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**PLANNING DEPARTMENT**

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**ACTION DATE:** October 18, 2018

**TO:** Planning Commission

**APPLICANT:** Core Communications Group for Verizon Wireless  
3350 E. Birch Street, Suite 250  
Brea, CA 92821

**CASE NO.:** WIRE-01506-2018

**LOCATION:** 30100 Agoura Road (A.P.N. 2061-005-048)

**REQUEST:** Request for approval of a Wireless Telecommunications Facility/Conditional Use Permit to modify an existing wireless telecommunication facility by replacing six (6) of the twelve (12) panel antennas inside the walls of an existing hotel building; and adding twelve (12) remote radio units; three (3) power surge suppressors; and six (6) dual pack duplexers, with coaxial cabling; and making a finding of exemption under the California Environmental Quality Act (CEQA).

**ENVIRONMENTAL DETERMINATION:** Categorically Exempt under CEQA per Section 15303

**RECOMMENDATION:** Staff recommends approval of Wireless Telecommunications Facility/Conditional Use Permit No. WIRE-01506-2018, subject to conditions, based on findings in the Draft Resolution.

**ZONING DESIGNATION:** PD (Planned Development – Ladyface Mountain Specific Plan)

**GENERAL PLAN DESIGNATION:** PD (Planned Development)

## **I. PROJECT BACKGROUND AND DESCRIPTION**

The applicant, Core Communications Group, an authorized representative for Verizon Wireless, is proposing to modify a wireless telecommunications facility at an existing hotel located at 30100 Agoura Road, just east of Reyes Adobe Road as shown on the attached Exhibit A. A Conditional Use Permit ("CUP") was approved by the Planning Commission in 2014 at the hotel. The original application consisted of the installation, operation and maintenance of 12 wall-mounted panel antennas mounted to the walls of an existing multi-story hotel, with four (4) equipment cabinets on the roof. The antennas were clustered in three groups of four antennas, each representing a sector of transmission.

The applicant proposes to replace six (6) of the twelve antennas, which is two (2) in each sector, in each of their current locations per the plans attached as Exhibit C and D. The antennas are currently screened with a radio frequency emission transparent screening material, with one section built to replace a portion of an existing wall, and one screen added in front of an existing wall. Also included in the project scope of work are the addition of four (4) new Remote Radio Units, or RRUS to be mounted immediately behind the new antennas in each sector and two (2) power surge suppressors attached to a metal platform on the roof of the hotel. No modifications to the screen are proposed, as the antennas are well enough screened.

Verizon is considered a public utility company and is regulated and licensed by the Federal Communications Commission (FCC). The FCC authorizes a utility's initial system and then delegates its authority to local agencies to regulate the location, construction and aesthetics of the wireless telecommunication facilities. Furthermore, the Telecommunication Act of 1996 states that: "No state or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission's regulations concerning such emission." Radio frequency engineers must certify that all facilities operate below the maximum allowable exposure limits.

The applicant has provided staff with specifications of the equipment to be installed and certifies that the proposed facility meets FCC standards. The FCC relies on standards developed by the American National Standards Institute (ANSI). Standards are continually reviewed to account for newly reached findings and modified when appropriate.

The Middle Class Tax Relief and Job Creation Act of 2012 further defined how municipal governments review new wireless telecommunications facilities and modifications to such facilities and established thresholds defined in Section 6409(a) of the Act. In January of 2015, the Federal Communications Commission (FCC) provided municipal governments guidelines to assist in the interpretation of Section 6409(a). In the event that Section 6409(a) governs a permit request, cities cannot require a public hearing to approve the project. The applicant originally sought to obtain approval of this project under Section 6409(a). However, as described further in this report, the project

is not eligible under 6409(a). Instead, the project requires a CUP from the Planning Commission.

## **II. STAFF ANALYSIS**

The applicant is proposing to substitute the existing antennas with two types of antennas. A 72.7-inch tall by 18-inch wide by 7-inch deep antenna will be placed in the Gamma (north facing) and Beta (west facing) sectors, and a 48-inch tall by 18-inch wide by 7-inch deep antenna in the Alpha (east facing) sector. The number of units will not increase. The antennas would remain screened from public view as they would be enclosed in the tower element for two of the three sectors, and behind an existing furred out wall for the other sector. Consequently, there would be no visual impacts from the installation.

In regards to the equipment, the applicant is requesting to add four (4) Remote Radio Units (RRUs) adjacent to antennas with two (2) dual pack diplexers in each sector, and three (3) DC power surge suppressors (Ray Cap), one (1) in the tower and two (2) more on the roof platform, which supports the existing operating equipment. Included in this approval is the relocation of one previously approved Ray Cap that was relocated in the center of the tower and attached to a free-standing rack to which the new Ray Cap will be affixed. Hybriflex cable running in an existing tray between the antennas and the equipment will be also added. The equipment will continue to be enclosed like the antennas, and the roof platform where the new Ray Cap units are installed, although not enclosed, is away from the front elevation parapet wall and at 58 feet above the ground where there is little opportunity to be seen from the public right-of-way.

As a result of the number of units proposed, the entire project is not eligible under Section 6409(a). The applicant's request constitutes a substantial change to the physical dimensions of the existing base station because the proposed transmission equipment would increase the number of cabinets in excess of the standard number of new equipment cabinets for the technology involved.

With respect to radio frequency exposure, although the project is not categorically excluded as shown in the FCC Appendix A of the Local Official's Guide to Radio Frequency submitted by the applicant, it would comply with the FCC requirements as stipulated in the Sitesafe, Inc. Radio Frequency Exposure FCC Compliance Assessment report dated March 8, 2018 submitted for review with the application. The report is included as part of the staff report as Exhibit E. In addition to the Sitesafe report recommended conditions of operation, Telecom Law Firm PC, the City Wireless Consultant, has reviewed the application and has submitted in its Wireless Planning Memorandum dated August 27, 2018, additional conditions of approval to become part of the project's approval. In this proposal, all sectors points are well above a level that can be accessed by humans. Nonetheless, the service provider must restrict public access to that controlled access zone so that the public at large cannot unknowingly enter and be exposed to radio emissions in excess of those allowed by the FCC in the control zone areas. The project is conditioned accordingly.

General Plan Consistency:

Staff finds the project will be consistent with the following applicable General Plan goals and policies:

*Goal U-6: Telecommunication System.* Quality communication systems that meet the demands of new and existing developments in the City.

The project will provide quality communications systems to meet the demands of new and existing developments in the City by extending coverage and adding capacity, with minimal equipment installation.

- Policy U-6.1: Access and Availability. Work with service providers to ensure access to and availability of a wide range of state-of-the-art telecommunications systems and services for households, businesses and institutions throughout the City.

The project will provide state-of-the art wireless telecommunication services.

- Policy U-6.2: Design and Siting of Facilities. Require that the installation of telecommunications infrastructure, such as cellular sites and towers, be designed in a manner to minimize visual impacts on the surrounding environment and neighborhood, and to be as unobtrusive as possible.

The proposed wireless telecommunications facility includes antennas and related equipment that are completely screened by building walls and a parapet wall respectively. Therefore, the project will blend in with the building and will not cause adverse visual impacts.

Conditional Use Permit Findings:

In order for a Conditional Use Permit to be approved, the applicant must demonstrate compliance with the Conditional Use Permit findings. The project must be consistent with the Zoning Ordinance in that the use is permitted in the PD zone and compatible with the existing hotel. The modifications to the facility will continue to be screened from public view to maintain the aesthetic appearance of the building. The modifications to the facility will not affect the diversity of uses in the vicinity but rather continue to increase the efficiency of wireless telecommunication for the community while being operated according to the Federal Communication Commission standards.

Wireless Telecommunication Facilities Findings:

In addition to the Conditional Use Permit findings, the Planning Commission must make findings specifically related to wireless telecommunications facilities.

The proposed facility has been designed and located in compliance with all applicable provisions of the Zoning Ordinance Section 9661. The facility remains a secondary use

to the hotel building, and is permitted in this zone with a Conditional Use Permit. The service carrier and the applicant on behalf of the carrier have demonstrated that they are permitted to install and operate such a service as shown in the Supplemental Application for wireless telecommunications facilities.

The proposed modification of the existing facility has been designed and located to achieve compatibility with the community. The wireless telecommunications facility would be constructed within the building tower for two transmitting sectors and behind a screen wall for the third sector, and the equipment is on the roof of the building, all completely invisible to public view. The facility is not expected to generate noise above the existing exterior noise level of fifty-five (55) dBA three feet from the noise source, and so would not be detrimental to the public health, safety, and welfare.

### **III. RECOMMENDATION**

Based on the above analysis, staff recommends approval of Conditional Use Permit Case No. WIRE-01506-2018, subject to conditions of the attached Draft Resolution.

### **IV. ATTACHMENTS**

- Draft Resolution of Approval and Conditions of Approval
- Exhibit A: Vicinity/Zoning Map
- Exhibit B: Approved Telecommunications Facilities Map
- Exhibit C: Reduced Copy of Plans
- Exhibit D: Photosimulations of the modification to the existing Wireless Telecommunication Facility

**Case Planner:** Valerie Darbouze, Associate Planner

RESOLUTION NO. 18-\_\_\_\_\_

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS CONDITIONALLY APPROVING WIRELESS TELECOMMUNICATIONS FACILITIES/ CONDITIONAL USE PERMIT CASE NO. WIRE-01506-2018 FOR THE MODIFICATION OF A FACILITY AT 30100 AGOURA ROAD; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Core Communications Group for Verizon Wireless with respect to the real property located at 30100 Agoura Road (A.P.N. 2061-005-048) for a Wireless Telecommunications Facilities/Conditional Use Permit to replace six (6) of the twelve (12) panel antennas inside the walls of an existing hotel building, and add multiple ancillary pieces of equipment, including twelve (12) remote radio units, six (6) dual pack diplexers, and three (3) power surge suppressors with coaxial cabling.

Section II. The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorically Exempt from the CEQA Guidelines per Section 15303. This exemption includes the construction of accessory structures. No significant environmental impacts are expected from development of this project. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines including but not limited to subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the application at a public hearing held on October 18, 2018 at 6:30 p.m. in the Council Chambers of City Hall at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid was duly given.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Conditional Use Permit. Pursuant to Section 9673.2.E. of the Agoura Hills Zoning Ordinance, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, that:

1. The proposed use is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. Wireless telecommunication facilities are allowed in the Planned Development (PD) zone subject to the issuance of a Conditional Use Permit. The wall-mounted antennas will be completely screened with a

radio frequency emission-transparent material textured and painted to match the texture and color of the building façade. The additions to the building will not create a visual distraction or block views along the right-of-way. The accessory equipment is located on top of the roof, and will be shielded by an existing parapet wall and a screen wall. The dimensions and appearance of the facilities are consistent with the Zoning Ordinance.

2. The proposed use is compatible with the surrounding properties. The wireless telecommunications facilities, including antennas and accessory equipment, are allowed by the Zoning Ordinance. The use is consistent with the land use designation of the PD zone and is appropriate for this commercial area since the use provides a communication service to neighboring commercial and residential properties, as well as to motorists. The facilities will be screened and so will not be visible to passers-by, thereby maintaining the character of the neighborhood.

3. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare. Wireless telecommunications facilities must be built in compliance with the City Building Code, and are subject to inspection by the Building Department to ensure they are constructed in a safe manner. The Federal Communications Commission (FCC) also regulates wireless telecommunications facilities with regards to other related health and safety issues, particularly radio frequency (RF) emissions, and establishes thresholds of the RF emissions beyond which a wireless telecommunications cannot exceed. Pursuant to the project conditions of approval and the Wireless Telecommunications Facilities Ordinance, the applicant must demonstrate continued compliance with established FCC RF emission standards.

4. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance. The wireless telecommunications facilities are allowed in the PD zone, subject to the issuance of a Conditional Use Permit. Each of the proposed antennas, as well as the accessory equipment, will comply with the applicable provisions of the Zoning Ordinance relative to the use, the property location, and the facility dimensions and appearance. The antennas and ancillary equipment will be placed on the building walls and roof, and no expansion of the existing building area is proposed.

5. The distance from other similar and like uses is sufficient to maintain the diversity within the community. There is only one wireless telecommunication provider with both wall mounted antennas and roof-mounted accessory equipment on this base station, which is the hotel. Over the years, other facilities have been approved on other commercial buildings in the vicinity of the proposed location, which have in most cases been screened from public view. Since the facility is not visible to the public and does not require direct use of the facility by the public, the proposed modification does not impact the concentration limitation imposed by the Conditional Use Permit requirements. The applicant is proposing the facilities to provide improved wireless telecommunication services in the area.

6. The proposed use is consistent with the goals and policies of the General Plan with respect to wireless telecommunications facilities, particularly with Goal U-6 and

Policies U-6.1 and U-6.2. The General Plan seeks quality communication systems that meet the demands of new and existing developments in the City, which this proposed use does by providing improved wireless telecommunication services and implementation of state-of-the-art telecommunications services in the form of 4G coverage. The General Plan requires that the installation of telecommunication infrastructure, such as cellular sites, be designed in a manner as to minimize visual impacts on the surrounding environment and neighborhood, and to be as unobtrusive as possible. The project meets the requirements by screening the antennas behind a solid stuccoed screen, and the equipment on top of the building roof and behind parapet walls.

