



PLANNING DEPARTMENT

DATE: March 15, 2018

TO: Planning Commission

APPLICANT: I&D Consulting for Geolinks
13900 Palawan Way, #28
Marina Del Rey, CA 90292

CASE NO.: WIRE-01394-2017

LOCATION: 30300 Agoura Road

REQUEST: Request for approval of a wireless telecommunications facility/conditional use permit to install new roof- and wall-mounted antennas, and making a finding of exemption under the California Environmental Quality Act (CEQA).

ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA per Section 15303 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Wireless Telecommunications Facility/Conditional Use Permit Case No. WIRE-01394-2017, subject to the conditions of approval in, and based on the findings of, the attached Draft Resolution.

ZONING DESIGNATION: PD (Planned Development) – Ladyface Mountain Specific Plan

GENERAL PLAN DESIGNATION: PD (Planned Development) – Ladyface Mountain Specific Plan

I. PROJECT BACKGROUND AND DESCRIPTION

I&D Consulting, an authorized representative for Geolinks, and applicant for the project, has applied for a Wireless Telecommunications Facility/Conditional Use Permit to install a new wireless telecommunications facility on the roof and facades of an office building located at 30300 Agoura Road, at the south terminus of Reyes Adobe Road. The site is zoned PD (Planned Development) and is within the Ladyface Mountain Specific Plan area. The project includes four (4) roof-mounted antennas, and two (2) wall-mounted antennas. Included in the scope of the application is the installation, operation and regular maintenance of all the equipment. The applicant is a new provider in the area and is seeking to use these antennas to provide broadband internet service to the tenants occupying the building and potentially extend its services to users within an eight-mile radius.

Geolinks submitted an application after having installed the antennas on the building without obtaining the required City entitlement, and without installing the wireless facility in accordance with the City's Wireless Telecommunications Facilities (WTF) Ordinance because, among other things, the facility is not properly screened. With staff's temporary consent, the current installation remains in place, but will be removed and reinstalled in accordance with the WTF Ordinance and conditions of the proposed CUP. After staff worked closely with the applicant's engineers, the applicant submitted plans and photo-simulations for the installation to demonstrate screening of the facility. The applicant states that the broadband internet connectivity is meant for the occupants of the building, but also for the surrounding area up to an eight-mile radius. This is the only wireless telecommunications facility on the new building and no expansion of the facility is expected in the near future.

Geolinks holds a California Public Utilities Commission Certificate of Public Convenience and Necessity (CPCN), which allows the company to provide public services to the public at large, and at the same time, the company must abide by industry regulatory standards, in this case the Federal Communications Commission (FCC), to protect the public health and safety. Per the Telecommunication Act of 1996, all facilities are required to operate below the maximum allowable radio frequency exposure limits. The applicant has provided staff with specifications of the equipment to be installed and certifies that the proposed facility meets FCC standards, developed by the American National Standards Institute (ANSI).

Per the City's Wireless Telecommunications Facility Ordinance, this project is subject to the Planning Commission's review and requires a conditional use permit.

II. STAFF ANALYSIS

A. Facility Plan

The parcel is 26.6 acres of rolling hills, except for the level pads containing two existing buildings. Aside from the subject 37,392 square-foot building, one other 34,452 square-foot building is located on the parcel in the rear of the building with parking lots in between the two buildings. The pad elevation is above Agoura Road and connected to the public right-of-way by a 1,000-foot long meandering driveway. The driveway provides access to both buildings addressed 30200 and 30300 Agoura Road. The 30300 Agoura Road building, on which the wireless facility is proposed to be installed, is the closest to the driveway. It is oriented in northeast-southwest direction, and set back 371 feet from the front property line and 701 feet from the east property line and 314 feet from the west property line. The building pad is 97 feet above the Agoura Road right-of-way and the building is 35 feet tall measured at the top of the parapet roof with a roof well at 27 feet.

As stated above, the wireless facility will be removed and reinstalled upon issuance of the proposed CUP. The proposed reconfiguration includes four antennas in the roof well, attached to a 75-inch high galvanized steel rack, which would rest on the flat part and in the center of the roof. They include two (2) 24-inch dish tall antennas next to two (2) 15-inch tall sector antennas. All four antennas are proposed to be attached to a rack that will rest on the roof, and secured in place by weights. The antennas' rack would not exceed the height of the parapet wall. Two (2) additional nano-station antennas are also proposed to be securely fastened to the walls of the building. Each antenna would be 21 feet apart, one facing in a northeast direction and the other facing in a northwest direction. Both 6-inch tall antennas would be built with a cover made out of a radio frequency transparent material to resemble a light sconce large enough to wrap around the antenna. No other equipment is proposed. The facility, including all six antennas combined, is smaller than typical facilities approved in the past as this focuses on providing broadband internet services instead of the typical wireless cellular and data transmission. As a result, very little modification to the building is required in order for the building to host the facility.

The new design would be consistent with Section 9661.5.B. of the City's WTF Ordinance, which addresses height, dimensions, screening, and other standards. The roof-mounted antennas that are mounted to a rack will not exceed the height of the parapet wall to ensure compliance with the maximum allowed height for the facility. The wall-mounted antennas will be covered with a screen that will be the minimum functionally necessary in size and will not project more than eighteen inches away from the wall in order to comply with the dimensions requirements. The elevation of the building pad is above the adjacent right-of-way and private properties, resulting in unobstructed lines-of-sight. With both the screening and blending methods, the facility will not impact the predominant views. No ground- or roof-mounted equipment is proposed to assist in the

operation of the facility so no noise and visual nuisance is expected from the facility.

B. Architectural Design

The potential visual impacts are minimized from both Agoura Road and Reyes Adobe Road rights-of-way since the facility is 97 feet above the rights-of-way and set back 371 feet from the edge of the front property line (Agoura Road). The roof antennas are screened by the existing parapet walls of the building, and the wall-mounted antennas are screened by a cover to resemble a decorative light fixture. The cover would be made of a radio frequency transparent material painted and textured to match the building. The facility would be visually inconspicuous and would fully blend in with the architectural style of the building. The proposed construction methods of placing the antennas below the top of the parapet roof, and behind a sconce fixture accomplish the goal of blending methods required by the Code.

C. General Plan Consistency

Staff finds the project would be consistent with the following applicable General Plan goal and policies:

Goal U-6: Telecommunication System. Quality communication systems that meet the demands of new and existing developments in the City.

- Policy U-6.1: Access and Availability. Work with service providers to ensure access to and availability of a wide range of state-of-the-art telecommunications systems and services for households, businesses and institutions throughout the City.

The project would provide quality communications systems to meet the demands of new and existing developments in the City by facilitating access to internet services and providing options for providers, with minimal equipment installation.

- Policy U-6.2: Design and Siting of Facilities. Require that the installation of telecommunications infrastructure, such as cellular sites and towers, be designed in a manner to minimize visual impacts on the surrounding environment and neighborhood, and to be as unobtrusive as possible.

The proposed wireless telecommunications facility is small and uses antennas that are completely screened and unobtrusive, as the antennas are screened by the roof parapet wall and a sconce like cover on the building walls.

D. Wireless Telecommunications Facilities Findings:

In addition to the Conditional Use Permit findings, the Planning Commission must make findings specifically related to wireless telecommunications facilities, as discussed below.

The proposed facility has also been designed and located in compliance with all applicable provisions of the Zoning Ordinance Section 9661. The wireless use remains secondary to the office use, and is permitted in this zone with a Conditional Use Permit/Wireless Telecommunications Facility Permit. The service carrier and the applicant on behalf of the carrier have demonstrated that they are permitted to install and operate such a service as demonstrated in the completed Supplemental Application for wireless telecommunications facilities.

The proposed facility has been designed and located to achieve compatibility with the community. The wireless telecommunications facility is incorporated in a roof well and attached to a wall, decorated to resemble a light fixture, for screening from public view. The roof is large enough to be able to serve other potential carriers. The facility is not expected to generate noise above the existing exterior ambient noise level of fifty-five (55) dBA, three feet from the noise source, because no separate mechanical equipment is proposed to operate the antennas.

E. Environmental Review

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorical Exempt from the CEQA Guidelines per Section 15303. This exemption includes the construction of accessory structures. No significant environmental impacts are expected from the development of this project. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines including but not limited to subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

III. RECOMMENDATION

Staff recommends, based on the findings of the attached resolution, that the Planning Commission approve Wireless Telecommunications Facility/Conditional Use Permit Case No. WIRE-01394-2017, subject to conditions of approval.

IV. ATTACHMENTS

1. Draft Resolution for the Wireless Telecommunications Facility/Conditional Use Permit with Exhibit A Conditions of Approval
2. Vicinity Map
3. Reduced Copy of Plans
4. Photo-simulations of the Proposed Changes

Case Planner: Valerie Darbouze, Associate Planner

DRAFT RESOLUTION NO. 18-___

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING WIRELESS TELECOMMUNICATIONS FACILITY/ CONDITIONAL USE PERMIT CASE NO. WIRE-01394-2017 FOR THE INSTALLATION OF A NEW FACILITY AT 30300 AGOURA ROAD; AND MAKING THE FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by I&D Consulting for Geolinks with respect to the real property located at 30300 Agoura Road (A.P.N. 2061-002-055) for a Wireless Telecommunications Facility/Conditional Use Permit to install four (4) roof-mounted antennas and two (2) wall-mounted antennas at an existing office building ("Project").

Section 2. The Project includes the operation of antennas on the roof an existing office building, and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (Class 3) because the project involves the construction and location of limited numbers of new, small facilities, or installation of small equipment into a structure. The project would not result in significant impacts to the environment. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c), which relates to unusual circumstances that could have a significant effect on the environment.

Section 3. The Planning Commission of the City of Agoura Hills considered the application at a public hearing held on March 15, 2018, at 6:30 p.m. in the Council Chambers of City Hall at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid was duly given.

Section 4. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 5. Conditional Use Permit. Pursuant to Section 9673.2.E. of the Agoura Hills Zoning Ordinance, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, that:

1. The proposed use is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. Wireless telecommunications facilities are allowed in the Planned Development (PD) zone subject to the issuance of a Conditional Use Permit (CUP). The roof- and wall-mounted antennas will be screened with a parapet roof and a sconce-like

fixture. Therefore, the additions to the building will not create a visual distraction or block views of adjacent buildings.

2. The proposed use is compatible with the surrounding properties. Wireless telecommunications facilities are allowed by the Zoning Ordinance in the PD zone. The use is consistent with the land use designation of the Planned Development zone, and is appropriate for this commercial area since the use provides internet services to the occupants of the office buildings, and no incompatible uses, including residential uses are located nearby.
3. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare. Wireless telecommunications facilities must be built in compliance with the City Building Code, and are subject to inspection by the Building Department to ensure they are constructed in a safe manner. The Federal Communications Commission (FCC) also regulates wireless telecommunications facilities with regards to other related health and safety issues, particularly radio frequency (RF) emissions, and establishes thresholds of the RF emissions beyond which a wireless telecommunications facility cannot exceed. Pursuant to the required Conditions of Approval in the Zoning Ordinance, the applicant must demonstrate continued compliance with established FCC RF emission standards.
4. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance. Wireless telecommunications facilities are allowed in the PD zone, subject to the issuance of a CUP. Each of the proposed antennas will comply with the applicable provisions of the Zoning Ordinance relative to the use, location, dimensions and appearance. The antennas will be placed on the flat roof of the building, and on the building walls, and no expansion of the existing building area is proposed.
5. The distance from other similar and like uses is sufficient to maintain the diversity within the community. There is only one wireless telecommunication provider with both wall mounted antennas and roof-mounted accessory equipment in the vicinity, which is 1,080 feet from the proposed facility. Over the years, other facilities have been approved on other commercial buildings in the vicinity of the proposed location, which have in most cases been screened from public view. Since the facility is not visible to the public, and does not require direct use of the facility by the public, the proposed facility does not adversely affect the concentration limitation imposed by the Conditional Use Permit requirements.
6. The proposed use is consistent with the goal and policies of the General Plan with respect to wireless telecommunications facilities, particularly with Goal U-6 and Policies U-6.1 and U-6.2. The General Plan seeks quality communication systems that meet the demands of new and existing developments in the City, which this proposed use does by providing improved

wireless telecommunication services and implementation of state-of-the-art telecommunications services in the form of an internet service. The General Plan requires that the installation of wireless telecommunication infrastructure, be designed in a manner as to minimize visual impacts on the surrounding environment and neighborhood, and to be as unobtrusive as possible, which this Project accomplishes by screening the antennas with a parapet roof wall and a scone like cover on the building walls.

Section 6. Wireless Telecommunications Facilities. Pursuant to Section 9661.7 of the Agoura Hills Zoning Ordinance, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds that:

1. The proposed facilities have been designed and located in compliance with all applicable provisions of Division 11 of Part 2, Chapter 6 of Title IX (Zoning) of the Agoura Hills Municipal Code. The proposed facility remains secondary to the office building on this parcel and is permitted in the PD zone with a CUP. The facility has been designed to effectively screen and camouflage the antennas. Further, the applicant has completed the supplemental application for a wireless telecommunications facility to the satisfaction of the Director of Planning, which serves, in part, as compliance verification for the project owners' licensing, FAA Compliance, RF Safety Disclosures, project build-out, alternative site locations analysis, visual and noise impacts analysis on adjacent properties, and uses required to be submitted in accordance to Section 9661 of the Zoning Ordinance.
2. The proposed facilities have been designed and located to achieve compatibility with the surrounding community. The wireless telecommunications facilities are incorporated into an existing building and adequately screened from the surrounding area.
3. The applicant has submitted a statement of its willingness to allow other carriers to collocate on the proposed wireless telecommunications facilities wherever technically and economically feasible, and where collocation would not harm community compatibility.
4. Noise generated by equipment will not be excessive, annoying nor be detrimental to the public health, safety, and welfare and will not exceed the standards set forth in Division 11 of Part 2, Chapter 6 of Title IX (Zoning) of the Agoura Hills Municipal Code. The project consists of antennas only, and that are not known to generate noise. The applicant has certified that the Project will not result in an increase of noise over current conditions. Further, the conditions of approval regulate permissible noise, and provide a procedure for addressing potential adverse noise effects.

Section 7. Based on the aforementioned findings, the Planning Commission hereby approves Wireless Telecommunications Facilities/Conditional Use Permit No.

WIRE-01394-2017, subject to the attached Conditions of Approval, with respect to the property described in Section 1.

Section 8. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED and ADOPTED this 15th day of March 2018, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Curtis Zacuto, Chairperson

ATTEST:

Doug Hooper, Secretary

Conditions of Approval
(Case No. WIRE-01394-2017)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of this Permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits: Site Plan; Elevation Plan; and Details Plans.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared and made a Condition of this action that if any Condition herein is violated or declared to be invalid, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Conditional Use Permit.
7. Unless this permit is used within two (2) years from the date of City approval, Case No. WIRE-01394-2017 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
8. Operation of the use shall not be granted until all Conditions of Approval have been complied with as determined by the Director of Planning.
9. Prior to the issuance of building permits, all requirements of the Los Angeles County Fire Department shall be satisfied.
10. The facility will require the approval of the Building and Safety Department prior to installation and operation. The facility shall comply with the 2016 California Building Code and other associated codes, and any other requirements determined necessary by the Building Official.

11. The term "facility" shall mean the wireless telecommunications facility described in the application and set forth in Section 1 of the Resolution approving these conditions of approval.

WIRELESS TELECOMMUNICATIONS FACILITIES STANDARD CONDITIONS

12. The Permittee shall include the applicant and all successors in interest to this permit.
13. The Permittee shall submit an as built drawing within ninety (90) days after installation of the facility.
14. The Permittee shall submit and maintain current at all times basic contact and site information on a form to be supplied by the City. The permittee shall notify the City of any changes to the information submitted within seven (7) days of any change, including change of the name or legal status of the owner or operator. This information shall include, but is not limited to, the following:
 - a. Identity, including the name, address and 24-hour local or toll free contact phone number of the permittee, the owner, the operator, and the agent or person responsible for the maintenance of the facility.
 - b. The legal status of the owner of the wireless telecommunications facility, including official identification numbers and Federal Communications Commission certification.
 - c. Name, address and telephone number of the property owner if different than the permittee.
15. Upon any transfer or assignment of the permit, the Director may require submission of any supporting materials or documentation necessary to determine that the proposed use is in compliance with the existing permit and all of its conditions of approval including, but not limited to, statements, photographs, plans, drawings, models, and analysis by a qualified radio frequency engineer demonstrating compliance with all applicable regulations and standards of the Federal Communications Commission and the California Public Utilities Commission. If the Director determines that the proposed operation is not consistent with the existing permit, the Director shall notify the permittee who shall either revise the application or apply for modification of the permit pursuant to the requirements of the Agoura Hills Municipal Code.
16. The Permittee shall not place any facilities that will deny access to, or otherwise interfere with, any public utility, easement, or right-of-way located on the site. The permittee shall allow the City reasonable access to, and maintenance of, all utilities and existing public improvements within or adjacent to the site, including, but not limited to, pavement, trees, public utilities, lighting and public signage.

