) gallons except shrubs planted as groundcovers, or native shrubs that area only available in one (1) gallon size. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
70. The Final Landscape Plans shall include the following notes:
 - a. The project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans.
 - b. Identification of the total square footage of the landscape area within the project.
71. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
72. The Landscape and Irrigation Plan shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.
73. With the Final Landscape Plans, three (3) copies of planting and irrigation details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, instillation details and post installation maintenance.
74. The approved landscaping shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
75. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
76. The Final Landscape Plan shall be approved by the Fuel Modification Unit of the County of Los Angeles Fire Department prior to the issuance of a building permit.
77. Landscaping and irrigation installation shall be subject to inspection and approval by the Planning Department prior to final building permit inspection.

OAK TREE CONDITIONS

78. All oak trees located on the property that would be encroached or otherwise avoided shall be preserved in perpetuity in accordance with the measures indicted on the

pages 2-5 of the Oak Tree Report prepared by L. Newman Design Group, Inc. dated June 2, 2016, and the Addendum dated February 17, 2017.

79. In accordance with the City's Oak Tree Preservation Guidelines, Section 9657.5, no less than four (4) native oaks shall be provided for any oak tree removed. Therefore, four (4) trees of the same species shall be provided as mitigation for the removal of a Coast Live Oak, Tree No. 11. Replacement trees shall consist of two (2) 24-inch box oaks, one 36-inch box oak, and one 15-gallon oak (or larger), such that the trunk diameters of the replacement oaks are equal to, or greater than, the trunks of the oak removed, with the assumption that a 36-inch box oak represents a 3-inch diameter tree, a 24-inch box oak represents a 2-inch diameter tree, and a 15-gallon oak represents a one-inch diameter tree.
80. All new subsurface ground disturbance that will occur within the protective zone of an oak tree shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant. If vegetation clearing or grading is not feasible within the protective zone with the use of hand tools, mechanical equipment may be allowed so long as a certified arborist is present to ensure that no impacts occur to the oak tree.
81. Prior to the start of any work or mobilization at the site, protective fencing shall be installed at the protective zone of preserved oak trees. The applicants or their consulting arborist shall consult the City's Oak Tree Consultant to determine the exact fencing configuration and appropriate fencing material, and submit a fencing plan subject to approval by the City's Oak Tree Consultant.
82. The applicants shall provide a minimum of 48-hour notice to the City Oak Tree Consultant prior to the start of approved work within the protected zone of any oak tree.
83. No grading, scarifying or other soil disturbance shall be permitted within the portion of a protected zone of any oak tree except as specifically required to complete the approved scope of work and in accordance with this oak tree permit.
84. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
85. No irrigation or ground cover shall be installed within the Protective Zone of any existing oak tree unless specifically approved by the City Oak Tree Consultant and the Planning Director.
86. Prior to removal of the protective fencing, the applicants shall contact the City Oak Tree Consultant to perform a final inspection. The applicants shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.

87. No pruning of live wood of an oak tree (including branches and roots) shall be permitted unless specifically authorized by the City Oak Tree Consultant and/or following an approved oak tree permit. Any authorized pruning shall be performed by a qualified arborist under the direct observation of the applicant's oak tree consultant. All pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.
88. No herbicides shall be used within 100 feet of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.

SOLID WASTE MANAGEMENT CONDITIONS

89. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
90. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
91. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

RESOLUTION NO. 17 _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING VARIANCE CASE NO. VAR-01249-2016 TO PERMIT EXCESS BUILDING HEIGHT FOR THE PROPERTY LOCATED AT 27901 BLYTHEDALE ROAD; AND MAKING THE FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. SC Planners, for Chaney and Marisa Sheffield, filed an application with respect to the real property located at 27901 Blythedale Road, Assessor's Parcel Number 2055-001-038, requesting approval of Variance Case No. VAR-01249-2016 to increase the building height in relation to the rear setback line per the hillside development standards in Section 9676.2.E. of the City of Agoura Hills Municipal Code from the maximum allowable fifteen (15) feet to the proposed thirty-one and one-half (31.5) feet, a variance of 24.5 feet in building height.

Section II. The project is a request for one single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures), particularly Subsections (a) and (e). The project would not result in significant impacts to the environment. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including but not limited to, subsection (c), which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the application at a public hearing held on March 16, 2017, at 6:30 p.m. in the Council Chambers, City Hall, at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Variance. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section. 9676.2.E. of the Agoura Hills Municipal Code, that:

A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other property owners in

the vicinity and under identical zoning classification. The project site is zoned Open Space-Restricted (OS-R), Old Agoura Design Overlay (OA), and Equestrian Overlay (EQ) where 35-foot high, two-story, single-family residential structures are allowed. However, the height is restricted because the topographic slope of the lot is greater than ten (10) percent and the same design choices are not available for this parcel as for a parcel with less than ten percent slope. Hillside development standards require that the portion of the structure closest to the rear property line not exceed fifteen (15) feet high at the rear setback line when the elevation at the rear lot line is higher than the elevation of the front lot line. The proposed project is sited on a 6.45-acre parcel with the house situated on a more level pad, which can accommodate the whole footprint with wide building setbacks and which will minimize the excavation of earth. The proposed level pad can provide setbacks over 150 feet from the rear property line and over 350 feet from the front property line and as such, a height in excess of 15 feet at the setback line is appropriate for this lot size, considering the home's considerable distance to off-site structures and surrounding hillsides that could not impact views from above. The terrain slopes in various directions, and with higher elevation points than the proposed residential pad. The development pad is proposed at a considerable distance from other nearby homes (from 200 feet to 500 feet) and to the private street as well. The project would not impact off-site vantage points given the long visual path to the house and beyond. The project seeks to build in the general location designated by the approved Parcel Map and condensed the structures in one area to avoid expanding into remaining open space areas. While a single-story home would meet the height limitation, the proposed two-story floor plan was selected over a one-story floor plan to minimize the size of the footprint. A one-story design would increase the size of the development footprint and pad. It would also increase the necessary setback distance of the structures to the down-slopes, and would require the need for multiple retaining walls. Access to the building is provided by an existing driveway with one additional driveway that serves as a fire access. Therefore, absent a variance, the applicant could not develop a similar two-story that is found on other properties in Old Agoura under identical zoning requirements.

B. The granting of the variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone. The underlying zoning designation for the property, OS-R, otherwise permits buildings of up to 35 feet in height. The granting of the variance would allow the applicants to build with the same setback distance as the adjacent lots of the same subdivision, and to build a two-story residence like the residences on adjacent lots. The proposed development is located at the end of the driveway designated by the Parcel Map to avoid impacts on natural resources. The building height is a function of the topographic conditions of the lot, and not its surroundings. The project site is located on 6.45 acres of rolling topography varying in elevation. As an average, the topography at the rear setback line is higher (1,063 feet) than the front property line (1,026 feet) and therefore dictates the height of the structure, despite the higher elevation of the rear of the property and the parcels beyond fronting Chesebro and extending beyond the parcel. Adjacent development includes two (2) two-story and one (1) one-story structure, over 200 feet at southwest, west, and northwest from the proposed house. The nearest ridgeline is at an altitude of 1,350 feet above sea level, which the house could not block the view of as the base of the hillside is over 300

feet from the building pad. The other homes on the south side of Blythedale Road are at various elevations and various setbacks than the homes on the north side of the street, which would allow for a view of the ridgelines beyond the proposed development. Given that many other two-story homes of up to 35 feet in height are permissible in Old Agoura, there is no special privilege granted to the applicant by this variance that is inconsistent with the limitations upon other properties in the vicinity and zone.

C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. Although the strict application of the building height restriction would not be consistent with the Hillside and Significant Ecological Area Ordinance, the Variance in this case is consistent with the objectives of those ordinances. In particular, limiting this home to a height of 15 feet above the rear setback would likely cause the applicant to develop a home with a larger footprint that would create greater grading quantities and greater impacts to the on-site oak trees. Reducing the height of the structure would create a larger footprint and retaining walls, and consequently a larger development pad due to the footprint and required access around it. Such a home would still comply with the property's setback standards, but would result in greater biological and aesthetic impacts. The project, with its second floor, minimizes potential impacts on the natural environment, including slopes, natural vegetation and oak trees by limiting the size of the building pad in order to maintain the stability of the terrain. As such, strict application of the building height requirement would deprive the applicants of the desired square footage.

D. The granting of the variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity. The taller building will not cause a public hazard, as the project is proposed to be built to current Building Code standards. The project will not block any adjacent properties' views or impede on neighboring properties' privacy, given the limited development area on the large parcel and the distance between structures of the proposed and off-site structures. The separation between on- and off-site structures is over 200 feet with various building pad elevations. The geotechnical report prepared for the project, including required conditions, demonstrates all structures can be safely developed. The project design will allow the placement of a septic system that will meet the standards of the Los Angeles County Environmental Health Services Department. The project provides two driveways that are approved by the Los Angeles County Fire Department to provide emergency services.

E. The granting of the variance will be consistent with the character of the surrounding area. At 31.5 feet, the building height is under the maximum height (35 feet) of a building otherwise permitted on a lot with less than ten (10) percent slope. The proposed project is surrounded by two-story structures. The proposed structures will be screened from off-site views by existing trees. New trees proposed on the newly created slopes, and off-site vegetation will further screen off-site view. The project is conditioned to control light impacts on neighboring properties and the natural open spaces, and all structures will be designed to be aesthetically compatible with Old Agoura.

Section VI. Based on the aforementioned findings, the Planning Commission hereby approves Variance Case No. VAR-01249-2016, subject to the conditions attached hereto as Exhibit A, with respect to the property described in Section I hereof.

Section VII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 16th day of March, 2017, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

ATTEST

Curtis Zacuto, Chair

Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case No. VAR-01249-2016)

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all conditions of this variance with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits (Site Plan; Elevation Plans; Floor Plans, Roof Plan, and Grading Plan).
4. It is hereby declared to be the intent that if any provision of this variance is held or declared to be invalid, the variance shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a condition of this action that if any condition herein is violated, the variance shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. Unless the approval is used within two (2) years from the date of City approval, Case No. VAR-01249-2016 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
7. The Variance Case No. VAR-01249-2016 is valid only in conjunction with Conditional Use Permit Case No. CUP-01247-2016 and Oak Tree Permit Case No. OAK-01248-2016, and the conditions of approval therein. The effectiveness of this variance is contingent upon approval of those entitlements.
8. The applicant shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of the approval of this application. Although the applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this Condition.
9. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, and employees from and against any claim, action or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul any approval or condition of approval. The City shall notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense.

The City reserves the right, at its own option, to choose its own attorney to represent the City, its officers, employees, and agents in the defense of the matter.

END

**Old Agoura Home Owners Association
Planning and Zoning Committee**

June 28, 2016

Attn: City of Agoura Hills Planning Dept.
Re: 27901 Blythedale Rd.

The Planning and zoning committee from the Old Agoura Home Owners Association has visited the subject site, and reviewed the plans provided by KAA Design dated 5-31-2016

Project consist of a new house and pool to be built on approximately 6.5 acres. The plans show several large oaks that are being preserved. About one half of the wild life corridor will have a drive/permeable path that appears to be about 8' wide.

The lot has a small hill or mound where the house is to be built fairly close to the center of this ascending lot. The topo lines, show the house main level floor will be about 8' lower than the top of the mound, reducing the visual mass.

The house is mostly one story with a smaller second floor, and a basement; which also helps to reduce the visual mass and height. The traditional architecture shows nice articulation. The dormers, lower roof sections and patio trellis, work well and compliment the design. We applaud the architect and owner for their vision.

The project is within the guidelines as stated. However, it is quite large. If we look at the amount of structure, (including allowable deductions) being built, its over 10,000 square feet. Adjusted, just a few square feet shy of the 8000 S.F. maximum allowed.

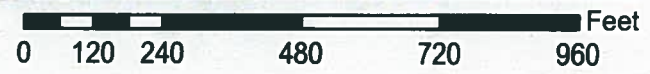
It would be nice if the applicant would consider reducing the size. We would like to see the scale be more consistent with other properties in the area.

Thank you.
Phil Ramuno
Daniel Farkash

City of Agoura Hills

CONDITIONAL USE PERMIT CASE NO. CUP-01247-2016, OAK TREE PERMIT CASE NO. OAK-01248-2016 & VARIANCE REQUEST CASE NO. VAR-01249-2016

Vicinity & Zoning Map





Sheffield Residence, Old Agoura

EVENS ARCHITECTS Conditional Use Permit Application



House viewed from Front Gate

27901 Blythedale Road



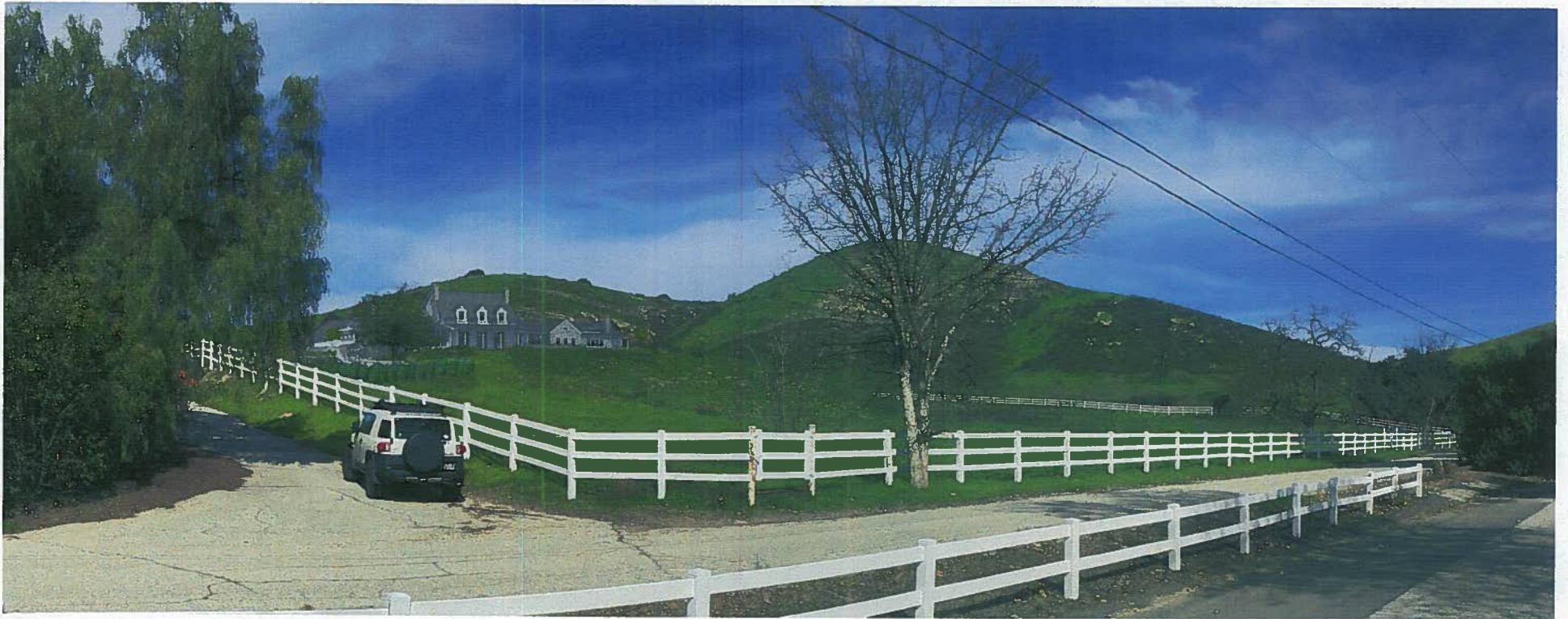
Sheffield Residence, Old Agoura

EVENS ARCHITECTS Conditional Use Permit Application



House viewed from Motorcourt

27901 Blythedale Road

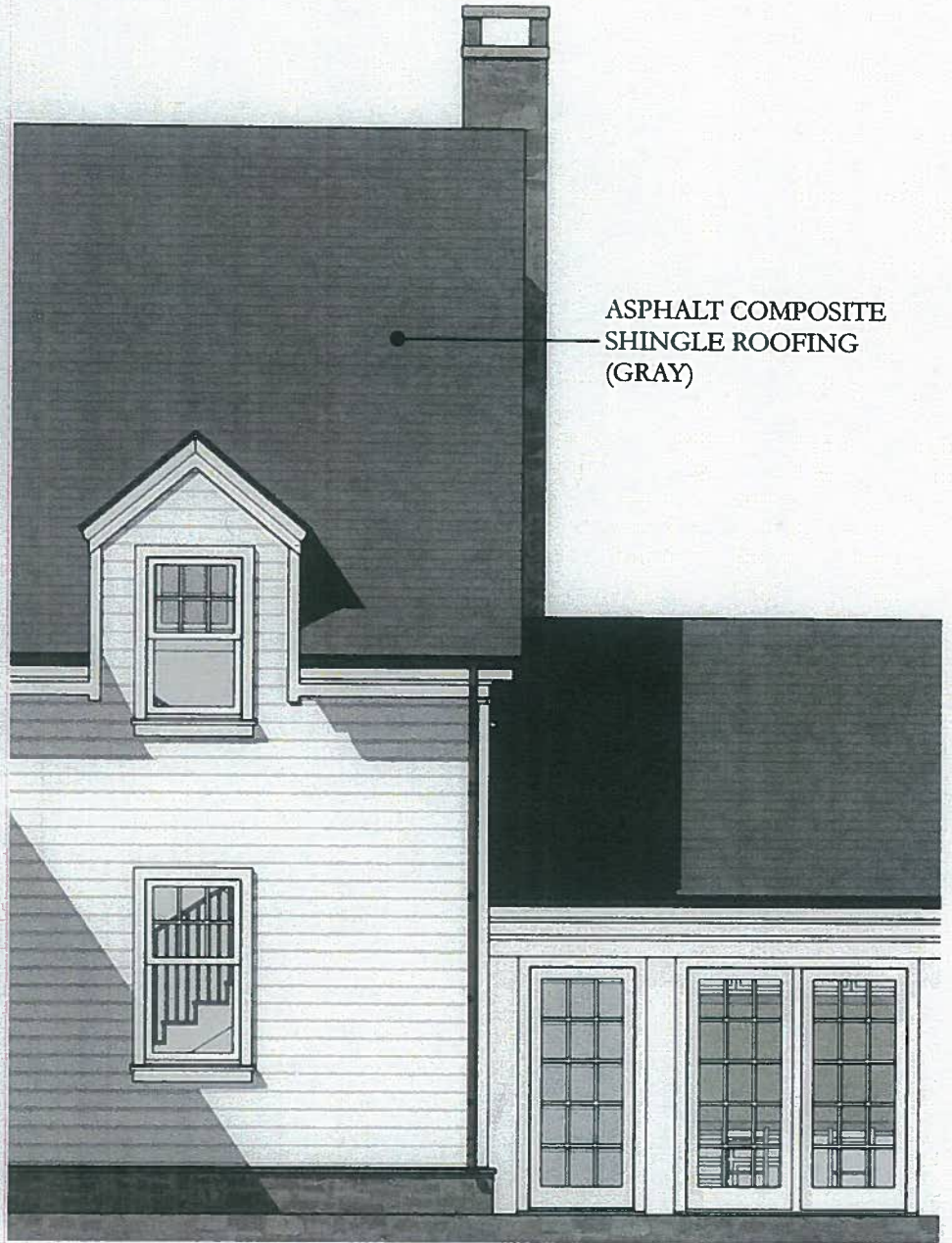


Sheffield Residence, Old Agoura
EVENS ARCHITECTS Conditional Use Permit Application