Section VI. Wireless Telecommunications Facilities Ordinance. Pursuant to Section 9661.7 of the Agoura Hills Zoning Ordinance, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds that:

1. The proposed modification to the facility has been designed and located in compliance with all applicable provisions of Division 11 of Part 2, Chapter 6 of Title IX Zoning. The overall facility remains secondary to the hotel on this parcel and is permitted in this zone with a conditional use permit. The facility has been designed to effectively screen and camouflage the antennas behind building screens. The associated equipment will be installed on top of the building roof out of public view. Further, the applicant has completed the supplemental application to the satisfaction of the Director of Planning, which serves as compliance verification.

2. The proposed modification to the facility has been designed and located to achieve compatibility with the surrounding community. The entire wireless telecommunications facility is incorporated into an existing building and adequately screened from the surrounding area by screen and parapet walls, and is within the dimensions allowed.

3. As part of this modification application, the applicant has submitted a statement of its willingness to allow other carriers to collocate on the existing building where the existing wireless telecommunications facility is located wherever technically and economically feasible and where collocation would not harm community compatibility as previously agreed upon prior to the modification.

4. Noise generated by equipment will not be excessive, annoying nor be detrimental to the public health, safety, and welfare and will not exceed the standards set forth in Division 11 of Part 2, Chapter 6 of Title IX Zoning. With the addition of equipment, the applicant has certified that the project will not result in an increase of noise over current conditions. Further, the conditions of approval regulate permissible noise and provide a procedure for addressing potential noise effects.

Section VII. Based on the aforementioned findings, the Planning Commission hereby approves Wireless Telecommunications Facilities/Conditional Use Permit No. WIRE-01506-2018, subject to the attached Conditions of Approval, with respect to the property described in Section I.



Section VIII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED and ADOPTED this \_\_\_\_\_, 2018, by the following vote to wit:

AYES: (0)  
NOES: (0)  
ABSTAIN: (0)  
ABSENT: (0)

\_\_\_\_\_  
Curtis Zacuto, Chairperson

ATTEST:

\_\_\_\_\_  
Doug Hooper, Secretary

**Exhibit A**  
Conditions of Approval  
(Case No. WIRE-01506-2018)

**STANDARD CONDITIONS**

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of this Permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits: Site Plan; Elevation Plan; and Details Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Conditional Use Permit.
8. Unless this permit is used within two (2) years from the date of City approval, Case No. WIRE-01506-2018 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
9. Operation of the use shall not be granted until all Conditions of Approval have been complied with as determined by the Director of Planning.
10. Prior to the issuance of building permits, all requirements of the Los Angeles County Fire Department shall be satisfied.
11. The facility will require the approval of the Building and Safety Department prior to installation and operation.

12. The term "facility" shall mean the wireless telecommunications facility described in the application and set forth in Section 1 of the Resolution approving these conditions of approval.
13. Permittee shall defend, indemnify, protect and hold harmless City, its elected and appointed Council Members, boards, commissions, officers, officials, agents, consultants, employees, and volunteers from and against any and all claims, actions, or proceeding against the City, and its elected and appointed Council Members, boards, commissions, officers, officials, agents, consultants, employees, and volunteers to attack, set aside, void or annul, an approval of the City, Planning Commission or City Council concerning this permit and the project. Such indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses, including, but not limited to, interest, attorneys' fees and expert witness fees, or liability of any kind related to or arising from such claim, action, or proceeding. The City shall promptly notify the permittee of any claim, action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding. The City shall have the option of coordinating the defense, including, but not limited to, choosing counsel for the defense at permittee's expense.

#### WIRELESS TELECOMMUNICATIONS FACILITIES STANDARD CONDITIONS

14. The permittee shall submit an as built drawing within ninety (90) days after installation of the facility.
15. The permittee shall submit and maintain current at all times basic contact and site information on a form to be supplied by the City. The permittee shall notify the City of any changes to the information submitted within seven (7) days of any change, including change of the name or legal status of the owner or operator. This information shall include, but is not limited to, the following:
  - a. Identity, including the name, address and 24-hour local or toll free contact phone number of the permittee, the owner, the operator, and the agent or person responsible for the maintenance of the facility.
  - b. The legal status of the owner of the wireless telecommunications facility, including official identification numbers and Federal Communications Commission certification.
  - c. Name, address and telephone number of the property owner if different than the permittee.
16. Upon any transfer or assignment of the permit, the Director may require submission of any supporting materials or documentation necessary to determine that the proposed use is in compliance with the existing permit and all of its conditions of

approval including, but not limited to, statements, photographs, plans, drawings, models, and analysis by a qualified radio frequency engineer demonstrating compliance with all applicable regulations and standards of the Federal Communications Commission and the California Public Utilities Commission. If the Director determines that the proposed operation is not consistent with the existing permit, the Director shall notify the permittee who shall either revise the application or apply for modification of the permit pursuant to the requirements of the Agoura Hills Municipal Code.

17. The permittee shall not place any facilities that will deny access to, or otherwise interfere with, any public utility, easement, or right-of-way located on the site. The permittee shall allow the City reasonable access to, and maintenance of, all utilities and existing public improvements within or adjacent to the site, including, but not limited to, pavement, trees, public utilities, lighting and public signage.
18. At all times, all required notices and signs shall be posted on the site as required by the Federal Communications Commission and California Public Utilities Commission, and as approved by the City. The location and dimensions of a sign bearing the emergency contact name and telephone number shall be posted pursuant to the approved plans.
19. At all times, the permittee shall ensure that the facility complies with the most current regulatory and operational standards including, but not limited to, radio frequency emissions standards adopted by the Federal Communications Commission and antenna height standards adopted by the Federal Aviation Administration, and shall timely submit all monitoring reports required pursuant to section 9661.13 of the Agoura Hills Municipal Code.
20. If the Director determines there is good cause to believe that the facility may emit radio frequency emissions that are likely to exceed Federal Communications Commission standards, the Director may require post-installation testing, at permittee's expense, or the Director may require the permittee to submit a technically sufficient written report certified by a qualified radio frequency emissions engineer at other than the regularly required intervals specified in Section 9661.13 of the Agoura Hills Municipal Code, certifying that the facility is in compliance with such FCC standards.
21. Permittee shall pay for and provide a performance bond, which shall be in effect until the facility is fully and completely removed and the site reasonably returned to its original condition, to cover permittee's obligations under these conditions of approval and the Agoura Hills Municipal Code. The bond coverage shall include, but not be limited to, removal of the facility, maintenance obligations and landscaping obligations. Such performance bond shall be in a form satisfactory to the City Attorney and Risk Manager, naming the City as obligee, in an amount equal to \$25,000.

22. If a nearby property owner registers a noise complaint and such complaint is verified as valid by the City, the City may hire a consultant to study, examine and evaluate the noise complaint and the permittee shall pay the fee for the consultant. The matter shall be reviewed by the Director. If the Director determines sound proofing or other sound attenuation measures should be required to bring the project into compliance with the Agoura Hills Municipal Code, the Director may impose that condition on the project after notice and a public hearing.
23. "Permittee" shall include the applicant and all successors in interest to this permit.
24. The facility shall bear no signs or advertising devices other than certification, warning or other signage required by law or permitted by the City.
25. The facility shall not be illuminated unless specifically required by the Federal Aviation Administration or other government agency. Lightning arresters and beacon lights are not permitted unless required by the Federal Aviation Administration or other government agency. Any required lighting shall be shielded to eliminated, to the maximum extent possible, impacts on the surrounding neighborhoods, and a lighting study shall be prepared by a qualified lighting professional to evaluate potential impacts to adjacent properties , which must be reviewed and approved by the City prior to the installation of any lighting.
26. Permittee shall submit to the City within ninety (90) days of beginning operations under this permit, and every two years from the date the facility begins operations, a technically sufficient report ("monitoring report") that demonstrates the following:
  - a. The facility is in compliance with applicable federal regulations, including Federal Communications Commission RF emissions standards, as certified by a qualified radio frequency emissions engineer;
  - b. The facility is in compliance with all provisions of this section and its conditions of approval.
  - c. The bandwidth of the facility has not been changed since the original application or last report, as applicable, and if it has, a full written description of that change.
27. Noise.
  - a. The facility shall be operated and maintained in such a manner so as to minimize any possible disruption caused by noise.
  - b. The facility is not approved for a backup generator. In the event of an emergency that results in a loss of power to the facility, a temporary emergency backup generator may be employed and shall only be operated during periods of power outages, and shall not be tested on weekends or holidays, or between the hours of 7:00 PM and 7:00 AM. The temporary

emergency backup generator shall be promptly removed from the premises once the emergency is terminated.

- c. At no time shall equipment noise from the facility exceed an exterior noise level of fifty-five (55) dBA at the facility's property line and such equipment noise shall at no time be audible at the property line of any property zoned residential or improved with a residential use that is located within five hundred (500) feet of the facility.
  - d. All air conditioning units and any other equipment that may emit noise that would be audible from beyond the facility's property line shall be enclosed or equipped with noise attenuation devices to the extent necessary to ensure compliance with applicable noise limitations under the City of Agoura Hills Municipal Code.
  - e. Except for emergency repairs, any testing and maintenance activities that will be audible beyond the property line shall only occur between the hours of 7:00 a.m. and 7:00 p.m. on Monday through Friday, excluding holidays, unless alternative hours are approved by the Director.
28. Features designed to make the facility resistant to, and minimize opportunities for, unauthorized access, climbing, vandalism, graffiti and other conditions that would result in hazardous situations, visual blight or attractive nuisances shall not be removed by permittee and shall be maintained in good condition.
29. The facility, including, but not limited to, antennas, accessory equipment, walls, shields, cabinets, camouflage, and the facility site, shall be maintained in good condition, including ensuring the facility is reasonably free of:
- a. General dirt and grease;
  - b. Chipped, faded, peeling, and cracked paint;
  - c. Rust and corrosion;
  - d. Cracks, dents, and discoloration;
  - e. Missing, discolored or damaged screening or other camouflage;
  - f. Graffiti, bills, stickers, advertisements, litter and debris;
  - g. Broken and misshapen structural parts; and
  - h. Any damage from any cause.
30. The permittee shall replace its facility, or part thereof, after obtaining all required permits, if maintenance or repair is not sufficient to return the facility to the condition it was in at the time of installation. The permittee shall routinely inspect the facility

and site to ensure compliance with the standards set forth in the Agoura Hills Municipal Code and these conditions of approval.

31. Graffiti shall be removed from a facility as soon as practicable, and in no instance more than twenty-four (24) hours from the time of notification by the City unless a provision of the Agoura Hills Municipal Code provides a shorter time period for removal.
32. In the event Permittee desires to modify the facility, Permittee shall apply for and obtain all permits or permit amendments required by the Agoura Hills Municipal Code prior to making any modification to the facility. At a minimum, any application for modification to the facility shall use the screening and camouflage designs approved by this permit unless a more effective screen, concealment or camouflage design is proposed by the permittee or required by the Agoura Hills Municipal Code, or the building is remodeled such that it necessitates a new screen, concealment or camouflage design that is consistent with the building façade. Additionally, to the extent feasible, existing equipment shall be replaced with equipment that reduces visual, noise and other impacts, including, but not limited to, replacing larger, more visually intrusive facilities with smaller, less visually intrusive facilities. "Modification" means a change to an existing wireless telecommunications facility that involves any of the following: collocation, expansion, alteration, enlargement, intensification, reduction, or augmentation, including, but not limited to, changes in size, shape, color, visual design, or exterior material. "Modification" does not include repair, replacement or maintenance if those actions do not involve a change to the existing facility involving any of the following: collocation, expansion, alteration, enlargement, intensification, reduction, or augmentation
33. This permit shall be valid for a period of ten (10) years from the date of Planning Commission approval, which is the date of issuance, unless pursuant to another provision of the Agoura Hills Municipal Code it lapses sooner or is revoked. At the end of ten (10) years from the date of issuance, this permit shall expire.
34. In the event the facility ceases to provide wireless telecommunications services for ninety (90) or more consecutive days, the facility shall be considered abandoned and shall be promptly removed as provided in these conditions of approval and the Agoura Hills Municipal Code. If there are two (2) or more users of a single facility, then this provision shall not become effective until all users cease using the facility.
35. Permittee shall notify the City in writing of its intent to abandon or cease use of the facility within ten (10) days of ceasing or abandoning use. Additionally, the Permittee shall provide written notice to the Director of any discontinuation of operations of thirty (30) days or more.
36. Failure to inform the Director of cessation or discontinuation of operations of the facility as required by these conditions of approval shall constitute a violation of the conditions of approval and be grounds for:

- a. Prosecution;
  - b. Revocation or modification of the permit;
  - c. Calling of any bond or other assurance required by the Agoura Hills Municipal Code or conditions of approval of the permit;
  - d. Removal of the facility by the City in accordance with the procedures established under the Agoura Hills Municipal Code for abatement of a public nuisance at the permittee's expense; and/or
  - e. Any other remedies permitted under the Agoura Hills Municipal Code.
37. Upon the expiration date of the permit, including any extensions, earlier termination or revocation of the permit or abandonment of the facility, the permittee, the property owner, or both shall remove the facility and restore the site to its natural condition except for retaining the landscaping improvements and any other improvements at the discretion of the City. Removal shall be in accordance with proper health and safety requirements and all ordinances, rules, and regulations of the City. The facility shall be removed from the property, at no cost or expense to the City. The private property owner shall be independently responsible for the expense of timely removal and restoration.
38. Failure of the permittee, property owner, or both to promptly remove the facility and restore the property within thirty (30) days after expiration of this permit, earlier termination or revocation of this permit, or abandonment of the facility, shall be a violation of the Agoura Hills Municipal Code, and shall be grounds for:
- a. Prosecution;
  - b. Calling of any bond or other assurance required by the Agoura Hills Municipal Code or conditions of approval of permit;
  - c. Removal of the facility by the City in accordance with the procedures established under the Agoura Hills Municipal Code for abatement of a public nuisance at the permittee and/or property owner's expense; and/or
  - d. Any other remedies permitted under the Agoura Hills Municipal Code.
39. The facility shall comply at all times with any and all applicable local, state, and federal laws, regulations and guidelines. Any violation of these conditions of approval or the Agoura Hills Municipal Code may be subject to the citations, penalties and fines as set forth in the Agoura Hills Municipal Code, other available remedies and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.