17. At all times, all required notices and signs shall be posted on the site as required by the Federal Communications Commission and California Public Utilities Commission, and as approved by the City. The location and dimensions of a sign bearing the emergency contact name and telephone number shall be posted pursuant to the approved plans.
18. At all times, the permittee shall ensure that the facility complies with the most current regulatory and operational standards including, but not limited to, radio frequency emissions standards adopted by the Federal Communications Commission and antenna height standards adopted by the Federal Aviation Administration, and shall timely submit all monitoring reports required pursuant to section 9661.13 of the Agoura Hills Municipal Code.
19. If the Director determines there is good cause to believe that the facility may emit radio frequency emissions that are likely to exceed Federal Communications Commission standards, the Director may require post-installation testing, at permittee's expense, or the Director may require the permittee to submit a technically sufficient written report certified by a qualified radio frequency emissions engineer at other than the regularly required intervals specified in Section 9661.13 of the Agoura Hills Municipal Code, certifying that the facility is in compliance with such FCC standards.
20. The Permittee shall pay for and provide a performance bond, which shall be in effect until the facility is fully and completely removed and the site reasonably returned to its original condition, to cover permittee's obligations under these conditions of approval and the Agoura Hills Municipal Code. The bond coverage shall include, but not be limited to, removal of the facility, maintenance obligations and landscaping obligations. Such performance bond shall be in a form satisfactory to the City Attorney and Risk Manager, naming the City as obligee, in an amount equal to \$25,000.
21. If a nearby property owner registers a noise complaint and such complaint is verified as valid by the City, the City may hire a consultant to study, examine and evaluate the noise complaint and the permittee shall pay the fee for the consultant. The matter shall be reviewed by the Director. If the Director determines sound proofing or other sound attenuation measures should be required to bring the project into compliance with the Agoura Hills Municipal Code, the Director may impose that condition on the project after notice and a public hearing.
22. The Permittee, and property owner(s), and their successors in interest, shall indemnify, defend and hold harmless the City, its officials, officers, agents and employees (collectively "Indemnitees") from and against any and all claims, actions, lawsuits, damages, losses and liabilities arising or resulting from the granting of this approval by the City or the exercise of the rights granted by this approval. This indemnification obligation shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the Indemnitees in connection with any such claims, actions or lawsuits, any expert

fees, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such claim, action or lawsuit. The City shall promptly notify Permittee and property owners of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. In the event such a legal action is filed, the City shall estimate its expenses for litigation. Permittee or property owners shall deposit such amount with the City or enter into an agreement with the City to pay such expenses as they become due. Permittee and property owners shall reimburse the City, and each of the Indemnitees for any and all legal expenses and costs incurred by it in enforcing the indemnity herein provided. Although the Permittee is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.

23. The facility shall bear no signs or advertising devices other than certification, warning or other signage required by law or permitted by the City.
24. The facility shall not be illuminated unless specifically required by the Federal Aviation Administration or other government agency. Lightning arresters and beacon lights are not permitted unless required by the Federal Aviation Administration or other government agency. Any required lighting shall be shielded to eliminated, to the maximum extent possible, impacts on the surrounding neighborhoods, and a lighting study shall be prepared by a qualified lighting professional to evaluate potential impacts to adjacent properties , which must be reviewed and approved by the City prior to the installation of any lighting.
25. The Permittee shall submit to the City within ninety (90) days of beginning operations under this permit, and every two years from the date the facility begins operations, a technically sufficient report ("monitoring report") that demonstrates the following:
 - a. The facility is in compliance with applicable federal regulations, including Federal Communications Commission RF emissions standards, as certified by a qualified radio frequency emissions engineer;
 - b. The facility is in compliance with all provisions of this section and its conditions of approval.
 - c. The bandwidth of the facility has not been changed since the original application or last report, as applicable, and if it has, a full written description of that change.
26. Noise.
 - a. The facility shall be operated and maintained in such a manner so as to minimize any possible disruption caused by noise.

- b. The facility is not approved for a backup generator. In the event of an emergency that results in a loss of power to the facility, a temporary emergency backup generator may be employed and shall only be operated during periods of power outages, and shall not be tested on weekends or holidays, or between the hours of 7:00 PM and 7:00 AM. The temporary emergency backup generator shall be promptly removed from the premises once the emergency is terminated.
 - c. At no time shall equipment noise from the facility exceed an exterior noise level of fifty-five (55) dBA at the facility's property line and such equipment noise shall at no time be audible at the property line of any property zoned residential or improved with a residential use that is located within five hundred (500) feet of the facility.
 - d. All air conditioning units and any other equipment that may emit noise that would be audible from beyond the facility's property line shall be enclosed or equipped with noise attenuation devices to the extent necessary to ensure compliance with applicable noise limitations under the City of Agoura Hills Municipal Code.
 - e. Except for emergency repairs, any testing and maintenance activities that will be audible beyond the property line shall only occur between the hours of 7:00 a.m. and 7:00 p.m. on Monday through Friday, excluding holidays, unless alternative hours are approved by the Director.
27. Features designed to make the facility resistant to, and minimize opportunities for, unauthorized access, climbing, vandalism, graffiti and other conditions that would result in hazardous situations, visual blight or attractive nuisances shall not be removed by permittee and shall be maintained in good condition.
28. The facility, including, but not limited to, antennas, accessory equipment, walls, shields, cabinets, camouflage, and the facility site, shall be maintained in good condition, including ensuring the facility is reasonably free of:
 - a. General dirt and grease;
 - b. Chipped, faded, peeling, and cracked paint;
 - c. Rust and corrosion;
 - d. Cracks, dents, and discoloration;
 - e. Missing, discolored or damaged screening or other camouflage;
 - f. Graffiti, bills, stickers, advertisements, litter and debris;
 - g. Broken and misshapen structural parts; and

- h. Any damage from any cause.
- 29. The Permittee shall replace its facility, or part thereof, after obtaining all required permits, if maintenance or repair is not sufficient to return the facility to the condition it was in at the time of installation. The permittee shall routinely inspect the facility and site to ensure compliance with the standards set forth in the Agoura Hills Municipal Code and these conditions of approval.
- 30. Graffiti shall be removed from a facility as soon as practicable, and in no instance more than twenty-four (24) hours from the time of notification by the City unless a provision of the Agoura Hills Municipal Code provides a shorter time period for removal.
- 31. In the event Permittee desires to modify the facility, Permittee shall apply for and obtain all permits or permit amendments required by the Agoura Hills Municipal Code prior to making any modification to the facility. At a minimum, any application for modification to the facility shall use the screening and camouflage designs approved by this permit unless a more effective screen, concealment or camouflage design is proposed by the permittee or required by the Agoura Hills Municipal Code, or the building is remodeled such that it necessitates a new screen, concealment or camouflage design that is consistent with the building façade. Additionally, to the extent feasible, existing equipment shall be replaced with equipment that reduces visual, noise and other impacts, including, but not limited to, replacing larger, more visually intrusive facilities with smaller, less visually intrusive facilities. "Modification" means a change to an existing wireless telecommunications facility that involves any of the following: collocation, expansion, alteration, enlargement, intensification, reduction, or augmentation, including, but not limited to, changes in size, shape, color, visual design, or exterior material. "Modification" does not include repair, replacement or maintenance if those actions do not involve a change to the existing facility involving any of the following: collocation, expansion, alteration, enlargement, intensification, reduction, or augmentation
- 32. This permit shall be valid for a period of ten (10) years from the date of Planning Commission approval, which is the date of issuance, unless pursuant to another provision of the Agoura Hills Municipal Code it lapses sooner or is revoked. At the end of ten (10) years from the date of issuance, this permit shall expire.
- 33. In the event the facility ceases to provide wireless telecommunications services for ninety (90) or more consecutive days, the facility shall be considered abandoned and shall be promptly removed as provided in these conditions of approval and the Agoura Hills Municipal Code. If there are two (2) or more users of a single facility, then this provision shall not become effective until all users cease using the facility.
- 34. The Permittee shall notify the City in writing of its intent to abandon or cease use of the facility within ten (10) days of ceasing or abandoning use. Additionally, the

Permittee shall provide written notice to the Director of any discontinuation of operations of thirty (30) days or more.

35. Failure to inform the Director of cessation or discontinuation of operations of the facility as required by these conditions of approval shall constitute a violation of the conditions of approval and be grounds for:
 - a. Prosecution;
 - b. Revocation or modification of the permit;
 - c. Calling of any bond or other assurance required by the Agoura Hills Municipal Code or conditions of approval of the permit;
 - d. Removal of the facility by the City in accordance with the procedures established under the Agoura Hills Municipal Code for abatement of a public nuisance at the permittee's expense; and/or
 - e. Any other remedies permitted under the Agoura Hills Municipal Code.
36. Upon the expiration date of the permit, including any extensions, earlier termination or revocation of the permit or abandonment of the facility, the permittee, the property owner, or both shall remove the facility and restore the site to its natural condition except for retaining the landscaping improvements and any other improvements at the discretion of the City. Removal shall be in accordance with proper health and safety requirements and all ordinances, rules, and regulations of the City. The facility shall be removed from the property, at no cost or expense to the City. The private property owner shall be independently responsible for the expense of timely removal and restoration.
37. Failure of the permittee, property owner, or both to promptly remove the facility and restore the property within thirty (30) days after expiration of this permit, earlier termination or revocation of this permit, or abandonment of the facility, shall be a violation of the Agoura Hills Municipal Code, and shall be grounds for:
 - a. Prosecution;
 - b. Calling of any bond or other assurance required by the Agoura Hills Municipal Code or conditions of approval of permit;
 - c. Removal of the facility by the City in accordance with the procedures established under the Agoura Hills Municipal Code for abatement of a public nuisance at the permittee and/or property owner's expense; and/or
 - d. Any other remedies permitted under the Agoura Hills Municipal Code.
38. The facility shall comply at all times with any and all applicable local, state, and federal laws, regulations and guidelines. Any violation of these conditions of

approval or the Agoura Hills Municipal Code may be subject to the citations, penalties and fines as set forth in the Agoura Hills Municipal Code, other available remedies and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.

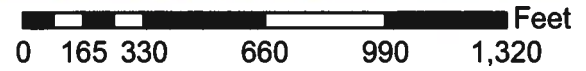
39. The Permittee shall remove the existing installation and replace it with the new approved design. Repairs shall be made to the building wherever necessary.
40. No portion of the antenna, antenna mount, or cables shall protrude above or below or the sides of the sconce.
41. The Permittee shall install and at all times maintain in good condition an "RF Caution" sign on the back of the rack supporting the antennas. Geolinks shall install the sign required under this condition so that a person may clearly see and understand the sign as he or she approaches the rack.
42. The Permittee shall ensure that all signage complies with FCC OET Bulletin 65 or ANSI C95.2 for color, symbol, and content conventions. All such signage shall at all times provide a working local or toll-free telephone number to its network operations center, and such telephone number shall be able to reach a live person who can exert transmitter power-down control over this site as required by the FCC.

END

City of Agoura Hills

WIRELESS TELECOMMUNICATIONS FACILITY PERMIT CASE NO. WIRE-01394-2017

Vicinity/Zoning
Map



RIDGE TOWER

30300 AGOURA ROAD
AGOURA HILLS, CA 91301



UNDERGROUND
SERVICE ALERT OF
SOUTHERN CALIFORNIA
800-272-2800
48 HOURS BEFORE YOU DIG

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2016 CALIFORNIA ADMINISTRATIVE CODE
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA ELECTRIC CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA FIRE CODE
- ANY LOCAL BUILDING CODE AMENDMENTS TO THE ABOVE
- CITY/COUNTY ORDINANCES

HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA ADMINISTRATIVE STATE CODE PART 2, TITLE 24, CHAPTER 11B, DIVISION 4.

PROJECT DESCRIPTION

THIS IS A NEW UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE INSTALLATION AND OPERATION OF ANTENNAS AND ASSOCIATED EQUIPMENT.

- INSTALLATION OF ONC (1) NEW ANTENNA FRAME & SIX (6) NEW ANTENNAS AS SHOWN ON THE ACCOMPANYING DRAWINGS AND AS FOLLOWS:
 - TWO (2) 24" DISH ANTENNAS BY UBIQUITI (MODEL# RD-SG30) ON PIPE MASTS AT ROOFTOP BEHIND MANSARD ROOF.
 - TWO (2) SMALL SECTOR ANTENNAS BY UBIQUITI (MODEL# AM-SG16-120) ON PIPE MASTS AT ROOFTOP BEHIND MANSARD ROOF.
 - ONE (1) NEW NON-PENETRATING ROOF FRAME BY COMMSCOPE (MODEL# RF-NL-10-B) MOUNTED AT ROOFTOP BEHIND MANSARD ROOF.
 - TWO (2) NANOSTATION ANTENNAS BY UBIQUITI (MODEL# LDCO M3) WALL MOUNTED BEHIND CAMOUFLAGED FRP SCONCE COVERS.

DRIVING DIRECTIONS

FROM: LA COUNTY DPW BUILDING & SAFETY

- START OUT COMING SOUTH ON NARBONNE AVE TOWARD 245TH ST.
- TURN RIGHT ONTO LOMITA BLVD.
- TURN RIGHT ONTO CORKSHAW BLVD
- TURN RIGHT ONTO W 182ND ST.
- MERGE ONTO I-405 N/SAN DIEGO FRY W TOWARD SANTA MONICA.
- MERGE ONTO US-101 N/VENTURA FRY W VIA EXIT 638 TOWARD VENTURA
- TAKE THE KANAN RD EXIT, EXIT 36.
- TURN LEFT ONTO COUNTY HWY-N9/KANAN RD.
- TURN RIGHT ONTO AGOURA RD.
- TURN LEFT ONTO REYES AGOURA RD AND FOLLOW ROAD TO SITE.
- ARRIVE AT 30300 AGOURA ROAD, AGOURA HILLS, CA 91301. SITE IS ON FIRST BUILDING.

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWING:

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

SHEET INDEX

SHEET	DESCRIPTION	REV.
T-1	TITLE SHEET, SITE INFORMATION, AND VICINITY MAP	0
T-2	GENERAL NOTES	0
A-1	SITE PLAN	0
A-2	ROOF PLAN	0
A-3	ANTENNA PLANS	0
A-4	ELEVATIONS	0
A-5	EQUIPMENT DETAILS	0
A-6	EQUIPMENT DETAILS	0
A-7	RF EXPOSURE NOTES AND FCC NOTICE SIGNS	0
A-8	ELECTRICAL SITE PLAN	0
A-9	ELECTRICAL DETAILS	0
L-1	NORTHWEST LINE OF RIGHT STUDY	0
L-2	NORTHEAST LINE OF RIGHT STUDY	0

APPROVALS

LANDLORD: _____
 CONSTRUCTION MANAGER: _____
 RF ENGINEER: _____
 SITE ACQUISITION MANAGER: _____
 ZONING MANAGER: _____
 PROGRAM PROJECT MANAGER: _____
 PROGRAM REGIONAL MANAGER: _____
 A&E MANAGER: _____
 COMPLIANCE: _____

PROJECT TEAM

ENGINEER:
 PDC CORPORATION
 13029 DANIELSON ST., SUITE 130
 POWAY, CA 92084
 CONTACT: SOHALE SHAH, PE
 PHONE: (858) 688-2828
 FAX: (858) 688-2827
 EMAIL: sohail.shah@pdccorp.net

APPLICANT:
 CALIFORNIA INTERNET, L.P., DBA COUNIKS
 251 CAMARILLO RANCH RD.
 CAMARILLO, CA 93012
 CONTACT: VITO ADAMO
 PHONE: (888) 225-1571 EXT. 8113

AGENT:
 M&D CONSULTING
 13800 PALAWAN WAY, SUITE 28
 MARINA DEL REY, CA 90292
 CONTACT: JACQUE MUNICH
 PHONE: (858) 442-1207
 EMAIL: jmunich@mconsulting.us

PROJECT INFORMATION

SITE ADDRESS: 30300 AGOURA ROAD
AGOURA HILLS, CA 91301

APN: 2061-002-075

PROPERTY OWNER: AGOURA HILLS CORP POINT / LLC
2655 1ST STREET #245
SUN VALLEY, CA 93065

LATITUDE: 34.1438351° N (NAD83)

LONGITUDE: 118.7829674° W (NAD83)

GROUND ELEVATION: 1065.0' AMSL

HEIGHT OF STRUCTURE: 35' AGL

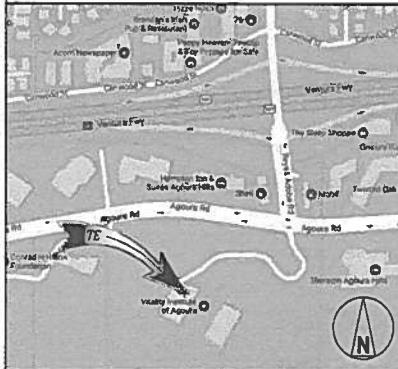
JURISDICTION: CITY OF AGOURA HILLS

EXISTING ZONING: PD - LADYFACE MOUNTAIN SPECIFIC PLAN

PROPOSED ZONING: PD - LADYFACE MOUNTAIN SPECIFIC PLAN

PROPOSED USE: UNMANNED TELECOMMUNICATION FACILITY

VICINITY MAP



PROJECT INFORMATION:

RIDGE TOWER

30300 AGOURA ROAD
AGOURA HILLS, CA 91301

CURRENT ISSUE DATE:

11/21/17

ISSUED FOR:

90% CONSTRUCTION DRAWING

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
0	11/21/17	90% CONSTRUCTION DRAWING	JP

PLANS PREPARED BY:

PDC CORPORATION



13029 DANIELSON ST., SUITE 130
POWAY, CA 92084
TEL: (858) 688-2828
FAX: (858) 688-2827

CONSULTANT:



11850 WISCONSIN PARK DRIVE, #100
RANCHO CUCAMONGA, CA 91730

DRAWN BY: CHK.: APV.:

JP RSD SAS

LICENSER:



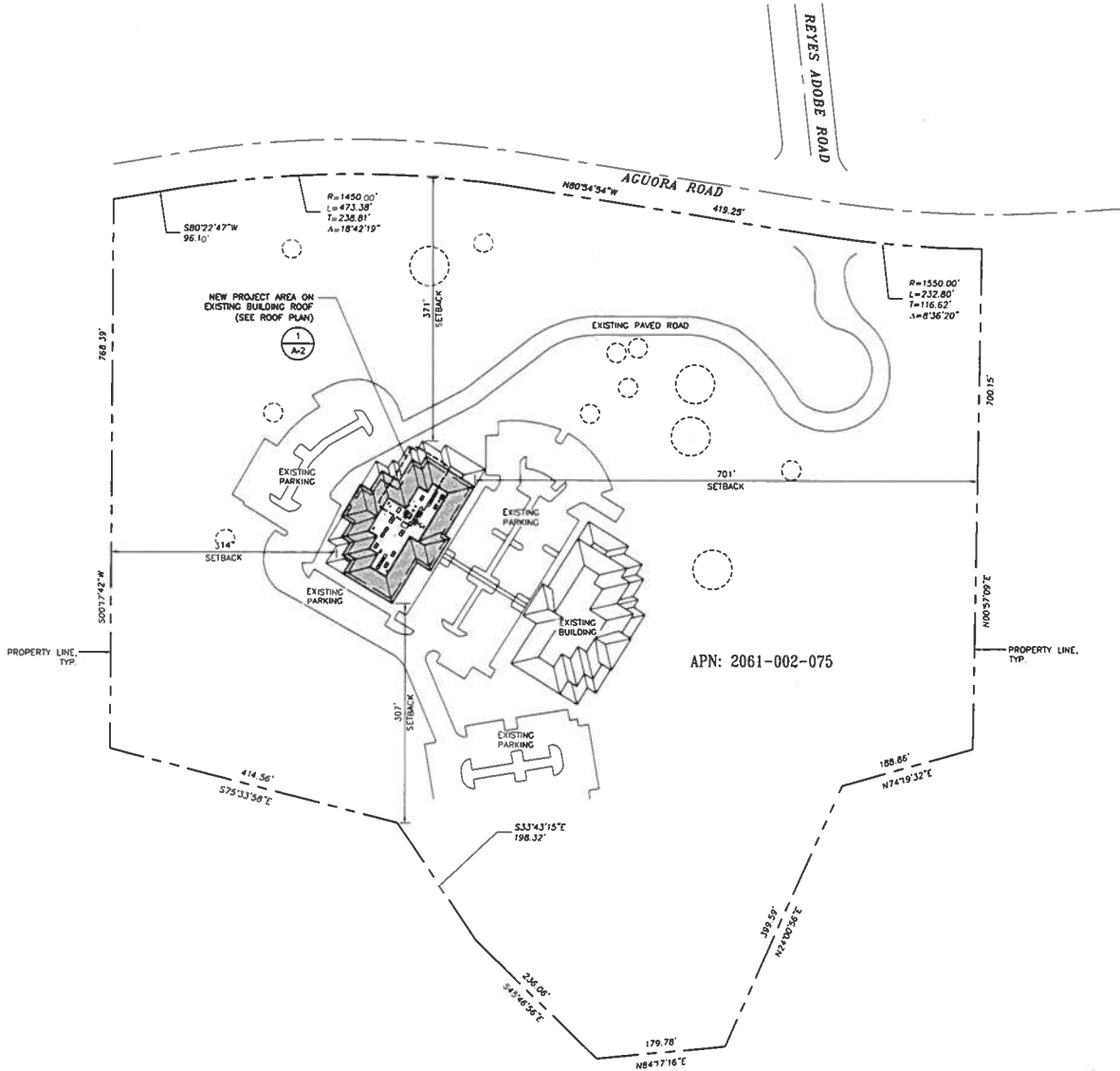
SHEET TITLE:

TITLE SHEET, SITE INFORMATION, AND VICINITY MAP

SHEET NUMBER:

T-1

SCALE NOTE:
 IF DIMENSIONS SHOWN ON PLAN DO NOT
 SCALE CORRECTLY, CHECK FOR REDUCTION
 OR ENLARGEMENT FROM ORIGINAL PLANS



SITE PLAN

0 40' 80' SCALE
 1" = 80'-0" 1

PROJECT INFORMATION:

RIDGE TOWER

30300 AGOURA ROAD
 AGOURA HILLS, CA 91301

CURRENT ISSUE DATE:

11/21/17

ISSUED FOR:

**90% CONSTRUCTION
 DRAWING**

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
0	11/21/17	90% CONSTRUCTION DRAWING	JP

PLANS PREPARED BY:



13079 DANIELSON ST. SUITE 130
 POWAY, CA 92064
 TEL: (619) 668-2828
 FAX: (619) 668-2827

CONSULTANT:



11850 MISSION PARK DRIVE, F106
 RANCHO CUCAMONCA, CA 91730

DRAWN BY: CHK.: APV.:

JP RSD SAS

LICENSER:



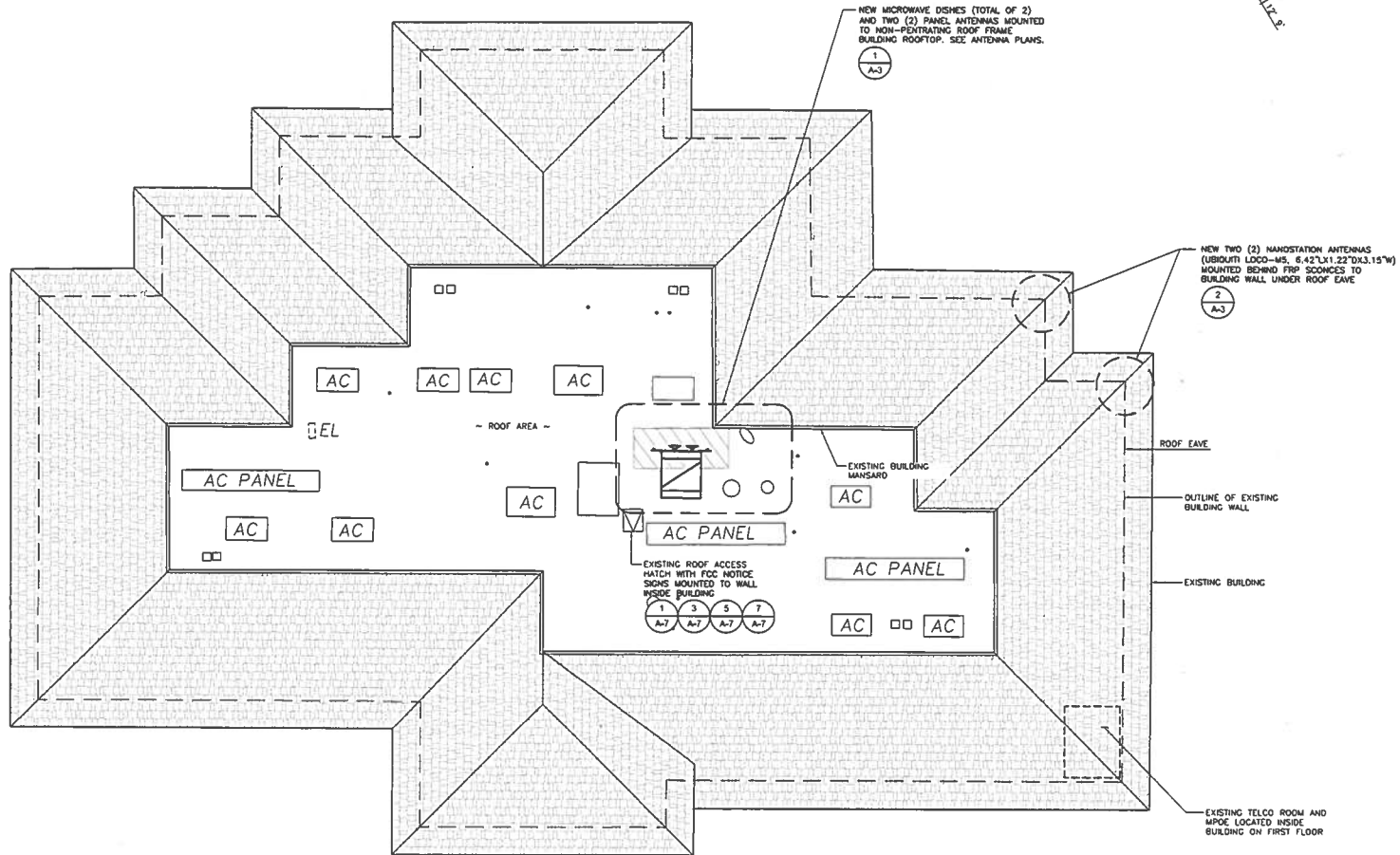
SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A-1

SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT
SCALE CORRECTLY, CHECK FOR REDUCTION
OR ENLARGEMENT FROM ORIGINAL PLANS.



FRP SCOURCE NOTE:
NEW FRP SCREEN BOXES SHALL
BE TEXTURED AND PAINTED TO
MATCH EXISTING WALL CONDITIONS.

0 5' 10' SCALE
1" = 10'-0" 1

PROJECT INFORMATION:
RIDGE TOWER
30300 AGOURA ROAD
AGOURA HILLS, CA 91301

CURRENT ISSUE DATE:
11/21/17

ISSUED FOR:
90% CONSTRUCTION
DRAWING

REV.:	DATE:	DESCRIPTION:	BY:
0	11/21/17	90% CONSTRUCTION DRAWING	JP

PLANS PREPARED BY:
PDD CORPORATION
CPD
13029 DANIELSON ST, SUITE 130
TOWAY, CA 92084
TEL: (858) 868-2828
FAX: (858) 868-2827

CONSULTANT:
SALEM
engineering group, inc.
11550 MISSION PARK DRIVE, F108
RANCHO CUCAMONGA, CA 91730

DRAWN BY: JP CHK.: RSD APV.: SAS



SHEET TITLE:
ROOF PLAN

SHEET NUMBER:
A-2

ROOF PLAN

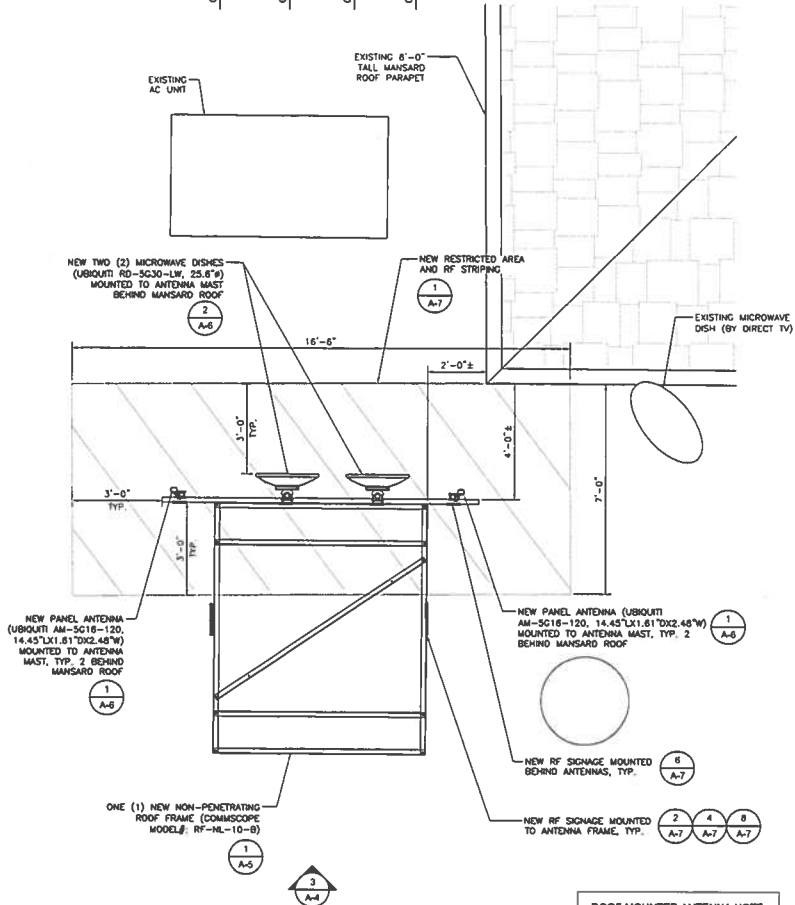
SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT
SCALE CORRECTLY, CHECK FOR REDUCTION
OR ENLARGEMENT FROM ORIGINAL PLANS.

AM-5G16-120
AZIMUTH = TBO

RD-5G30-LW
AZIMUTH = TBO

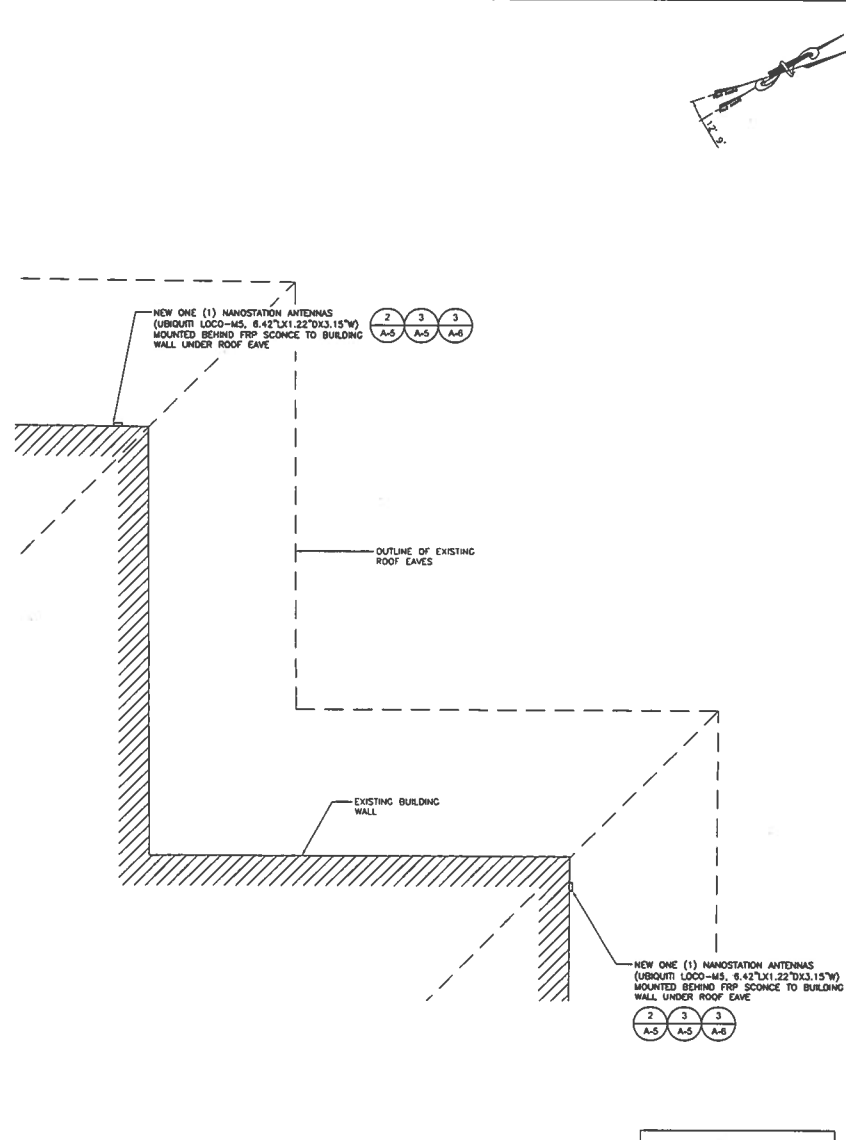
RD-5G30-LW
AZIMUTH = TBO

AM-5G16-120
AZIMUTH = TBO



ROOF MOUNTED ANTENNA NOTE:
ALL NEW ROOF MOUNTED ANTENNAS
SHALL BE IN LINE WITH THE HEIGHT
OF THE EXISTING ROOF-LINE.