Site Rendering

27901 Blythedale Road



Sheffield Residence, Old Agoura

EVENS ARCHITECTS Conditional Use Permit Application

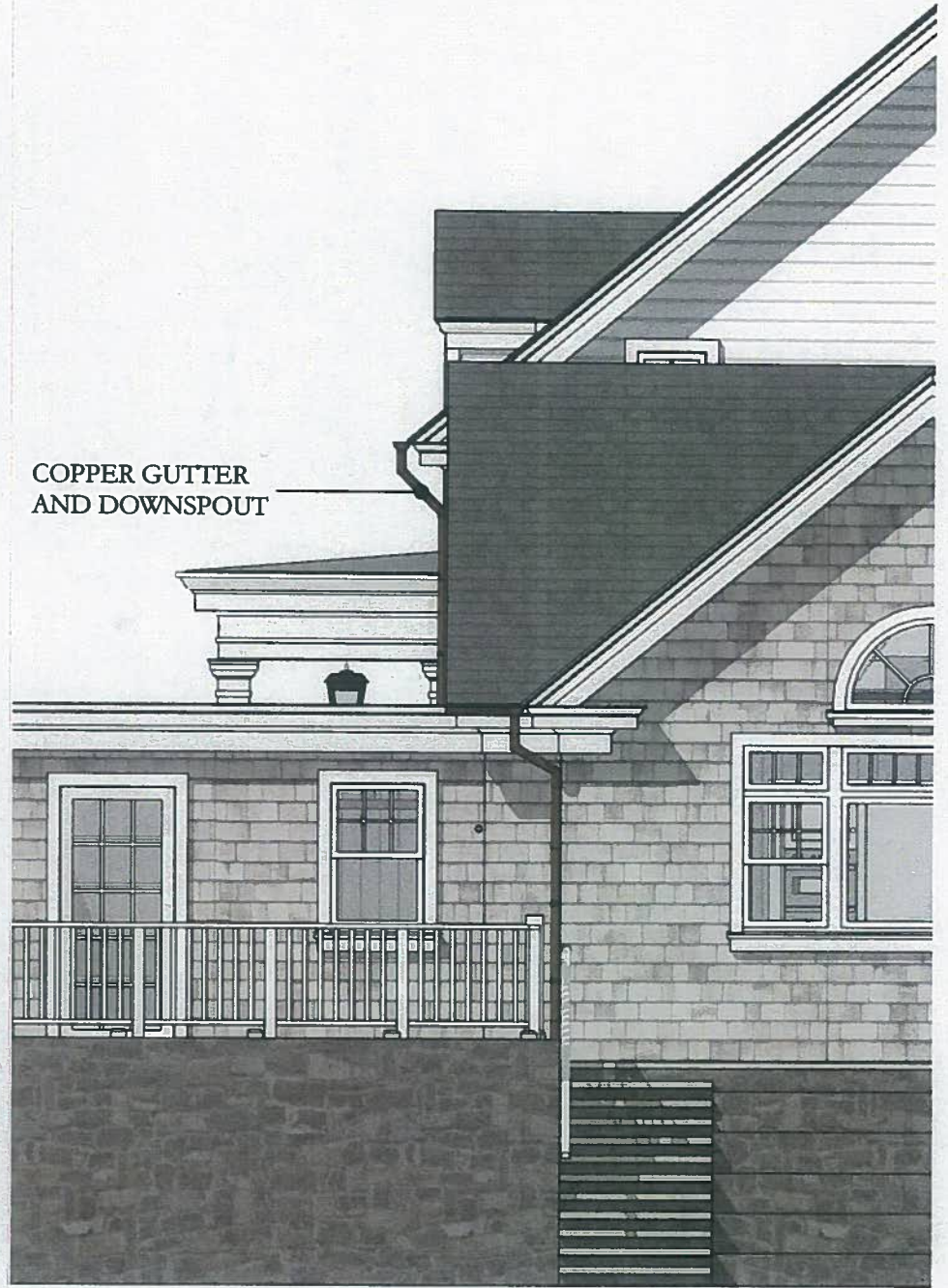


COMPOSITE SHINGLE ROOFING

27901 Blythedale Road



COPPER GUTTER
AND DOWNSPOUT



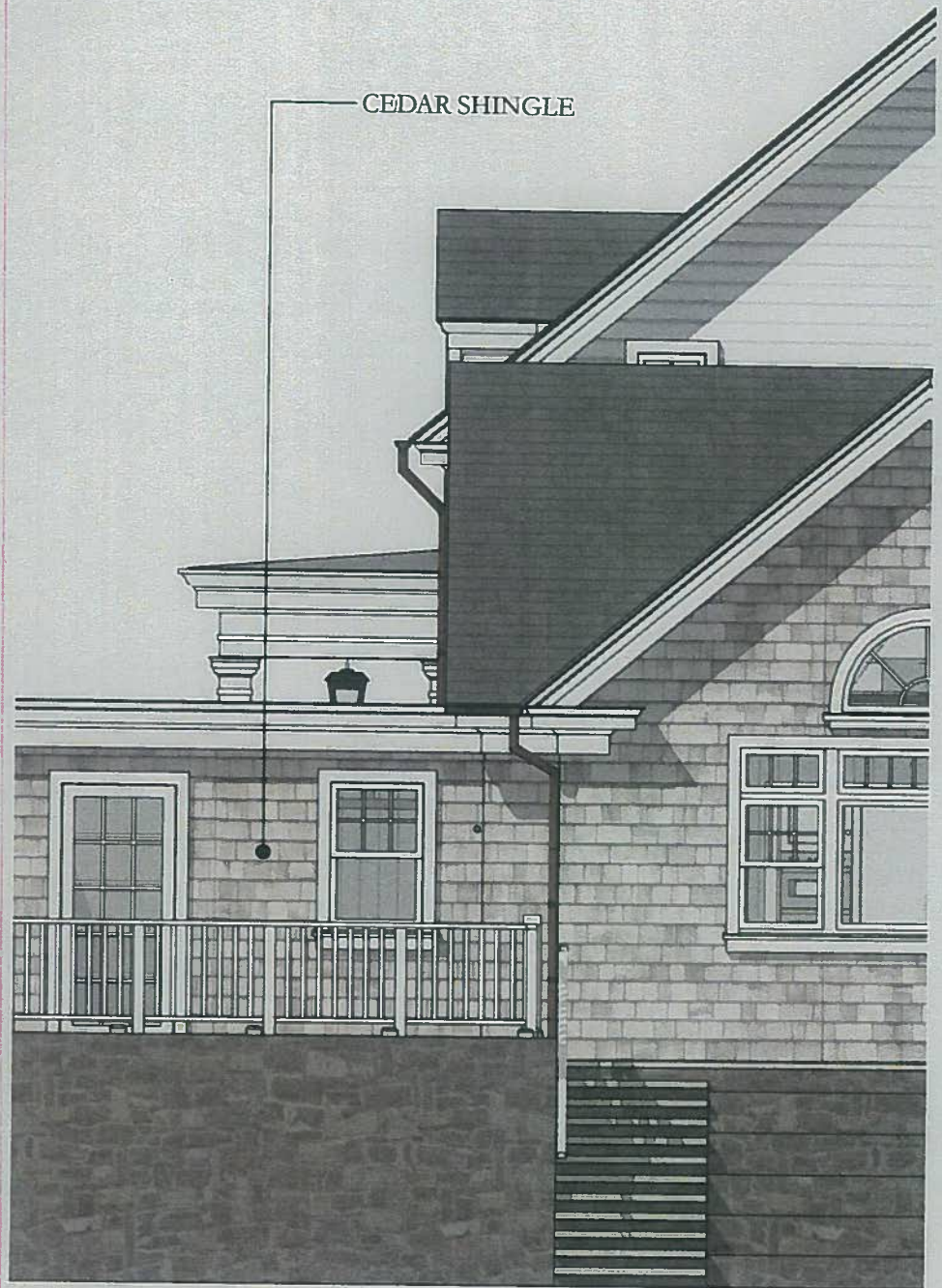
Sheffield Residence, Old Agoura

EVENS ARCHITECTS Conditional Use Permit Application



COPPER GUTTERS & DOWNSPOUTS

27901 Blythedale Road



Sheffield Residence, Old Agoura

EVENS ARCHITECTS Conditional Use Permit Application



CEDAR SHINGLE SIDING

27901 Blythedale Road



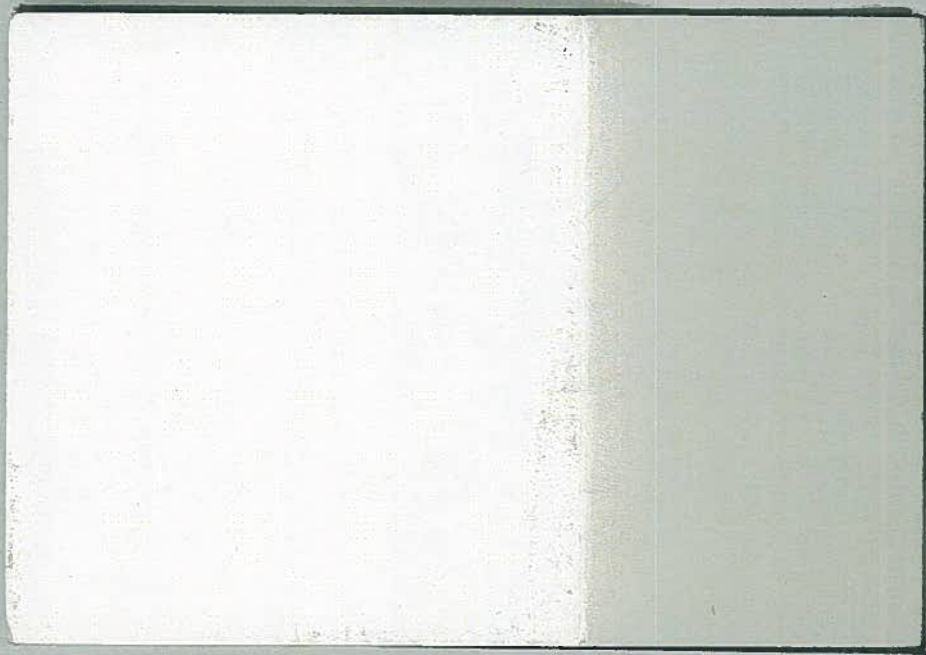
Sheffield Residence, Old Agoura

EVENS ARCHITECTS Conditional Use Permit Application



STONE VENEER WALLS

27901 Blythedale Road



PAINTED LAPPED
WOOD SIDING

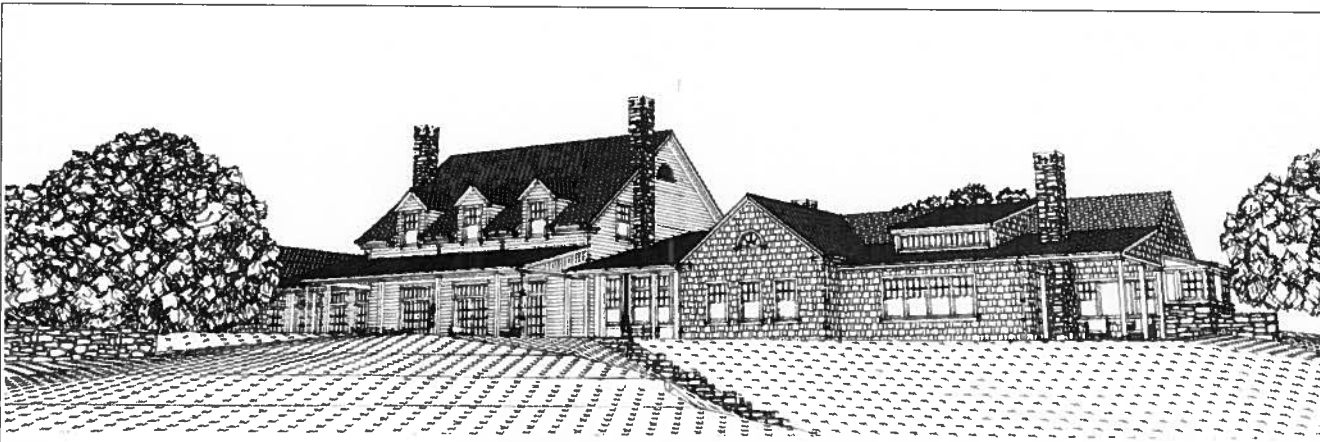
Sheffield Residence, Old Agoura

EVENS ARCHITECTS Conditional Use Permit Application



PAINTED LAPPED WOOD SIDING

27901 Blythedale Road



SHEFFIELD RESIDENCE

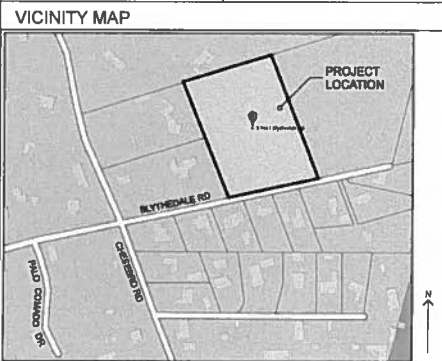
GENERAL NOTES	SHEET INDEX
1. ALL EXTERIOR MATERIALS USED FOR SAWED, BONDS, PORCH, WINDY, DECOR, CANOPY, CANYON AND OTHER BUILT UP STRUCTURES MUST MEET THE VERY HIGH FIRE HAZARD SEVERITY ZONE (VH-FH) AS OUTLINED IN CHAPTER 2 OF ARTICLE VII IN THE AGOURA HILLS MUNICIPAL CODE.	ARCHITECTURAL DRAWINGS G000 COVER SHEET G001 SURVEY G002 SITE PLAN G003 SITE DIAGRAMS
2. PROVIDE A 2% SLOPE AWAY FROM THE STRUCTURE FOR DRAINAGE (ON THE FIRST 5 FEET) AROUND THE NEW STRUCTURES.	A100 OVERALL BASINMENT PLAN A101 OVERALL FIRST FLOOR PLAN A102 OVERALL SECOND FLOOR PLAN A103 OVERALL ROOF PLAN
3. ALL NEW OR REPLACED WINDOWS MUST BE TEMPERED ON AT LEAST ONE SIDE OF THE DUAL PANE, OR A 20-MINUTE RATED WINDOW OR GLASS BLOCKS PER SECTION 700A.3.2.2 OF THE 2013 CALIFORNIA BUILDING CODE.	A110 ENLARGED GARAGE WIND FLOOR PLANS A111 ENLARGED PARTIAL FIRST FLOOR PLAN A112 ENLARGED PARTIAL FIRST FLOOR PLAN A113 ENLARGED SECOND FLR / PARTIAL ROOF PLAN A114 ENLARGED PARTIAL ROOF PLAN
4. THIS PROJECT SHALL BE SUBJECT TO THE 2013 CALIFORNIA RESIDENTIAL BUILDING, MECHANICAL, PLUMBING, ELECTRICAL, ENERGY GREEN BUILDING CODES AND AGOURA HILLS MUNICIPAL CODE. IF SUBMITTED AFTER JANUARY 1, 2017, THEY WILL BE REVIEWED UNDER 2019 CALIFORNIA BUILDING CODES WITH ANY LOCAL AMENDMENTS.	A300 OVERALL ELEVATIONS A301 OVERALL ELEVATIONS A302 ENLARGED PARTIAL ELEVATION A303 ENLARGED PARTIAL ELEVATION A304 ENLARGED PARTIAL ELEVATION A305 ENLARGED PARTIAL ELEVATION A306 ENLARGED PARTIAL ELEVATION A307 ENLARGED ELEVATION
5. PER AGOURA HILLS 445 ONLY FIREPLACES FUELED BY GAS (SUCH AS GAS LOGS) MAY BE INSTALLED IN A NEW RESIDENCE. PERMANENTLY INSTALLED INDOOR OR OUTDOOR WOOD-BURNING FIREPLACES OR STOVES ARE NOT PERMITTED.	A400 CROSS SECTIONS
6. FIRE SPRINKLERS FOR ALL NEW STRUCTURES WILL BE REQUIRED PER AGOURA HILLS MUNICIPAL CODE 803.2 INCLUDING THE PROPOSED FUTURE HORSE STALL AND STORAGE.	LANDSCAPE DRAWINGS L200 LANDSCAPE MATERIALS PLAN L301 LANDSCAPE PLAN L302 ENLARGED LANDSCAPE PLAN - HOUR L303 ENLARGED LANDSCAPE PLAN - WEST SLOPE L310 FUEL MODIFICATION PLAN L311 FUEL MODIFICATION PLAN NOTES L720 FENCE AND GATE DETAILS
7. A BOLS REPORT IS REQUIRED TO BE SUBMITTED FOR THIS PROJECT.	
8. HILLSIDE STRUTS SHALL BE MET PER AGOURA HILLS MUNICIPAL CODE 188.3.2	
9. HANDRAILS WILL BE REQUIRED FOR EXTERIOR STAIRS WITH FOUR (4) OR MORE RISERS PER 2013 CALIFORNIA BUILDING CODE SECTION 311.7.8.	
10. BUILT-UP BRGS SHALL BE 3 FEET AWAY FROM ANY COMBUSTIBLE MATERIALS UNLESS THE MATERIAL ABOVE IS NON-COMBUSTIBLE OR AN APPROVED UL LISTED HOOD IS PROVIDED.	
11. POOL FENCING SHALL BE PROVIDED. IF UTILIZING THE PERMITTED FENCING FOR THIS PURPOSE, THE FENCE MUST MEET THE POOL FENCING REQUIREMENTS FOR THE HEIGHT, TYPE, LATCH AND SWING OF DOOR, ETC.	
	CIVIL DRAWINGS C1.0 COVER SHEET C2.0 SURVEY C3.0 OVERALL SITE PLAN C3.1 ENLARGED GRADING & DRAINAGE C3.2 ENLARGED GRADING & DRAINAGE C3.3 ENLARGED GRADING & DRAINAGE C4.0 DETAILS C5.0 SECTIONS C5.1 SECTION B
	LIGHTING DRAWINGS L1.01 SITE LIGHTING PLAN L7.02 SITE PHOTOMETRIC STUDY



PROJECT
15105

SHEFFIELD RESIDENCE
27901 BLYTHEDALE ROAD
AGOURA HILLS, CA 91301
APN: 2055-001-038

ABBREVIATIONS	LEGEND	PROJECT CONTACTS	PROJECT SUMMARY	FLOOR AREA & HEIGHT LIMIT CALCULATIONS																																																																																																																													
ARCH Architectural B.C. Block BL Black BLK Black CL Clear CLD Ceiling COL Column CONC Concrete COAT Coating DWG Drawing DIM Dimension EQ Equipment EXT Exterior FIN Finish F.G. Finish Grade F.L. Floor F.R. French FR Foot FTG Footing GLASS Glass GYR. BD. Gyro Board H.R. Header HIC Height INT Interior L.A. Landscape Architect LI Light MIN. Minimum MAX. Maximum MECH. Mechanical MFR. Microfibre MTR. Metal NCL Number O.C. On center OF Plywood PLYWD. Plywood PTD. Painted R. Rough R.O. Rough Opening R.P. Rebar REF. Reference REGR. Rebar REV. Revision / Revised SHT. Sheet SHR. Shutter STL. Stainless Steel STR. Structural T.D. To Be Determined T&G Torque & groove T.F. To Finish TYP. Typical V.I. G. Unless noted otherwise V. Verify in field WH Wood WD Wood	REVISION DOOR WINDOW WALL TYPE CEILING HEIGHT FINISH MATERIAL ELEVATION DATUM LINE EXTERIOR ELEVATION BUILDING SECTION WALL SECTION INTERIOR ELEVATION SECTION DETAIL INDICATOR PLAN DETAIL INDICATOR KEY NOTE SLOPE ALIGH DIMENSION TO CENTER LINE DIMENSION TO FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED DIMENSION TO FINISH FACE OF WALL / SURFACE	OWNER: MARRIS & CHANEY SHEFFIELD 217 208 STREET MANHATTAN BEACH, CA 90266 ARCHITECT: K&A DESIGN GROUP 4261 REDWOOD AVENUE LOS ANGELES, CA 90009 T: (310) 821-1400 F: (310) 821-1440 Contact: JOHN MANOLIS PLANNING CONSULTANT: SC PLANNERS 818 W. FREEMONT AVENUE, STE C ALHAMBRA, CA 91803 T: (626) 504-4114 F: (626) 504-4012 Contact: MATTHEW JEWETT GENERAL CONTRACTOR: BRUDER CONSTRUCTION 288 BELL CANYON RD. BELL CANYON, CA 91307 T: (818) 882-2315 Contact: JAY BRUDER LANDSCAPE ARCHITECT: K&A DESIGN GROUP 4261 REDWOOD AVENUE LOS ANGELES, CA 90009 T: (310) 821-1400 F: (310) 821-1440 Contact: JERRY WILLIAMS STRUCTURAL ENGINEER: C.W. HOME PARTNERS, INC. 4285 SEPULVEDA BLVD CULVER CITY, CA 90230 T: (310) 558-0283 / 117 Contact: GARY HOME SURVEYOR: CHRIS NELSON & ASSOCIATES 3123M VIA COLINAS, SUITE H WESTLAKE VILLAGE, CA 91362 T: (818) 881-1040 F: (818) 881-0814 Contact: CHRIS NELSON BOLS ENGINEER: BOLD BOLS & GEEKLOGIC 108 SAN MARINO AVENUE VENTNURA, CA 95303 T: (408) 202-8823 Contact: JEFF BRAS CIVIL ENGINEER: WALLACE E. MASON & ASSOC. 881 BRANCO ROAD THOUSAND OAKS, CA 91320 T: (805) 784-5588 Contact: ERICK MASON LIGHTING DESIGNER: RDM ARCHITECTURAL LIGHTING 278 CORRAL DRIVE CIRCLE EL SEGUNDO, CA 90248 T: (310) 552-0181 F: (310) 552-2192 Contact: ERICA MACHOLAS	PROJECT ADDRESS: 27901 BLYTHEDALE ROAD AGOURA HILLS CA 91301 ZONE: OH-R-04-EQ OCCUPANCY: R3, U CONSTRUCTION TYPE: 2 TYPE V8 (SPRINKLERED) NUMBER OF STORIES: 2 STORIES + BASEMENT APPLICABLE CODES: 2013 CBC 2013 CPC 2013 CBC 2013 CEC 2013 CA ENERGY CODE 2013 CDRBC APN: 2055-001-038 LEGAL DESCRIPTION: COUNTY OF LOS ANGELES PARCEL MAP BOOK 183 PAGES 81 AND 82 PARCEL MAP NO. 12257 PARCEL 3 LOT SIZE: 6.45 ACRES (280,987 SF) MAXIMUM ALLOWABLE FLOOR AREA: 8,472 SF MAIN STRUCTURE SETBACKS: FRONT YARD: 50 FT SIDE YARD: 25 FT REAR YARD: 50 FT MAXIMUM ALLOWABLE BUILDING HEIGHT: 35 FT PROJECT DESCRIPTION: NEW SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE EXTERIOR SITE IMPROVEMENTS, INCLUDING SWIMMING POOL AND SPA (UNDER SEPARATE PERMIT)	LOT SIZE: 6.45 ACRES (280,987 SF) AVERAGE LOT SLOPE: 15 % (PER CIVIL ENGINEER'S SLOPE ANALYSIS) FLOOR AREA RATIO CALCULATION FLOOR AREA RATIO DEFINITION: 8,860 SF PLUS 0.12 MULTIPLIED BY THE LOT AREA OVER 130,001 SF LOT AREA OVER 130,001 SF: 280,987 SF - 130,001 SF = 150,986 SF MULTIPLIER: 0.12 x 150,986 SF = 1,812 SF ALLOWABLE FLOOR AREA: 8,860 SF + 1,812 SF = 8,472 SF SLOPE FACTOR REDUCTION SLOPE FACTOR: NO SLOPE FACTOR REDUCTION FOR SLOPE 15% OR LESS <table border="1"> <thead> <tr> <th>PROPOSED FLOOR AREA (PER F.A.R. 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DEFINITIONS)	ALL AREAS SHOWN IN SQUARE FEET	STORY LEVEL	AREA TYPE	FLOOR AREA (EXEMPT)	FLOOR AREA (INCLUDED)	BASEMENT	BASEMENT AREA (NO EXPOSED SIDES)	640	636	EQUIPMENT STORAGE AREA (EXPOSED ONE SIDE)	-	536	GARAGE (MAX 800 SF EXEMPT)	800	312	FIRST FLOOR	NORTH PORCH (COVERED, FACING MOTOR COURT)	-	56	SOUTH PORCH (COVERED, FACING STREET)	821	-	MASTER PORCH (COVERED, FACING STREET)	-	150	SECOND FLOOR	FLOOR AREA	-	1,318	FIRST FLOOR	WEST TERRACE (OPEN TRELLIS)	2,061	6,115	REAR YARD	274	10,164	PROPOSED F.A.R. FLOOR AREA		8,113 SF		MAXIMUM F.A.R. ALLOWABLE FLOOR AREA		8,472 SF		LOT TOTAL AREA:	280,987 SF	RESPONSIBLE AREAS INCLUDED IN LOT COVERAGE (1) HOUSE ONLY		AREA (SF)	TOTAL (SF)	COVERAGE (%)	HOUSE (INCLUDING COVERED PORCHES)	8,098 SF	8,098 SF	2.88%	(2) DRIVEWAYS, UTILITY PAD, RETAINING WALLS			EXISTING DRIVEWAY (ENTIRELY PAVED)	4,070 SF	1.45%	NEW EXTENSION AT (2) DRIVEWAY (LOWER GARAGE ACCESS)	2,288 SF	0.82%	NEW DRIVEWAY (BORDER + PAVED AREA AT ENTRY GATE)	2,104 SF	0.75%	EQUIPMENT PAD (PAVED PORCH)	898 SF	0.32%	EXISTING PAVED PORCH	374 SF	0.13%	RETAINING WALL/WHITE WALLS	1,187 SF	0.42%	TOTAL (1) + (2)	11,099 SF	3.95%	ALLOWABLE LOT COVERAGE			- PER INCLUDE DEVELOPMENT STANDARD:	67.0%		- PER OPEN SPACE STANDARD:	16.6%		PROPOSED LOT COVERAGE:	8.81%		AREA TYPE	AREA (SF)	PERCENTAGE	HOUSE (INCLUDING COVERED PORCHES)	8,098 SF	2.88%	DRIVEWAY	1,472 SF	0.52%	SWIMMING POOL/SPA	1,221 SF	0.43%	POOL DECK	2,140 SF	0.76%	PAVED FOOTPATHS AND STAIRS	883 SF	0.31%	TOTAL	8,714 SF	3.09%	AREA TYPE	AREA (SF)	PERCENTAGE	HOUSE (INCLUDING COVERED PORCHES)	12,801 SF	4.56%	DRIVEWAY (CRUSHED STONE)	3,417 SF	1.22%	TOTAL	16,418 SF	5.84%
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REVISION

8/01/2018 Conditional Use Permit Application
10/04/2018 Revised CUP Application
03/05/2017 CUP Permit Submittal

STAMP

COVER SHEET

SCALE
as noted

G000

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January 2018

NOTES:

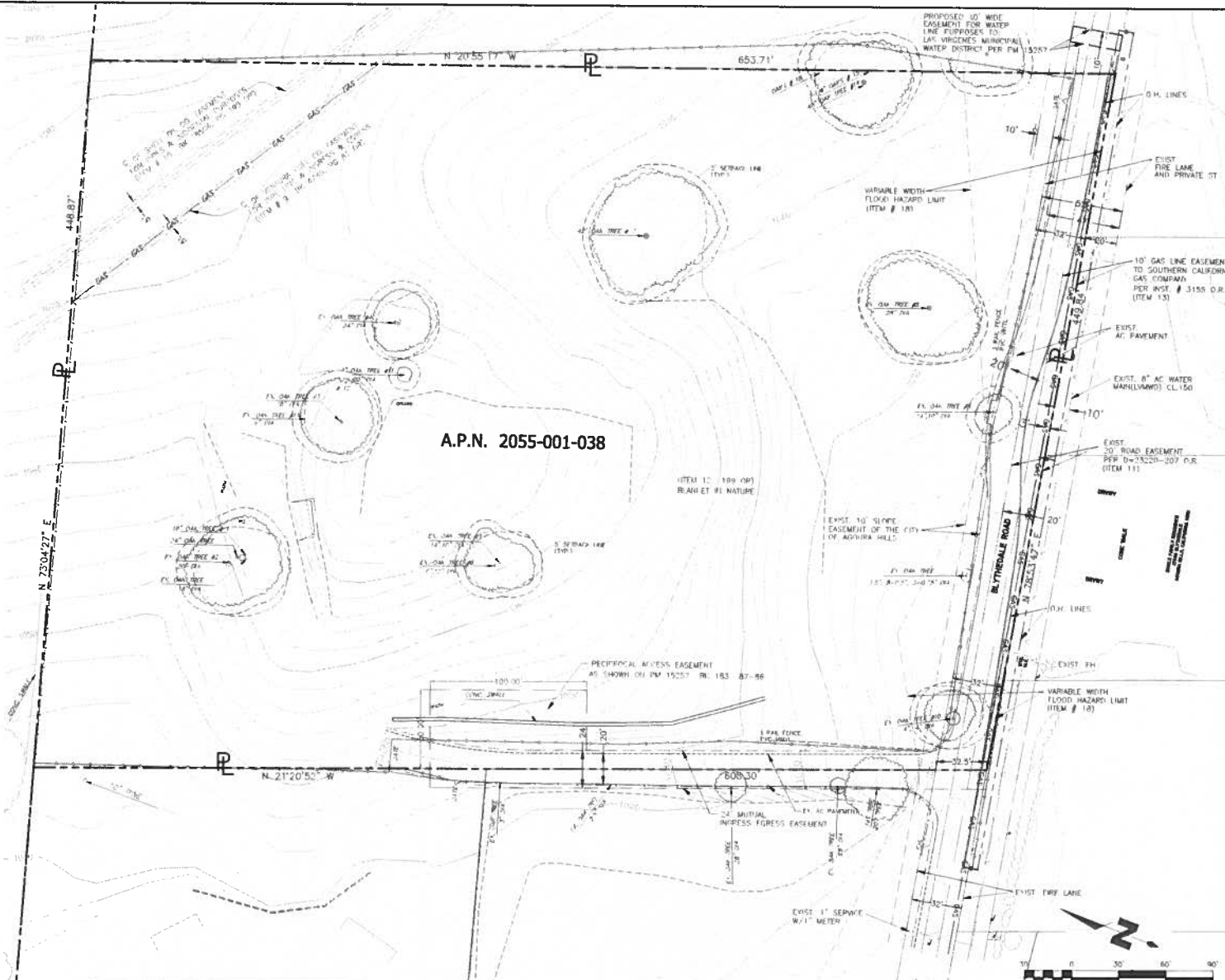
1. THIS MAP HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. ADDITIONAL EASEMENTS (IF ANY) ARE NOT SHOWN.
2. BOUNDARIES SHOWN HEREIN ARE FROM RECORD INFORMATION.
3. UNDERGROUND UTILITIES (IF ANY) ARE NOT SHOWN.
4. CONTOURS SHOWN HEREIN WERE PROVIDED BY OTHERS.
5. IF RETAINING WALLS OR SIMILAR STRUCTURES ARE TO BE DESIGNED FROM TOPOGRAPHY SHOWN HEREIN, THE ELEVATIONS OF CRITICAL POINTS CONTROLLING THE DESIGN MUST BE VERIFIED PRIOR TO ADOPTION OF FINAL DESIGN.

LEGEND:

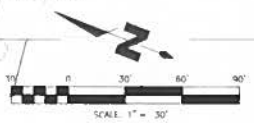
- AC ASPHALT PAVEMENT
- CB CATCH BASIN
- CLF CHAIN LINK FENCE
- CONC CONCRETE
- FP FRESH FLOOR
- FL FLOWLINE
- FS FRESH SURFACE
- GM GAS METER
- GB GRADE BREAK
- HW HAWKLE
- PLTR PLASTER
- TC TOP OF CURB
- TW TOP OF WALL
- UP UTILITY POLE
- WM WATER METER
- WV WATER VALVE
- WF WOOD FENCE
- WDP WROUGHT IRON FENCE
- SD STORM DRAIN
- SS SANITARY SEWER

LEGEND:

- WOODEN FENCE/WROUGHT IRON FENCE
- 3" GAL. FENCE
- CHAIN LINK FENCE
- CENTURLINE ROAD
- EASEMENT LINE
- WALL
- PROPERTY LINE



BENCH MARK:
 B.M. NO. 07-992 NOV 1929 CITY OF LOS ANGELES DATUM
 FOUND LIST @ ANGLE POINT @ NW COR CONC DRAIN LEFT NW PARSEVEN PL & 42 FT NW
 CL CHISELED RD
 ELEVATION = 87.109 FEET (ADJUSTMENT OF 1992)
 SCALE: 1/8" = 1' PER 1-PRO-422-4155



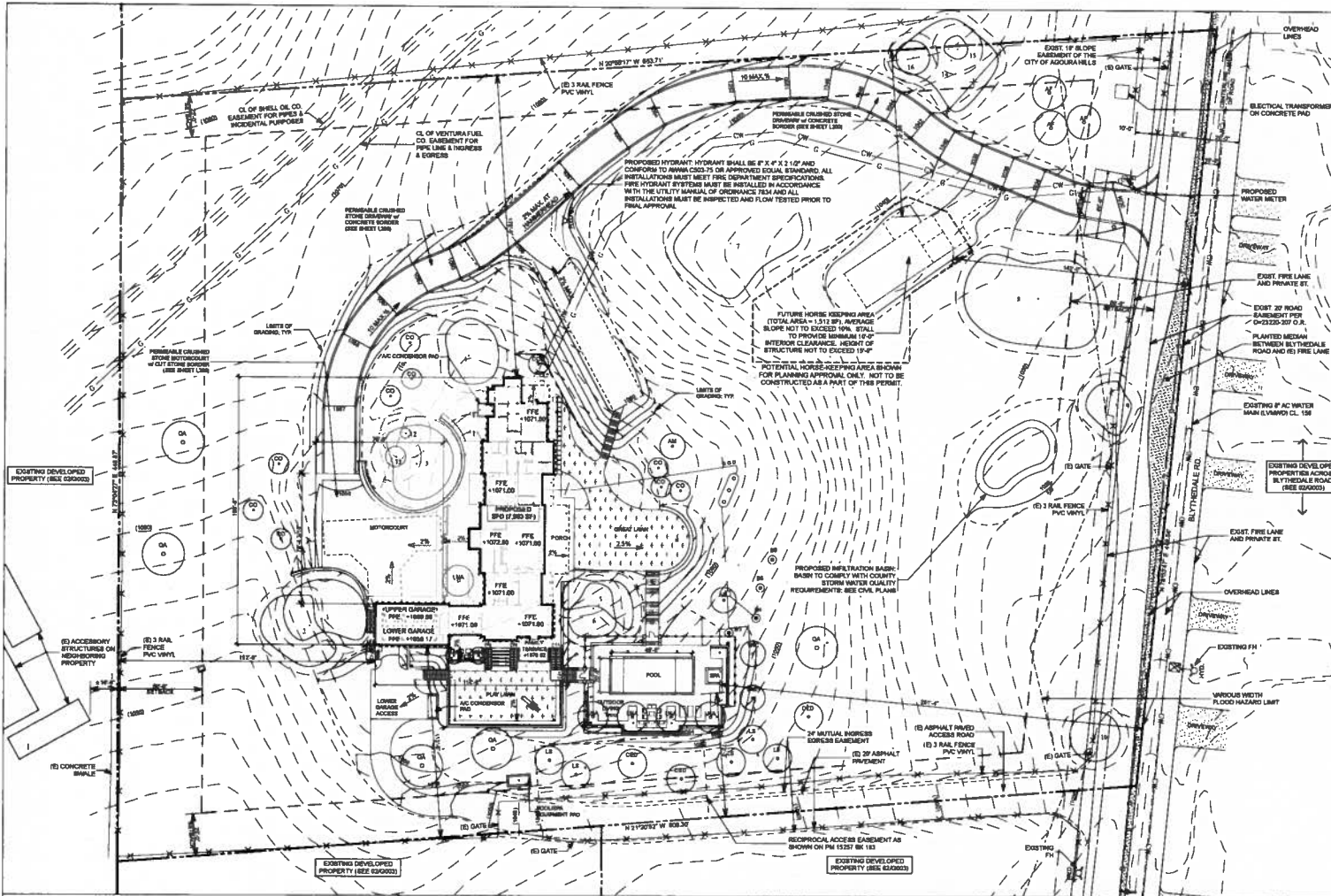
PREPARED BY:
Chris Nelson & Associates, Inc.
 PROFESSIONAL LAND SURVEYORS
 31235 Via Camino Real, #400 Westminster, CA 91295
 Phone: 916.861.1040 Fax: 916.861.0514

PREPARED FOR:
MARISA SHEFFIELD
 CO WA DESIGN
 217 20TH STREET
 MANHATTAN BEACH, CALIFORNIA 90266

TOPOGRAPHIC SITE SURVEY
 PARCEL 3, PARCEL MAP 183 87-88
 A.P.N. 2055-001-038
 23901 BLYTHEDALE RD.
 AGOURA HILLS, CALIFORNIA 91301

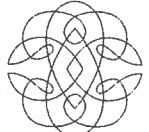
JOB NO. 15-3592
 SCALE: 1" = 30'
 DATE: JANUARY 2016

SHEET NO.
G001



PROJECT SUMMARY

PROJECT ADDRESS:	27801 BLYTHEDALE ROAD AGOURA HILLS CA 91301
ZONE:	OS-R-OA-EO R3, U
OCCUPANCY:	TYPE V-8 (SPRINKLERED)
CONSTRUCTION TYPE:	2 STORES + BASEMENT
NUMBER OF STORES:	2 STORES + BASEMENT
APPLICABLE CODES:	2013 CBC 2013 CFC 2013 CMC 2013 CEC 2013 CA ENERGY CODE 2013 COBCC
APN:	2055-001-038
LEGAL DESCRIPTION:	COUNTY OF LOS ANGELES PARCEL MAP BOOK 183 PAGE 87 AND 88 PARCEL MAP NO. 18287 PARCELS 3
MAXIMUM FLOOR AREA:	8,472 SF
PROPOSED FLOOR AREA:	8,113 SF
MAIN STRUCTURE SETBACKS:	FRONT YARD: 30 FT SIDE YARD: 30 FT REAR YARD: 60 FT
ALLOWABLE BUILDING HEIGHT:	30'
PROPOSED BUILDING HEIGHT:	31.0'
PROJECT DESCRIPTION:	NEW SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE EXTERIOR SITE IMPROVEMENTS INCLUDING SWAMPING POOL AND SPA (UNDER SEPARATE PERMIT)
PARKING SPACES REQUIRED:	2 (COVERED, IN GARAGE)
PARKING SPACES PROVIDED:	3 (COVERED, IN GARAGE)
LOT SIZE:	6.45 ACRES (280,987 SF)
LOT COVERAGE SUMMARY (SEE CALC BELOW LEFT):	
HOUSE AND COVERED PORCHES ONLY:	AREA: 8,098 SF PERCENTAGE: 2.58%
HOUSE PLUS DRIVEWAYS, UTILITY PADS & RETAINING WALLS:	AREA: 18,137 SF PERCENTAGE: 6.81%
TOTAL ALLOWED:	PERCENTAGE: 10.20%



EVERS ARCHITECTS
a AIA Design Company

400 S. Vermont Ave., Los Angeles, CA 90004
310.461.1400, Fax 310.461.1400
eversarch.com

PROJECT
15105

SHEFFIELD RESIDENCE

27901 BLYTHEDALE ROAD
AGOURA HILLS, CA 91301
APN: 2055-001-038

REVISION
06/10/18 Conditional Use Permit Application
10/4/2018 Revised CUP Application
05/18/21 CUP Permit Submittal

PROJECT CONTACTS

OWNER:	MARISA & CHARNEY SHEPHERD 217 20th STREET MANHATTAN BEACH, CA 90266
ARCHITECT:	KAA DESIGN GROUP 4201 REINOLDO AVENUE LOS ANGELES, CA 90008 T: (310) 821-1800 F: (310) 821-1440 CONTACT: JOHN MARCOULOS
PLANNING CONSULTANT:	SGC PLANNERS 818 S. FREMONT AVENUE, STE C ALHAMBRA, CA 91803 T: (310) 581-5488 F: (626) 788-6012 CONTACT: MATTHEW JEWETT

STAMP

LOT COVERAGE CALCULATIONS

TOTAL LOT AREA:	280,987 SF	
IMPERVIOUS AREAS INCLUDED IN LOT COVERAGE (EXCLUDING COVERED PORCHES)	8,098 SF	2.89%
HOUSE INCLUDING COVERED PORCHES	8,098 SF	2.89%
HOUSE PLUS DRIVEWAYS, UTILITY PADS, RETAINING WALLS, ETC.	18,137 SF	6.81%
TOTAL AREA INCLUDED IN LOT COVERAGE	26,235 SF	9.34%
ALLOWABLE LOT COVERAGE	26,235 SF	9.34%
PER OPEN SPACE FROM DADS	18,938 SF	6.74%
PROPOSED LOT COVERAGE:	18,137 SF	6.81%

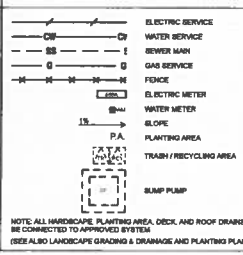
EXISTING TREES

1	Quercus agrifolia
2	Quercus agrifolia
3	Quercus agrifolia
4	Quercus agrifolia
5	Quercus agrifolia
6	Quercus agrifolia
7	Quercus agrifolia
8	Quercus agrifolia
9	Quercus agrifolia
10	Quercus agrifolia
11	Quercus agrifolia
12	Quercus agrifolia
13	Quercus agrifolia
14	Quercus agrifolia
15	Quercus agrifolia
16	Quercus agrifolia

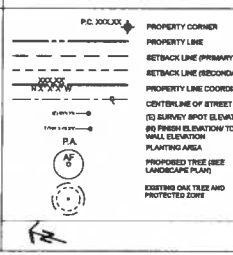
VICINITY MAP



SITE PLAN UTILITIES



SITE PLAN LEGEND

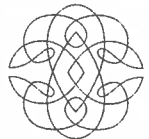


SITE PLAN

SCALE
1" = 30'-0"

G002

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**EVENS
ARCHITECTS**
a KAA Design company
4391 Sutherland Avenue, Los Angeles, CA 90008
310 411 1488 Fax: 310 412 1410
evensarch.com

PROJECT

15105

**SHEFFIELD
RESIDENCE**

27901 BLYTHEDALE ROAD
AGOURA HILLS, CA 91301
APN: 2055-001-038

REVISION

88012818 Conditional Use Permit Application
19142914 Revised CUP Application
83162917 CUP Final Issuance

STAMP

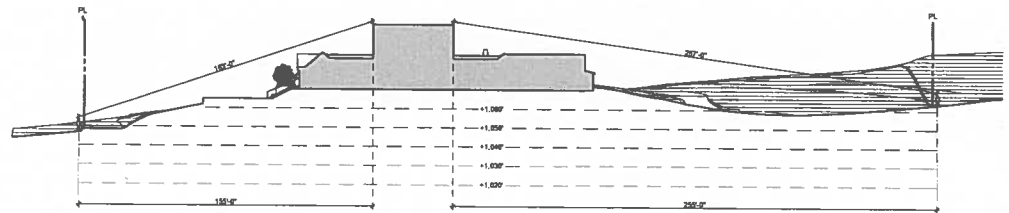
SITE DIAGRAMS

SCALE
as noted

G003

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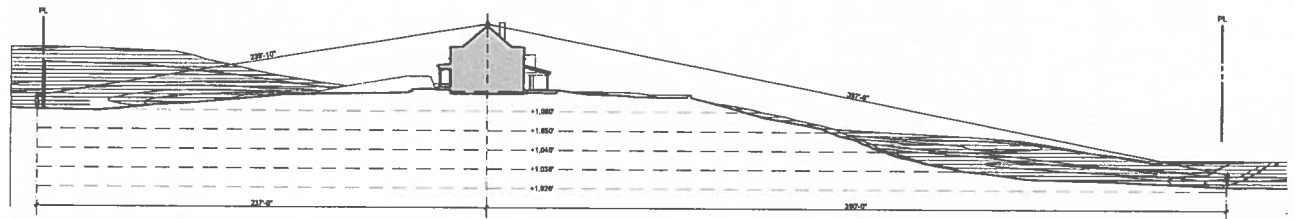
Army Spectra Inc. 3/11/17



LINE OF SIGHT SECTION B

SCALE: 1" = 30'

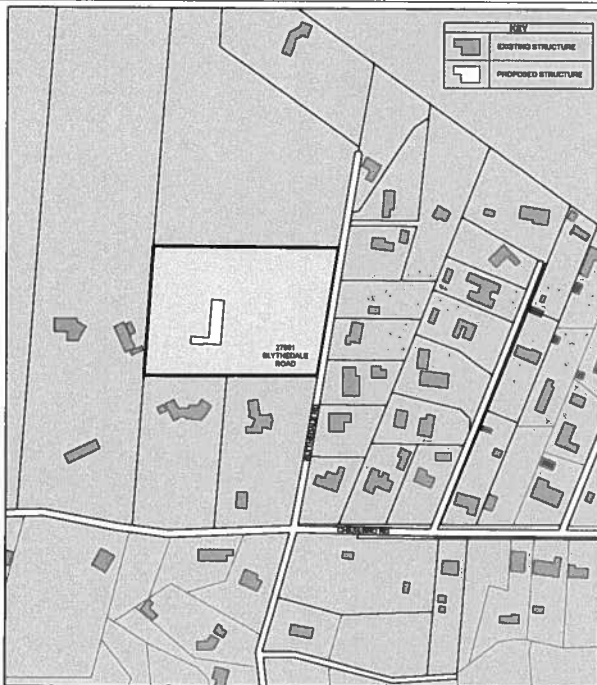
B



LINE OF SIGHT SECTION A

SCALE: 1" = 30'