**SPECIFIC PROJECT CONDITIONS**

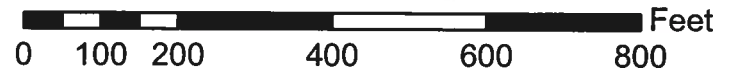
40. Permittee shall abide by the conditions of operation stipulated in the Sitesafe Radio Frequency Report dated March 7, 2018.
41. Permittee shall keep the access points to the rooftop area locked at all times, except when active maintenance is performed on the rooftop or equipment.
42. Permittee shall lock all access hatches on all roof levels at all times while authorized personnel are not physically present at the site.
43. Permittee shall install and at all times maintain in good condition a network operations information sign at the access entries to the rooftop. Signs required under this condition shall be installed so that a person may clearly see the sign before he or she approaches the access point when the door, hatch or other access point is in the open position and when the door, hatch or other access point is in the closed position (e.g. placed on the wall opposite from the hinges so that the sign remains visible when the door or hatch swings open).
44. Permittee shall install and at all times maintain in good condition an "RF Caution" and network operations information sign adjacent to each antenna sector on the rooftop. The RF Caution signs shall be placed inside the FRP screen enclosures.
45. Permittee shall ensure that all signage complies with FCC OET Bulletin 65 or ANSI C95.2 for color, symbol, and content conventions. All such signage shall at all times provide a working local or toll-free telephone number to its network operations center, and such telephone number shall be able to reach a live person who can exert transmitter power-down control over this site as required by the FCC.

END

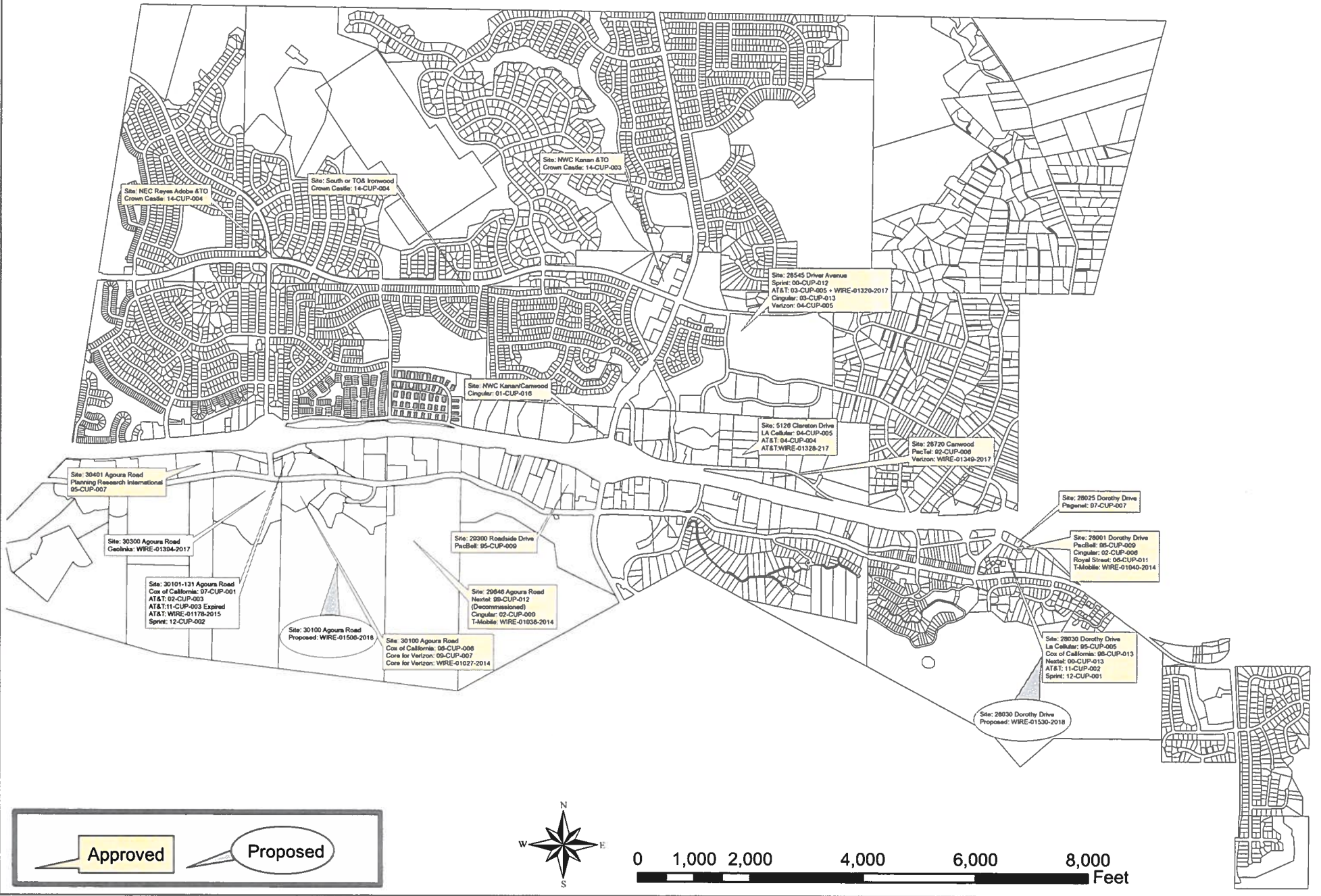
# City of Agoura Hills

CASE NO. WIRE-01506-2018

Vicinity/Zoning  
Map



# Approved and Proposed Wireless Telecommunication Facilities (As of September 2018)









the two provides a communication service to neighboring commercial and residential properties, as well as to residents.

3. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare. Wireless telecommunication facilities must be built in compliance with the City Planning Code, and are subject to inspection by the Building Department to ensure they are constructed in a safe manner. The Federal Communications Commission (FCC) also regulates wireless telecommunication facilities with regards to other related health and safety issues, particularly radio frequency (RF) emissions, and establishes thresholds of the RF emissions beyond which a wireless telecommunication cannot operate. Pursuant to the Conditions of Approval and the Ordinance, the applicant must demonstrate compliance with established FCC RF emission standards.

4. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance. The wireless telecommunication facilities are allowed in the PD zone, subject to the language of a Conditional Use Permit. Each of the proposed antennas, as well as the antenna equipment, will comply with the applicable provisions of the Zoning Ordinance relating to the use, the property location, and the facility placement and appearance. The antenna and auxiliary equipment will be placed on building walls and no expansion of the existing building is proposed.

5. The distance from other structures and the use is sufficient to maintain the privacy within the community. There is only one wireless telecommunication provider with both cell tower antennas and telecommunication equipment on the site located within the block. Over the years, other facilities have been approved on other commercial buildings in the vicinity of the proposed location which have in most cases been accepted from public view. Since the facility is not visible to the public and does not require direct use of the facility by the public, the proposed installation does not impact the telecommunications required by the Conditional Use Permit requirements.

6. The proposed use is consistent with the goals and policies of the General Plan with respect to wireless telecommunication facilities, particularly with Goals U-6 and Policies U-4.1 and U-4.2. The General Plan sets policy regarding communication systems that meet the demands of current and existing developments in the City, which this proposed use meets by providing telecommunication services and infrastructure to support the use of wireless telecommunication services in the form of cell towers. The General Plan requires that the installation of telecommunication infrastructure, such as cellular towers, be designed in a manner so as to minimize visual impacts on the surrounding environment and neighborhood, and to be unobtrusive in a manner which the project is consistent with the surrounding built and natural environment, and the placement on top of the building and not behind private walls.

Section 5. Permitted to Section 9641.7 of the Agoura Hills Zoning Ordinance, and based upon the evidence presented at the hearing, including the staff report and staff and written testimony, the Planning Commission finds that:

1. The proposed facilities have been designed and located in compliance with all applicable provisions of Division 11 of Part 2, Chapter 6 of the City Zoning Code. The proposed facility meets secondary to the lot on the parcel and is permitted to be sited on the lot with a conditional use permit. The facility has been designed to effectively screen and camouflage the antennas. The associated equipment will be located on top of the roof and not visible. Further, the applicant has submitted the supplemental application to the satisfaction of the Director of Planning, which serves as compliance verification.

2. The proposed facilities have been designed and located to achieve compatibility with the surrounding community. The wireless telecommunication facilities are incorporated into an existing building and adequately screened from the surrounding area.

3. The applicant has submitted a statement of its willingness to allow other carriers to collocate on the proposed wireless telecommunication facilities whenever technically and economically feasible and where collocation would not harm community compatibility. The modification does not change this arrangement.

4. Make guaranteed by applicant will not be excessive, ensuring not be detrimental to the public health, safety, and welfare and will not exceed the standards set forth in Division 11 of Part 2, Chapter 6 of the City Zoning Code. The project does not increase the overall number of antennas or equipment outdoors, and the applicant has certified that the project will not result in an increase of other over current conditions. Further, the conditions of approval require particular noise effects and provide a procedure for addressing potential noise effects.

Section 6. CROQA Findings.

A. The Planning Commission hereby finds that the approval of the project is in compliance with the City of Agoura Hills Quality Act (Health Measures Code Section 2100 et seq., "CROQA", pursuant to Ordinance 11371 (June 3), because the project involves the construction and location of limited numbers of cell tower facilities or telecommunication equipment on a structure and does not have any potential for causing a significant effect on the environment.

B. The conditions of records for all materials that maintain the record of proceeding upon which this decision is based in the City Clerk, and those documents are available for public review in the City Clerk's office located at 30001 Labyrinth Court, Agoura Hills, California 91301.

Section 7. Based on the aforementioned findings, the Planning Commission hereby approves Wireless Telecommunications Facilities/Conditional Use Permit No. WTR-0107-2015.

Linda Neuhoff, Chairperson

ATTEST:

Doug Hooper, Secretary

2014, subject to the attached Conditions of Approval, with respect to the property described in Section 1.

Section 8. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED AND ADOPTED this 1<sup>st</sup> Day of September 2015, by the following vote:

AYES: (9)  
NOES: (0)  
ABSENT: (0)

Conditions of Approval  
(Case No. WTR-0107-2015)

STANDARD CONDITIONS

- This antenna, or any part of this antenna, may be approved by the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
- This antenna shall not be allowed for any proposed use until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of this Permit with the Planning Department.
- Except as modified herein, the approval of this antenna is limited to and replaces complete consideration of the approved building address: 87001 Labyrinth Court, and Ordinance No. 11371.
- All antenna structures used in the project shall be in compliance with the standards specified in a plan of this application.
- It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
- It is further declared and made a Condition of this antenna that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to correct such violation and has failed to do so for a period of thirty (30) days.
- All equipment of the Zoning Ordinance and of the specific zoning designation of the subject property must be completed with unless set forth in the Conditional Use Permit.
- Unless this permit is used within two (2) years from the date of approval, Case No. WTR-0107-2015 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
- Operation of the use shall not be granted until all Conditions of Approval have been completed with as mandated by the Director of Planning.
- Fees to the issuance of building permits, all requirements of the Los Angeles County Fire Department shall be satisfied.
- The permit will require the approval of the Building and Safety Department prior to installation and operation.
- The term "facility" shall mean the wireless telecommunication facility described in the application and set forth in Section 1 of the Resolution approving these conditions of approval.