EXISTING ANTENNA PLAN AT ROOF TOP



FRP SCOUNCE NOTE:
NEW FRP SCREEN BOXES SHALL
BE TEXTURED AND PAINTED TO
MATCH EXISTING WALL CONDITIONS.

ANTENNA PLAN AT BUILDING WALL



PROJECT INFORMATION:

RIDGE TOWER

3000 AGOURA ROAD
AGOURA HILLS, CA 91301

CURRENT ISSUE DATE:

11/21/17

ISSUED FOR:

**90% CONSTRUCTION
DRAWING**

REV. DATE DESCRIPTION BY:

REV.	DATE	DESCRIPTION	BY
0	11/21/17	90% CONSTRUCTION DRAWING	JP

PLANS PREPARED BY:

POD CORPORATION



13029 DANIELSON ST, SUITE 130
TOWAY, CA 90094
TEL: (858) 888-2825
FAX: (858) 888-2827

CONSULTANT:



11530 WESSON PARK DRIVE, #108
RANCHO CUCAMONGA, CA 91730

DRAWN BY: CHK.: APV.:

JP RSD SAS

LICENSER:



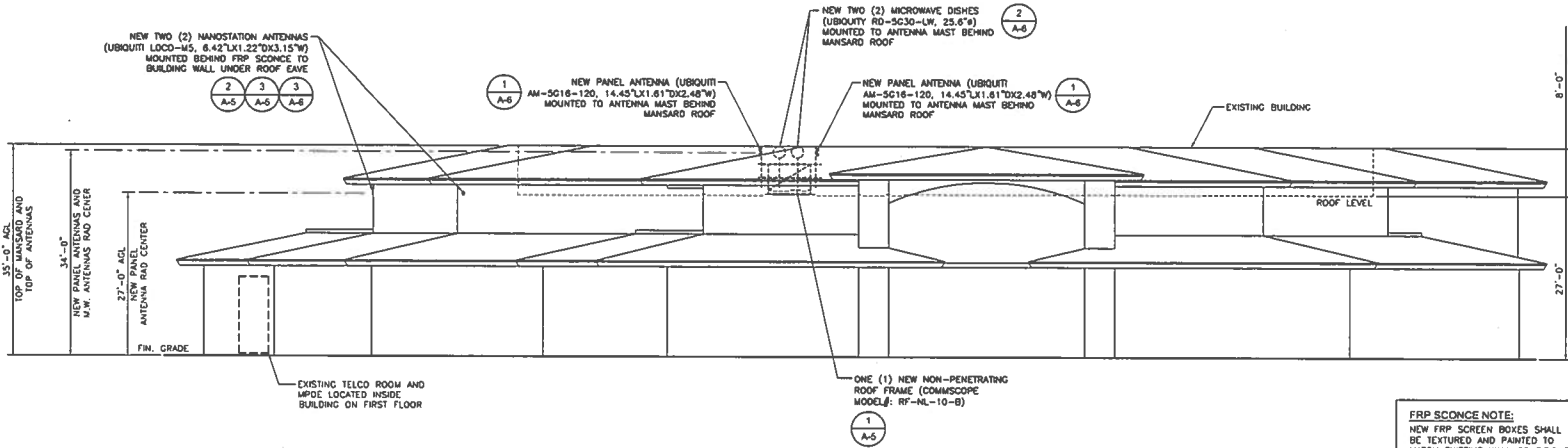
SHEET TITLE:

ANTENNA PLANS

SHEET NUMBER:

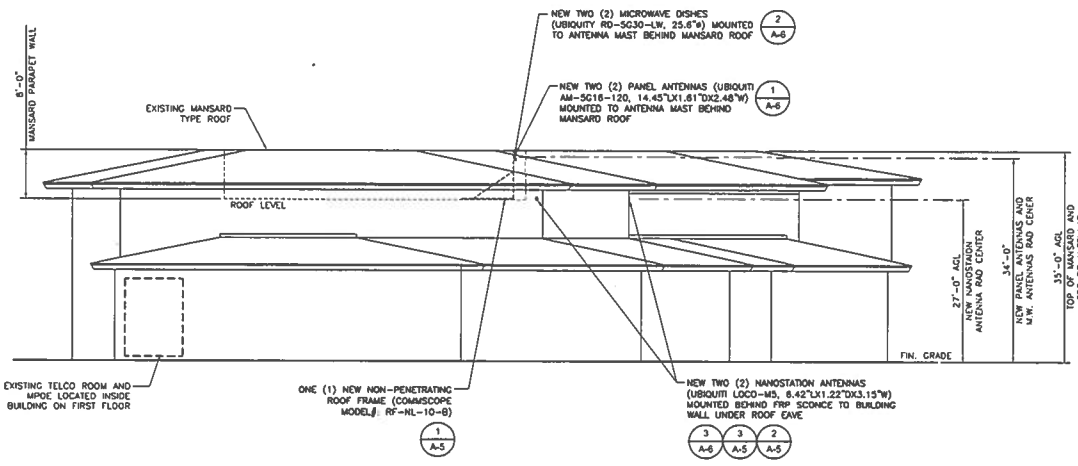
A-3

SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.



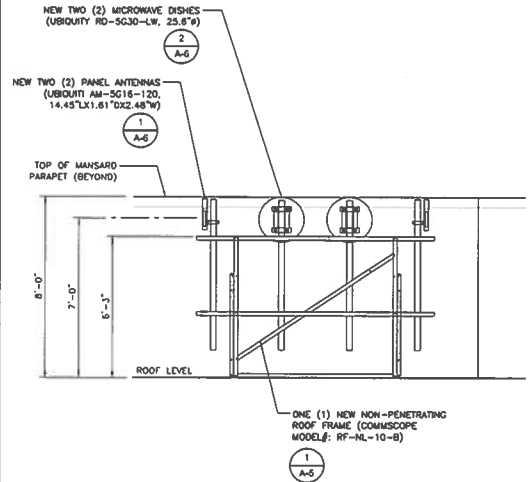
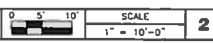
FRP SCIENCE NOTE:
NEW FRP SCREEN BOXES SHALL BE TEXTURED AND PAINTED TO MATCH EXISTING WALL CONDITIONS.

NEW NORTHWEST ELEVATION



FRP SCIENCE NOTE:
NEW FRP SCREEN BOXES SHALL BE TEXTURED AND PAINTED TO MATCH EXISTING WALL CONDITIONS.

NEW NORTEAST ELEVATION



ROOF MOUNTED ANTENNA NOTE:
ALL NEW ROOF MOUNTED ANTENNAS SHALL BE IN LINE WITH THE HEIGHT OF THE EXISTING ROOF-LINE.

SOUTHEAST ELEVATION



PROJECT INFORMATION:

RIDGE TOWER
30000 AGOURA ROAD
AGOURA HILLS, CA 91301

CURRENT ISSUE DATE:
11/21/17

ISSUED FOR:
90% CONSTRUCTION DRAWING

REV.: DATE: DESCRIPTION: BY:

0	11/21/17	90% CONSTRUCTION DRAWING	JP
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PLANS PREPARED BY:
PDC CORPORATION

CPD

13029 DANIELSON ST, SUITE 130
POWAY, CA 92084
TEL: (658) 668-2828
FAX: (658) 668-2827

CONSULTANT:
SALEM
engineering group inc.

11650 MISSION PARK DRIVE, #108
RANCHO CUCAMONCA, CA 91730

DRAWN BY: CHK.: APV.:

JP	RSD	SAS
----	-----	-----

LICENSER:

REGISTERED PROFESSIONAL ENGINEER
SOPHIA SHAH
No. C60216
EXP. 06-30-18
CIVIL
STATE OF CALIFORNIA

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A-4

- DESIGN AND CONSTRUCTION OF ANTENNA SUPPORTS SHALL CONFORM TO CURRENT ANSI/AIAA-222 OR APPLICABLE LOCAL CODES.
- ALL STEEL MATERIALS SHALL BE GALVANNEED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS NOTED OTHERWISE.
- ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS NOTED OTHERWISE.
- DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A750.
- ALL ANTENNA MOUNTS SHALL BE INSTALLED WITH LOCK NUTS, DOUBLE NUTS AND SHALL BE TORQUED TO MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL INSTALL ANTENNA PER MANUFACTURER'S RECOMMENDATION FOR INSTALLATION AND GROUNDING.
- ALL UNUSED PORTS ON ANY ANTENNAS SHALL BE TERMINATED WITH A 50-OHM LOAD TO ENSURE ANTENNAS PERFORM AS DESIGNED.
- PRIOR TO SETTING ANTENNA AZIMUTHS AND DOWNTILTS, ANTENNA CONTRACTOR SHALL CHECK THE ANTENNA MOUNT FOR TIGHTNESS AND ENSURE THAT THEY ARE PLUMB. ANTENNA AZIMUTHS SHALL BE SET FROM TRUE NORTH AND BE ORIENTED WITHIN +/- 0.5% AS DEFINED BY THE RFDS. ANTENNA DOWNTILTS SHALL BE WITHIN +/- 0.5% AS DEFINED BY THE RFDS. REFER TO ND-00246.
- JUMPERS FROM THE TMA'S MUST TERMINATE TO OPPOSITE POLARIZATION'S IN EACH SECTOR.
- CONTRACTOR SHALL RECORD THE SERIAL #, SECTOR, AND POSITION OF EACH ACTUATOR *INSTALLED AT THE ANTENNAS AND PROVIDE THE INFORMATION TO GEOLINKS.
- TMA'S SHALL BE MOUNTED ON PIPE DIRECTLY BEHIND ANTENNAS AS CLOSE TO ANTENNA AS FEASIBLE IN A VERTICAL POSITION.

ANTENNA MOUNTING NOTES

- ALL RF CONNECTIONS SHALL BE TIGHTENED BY A TORQUE WRENCH.
- ALL RF CONNECTIONS, GROUNDING HARDWARE AND ANTENNA HARDWARE SHALL HAVE A TORQUE MARK INSTALLED IN A CONTINUOUS STRAIGHT LINE FROM BOTH SIDES OF THE CONNECTION.
 - RF CONNECTION BOTH SIDES OF THE CONNECTOR.
 - GROUNDING AND ANTENNA HARDWARE ON THE NUT SIDE STARTING FROM THE THREADS TO THE SOLID SURFACE. EXAMPLE OF SOLID SURFACE: GROUND BAR, ANTENNA BRACKET METAL.
- ALL 8M ANTENNA HARDWARE SHALL BE TIGHTENED TO 9 LB-FT (12 NM).
- ALL 12M ANTENNA HARDWARE SHALL BE TIGHTENED TO 43 LB-FT (58 NM).
- ALL GROUNDING HARDWARE SHALL BE TIGHTENED UNTIL THE LOCK WASHER COLLAPSES AND THE GROUNDING HARDWARE IS NO LONGER LOOSE.
- ALL DM TYPE CONNECTIONS SHALL BE TIGHTENED TO 18-22 LB-IN (2.4 - 29.6 NM).
- ALL N TYPE CONNECTIONS SHALL BE TIGHTENED TO 15-20 LB-IN (1.7 - 2.3 NM).

TORQUE REQUIREMENTS

- THE FIBER OPTIC TRUNK CABLES SHALL BE INSTALLED INTO CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY. WHEN INSTALLING FIBER OPTIC TRUNK CABLES INTO A CABLE TRAY SYSTEM, THEY SHALL BE INSTALLED INTO AN INTER DUCT AND A PARTITION BARRIER SHALL BE INSTALLED BETWEEN THE 600 VOLT CABLES AND THE INTER DUCT IN ORDER TO SEGREGATE CABLE TYPES. OPTIC FIBER TRUNK CABLES SHALL HAVE APPROVED CABLE RESTRAINTS EVERY SIXTY FEET AND SECURELY FASTENED TO THE CABLE TRAY SYSTEM. NFPA 70 (NEC) ARTICLE 770 RULES SHALL APPLY.
- THE TYPE TC-ER CABLES SHALL BE INSTALLED INTO CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY AND SHALL BE SECURED AT INTERVALS NOT EXCEEDING (6) SIX FEET. AN EXCEPTION WHERE TYPE TC-ER CABLES ARE NOT SUBJECT TO PHYSICAL DAMAGE, CABLES SHALL BE PERMITTED TO MAKE A TRANSITION BETWEEN CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY WHICH ARE SERVING UTILIZATION EQUIPMENT OR DEVICES, A DISTANCE (6) SIX FEET SHALL NOT BE EXCEEDED WITHOUT CONTINUOUS SUPPORTING. NFPA 70 (NEC) ARTICLES 336 AND 392 RULES SHALL APPLY.
- WHEN INSTALLING OPTIC FIBER TRUNK CABLES OR TYPE TC-ER CABLES INTO CONDUITS, NFPA 70 (NEC) ARTICLE 300 RULES SHALL APPLY.

FIBER & POWER CABLE MOUNTING NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ANTENNA, TMA'S, DIPLEXERS, AND COAX CONFIGURATION, MAKE AND MODELS PRIOR TO INSTALLATION.
- ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER TOWER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL REFERENCE THE TOWER STRUCTURAL ANALYSIS/DESIGN DRAWINGS FOR DIRECTIONS ON CABLE DISTRIBUTION/ROUTING.
- ALL OUTDOOR RF CONNECTORS/CONNECTIONS SHALL BE WEATHERPROOFED, EXCEPT THE RET CONNECTORS, USING BUTYL TAPE AFTER INSTALLATION AND FINAL CONNECTIONS ARE MADE. BUTYL TAPE SHALL HAVE A MINIMUM OF ONE-HALF TAPE WIDTH OVERLAP ON EACH TURN AND EACH LAYER SHALL BE WRAPPED THREE TIMES. WEATHERPROOFING SHALL BE SMOOTH WITHOUT BUCKLING. BUTYL BLEEDING IS NOT ALLOWED.
- IF REQUIRED TO PAINT ANTENNAS AND/OR COAX:
 - TEMPERATURE SHALL BE ABOVE 50° F.
 - PAINT COLOR MUST BE APPROVED BY BUILDING OWNER/LANDLORD.
 - FOR REGULATED TOWERS, FAA/FCC APPROVED PAINT IS REQUIRED.
 - DO NOT PAINT OVER COLOR CODING OR ON EQUIPMENT MODEL NUMBERS.
- ALL CABLES SHALL BE GROUNDING WITH COAXIAL CABLE GROUNDING KITS, FOLLOW THE MANUFACTURER'S RECOMMENDATIONS.
 - GROUNDING AT THE ANTENNA LEVEL.
 - GROUNDING AT MID LEVEL, TOWERS WHICH ARE OVER 200'-0", ADDITIONAL CABLE GROUNDING REQUIRED.
 - GROUNDING AT BASE OF TOWER PRIOR TO TURNING HORIZONTAL.
 - GROUNDING OUTSIDE THE EQUIPMENT SHELTER AT ENTRY POINT.
 - GROUNDING INSIDE THE EQUIPMENT SHELTER AT THE ENTRY POINT.
- ALL NEW GROUNDING BAR DOWNLEADS ARE TO BE TERMINATED TO THE EXISTING ADJACENT GROUNDING BAR DOWNLEADS A MINIMUM DISTANCE OF 4'-0" BELOW GROUNDING BAR. TERMINATIONS MAY BE EXPANDING OR COMPRESSION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ANTENNA AND THE COAX CONFIGURATION IS THE CORRECT MAKE AND MODELS, PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY EXISTING ANTENNA FRAMES HAVE SUFFICIENT CAPACITY TO SUPPORT NEW EQUIPMENT, REPLACE FRAMES AS NECESSARY.
- ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER TOWER MANUFACTURER'S SPECIFICATION AND RECOMMENDATIONS.
- CONTRACTOR SHALL REFERENCE THE TOWER STRUCTURAL ANALYSIS/DESIGN DRAWINGS FOR DIRECTIONS ON CABLE DISTRIBUTION/ROUTING.

GENERAL NOTES

Product Specifications

COMMSCOPE

RF-N108
Non-penetrating roof frame



Product Classification

Product Type: Non-penetrating roof frame

Dimensions	
Frame width	106.7 mm 4.20 in
Height	175.0 mm 6.89 in
Support	204.8 mm 8.06 in
Max Output Diameter	66.5 mm 2.62 in
Weight	228.0 mm 8.94 in
Height	227.8 kg 500.4 lb

Environmental Specifications

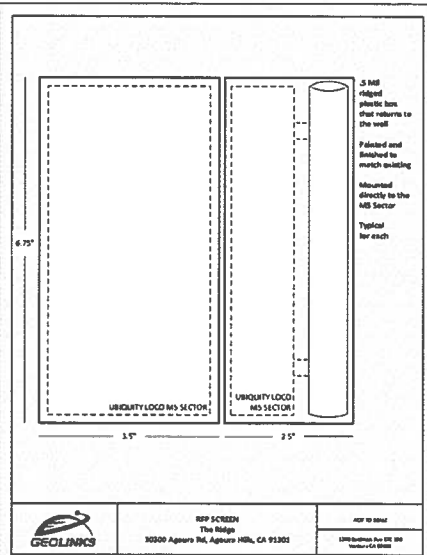
Wind Rating: For Specifics, please contact productinfo@commscope.com or call 800 251 1177
Wind Rating Test Method: EN12412

General Specifications

Material	Non-ferrous alloy
Part quantity	1
Included	Roof nut, with or without gny mounts
Material Type	Hot-dip galvanized steel
Notes	Refer to spec 118 for general administrative per-tenor
Part per quantity	1

* Footnotes
1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.