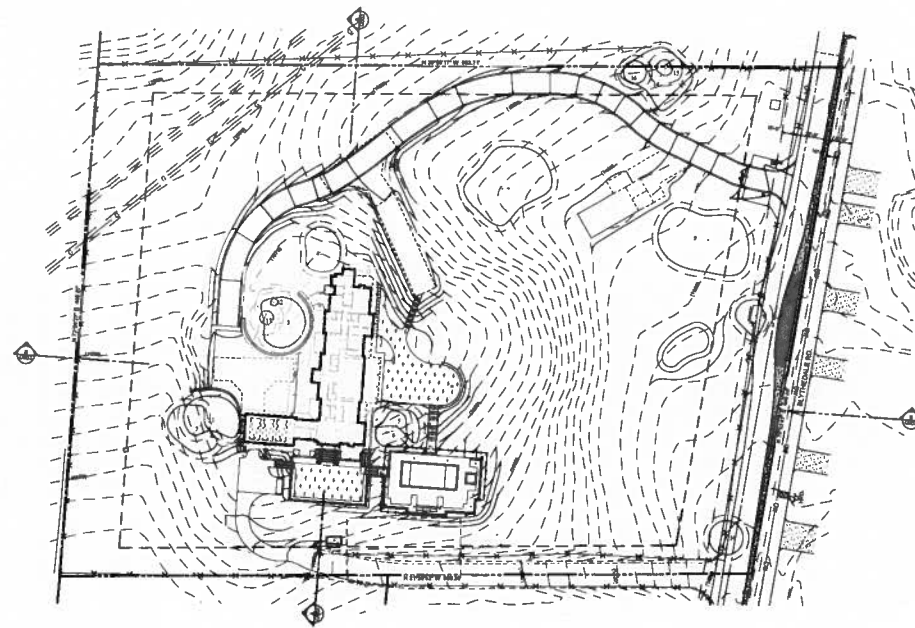
A



NEIGHBORHOOD DEVELOPMENT MAP

SCALE: 1" = 200'

02



LINE-OF-SITE REFERENCE PLAN

SCALE: 1" = 50'

01

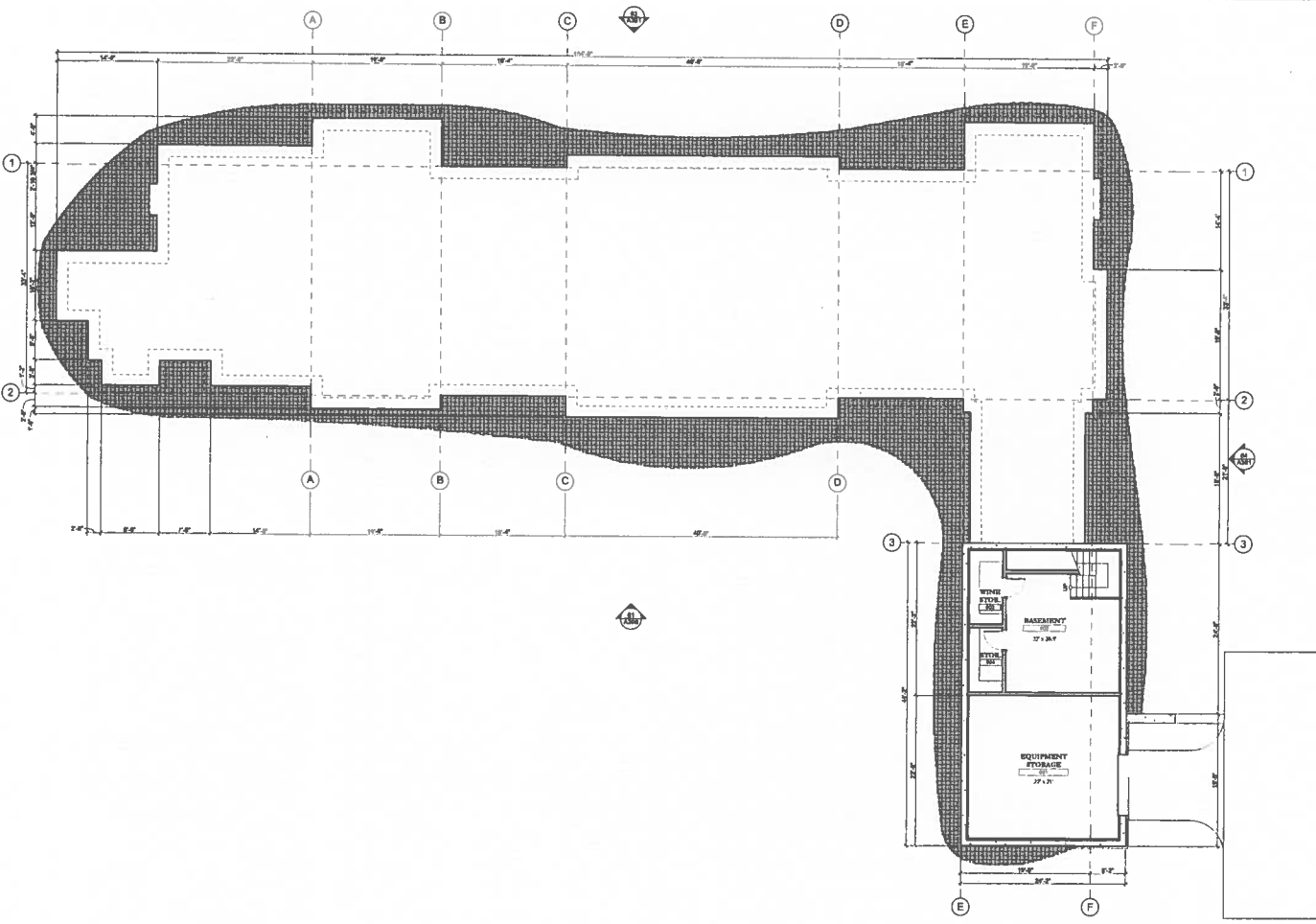
PROJECT
15105

SHEFFIELD RESIDENCE
 27901 BLYTHEDALE ROAD
 AGOURA HILLS, CA 91301
 APN: 2055-001-038

REVISION
 10/17/2018 Corrected the Form Application
 10/17/2018 Revised CIP Annotations

STAMP

DOOR SCHEDULE		
LOCATION	DOOR NO.	LEAF DIMENSIONS
BASEMENT		
	801	2'-0" x 7'-0"
	802	2'-0" x 7'-0"
	803	2'-0" x 7'-0"
FIRST FLOOR		
	101	2'-0" x 7'-0"
	102	2'-0" x 7'-0"
	103	2'-0" x 7'-0"
	104	2'-0" x 7'-0"
	105	2'-0" x 7'-0"
	106	2'-0" x 7'-0"
	107	2'-0" x 7'-0"
	108	2'-0" x 7'-0"
	109	2'-0" x 7'-0"
	110	2'-0" x 7'-0"
	111	2'-0" x 7'-0"
	112	2'-0" x 7'-0"
	113	2'-0" x 7'-0"
	114	2'-0" x 7'-0"
	115	2'-0" x 7'-0"
	116	2'-0" x 7'-0"
	117	2'-0" x 7'-0"
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	151	2'-0" x 7'-0"
	152	2'-0" x 7'-0"
	153	2'-0" x 7'-0"
	154	2'-0" x 7'-0"
	155	2'-0" x 7'-0"
	156	2'-0" x 7'-0"
	157	2'-0" x 7'-0"
	158	2'-0" x 7'-0"
SECOND FLOOR		
	201	2'-0" x 7'-0"
	202	2'-0" x 7'-0"
	203	2'-0" x 7'-0"
	204	2'-0" x 7'-0"
	205	2'-0" x 7'-0"
	206	2'-0" x 7'-0"



FLOOR PLAN NOTES

LEGEND

- PROPERTY CORNER
- PROPERTY LINE
- BETRACK LINE
- LINE OF OBJECT ABOVE
- LINE OF OBJECT BELOW
- CENTERLINE
- STRUCTURAL GRIDLINE
- WALL TYPE
- SLOPE
- PLANTING AREA
- FLOOR ELEVATIONS
- ELEVATION TRANSITION
- MATERIAL TRANSITION

SCALE
 1/8" = 1'-0"

A100

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Jeremy Spalderson jspald@kagroup.com

OVERALL BASEMENT PLAN

SCALE
 1/8" = 1'-0"

A100

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Jeremy Spalderson jspald@kagroup.com

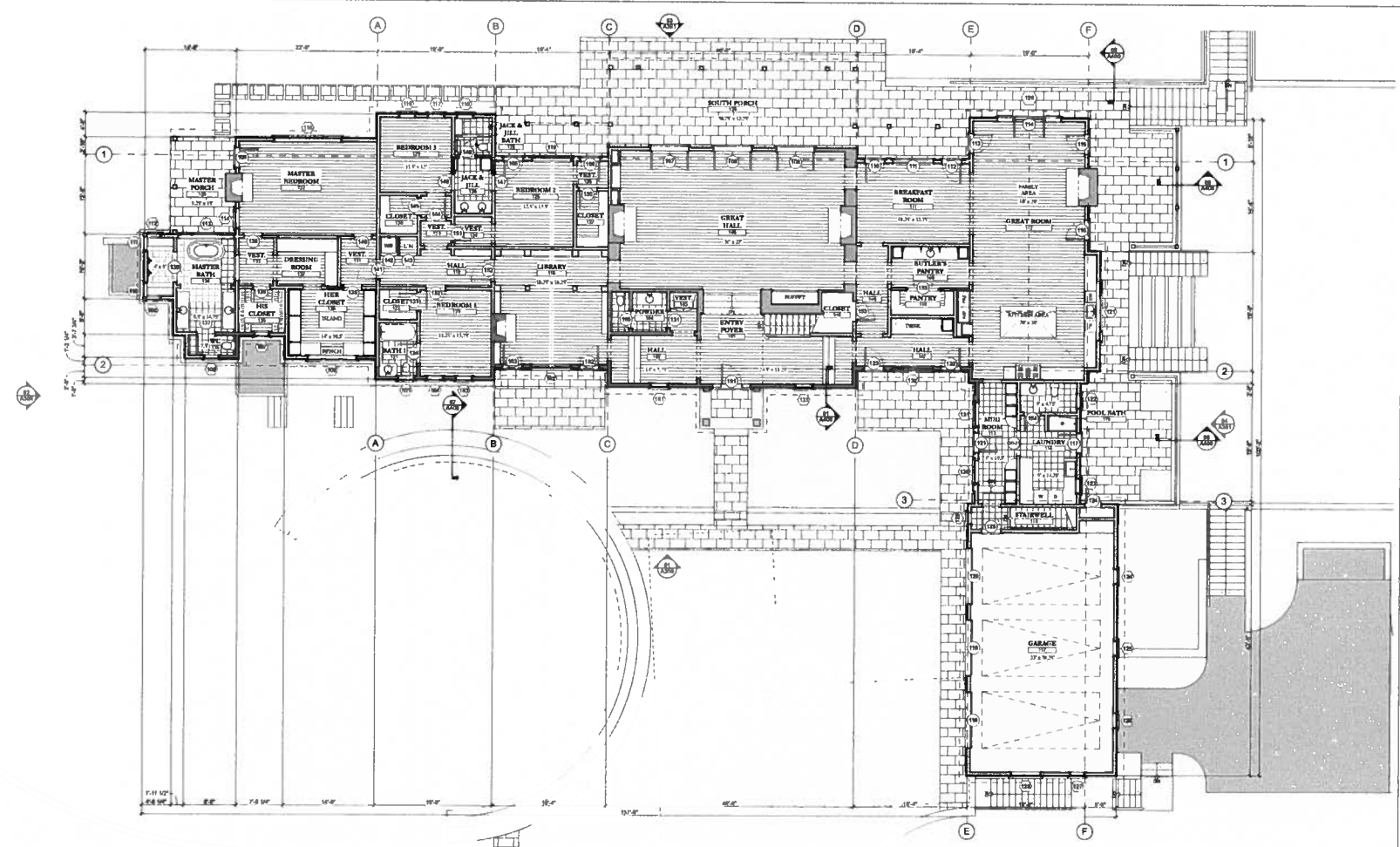
PROJECT
15105

SHEFFIELD RESIDENCE
 27901 BLYTHEDALE ROAD
 AGOURA HILLS, CA 91301
 APN: 2055-011-018

REVISION
 12/15/2014 Construction of the First Floor
 12/14/2014 Initial P&R Revision

STAMP

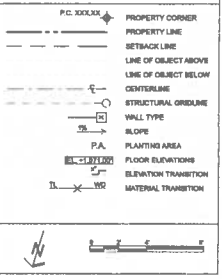
DOOR SCHEDULE		
LOCATION	DOOR NO.	LEAF DIMENSIONS
BASEMENT		
	801	3'-0" x 7'-0"
	802	3'-0" x 7'-0"
	803	3'-0" x 7'-0"
FIRST FLOOR		
	101	3'-0" x 7'-0"
	102	3'-0" x 7'-0"
	103	3'-0" x 7'-0"
	104	3'-0" x 7'-0"
	105	3'-0" x 7'-0"
	106	3'-0" x 7'-0"
	107	3'-0" x 7'-0"
	108	3'-0" x 7'-0"
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	112	3'-0" x 7'-0"
	113	3'-0" x 7'-0"
	114	3'-0" x 7'-0"
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	157	3'-0" x 7'-0"
	158	3'-0" x 7'-0"
	159	3'-0" x 7'-0"
	160	3'-0" x 7'-0"
SECOND FLOOR		
	201	3'-0" x 7'-0"
	202	3'-0" x 7'-0"
	203	3'-0" x 7'-0"
	204	3'-0" x 7'-0"
	205	3'-0" x 7'-0"
	206	3'-0" x 7'-0"



FLOOR PLAN NOTES

1. ALL EXTERIOR MATERIALS USED FOR EAVES, SIDINGS, PORCH, PATIO, DECKS, CANOPIES, CARPORT AND UTILITY ROOM SHALL BE STRUCTURAL STEEL MEET THE VERY HIGH FIRE HAZARD SEVERITY POINT CRITERIA AS OUTLINED IN CHAPTER 7 OF ARTICLE 18B IN THE AGOURA HILLS MUNICIPAL CODE.
2. PROVIDE A 7% SLOPE AWAY FROM THE STRUCTURE FOR DRAINAGE FOR THE FIRST 3 FEET ALL AROUND THE NEW STRUKTURES.
3. ALL NEW OR RE-PLACED WINDOWS MUST BE TEMPERED OR AT LEAST ONE SIDE OF THE DOUBLE OR A JOHNSON'S RATED WINDOW OR GLASS BLOCKS PER SECTION 704.3.2.2 OF THE 2013 CALIFORNIA BUILDING CODE.
4. THIS PROJECT SHALL BE SUBJECT TO THE 2013 CALIFORNIA BUILDING, MECHANICAL, PLUMBING, ELECTRICAL, FIRE, GREEN BUILDING CODES AND AGOURA HILLS MUNICIPAL CODE. IF SUBMITTING AFTER JANUARY 1, 2017, THEY WILL BE REVIEWED UNDER 2016 CALIFORNIA BUILDING CODES WITH ANY LOCAL AMENDMENTS.
5. PER AGOURA HILLS ONLY FIRE PLACES SHALL BE GAS OR GAS LOGS (GAS LOGS MAY BE INSTALLED IN A NEW FIREPLACE). PERMANENTLY INSTALLED INDOOR OR OUTDOOR WOOD BURNING FIRE PLACES OR STOVES ARE NOT PERMITTED.
6. FIRE SMOKEPROOFERS FOR ALL NEW STRUCTURES WILL BE REQUIRED PER AGOURA HILLS MUNICIPAL CODE 702.2 INCLUDING THE PROPOSED UTILITY PORCH STALL AND STORAGE.
7. A SOIL REPORT IS REQUIRED TO BE SUBMITTED FOR THIS PROJECT.
8. ALL EXTERIOR SETBACKS SHALL BE MET PER AGOURA HILLS MUNICIPAL CODE 1805.3.3.
9. HANDRAILS WILL BE REQUIRED FOR EXTERIOR STAIRS WITH ONE AS OR MORE RISERS PER 2013 CALIFORNIA BUILDING CODE SECTION 311.2.8.
10. BUILT IN BBQ'S SHALL BE 3 FEET AWAY FROM ANY COMBUSTIBLE MATERIALS UNLESS THE MATERIAL IS NON-COMBUSTIBLE OR AN APPROVED LISTED HOOD IS PROVIDED.
11. POOL FENCING SHALL BE PROVIDED. IF UTILIZING THE PERIMETER FENCING FOR THIS PURPOSE, THE FENCING MUST MEET THE POOL FENCING REQUIREMENTS FOR THE HEIGHT, LATCH AND SWING OF DOOR, ETC.

LEGEND



OVERALL FIRST FLOOR PLAN

SCALE
 1/8" = 1'-0"

A101

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 Jeremy Spinkman prepared 10/15/14

PROJECT
15105

SHEFFIELD RESIDENCE
 27901 BLYTHEDALE ROAD
 AGOURA HILLS, CA 91301
 APN: 2055-001-038

REVISION
 07/21/2014 - Consultant's Approval
 07/11/2014 - Engineer's Approval

STAMP

OVERALL SECOND FLOOR PLAN

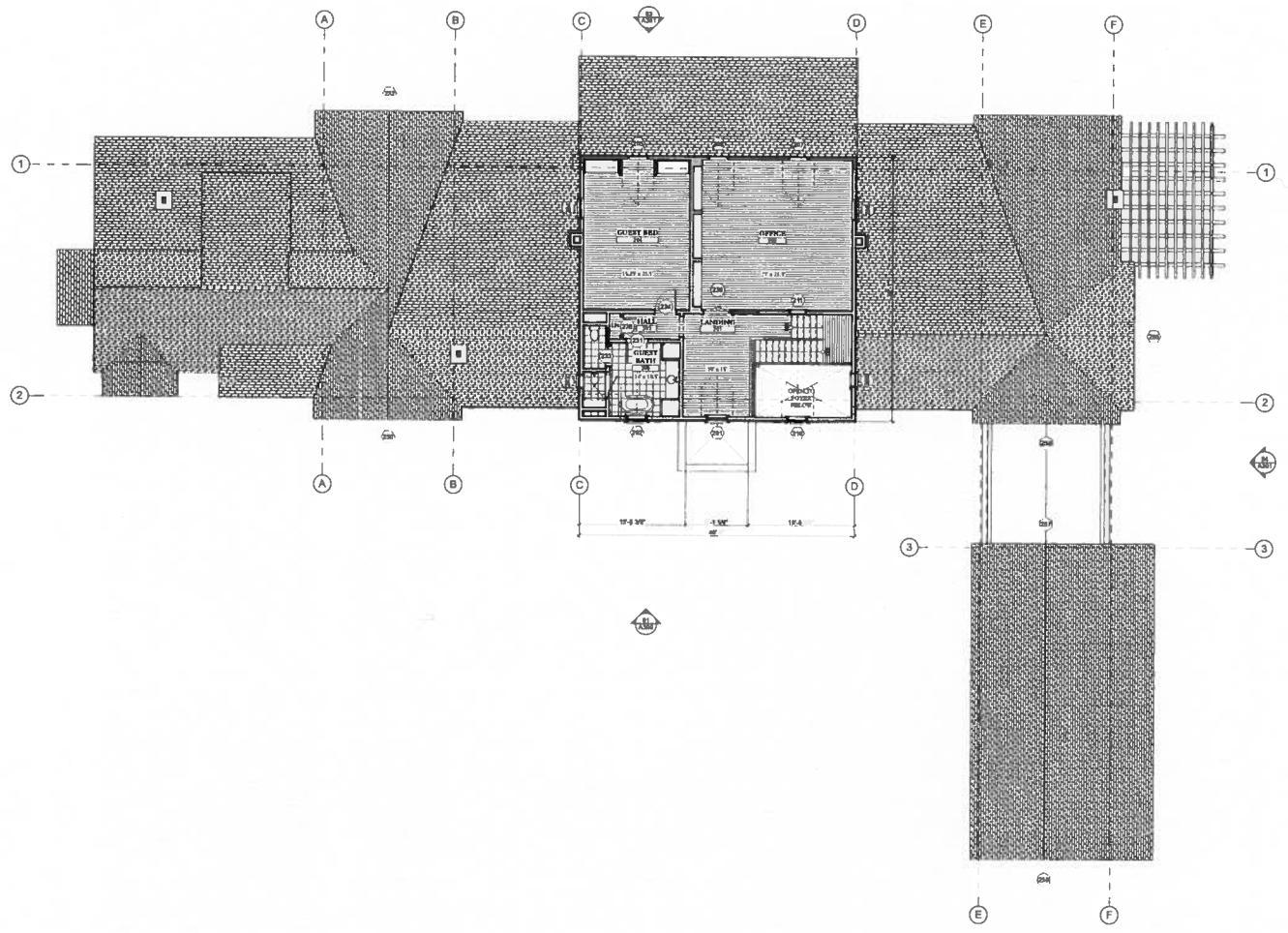
SCALE
 1/8" = 1'-0"

A102

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January 2014
 printed 10/13/14

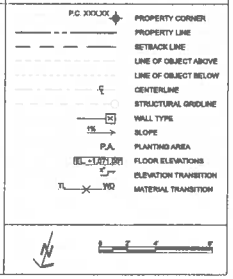
DOOR SCHEDULE		
LOCATION	DOOR NO.	LEAF DIMENSIONS
MARSHMENT		
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	802	2'-0" x 7'-0"
	803	2'-0" x 7'-0"
FIRST FLOOR		
	101	2'-0" x 7'-0"
	102	2'-0" x 7'-0"
	103	2'-0" x 7'-0"
	104	2'-0" x 7'-0"
	105	2'-0" x 7'-0"
	106	2'-0" x 7'-0"
	107	2'-0" x 7'-0"
	108	2'-0" x 7'-0"
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	157	2'-0" x 7'-0"
	158	2'-0" x 7'-0"
	159	2'-0" x 7'-0"
	160	2'-0" x 7'-0"
SECOND FLOOR		
	201	2'-0" x 7'-0"
	202	2'-0" x 7'-0"
	203	2'-0" x 7'-0"
	204	2'-0" x 7'-0"
	205	2'-0" x 7'-0"
	206	2'-0" x 7'-0"



FLOOR PLAN NOTES

1. ALL EXTERIOR MATERIALS USED FOR FAVES, SIDINGS, PORCH, PATIO, DECKS, CANOPES, CARPORT AND OTHER SIMILAR STRUCTURES SHALL BEFT THE VERY HIGH FIRE HAZARD SEVERITY ZONE (VHT) AS OUTLINED IN CHAPTER 7 OF ARTICLE 18.08 IN THE AGOURA HILLS MUNICIPAL CODE.
2. PROVIDE A 2% SLOPE AWAY FROM THE STRUCTURE FOR DRAINAGE (ON THE FIRST FLOOR) ALL AROUND THE NEW STRUCTURE.
3. ALL NEW OR REPLACED WINDOWS MUST BE THUNDER ON AT LEAST ONE SIDE OR 1 1/4" DUAL PANE, FOR A 20 MINUTE RATED WINDOW OR GLASS BLOCKS PER SECTION 704.3.2.2 OF THE 2013 CALIFORNIA BUILDING CODE.
4. THIS PROJECT SHALL BE SUBJECT TO THE 2013 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING, ELECTRICAL (N.E.R.) GREEN BUILDING CODE'S AND AGOURA HILLS MUNICIPAL CODE. IF SUBMITTING AFTER JANUARY 1, 2017, THEY WILL BE REVIEWED UNDER THE 2014 CALIFORNIA BUILDING CODE'S WITH ANY LOCAL AMENDMENTS.
5. PER ADOPTED 1.4% ONE HOUR RATED FUELED BY GAS (OR GAS GAS) MAY BE INSTALLED IN A NEW RESIDENTIAL FIRE RATED PARTITION INSTALLED INDOOR OR OUTDOOR WOOD BURNING APPLIANCE USE SYSTEMS ARE NOT PERMITTED.
6. FIRE SPRINKLERS FOR ALL NEW STRUCTURES WILL BE REQUIRED PER AGOURA HILLS MUNICIPAL CODE 703.2 INCLUDING THE PROPOSED FUTURE HORSE STALL AND STORAGE.
7. A SOLE REPORT IS REQUIRED TO BE SUBMITTED FOR THIS PROJECT.
8. WELDED SH TRACCS SHALL BE MET PER AGOURA HILLS MUNICIPAL CODE 1609.3.7.
9. HANDRAILS WILL BE REQUIRED FOR EXTERIOR STAIRS WITH FOUR (4) OR MORE RISERS PER 2013 CALIFORNIA BUILDING CODE SECTION 311.2.7.
10. BUILT-IN BOOKS SHALL BE 3/16" AWAY FROM ANY COMBUSTIBLE MATERIALS UNLESS THE MATERIAL ABOVE IS NON-COMBUSTIBLE OR AN APPROVED LISTED HOOD IS PROVIDED.
11. POOL FENCING SHALL BE PROVIDED. IF UTILIZING THE PERMITTED FENCING FOR THIS PURPOSE, THE FENCING SHALL MEET THE FENCING REQUIREMENTS FOR THE FENCE TYPE, GATE AND SWING OF DOOR, ETC.

LEGEND

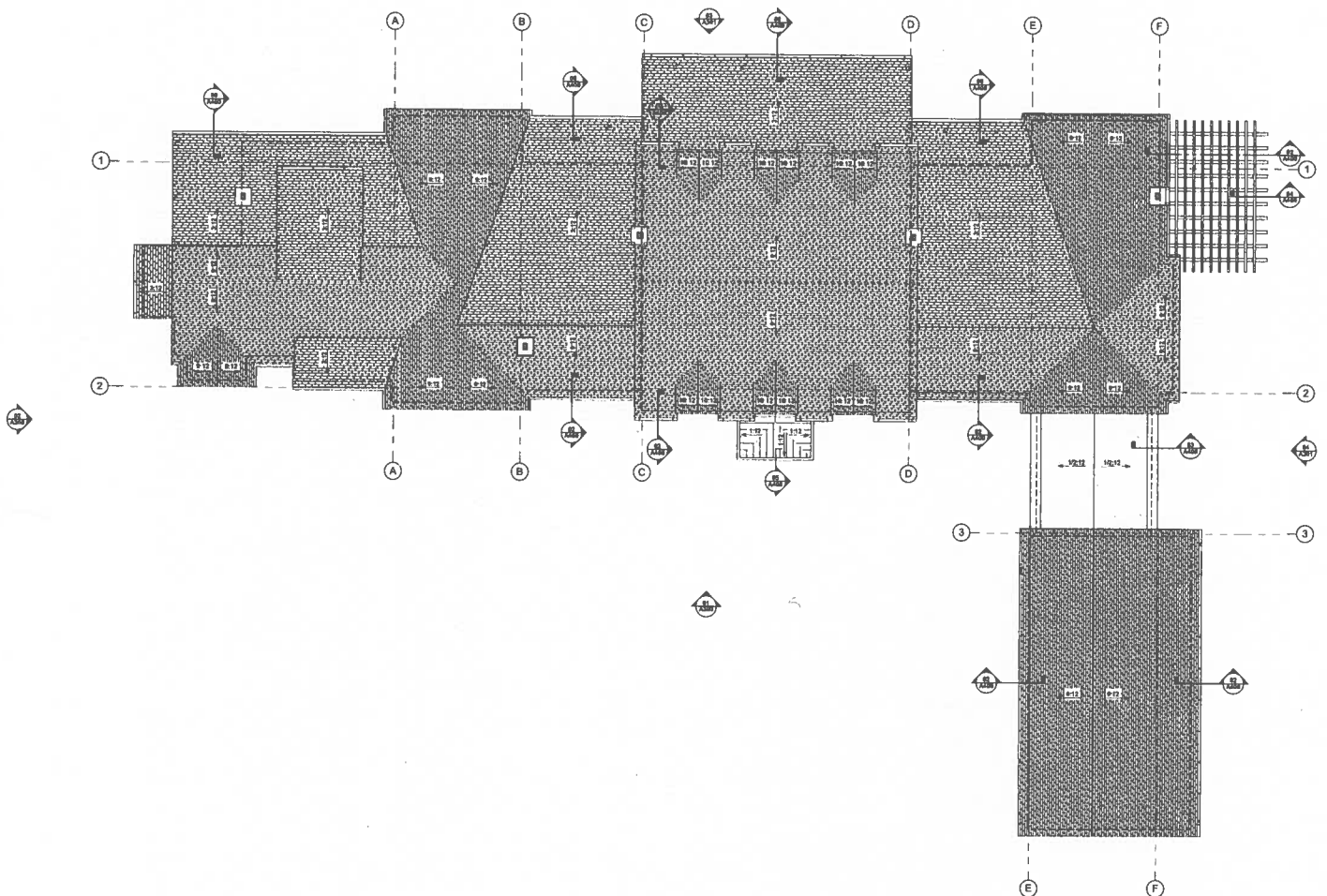


PROJECT
15105












SHEFFIELD RESIDENCE
 27901 BLYTHEDALE ROAD
 AGOURA HILLS, CA 91301
 APN: 2055-001-038

REVISION
 PC151051A - Correct over the Form & Application
 10/14/2014 - Revised C.P.P. Approval

STAMP



ROOF PLAN SYMBOLS

- PC XXXXX  PROPERTY CORNER
-  SETBACK LINE
-  LINE OF OBJECT ABOVE
-  LINE OF OBJECT BELOW
-  CENTERLINE
-  STRUCTURAL GRIDLINE
-  SLOPE TO DRAIN 1/4" PER FOOT MIN.
-  FINISHED ELEVATION
-  MATERIAL CALLOUT
-  MATERIAL TRANSITION
-  ROOF DRAIN WITH OVERFLOW DRAIN



OVERALL ROOF PLAN

SCALE
 1/8" = 1'-0"

A103

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KAA DESIGN

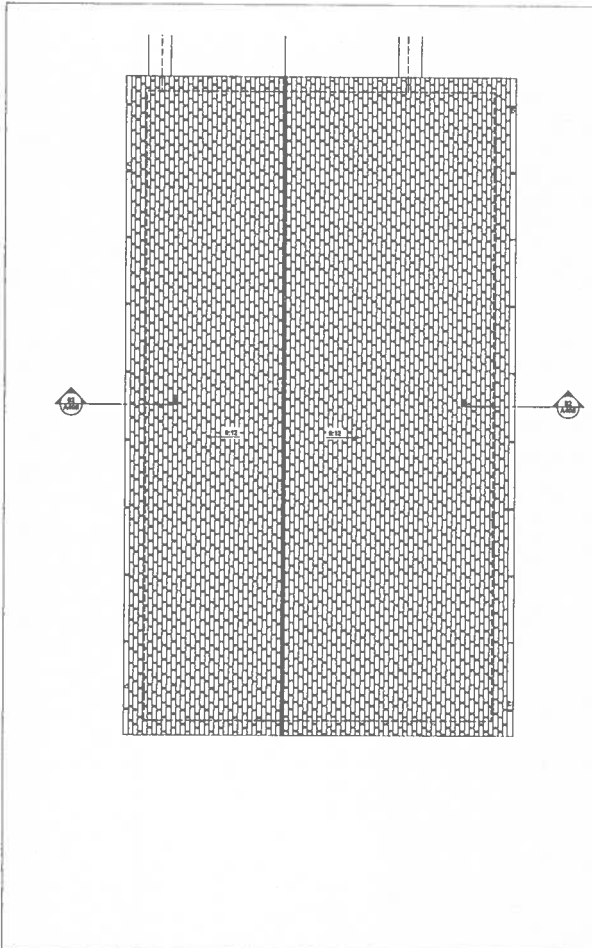
4271 Redwood Avenue, Los Angeles, CA 90044
310.571.1418 Fax: 310.571.8214
kaa@kagroup.com

PROJECT
15105

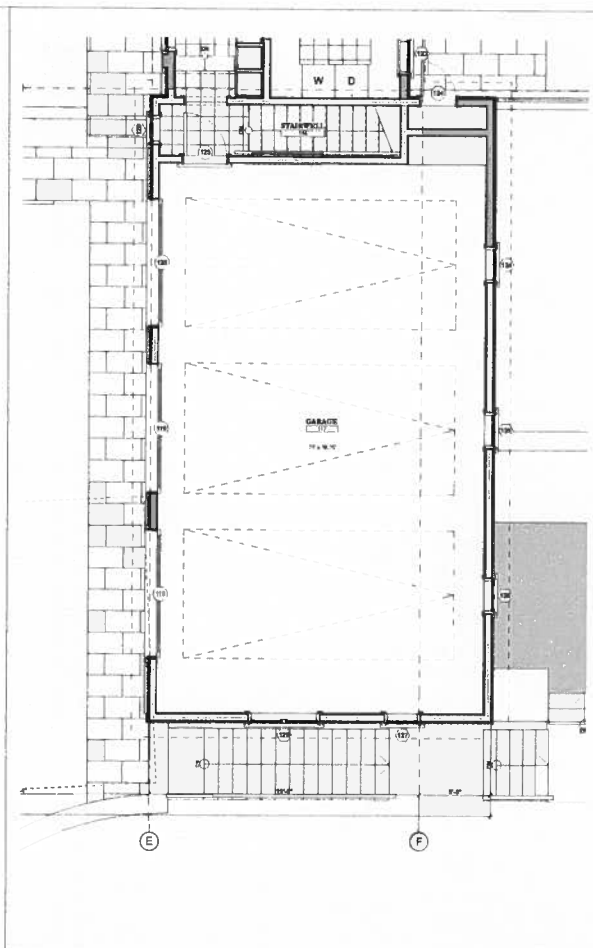
SHEFFIELD RESIDENCE
27901 BLYTHEDALE ROAD
AGOURA HILLS, CA 91301
APN: 2055-001-038

REVISION
NO. 1
DATE 11/11/11
BY J.P.P.