WIRELESS TELECOMMUNICATIONS FACILITIES STANDARD CONDITIONS

- The permittee shall submit an as-built drawing within sixty (60) days after installation of the facility.
- The permittee shall submit and maintain current, as-built drawings, correct and also information on a form to be provided by the City. The drawings shall specify the City of any changes to the information submitted within seven (7) days of any change, including changes for the structure or height of the antenna or tower. The information shall include, but is not limited to, the following:
  - Monthly, including the date, address and 24-hour hour or toll free contact phone number of the permittee, the owner, the operator, and the agent or person responsible for the maintenance of the facility.
  - The exact status of the owner of the wireless telecommunication facility, including official identification numbers and Federal Communications Commission certification.
  - Name, address and telephone number of the property owner if different than the permittee.
- Upon any transfer or assignment of the permit, the Director may require submission of any supporting materials or information necessary to determine that the proposed use is in compliance with the existing permit and the conditions of approval including, but not limited to, statements, photographs, plans, drawings, models, and surveys by a qualified radio frequency engineer demonstrating compliance with all applicable regulations and standards of the Federal Communications Commission and the City of Agoura Hills Municipal Code. If the Director determines that the proposed operation is not consistent with the existing permit, the Director shall notify the permittee who shall either revise the application or apply for modification of the permit pursuant to the requirements of the Agoura Hills Municipal Code.
- The permittee shall not place any facilities that will carry signals to, or otherwise interfere with, any public utility, telephone, or high-speed line located on the site. The permittee shall allow the City reasonable access to, and maintenance of, all cellular and related public infrastructure, including but not limited to, antennas, towers, and related equipment, and shall provide access to the permittee, upon public utility, telephone and public safety.
- At all times, all required notices and signs shall be posted on the site as required by the Planning Commission, Commission of CAMSRA, Public Utilities Commission, and as approved by the City. The location and dimensions of a sign bearing the emergency contact number and related information shall be posted pursuant to the approved plans.
- At all times, the permittee shall ensure that the facility complies with the most current regulatory and engineering standards including, but not limited to, radio frequency emission standards adopted by the Federal Communications Commission and various

- might standards adopted by the Federal Aviation Administration, and shall comply with all existing reports required pursuant to Section 9641.13 of the Agoura Hills Municipal Code.
- If by Director determines there is good cause to believe that the facility may emit radio frequency emissions that are likely to exceed Federal Communications Commission standards, the Director may require post-installation testing, at permittee's expense, or the Director may require the permittee to submit a radio frequency emissions report certified by a qualified radio frequency emissions engineer or other than the regulatory required methods specified in Section 9641.13 of the Agoura Hills Municipal Code, certifying that the facility is in compliance with FCC standards.
  - Permittee shall pay for and provide a performance bond, which shall be in effect until the facility is fully and completely removed and the site is restored to its original condition, to cover permittee's obligations under these conditions of approval and the Agoura Hills Municipal Code. The bond amount shall include, but not be limited to, removal of the facility, maintenance obligations and compliance with such performance bond shall be in a form satisfactory to the City Attorney and Risk Manager, and the City as a condition, in an amount equal to \$2,000,000.00.
  - If a third party property owner requires a utility easement and such easement is needed to be held by the City, the City may hire a consultant to study, examine and review the site to complete and the permittee shall pay for the fee for the consultant. The matter shall be reviewed by the Director. If the Director determines sound professional or other sound engineering measures should be required to bring the project into compliance with the Agoura Hills Municipal Code, the Director may require that condition on the project after notice and a public hearing.
- Permittee shall defend, indemnify, protect and hold harmless the City, its elected and appointed Council Members, boards, commissions, officers, officials, agents, consultants, employees, and volunteers from and against any and all claims, actions, or proceedings against the City, and its elected and appointed Council Members, boards, commissions, officers, officials, agents, consultants, employees, and volunteers to amount, not exceed, the amount of any award of damages, including but not limited to, interest, attorney's fees and expert witness fees, or liability of any kind related to or arising from such claims, actions, or proceedings. The City shall properly notify the permittee of any such claims, actions, or proceedings. Notwithstanding, the City shall have the option of declining to defend, including, but not limited to, choosing counsel for the defense at permittee's expense.
- Permittee shall include the applicant and all successors in interest in this permit.
- The facility shall bear no signs or advertising devices other than identification, warning or other signs required by law or provided by the City.

- The facility shall not be illuminated with specifically required by the Federal Aviation Administration or other government agency. Lighting services and license rights are not permitted unless required by the Federal Aviation Administration or other government agency. Any required lighting shall be subject to approval by the maximum number of hours, location, the surrounding neighborhood, and a lighting study shall be prepared by a qualified lighting professional to evaluate proposed lighting to adjacent properties which shall be reviewed and approved by the City prior to the installation of any lighting.
- Permittee shall submit to the City within sixty (60) days of beginning operations under this permit, and every five years from the date the facility begins operations, a building safety inspection report ("building report") that demonstrates the following:
  - The facility is in compliance with applicable Federal regulations, including Federal Communications Commission (FCC) emission standards, as certified by a qualified radio frequency emissions engineer.
  - The facility is in compliance with all provisions of this section and its conditions of approval.
  - The height of the facility has not been changed since the original application or last report, or applicable, and if it has, a full written description of that change.
- Notes:
  - The facility shall be operated and maintained in such a manner so as to minimize any possible disruption caused by the facility.
  - The facility is not approved for a backup generator. In the event of an emergency that results in a loss of power to the facility, a backup generator backup generator may be employed and shall only be operated during periods of power shortage, and shall not be used on weekends or holidays, or between the hours of 7:00 PM and 7:00 AM. The emergency generator backup generator shall be properly removed from the premises once the emergency is terminated.
  - At no time shall equipment noise from the facility exceed an outdoor level of fifty-five (55) dBA at the facility's property line and such equipment noise shall at no time be audible at the property line of any property owned, leased or improved with a residential use that is located within five hundred (500) feet of the facility.
  - All air conditioning units and any other equipment that may emit noise that would be audible from beyond the facility's property line shall be enclosed or equipped with sound attenuation devices to the extent necessary to ensure compliance with applicable noise limitations under the City of Agoura Hills Municipal Code.

- Except for emergency, repair, maintenance and maintenance activities that will be needed beyond the permit, there shall only occur between the hours of 7:00 AM and 7:00 PM on weekdays through Friday, excluding holidays, wireless antenna height or structure by the Director.
- Factors deemed to include the facility's location, and existing operations, the surrounding neighborhood, antenna, foundation, height and other conditions that would result in interference with the facility's operation, including but not limited to, the following:
  - Antenna size and location.
  - Chimney, roof, parking, and street layout.
  - Plant and vegetation.
  - Colors, style, and appearance.
  - Material, structure or structural components or other conditions.
  - Climate, wind, seismic, environmental, fire and other.
  - Design and installation structural party; and
  - Any damage that may occur.
- The permittee shall comply with all applicable laws, rules, regulations, codes, and standards of the City of Agoura Hills, including but not limited to, the following:
  - Antenna size and location.
  - Chimney, roof, parking, and street layout.
  - Plant and vegetation.
  - Colors, style, and appearance.
  - Material, structure or structural components or other conditions.
  - Climate, wind, seismic, environmental, fire and other.
  - Design and installation structural party; and
  - Any damage that may occur.
- The permittee shall comply with all applicable laws, rules, regulations, codes, and standards of the City of Agoura Hills, including but not limited to, the following:
  - Antenna size and location.
  - Chimney, roof, parking, and street layout.
  - Plant and vegetation.
  - Colors, style, and appearance.
  - Material, structure or structural components or other conditions.
  - Climate, wind, seismic, environmental, fire and other.
  - Design and installation structural party; and
  - Any damage that may occur.
- Grading shall be removed from a facility in such a manner, and in a location, that the facility is not visible from the line of sight of the City or a portion of the Agoura Hills Municipal Code provides a shorter time period for removal.
- In the event a permittee wishes to modify the facility, the permittee shall apply for and obtain all permits or other requirements required by the Agoura Hills Municipal Code prior to making any modifications to the facility. At a minimum, any application for modification to the facility shall include the following information: a) a description of the modification to be made, b) a description of the modification to be made, c) a description of the modification to be made, and d) a description of the modification to be made.

Verizon logo with address: 15505 Sinto Canyon Ave, Irvine, CA 92618, (949) 256-7000.

FEYES ROAD (PCS) TELECOMMUNICATIONS FACILITIES ADD 87001 Labyrinth Court, Agoura Hills, CA 91301

Conditions of Approval CONSTRUCTION DRAWINGS

derra logo with address: 4001 Labyrinth Court, Agoura Hills, CA 91301, (949) 256-7000.

COA-2 Job No. 1248

Conditions of Approval (Case No. WIR-01027-2015)  
Page 6 of 8

- equipment shall be installed with antennas that address visual, noise and other impacts, including, but not limited to, minimizing tower, tower visibility, intrusive facilities with smaller, less visually intrusive facilities, "backscatter" energy or changes to an existing existing hypercompression facility that involves any of the following: performance, equipment, operation, maintenance, installation, relocation, or replacement, including, but not limited to, changes in size, shape, color, mast design, or exterior finish. "Antennas" does not include repair, replacement or maintenance if these actions do not involve a change to the existing facility involving any of the following: color, location, operation, structure, performance, maintenance, relocation, or replacement.
20. This permit shall be valid for a period of ten (10) years from the date of Planning Commission approval, which is the date of issuance, unless pursuant to specific provision of the Agoura Hills Municipal Code it is renewed or is revocable. At the end of ten (10) years from the date of issuance, this permit shall expire.
  21. In the event the facility ceases to provide wireless telecommunication services for ninety (90) or more consecutive days, the facility shall be considered abandoned and shall be promptly removed or provided in some condition of approval and the Agoura Hills Municipal Code, if there are any (2) or more violations of a single facility, then this provision shall not become effective until all such issues using the facility.
  22. Permittees shall notify the City in writing of its intent to abandon or cease use of the facility within ten (10) days of ceasing or discontinuing use. Additionally, the Permittee shall provide written notice to the Director of any discontinuation of operations of thirty (30) days or more.
  23. Failure to inform the Director of cessation or discontinuation of operations of the facility or required by these conditions of approval shall constitute a violation of the conditions of approval and be grounds for:
    - a. Revocation,
    - b. Reversion or modification of the permit;
    - c. Calling of any bond or other assurance required by the Agoura Hills Municipal Code or conditions of approval of the permit;
    - d. Removal of the facility by the City in accordance with the procedures established under the Agoura Hills Municipal Code for abatement of a public nuisance as the permittee's response; and/or
    - e. Any other remedies permitted under the Agoura Hills Municipal Code.
  24. Upon the expiration date of the permit, including any extensions, unless termination or revocation of the permit or abandonment of the facility, the permittee, the property owner, or both shall remove the facility and return the site to its natural condition except for retaining the landscaping improvements and any other improvements at the discretion

Conditions of Approval (Case No. WIR-01027-2015)  
Page 7 of 8

- of the City. Required shall be in accordance with proper limits and safety requirements set forth in the Agoura Hills Municipal Code. The facility shall be removed from the property in the case or response to the City. The adverse property owner shall be immediately responsible for the expense of safely removal and restoration.
25. Failure of the permittee, property owner, or both to promptly remove the facility and return the property within sixty (60) days after expiration of this permit, unless terminated or abatement of this permit, or abandonment of the facility, shall be a violation of the Agoura Hills Municipal Code, and shall be grounds for:
    - a. Revocation;
    - b. Calling of any bond or other assurance required by the Agoura Hills Municipal Code or conditions of approval of the permit;
    - c. Removal of the facility by the City in accordance with the procedures established under the Agoura Hills Municipal Code for abatement of a public nuisance as the permittee and/or property owner's response; and/or
    - d. Any other remedies permitted under the Agoura Hills Municipal Code.
  26. The facility shall comply at all times with any and all applicable local, state, and federal laws, regulations and guidelines. Any violation of these conditions of approval or the Agoura Hills Municipal Code may be subject to the conditions, penalties and fines as set forth in the Agoura Hills Municipal Code, other applicable ordinances and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.
- SPECIFIC PROJECT CONDITIONS**
1. Permittee shall paint the proposed screen wall to match the colors of the building walls it is attached to.
  2. Permittee shall abide by the conditions of operation stipulated in the Waterford Radio Frequency Exposure Pre-Installation FCC Compliance Assessment Report dated August 23, 2014.
  3. Permittee shall install and at all times maintain in good condition a "Forward Obstruction Corner Information" sign at the access point(s) to the site. Verizon Wireless shall install the sign(s) required under this condition so that a person may clearly see and understand the sign before he or she enters the site.
  4. Permittee shall install and at all times maintain in good condition signs on the physical barrier for the alpha sector as described on page 12 of the Worksheet.
  5. Permittee shall install and at all times maintain in good condition an "RF Caution" sign on the physical barrier if installed for the alpha sector. Verizon Wireless shall install the

Conditions of Approval (Case No. WIR-01027-2015)  
Page 8 of 8

- sign required under this condition so that a person may clearly see and understand the sign as he or she approaches the physical barrier;
6. Permittee shall install and at all times maintain in good condition an "RF Notice" sign(s) in the back yard perimeter area(s) of the site in front of the antenna. Verizon Wireless shall install the sign required under this condition so that a person may clearly see and understand the sign as he or she approaches the antenna sector from the road.
  7. Permittee shall ensure that all alpha perimeter with FCC OET Bulletin 65 or 4054 C47-2 for color, including but not limited to, all three signs that all three provide a warning, bond or other assurance required as to approach, operation, corner, and such information shall be able to such a way person who can enter transmission power-down control over this site as required by the FCC.