NON-PENETRATING ROOF FRAME



RF-N108
11800 Agoura Rd, Agoura Hills, CA 91301
800 251 1177
www.commscope.com

FRP ANTENNA SCREEN - SCNCE TYPE

NanoStation M

NanoStation locoM

High-Power 2x2 MIMO
airMAX TDM Station

Models: NSM2/NSM3/NSM36/ NSM3/locoM2/locoM3

QUICK START GUIDE

- Remove the port cover.
- Position the NanoStation at the desired location on a pole and insert a Cable Tie into the slot of the Mounting Bracket.
- Replace the port cover.
- Position the NanoStation at the desired location on a pole and insert a Cable Tie into the slot of the Mounting Bracket.

Introduction

Thank you for purchasing the Ubiquiti Networks® NanoStation®. This Quick Start Guide is designed to guide you through installation and also includes warranty terms.

Package Contents

- NanoStation
- Cable Tie
- Power Adapter (PAC 0.5A) with Mounting Bracket
- Power Cord
- Quick Start Guide

Installation Requirements

- Shielded Category 5 (or above) cabling should be used for all wired Ethernet connections and should be grounded through the AC ground of the PoE.
- We recommend that you protect your networks from harmful outdoor environments and destructive ESD events with Industrial-grade, shielded Ethernet cable from Ubiquiti Networks. For more details, visit: www.ubnt.com/toughcable

| NanoStation locoM2 (M3) | |
|-------------------------|---------------------------------------|
| Dimensions | 149.3 x 37.8 mm (5.87 x 1.49 in) |
| Weight | 3.18 kg (6.99 lb) |
| Operating frequency | 2412-2462 MHz |
| Channels | 11.70-38.75 MHz |
| | 51.70-58.50 MHz |
| Gain | 4 dBS |
| locoM2 | 13 dBS |
| locoM3 | 5.1W |
| Max. Power Consumption | 5.1W |
| Power Supply | 24V 0.5A PoE Adapter (included) |
| Power Method | Passive PoE (Ports 4, 5, 7, 8 Return) |
| Mounting | Pole Mounting (2 Included) |
| Networking Interface | (1) 10/100 Ethernet Port |
| Operating Temperature | 30 to 75° C (86 to 167° F) |
| Operating Humidity | 5 to 95% Non-condensing |

| locoM2 Operating Frequency (MHz) | |
|----------------------------------|-----------|
| locoM2 | 2412-2462 |

| locoM3 Operating Frequency (MHz) | |
|----------------------------------|---|
| Workarea | 5150-5875 |
| USA | 5150-5250 5250-5350 5470-5475 5475-5850 |
| K | 5470-5600 5650-5725 5725-5850 |

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PROJECT INFORMATION:

RIDGE TOWER

30300 AGOURA ROAD
AGOURA HILLS, CA 91301

CURRENT ISSUE DATE:

11/21/17

ISSUED FOR:

90% CONSTRUCTION DRAWING

REV. DATE DESCRIPTION BY:

| REV. | DATE | DESCRIPTION | BY |
|------|----------|--------------------------|----|
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PLANS PREPARED BY:

POC CORPORATION

13029 DANIELSON ST. SUITE 130
POWAY, CA 95094
TEL: (954) 668-2828
FAX: (954) 668-2927

CONSULTANT:

11800 MISSION PARK DRIVE, #108
RANCHO CUCAMONGA, CA 91730

DRAWN BY: _____ CHK.: _____ APV.: _____

JP RSD SAS

LICENSER: _____

REGISTERED PROFESSIONAL ENGINEER
SOHEIL SHAH
No. C60216
EXP. 06-30-18
CIVIL
STATE OF CALIFORNIA

SHEET TITLE:

EQUIPMENT DETAILS

SHEET NUMBER:

A-5

NANOSTATION ANTENNA SPECS [UBIQUITI MODEL#: LOCO M5]

3



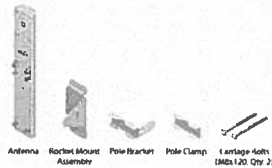
airMAX Sector
5 GHz 2x2 MIMO BaseStation
Sector Antenna
Models: AM-SG16-120, AM-SG17-90

QUICK START GUIDE

Introduction

Thank you for purchasing a Ubiquiti Networks® airMAX® 5 GHz 2x2 MIMO BaseStation Sector Antenna. This Quick Start Guide is designed to guide you through the installation of the antenna. This Quick Start Guide also includes the warranty terms and is for use with the airMAX Sector Antenna, model AM-SG16-120 or AM-SG17-90. (Both models share the same form factor and installation instructions.)

Package Contents

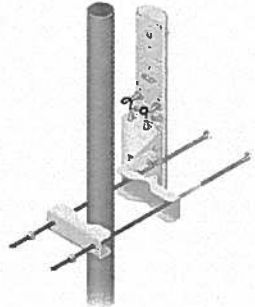


Products may be different from pictures and are subject to change without notice.

ITEMS OF USE: Materials used herein may be proprietary to third parties. Serialized Ethernet cables and serial grounding must be used in compliance of product warranty. 100% cable is designed for outdoor applications. It is the customer's responsibility to follow local safety requirements, including restrictions on radio frequency channels, output power, and FCC Part 15.207 requirements.

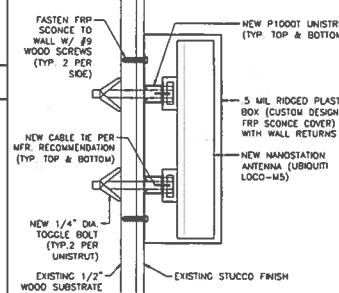
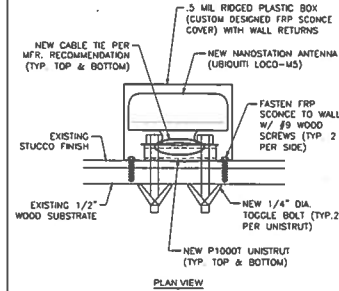
6. To mount the antenna to the pole, attach the Pole Clamp to the Pole Bracket using two Carriage Bolts and two Serialized Flange Nuts. Hand-tighten only.

Note: The mounting assembly can accommodate a \varnothing 38 - 76 mm (1.5" - 3.0") pole.



Specifications

| AM-SG16-120 / AM-SG17-90 | |
|--------------------------|--|
| Dimensions | 327 x 93 x 41 mm (12.85 x 3.66 x 1.61") |
| Weight (Mount Included) | 1.1 kg (2.42 lb) |
| Frequency | AM-SG16-120: 5.10 - 5.85 GHz
AM-SG17-90: 4.90 - 5.85 GHz |
| Gain | AM-SG16-120: 15.0 - 16.2 dBi
AM-SG17-90: 16.1 - 17.1 dBi |
| HPOL Beamwidth | AM-SG16-120: 137° H, 68° V
AM-SG17-90: 77° H, 48° V |
| VPOL Beamwidth | AM-SG16-120: 118° H, 68° V
AM-SG17-90: 93° H, 68° V |
| Elevation Beamwidth | 4° |
| Electrical Power | 6 W |
| Max. VSWR | 1.2:1 |
| Wind Survivability | 200 km/h (125 mph) |
| Ice Load | 41.7 N (0 - 200 km/h) @ 375 hPa @ 125 mph |
| Polarization | Dual Linear |
| Cross-Pol Isolation | 22 dB Min. |
| ETL Specification | EN 302 220 D/C |
| Mounting | Universal Pole Mount, Rocket Bracket, and Weatherproof RF Jumpers included |



CUSTOM DESIGNED FRP SCENCE COVER RENDERING

- NOTE:
- FRP SCENCE COVERS ARE CUSTOM DESIGNED.
 - TEXTURE AND PAINT FRP SCENCE COVERS TO MATCH EXISTING WALL CONDITIONS.

PANEL ANTENNA SPECIFICATIONS [UBIQUITI MODEL#: AM-SG16-120]



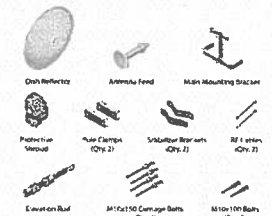
RocketDish™
airMAX® Carrier Class
2x2 P1P Bridge Dish Antenna
Model: RD-6030

QUICK START GUIDE

Introduction

Thank you for purchasing the Ubiquiti Networks™ RocketDish™, an airMAX® Carrier Class 2x2 P1P Bridge Dish Antenna. This Quick Start Guide is designed to guide you through the installation of the antenna. This Quick Start Guide also includes the warranty terms and is for use with the RocketDish, model RD-SG30.

Package Contents

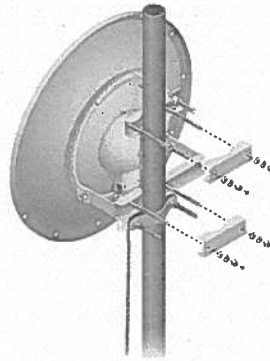


Products may be different from pictures and are subject to change without notice.

ITEMS OF USE: Materials used herein may be proprietary to third parties. Serialized Ethernet cables and serial grounding must be used in compliance of product warranty. 100% cable is designed for outdoor applications. It is the customer's responsibility to follow local safety requirements, including restrictions on radio frequency channels, output power, and FCC Part 15.207 requirements.

15. Attach the Main Mounting Bracket to the pole just above the Stabilizer Brackets.

- Slide a Pole Clamp over each pair of M10x120 Carriage Bolts.
- Secure each M10x120 Carriage Bolt with one washer, one spring lock washer, and one nut.



Specifications

| RD-6030 (RD-SG30) | |
|---------------------|--|
| Dimensions | 630 x 630 x 201 mm |
| Weight | 5.8 kg |
| Frequency | 5.1 - 5.8 GHz |
| Gain | 30 dBi |
| HPOL Beamwidth | 3° (3 dBi) |
| VPOL Beamwidth | 3° (6 dBi) |
| Front-to-Back Ratio | 14 dB |
| Max. VSWR | 1.4:1 |
| Wind Survivability | 125 mph |
| Wind Loading | 17 lb @ 125 mph |
| Polarization | Dual Linear |
| Cross-Pol Isolation | 35 dB Min. |
| ETL Specification | EN 302 220 D/C |
| Mounting | Universal Pole Mount, RocketM Brackets, and Weatherproof RF Jumpers included |

DISH ANTENNA SPECIFICATIONS [UBIQUITI MODEL#: RD-SG30]

2

FRP SCENCE SECTION

3

PROJECT INFORMATION:

RIDGE TOWER

30300 AGOURA ROAD
AGOURA HILLS, CA 91301

CURRENT ISSUE DATE:

11/21/17

ISSUED FOR:

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REV. DATE DESCRIPTION BY

| REV. | DATE | DESCRIPTION | BY |
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PLANS PREPARED BY:

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CONSULTANT:

SALEM
Engineering Group, Inc.
11500 MISSION PARK DRIVE, #100
SAN DIEGO, CALIFORNIA, CA 92120

DRAWN BY: CHK. BY: APP. BY:

| | | |
|----|-----|-----|
| JP | RSD | SAS |
|----|-----|-----|

LICENSER:

REGISTERED PROFESSIONAL ENGINEER
SOPHIA SHAFI
No. C60216
EXP. 06-30-18
CIVIL
STATE OF CALIFORNIA

SHEET TITLE:

EQUIPMENT DETAILS

SHEET NUMBER:

A-6

SIGNAGE AND STRIPING INFORMATION

- THE FOLLOWING INFORMATION IS A GUIDELINE w/ RESPECT TO PREVAILING STANDARDS LIMITING HUMAN EXPOSURE TO RADIO FREQUENCY ENERGY AND SHOULD BE USED AS SUCH. IF THE SITE'S EMF REPORT OR ANY LOCAL, STATE OR FEDERAL GUIDELINES OR REGULATIONS SHOULD BE IN CONFLICT w/ ANY PART OF THESE NOTES OR PLANS, THE MORE RESTRICTIVE GUIDELINE OR REGULATION SHALL BE FOLLOWED AND OVERRIDE THE LESSER.
- THE PUBLIC LIMIT OF RF EXPOSURE ALLOWED BY GEOLINKS IS $1\text{mW}/\text{cm}^2$ AND THE OCCUPATIONAL LIMIT OF RF EXPOSURE ALLOWED BY GEOLINKS IS $5\text{mW}/\text{cm}^2$.
- IF THE BOTTOM OF THE ANTENNA IS MOUNTED (8) EIGHT FEET ABOVE THE GROUND OR WORKING PLATFORM LINE OF THE PERSONAL COMMUNICATION SYSTEM (PCS) AND DOES NOT EXCEED THE PUBLIC LIMIT OF RF EXPOSURE LIMIT THEN NO STRIPING OR BARRICADES SHOULD BE NEEDED.
- IF THE PUBLIC LIMIT OF RF EXPOSURE ON THE SITE IS EXCEEDED AND THE AREA IS PUBLICLY ACCESSIBLE (e.g. ROOF ACCESS DOOR THAT CANNOT BE LOCKED, OR FIRE EGRESS) THEN BOTH BARRICADES AND STRIPING SHALL BE PLACED AROUND THE ANTENNAS. THE EXACT EXTENT OF THE BARRICADES AND STRIPING SHALL BE DETERMINED BY THE EMF REPORT FOR THE SITE DONE BEFORE OR SHORTLY AFTER COMPLETION OF SITE CONSTRUCTION. USE THE PLANS AS A GUIDELINE FOR PLACEMENT OF SUCH BARRICADES AND STRIPING.
- ALL TRANSMIT ANTENNAS REQUIRE A TWO LANGUAGE WARNING SIGN WRITTEN IN ENGLISH AND SPANISH THIS SIGN SHALL BE PROVIDED TO THE CONTRACTOR & THE GEOLINKS CONSTRUCTION PROJECT MANAGER AT THE TIME OF CONSTRUCTION. THE LARGER SIGN SHALL BE PLACED IN PLAIN SIGHT AT ALL ROOF ACCESS LOCATIONS AND ON ALL BARRICADES. THE SMALLER SIGN SHALL BE PLACED ON THE ANTENNA ENCLOSURES IN A MANNER THAT IS EASILY SEEN BY ANY PERSON ON THE ROOF. WARNING SIGNS SHALL COMPLY w/ ANSI Z59.2 COLOR, SYMBOL, AND CONTENT CONVENTIONS. ALL SIGNS SHALL HAVE GEOLINKS NAME AND THE COMPANY CONTACT INFORMATION (e.g. TELEPHONE NUMBER) TO ARRANGE FOR ACCESS TO THE RESTRICTED AREAS. THIS TELEPHONE NUMBER SHALL BE PROVIDED TO THE CONTRACTOR BY THE GEOLINKS CONSTRUCTION PROJECT MANAGER AT THE TIME OF CONSTRUCTION.
- STRIPING SHALL BE DONE w/ FADE RESISTANT YELLOW SAFETY PAINT IN A CROSS-HATCH PATTERN AS DETAILED BY THE CONSTRUCTION DRAWINGS. ALL BARRICADES SHALL BE MADE OF AN RF FRIENDLY MATERIAL SO AS NOT TO BLOCK OR INTERFERE w/ THE OPERATION OF THE ANTENNAS. BARRICADES SHALL BE PAINTED w/ FADE RESTRAINT YELLOW SAFETY PAINT. THE CONTRACTOR SHALL PROVIDE ALL RF FRIENDLY BARRICADES NEEDED, & SHALL PROVIDE THE GEOLINKS CONSTRUCTION PROJECT MANAGER w/ A DETAILED SHOP DRAWING OF EACH BARRICADE, UPON CONSTRUCTION COMPLETION.

NOTE:
ALL REQUIRED SIGNAGE WILL BE INSTALLED AND FIELD VERIFIED. SEE PLANS FOR SIGN LOCATIONS.

WARNING
HIGH RADIO FREQUENCY EXPOSURE AREA

KEEP BACK _3_ FEET FROM THIS ANTENNA. IF ACCESS IS REQUIRED WITHIN THIS DISTANCE, PLEASE CONTACT ANTENNA OWNER BEFORE APPROACHING.