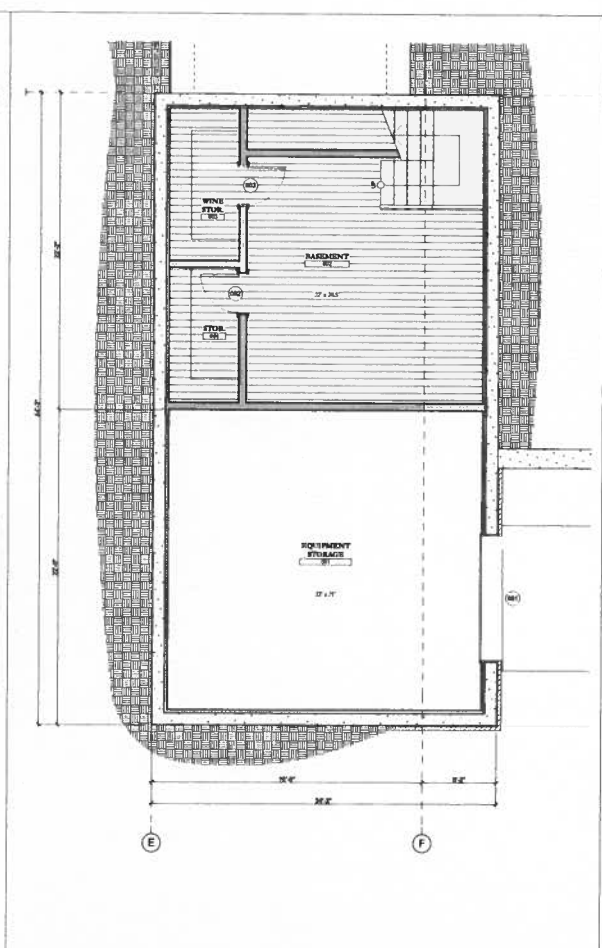
STAMP



ENLARGED ROOF PLAN SCALE: 1/4" = 1'-0" 03



ENLARGED FIRST FLOOR SCALE: 1/4" = 1'-0" 02



ENLARGED BASEMENT SCALE: 1/4" = 1'-0" 01

PLAN LEGEND

- PC 300/300 PROPERTY CORNER
- PROPERTY LINE
- SETBACK LINE
- - - - - LINE OF OBJECT ABOVE
- - - - - LINE OF OBJECT BELOW
- - - - - CENTERLINE
- - - - - STRUCTURAL GRIDLINE
- WALL TYPE
- SLOPE
- FLOOR ELEVATIONS
- ELEVATION TRANSITION

ENLARGED GARAGE WING PLANS

SCALE
1/4" = 1'-0"

A110

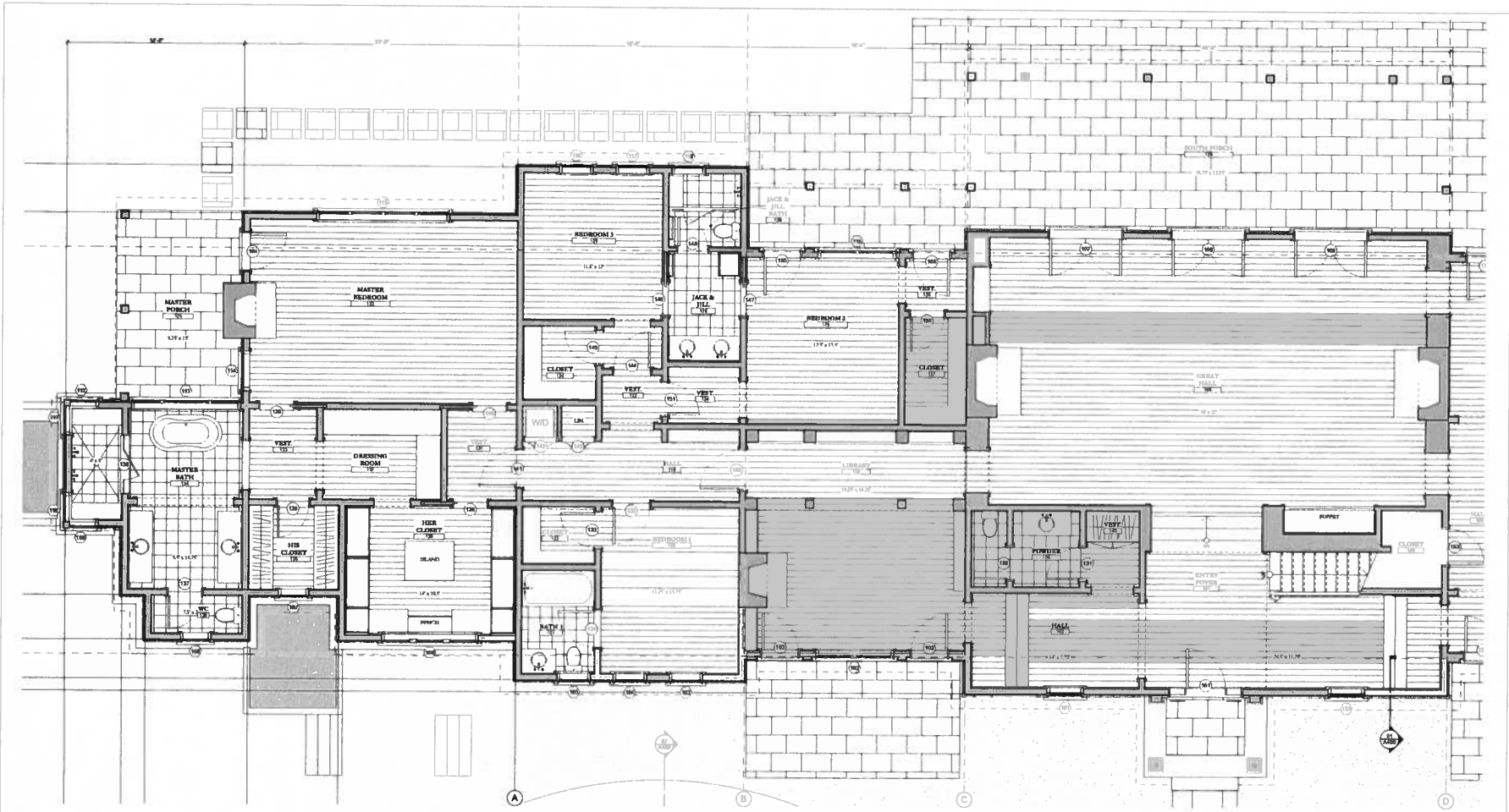
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Jeremy Spaldeman phoned 12/13/11

PROJECT
15105

SHEFFIELD RESIDENCE
 27901 BLYTHEDALE ROAD
 AGOURA HILLS, CA 91301
 APN: 2055-001-038

REVISION
 R03/07/11 - Client and User Permit Application
 10/12/11 - Revised CIP Application

STAMP



DIMENSIONING NOTES & LEGEND

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION OR INSTALLATION. CONFIRM BREAK WALL & OTHER STRUCTURAL REQUIREMENTS WITH STRUCTURAL ENGINEER'S DRAWINGS. SEE ALSO GENERAL NOTES.

- ALIGH → ALIGN FINISH FACE
- FINISH → DIMENSION TO FINISH FACE OF (S) WALLS / SURFACES
- FRAMING → DIMENSION TO FINISH FACE OF WALLS / SURFACES
- FRAMING → DIMENSION TO FRAMING (FACE OF STUD)

PLAN LEGEND

- PC X MARK → PROPERTY CORNER
- → PROPERTY LINE
- → SETBACK LINE
- → LINE OF OBJECT ABOVE
- → LINE OF OBJECT BELOW
- → CENTERLINE
- → STRUCTURAL GRIDLINE
- → WALL TYPE
- → SLOPE
- → FLOOR ELEVATIONS
- → ELEVATION TRANSITION



ENLARGED PARTIAL FIRST FLOOR PLAN

SCALE
 1/4" = 1'-0"

A112

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KAA DESIGN

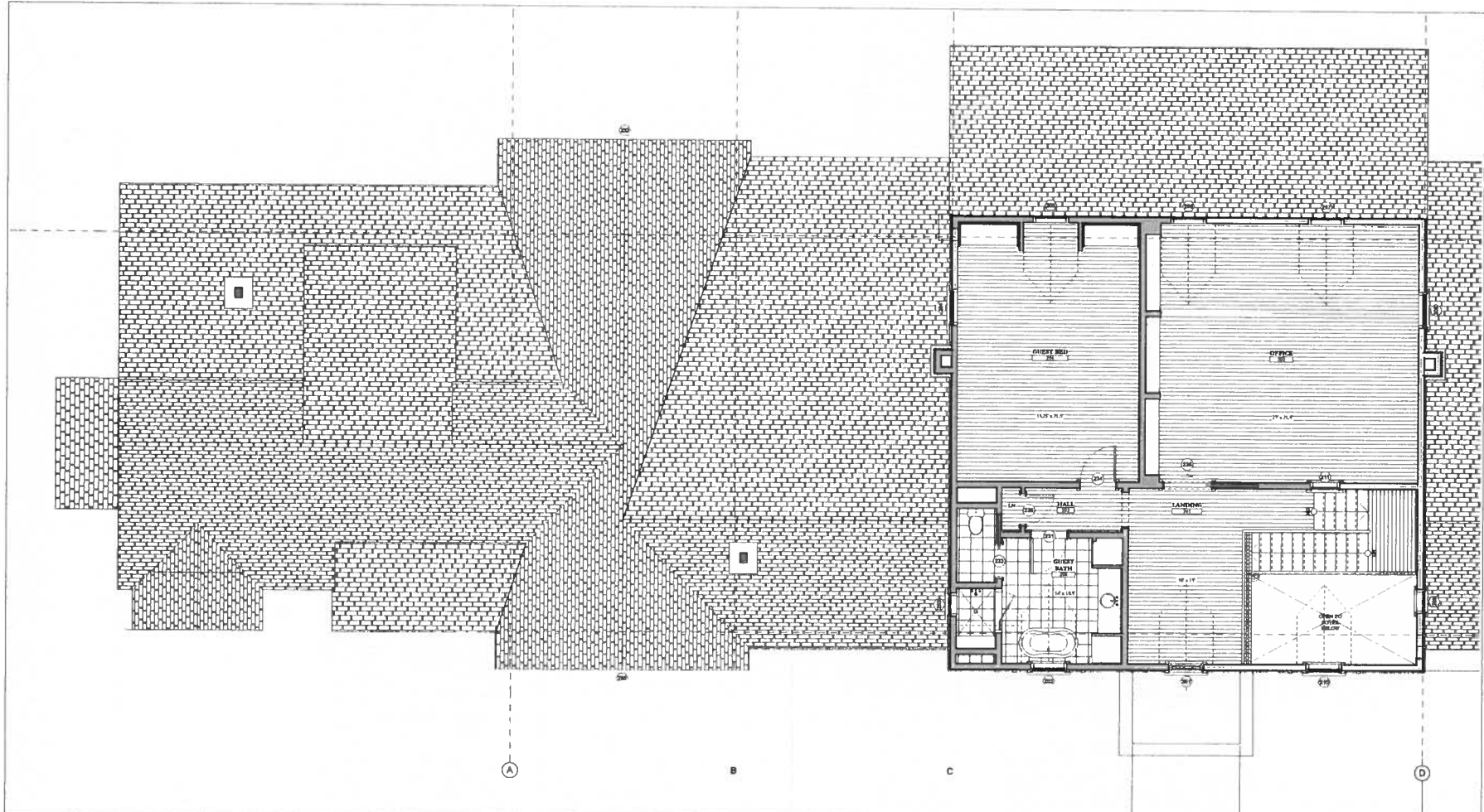
428 Industrial Avenue, Irvine, CA 92614
949.221.1400 Fax: 949.221.6440
kardesigngroup.com

PROJECT
15105

SHEFFIELD RESIDENCE
27901 BLYTHDALE ROAD
AGOURA HILLS, CA 91301
APN: 2055-001-038

REVISION
02/12/2014 Construction Use Permit Application
10/16/2014 Revised O.P. Approval

STAMP



PLAN LEGEND

- PC 300X30 PROPERTY CORNER
- PROPERTY LINE
- SETBACK LINE
- LINE OF OBJECT ABOVE
- LINE OF OBJECT BELOW
- CONTRILINE
- STRUCTURAL GRIDLINE
- WALL TYPE
- SLOPE
- FLOOR ELEVATIONS
- ELEVATION TRANSITION



ENLARGED SECOND FLOOR / PARTIAL ROOF PLAN

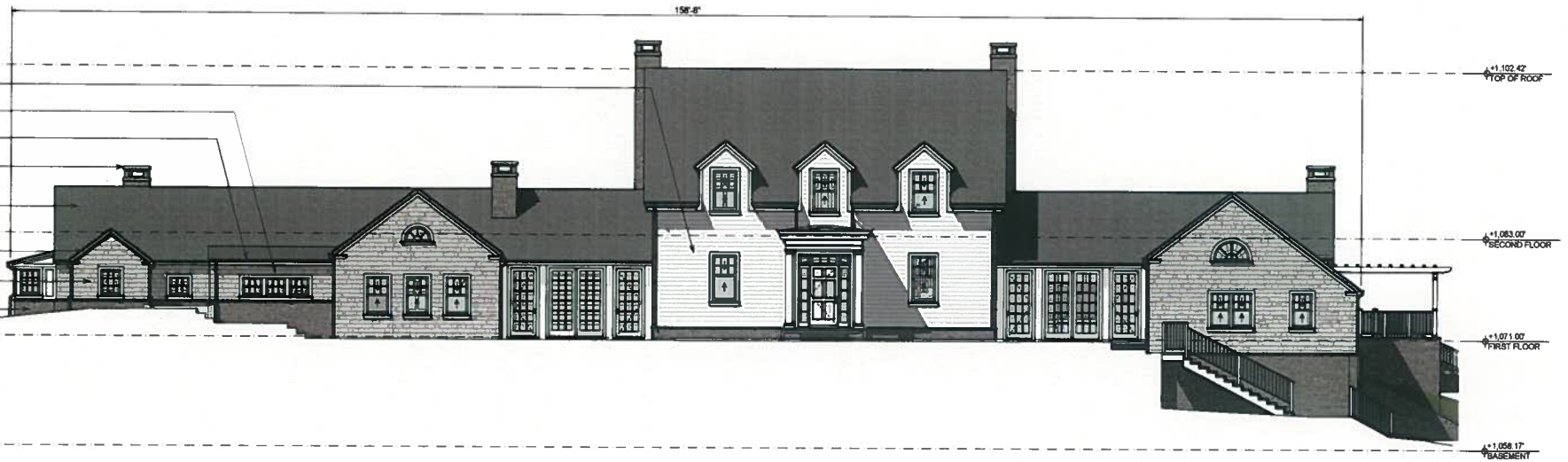
SCALE
1/4" = 1'-0"

A113

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January 2014 printed 1/21/14

- PAINTED LAPPED WOOD SIDING
(WHITE)
- PAINTED WOOD WINDOWS AND DOORS
(WHITE)
- COPPER GUTTERS AND DOWNSPOUTS
(COPPER)
- STONE RUBBLE VENEER CHIMNEY
(BUFF)
- SLATE OR ASPHALT
COMPOSITE SHINGLE
ROOF (GRAY)
- PAINTED WOOD EAVE
(WHITE)
- CEDAR SHINGLE SIDING
(WEATHERED GRAY)
- STONE RUBBLE VENEER
(BUFF)



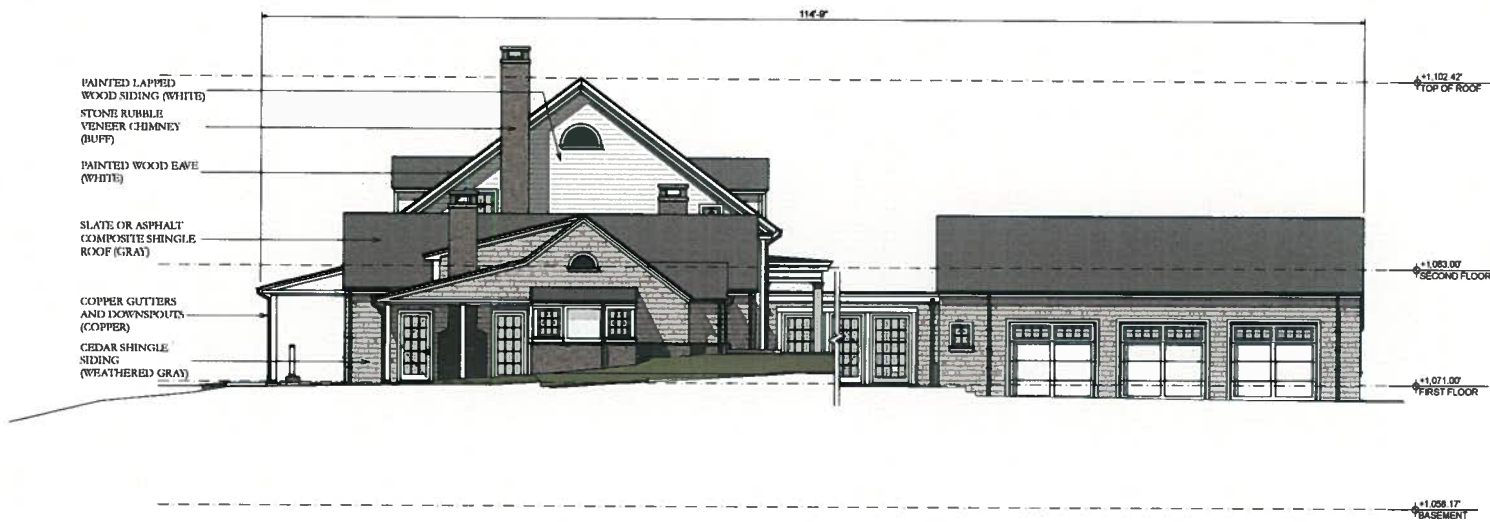
Sheffield Residence, Old Agoura

EVENS ARCHITECTS Conditional Use Permit Application



North Elevation

27901 Blythedale Road



Sheffield Residence, Old Agoura

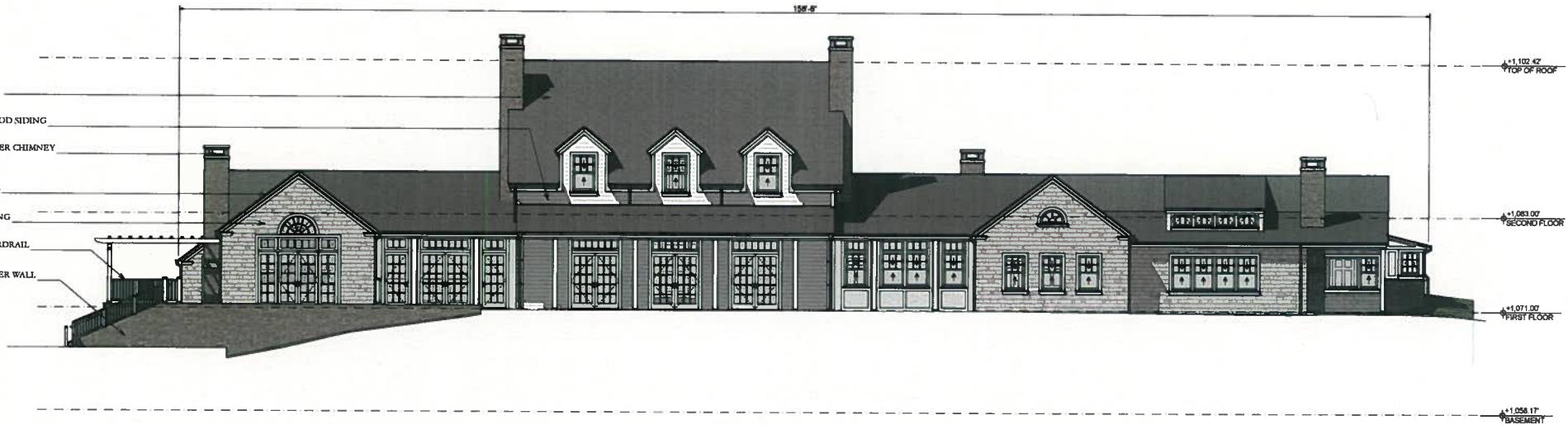
EVENS ARCHITECTS Conditional Use Permit Application



East Elevation

27901 Blythedale Road

- SLATE OR ASPHALT
COMPOSITE SHINGLE
ROOF (GRAY)
- PAINTED LAPPED WOOD SIDING
(WHITE)
- STONE RUBBLE VENEER CHIMNEY
(BUFF)
- PAINTED WOOD EAVE
(WHITE)
- CEDAR SHINGLE SIDING
(WEATHERED GRAY)
- PAINTED WOOD GUARDRAIL
(WHITE)
- STONE RUBBLE VENEER WALL
(BUFF)



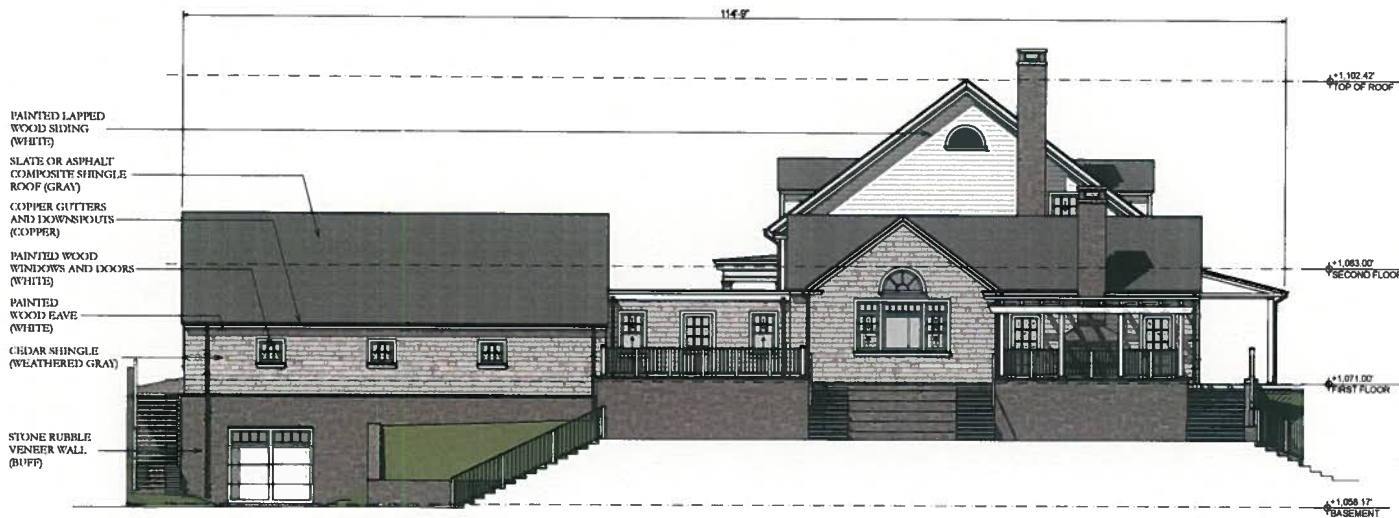
Sheffield Residence, Old Agoura

EVENS ARCHITECTS Conditional Use Permit Application



South Elevation

27901 Blythedale Road



Sheffield Residence, Old Agoura

EVENS ARCHITECTS Conditional Use Permit Application



West Elevation

27901 Blythedale Road

PROJECT
15105

SHEFFIELD RESIDENCE

27901 BLYTHEDALE ROAD
 AGOURA HILLS, CA 91301
 APN: 2055-001-038

REVISION
 05/21/2014 Conditional Use Permit Application
 10/14/2014 Revised CUP Application

STAMP

CROSS SECTIONS

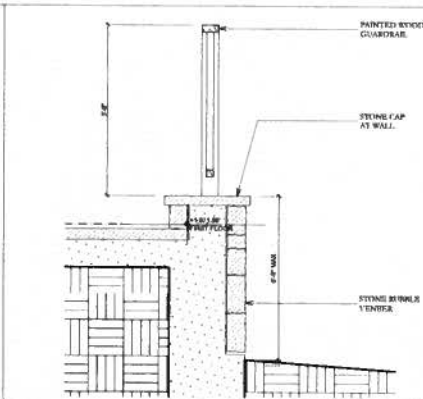
SCALE as noted

A400

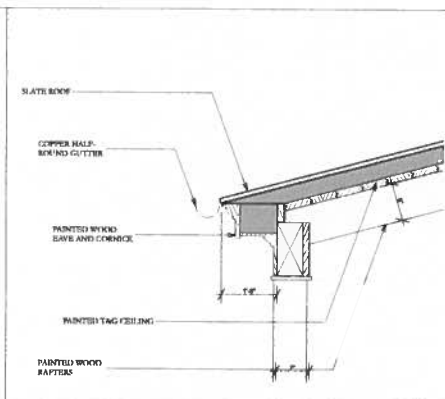
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January 2014/2014

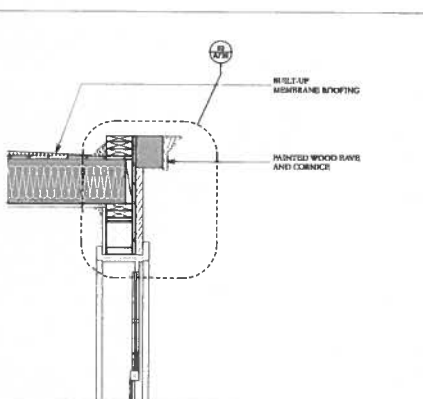
 jrm/12/13/14



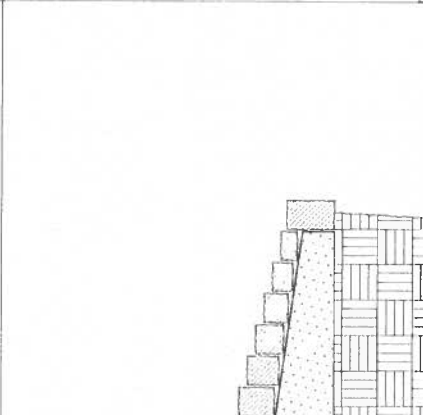
SITE WALL, TYP. SCALE: 1" = 1'-0"



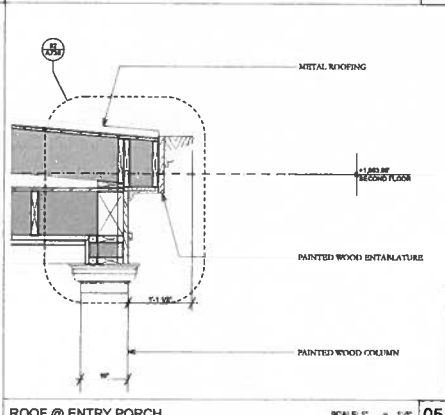
ROOF & COLUMN INTERSECTION @ PORCH, TYP. SCALE: 1" = 1'-0"



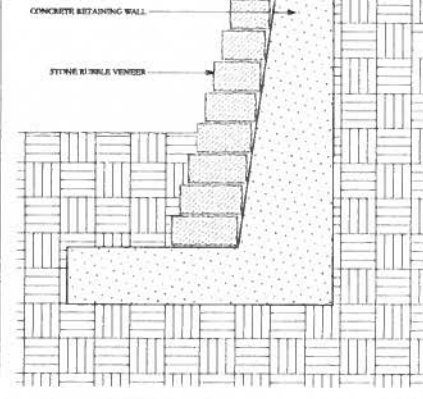
EAVE PROFILE @ POOL BATH SCALE: 1" = 1'-0"



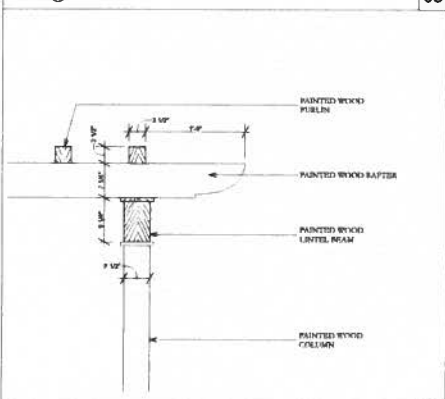
ROOF @ ENTRY PORCH SCALE: 1" = 1'-0"



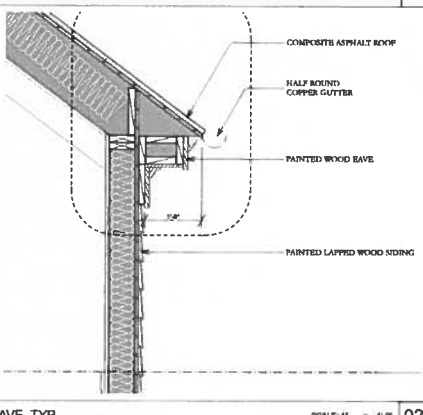
EAVE, TYP. SCALE: 1" = 1'-0"



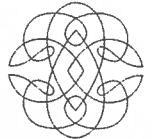
SITE RETAINING WALL SCALE: 1" = 1'-0"



POST & BEAM DETAIL @ PERGOLA SCALE: 1" = 1'-0"



STONE VENEER BASE TO SIDING TRANSITION, TYP. SCALE: 1" = 1'-0"



EVENS ARCHITECTS
a KVA Design company

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www.evensarchitects.com

PROJECT

15105

SHEFFIELD RESIDENCE

27801 BLYTHEDALE ROAD
ASGOURA HILLS, CA 91301
APN: 2055-001-038

REVISION

05/01/2018 Conditioned Use Permit Application
10/04/2018 Revised CUP Application
03/20/2017 CUP Permit Submittal

