

PLANNING DEPARTMENT

ACTION DATE:

October 18, 2018

TO:

Planning Commission

APPLICANT:

Core Communications Group for Verizon Wireless

3350 E. Birch Street, Suite 250

Brea, CA 92821

CASE NO .:

WIRE-01506-2018

LOCATION:

30100 Agoura Road (A.P.N. 2061-005-048)

REQUEST:

Request for approval of a Wireless Telecommunications Facility/Conditional Use Permit to modify an existing wireless telecommunication facility by replacing six (6) of the twelve (12) panel antennas inside the walls of an existing hotel building; and adding twelve (12) remote radio units; three (3) power surge suppressors; and six (6) dual pack duplexers, with coaxial cabling; and making a finding of exemption under the California Environmental Quality Act (CEQA).

ENVIRONMENTAL DETERMINATION:

Categorically Exempt under CEQA per Section 15303

RECOMMENDATION:

Staff recommends approval of Wireless Telecommunications Facility/Conditional Use Permit No. WIRE-01506-2018, subject to conditions, based on findings in the Proft Resolution

findings in the Draft Resolution.

ZONING DESIGNATION:

PD (Planned Development - Ladyface Mountain

Specific Plan)

GENERAL PLAN DESIGNATION:

PD (Planned Development)

I. PROJECT BACKGROUND AND DESCRIPTION

The applicant, Core Communications Group, an authorized representative for Verizon Wireless, is proposing to modify a wireless telecommunications facility at an existing hotel located at 30100 Agoura Road, just east of Reyes Adobe Road as shown on the attached Exhibit A. A Conditional Use Permit ("CUP") was approved by the Planning Commission in 2014 at the hotel. The original application consisted of the installation, operation and maintenance of 12 wall-mounted panel antennas mounted to the walls of an existing multi-story hotel, with four (4) equipment cabinets on the roof. The antennas were clustered in three groups of four antennas, each representing a sector of transmission.

The applicant proposes to replace six (6) of the twelve antennas, which is two (2) in each sector, in each of their current locations per the plans attached as Exhibit C and D. The antennas are currently screened with a radio frequency emission transparent screening material, with one section built to replace a portion of an existing wall, and one screen added in front of an existing wall. Also included in the project scope of work are the addition of four (4) new Remote Radio Units, or RRUS to be mounted immediately behind the new antennas in each sector and two (2) power surge suppressors attached to a metal platform on the roof of the hotel. No modifications to the screen are proposed, as the antennas are well enough screened.

Verizon is considered a public utility company and is regulated and licensed by the Federal Communications Commission (FCC). The FCC authorizes a utility's initial system and then delegates its authority to local agencies to regulate the location, construction and aesthetics of the wireless telecommunication facilities. Furthermore, the Telecommunication Act of 1996 states that: "No state or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission's regulations concerning such emission." Radio frequency engineers must certify that all facilities operate below the maximum allowable exposure limits.

The applicant has provided staff with specifications of the equipment to be installed and certifies that the proposed facility meets FCC standards. The FCC relies on standards developed by the American National Standards Institute (ANSI). Standards are continually reviewed to account for newly reached findings and modified when appropriate.

The Middle Class Tax Relief and Job Creation Act of 2012 further defined how municipal governments review new wireless telecommunications facilities and modifications to such facilities and established thresholds defined in Section 6409(a) of the Act. In January of 2015, the Federal Communications Commission (FCC) provided municipal governments guidelines to assist in the interpretation of Section 6409(a). In the event that Section 6409(a) governs a permit request, cities cannot require a public hearing to approve the project. The applicant originally sought to obtain approval of this project under Section 6409(a). However, as described further in this report, the project

is not eligible under 6409(a). Instead, the project requires a CUP from the Planning Commission.

II. STAFF ANALYSIS

The applicant is proposing to substitute the existing antennas with two types of antennas. A 72.7-inch tall by 18-inch wide by 7-inch deep antenna will be placed in the Gamma (north facing) and Beta (west facing) sectors, and a 48-inch tall by 18-inch wide by 7-inch deep antenna in the Alpha (east facing) sector. The number of units will not increase. The antennas would remain screened from public view as they would be enclosed in the tower element for two of the three sectors, and behind an existing furred out wall for the other sector. Consequently, there would be no visual impacts from the installation.