ADVERTENCIA
AREA DE EXPOSICION DE ALTAS FRECUENCIAS DE RADIO

MANTENERSE A _3_ PIES DE DISTANCIA DE ESTA ANTENA. SI ES NECESARIO ACERCARSE MAS, COMUNIQUESE CON EL PROPIETARIO DE LA ANTENA ANTES DE HACERLO.

(888) 225-1571

PHONE NUMBER NUMERO DE TELEFONO

GEOLINKS

OWNER/ PROPIETARIO

RIDGE TOWER

SITE NUMBER NUMERO DEL SITIO

NOTICE

Radio frequency fields beyond this point may exceed the FCC general public exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

* In accordance with Federal Communications Commission rules on hazardous materials 47 CFR 1.1307(a)

CAUTION

Radio frequency fields within one foot of this antenna may exceed Federal limits for human exposure. Stay clear by that distance.

GEOLINKS
Carrier
RIDGE TOWER
Site No.

NOTICE SIGN SCALE 3 N.T.S.

TYPICAL CAUTION SIGN SCALE 4 N.T.S.

CAUTION

Beyond this point:
Radio frequency fields at this site may exceed FCC rules for human exposure.

For your safety obey all posted signs and site guidelines for working in radio frequency environments.

* In accordance with Federal Communications Commission rules on hazardous materials 47 CFR 1.1307(a)

STAY
BACK
3
FEET
FROM
ANTENNA

NOTE:
REQUIRED SIGNAGE SHALL BE MOUNTED TO ANTENNA MAST BEHIND ANTENNA.

CAUTION SIGN SCALE 5 N.T.S.

BACK OF ANTENNA SIGN SCALE 6 N.T.S.

WARNING

Beyond this point:
Radio frequency fields at this site exceed the FCC rules for human exposure.

Failure to obey all posted signs and site guidelines for working in radio frequency environments could result in serious injury.

* In accordance with Federal Communications Commission rules on hazardous materials 47 CFR 1.1307(a)

NOTICE

GUIDELINES FOR WORKING IN RADIO FREQUENCY ENVIRONMENTS

- All personnel should have electromagnetic energy (EME) awareness training.
- All personnel entering this site must be authorized, obey all posted signs.
- Assume all antennas are active. Before working on antennas, notify owners and disable appropriate transmitters.
- Maintain minimum 3 feet clearance from all antennas. Do not step in front of antennas.
- Use personal RF monitors while working near antennas.
- Never operate transmitters without shields during normal operation.
- Do not operate base station antennas in equipment rooms.

RF SIGNAGE AND STRIPING NOTES 1

TYPICAL MULTI-LANGUAGE SIGN SCALE 2 N.T.S.

WARNING SIGN SCALE 7 N.T.S.

RF GUIDELINES SIGN SCALE 8 N.T.S.

PROJECT INFORMATION:

RIDGE TOWER

30300 AGOURA ROAD
AGOURA HILLS, CA 91301

CURRENT ISSUE DATE:
11/21/17

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REV. DATE DESCRIPTION BY

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PLANS PREPARED BY:
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FAX: (858) 668-2827

CONSULTANT:
SALEM
ENGINEERING GROUP, INC.

11850 MESSON PARK DRIVE, #108
RANCHO CUCAMONGA, CA 91730

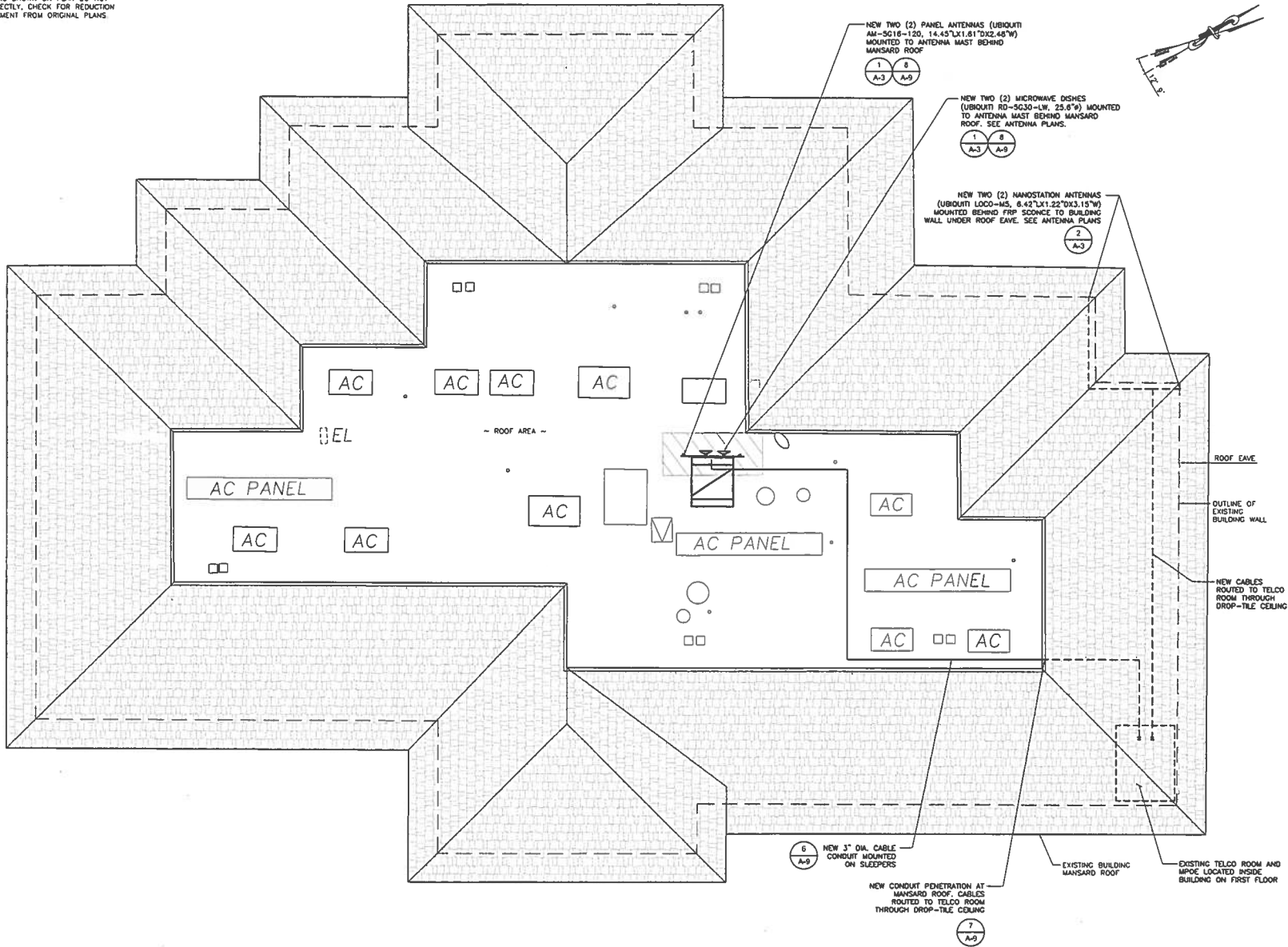
DRAWN BY: _____ CHK.: _____ APV.: _____
JP RSD SAS

LICENSER: _____

SHEET TITLE:
RF EXPOSURE NOTES AND FCC NOTICE SIGNS

SHEET NUMBER:
A-7

SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT
SCALE CORRECTLY, CHECK FOR REDUCTION
OR ENLARGEMENT FROM ORIGINAL PLANS.



ROOF PLAN

0 4 8 16 SCALE
1/8" = 1'-0" 1

PROJECT INFORMATION:

RIDGE TOWER

30300 AGOURA ROAD
AGOURA HILLS, CA 91301

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| | | | |

PLANS PREPARED BY:

POC CORPORATION

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CONSULTANT:

SALEM
 engineering group inc.
 11850 MISSION PARK DRIVE, #108
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DRAWN BY: CHK.: APV.:

| | | |
|----|-----|-----|
| JP | RSD | SAS |
|----|-----|-----|

LICENSER:

REGISTERED PROFESSIONAL ENGINEER
 SOHAIL SHAH
 No. C60216
 EXP. 06-30-18
 CIVIL
 STATE OF CALIFORNIA

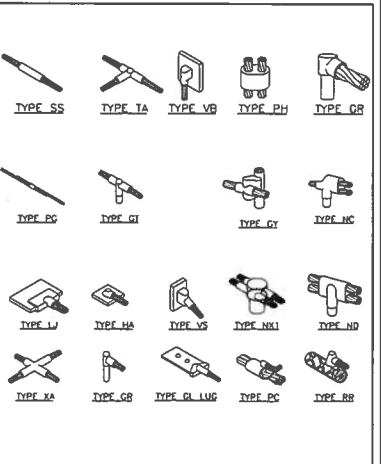
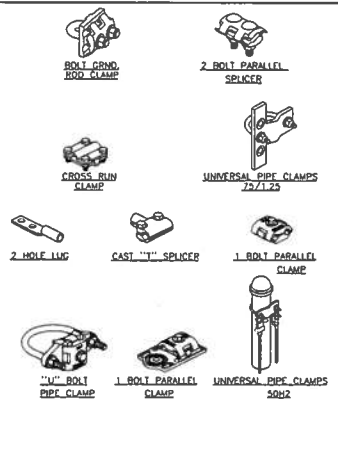
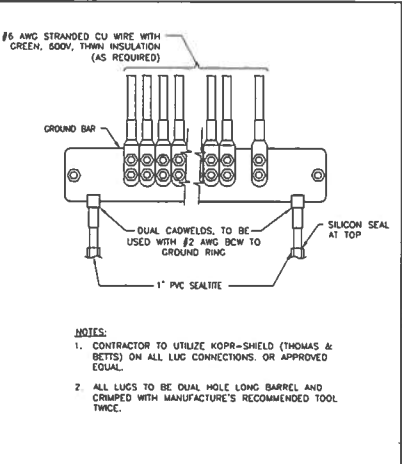
SHEET TITLE:

ELECTRICAL SITE PLAN

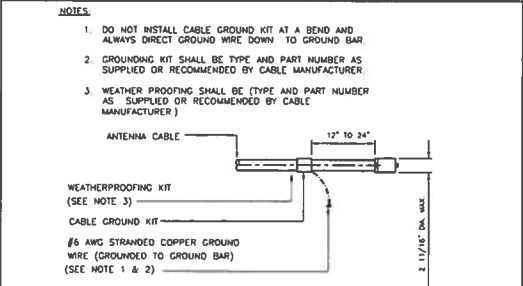
SHEET NUMBER:

A-8

- ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION REQUIREMENTS AND CONSTRUCTION ACCORDING TO SITE CONDITIONS.
- ALL GROUNDING CONDUCTORS: #2 AWG SOLID BARE TINNED COPPER WIRE UNLESS OTHERWISE NOTED.
- GROUND BAR LOCATED IN BASE OF EQUIPMENT WILL BE PROVIDED, FURNISHED AND INSTALLED BY THE VENDOR.
- ALL BELOW GRADE CONNECTIONS: EXOTHERMIC WELD TYPE ABOVE GRADE CONNECTIONS: EXOTHERMIC WELD TYPE.
- GROUND RING SHALL BE LOCATED A MINIMUM OF 24" BELOW GRADE OR 6" MINIMUM BELOW THE FROST LINE.
- INSTALL GROUND CONDUCTORS AND GROUND ROD MINIMUM OF 1'-0" FROM EQUIPMENT CONCRETE SLAB, SPREAD FOOTING, OR FENCE.
- EXOTHERMIC WELD GROUND CONNECTION TO FENCE POST: TREAT WITH A COLD GALVANIZED SPRAY.
- GROUND BARS: A. EQUIPMENT GROUND BUS BAR (EGB) LOCATED AT BOTTOM OF ANTENNA POLE/MAST FOR MAKING GROUNDING JUMPER CONNECTIONS TO COAX FEEDER CABLES SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. JUMPERS (FURNISHED BY OWNERS) SHALL BE INSTALLED AND CONNECTED BY ELECTRICAL CONTRACTOR. B. MAIN GROUND BUS BAR (MGB) LOCATED NEAR THE BASE OF THE RADIO EQUIPMENT CABINET(S) SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.
- ALL GROUNDING INSTALLATIONS AND CONNECTIONS SHALL BE MADE BY ELECTRICAL CONTRACTOR.
- OBSERVE N.E.C. AND LOCAL UTILITY REQUIREMENTS FOR ELECTRICAL SERVICE GROUNDING.
- GROUNDING ATTACHMENT TO TOWER SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS OR AT GROUNDING POINTS PROVIDED (2 MINIMUM).
- IF EQUIPMENT IS IN A C.L. FENCE ENCLOSURE, GROUND ONLY CORNER POSTS AND SUPPORT POSTS ON GATE. IF CHAIN LINK LID IS USED, THEM GROUND LID ALSO.
- GROUNDING @ PFC CABINET SHALL BE VERTICALLY INSTALLED.
- ALL GROUNDING FOR ANTENNAS SHALL BE CONNECTED SO THAT IT WILL BY-PASS MAIN BUSS BAR.
- ALL EMT RUNS SHALL BE GROUNDED AND HAVE A BUSHING. NO PVC ABOVE GROUND.
- USE SEPARATE HOLES FOR GROUNDING @ BUSS BAR. NO "DOUBLING-UP" OF LUGS.
- POWER AND TELCO CABS SHALL BE GROUNDED (BONDED) TOGETHER.
- NO "L&B'S" ALLOWED ON GROUNDING RUNS.



GROUNDING NOTES 1

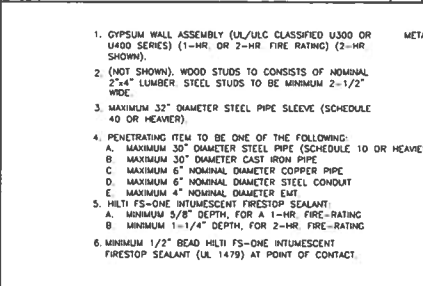


CABLE GROUND KIT TO ANTENNAS 5

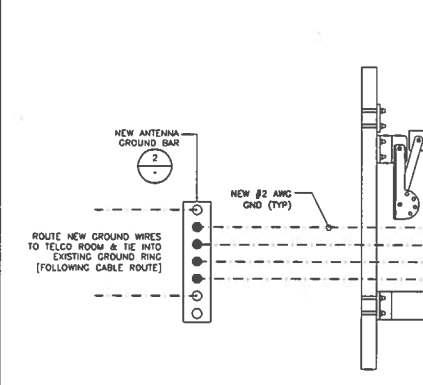
| PART NO. | HEIGHT X WIDTH X LENGTH IN | WT/EACH (LBS. (KG)) | LOAD RATING LBS. (KN) |
|----------|--|---------------------|-----------------------|
| DB610 | 6 7/16 X 6 X 9.5 (163.5 X 152.4 X 243.8) | 6.36 (2.88) | 500 (2.22) |
| DB620 | 6 7/16 X 6 X 20.2 (163.5 X 152.4 X 513.1) | 12.90 (5.85) | 1000 (4.45) |
| DB630 | 6 7/16 X 6 X 30.5 (163.5 X 152.4 X 773.2) | 19.45 (8.82) | 1500 (6.67) |
| DB640 | 6 7/16 X 6 X 41.4 (163.5 X 152.4 X 1051.5) | 26.00 (11.79) | 2000 (8.89) |
| DB648 | 6 7/16 X 6 X 52.0 (163.5 X 152.4 X 1320.8) | 32.55 (14.78) | 2500 (11.12) |

CONDUIT SLEEPER DETAIL 6

GROUNDING BAR DETAIL 2



CONDUIT PENETRATION AT WOOD WALL 7



TYP. ANTENNA GROUNDING SCHEMATIC 8

PROJECT INFORMATION:

RIDGE TOWER

30300 AGOURA ROAD
AGOURA HILLS, CA 91301

CURRENT ISSUE DATE:

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PLANS PREPARED BY:

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engineering group, inc.