STAMP



LANDSCAPE MATERIALS PLAN

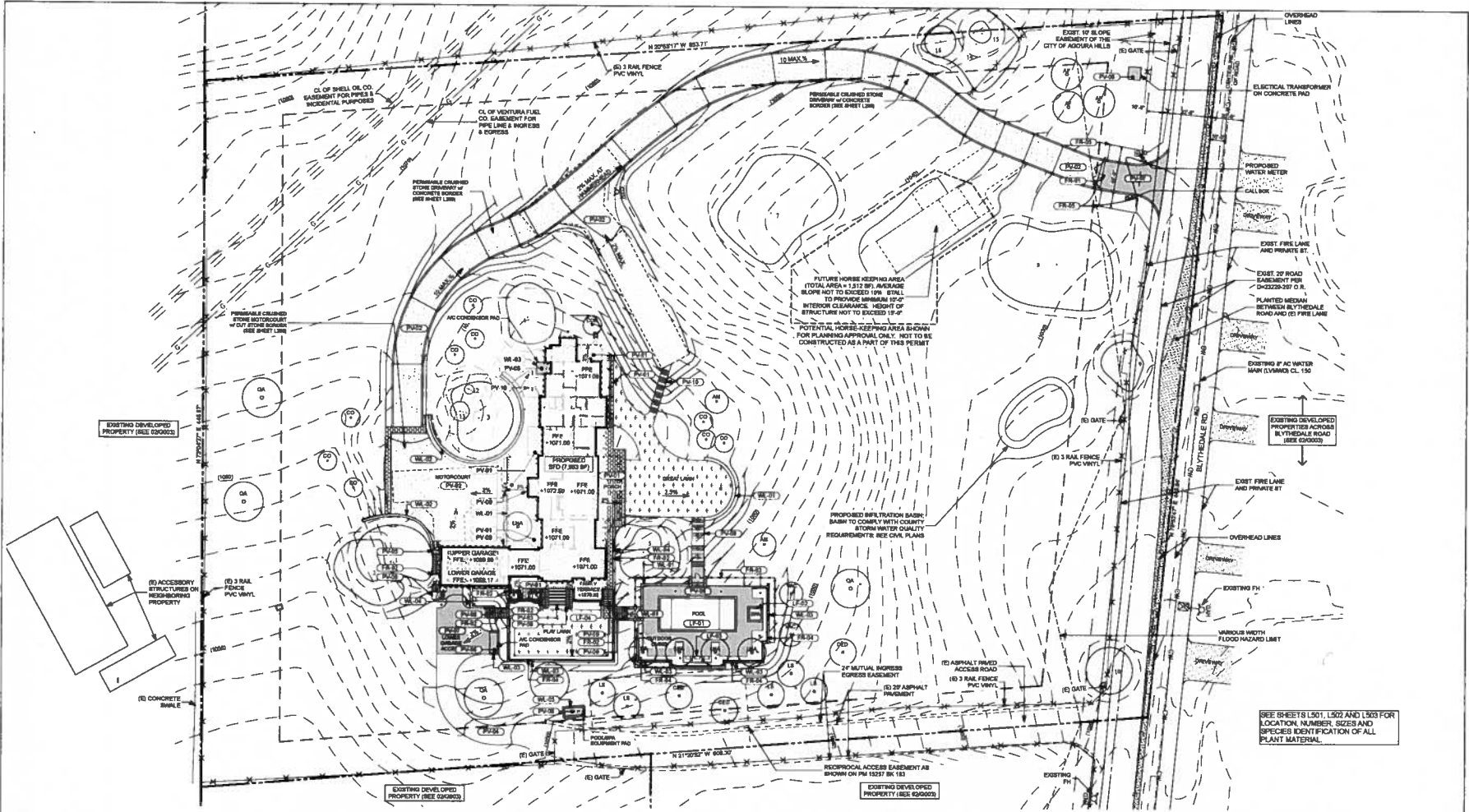
SCALE

1" = 30'-0"

L200

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January 2020



SURFACE FINISH LEGEND

FINISH	DESCRIPTION	FINISH CODE
	CUT STONE FINISH WITH FLAMED FINISH ON CONCRETE SUB-SLAB	(F)21
	CRUSHED STONE FINISH ON CONCRETE EDGE (18" MINIMUM SLIPS PROVIDE STONE FINISH AT MOTORCOURT EDGES)	(F)22
	STONE CURB STEPS WITH GRIND/COVER SPALL	(F)23
	ASPHALTIC CONCRETE FINISH TO EXISTING EXISTING DRIVEWAY	(F)24
	WOOD CHAR/LEVELED STALLS: WOOD TO BE PAINTED TO MATCH TRIM OF HOUSE	(F)25
	CONCRETE EQUIPMENT SLAB: NATURAL GRAY WITH BRDM FINISH	(F)26
	VEHICULAR CONCRETE WITH INTERNAL COLOR, SAND FINISH, AND TOOLED SCORE LINES	(F)27

WALLS

WALL TYPE	DESCRIPTION	WALL CODE
	LOW MASONRY WALL WITH STONE VENEER: HEIGHT VARIES, SEE GRADING PLAN	(W)21
	MASONRY RETAINING WALL WITH BATTERED FACE AND DRY STACK STONE FINISH (DESIGN VARIES TO PRESERVE TREE - SEE GRADING PLAN)	(W)22
	MASONRY RETAINING WALL WITH STONE CAP AND PLASTER FINISH (8" HT. WALL HEIGHT SEE GRADING PLAN)	(W)23
	MASONRY RETAINING WALL WITH STONE VENEER HEIGHT VARIES - SEE GRADING PLAN	(W)24

FENCES, RAILS, AND GATES

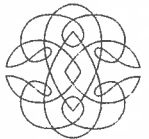
TYPE	DESCRIPTION	TYPE CODE
	WOOD VEHICLE GATE WITH STEEL FRAME: WOOD TO BE CEDAR AND SEALED WITH MATTE FINISH CLEAR SEALER	(F)28
	WOOD SLUICeway/HURDLE: WOOD TO BE PAINTED TO MATCH TRIM OF HOUSE	(F)29
	TUBULAR STEEL POOL ENCLOSURE FENCE WITH WOOD GATE (4" HT)	(F)30
	TUBULAR STEEL SLUICeway, PAINTED BLACK AND HIDDEN IN PLANTING	(F)31
	SLAT FENCE: WOOD TO BE CEDAR AND SEALED WITH MATTE FINISH CLEAR SEALER	(F)32

SITE FEATURES

FEATURE	DESCRIPTION	FEATURE CODE
	POOL WITH PLASTER FINISH AND WATERLINE TILE	(L)21
	SPA WITH PLASTER FINISH AND WATERLINE TILE	(L)22
	WOOD SHADE STRUCTURE PERIODICALLY FAMILY TERRACE: WOOD TO BE PAINTED TO MATCH TRIM OF HOUSE	(L)23
	TURF	(L)24
	BUILDING FOOTPRINT	(L)25

SITE PLAN LEGEND

SYMBOL	DESCRIPTION
	PROPERTY CORNER
	PROPERTY LINE
	RETRACT LINE (PRIMARY)
	RETRACT LINE (SECONDARY)
	PROPERTY LINE COORDINATE
	CENTERLINE OF STREET
	SD SURVEY SPOT ELEVATION
	PROPOSED TREE (SEE LANDSCAPE PLAN)
	EXISTING TREE AND PROTECTED ZONE



E VENS ARCHITECTS

301 1st St, Agoura Hills, CA 91301
Tel: 818.481.1000 Fax: 818.481.1001

PROJECT
15105

SHEFFIELD RESIDENCE
27501 BLYTHEDALE ROAD
AGOURA HILLS, CA 91301
APN: 2055-001-038

REVISION

8/31/2016 Conditional Use Permit Application
10/12/2016 Revised CUP Application
02/04/2017 CUP Final Submission

STAMP



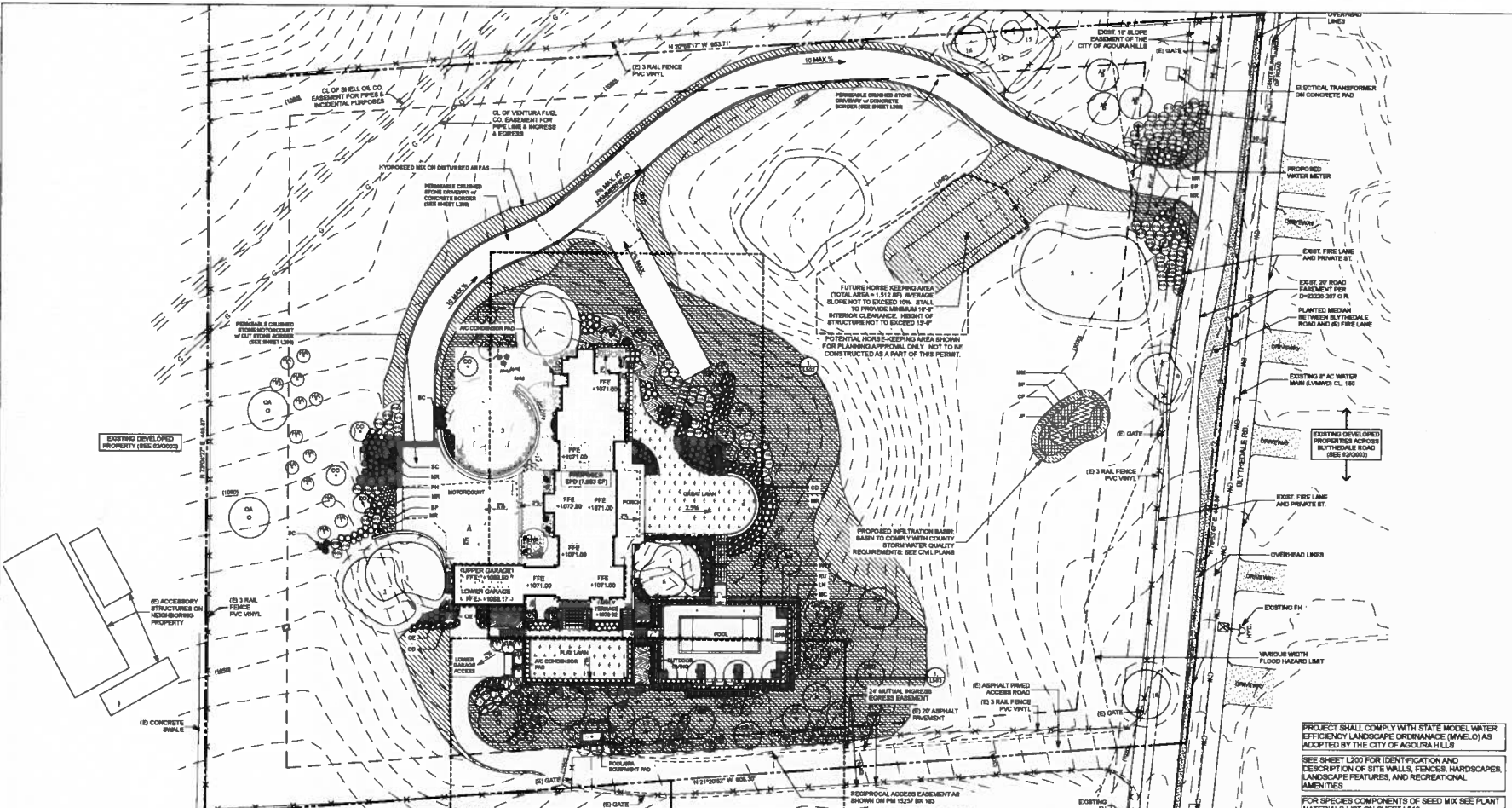
LANDSCAPE PLAN

SCALE
1" = 30'-0"

L501

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January September plotted 3/27/17



PLANTING SCHEDULE / 1/2 (cont.)

TYPE	ABBVY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	NOTES	MUCULLE	Quantity
1. TREES								
AF	Agave	Agave	Agave	18" Dia	As Shown		LOW	3
AM	Azalea	Azalea	Azalea	36" Dia	As Shown		LOW	3
CD	Canna	Canna	Canna	36" Dia	As Shown		LOW	2
CO	Coreopsis	Coreopsis	Coreopsis	18" Dia	As Shown		LOW	3
CC	Camellia	Camellia	Camellia	18" Dia	As Shown		LOW	1
COR	Cornus	Cornus	Cornus	36" Dia	As Shown		MODERATE	1
UNR	Unidentifiable			60" Dia	As Shown		MODERATE	5
LI	Lotus	Lotus	Lotus	36" Dia	As Shown		MODERATE	1
MAP	Magnolia	Magnolia	Magnolia	36" Dia	As Shown		MODERATE	2
GA	Goldeneye	Goldeneye	Goldeneye	36" Dia	As Shown		VERY LOW	1
WVC	Wisteria	Wisteria	Wisteria	36" Dia	As Shown		LOW	3
2. SHRUBS								
APM	Artemisia	Artemisia	Artemisia	6" Dia	8" x 8" O.C.		LOW	128
BP	Berberis	Berberis	Berberis	18" Dia	6" x 6" O.C.		LOW	36,888 SF
CD	Canna	Canna	Canna	1.0m	48" O.C.		LOW	88
GP	Goldeneye	Goldeneye	Goldeneye	6" Dia	8" x 8" O.C.		MODERATE	1,103 SF
CS	Chlorophytum	Chlorophytum	Chlorophytum	1.0m	8" x 8" O.C.		LOW	88

EXISTING DEVELOPED

SK	Diogenes	Diogenes	Diogenes	1.0m	12" O.C.	LOW	87
PV	Pigeon	Pigeon	Pigeon	1.0m	12" O.C.	MODERATE	47
GB	Grewia	Grewia	Grewia	1.0m	12" O.C.	MODERATE	4
SL	Sida	Sida	Sida	1.0m	36" O.C.	LOW	8
HA	Hardy	Hardy	Hardy	1.0m	As Shown	VERY LOW	58
HW	Hardy	Hardy	Hardy	1.0m	36" O.C.	LOW	26
IC	Ischaemum	Ischaemum	Ischaemum	1.0m	12" O.C.	LOW	88
RH	Rhaphanistrum	Rhaphanistrum	Rhaphanistrum	1.0m	6" O.C.	LOW	91
JP	Juncus	Juncus	Juncus	1.0m	36" O.C.	LOW	342 SF
LN	Lonicera	Lonicera	Lonicera	1.0m	36" O.C.	LOW	28
LE	Lonicera	Lonicera	Lonicera	1.0m	36" O.C.	LOW	28
LY	Lonicera	Lonicera	Lonicera	1.0m	36" O.C.	MODERATE	3
MA	Magnolia	Magnolia	Magnolia	1.0m	36" O.C.	LOW	18
MC	Melicope	Melicope	Melicope	1.0m	42" O.C.	LOW	43
MCO	Melicope	Melicope	Melicope	1.0m	36" O.C.	LOW	38
MR	Melicope	Melicope	Melicope	1.0m	36" O.C.	LOW	371 SF
MS	Melicope	Melicope	Melicope	1.0m	36" O.C.	LOW	121 SF
OC	Olea	Olea	Olea	1.0m	36" O.C.	LOW	13
PF	Panicum	Panicum	Panicum	1.0m	42" O.C.	LOW	25
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	36" O.C.	LOW	28
PM	Phytolacca	Phytolacca	Phytolacca	1.0m	36" O.C.	LOW	28

EXISTING PH

PH	Phytolacca	Phytolacca	Phytolacca	1.0m	36" O.C.	LOW	18
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	12" O.C.	LOW	18
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	AS SHOWN	LOW	4
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	AS SHOWN	MODERATE	4
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	48" O.C.	VERY LOW	11
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	42" O.C.	LOW	4
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	36" O.C.	LOW	48
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	36" O.C.	LOW	7
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	42" O.C.	VERY LOW	38
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	6" O.C.	MODERATE	8
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	48" O.C.	MODERATE	32
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	48" O.C.	MODERATE	242 SF
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	36" O.C.	LOW	17
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	18" O.C.	LOW	21
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	AS SHOWN	LOW	2
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	48" O.C.	LOW	2
PH	Phytolacca	Phytolacca	Phytolacca	1.0m	48" O.C.	MODERATE	8

SITE PLAN LEGEND

- PC 300x300: PROPERTY CORNER
- : PROPERTY LINE
- - - - -: SETBACK LINE (PRIMARY)
- - - - -: SETBACK LINE (SECONDARY)
- - - - -: PROPERTY LINE COORDINATES
- : CENTERLINE OF STREET
- : SURVEY SPOT ELEVATION
- : FINISH ELEVATION TOP OF WALL ELEVATION
- ▭: PLANTING AREA
- ▨: PROPOSED TRCS, TREE LANDSCAPE PLANT
- ▩: EXISTING TREES AND PROTECTED ZONE

PROJECT SHALL COMPLY WITH STATE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE (MWELO) AS ADOPTED BY THE CITY OF AGOURA HILLS

SEE SHEET L200 FOR IDENTIFICATION AND DESCRIPTION OF SITE WALLS, FENCES, HARDSCAPES, LANDSCAPE FEATURES, AND RECREATIONAL AMENITIES

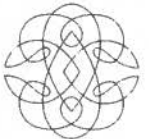
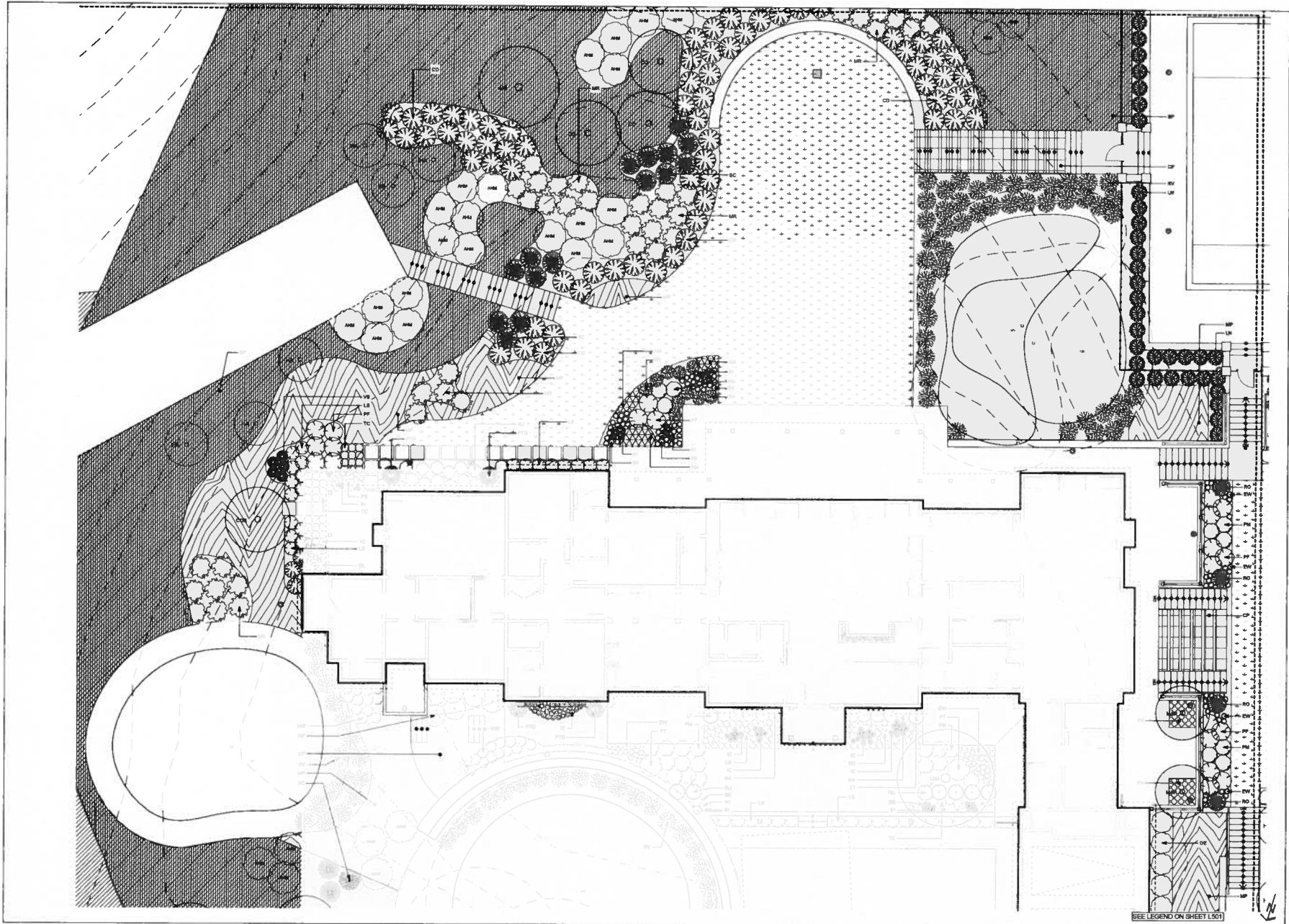
FOR SPECIES COMPONENTS OF SEED MIX SEE PLANT MATERIALS LIST ON SHEET L510

EXISTING DEVELOPED PROPERTY (SEE S20000)

EXISTING DEVELOPED PROPOSED ACROSS BLYTHEDALE ROAD (SEE S20000)

EXISTING DEVELOPED PROPERTY (SEE S20000)

EXISTING DEVELOPED PROPERTY (SEE S20000)



**E V E N S
ARCHITECTS**

LANDSCAPE ARCHITECTS
208 251 1400 Fax: 208 823 1440
www.evsa.com

PROJECT
15105

**SHEFFIELD
RESIDENCE**
27901 BLYTHEDALE ROAD
AGOURA HILLS, CA 91301
APN: 2055-001-038

10/25/2014
10/25/2014 - Consultant User Permit Application
10/25/2014 - Revised CAD Application
10/25/2014 - CAD Final Approval



**ENLARGED
LANDSCAPE PLAN -
HOUSE**

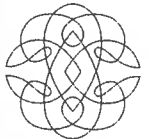
SCALE
1/8" = 1'

L502

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January 2015

SEE LEGEND ON SHEET L501



**EVENS
ARCHITECTS**

a K&A Design company
Landscape Architecture Division
300 841 5400 Fax 310 521 5440
evens.com

PROJECT

15105

**SHEFFIELD
RESIDENCE**

27901 BLYTHEDALE ROAD
AGOURA HILLS, CA 91301
APN: 20565-001-038

REVISION

DESIGNED BY: CLIP Final Schedule

STAMP



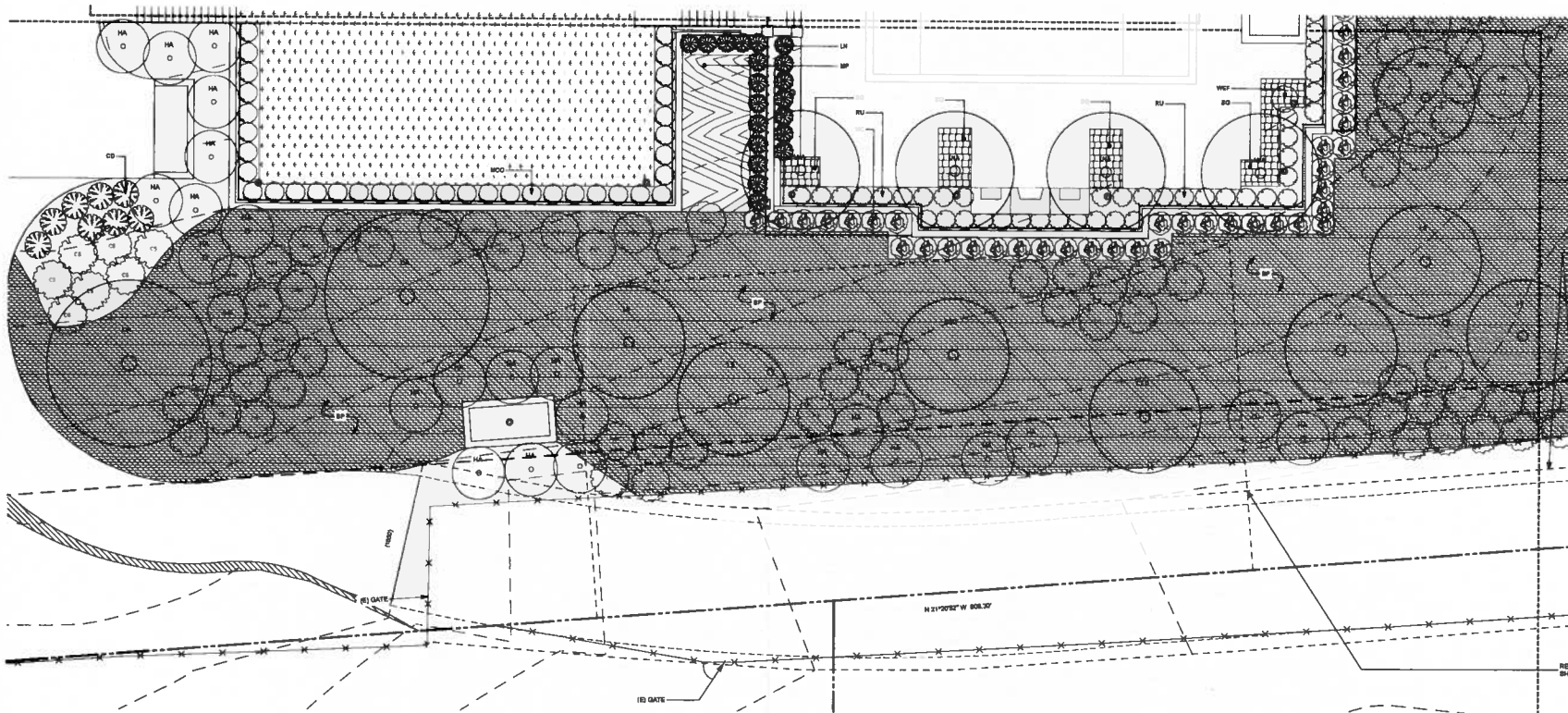
**ENLARGED
LANDSCAPE PLAN -
WEST SLOPE**

SCALE
1/8" = 1'-0"

L503

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Jersey Spontana printed 2/11/11



SEE LEGEND ON SHEET L501



CITY OF ACQUORA HILLS NOTES:

- 1.2 Invasive plant species, as determined by the City of Acqoura Hills are prohibited.
- 2.3 Vegetation shall be retained on the property or as not to significantly obstruct the primary view from private property at any given time upon consideration of the future growth.
- 3.1 Native species that are endemic to the local habitat, shall be used in graded slopes or where slope planting are required for slope stabilization, erosion control, and watershed protection. Plants should be selected to have a variety of existing depths. A spacing of 15 feet between large masonry (x18) cany concept details is recommended by the Fire Department. Plants are prohibited on slopes > 3%.
- 4.1 Slope planting measures such as revegetation and seeding or other techniques shall be incorporated on slopes to interrupt the flow and rate of surface runoff in order to prevent surface soil erosion.
- 5.1 The landscape plan shall provide the use of landscape materials such as: permeable such as copper aggregate.
- 6.1 The property owner(s) agree that all areas shall be planned and maintained as described in the final approved landscape and fuel modification plan in order to prevent watershed and landscape habitat values.

Name (Print) _____ Signature _____ Date _____



COUNTY OF LOS ANGELES

FUEL MODIFICATION UNIT
895 NORTH ANGELES AVENUE
ACQUORA CALIFORNIA 91286



DARYL L. OSBY
FIRE CHIEF
FIREWORKS & FIRE WARDEN

FUEL MODIFICATION PLAN NOTES

Zone A – Backbeek Zone

- Extends 20 feet beyond the edge of any combustible structure, accessory structure, appendage or projection. Overhangs or other parts of the structure not accurately reflected on the plans may require the approval of plant location on the approved plan.
- Irrigation by automatic or manual systems shall be provided to landscaping to maintain healthy vegetation and the resistance.
- Landscaping and vegetation in this zone shall consist primarily of green leaves, ground cover not exceeding 8 inches in height, and adequately spaced shrubs. The overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Plants in Zone A shall be inherently highly resistant and spaced appropriately. Species selection should be made referencing the Fuel Modification Plan List. Other species may be utilized subject to approval. Final or revised Plans submitted after 6 months from the initial submittal will have plants in all zones evaluated based on the most current Fuel Modification Plan List available from the Fuel Modification Unit.
- Except for dwarf varieties or mature trees small in stature, trees are generally not recommended within Zone A.
- Target species will typically not be allowed within 30 or more feet of combustible structures and may require removal if existing on site.
- View and climbing plants shall not be allowed on any combustible structure requiring review.

Zone B – Irrigated Zone

- Extends from the outermost edge of Zone A to 100 feet from structure.
- Irrigation by automatic or manual systems shall be provided to landscaping to maintain healthy vegetation and fire resistance.
- Landscaping and vegetation in this zone shall typically consist primarily of green leaves, ground cover, and adequately spaced shrubs and trees.
- Unless otherwise approved, ground covers shall be maintained at a height not to exceed 8 inches in Zone A and B. If on a slope 12 inches is acceptable in Zone B within 50 feet of a structure and 18 inches beyond 50 feet. The overall characteristics of the landscape shall provide adequate defensible space in a fire environment. Specimen native plants may be approved to remain if properly maintained for adequate defensible space. Annual grasses and weeds shall be maintained at a height not to exceed 3 inches.
- Plants in Zone B shall typically be the resistant and spaced appropriately. Species selection should be made referencing the Fuel Modification Plan List. Other species may be utilized subject to approval.

Zone C – Native Brush Thinning Zone

- Extends from the outermost edge of Zone B up to 200 feet from structure or to property line
- Required thinning and clearance will be determined upon inspection. Required clearance may increase to the maximum allowed by the Fire Code as needed because of vegetation growth.
- Irrigation systems are not required for this zone if it consists entirely of native plants. (Native plants are generally not compatible with regular, un-seasonal supplemental water.)
- Vegetation in this zone may consist of modified existing native plants, adequately spaced ornamental shrubs and trees, or both. There may also be replacement landscape planting with ornamental or native species to meet minimum slope coverage requirements of City or County agencies or other Landscapes or Hillsides ordinances. In all cases the overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Plants in Zone C shall be spaced appropriately. Existing native vegetation shall be modified by thinning and removal of those species constituting a fire risk. These species include, but are not limited to cherries, sage, large brush, and baccharis.
- Annual grasses and weeds shall be maintained at a height not to exceed 3 inches
- General spacing for existing native shrubs or groups of shrubs is 15 feet between canopies. Native plants may be thinned by reduced amounts as the distance from development increases
- General spacing for existing native trees or groups of trees is 30 feet between canopies. This distance may increase or decrease depending on the slope, arrangement of the trees in relation to slope, and the species of tree.

Fire Access Road Zones

- Extends a minimum of 10 feet from the edge of any public or private roadway that may be used as access for fire-fighting apparatus or resources
- Clear and remove burnable growth for a minimum of 10 feet on each side of Fire Access Roads. (Fire Code 303.115) Additional clearance beyond 10 feet may be required upon inspection.
- Fire access roads, driveways and barnroads shall be maintained in accordance with fire code. Fire Access Roads shall have unobstructed vertical clearance for a width of 20 feet. (Fire Code 503.2.1)
- Landscaping and native plants within the Fire Access Road Zone shall be appropriately spaced and maintained to provide safe access in wildfire fire environments.
- All trees, unless otherwise approved, shall be planted far enough from structures and Fire Department accesses as to not overhang any structure or access at maturity.

Maintenance

- Routine maintenance shall be regularly performed in all zones. Requirements include but are not limited to those items in the Fuel Modification Guidelines and those outlined below:
 - Removal or thinning of undesirable combustible vegetation and removal of dead or dying landscaping to meet minimum brush clearance requirements.
 - Pruning and thinning to reduce the overall fuel load and continuity of fuels.
 - Fuel loads shall be reduced by pruning lower branches to the ground, to help prevent fire from spreading and meet maintenance issues. Trees with undesirable plants should be topped up at least three times the height of the underlying vegetation or up to a height of 40 feet, whichever is less, to help prevent fire from spreading upward into the crown.
 - Accumulated plant litter and dead wood shall be removed. Debris and trimmings produced by thinning and pruning should be removed from the site or chipped and evenly dispersed in the same area to a maximum depth of 8 inches.
 - All invasive species and their parts should be removed from the site.
 - Manual and automatic irrigation systems shall be maintained for operational integrity and programming. Effectiveness should be regularly evaluated to avoid over or under-watering.
- Compliance with the Fire Code is a year-round responsibility. Enforcement will occur following inspections by the Fire Department. Annual inspections for brush clearance code requirements are conducted following the regular drying of grasses and fire fuels, between the months of April and June depending on geographic region. Inspection for compliance with an approved Fuel Modification Plan may occur at any time of year.
- Brush Clearance enforcement issues on adjacent properties should be directed to the County of Los Angeles Fire Department's Brush Clearance Unit at (82) 969-2375.
- All future plantings shall be in accordance with the County of Los Angeles Fire Department Fuel Modification Guidelines and approved prior to installation. Changes to the approved plan which require an additional plan review will occur a plan review fee.
- Questions regarding landscape planning and maintenance with regard to fire safety should be directed to the Fire Department's Fuel Modification Unit at (82) 969-5206.

The property owner(s) agrees to be responsible for the long-term maintenance of this Fuel Modification plan, as described herein. A Covenant & Agreement identifying the applicable Fuel Modification Plan will be recorded on the parcel(s) or CC&A's approved, prior to Final plan approval. Notification of Fuel Modification requirements is to be made upon sale to new owners. Proposed changes to the Fuel Fuel Modification plan must be submitted to the Fuel Modification Unit for approval, prior to implementation. Plans will be reviewed based on the current plant list. Regular inspections will be performed by the Fire Department to ensure compliance with the approved plan. Failure to comply with the Fuel Modification Plan requirements may result in an Administrative Fine of at least \$500 per violation, as well as possible fines, assessments, and legal action. Violators may also be contacted at the owner's expense with the cost placed on the property for full with the addition of an Abatement Enforcement Cost of \$845.