END

Dept.	Approved	Date
AAC		
RE		
RF		
INT		
EE		
EE/OUT		



15505 Sane Canyon Ave  
Knox, CA 92618  
(949) 285-7000

REYES ROAD  
(PCS-LTE/AWS-3850-LTE ADD  
& 4G-LTE CONVERSION)  
AGOURA HILLS ROAD  
AGOURA HILLS, CA 91301  
CONDITIONS OF APPROVAL  
CONSTRUCTION DRAWINGS



DERA CONSULTING GROUP, INC.  
10000 WILSON AVENUE, SUITE 1000  
DANA POINT, CALIFORNIA 92629

DATE	BY	DESCRIPTION
8/27/14	JAF	ISSUE TO REVIEW - 2014
9/1/14	JAF	ISSUE TO NEW COMMENTS
9/1/14	JAF	ISSUE TO NEW COMMENTS
9/1/14	JAF	ISSUE TO NEW COMMENTS
9/1/14	JAF	ISSUE TO NEW COMMENTS
9/1/14	JAF	ISSUE TO NEW COMMENTS
9/1/14	JAF	ISSUE TO NEW COMMENTS
9/1/14	JAF	ISSUE TO NEW COMMENTS
9/1/14	JAF	ISSUE TO NEW COMMENTS

COA-3  
Job No. 1348

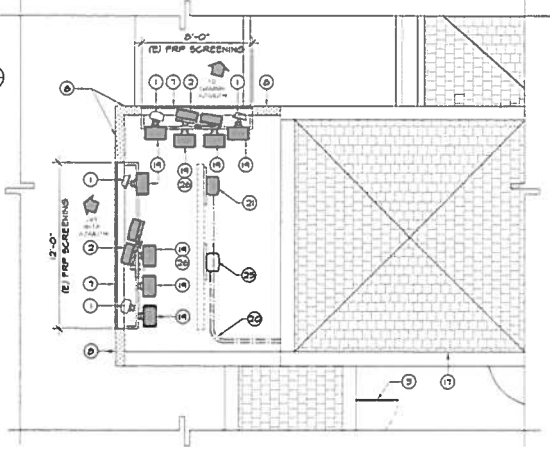




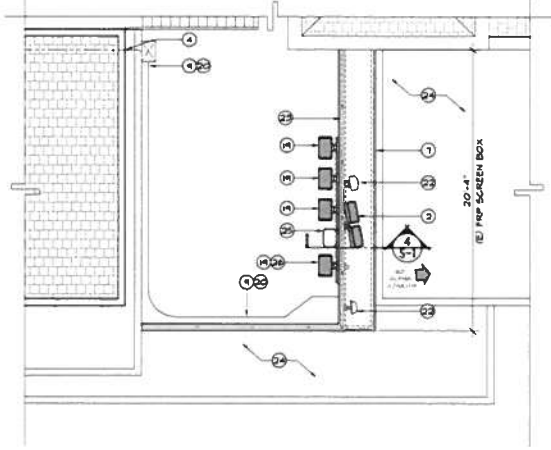


**KEYNOTES:**

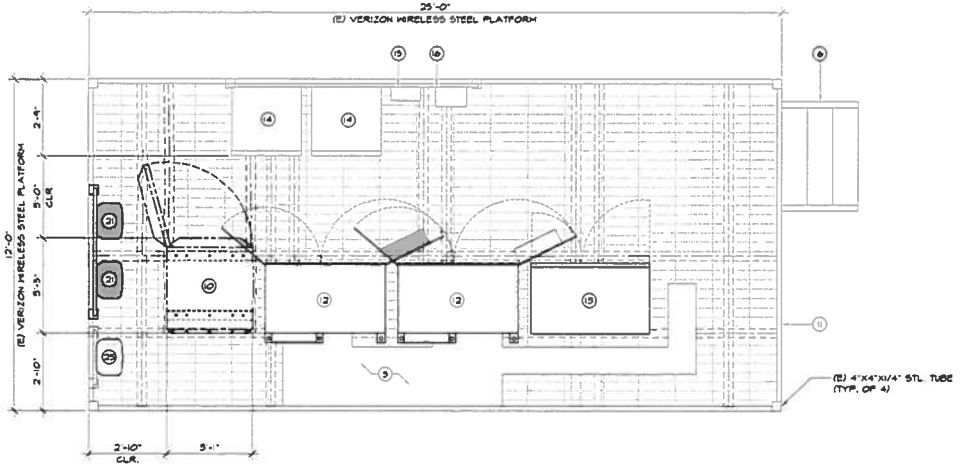
- 1 EXISTING PREVIOUSLY APPROVED VERIZON WIRELESS PANEL ANTENNAS TO BE REMAIN UNCHANGED AT EXISTING ANTENNA PIPE MOUNTS AND CONCEALED BEHIND EXISTING FRP SCREEN HALL (TYP. OF 2) PER SECTOR
- 2 EXISTING PREVIOUSLY APPROVED VERIZON WIRELESS PANEL ANTENNAS MOUNTED ON NEW DUAL ANTENNA MOUNT AND CONCEALED BEHIND EXISTING FRP SCREEN HALL (TYP. OF 2) PER SECTOR, INSTALL 6" AT ALPHA & 4" AT BETA/GAMMA
- 3 EXISTING ACCESS PANEL AT BACK OF MANSARD ROOF
- 4 EXISTING COAX CABLE ENTRY AT MANSARD ROOF
- 5 EXISTING VERIZON WIRELESS COAX CABLE TRAY ON STEEL PLATFORM
- 6 EXISTING VERIZON WIRELESS PLATFORM ACCESS STAIRS
- 7 EXISTING VERIZON WIRELESS FRP SCREEN
- 8 EXISTING MASONRY WALL
- 9 EXISTING VERIZON WIRELESS COAX CABLE TRAY MOUNTED ON PARAPET
- 10 EXISTING PREVIOUSLY APPROVED COMSCOPE RSA-12 RADIO/BATTERY CABINET ON EXISTING STEEL PLATFORM
- 11 EXISTING VERIZON WIRELESS STEEL PLATFORM
- 12 EXISTING VERIZON WIRELESS GPO CABINET ON EXISTING STEEL PLATFORM
- 13 EXISTING VERIZON WIRELESS DIO2 LTE CABINET ON EXISTING STEEL PLATFORM
- 14 EXISTING VERIZON WIRELESS TELCO CABINETS MOUNTED ON EXISTING H-FRAME
- 15 EXISTING VERIZON WIRELESS ELECTRICAL PANEL MOUNTED ON EXISTING H-FRAME
- 16 EXISTING VERIZON WIRELESS UTILITY CABINET MOUNTED AT RAILING OF EQUIPMENT PLATFORM TO REMAIN UNCHANGED
- 17 EXISTING CUPOLA WITH MANSARD ROOF, TO REMAIN UNCHANGED
- 18 EXISTING PARAPET FRP SCREEN WALL/ PARAPET
- 19 PROPOSED VERIZON WIRELESS RISU TO BE PIPE MOUNTED & CONCEALED BEHIND EXISTING FRP SCREEN HALL, TYP. OF (4) PER SECTOR
- 20 VERIZON WIRELESS TO INSTALL NEW 1-5/8" (6X12) HOME RUN FIBER/PLATE CABLE CONCEALED WITHIN EXISTING VERIZON WIRELESS COAX CABLE TRAY, 1 PER SECTOR AS REQUIRED
- 21 PROPOSED VERIZON WIRELESS 3315 RAYCAP FIBER JUNCTION BOX TO BE INSTALLED ON IN UNISTRUT FRAME ATTACHED TO EXISTING GUARD RAIL
- 22 EXISTING VERIZON WIRELESS PANEL ANTENNA CONCEALED BEHIND EXISTING FRP SCREEN, TO REMAIN UNCHANGED
- 23 EXISTING RAIL ON TOP OF EXISTING PARAPET/ FRP SCREEN HALL
- 24 EXISTING LOWER ROOF
- 25 EXISTING 3315 RAYCAP FIBER JUNCTION BOX MTD. TO REMAIN UNCHANGED
- 26 EXIST VERIZON WIRELESS RISU/2 TO BE REMOVED & REPLACED, TYP. OF (1) PER SECTOR



**ANTENNA PLAN AT BETA AND GAMMA SECTORS**



**ANTENNA PLAN AT ALPHA SECTOR**



**EQUIPMENT PLAN**



Drawn	Approved	Date
AAC	RE	
RE	TE	
TE	OPS	
OPS	FILED	
FILED		

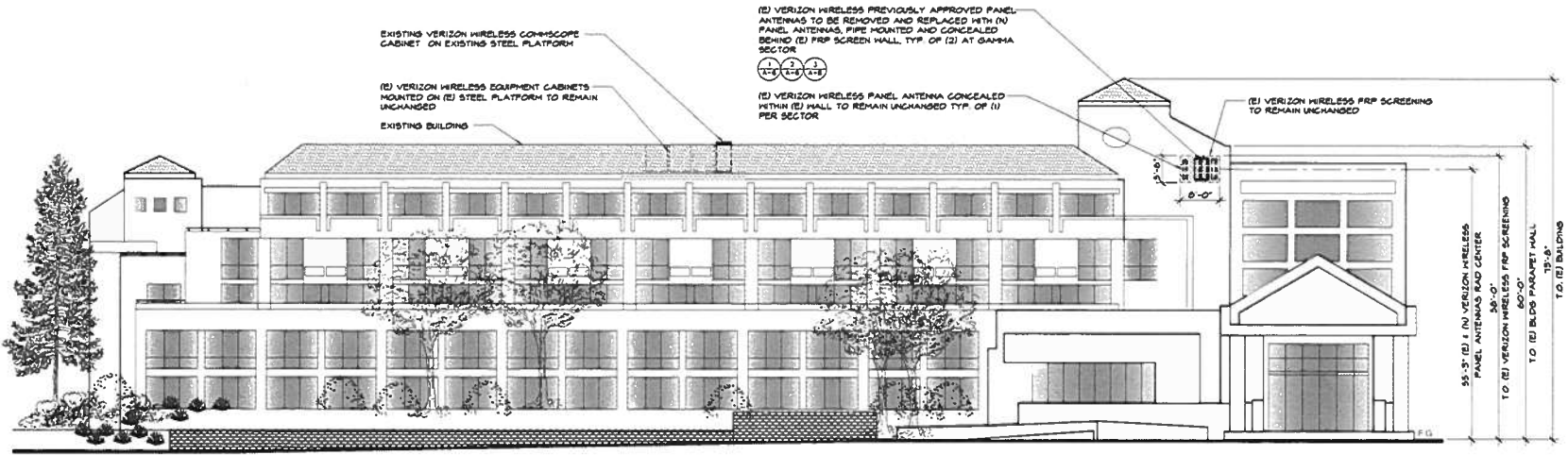
**verizon**  
 15585 Sarno Canyon Ave  
 Irvine, CA 92618  
 (649) 266-7000

BEYES ROAD, TE ADD & 7000 TE CONVERS (AN) 30100 172 AGOURA ROAD AGOURA HILLS, CA 91301  
**verizon**  
 EQUIPMENT & ANTENNA PLANS  
 CONSTRUCTION DRAWINGS

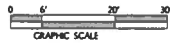
**dera**  
 4007 JEFFERSON ROAD, SUITE 100  
 AGOURA HILLS, CA 91301  
 (949) 266-7000

NO. 1	DATE	DESCRIPTION
1	10/27/17	ISSUE FOR REVIEW - 01M
2	11/17/17	ISSUE FOR REVIEW - 01M
3	11/17/17	ISSUE FOR REVIEW - 01M
4	11/17/17	ISSUE FOR REVIEW - 01M
5	11/17/17	ISSUE FOR REVIEW - 01M
6	11/17/17	ISSUE FOR REVIEW - 01M
7	11/17/17	ISSUE FOR REVIEW - 01M
8	11/17/17	ISSUE FOR REVIEW - 01M
9	11/17/17	ISSUE FOR REVIEW - 01M
10	11/17/17	ISSUE FOR REVIEW - 01M

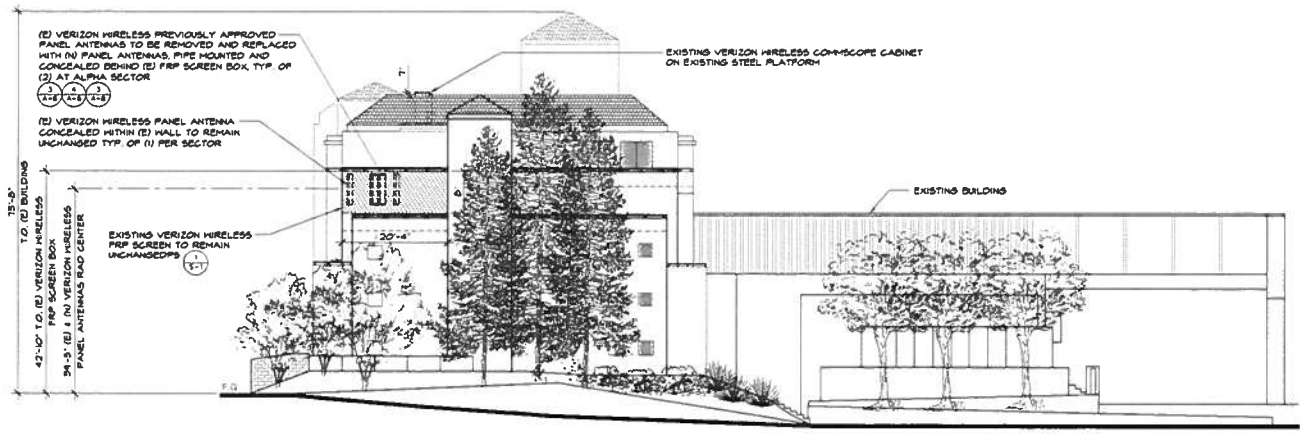
**A-3**  
 Job No. 1248



NORTH ELEVATION



SCALE 1/12"=1'-0"