11820 WOODSON PARK DRIVE, #108
RANCHO CUCAMONGA, CA 91730

DRAWN BY: _____ CHK.: _____ APV.: _____

JP RSD SAS

LICENSER: _____

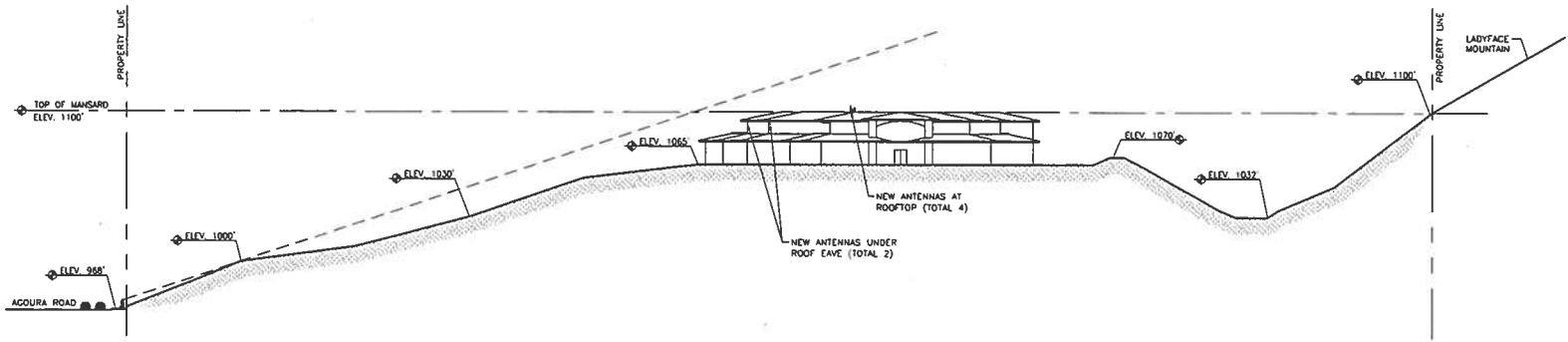
SHEET TITLE:

ELECTRICAL DETAILS

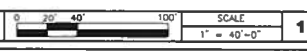
SHEET NUMBER:

A-9

SCALE NOTE:
 IF DIMENSIONS SHOWN ON PLAN DO NOT
 SCALE CORRECTLY, CHECK FOR REDUCTION
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NORTHWEST ELEVATION



PROJECT INFORMATION:

RIDGE TOWER

30300 AGOURA ROAD
 AGOURA HILLS, CA 91301

CURRENT ISSUE DATE:

08/17/17

ISSUED FOR:

100% SUBMITTAL

REV.: DATE: DESCRIPTION: BY:

| REV. | DATE | DESCRIPTION | BY |
|------|----------|---------------------|----|
| 0 | 08/17/17 | LINE OF SIGHT STUDY | JP |
| | | | |
| | | | |

PLANS PREPARED BY:

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CONSULTANT:



11850 MISSION PARK DRIVE, #108
 RANCHO CUCAMONGA, CA 91730

DRAWN BY: CHK.: APV.:

JP HG SAS

LICENSER:

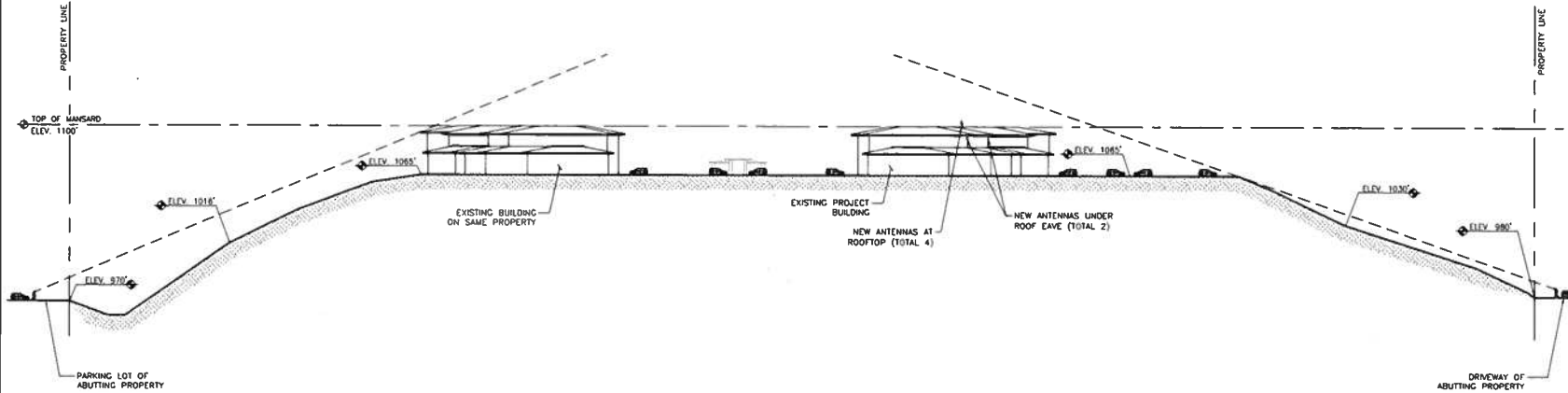
SHEET TITLE:

**NORTHWEST
 LINE OF SITE STUDY**

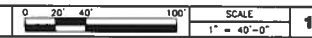
SHEET NUMBER:

L-1

SCALE NOTE
 IF DIMENSIONS SHOWN ON PLAN DO NOT
 SCALE CORRECTLY, CHECK FOR REDUCTION
 OR ENLARGEMENT FROM ORIGINAL PLANS.



NORTHEAST ELEVATION



PROJECT INFORMATION:

RIDGE TOWER

30300 AGOURA ROAD
 AGOURA HILLS, CA 91301

CURRENT ISSUE DATE:

08/17/17

ISSUED FOR:

100% SUBMITTAL

REV.: DATE: DESCRIPTION: BY:

| REV. | DATE | DESCRIPTION | BY |
|------|----------|---------------------|----|
| 0 | 08/17/17 | LINE OF SIGHT STUDY | JP |
| | | | |
| | | | |

PLANS PREPARED BY:

HDC CORPORATION



15029 DANFELSON ST, SUITE 100
 POWAY, CA 92064
 TEL: (619) 668-2928
 FAX: (619) 668-2927

CONSULTANT:



11630 MISSION PARK DRIVE, #108
 RANCHO CUCAMONGA, CA 91750

DRAWN BY: CHK.: APV.:

JP HG SAS

LICENSER:

SHEET TITLE:

**NORTHEAST
 LINE OF SITE STUDY**

SHEET NUMBER:

L-2

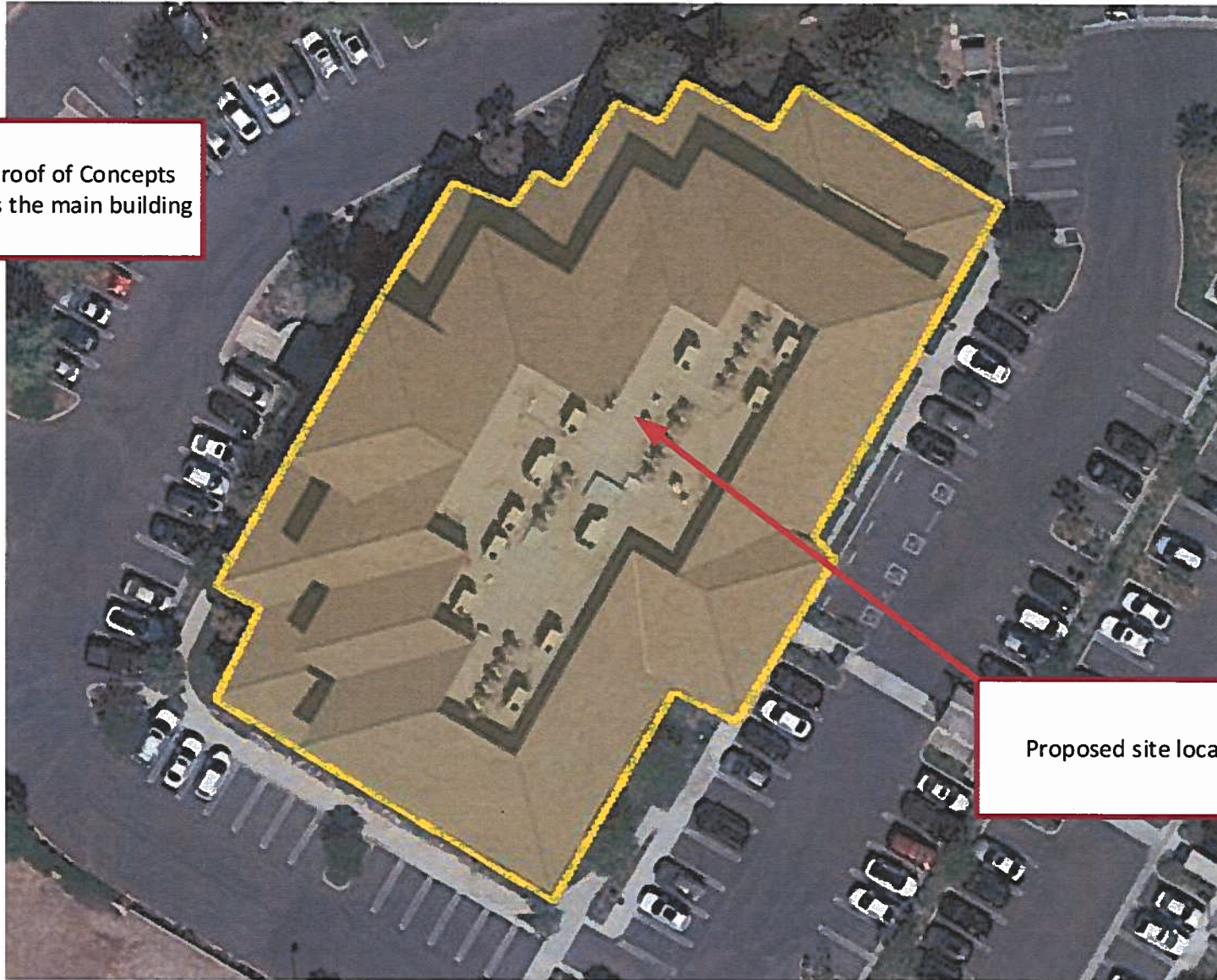


Shell

Hampton Inn & Suites Agoura Hills

Agoura Rd

Current Proof of Concepts
only covers the main building



Proposed site location

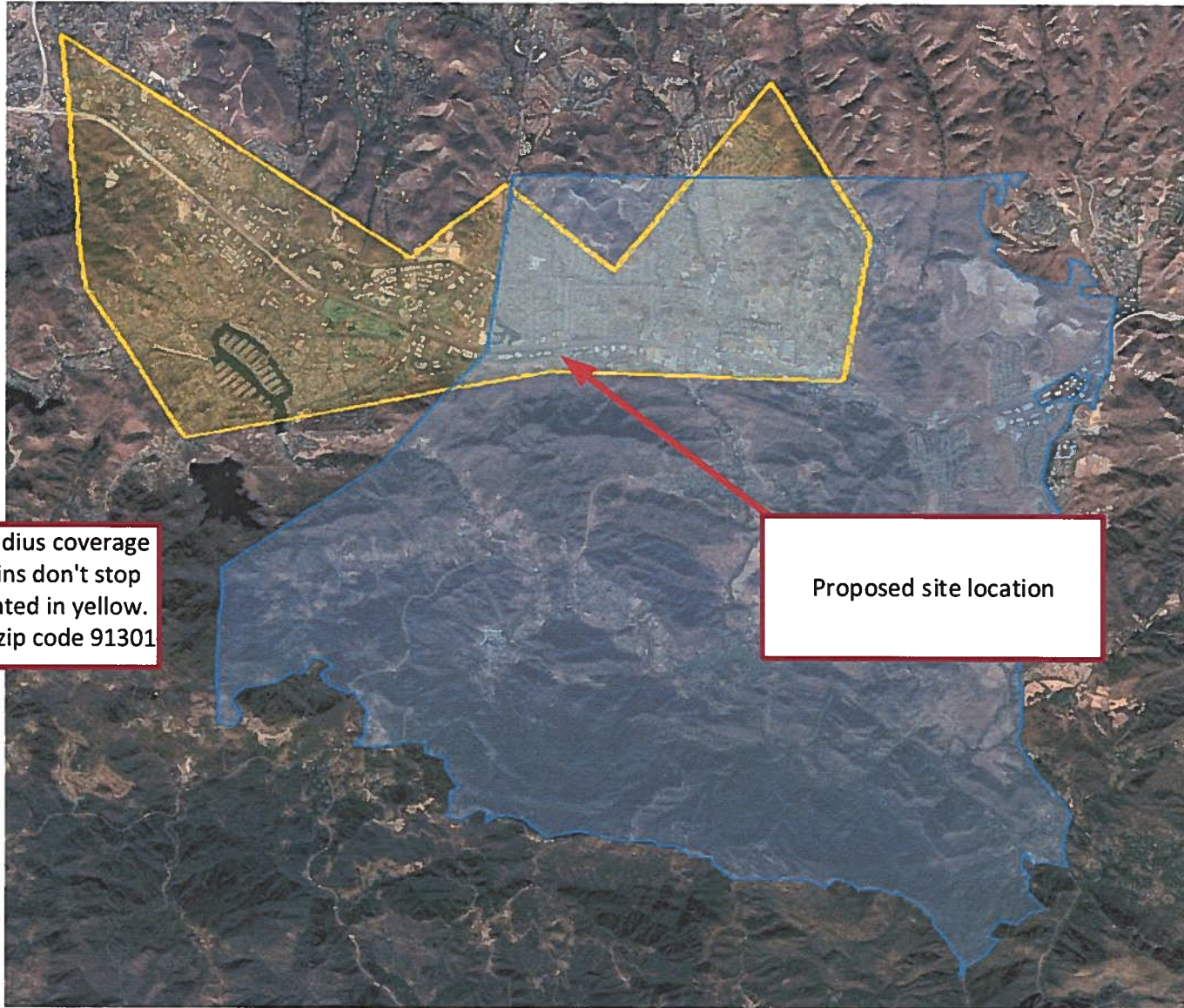


The Ridge
Existing Coverage within Proof of Concept

NOT TO SCALE

251 Camarillo Ranch Rd,
Camarillo CA 93012

Attachment 6.05



Future 8 mile radius coverage where mountains don't stop signal is highlighted in yellow. Blue represents zip code 91301