Name (Print)	Signature	Date
Name (Print)	Signature	Date

Approval of this Fuel Modification Plan constitutes approval for only those Codes reviewed as part of the Fuel Modification process and does not replace the standard approval of any other codes or agency with jurisdiction and review responsibility for those items which may or may not be illustrated on the plan.

SHOWING THE UNINCORPORATED AREAS OF LOS ANGELES COUNTY AND THE CITY OF:

ADAMS COUNTY	ALBERTA COUNTY	CONTESSA COUNTY	LA PLATA COUNTY	SAN DIEGO COUNTY
ALBUQUERQUE COUNTY	ALPHEA COUNTY	COVINGTON COUNTY	LA VERNE COUNTY	SAN FRANCISCO COUNTY
ALTA COUNTY	ANDREWS COUNTY	CROWLEY COUNTY	LOS ANGELES COUNTY	SANTA BARBARA COUNTY
ANIMAS COUNTY	ARIZONA COUNTY	DALLAS COUNTY	MARICOPA COUNTY	SANTA CLAY COUNTY
APACHE COUNTY	ARMSTRONG COUNTY	DANFORTH COUNTY	MARICOPA COUNTY	SANTA FE COUNTY
AVILA COUNTY	AUDUBON COUNTY	DEWEL COUNTY	MARICOPA COUNTY	SANTA JUANA COUNTY
BALCON COUNTY	BAWEL COUNTY	EL PASO COUNTY	MARICOPA COUNTY	SANTA LUCIA COUNTY
BARRETT COUNTY	BEHAR COUNTY	FRESNO COUNTY	MARICOPA COUNTY	SANTA RITA COUNTY
BASSA COUNTY	BENSON COUNTY	GARDNER COUNTY	MARICOPA COUNTY	SANTA TRINIDAD COUNTY
BENSON COUNTY	BIRMINGHAM COUNTY	GLENN COUNTY	MARICOPA COUNTY	SANTA VERE COUNTY
BENTON COUNTY	BONAVILLE COUNTY	GROVER COUNTY	MARICOPA COUNTY	SANTA YNES COUNTY
BIAH COUNTY	BOYD COUNTY	HARRIS COUNTY	MARICOPA COUNTY	SANTA YNES COUNTY
BILBO COUNTY	BREWER COUNTY	HAWKINS COUNTY	MARICOPA COUNTY	SHRADER COUNTY
BIRMINGHAM COUNTY	BREWER COUNTY	HENDSON COUNTY	MARICOPA COUNTY	SMITH COUNTY
BOLTON COUNTY	BUCHANAN COUNTY	HENDERSON COUNTY	MARICOPA COUNTY	SOCAL COUNTY
BOLTON COUNTY	BULLOCK COUNTY	HENDERSON COUNTY	MARICOPA COUNTY	STANFORD COUNTY
BOULDER COUNTY	BURNETT COUNTY	HENDERSON COUNTY	MARICOPA COUNTY	STANFORD COUNTY
BOULDER COUNTY	BURNETT COUNTY	HENDERSON COUNTY	MARICOPA COUNTY	STANFORD COUNTY
BOULDER COUNTY	BURNETT COUNTY	HENDERSON COUNTY	MARICOPA COUNTY	STANFORD COUNTY

114 ADDRESS: 27801 BLYTHEDALE RD., ACQUORA HILLS, CA 91286
AVENUES PARCEL NO. 2045 001 038
IN THE CITY OF ACQUORA HILLS, COUNTY OF LOS ANGELES

BACKUP PLAN NOTES:

- ALL PLANTING AREAS TO BE WITHIN 100 FT FROM THE PROPOSED 1/2" IPS, IRIGATION SYSTEM SYSTEM TO USE A COMBINATION OF:
 - 1/2" IPS WITH 1/2" IPS TO PREVENT BLOW BY WINDS - FOR MEDIUM TO LARGE PLANTERS, SHRUBS AND TREES
 - 1/2" IPS WITH 1/2" IPS TO PREVENT BLOW BY WINDS - FOR MEDIUM TO LARGE PLANTERS, SHRUBS AND TREES
 - 1/2" IPS WITH 1/2" IPS TO PREVENT BLOW BY WINDS - FOR MEDIUM TO LARGE PLANTERS, SHRUBS AND TREES
- THE BACKUP SYSTEM FOR THE PROJECT IS TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR THE CITY OF ACQUORA HILLS
- CONSULT WITH LANDSCAPE ARCHITECT FOR THE LOCATION OF THE POINT OF CONNECTION, BACKFLOW PREVENTER AND PRESSURE REGULATOR, IF REQUIRED.

LIGHTING NOTES:

- ALL EXTERIOR LIGHTING SHALL BE LOW INTENSITY AND IS REQUIRED TO REFLECT THE VISIBILITY TO SURROUNDING AREAS.



PROJECT

15105

SHEFFIELD RESIDENCE

27801 BLYTHEDALE ROAD

ACQUORA HILLS, CA 91201

APN: 2045-001-038

PAGES 17 AND 18

PARCEL MAP NO. 16287

PARCEL 3

COUNTY OF LOS ANGELES

FUEL MODIFICATION PLAN

REVISION

REVISION

05/18/2011 CIVI PLAN REVISED

STAMP



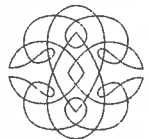
FUEL MODIFICATION PLAN NOTES

SCALE

N/A

L511

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 310 451 1400, Fax 310 522 1400
 evensarch.com

PROJECT
15105

SHEFFIELD RESIDENCE
 27901 BLYTHEDALE ROAD
 AGOURA HILLS, CA 91301
 APN: 2055-001-038

REVISION
 06/12/19 Conditional Use Permit Application
 09/14/2019 Revised CLUP Application
 09/16/2017 CLUP Permit Submittal

- POOL ENCLOSURE NOTES:**
1. POOL GATE SHALL NOT BE LESS THAN 6'-0" FT. IN HEIGHT ABOVE FINISHED GRADE.
 2. GATE SHALL BE EQUIPPED WITH A SELF-CLOSING SPRING TO KEEP GATE SECURELY CLOSED AT ALL TIMES. ANY LATCHING DEVICES SHALL BE LOCATED AT A POINT NOT LESS THAN 4'-0" FT. ABOVE THE BOTTOM OF THE GATE.
 3. SPACINGS BETWEEN PICKETS SHALL NOT EXCEED 4" INCHES.
 4. THE GATE SHALL BRUSH OUTWARD AND AWAY FROM THE POOL.
 5. CONTRACTOR TO VERIFY ALL APPLICABLE POOL SAFETY MARSHAL ORDINANCES ENFORCED BY THE CITY OF AGOURA HILLS AND TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.

- ADDITIONAL NOTES:**
1. ALL WELDS TO BE GRINDING SMOOTH.
 2. ALL METAL TO BE PAINTED BLACK TO BLEND WITH ADJACENT LANDSCAPE.
 3. CONTRACTOR TO FIELD VERIFY ALL OPENINGS PRIOR TO FABRICATION.
 4. CONTRACTOR TO REMOVE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.
 5. ALL GATE HARDWARE TO BE APPROVED BY LANDSCAPE ARCHITECT & OWNER PRIOR TO INSTALLATION.

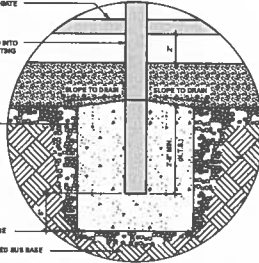
1" X 1 1/2" TUBULAR STEEL BOTTOM BAR OF FENCE OR SIDE

1" X 1 1/2" 90° POST MOUNTED INTO CONCRETE FOOTING

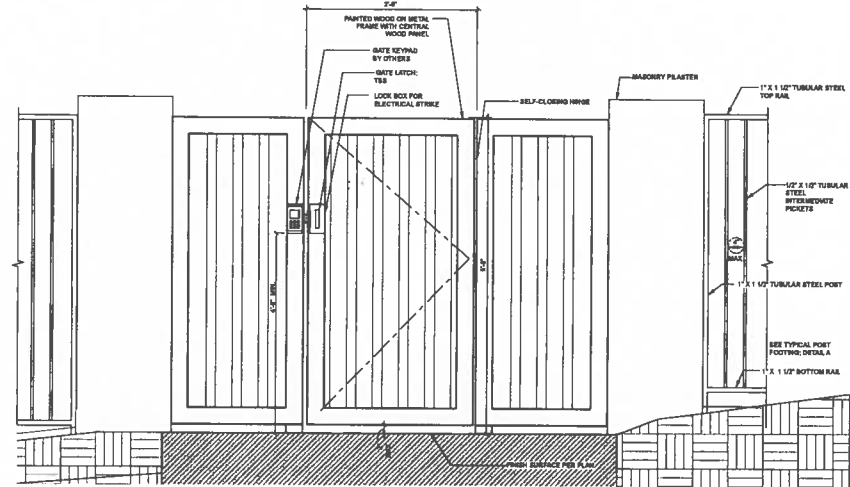
CONCRETE FOOTING

COMPACTED AGGREGATE SUB BASE

COMPACTED SUB BASE



DETAIL A
 SCALE: 2" = 1'-0"



POOL ENCLOSURE FENCE AND GATE ELEVATION

SCALE: 1" = 1'-0" 04

MOTORIZED DRIVING VEHICULAR GATES, TUBULAR STEEL FRAME WITH CEDAR CLADDING TO MATCH ADJACENT FENCE W/ DURA-GARD RICH STRAP HINGERS

THREE RAL CEDAR FENCE WITH MATTS FINISH CLEAR SEALER

HEIGHT TO MATCH EXISTING PVC FENCE

TUBULAR STEEL WITH POST WITH CEDAR CLADDING TO MATCH ADJACENT CEDAR FENCE

CONCRETE FORMAL SEE MATERIAL PLAN

VEHICULAR GATE CONCEPTUAL DESIGN

STAMP



FENCE AND GATE DETAILS

SCALE
 1" = 1'-0"

L720

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SCALE: NTS 01

James Spillman printed 2/17/18

GRADING NOTES

- 1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
2. A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
3. ALL EXPOSED MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
4. ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT'S BOAS AND SOILS REPORTS ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
5. ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
6. THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
7. REPORTS REQUIRED:
1. ROUGH GRADING REPORT: PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
2. FINAL GRADING REPORT: PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND PROTECTION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
3. AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATION OF ALL BURIALS, BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL BURIALS AND FLOWLINE ELEVATIONS, LOCATION AND ELEVATION OF ALL RETAINING WALLS, BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
8. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
9. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
10. A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
11. ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

INSPECTION NOTES

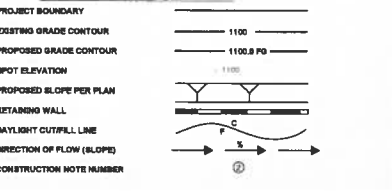
THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

- 1. WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCARIFIED, BENCHED, OR OTHERWISE PREPARED FOR FILL, FILL SHALL NOT HAVE BEEN PLACED PRIOR TO THIS INSPECTION.
2. ROUGH: WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED, DRAINAGE TERRACES, SWALES AND BORDERS INSTALLED AT THE TOP OF SLOPE, AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
3. FINAL: WHEN GRADING HAS BEEN COMPLETED, ALL DRAINAGE DEVICES INSTALLED; SLOPE INSTALLED AND THE RECORD DRAWINGS (AS-BUILT PLANS), REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED.
ALL REQUIRED REPORTS AND STATEMENTS TO THE BUILDING AND SAFETY DEPARTMENTS SHALL BE PREPARED IN ACCORDANCE WITH SECTIONS 7020 AND 7021 OF THE BUILDING CODE.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Description. Includes AC - ASPHALTIC CONCRETE, BF - BOTTOM OF FOOTING, CB - CATCH BASIN, etc.

LEGEND AND SYMBOLS



PUBLIC IMPROVEMENT NOTES

- 1. AN ENCROACHMENT PERMIT IS REQUIRED OF ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY (ROW). ALL APPLICABLE FEES MUST BE PAID AND SECURITIES POSTED PRIOR TO ISSUANCE OF PERMIT. ALL WORK INVOLVING STREET IMPROVEMENTS REQUIRE APPROVAL FROM THE PUBLIC WORKS INSPECTOR. APPLICANTS SHALL ALLOW 48 HOURS ADVANCE NOTICE TO THE DEPARTMENT OF PUBLIC WORKS TO SCHEDULE ALL INSPECTIONS.
2. CONTRACTORS SHALL TELEPHONE UNDERGROUND SERVICE ALERT (USA) 1-800-422-4133 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
3. REQUIREMENTS FOR STREET STRUCTURAL SECTION TO BE DETERMINED BY SOIL ANALYSIS AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF BASE MATERIALS.
4. WATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH LAS VIRGENES MUNICIPAL WATER DISTRICT WORKS MANUAL.
5. SEPARATION OF WATER AND WASTEWATER LINES SHALL BE IN ACCORDANCE WITH LAS VIRGENES MUNICIPAL WATER DISTRICT MANUAL.
6. PRIOR TO CONNECTION TO WATER AND SEWER MAINS IN THE PUBLIC RIGHT-OF-WAY, APPLICANT SHALL PROVIDE DOCUMENTATION FROM LAS VIRGENES MUNICIPAL WATER DISTRICT TO THE CITY STATING THAT ALL CONNECTION FEES HAVE BEEN PAID.
7. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY LINES, COUPLERS, OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS.

OAK TREE NOTES

- 1. APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (918) 987-7360, TO OBTAIN PROJECT SPECIFIC OAK TREE NOTES.
2. FOR OAK TREES EXISTING ON OR ADJACENT TO THE PROJECT (WITHIN 100 FEET OF THE PROJECT BOUNDARY) THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT PRIOR TO ANY WORK THAT FINGERING AROUND OAK TREES PROTECTIVE ZONES SHALL BE PROVIDED, AND ALL CLEARING AND GRUBBING OF ORGANIC MATTERS AND REMOVAL OF DEBRIS AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AS STIPULATED UNDER THE PERMIT. BEFORE THE APPROVAL TO PROCEED WITH THE GRADING WILL BE ISSUED, AFTER NOTIFICATION THAT THIS STAGE HAS BEEN COMPLETED, THE SITE WILL BE INSPECTED BY THE CITY'S OAK TREE ADMINISTRATOR, WHEN APPROVED, THE APPROVAL TO PROCEED WILL BE ISSUED IN WRITING BY THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT.
3. ALL OAK TREE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS TREE ORDINANCE AND OAK TREE PRESERVATION AND PROTECTION GUIDELINES.
4. UNDER NO CONDITION SHALL ANY WORK BE DONE WITHIN THE PROTECTED ZONE OF ANY OAK TREE, WITHOUT OBTAINING AN OAK TREE ENCROACHMENT PERMIT AND 48 HOURS ADVANCE NOTICE TO THE CITY. FURTHERMORE, NO PROTECTIVE FENCING SHALL BE RELOCATED OR MOVED WITHOUT CITY APPROVAL.

PUBLIC UTILITIES / SERVICES

Table listing public utilities and services: WATER (LAS VIRGENES MUNICIPAL WATER DISTRICT), ELECTRICAL (SOUTHERN CALIFORNIA Edison), TELEPHONE (SBC (PAC BELL)), GAS (SOUTHERN CALIFORNIA GAS), SEWER (LA COUNTY DEPT. OF PUBLIC WORKS), CABLE (ADELPHI), CABLE (CHARTER COMMUNICATIONS), CALTRANS (CALTRANS).

STORMWATER POLLUTION NOTES

- 1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL "PROGRAM SWPPP" SHALL BE SIGNED AND STAMPED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ON-SITE POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.
2. A SITE-SPECIFIC "WET WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPict THESE LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE ON OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 15TH.
3. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.
4. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SWIFT FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE, OR INLET.
5. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
6. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATER. ALL PROVIDED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
7. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
8. TRASH AND CONSTRUCTION-RELATED TOXIC WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
9. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
10. ANY SLOPES WITH DISTURBED SOILS OR DENUDED VEGETATION MUST BE STABILIZED SO AS TO PREVENT EROSION BY WIND AND WATER.
11. EXCEPT AS OTHERWISE DIRECTED BY THE CITY INSPECTOR, ALL DRAINAGE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY IS 40%, AND MAINTAINED DURING THE RAINY SEASON (NOVEMBER 1ST THROUGH APRIL 15TH OF THE FOLLOWING YEAR) FOR EACH YEAR THE GRADING REMAINS INCOMPLETE. REFER TO SITE-SPECIFIC WET-WEATHER EROSION-CONTROL PLAN.
12. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE CONSULTANT

JOHN OELBINGER
31300 VIA COLINAS STE. 104
WESTLAKE VILLAGE, CA 91361
PHONE: (918) 981-0556

ON-SITE SEWAGE DISPOSAL SYSTEM CONSULTANT

BARTON SLUTSKE CONSULTING
3800 ROOSEVELT CT.
8881 VALLEY, CA 92688
CONTACT: BARTON SLUTSKE
PHONE: (909) 981-2861



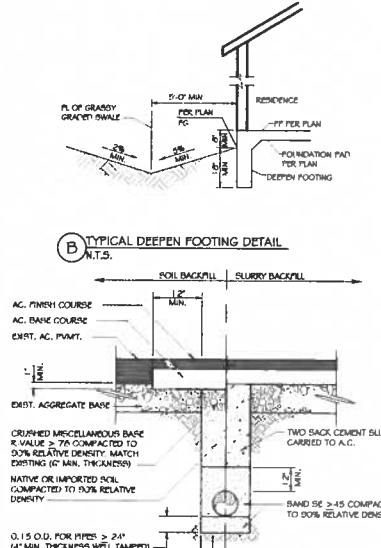
UNDERGROUND SERVICE ALERT



ADDITIONAL NOTES

- 1. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REQUIREMENTS.
2. AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL BURIALS AND FLOW LINE ELEVATIONS, LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
3. THE EXISTING WELL SHOULD BE VERIFIED TO HAVE BEEN ABANDONED IN ACCORDANCE WITH CITY/COUNTY STANDARDS AS WELL AS ANY OTHER APPLICABLE JURISDICTION PRIOR TO FILL PLACEMENT OVER THE WELL LOCATION.
4. ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF REINFORCING STEEL.
5. PROVIDE HANDRAILS FOR FIVE STAIRS WITH 4 OR MORE RISERS, PER ARCHITECTURE & LANDSCAPE ARCHITECTURAL DWG'S.
6. CONTRACTOR TO FIELD VERIFY ALL UTILITY CONNECTIONS PRIOR TO CONSTRUCTION.
7. ALL CUT SLOPES SHOULD BE MAPPED DURING GRADING. STABILIZATION MEASURES SHOULD BE APPLIED WHERE FUTURE CUTS EXPOSE ADVERSELY ORIENTED JOINT SURFACES OR INTERSECTIONS OF JOINT SURFACES.
8. TEST SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS, AND FOUNDATIONS AND SLABS SHOULD BE EVALUATED AND SUPPORTED IN ACCORDANCE WITH RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEERING GEOLOGIST.
9. ALL RETAINING WALL EXCAVATIONS SHALL BE REVIEWED BY THE PROJECT ENGINEERING GEOLOGIST FOR THE PRESENCE OF ADVERSELY ORIENTED JOINT SURFACES. ADVERSE SURFACES SHALL BE EVALUATED AND SUPPORTED IN ACCORDANCE WITH RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEERING GEOLOGIST.

TYPICAL DEEPEN FOOTING DETAIL



- NOTES:
1. A.C. BANE COURSE SHALL BE TYPE II B3 AR-4000.
2. A.C. FINISH COURSE SHALL BE TYPE II C2 AR-4000.
3. FINAL A.C. FINISH COURSE CAP SHALL BE A MINIMUM OF 1-1/2" THICK.
4. COMPACTION TESTING IS REQUIRED FOR ALL NATIVE/IMPORTED SOILS.

TRENCH DETAIL

CONTRACTORS NOTE:

THE EARTHWORK QUANTITIES ARE PROVIDED AS A COURTESY AND CONVENIENCE TO THE OWNERS, AND ARE FOR BIDDING AND PLAN CHECK PURPOSES ONLY. THE YARDAGE FIGURES SHOWN ARE APPROXIMATE CALCULATED QUANTITIES BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND ELEVATIONS AND DESIGNED ROUGH GRADE ELEVATIONS. THE CALCULATIONS MADE NO PROVISIONS FOR SHRINKAGE, SWELLAGE, RELAXATION OR ANY OTHER CONSTRUCTION NOT SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE PROJECT'S SOILS ENGINEER AND GEOLOGIC INVESTIGATIONS, AND TO DETERMINE FOR HIMSELF, THE QUANTITIES OF EARTH MOVING THAT WILL BE REQUIRED TO COMPLETE THE PROJECT.

INDEX OF DRAWINGS

Table with 2 columns: SHEET NO. and DESCRIPTION. Includes C1.0 GRADING PLAN COVER SHEET, C2.0 TOPOGRAPHICAL SURVEY, C3.0 OVERALL SITE PLAN / SHEET INDEX, C3.1, C3.2, C3.3 ENLARGED GRADING AND DRAINAGE PLAN, C4.0 DETAILS, C5.0, C5.1 CROSS SECTIONS, C6.0, C6.1 LID PLAN, EC1 EROSION CONTROL PLAN COVER SHEET, EC2, EC3 EROSION CONTROL PLAN.

ESTIMATED EARTHWORK QUANTITIES

Table with 4 columns: ESTIMATED CUT, ESTIMATED FILL, ESTIMATED OVER-EXCAVATION, ESTIMATED EXPORT, ESTIMATED IMPORT, ESTIMATED REPORT. Values are in cubic yards (CY).

BENCHMARK

DESCRIPTION: BM NO. 071062 ELEVATION: 897.10' SURVEY DATE: JAN 2016

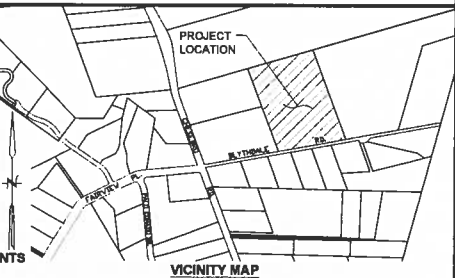
RECORD DRAWING STATEMENT

I HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. C1.0 THROUGH C5.3 MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

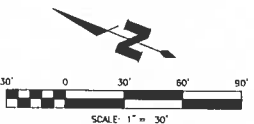
SOILS APPROVAL

Table for Soils Approval with columns: REGISTERED CIVIL ENGINEER, DATE, REGISTERED GEOLOGIST, DATE, REGISTERED GEOTECHNICAL ENGINEER, DATE, REGISTERED CIVIL ENGINEER, DATE, REGISTERED GEOLOGIST, DATE, REGISTERED GEOTECHNICAL ENGINEER, DATE.

Owner information: CHANRY & MARISA SHEFFOLD, 217 20TH ST., MANHATTAN BEACH, CA 90266. Representative: REBECCA MONTEGROU.
Civil Engineer information: WALLACE E. MARON & ASSOC., 651 RANCHO ROAD, THOUSAND OAKS, CA 91324. Representative: OSCAR MARON.
Geotechnical Engineer information: GORIAN & ASSOCIATES, INC., 3509 OLD CORNER ROAD, THOUSAND OAKS, CA 91320. Representative: RANDAL WENDT.



Approval table with columns: REVISION, SYMBOL, DESCRIPTION OF CHANGE, APPROVED, DATE, PROJECT ENGINEER, DATE, REVIEWED BY, DATE, RAMIRO ADEVA III CITY ENGINEER, DATE, 6885 RCE NO., 06/30/16 EXP DATE, AGOURA HILLS, 27801 BLYTHEDALE ROAD AGOURA HILLS, CA 91320 SHEET C1.0 OF 14, CITY OF AGOURA HILLS DMG, INC.



- NOTES:
1. THIS MAP HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. ADDITIONAL EASEMENTS (IF ANY) ARE NOT SHOWN.
 2. BOUNDARIES SHOWN HEREON ARE FROM RECORD INFORMATION.
 3. UNDERGROUND UTILITIES (IF ANY) ARE NOT SHOWN.
 4. CONTOURS SHOWN HEREON WERE PROVIDED BY OTHERS.
 5. IF RETAINING WALLS OR SIMILAR STRUCTURES ARE TO BE DESIGNED FROM TOPOGRAPHY SHOWN HEREON, THE ELEVATIONS OF CRITICAL POINTS CONTROLLING THE DESIGN MUST BE VERIFIED PRIOR TO ADOPTION OF FINAL DESIGN.

SLOPE ANALYSIS

1:1 X 100
 2:1 (18.43%) X 100
 3:1 (33.7%) X 100
 4:1 (25.0%) X 100

2% = AVERAGE PERCENT SLOPE
 1' = 2 FOOT VERTICAL INTERVALS
 L = 18.50% FT LENGTH OF CONTOUR
 A = 254,602 SQ FT (NET AREA OF PARCEL)
 P (PI) = (PI) (PERCENT)
 (PI) = (PI) (PERCENT)
 (PI) = (PI) (PERCENT)
 (PI) = (PI) (PERCENT)

- LEGEND:**
- AC ASPHALT PAVEMENT
 - CB CATCH BASIN
 - CLF CHAIN LINK FENCE
 - CONC CONCRETE
 - FF FINISH FLOOR
 - FL FLOWLINE
 - FS FINISH SURFACE
 - GM GAS METER
 - GB GRADE BREAK
 - HW HATCH
 - PLNTR PLANTER
 - TC TOP OF CURB
 - TW TOP OF WALL
 - UP UTILITY POLE
 - WM WATER METER
 - WV WATER VALVE
 - WF WOOD FENCE
 - WTF WROUGHT IRON FENCE
 - SD STORM DRAIN
 - SS SANITARY SEWER

BASIS OF BEARINGS:
 THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING OF N 30°55'17" W ALONG THE SOUTH WESTERLY LINE OF CHESBRO ROAD (PRIVATE & FUTURE STREET) AS SHOWN ON TRACT NO. 8228 BOOK 1280 PAGES 8-12 AS RECORDED IN THE COUNTY OF LOS ANGELES

- LEGEND:**
- WOODEN FENCE/WROUGHT IRON FENCE
 - 3 RAIL FENCE
 - CHAIN LINK FENCE
 - CENTERLINE ROAD
 - EASEMENT LINE
 - WALL
 - PROPERTY LINE

BENCH MARK:
 B.M. NO D1-9982 NEVD 1929 CITY OF LOS ANGELES DATUM
 FOUND LAT @ ANGLE POINT @ HW COR CONC DRAIN 10FT NW FAIRWAY P.L. & 42FT NW D/C CHESBRO RD
 ELEVATION = 997.109 FEET (ADJUSTMENT OF 1990)

TOPOGRAPHIC SITE SURVEY
PARCEL 3, PARCEL MAP 15257, M.B. 183, 87-88
A.P.N. 2055-001-038
 27901 BLYTHEDALE RD.
 AGOURA HILLS, CALIFORNIA 91301

SURVEY PREPARED BY:

Chris Nelson & Associates, Inc.
 PROFESSIONAL LAND SURVEYORS
 91238 Via Colinas Blvd., #4 Westlake Village, CA 91392
 Phone: 818.881.1040 Fax: 818.881.0814

UNDERGROUND SERVICE ALERT

CALL TOLL FREE
 1-800-227-2500

TWO WORKING DAYS BEFORE YOU DIG



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO ADEVA III CITY ENGINEER	DATE	53885 RICE NO.	09/20/16 EXP DATE

PREPARED BY: WALLACE E. MARION & ASSOC.
 651 RANCHO ROAD
 THOUSAND OAKS, CA 91327
 (805) 774 3440

CITY OF AGOURA HILLS APPROVAL



TOPOGRAPHICAL SURVEY
 27901 BLYTHEDALE ROAD
 AGOURA HILLS, CA 91320

SHEET C2.0 OF 14

CITY OF AGOURA HILLS DWG. NO.



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1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY: WALLACE E. MARON & ASSOCIATES
 251 RANCHO ROAD
 71330 AND OAKS, CA 91322
 (714) 754-3550

CITY OF AGOURA HILLS APPROVAL

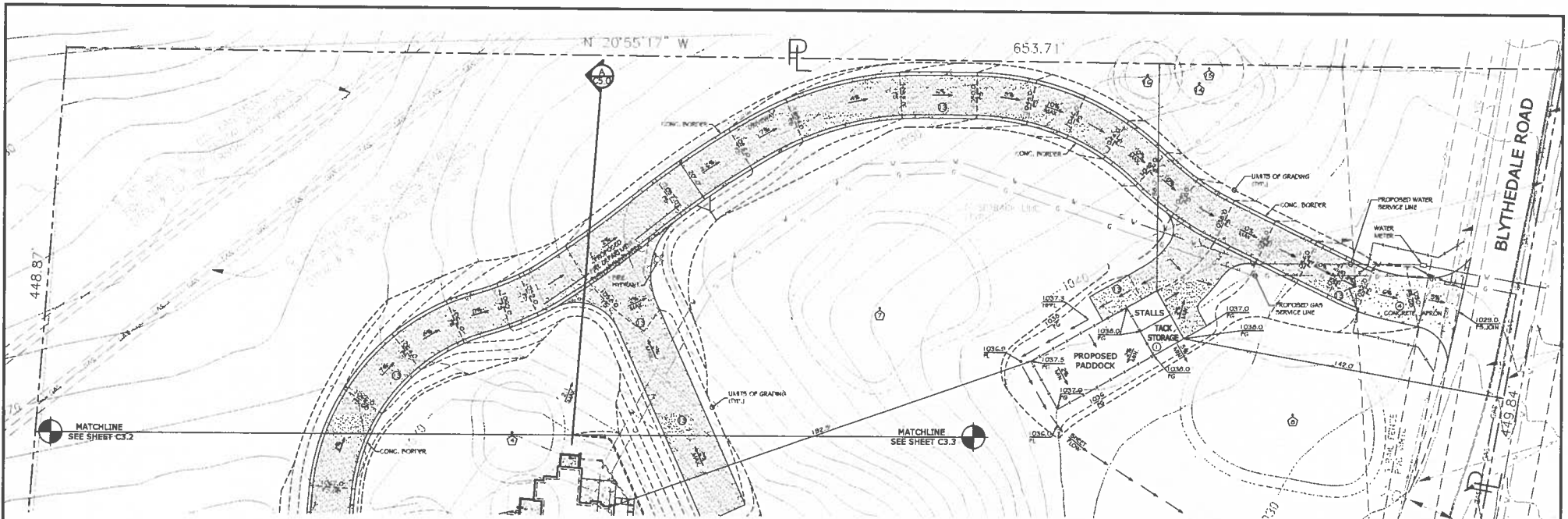
PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO ADEVA III CITY ENGINEER	DATE



OVERALL SITE PLAN

27901 BLYTHEDALE ROAD
 AGOURA HILLS, CA 91320

SHEET C3.0 of 14



NOTE TO CONTRACTOR

CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY INQUIRIES PRIOR TO ANY CONSTRUCTION.