EAST ELEVATION



SCALE 1/12"=1'-0"

Doc#	Approved	Date
A&C		
RF		
ET		
CPIS		
E/COUT		



PREYES ROAD  
 (POS. LITE) #16-3885 (S) TE ADD  
 8700  
 8700 1/2 ACQUIRA BLDG  
 ACQUIRA HILLS, CA 91301  
 ELEVATIONS  
 CONSTRUCTION DRAWINGS

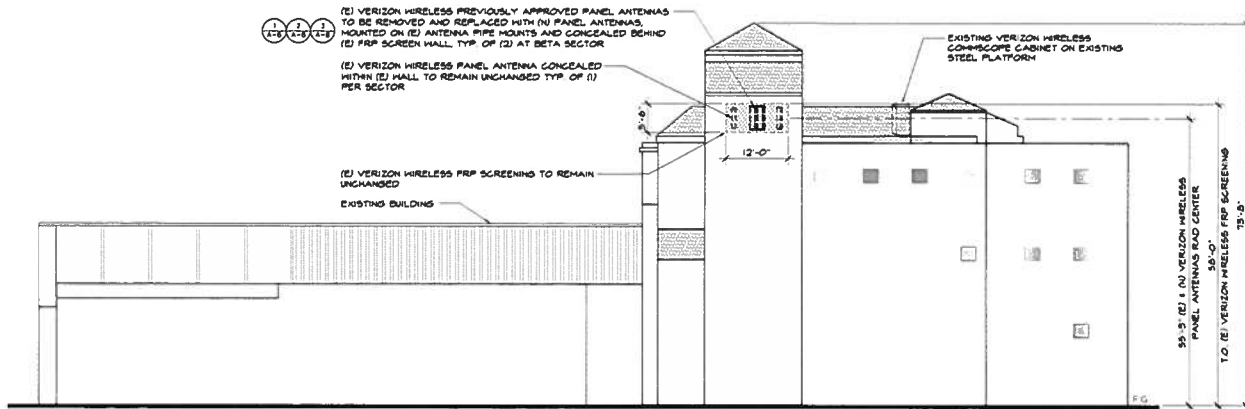


15/07/12	ISSUE TO REVIEW	12/01/12	ISSUE TO REVIEW
17/07/12	ISSUE TO REVIEW COMMENTS	17/07/12	ISSUE TO REVIEW COMMENTS
17/07/12	ISSUE TO REVIEW COMMENTS	17/07/12	ISSUE TO REVIEW COMMENTS
17/07/12	ISSUE TO REVIEW COMMENTS	17/07/12	ISSUE TO REVIEW COMMENTS
17/07/12	ISSUE TO REVIEW COMMENTS	17/07/12	ISSUE TO REVIEW COMMENTS

A-4

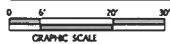
Job No. 12148

Z:\A\_CASH\103\103166-01022-2614



WEST ELEVATION

SCALE 1/12"=1'-0"



Dept	Approved Date
AAC	
RE	
PER	
EXT	
OPS	
TELECOM	

**verizon**  
 15505 Sand Canyon Ave  
 Irvine, CA 92618  
 (649) 285-7000

REYES ROAD, TE ADD  
 PCS LITE (A) CONVERS(A)  
 8700 (A) CONVERS(A)  
 8700 (A) CONVERS(A)  
 30100 1/2 AGOURA ROAD  
 AGOURA HILLS, CA 91301  
 ELEVATIONS  
 CONSTRUCTION DRAWINGS

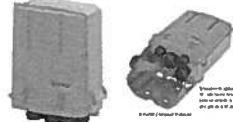
**dera**  
 6701 DERRA DRIVE, SUITE 200  
 DERRA, CA 94515  
 (925) 835-1000

NO.	DATE	DESCRIPTION
1	10/27/17	ISSUE FOR PERMIT - 004
2	11/15/17	ISSUE FOR PERMIT - 004
3	1/15/18	ISSUE FOR PERMIT - 004
4	2/14/18	ISSUE FOR PERMIT - 004
5	3/1/18	ISSUE FOR PERMIT - 004
6	3/1/18	ISSUE FOR PERMIT - 004

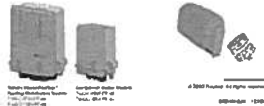
A-5  
 10/11/17

**DC Surge Protection for RPA/Integrated Antenna Radio Head**  
**Rx:DC-150-PF-48 / Rx:DC-310-PF-48**  
**Rx:DC-331-G-PF-48**  
 Tower / Base / Rooftop / Remote Distribution Heads

Having a lightning tower, base station and remote protection and distribution system is a complex task. The solutions require the use of lightning protection and surge protection to ensure the safety of your equipment.



- Features**
- Complies with lightning protection standards (SP1) and is certified for use in DC applications up to 1000V.
  - The Rx:DC-331-G-PF-48 is a Class II GFL certified by VDE per IEC 61643-1 standard as suitable for installation in locations where lightning protection is required (Category B, C or D) in order to withstand direct lightning currents up to 10kA (10/350) and indirect lightning currents up to 10kA (10/350).
  - Protects very low voltage equipment (e.g. PoE) as well as a Class II protected system (e.g. PoE) and provides surge protection for the system.
  - Protects PoE systems, remote stations and towers.
  - Fully compliant to the UL 1449-3rd Edition Class 1 equipment.
  - Lightning protection system (LPS) for protection against lightning strikes.
  - Protects up to 8 remote stations (PoE) and connects up to 12 base stations.
  - Lightning protection system (LPS) for protection against lightning strikes.
  - Lightning protection system (LPS) for protection against lightning strikes.
  - Lightning protection system (LPS) for protection against lightning strikes.



**Raycap**

**Product Specifications**

**COMMSCOPE**



- NH-45B-R2B**
- High band antenna, 2x 45B-R2B and 2x 185B-230B MHz, 45° HPBW, 3x 90° and 2x 180°. Both high bands share the same electrical tilt.
  - Remote beam-tilt (RBT) internally antenna for higher level of downtilt and antenna tilt.
  - Internal SBT on low and high band allows remote RET control from the radio over the RF jumper cable.
  - Supports 90-105° RET (remote) for low and high band.
  - One 18° RET and one 45° RET. Both high bands are controlled by one RET to return upper tilt level for the 4x 2x of MIMO.

**Electrical Specifications**

Frequency Band, MHz	698-806	806-896	1695-1800	1850-1990	1920-2300	2300-2360
Gain, dB	15.4	15.2	15.2	15.8	15.3	20.2
Beamwidth, Horizontal, deg	46	42	41	42	41	29
Beamwidth, Vertical, deg	12.5	11.8	11.8	11.8	11.8	11.8
Front-to-Back Ratio, dB	21.4	21.4	21.4	21.4	21.4	21.4
1st Null, Beam Tilt, deg	19	17	18	18	18	17
1st Null, Beam Tilt, deg	34	19	17	28	40	28
1st Null, Beam Tilt, deg	23	23	23	23	23	23
1st Null, Beam Tilt, deg	30	30	30	30	30	28
VSWR, Return Loss, dB	1.1:1.9	1.1:1.9	1.1:1.9	1.1:1.9	1.1:1.9	1.1:1.9
Return Loss, 2.0 dB, W, dB	15.2	15.2	15.2	15.2	15.2	15.2
Input Power per Port, W	3000	3000	3000	3000	3000	2500
Material, mm	1.6	1.6	1.6	1.6	1.6	1.6
Impedance	50 ohm	50 ohm	50 ohm	50 ohm	50 ohm	50 ohm

**Electrical Specifications, BASTA\***

Frequency Band, MHz	698-806	806-896	1695-1800	1850-1990	1920-2300	2300-2360
Gain by all Beam Tilt, average, dB	15.1	15.2	15.2	15.8	15.3	20.2
Gain by all Beam Tilt, max, dB	16.4	16.4	16.5	16.4	16.4	16.2
Gain by Beam Tilt, average, dB	17.1	17.1	17.1	17.1	17.1	17.1
Gain by Beam Tilt, max, dB	18.4	18.4	18.4	18.4	18.4	18.4
Beamwidth, Horizontal, deg	41.7	42.4	41.8	41	42.7	31.1
Beamwidth, Vertical, deg	11.7	11.7	11.7	11.7	11.7	11.7
Front-to-Back Ratio, dB	21.4	21.4	21.4	21.4	21.4	21.4
1st Null, Beam Tilt, deg	19	17	18	18	18	17
1st Null, Beam Tilt, deg	34	19	17	28	40	28
1st Null, Beam Tilt, deg	23	23	23	23	23	23
1st Null, Beam Tilt, deg	30	30	30	30	30	28
VSWR, Return Loss, dB	1.1:1.9	1.1:1.9	1.1:1.9	1.1:1.9	1.1:1.9	1.1:1.9
Return Loss, 2.0 dB, W, dB	15.2	15.2	15.2	15.2	15.2	15.2
Input Power per Port, W	3000	3000	3000	3000	3000	2500
Material, mm	1.6	1.6	1.6	1.6	1.6	1.6
Impedance	50 ohm	50 ohm	50 ohm	50 ohm	50 ohm	50 ohm

\* See our Support page (https://www.commscope.com/Support) for more information on Beam Tilt Antenna (BASTA).  
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 All specifications are subject to change without notice. See our website for the most current information. Revised: December 15, 2017

**Product Specifications**

**COMMSCOPE**



- NH-45A-R2B**
- High band antenna, 40B-R2B and 2x 185B-230B MHz, 45° Horizontal Beamwidth, Internal RET. Both high bands share the same electrical tilt.
  - Interleaved double technology providing for attractive, low wind load mechanical package.

**Electrical Specifications**

Frequency Band, MHz	698-806	806-896	1695-1800	1850-1990	1920-2300	2300-2360
Gain, dB	15.2	15.2	15.2	15.8	15.3	20.2
Beamwidth, Horizontal, deg	46	42	41	42	41	29
Beamwidth, Vertical, deg	12.5	11.8	11.8	11.8	11.8	11.8
Front-to-Back Ratio, dB	21.4	21.4	21.4	21.4	21.4	21.4
1st Null, Beam Tilt, deg	19	17	18	18	18	17
1st Null, Beam Tilt, deg	34	19	17	28	40	28
1st Null, Beam Tilt, deg	23	23	23	23	23	23
1st Null, Beam Tilt, deg	30	30	30	30	30	28
VSWR, Return Loss, dB	1.1:1.9	1.1:1.9	1.1:1.9	1.1:1.9	1.1:1.9	1.1:1.9
Return Loss, 2.0 dB, W, dB	15.2	15.2	15.2	15.2	15.2	15.2
Input Power per Port, maximum, watts	3500	3500	3500	3500	3500	3500
Material, mm	1.6	1.6	1.6	1.6	1.6	1.6
Impedance	50 ohm	50 ohm	50 ohm	50 ohm	50 ohm	50 ohm

**Electrical Specifications, BASTA\***

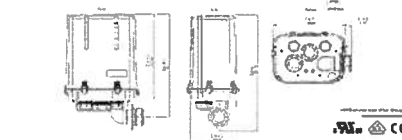
Frequency Band, MHz	698-806	806-896	1695-1800	1850-1990	1920-2300	2300-2360
Gain by all Beam Tilt, average, dB	15.1	15.2	15.2	15.8	15.3	20.2
Gain by all Beam Tilt, max, dB	16.4	16.4	16.5	16.4	16.4	16.2
Gain by Beam Tilt, average, dB	17.1	17.1	17.1	17.1	17.1	17.1
Gain by Beam Tilt, max, dB	18.4	18.4	18.4	18.4	18.4	18.4
Beamwidth, Horizontal, deg	41.7	42.4	41.8	41	42.7	31.1
Beamwidth, Vertical, deg	11.7	11.7	11.7	11.7	11.7	11.7
Front-to-Back Ratio, dB	21.4	21.4	21.4	21.4	21.4	21.4
1st Null, Beam Tilt, deg	19	17	18	18	18	17
1st Null, Beam Tilt, deg	34	19	17	28	40	28
1st Null, Beam Tilt, deg	23	23	23	23	23	23
1st Null, Beam Tilt, deg	30	30	30	30	30	28
VSWR, Return Loss, dB	1.1:1.9	1.1:1.9	1.1:1.9	1.1:1.9	1.1:1.9	1.1:1.9
Return Loss, 2.0 dB, W, dB	15.2	15.2	15.2	15.2	15.2	15.2
Input Power per Port, maximum, watts	3500	3500	3500	3500	3500	3500
Material, mm	1.6	1.6	1.6	1.6	1.6	1.6
Impedance	50 ohm	50 ohm	50 ohm	50 ohm	50 ohm	50 ohm