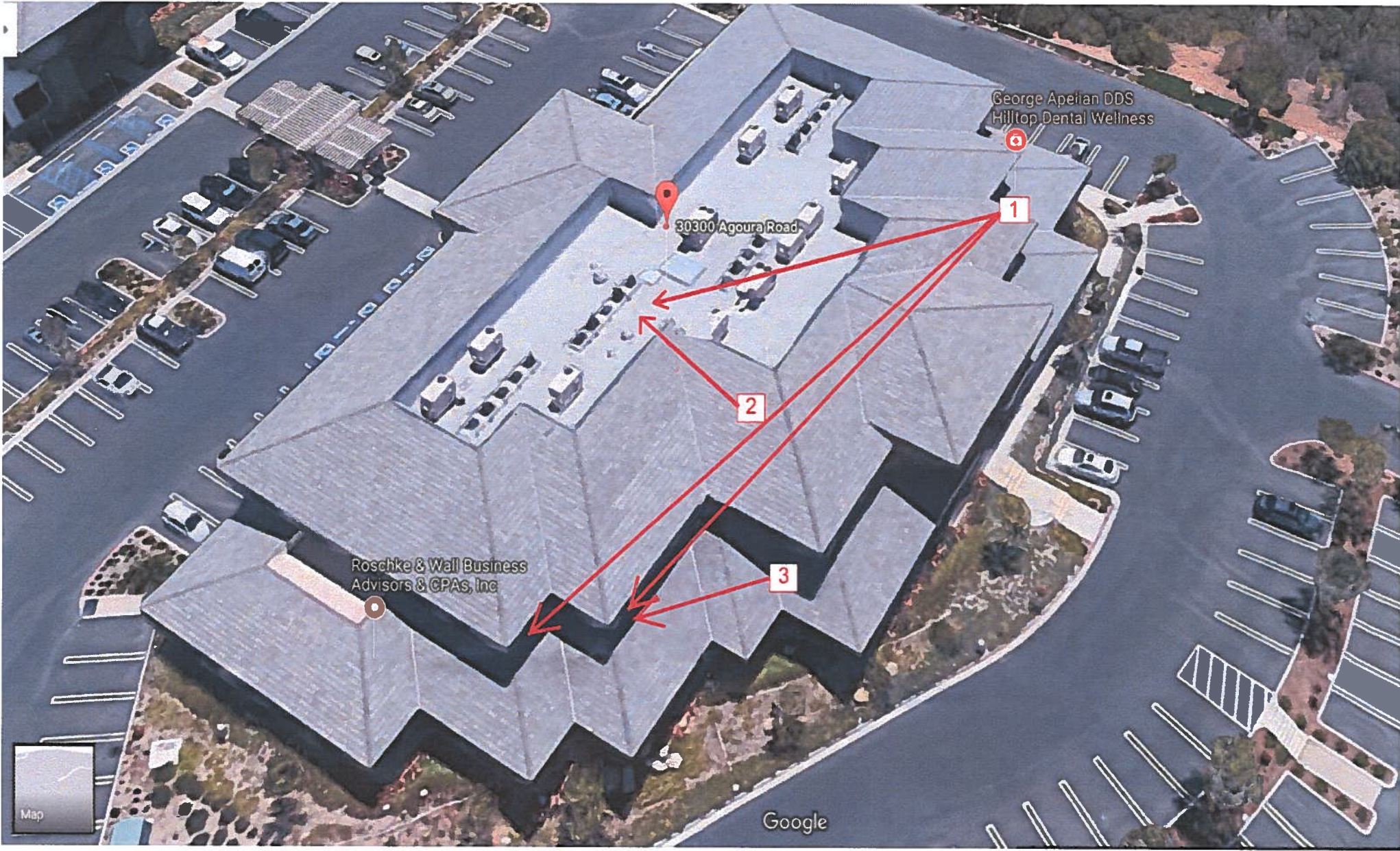
Proposed site location



The Ridge
Future Coverage Upon Completion

NOT TO SCALE

251 Camarillo Ranch Rd,
Camarillo CA 93012



George Apeian DDS
Hilltop Dental Wellness



30300 Agoura Road

1

2

3

Roschke & Wall Business
Advisors & CPAs, Inc

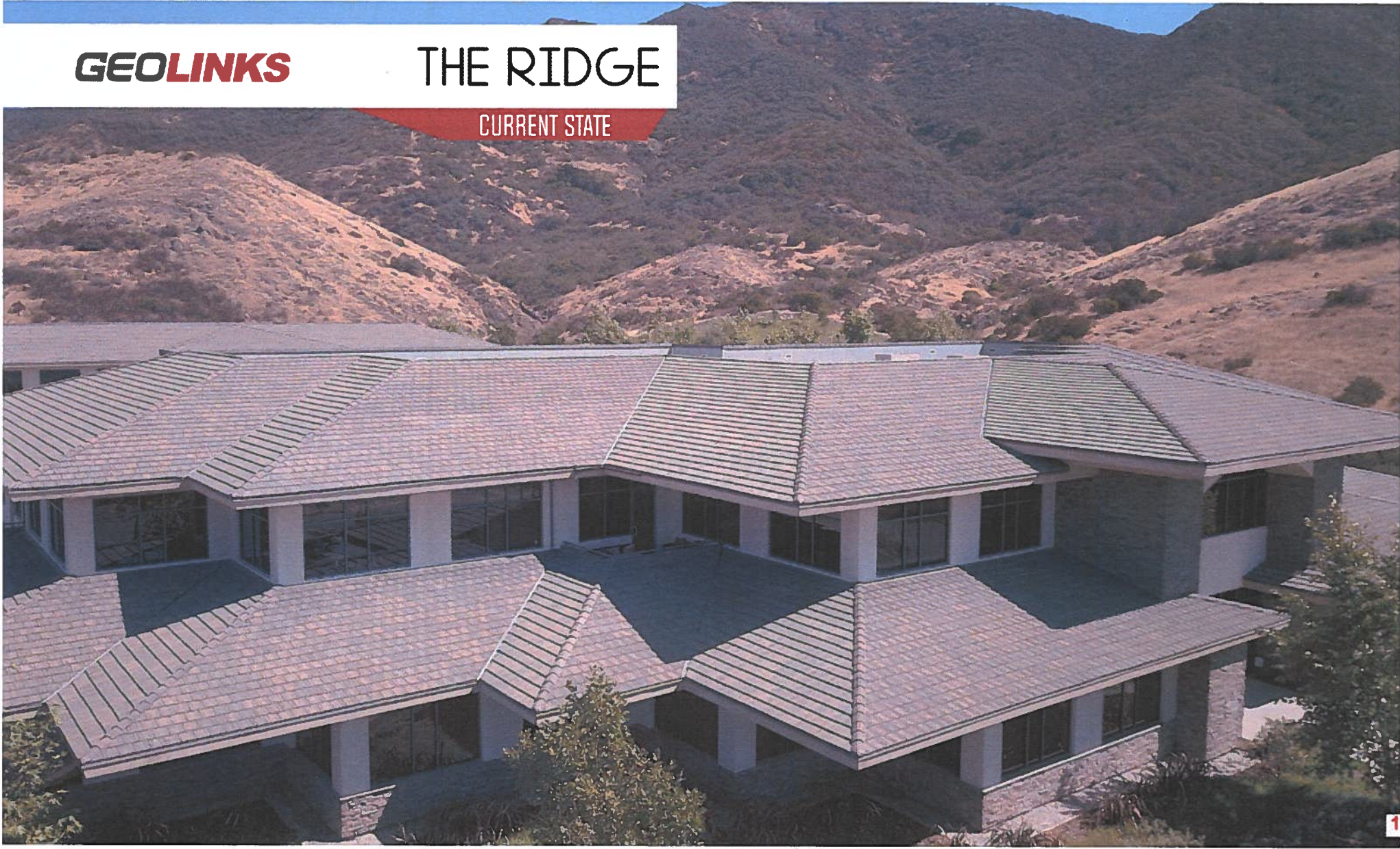
Google

Map

GEOLINKS

THE RIDGE

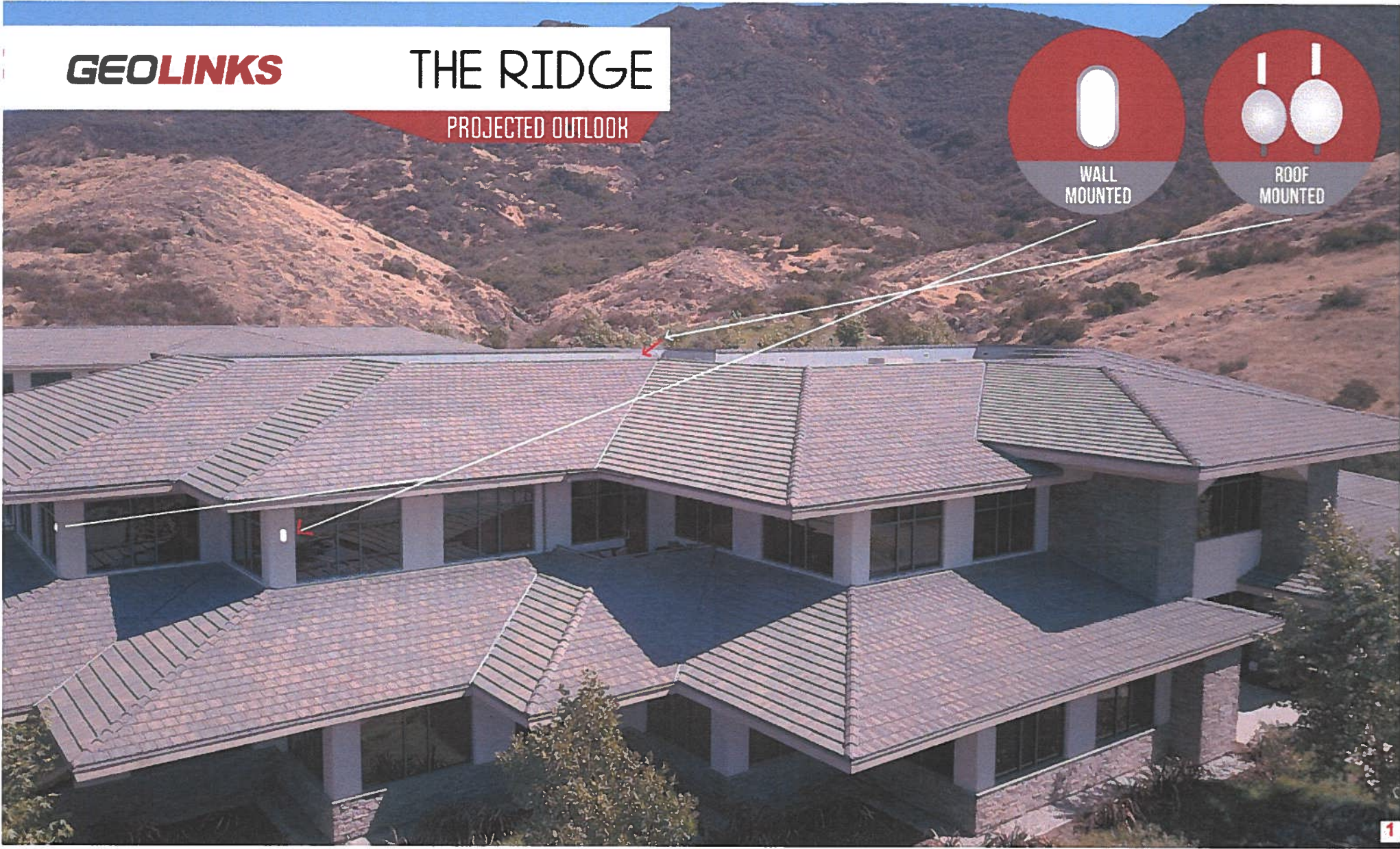
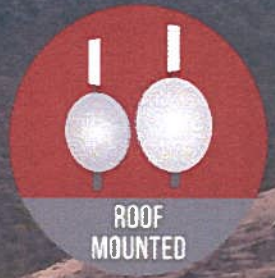
CURRENT STATE



GEOLINKS

THE RIDGE

PROJECTED OUTLOOK



GEOLINKS

THE RIDGE

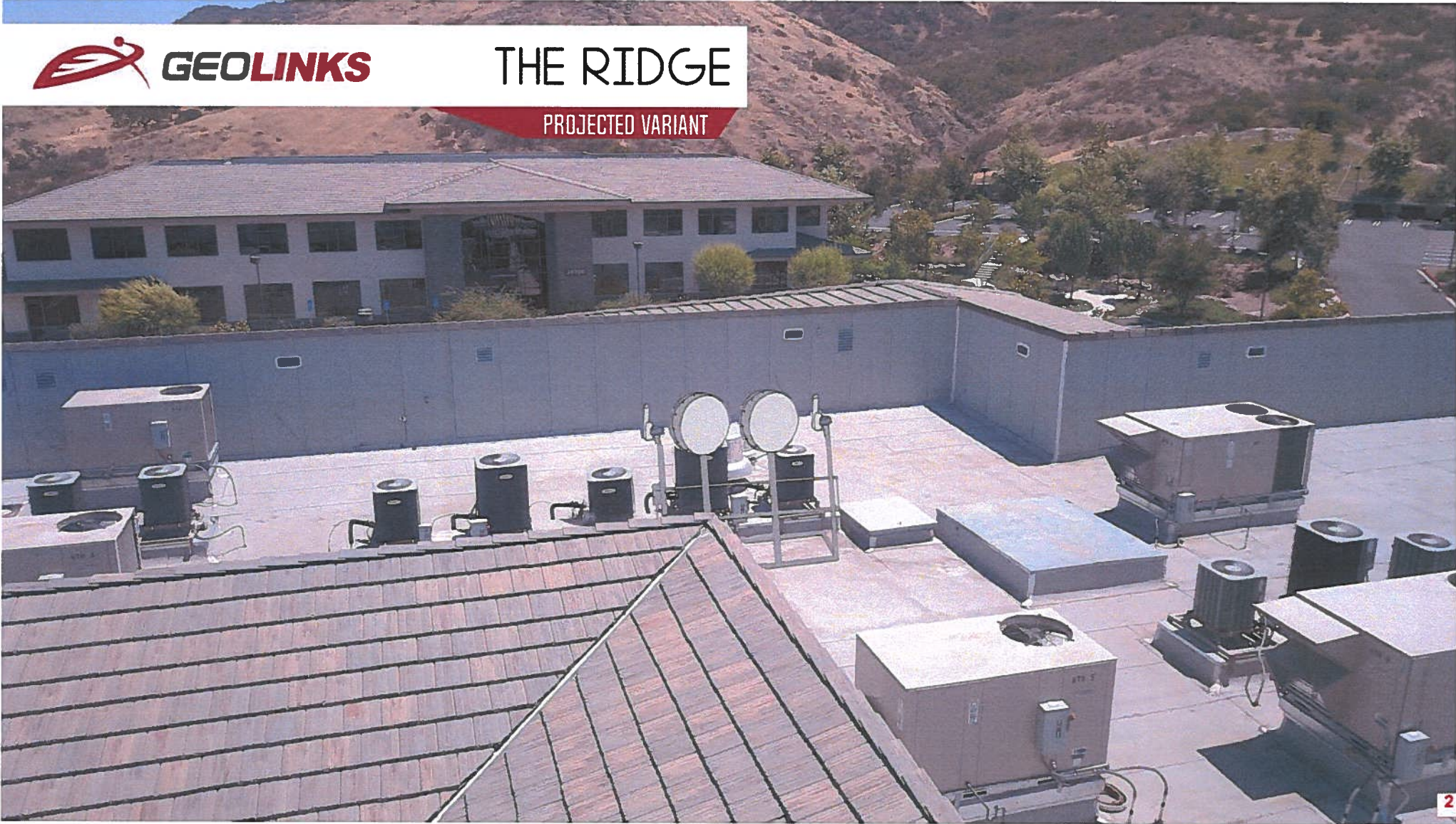
CURRENT STATE





THE RIDGE

PROJECTED VARIANT



GEOLINKS

THE RIDGE

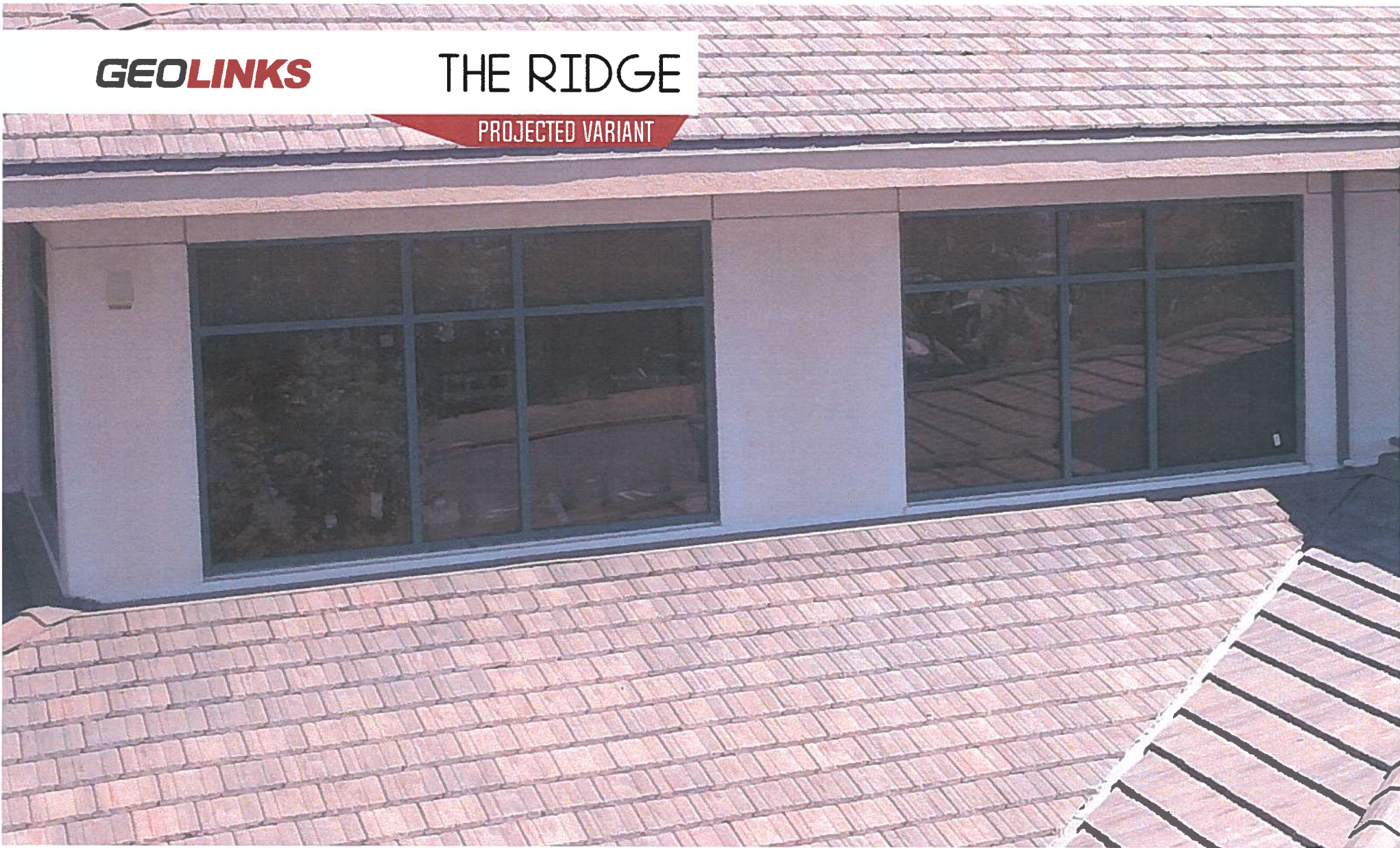
CURRENT STATE



GEOLINKS

THE RIDGE

PROJECTED VARIANT



Attachment 7.02 – Visual Impact Analysis

Photo 1: Heading West Along Agoura Rd. – Looking South Toward 30300 Agoura Rd.



Photo 2: Heading East Along Agoura Rd – Looking South Toward 30300 Agoura Rd.



Photo 3: Heading South Along Reyes Adobe Rd. – Looking South Toward 30300 Agoura Rd.



Photo 4: Heading North Along Reyes Adobe Rd. – Looking South Toward 30300 Agoura Rd.



Photo 5: Heading South Along US-101 Freeway – Looking South Toward 30300 Agoura Rd.



Photo 6: Heading North Along US-101 Freeway – Looking South Toward 30300 Agoura Rd.