LEGEND

- CL CENTER LINE
- CG CLEARED
- CGR RECOMMENDED GRANITE
- FL FLYLIGHT LINE
- DN DOWN
- DN DOWNHOLE
- FF FRESH FLOOR
- FG FRESH GRADE
- FL FLOW LINE
- FS FRESH SURFACE
- HF HIGH POINT
- INV INVERT
- PA PLANTER AREA
- PL PROPERTY LINE
- NG NATURAL GRAZE
- TC TOP OF CURB
- TD TOP OF DEEP
- TG TOP OF GRATE
- TW TOP OF WALL
- UNO UNLESS NOTED OTHERWISE
- RS RETAINING WALL PER SEPARATE PERMIT
- RW RUSTIC WALL PER SEPARATE PERMIT
- CONTRACTOR TO VERIFY HARD SURFACE PRODUCTS PER THE ARCHITECTURAL SPECIFICATIONS AND DETAILS TO DETERMINE BEST GRADE ELEVATIONS.
- 1/4" = 1" 4" G.C. CATCH BASIN PER IBCS PLASTIC PRODUCTS PART NO. 1200-1204-1000.
- 2" = 1" 2" G.C. CATCH BASIN PER IBCS PLASTIC PRODUCTS PART NO. 101-201-300, 1000, 1000.
- INDICATES 4" X 4" REEF. SURROUND
- (185 ± 1.2) EXISTING SPOT ELEVATIONS
- (185 ± 1.2) INDICATES EXISTING PROTECTED TREE PER CAL TREE REPORT

CONSTRUCTION NOTES

1. CONSTRUCT STRUCTURAL SLAB FOOTINGS THICKNESS OF BASE AND REINFORCING PER STRUCTURAL DRAWING AND PER SOILS ENGINEER RECOMMENDATIONS. PER SEPARATE PERMIT.
2. ALL FOOTINGS AND FOUNDATIONS TO BE FOUNDED INTO DENSE BEDROCK AS RECOMMENDED BY THE SOILS ENGINEER.
3. CONSTRUCT 8" HD PVC PIPE (SIZE AS SHOWN) AT 1% MINIMUM SLOPE WITH 1" SIZE ADS.
4. CONSTRUCT CONC. MOTOR COURT/DRIVEWAY PER DETAIL 5, SHEET CA-D
5. EXISTING TO REMAIN.
6. EXISTING TO BE REMOVED.
7. CONSTRUCT 3" THICK CONC. W/P #4 @ 1' O.C. C.E.W. OVER 4" SAND PER SOILS REPORT.
8. CONSTRUCT GRADED SWALE @ 2% MIN. SLOPE.
9. CONSTRUCT 10" HIGH BLOCK CHAIN LINK WALL PER LANDSCAPE PLAN.
10. NOT USED.
11. CONSTRUCT CONCRETE STAIRS ON GRADE PER DETAIL 5, SHEET CA-D
12. CONSTRUCT 12" HIGH BLOCK CHAIN LINK RETAINING WALL PER SEPARATE PERMIT.
13. CONSTRUCT 6" THICK GRAVEL DRIVEWAY w/ FLUSH STONE BANDS EACH SIDE. PER DETAIL 7 - SHEET CA.
14. CONSTRUCT SCREEN WALL PER ARCHITECTURAL PLANS PER ARCHITECTURAL PLANS.
15. 10" HIGH PLASTER WALLS PER LANDSCAPE PLANS.
16. RAISED STRUCTURAL WOOD STAIRS PER ARCHITECTURAL PLANS.
17. POOL EQUIPMENT AREA PER LANDSCAPE PLANS.
18. CONSTRUCT CONCRETE / STONE PAVERS PER LANDSCAPE PLANS.

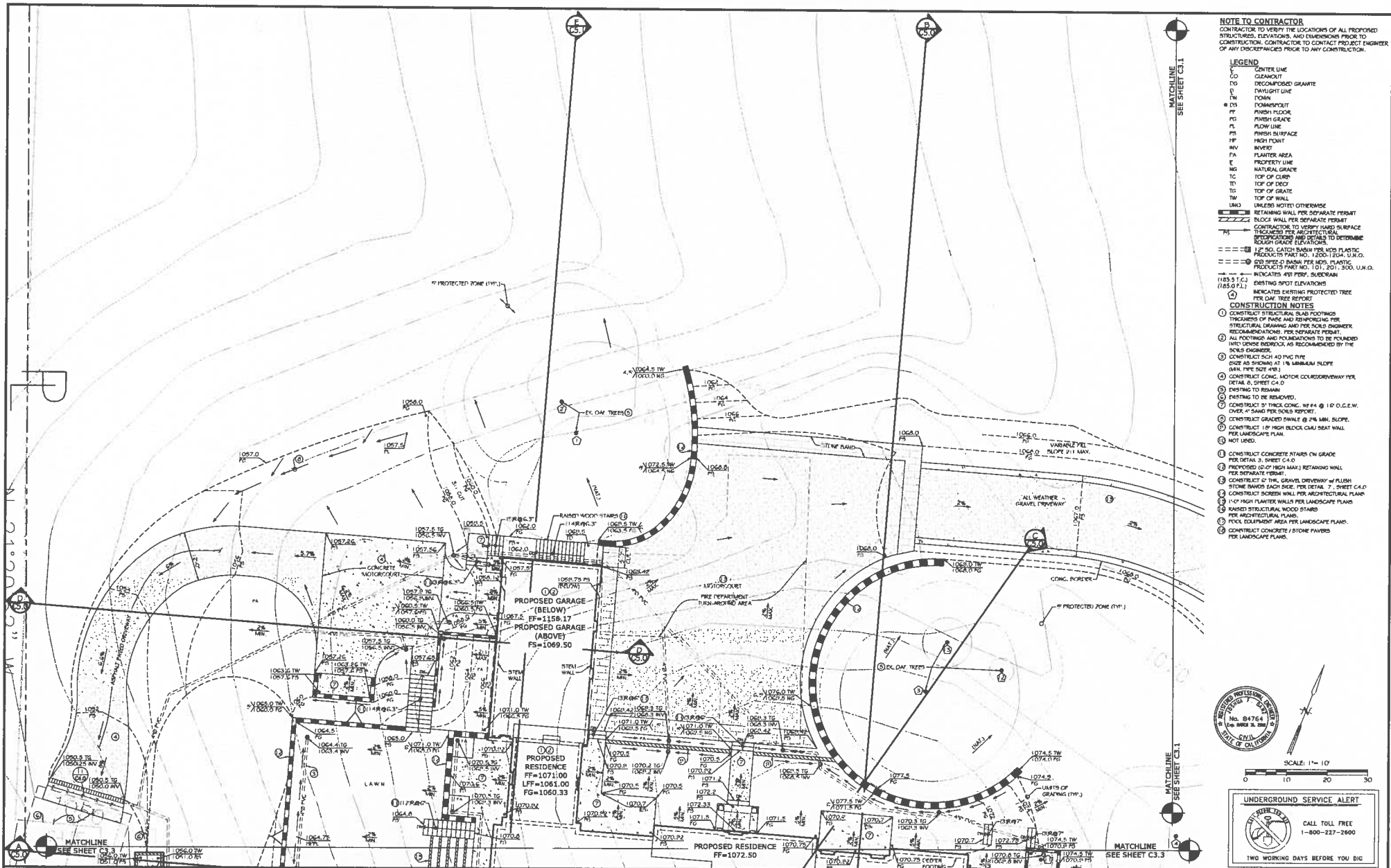


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TWO WORKING DAYS BEFORE YOU DIG

REVISION #		SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO ADEVA III CITY ENGINEER	DATE	8885 RCE NO.	09/20/18 EXP DATE	AGOURA HILLS	ENLARGED GRADING & DRAINAGE	27801 BLYTHEDALE ROAD AGOURA HILLS, CA 91320	SHEET C3.1 OF 14
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NOTE TO CONTRACTOR
 CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

- LEGEND**
- CL CENTER LINE
 - CO CLEANOUT
 - DG DECOMPOSED GRANITE
 - D TWILIGHT LINE
 - FN FURN
 - D3 FORMANFOIT
 - FF FINISH FLOOR
 - FG FINISH GRADE
 - FL FLOW LINE
 - FS FINISH SURFACE
 - HP HIGH POINT
 - INVERT
 - PA PLANTER AREA
 - E PROPERTY LINE
 - NG NATURAL GRADE
 - TC TOP OF CURB
 - TD TOP OF DECK
 - TI TOP OF GRADE
 - TW TOP OF WALL
 - UNO UNLESS NOTED OTHERWISE

- RETAINING WALL PER SEPARATE PERMIT
- BLOCK WALL PER SEPARATE PERMIT
- CONTRACTOR TO VERIFY HARD SURFACE THICKNESSES PER ARCHITECTURAL SPECIFICATIONS AND DETAILS TO DETERMINE SLOSH GRADE ELEVATIONS
- 1/2" 50' CATCH BASIN PER NDS PLASTIC PRODUCTS PART NO. 1200, 1200, U.S.O.
- 2" 50' CATCH BASIN PER NDS PLASTIC PRODUCTS PART NO. 101, 201, 300, U.S.O.
- INDICATES 4" PER FT. SUBDRAIN
- DESTING SPOT ELEVATIONS
- INDICATES EXISTING PROTECTED TREE PER DNR TREE REPORT

- CONSTRUCTION NOTES**
1. CONSTRUCT STRUCTURAL SLAB FOOTINGS THICKNESSES OF PAISE AND REINFORCING PER STRUCTURAL DRAWING AND PER SOILS ENGINEER RECOMMENDATIONS. PER SEPARATE PERMIT.
 2. ALL FOOTINGS AND FOUNDATIONS TO BE FOUNDED INTO UNDESIRABLE AS RECOMMENDED BY THE SOILS ENGINEER.
 3. CONSTRUCT 2" 40 PVC PIPE (SIZE AS SHOWN) AT 1% MINIMUM SLOPE (MIN. PIPE SIZE 4" I.D.).
 4. CONSTRUCT CONC. MOTOR CULVERT/DRIVEWAY PER DETAIL 8, SHEET C4.0
 5. DESTING TO REMAIN
 6. DESTING TO BE RESOLVED.
 7. CONSTRUCT 2" THICK CONC. W/ #4 @ 12" O.C.E.W. OVER 4" SAND PER DNR'S REPORT.
 8. CONSTRUCT GRADED SWALE @ 2% MIN. SLOPE.
 9. CONSTRUCT 18" HIGH BLOCK CHAIN LINK WALL PER LANDSCAPE PLAN.
 10. NOT USED.
 11. CONSTRUCT CONCRETE STAIRS ON GRADE PER DETAIL 3, SHEET C4.0
 12. PROPOSED 60" HIGH WALL RETAINING WALL PER SEPARATE PERMIT.
 13. CONSTRUCT 2" THICK GRAVEL DRIVEWAY W/ FLUSH STONE BARRER EACH SIDE PER DETAIL 7, SHEET C4.0
 14. CONSTRUCT SCREEN WALL PER ARCHITECTURAL PLANS
 15. 18" HIGH FLAMER WALLS PER LANDSCAPE PLANS
 16. RANDED STRUCTURAL WOOD SHEDS PER ARCHITECTURAL PLANS
 17. FLOOR EQUIPMENT AREA PER LANDSCAPE PLANS.
 18. CONSTRUCT CONCRETE / STONE PAVERS PER LANDSCAPE PLANS.



SCALE: 1" = 10'

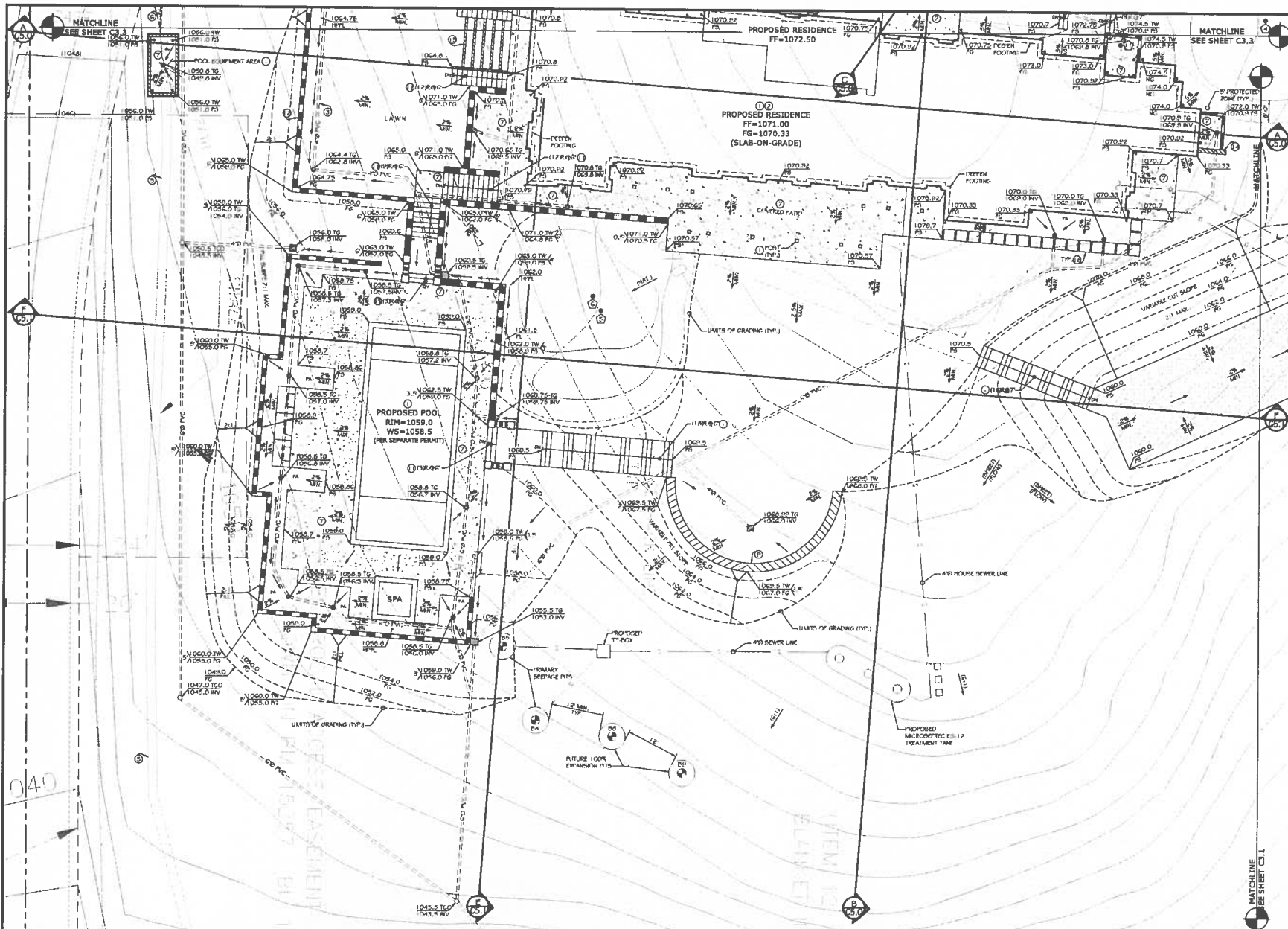
0 10 20 30

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TWO WORKING DAYS BEFORE YOU DIG

REVISION #		SYMBOL		DESCRIPTION OF CHANGE		APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO ADEVA III CITY ENGINEER	DATE	6885 RCE NO.	08/20/18 EXP DATE		ENLARGED GRADING & DRAINAGE 27801 BLYTHEDALE ROAD AGOURA HILLS, CA 91320	SHEET C3.2 OF 14
PREPARED BY: WALLACE E. MASON & ASSOC. 851 RANCH ROAD THOUSAND OAKS, CA 91320 (805) 781-3528																		
CITY OF AGOURA HILLS APPROVAL																		
CITY OF AGOURA HILLS																		



NOTE TO CONTRACTOR
 CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

- LEGEND**
- CL CENTER LINE
 - CO CLEANOUT
 - FG FINISHED GRANITE
 - LD DRAINOUT LINE
 - DN DOWN
 - CP COMBOPUMP
 - FF FINISH FLOOR
 - FG FINISH GRADE
 - FL FLOW LINE
 - FS FINISH SURFACE
 - HP HIGH POINT
 - INV INVERT
 - PA PLANTER AREA
 - PL PROPERTY LINE
 - NG NATURAL GRADE
 - TD TOP OF DECK
 - TG TOP OF GRADE
 - TW TOP OF WALL
 - UND UNLESS NOTED OTHERWISE
- RETAINING WALL PER SEPARATE PERMIT
 BLOCK WALL PER SEPARATE PERMIT
 CONTRACTOR TO VERIFY HARD SURFACE THICKNESS FOR ARCHITECTURAL SPECIFICATIONS AND DETAILS TO DETERMINE BLOCK GRAD ELEVATIONS
 1/2" 30' CATCH BASIN PER IODD PLASTIC PRODUCTS PART NO. 1100, 100A, U.H.O.
 30" 30" CATCH BASIN PER IODD PLASTIC PRODUCTS PART NO. 101, 201, 300, U.H.O.
 INDICATED 4" PER 1' SLOPE
 DRAINING SPOT ELEVATIONS
 INDICATED EXISTING PROTECTED TREE PER CALIF. TREE SERVICE

- CONSTRUCTION NOTES**
1. CONSTRUCT STRUCTURAL SLAB FOOTINGS THICKNESS OF BASE AND REINFORCED PER STRUCTURAL DRAWING AND PER SOILS ENGINEER RECOMMENDATIONS. PER SEPARATE PERMIT.
 2. EXCAVATE ENTIRE BUILDING AND AREA PLUS 3" TO A DEPTH OF 2" BELOW FOOTINGS AS RECOMMENDED BY THE SOILS ENGINEER.
 3. CONSTRUCT 1/2" 30" CATCH BASIN PER IODD PLASTIC PRODUCTS PART NO. 101, 201, 300, U.H.O. (SIZE AS SHOWN) AT 1% MINIMUM SLOPE (MIN. PIPE SIZE).
 4. CONSTRUCT CONC. MOTOR COURTOURNEYWAY PER DETAIL A, SHEET C-0.
 5. FINISH TO REMAIN.
 6. EXISTING TO BE REMOVED.
 7. CONSTRUCT 2" THICK CONC. W/ #4 @ 18" O.C. IN OVER 4" SAND PER SOILS SERVICE.
 8. CONSTRUCT GRADED SWALE @ 2% MIN. SLOPE.
 9. CONSTRUCT 18" HIGH BLOCK CHAIN SEAT WALL PER LANDSCAPE PLAN.
 10. NOT USED.
 11. CONSTRUCT CONCRETE STAIRS ON GRADE PER DETAIL B, SHEET C-0.
 12. PROPOSED 60" HIGH (MAX.) RETAINING WALL PER SEPARATE PERMIT.
 13. CONSTRUCT 2" THICK GRAVEL DRIVEWAY W/ FLUSH STONE BARS EACH SIDE. PER DETAIL 7, SHEET C-0.
 14. CONSTRUCT SCREEN WALL PER ARCHITECTURAL PLANS.
 15. 18" HIGH PLANTER WALLS PER LANDSCAPE PLANS.
 16. RAISED STRUCTURAL WOOD STAIRS PER ARCHITECTURAL PLANS.
 17. ROCK EQUIPMENT AREA PER LANDSCAPE PLANS.
 18. CONSTRUCT CONCRETE / STONE PAVING PER LANDSCAPE PLANS.



SCALE: 1" = 10'
 0 10 20 30

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TWO WORKING DAYS BEFORE YOU DIG

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY ENGINEER	DATE

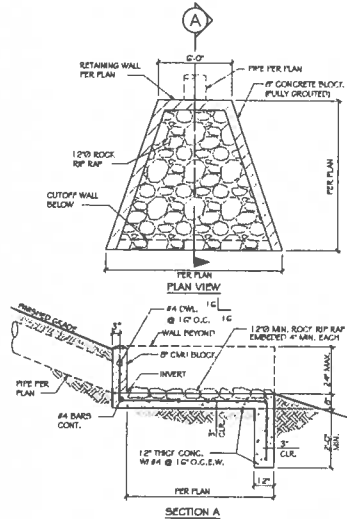


ENLARGED GRADING & DRAINAGE

27901 BLYTHEDALE ROAD
 AGOURA HILLS, CA 91320

68865 ROSE NO. 09/30/16 EXP DATE

SHEET C3.3 OF 14

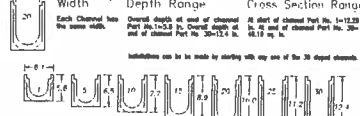


CHANNEL-SLOPE® NW100 Series Channels Sloped Channels

Slope
Each channel has a .85 inch-to-slope. There are 36 different slope channels (part nos. 1-36).

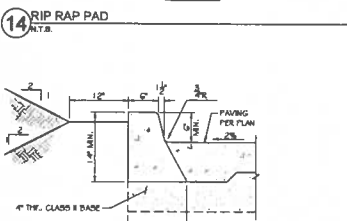
Length
Each channel is 36.37 in. (3') meter long. Total length of part numbers 1-36 combined is 1281.32 in. (106.77 m).

Width **Depth Range** **Cross Section Range**
Each channel has the same width. All start of channel Part No. 1-12.20 Part No. 13-36. Channel depth is 12.20 in. of channel Part No. 30- and of channel Part No. 30-12.20. 48.13 in. in.

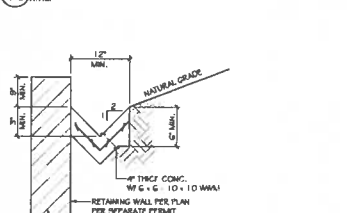


Depth At End of Each Channel

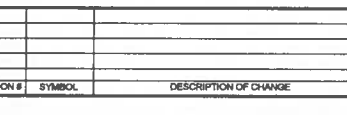
Part No.	Depth	Part No.	Depth	Part No.	Depth
100-11	5.8	111	10.0	201	11.2
100-2	5.8	112	10.0	202	11.2
100-3	4.8	113	10.0	203	11.2
100-4	4.8	114	10.0	204	11.2
100-5	4.8	115	10.0	205	11.2
100-6	4.8	116	10.0	206	11.2
100-7	5.8	117	10.0	207	11.2
100-8	7.2	118	10.0	208	11.2
100-9	7.2	119	10.0	209	11.2
100-10	7.2	120	10.0	210	11.2
100-11	7.2	121	10.0	211	11.2
100-12	7.2	122	10.0	212	11.2
100-13	7.2	123	10.0	213	11.2
100-14	7.2	124	10.0	214	11.2
100-15	7.2	125	10.0	215	11.2
100-16	7.2	126	10.0	216	11.2
100-17	7.2	127	10.0	217	11.2
100-18	7.2	128	10.0	218	11.2
100-19	7.2	129	10.0	219	11.2
100-20	7.2	130	10.0	220	11.2
100-21	7.2	131	10.0	221	11.2
100-22	7.2	132	10.0	222	11.2
100-23	7.2	133	10.0	223	11.2
100-24	7.2	134	10.0	224	11.2
100-25	7.2	135	10.0	225	11.2
100-26	7.2	136	10.0	226	11.2
100-27	7.2	137	10.0	227	11.2
100-28	7.2	138	10.0	228	11.2
100-29	7.2	139	10.0	229	11.2
100-30	7.2	140	10.0	230	11.2



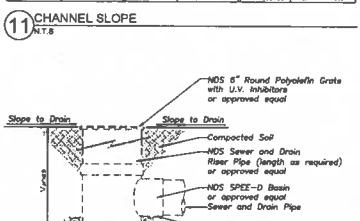
14 RIP RAP PAD
N.T.S.



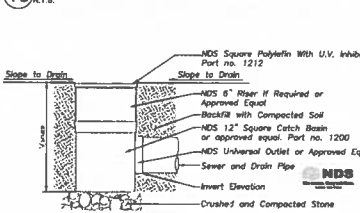
13 CURB DETAIL
N.T.S.



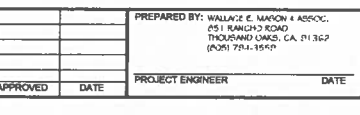
12 CONC. SWALE
N.T.S.



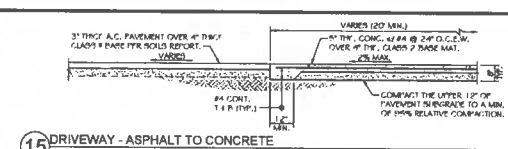
11 CHANNEL SLOPE
N.T.S.



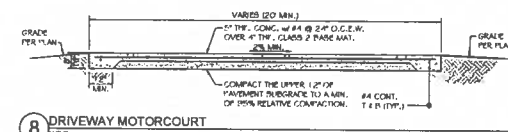
10 8 INCH NDS AREA DRAIN
N.T.S.



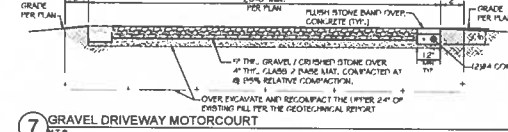
9 12 INCH NDS SQUARE BASIN
N.T.S.



15 DRIVEWAY - ASPHALT TO CONCRETE
N.T.S.



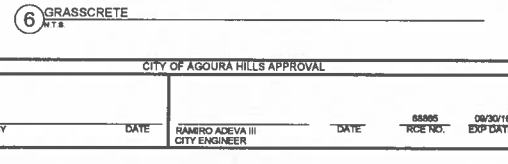
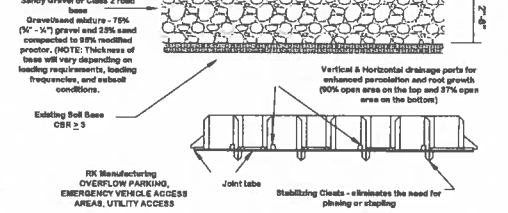
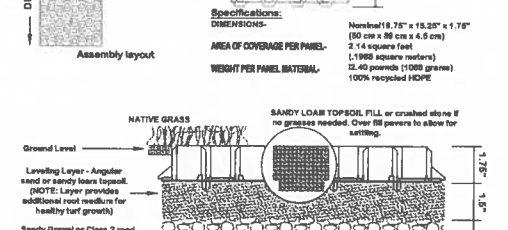
8 DRIVEWAY MOTORCOURT
N.T.S.



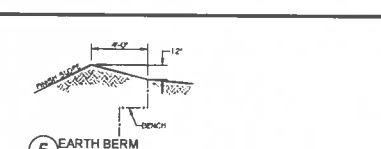
7 GRAVEL DRIVEWAY MOTORCOURT
N.T.S.



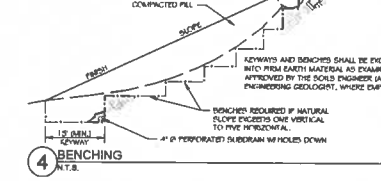
6 GRASSCRETE
N.T.S.



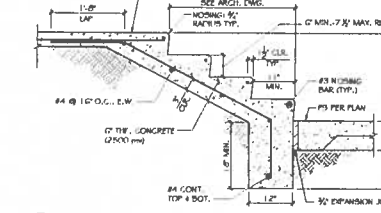
6 GRASSCRETE
N.T.S.



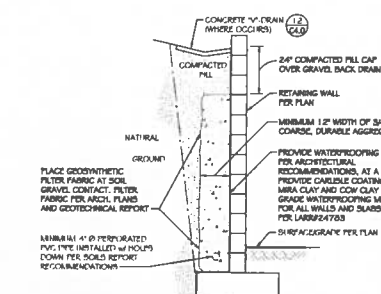
5 EARTH BERM
N.T.S.



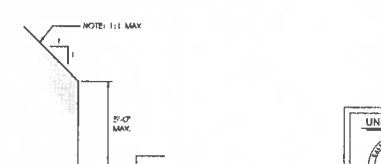
4 BENCHING
N.T.S.



3 CONC. STAIRS ON GRADE
N.T.S.



2 WALL BACKFILL
N.T.S.



1 TEMPORARY EXCAVATION
N.T.S.

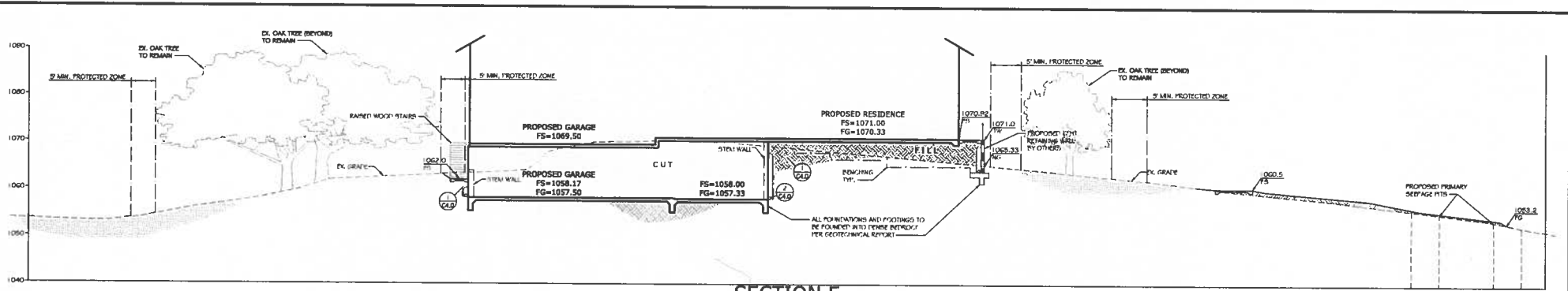
CV Supply
3923 Hwy 81
Columbus, AL 35051
(205)999-1744
Fax (205)889-2544
www.cvsupply.com
mike@cvsupply.com

UNDERGROUND SERVICE ALERT

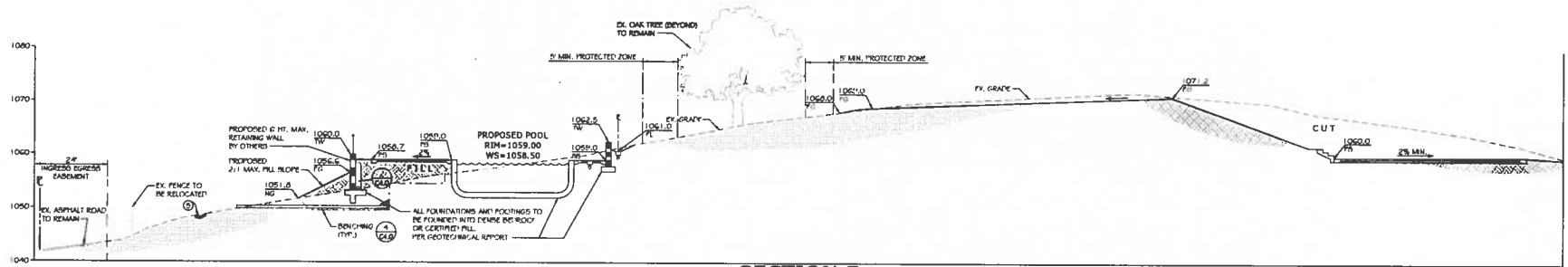
CALL TOLL FREE
1-800-227-2500

TWO WORKING DAYS BEFORE YOU DIG

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY OF AGOURA HILLS APPROVAL	DATE	RAMIRO ADEVA III CITY ENGINEER	DATE	5885 RCE NO.	08/20/16 EXP DATE	AGOURA HILLS	DETAILS	27801 BLYTHEDALE ROAD AGOURA HILLS, CA 91320	SHEET C4.0 OF 14



SECTION E
1"=10'



SECTION F
1"=10'

UNDERGROUND SERVICE ALERT

CALL TOLL FREE
1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG



REVISION #		SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY: WALLACE C. MARION & ASS'YS. 251 RANCHO ROAD THOUSAND OAKS, CA 91320 (805) 794-3550	CITY OF AGOURA HILLS APPROVAL		PROJECT ENGINEER _____ DATE _____ REVIEWED BY _____ DATE _____ RAMIRO ADEVA III CITY ENGINEER	6885 RCE NO.	09/30/16 EXP DATE		SECTIONS 27901 BLYTHEDALE ROAD AGOURA HILLS, CA 91320	SHEET C5.1 of 14
------------	--	--------	-----------------------	----------	------	--	-------------------------------	--	--	-----------------	----------------------	--	--	------------------



LIGHTING KEY NOTES:

- 1 PROPOSED LOCATION FOR OWNER SUPPLIED, CONTRACTOR INSTALLED EXTERIOR RATED BOUNCE FIXTURE TO HAVE A HIGH EFFICACY SOURCE OR IS TO BE CONTROLLED THROUGH A MOTION SENSOR PHOTOCELL PER TITLE 24 REQUIREMENTS. EXACT LOCATION, QUANTITIES AND MOUNTING HEIGHTS TO BE CONFIRMED WITH ARCHITECT PRIOR TO INSTALLATION.
- 2 PROPOSED LOCATION FOR OWNER SUPPLIED, CONTRACTOR INSTALLED EXTERIOR RATED PENDANT FIXTURE. FIXTURE TO HAVE A HIGH EFFICACY SOURCE OR IS TO BE CONTROLLED THROUGH A MOTION SENSOR PHOTOCELL PER TITLE 24 REQUIREMENTS. EXACT LOCATION, QUANTITIES AND MOUNTING HEIGHTS TO BE CONFIRMED WITH ARCHITECT PRIOR TO INSTALLATION.
- 3 PROPOSED LOCATION FOR OWNER SUPPLIED, CONTRACTOR INSTALLED EXTERIOR RATED FLOOR LANTERN. FIXTURE TO HAVE A HIGH EFFICACY SOURCE OR IS TO BE CONTROLLED THROUGH A MOTION SENSOR PHOTOCELL PER TITLE 24 REQUIREMENTS. EXACT MOUNTING LOCATION AND QUANTITIES TO BE CONFIRMED WITH ARCHITECT PRIOR TO INSTALLATION.
- 4 STAKE MOUNTED BULLET UPLIGHT AT LANDSCAPE. FIXTURE TO AIM UP AT TREES AND/OR SHRUBS TO ILLUMINATE FOLIAGE. EXACT AIMING POSITIONS AND LOCATIONS TO BE ADJUSTED IN FIELD WITH LIGHTING DESIGNER AND ELECTRICAL CONTRACTOR.
- 5 TREE MOUNTED BULLET LIGHTS STRAPPED TO SELECT BRANCHES) TO SHINE DOWN ON ADJACENT AREAS. EXACT AIMING POSITIONS AND LOCATIONS TO BE ADJUSTED IN FIELD WITH LIGHTING DESIGNER AND ELECTRICAL CONTRACTOR.
- 6 RECESSED MOUNTED WALL LIGHT. FIXTURE TO BE MOUNTED APPROXIMATELY 18" FROM CENTER OF FIXTURE TO A.F.F.
- 7 STEP LIGHT AT RISER. REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8 STAKE MOUNTED PATH LIGHT. EXACT LOCATIONS TO BE ADJUSTED IN FIELD WITH LIGHTING DESIGNER AND ELECTRICAL CONTRACTOR.