\* See our Support page (https://www.commscope.com/Support) for more information on Beam Tilt Antenna (BASTA).  
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 All specifications are subject to change without notice. See our website for the most current information. Revised: December 15, 2017

**DC Surge Protection for RPA/Integrated Antenna Radio Head**  
**Rx:DC-150-PF-48 / Rx:DC-310-PF-48**  
**Rx:DC-331-G-PF-48**  
 Tower / Base / Rooftop / Remote Distribution Heads

**Specifications**

Model	Rx:DC-150-PF-48	Rx:DC-310-PF-48	Rx:DC-331-G-PF-48
Frequency Band	698-806 MHz	806-896 MHz	1695-1800 MHz
Gain	15.4 dB	15.2 dB	15.2 dB
Beamwidth, Horizontal	46 deg	42 deg	41 deg
Beamwidth, Vertical	12.5 deg	11.8 deg	11.8 deg
Front-to-Back Ratio	21.4 dB	21.4 dB	21.4 dB
1st Null, Beam Tilt	19 deg	17 deg	18 deg
1st Null, Beam Tilt	34 deg	19 deg	17 deg
1st Null, Beam Tilt	23 deg	23 deg	23 deg
1st Null, Beam Tilt	30 deg	30 deg	28 deg
VSWR, Return Loss	1.1:1.9	1.1:1.9	1.1:1.9
Return Loss, 2.0 dB	15.2 dB	15.2 dB	15.2 dB
Input Power per Port	3000 W	3000 W	3000 W
Material	1.6 mm	1.6 mm	1.6 mm
Impedance	50 ohm	50 ohm	50 ohm



**Raycap**

**Product Specifications**

**COMMSCOPE**

- NH-45B-R2B**
- RF Connector Type, Low Band: 2
  - RF Connector Type, High Band: 4
  - RF Connector Interface: 4.3-10 Female
  - Clamp: Light Duty
  - Clamping Type: RF connector body clamped to reflector and mounting bracket
  - Reflector Material: Aluminum, 1 Low Band Critical Band
  - Reflector Finish: Heavy Duty, UV resistant
  - Reflector Material: Aluminum
  - RF Connector Location: 600 mm
  - Wind Loading, frontal: 180 N @ 150 km/h, 231 N @ 170 km/h
  - Wind Loading, lateral: 134 N @ 150 km/h, 172 N @ 170 km/h
  - Wind Loading, rear: 201 N @ 150 km/h, 243 N @ 170 km/h
  - Wind Loading, max: 261 N @ 150 km/h

**Dimensions**

Length	1870.0 mm   72.9 in
Width	752.0 mm   29.6 in
Depth	178.0 mm   7.0 in
RF Connector Location	12.4 in ± 0.1 in

- Remote Electrical Tilt (RET) Information**
- RET Type: 1x 22 RET
  - Internal Base Tilt: Part 1: 1 RET
  - Internal RET: High band (1) | Low band (1)
  - Power Consumption, max: 1 W
  - Power Consumption, max: 10 W
  - RET Interface: 3-pin D-Sub (M) | 8-pin D-Sub (F)
  - RET Connectors, quantity: 2 connector | 2 male

**Packed Dimensions**

Length	1970.0 mm   77.6 in
Width	700.0 mm   27.6 in
Depth	240.0 mm   9.5 in
Shipping Weight	55.8 kg   123.0 lb

**Regulatory Compliance/Certifications**

Agency: FCC, CE, RoHS, REACH, etc.  
 Classification: Class II, II, III, IV, V, VI, VII, VIII, IX, X, XI, XII, XIII, XIV, XV, XVI, XVII, XVIII, XIX, XX, XXI, XXII, XXIII, XXIV, XXV, XXVI, XXVII, XXVIII, XXIX, XXX, XXXI, XXXII, XXXIII, XXXIV, XXXV, XXXVI, XXXVII, XXXVIII, XXXIX, XL, XLI, XLII, XLIII, XLIV, XLV, XLVI, XLVII, XLVIII, XLIX, L, LI, LII, LIII, LIV, LV, LVI, LVII, LVIII, LIX, LX, LXI, LXII, LXIII, LXIV, LXV, LXVI, LXVII, LXVIII, LXIX, LXX, LXXI, LXXII, LXXIII, LXXIV, LXXV, LXXVI, LXXVII, LXXVIII, LXXIX, LXXX, LXXXI, LXXXII, LXXXIII, LXXXIV, LXXXV, LXXXVI, LXXXVII, LXXXVIII, LXXXIX, XL, XLI, XLII, XLIII, XLIV, XLV, XLVI, XLVII, XLVIII, XLIX, L, LI, LII, LIII, LIV, LV, LVI, LVII, LVIII, LIX, LX, LXI, LXII, LXIII, LXIV, LXV, LXVI, LXVII, LXVIII, LXIX, LXX, LXXI, LXXII, LXXIII, LXXIV, LXXV, LXXVI, LXXVII, LXXVIII, LXXIX, LXXX, LXXXI, LXXXII, LXXXIII, LXXXIV, LXXXV, LXXXVI, LXXXVII, LXXXVIII, LXXXIX, XL, XLI, XLII, XLIII, XLIV, XLV, XLVI, XLVII, XLVIII, XLIX, L, LI, LII, LIII, LIV, LV, LVI, LVII, LVIII, LIX, LX, LXI, 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### Instruction Sheet

639848

Read the entire instruction sheet before beginning the installation. This instruction sheet is for the BSA-MNT-SBS-2-3. It is not intended to be used for any other antenna mount. The instructions are for the BSA-MNT-SBS-2-3. It is not intended to be used for any other antenna mount. The instructions are for the BSA-MNT-SBS-2-3. It is not intended to be used for any other antenna mount.

#### MOUNT ASSEMBLY

467mm (18.37) WIDE

- Assemble the antenna on the antenna mounting plate. The antenna mounting plate is shown in the diagram. The antenna mounting plate is shown in the diagram. The antenna mounting plate is shown in the diagram.
- Assemble the antenna on the antenna mounting plate. The antenna mounting plate is shown in the diagram. The antenna mounting plate is shown in the diagram. The antenna mounting plate is shown in the diagram.
- Assemble the antenna on the antenna mounting plate. The antenna mounting plate is shown in the diagram. The antenna mounting plate is shown in the diagram. The antenna mounting plate is shown in the diagram.

BSA-MNT-SBS-2-3-RT  
467mm (18.07) WIDE

### Product Specifications

COMMSCOPE



#### BSA-MNT-SBS-2-3

- 4x4 (1600) capacity of both (RTS) and (LT) based for faster data throughput
- 4x4 (1600) capacity of both (RTS) and (LT) based for faster data throughput
- 4x4 (1600) capacity of both (RTS) and (LT) based for faster data throughput

#### General Specifications

Upper shell: 1x1x1x1  
 Includes: 1x1x1x1  
 Mounting hardware: 1x1x1x1

#### Mechanical Specifications

Color: Silver  
 Material type: 6061-T6 Aluminum

#### Dimensions

Compatible Diameter: Maximum 115.0 mm (4.53 in)  
 Compatible Connector: Maximum 40.0 mm (1.57 in)  
 Net weight: 4.5 kg (9.92 lb)

#### Regulatory Compliance/Certifications

Agency: FCC Part 15 Class B  
 Model Number: BSA-MNT-SBS-2-3-RT  
 Part Number: 639848



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DUAL ANTENNA MOUNT (COMMSCOPE BSA-MNT-SBS-2-3)

(N) HYBRIFLEX CABLES SPEC SHEET

1 of 2

COMMSCOPE, INC. OF NORTH CAROLINA

PRODUCT DRAWING

BSA-MNT-SBS-2-3-L

DUAL ANTENNA MOUNT (COMMSCOPE BSA-MNT-SBS-2-3)

(N) HYBRIFLEX CABLES SPEC SHEET

2 of 2

### HYBRIFLEX™ RRH Hybrid Feeder Cabling Solution

HYBRIFLEX™ RRH Hybrid Feeder Cabling Solution

HYBRIFLEX™ RRH Hybrid Feeder Cabling Solution

Specification	Power cable	Fiber optic cable
Construction	Low voltage (100V) shielded twisted pair (STP)	Dispersion shifted multimode OM3 or OM4
Construction	Cable jacket: Polyethylene (PE) or Polypropylene (PP)	Aluminum clad fiber optic cable
Construction	Cable jacket: Polyethylene (PE) or Polypropylene (PP)	Aluminum clad fiber optic cable

Dept.	Approved	Date
A&C		
RF		
EC		
OPS		
ELEC		

15505 Saint Canyon Ave  
 Irvine, CA 92618  
 (949) 285-7000

FEVEX ROAD  
 (POS) LIT/AVS/380/TE/ADD  
 700/1E/VERISON  
 600/1E/ACOUR/RO/301  
 AGOURA HILLS, CA 91301  
 ARCHITECTURAL DETAILS &  
 EQUIPMENT SPECIFICATIONS  
 CONSTRUCTION DRAWINGS

### RADIO FREQUENCY SYSTEMS RFS

### HYBRIFLEX™ RRH Hybrid Feeder Cabling Solution



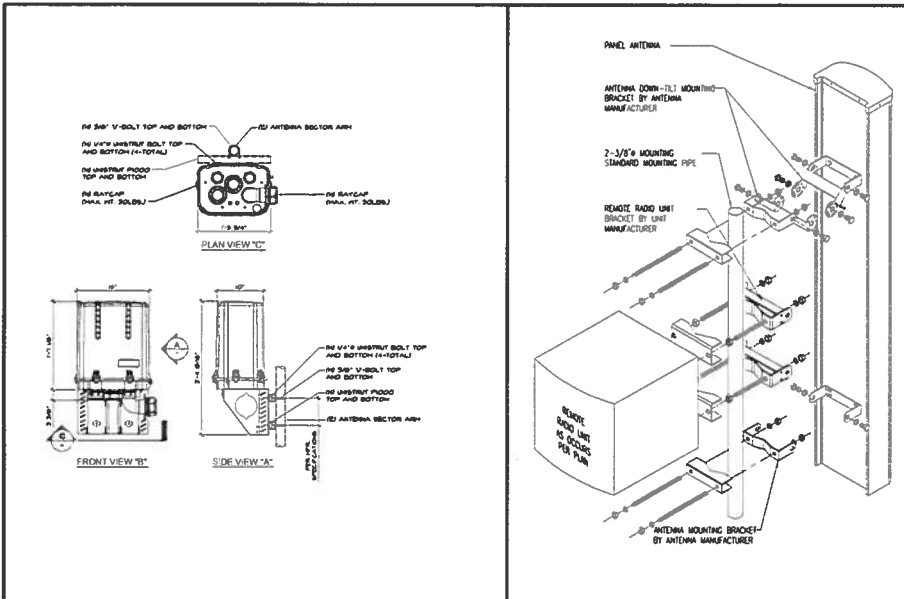
- HYBRIFLEX™ RRH Hybrid Feeder Cabling Solution combines optical fiber and DC power for Remote Radio Heads (RRH) in a single lightweight aluminum corrugated cable, making it the world's most innovative solution for RRH deployments.
- Connects up to 3 antennas with a single cable
- Minimal installation time
- On-site and pre-constructed options
- Eliminates 50% of most fiber junction boxes
- Supports C-CLASS™ economy range
- Extremely lightweight aluminum construction

www.rfsworld.com

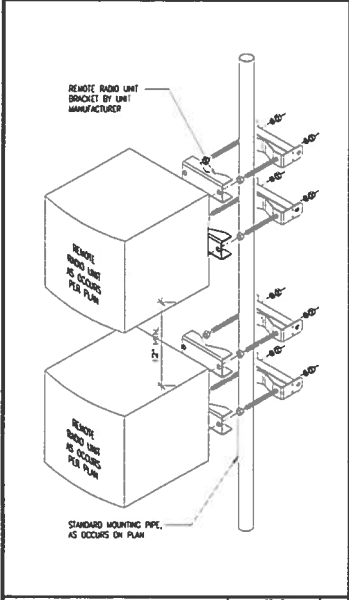
1525 W. 15th Street, Suite 100  
 San Jose, CA 95128  
 (408) 253-1000

NO.	DATE	BY	DESCRIPTION
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2	10/1/17	DOE	ISSUE FOR REVIEW
3	10/1/17	DOE	ISSUE FOR REVIEW
4	10/1/17	DOE	ISSUE FOR REVIEW
5	10/1/17	DOE	ISSUE FOR REVIEW

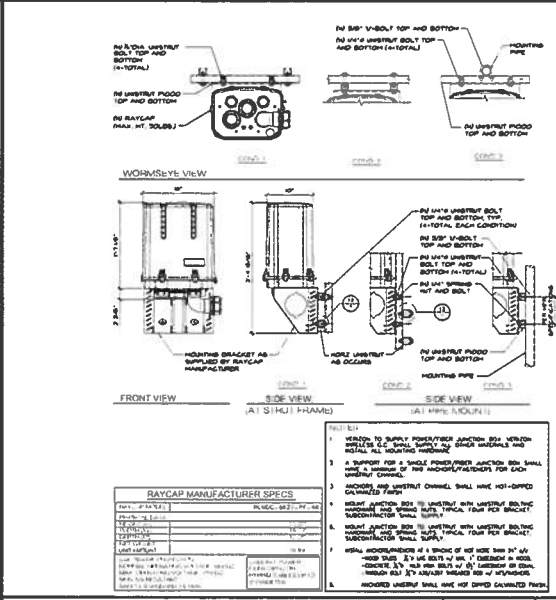
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 Job No. 1348



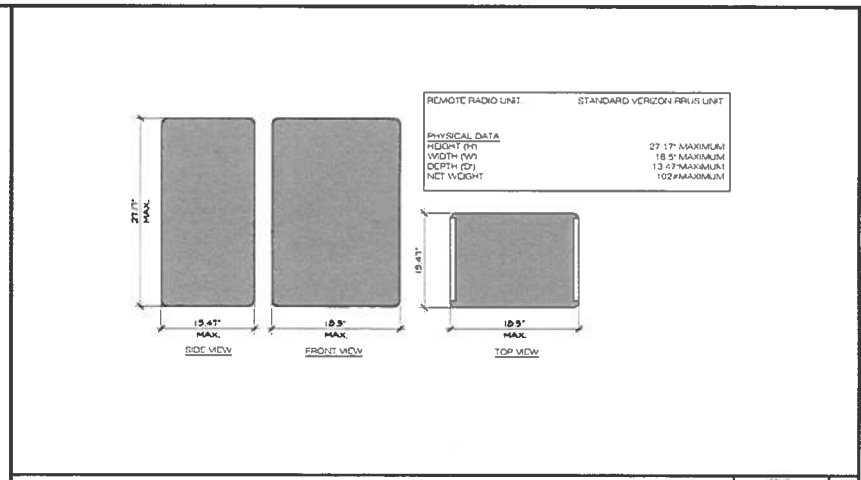
RAYCAP PIPE MOUNTING DETAIL SCALE: 1" = 1'-0" 5 ANTENNA MOUNTING SCALE: 3" = 1'-0" 3



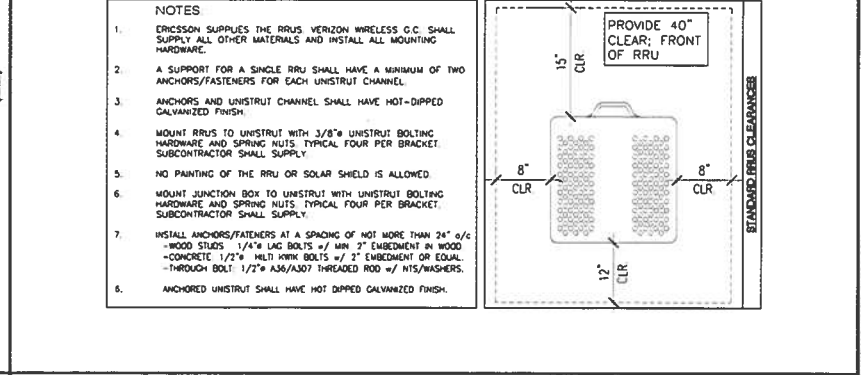
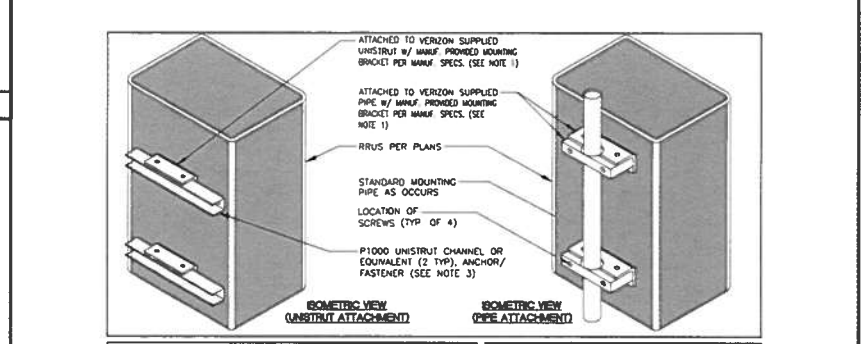
DUAL RRU MOUNT SCALE: 1-1/2" = 1'-0" 6



RAYCAP, POWER/FIBER JUNCTION BOX MOUNTING DETAIL SCALE: 1-1/2" = 1'-0" 4



RRU MOUNTING DETAIL SCALE: 1" = 1'-0" 1



RRU MOUNTING DETAIL SCALE: 1" = 1'-0" 2

Dept. Approval Date	
A&C	
RF	
RE	
EST	
CPIS	
E/OUT	

**verizon**

15505 Sand Canyon Ave  
Irvine, CA 92618  
(949) 255-7000

TEEVES ROAD, TE ADD  
(PCS SITE) (15505 SAND CANYON AVE)  
87000 15505 SAND CANYON AVE  
30100 15505 SAND CANYON AVE  
AGORA HILLS, CA 91301  
ARCHITECTURAL DETAILS &  
EQUIPMENT SPECIFICATIONS  
CONSTRUCTION DRAWINGS

**dera**

15505 SAND CANYON AVE, IRVINE, CA 92618  
TEL: 949.255.7000 FAX: 949.255.7000

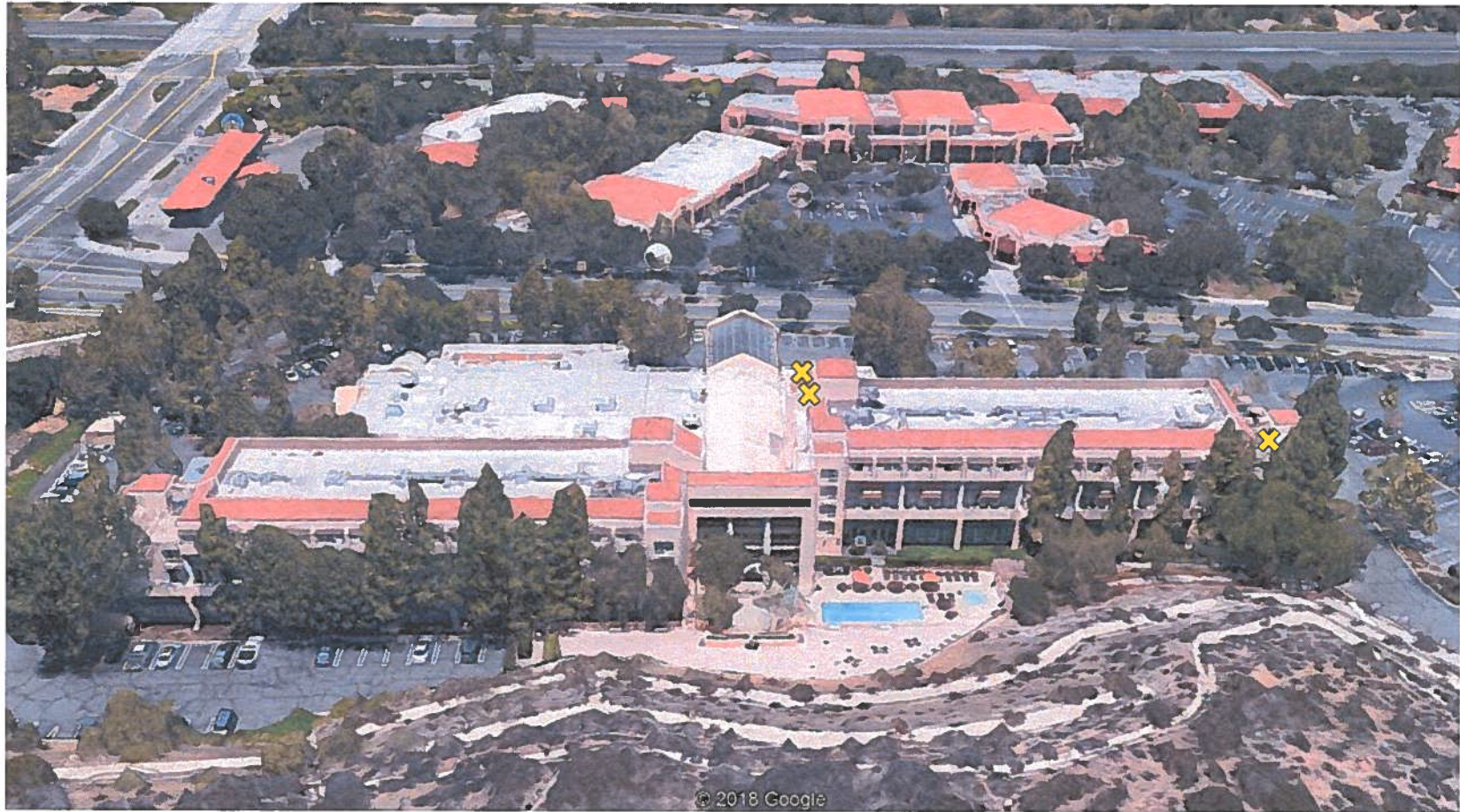
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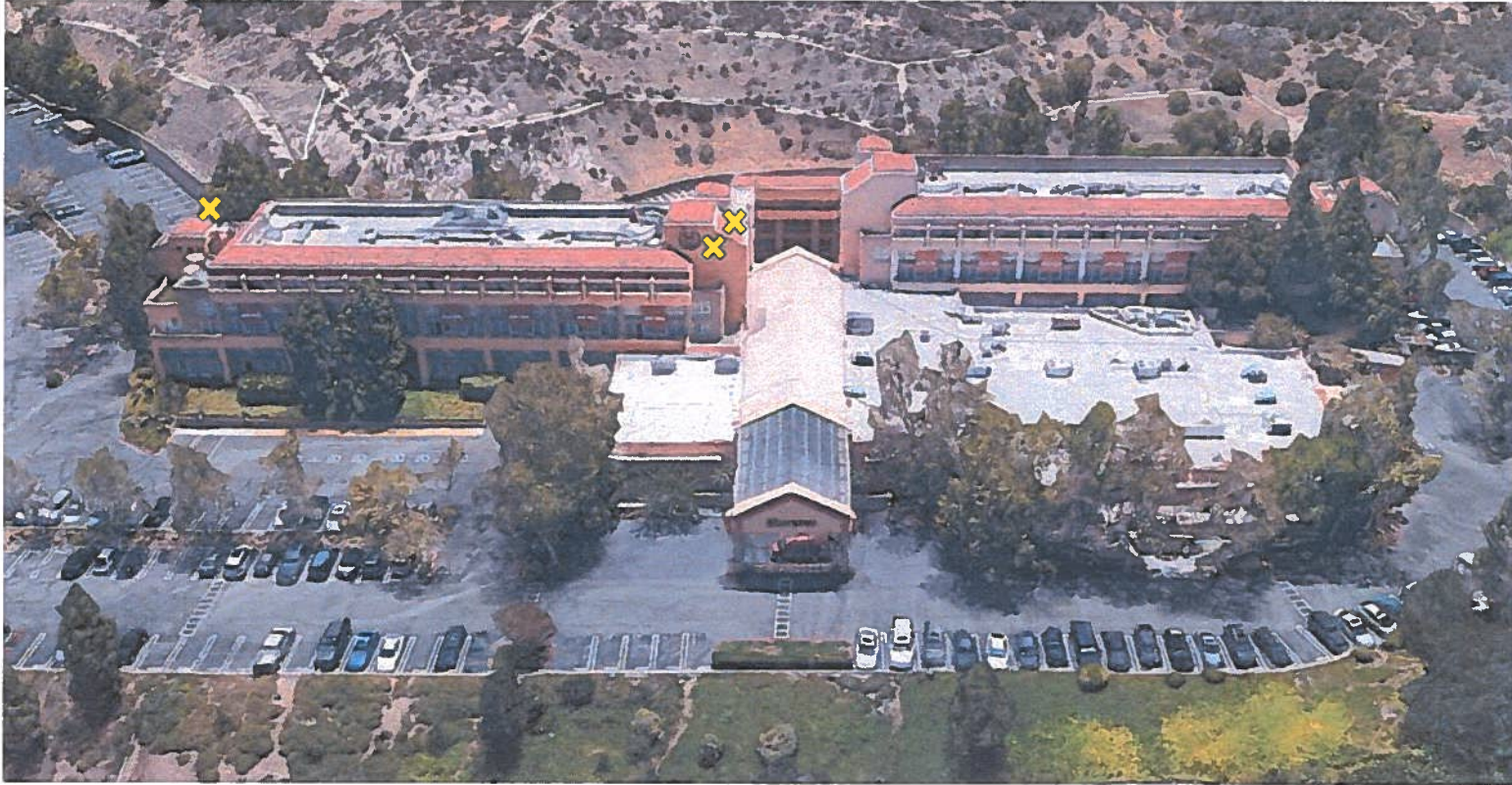
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South Panorama: Location of Vzw Antenna Sectors and Equipment



North Panorama: Location of Vzw Antenna Sectors and Equipment



1. Alpha Sector- View from parking lot



2. Alpha Sector



3. Beta Sector- Ground View



4. Beta Sector



5. Gamma Sector-Street View





6. Gamma Sector