FIXTURE SYMBOL KEY:

+	DECORATIVE CEILING MOUNTED FIXTURE
+	DECORATIVE WALL MOUNTED FIXTURE
+	DECORATIVE LANDSCAPE LANTERN
+	LANDSCAPE FIXTURE
+	LANDSCAPE MOONLIGHT FIXTURE
+	RECESSED STEPLIGHT

SITE LIGHTING PLAN | 30"=1'-0"

KAA DESIGN
 4281 Redwood Avenue, Los Angeles, CA 90028
 310.871.1400, fax 310.871.1408
 kaa@kaadesign.com



PROJECT
15105

SHEFFIELD RESIDENCE

REVISION	2018-04-20	CUP PACKAGE
	2018-05-05	CUP PACKAGE RESUBMITTAL
	2018-10-14	REVISED CUP APPLICATION

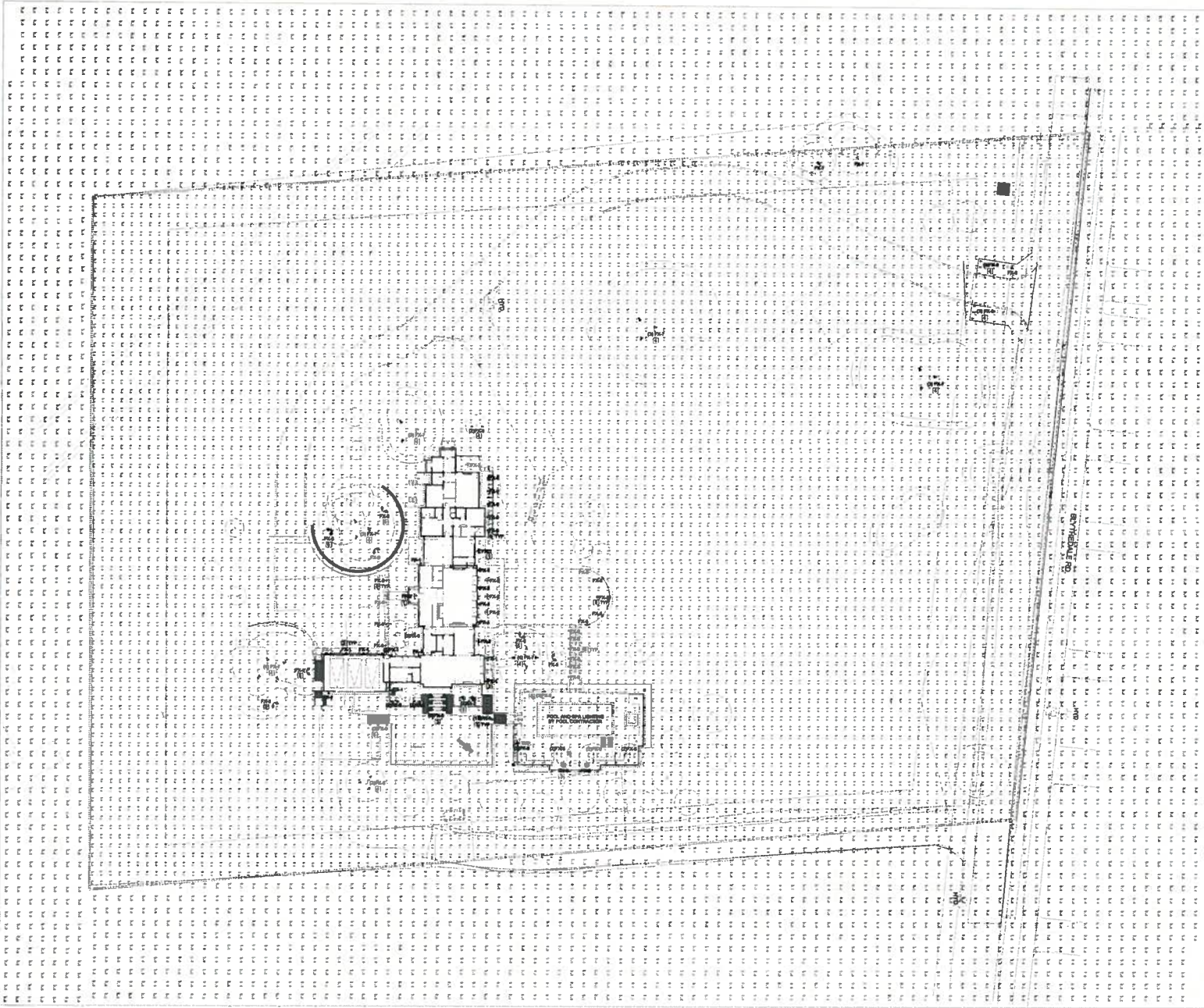
STAMP

SITE LIGHTING PLAN

SCALE
 as noted

LT-01

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LIGHTING KEY NOTES:

1. PROPOSED LOCATION FOR OWNER SUPPLIED, CONTRACTOR INSTALLED EXTERIOR RATED BOUNCE FIXTURE TO HAVE A HIGH EFFICACY SOURCE OR IS TO BE CONTROLLED THROUGH A MOTION SENSOR PHOTOCELL PER TITLE 24 REQUIREMENTS. EXACT LOCATION, QUANTITIES AND MOUNTING HEIGHTS TO BE CONFIRMED WITH ARCHITECT PRIOR TO INSTALLATION.
2. PROPOSED LOCATION FOR OWNER SUPPLIED, CONTRACTOR INSTALLED EXTERIOR RATED PENDANT FIXTURE. FIXTURE TO HAVE A HIGH EFFICACY SOURCE OR IS TO BE CONTROLLED THROUGH A MOTION SENSOR PHOTOCELL PER TITLE 24 REQUIREMENTS. EXACT LOCATION, QUANTITIES AND MOUNTING HEIGHTS TO BE CONFIRMED WITH ARCHITECT PRIOR TO INSTALLATION.
3. PROPOSED LOCATION FOR OWNER SUPPLIED, CONTRACTOR INSTALLED EXTERIOR RATED FLOOR LANTERN. FIXTURE TO HAVE A HIGH EFFICACY SOURCE OR IS TO BE CONTROLLED THROUGH A MOTION SENSOR PHOTOCELL PER TITLE 24 REQUIREMENTS. EXACT MOUNTING LOCATION AND QUANTITIES TO BE CONFIRMED WITH ARCHITECT PRIOR TO INSTALLATION.
4. STAKE MOUNTED BULLET UPLIGHT AT LANDSCAPE. FIXTURE TO AIM UP AT TREES AND/OR SHRUBS TO ILLUMINATE FOLIAGE. EXACT AIMING POSITIONS AND LOCATIONS TO BE ADJUSTED IN FIELD WITH LIGHTING DESIGNER AND ELECTRICAL CONTRACTOR.
5. TREE MOUNTED BULLET LIGHTS STRAPPED TO SELECT BRANCHES TO SHINE DOWN ON ADJACENT AREAS. EXACT AIMING POSITIONS AND LOCATIONS TO BE ADJUSTED IN FIELD WITH LIGHTING DESIGNER AND ELECTRICAL CONTRACTOR.
6. RECESSED MOUNTED WALL LIGHT. FIXTURE TO BE MOUNTED APPROXIMATELY 15" FROM CENTER OF FIXTURE TO A.F.F.
7. STEP LIGHT AT RISER. REFER TO MANUFACTURERS INSTALLATION INSTRUCTIONS.
8. STAKE MOUNTED PATH LIGHT. EXACT LOCATIONS TO BE ADJUSTED IN FIELD WITH LIGHTING DESIGNER AND ELECTRICAL CONTRACTOR.

FIXTURE SYMBOL KEY:

- ⬆️ DECORATIVE CEILING MOUNTED FIXTURE
- ⬆️ DECORATIVE WALL MOUNTED FIXTURE
- ☐ DECORATIVE LANDSCAPE LANTERN
- ⬆️ LANDSCAPE FIXTURE
- ⬆️ LANDSCAPE MOONLIGHT FIXTURE
- RECESSED STEPLIGHT

KAA DESIGN
 4281 REDWOOD BLVD. LOS ANGELES, CA 90008
 310.821.1400 FAX 310.821.1440
 kaa@kagroup.com

KGM
 KGM ARCHITECTURAL LIGHTING
 770 CORRAL CIRCLE
 EL SECONDO, CALIFORNIA 90248
 P: 310-823-2161 F: 310-823-2162

PROJECT

15105

SHEFFIELD RESIDENCE

REVISION

2016-04-20 CLIP PACKAGE
 2016-05-08 CLIP PACKAGE RESUBMITTAL
 2016-10-14 REVISED CLIP APPLICATION

STAMP

SITE PHOTOMETRIC STUDY

SCALE
 AS NOTED

LT-02

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Fourteenth Colony Lighting

Handcrafted Lighting

Memphis, Tennessee



800.297.9719

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Wall Mount

AVAILABLE IN 4 SIZES



CLICK PICTURE
TO ENLARGE

Model 4041

19.25" H
7.25" W
9" D

Model 4051 pictured

24" H
9.5" W
11.5" D

Model 4061

29" H
11.75" W
14" D

Model 4071

32" H
14" W
16.5" D

Standard

2-60W Candles (4041 has 2-40W)
Clear Glass

Glass Options

Clear (CLR)
Seedy (SDY)

Lamp Options

3-40W Candles (exc 4041)
4-40W Candles (exc 4041)

Finish Options

Raw Brass (RWB)
Antique Brass (AB)
Blackened Brass (DAB)

Raw Copper (RWC)*
Antique Copper (AC)*
Blackened Copper (DAC)

Antique Copper Verde (ACV)
Copper Verde (CV)
Rust (RT)

SHEFFIELD RESIDENCE | OLD AGOURA, CALIFORNIA

WALL MOUNTED EXTERIOR SCONCE

FX-1

KGM

270 CORAL CIRCLE | EL SEGUNDO, CALIFORNIA 90245 | TEL: 310.552.2191 | FAX: 310.552.2192

Fourteenth Colony Lighting

Handcrafted Lighting

Memphis, Tennessee



800.297.9719

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Ceiling Mount

AVAILABLE IN 4 SIZES



CLICK PICTURE TO ENLARGE

Model 4442

14.75" H
7.5" W

Model 4452 *pictured*

19.25" H
9.5" W

Model 4462

23.75" H
11.25" W

Model 4472

28.25" H
13.5" W

Standard

2-60W Candles (4442 has 2-40W)
Clear Glass
5" Rd Canopy
3' Chain

Glass Options

Clear (CLR)
Seedy (SDY) *pictured*

Lamp Options

3-60W Candles (exc 4442)
4-40W Candles (exc 4442)

Finish Options

Raw Brass (RWB)
Antique Brass (AB)
Blackened Brass (DAB) *pictured*
Oil Rubbed Brass (ORB)

Raw Copper (RWC)*
Antique Copper (AC)*
Blackened Copper (DAC)

Antique Copper Verde (ACV)
Copper Verde (CV)
Rust (RT)

*Finish will have brass accents

SHEFFIELD RESIDENCE | OLD AGOURA, CALIFORNIA

CEILING MOUNTED EXTERIOR PENDANT

FX-2

KGM

270 CORAL CIRCLE | EL SEGUNDO, CALIFORNIA 90245 | TEL: 310.552.2191 | FAX: 310.552.2192

Fourteenth Colony Lighting

Handcrafted Lighting

Memphis, Tennessee

800.297.9719

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Post / Column Mount

AVAILABLE IN 3 SIZES



CLICK PICTURE
TO ENLARGE

Model 4450

19.75" H

9.5" W

Model 4460 *pictured*

23.5" H

11.25" W

Model 4470

28" H

13.5" W

Column Mount Adapters

Standard

1-60W Medium

Clear Glass

3" Post Fitter

Glass Options

Clear (CLR)

Seedy (SDY) *pictured*

Lamp Options

2-60W Candles

3-60W Candles

4-40W Candles

Finish Options

Raw Brass (RWB)

Antique Brass (AB)

Blackened Brass (DAB)

Oil Rubbed Brass (ORB)

Raw Copper (RWC)*

Antique Copper (AC)*

Blackened Copper (DAC) *pictured*

Antique Copper Verde (ACV)

Copper Verde (CV)

Rust (RT)

*Finish will have brass accents

SHEFFIELD RESIDENCE | OLD AGOURA, CALIFORNIA

FLOOR MOUNTED EXTERIOR LANTERN

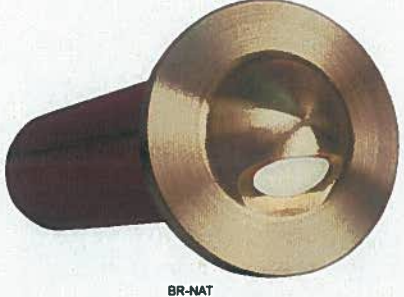
KGM

FX-3

270 CORAL CIRCLE | EL SEGUNDO, CALIFORNIA 90245 | TEL: 310.552.2191 | FAX: 310.552.2192

LSW8 MERIDIAN

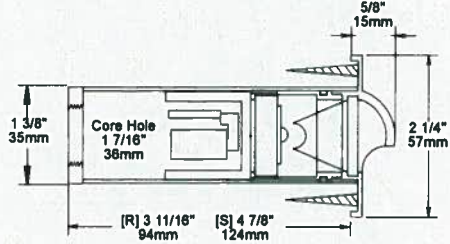
The LSW8 offers excellent illumination of walkways and steps in a small, rugged design. The graceful appearance of the eyelid effectively shields against glare, while the small aperture and soft diffusion lens allow excellent forward projection with even illumination side to side.



BR-NAT

Features Include:

- 1.25 Watts
- Cree XLAMP® (XR-E) LED
- 2700, 3000 or 4500K (CRI 80 typ.)
- Thermally Integrated™ and Field Serviceable LED Module
- 12 VAC Electronic or Magnetic
- Rated for interior and exterior use
- Dimmable to <10% typ.
- Copper Body with Solid Brass, Copper or Stainless Steel Faceplate



FACEPLATE OPTIONS



ORDERING GUIDE LSW8: L (LED) SW (STEP/WALL LIGHT) 8 (8 X 1/8 INCHES)

RED INDICATES REQUIRED FIELD

<p>FACEPLATE</p> <p>[BR] Brass [SS] Stainless Steel [SQ-BR] Square Brass* [CU] Copper</p> <p>*Available as Brass Only, NOT compatible with "FM" Option</p>	<p>LED</p> <p>[27] 2700K [30] 3000K [48] 4500K [27D] 2700K [30D] 3000K [48D] 4500K</p> <p>[D] = Dimmable</p>	<p>LENS</p> <p>[F] Frosted (Default) [C] Clear</p>	<p>MOUNT OPTIONS</p> <p>[R] Rear Conduit Entry [S] Side Conduit Entry [R-FM] Flush Mount-Rear Conduit Entry [S-FM] Flush Mount-Side Conduit Entry</p> <p>NOTE: Pre-sleeve w/ 1 1/2" Sched. 80 PVD (optional)</p>	<p>FINISH</p> <p>[NAT] Natural [BLP] Bronze Living Patina (Applies to BR, CU, SQ-BR) [NI] Nickel PVD (Applies to BR, SQ-BR) [PG] Powder Coat- Specify Color (Applies to BR, SQ-BR)</p>
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CARLSBAD, CA | PHONE 877 942 1179 | FAX 760 931 2916 | E-MAIL SALES@AURORALIGHT.COM | AURORALIGHT.COM
In a continuing product improvement program, Auroralight reserves the right to modify product specifications without notification. © 2015 Auroralight, Inc. 2-7-REV-7.0



SHEFFIELD RESIDENCE | OLD AGOURA, CALIFORNIA



RECESSED EXTERIOR WALL LIGHT- DIMMABLE

FX-5

270 CORAL CIRCLE | EL SEGUNDO, CALIFORNIA 90245 | TEL: 310.552.2191 | FAX: 310.552.2192

SPECIFICATIONS

DESCRIPTION:

Powerful adjustable accent LED light.
Suitable for wet/damp/dry location installations.

MATERIAL:

Standard overall material is 6061 aluminum.
HL-915 - Machined Aluminum

FINISH:

AA - Anodized Satin Aluminum
AP - Powder Coat Aluminum
BK - Powder Coat Black
BZ - Powder Coat Bronze
WT - Powder Coat White

LED OPTIONS:

Integral high output LED.
Two wattages available.
5 - 5W
250 lumens cool white
180 lumens warm white
15 - 15W
800 lumens cool white
650 lumens warm white
CCT - Correlated Color Temperature
27 - 2700K, 5W/15W
30 - 3000K, 5W
36 - 3500K, 5W/15W
42 - 4200K, 5W
46 - 4500K, 5W/15W
63 - 5300K, 5W
63 - 6300K, 5W
Optics - Four beam angles available.
SP - 10° Spot, 5W
NF - 20° Narrow Flood, 5W/15W
FL - 40° Flood, 5W/15W
WFL - 60° Wide Flood, 15W

VOLTAGE:

12 - 12-24 VAC magnetic output transformer required, not included.

MOUNTING:

Fixture is designed with a 1/2-NPS adjustable mounting stem.

OPTIONS:

Glare shields
GL-915 - Angled aluminum
Lenses/Louvers/Color Filters
LA-1-20 - Hexcell Louver (Black)
LA-2-20 - Prismatic lens
LA-3-20 - Linear spread lens
LA-4-20 - Soft focus lens (diffused)
LA-6-20 - Moonlight lens
LA-6-20 - Blue lens
See fixture accessories for more information.

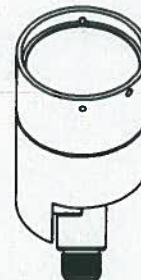
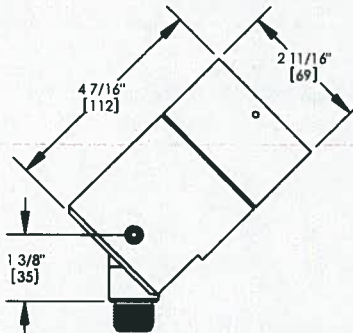
SAMPLE ORDER SPECIFICATION:
HL-915-15-35-NF-12-GL-915-LA-1-20

RATING:

Wet/damp/dry location.



MADE IN THE USA



ORDER SPECIFICATION: _____
Fixture Finish W-CCT-Optics Voltage Options/Access

PROJECT:

APPROVED:

NOTE:

TYPE:

HEVI LITE, INC.

9714 Variel Ave, Chatsworth, CA 91311
Tel., (818) 341-8091 - Fax (818) 998-1988
Web Site <http://www.hevilight.com>

CATALOG NUMBER:

HL-915

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SHEFFIELD RESIDENCE | OLD AGOURA, CALIFORNIA

SMALL STAKE MOUNTED UPLIGHT - DIMMABLE

FX-6

KGM

270 CORAL CIRCLE | EL SEGUNDO, CALIFORNIA 90245 | TEL:310.552.2191 | FAX:310.552.2192

SPECIFICATIONS

DESCRIPTION:

Powerful adjustable accent LED light.
Suitable for wet/damp/dry location installations.

MATERIAL:

Standard overall material is 6061 aluminum.
HL-915 - Machined Aluminum

FINISH:

AA - Anodized Satin Aluminum
AP - Powder Coat Aluminum
BK - Powder Coat Black
BZ - Powder Coat Bronze
WT - Powder Coat White

LED OPTIONS:

Integral high output LED.

Two wattages available.

5 - 5W
250 lumens cool white
180 lumens warm white
18 - 15W
800 lumens cool white
650 lumens warm white
CCT - Correlated Color Temperature
27 - 2700K, 5W/15W
30 - 3000K, 5W
35 - 3500K, 5W/15W
42 - 4200K, 5W
48 - 4500K, 5W/15W
63 - 5300K, 5W
63 - 6300K, 5W
Optics - Four beam angles available.
SP - 10° Spot, 5W
NF - 20° Narrow Flood, 5W/15W
FL - 40° Flood, 5W/15W
WFL - 60° Wide Flood, 15W

VOLTAGE:

12 - 12-24 VAC magnetic output transformer required, not included.

MOUNTING:

Fixture is designed with a 1/2-NPS adjustable mounting stem.

OPTIONS:

Glare shields
GL-915 - Angled, aluminum
Lenses/Louvers/Color Filters
LA-1-20 - Hexcell Louver (Black)
LA-2-20 - Prismatic lens
LA-3-20 - Linear spread lens
LA-4-20 - Soft focus lens (diffused)
LA-5-20 - Moonlight lens
LA-6-20 - Blue lens

See fixture accessories for more information.

SAMPLE ORDER SPECIFICATION:

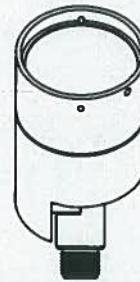
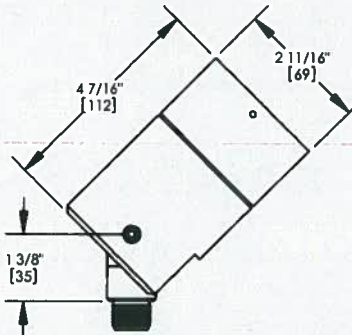
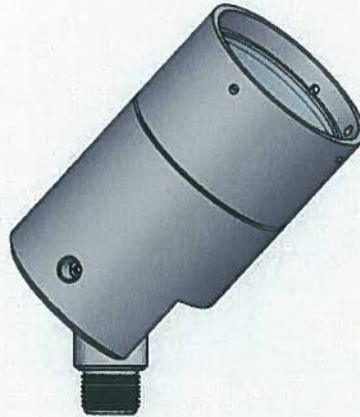
HL-915-15-35-NF-12-GL-915-LA-1-20

RATING:

Wet/damp/dry location.



MADE IN THE USA



ORDER SPECIFICATION:

Fixture	Finish	W-CCT-Optics	Voltage	Options/Access
PROJECT:		HEVI LITE, INC.		
APPROVED:		8714 Variel Ave, Chatsworth, CA 91311 Tel., (818) 341-8091 - Fax (818) 998-1988 Web Site http://www.hevilite.com		
NOTE:		CATALOG NUMBER:		
TYPE:		HL-915		

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SHEFFIELD RESIDENCE | OLD AGOURA, CALIFORNIA



LARGE STAKE MOUNTED UPLIGHT - DIMMABLE

FX-7

270 CORAL CIRCLE | EL SEGUNDO, CALIFORNIA 90245 | TEL: 310.552.2191 | FAX: 310.552.2192

SPECIFICATIONS

DESCRIPTION:
 Powerful adjustable accent LED light.
 Suitable for wet/damp/dry location
 installations.

MATERIAL:
 Standard overall material is 6061 aluminum.
 HL-915 - Machined Aluminum

FINISH:
 AA - Anodized Satin Aluminum
 AP - Powder Coat Aluminum
 BK - Powder Coat Black
 BZ - Powder Coat Bronze
 WT - Powder Coat White

LED OPTIONS:
 Integral high output LED.
 Two wattages available.
 5 - 5W
 250 lumens cool white
 180 lumens warm white
 16 - 15W
 800 lumens cool white
 650 lumens warm white
CCT - Correlated Color Temperature
 27 - 2700K, 5W/15W
 30 - 3000K, 5W
 36 - 3500K, 5W/15W
 42 - 4200K, 5W
 46 - 4500K, 5W/15W
 53 - 5300K, 5W
 63 - 6300K, 5W
Optics - Four beam angles available.
 SP - 10° Spot, 5W
 NF - 20° Narrow Flood, 5W/15W
 FL - 40° Flood, 5W/15W
 WFL - 60° Wide Flood, 15W

VOLTAGE:
 12 - 12-24 VAC magnetic output
 transformer required, not included.

MOUNTING:
 Fixture is designed with a 1/2"-NPS
 adjustable mounting stem.

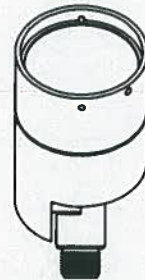
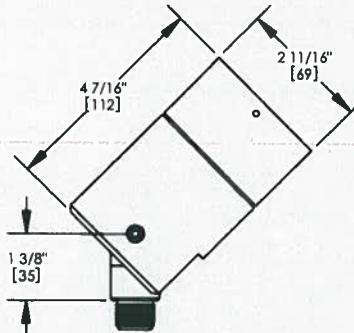
OPTIONS:
 Glare shields
 GL-915 - Angled, aluminum
 Lenses/Louvers/Color Filters
 LA-1-20 - Hexcell Louver (Black)
 LA-2-20 - Prismatic lens
 LA-3-20 - Linear spread lens
 LA-4-20 - Soft focus lens (diffused)
 LA-5-20 - Moonlight lens
 LA-6-20 - Blue lens
 See fixture accessories for more information.

SAMPLE ORDER SPECIFICATION:
 HL-915-15-35-NF-12-GL-915-LA-1-20

RATING:
 Wet/damp/dry location.



MADE IN THE USA



ORDER SPECIFICATION:				
Fixture	Finish	W-CCT-Optics	Voltage	Options/Access
PROJECT:		HEVI LITE, INC. 9714 Variel Ave, Chatsworth, CA 91311 Tel. (818) 341-8081 - Fax (818) 998-1986 Web Site http://www.hevilite.com		
APPROVED:				
NOTE:				
TYPE:				
		CATALOG NUMBER HL-915		

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SHEFFIELD RESIDENCE | OLD AGOURA, CALIFORNIA

DUAL HEADED TREE STRAP MOONLIGHTS - DIMMABLE

FX-8



270 CORAL CIRCLE | EL SEGUNDO, CALIFORNIA 90245 | TEL: 310.552.2191 | FAX: 310.552.2192



Model: **SPJ-JB100**
Finish: PVD Satin

Forever Bright

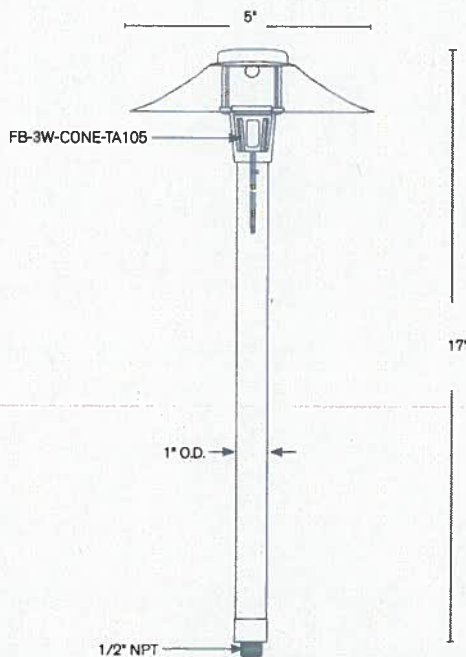
SPECIFICATION FEATURES

- Finish:** Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".
- Electrical:** Available in 8-15V
- Labels:** ETL Standard Wet Label
C-ETL

Path / Area Light

DESCRIPTION

- Model#:** SPJ-JB100
Material: Solid Brass
Electrical: 8-15V
Engine: FB-3W-Cone-TA105
Lumens: 105
Color Temp: 2700K
Mounting: 1/2" NPT.
LED: Nichia



ORDERING INFORMATION

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
SPJ-JB100	PVDS	3W	105	2700K	8-15V
V = Verde	GM = Gun Metal	3W	105	2700K	8-15V
M = Moss	B = Black	5W	125	4000K	
AB = Aged Brass	R = Rusty			6500K	
MBR = Matte Bronze	PVDP = PVD Polished				
RC = Raw Copper	PVDS = PVD Satin				

WWW.SPJLIGHTING.COM

SHEFFIELD RESIDENCE | OLD AGOURA, CALIFORNIA

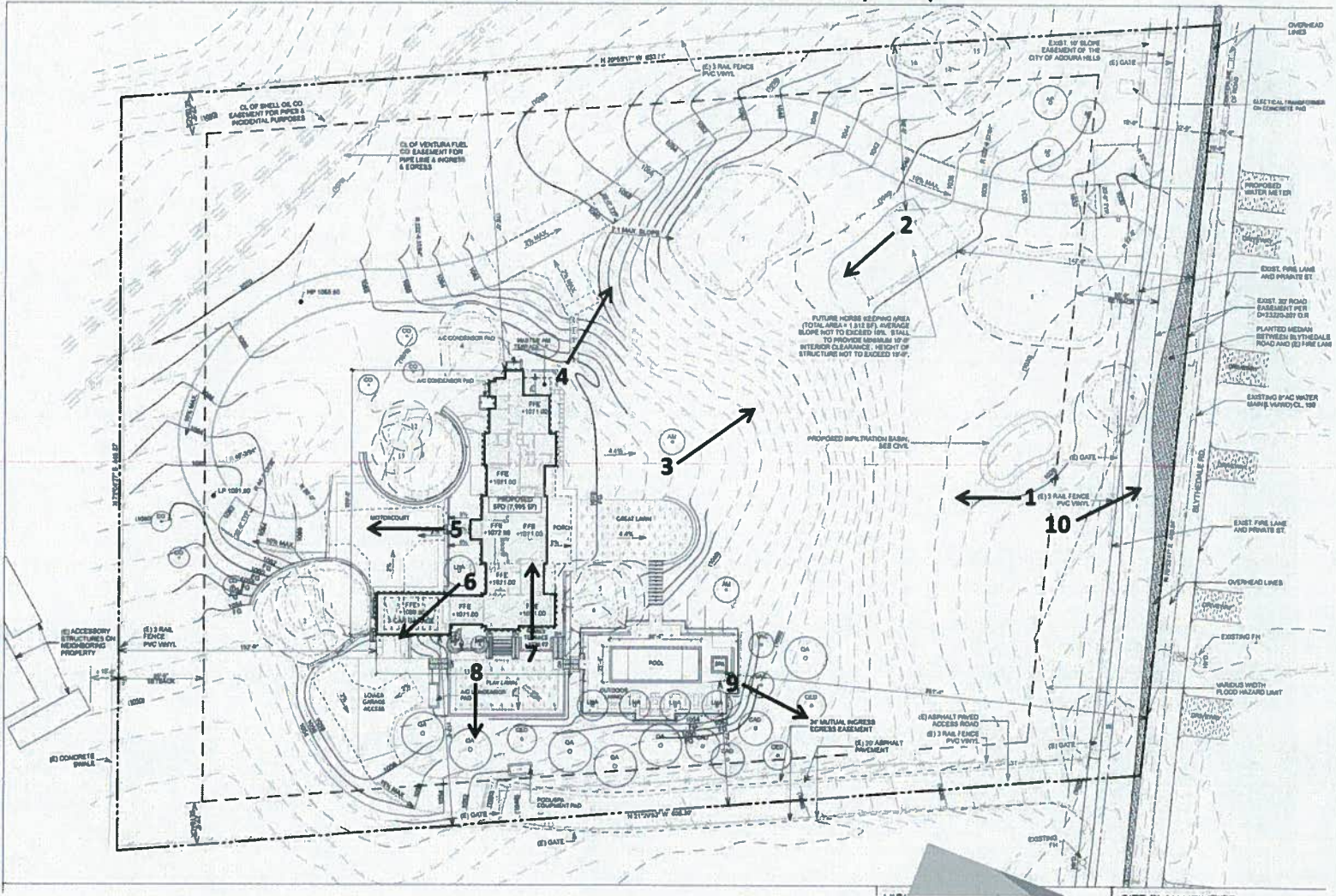


STAKE MOUNTED PATH LIGHT - DIMMABLE

FX-9

270 CORAL CIRCLE | EL SEGUNDO, CALIFORNIA 90245 | TEL: 310.552.2191 | FAX: 310.552.2192

27901 Blythedale Road – Photo Key Map





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