In regards to the equipment, the applicant is requesting to add four (4) Remote Radio Units (RRUs) adjacent to antennas with two (2) dual pack diplexers in each sector, and three (3) DC power surge suppressors (Ray Cap), one (1) in the tower and two (2) more on the roof platform, which supports the existing operating equipment. Included in this approval is the relocation of one previously approved Ray Cap that was relocated in the center of the tower and attached to a free-standing rack to which the new Ray Cap will be affixed. Hybriflex cable running in an existing tray between the antennas and the equipment will be also added. The equipment will continue to be enclosed like the antennas, and the roof platform where the new Ray Cap units are installed, although not enclosed, is away from the front elevation parapet wall and at 58 feet above the ground where there is little opportunity to be seen from the public right-of-way.

As a result of the number of units proposed, the entire project is not eligible under Section 6409(a). The applicant's request constitutes a substantial change to the physical dimensions of the existing base station because the proposed transmission equipment would increase the number of cabinets in excess of the standard number of new equipment cabinets for the technology involved.

With respect to radio frequency exposure, although the project is not categorically excluded as shown in the FCC Appendix A of the Local Official's Guide to Radio Frequency submitted by the applicant, it would comply with the FCC requirements as stipulated in the Sitesafe, Inc. Radio Frequency Exposure FCC Compliance Assessment report dated March 8, 2018 submitted for review with the application. The report is included as part of the staff report as Exhibit E. In addition to the Sitesafe report recommended conditions of operation, Telecom Law Firm PC, the City Wireless Consultant, has reviewed the application and has submitted in its Wireless Planning Memorandum dated August 27, 2018, additional conditions of approval to become part of the project's approval. In this proposal, all sectors points are well above a level that can be accessed by humans. Nonetheless, the service provider must restrict public access to that controlled access zone so that the public at large cannot unknowingly enter and be exposed to radio emissions in excess of those allowed by the FCC in the control zone areas. The project is conditioned accordingly.

General Plan Consistency:

Staff finds the project will be consistent with the following applicable General Plan goals and policies:

Goal U-6: Telecommunication System. Quality communication systems that meet the demands of new and existing developments in the City.

The project will provide quality communications systems to meet the demands of new and existing developments in the City by extending coverage and adding capacity, with minimal equipment installation.

 Policy U-6.1: Access and Availability. Work with service providers to ensure access to and availability of a wide range of state-of-the-art telecommunications systems and services for households, businesses and institutions throughout the City.

The project will provide state-of-the art wireless telecommunication services.

 Policy U-6.2: Design and Siting of Facilities. Require that the installation of telecommunications infrastructure, such as cellular sites and towers, be designed in a manner to minimize visual impacts on the surrounding environment and neighborhood, and to be as unobtrusive as possible.

The proposed wireless telecommunications facility includes antennas and related equipment that are completely screened by building walls and a parapet wall respectively. Therefore, the project will blend in with the building and will not cause adverse visual impacts.

Conditional Use Permit Findings:

In order for a Conditional Use Permit to be approved, the applicant must demonstrate compliance with the Conditional Use Permit findings. The project must be consistent with the Zoning Ordinance in that the use is permitted in the PD zone and compatible with the existing hotel. The modifications to the facility will continue to be screened from public view to maintain the aesthetic appearance of the building. The modifications to the facility will not affect the diversity of uses in the vicinity but rather continue to increase the efficiency of wireless telecommunication for the community while being operated according to the Federal Communication Commission standards.

Wireless Telecommunication Facilities Findings:

In addition to the Conditional Use Permit findings, the Planning Commission must make findings specifically related to wireless telecommunications facilities.

The proposed facility has been designed and located in compliance with all applicable provisions of the Zoning Ordinance Section 9661. The facility remains a secondary use

to the hotel building, and is permitted in this zone with a Conditional Use Permit. The service carrier and the applicant on behalf of the carrier have demonstrated that they are permitted to install and operate such a service as shown in the Supplemental Application for wireless telecommunications facilities.

The proposed modification of the existing facility has been designed and located to achieve compatibility with the community. The wireless telecommunications facility would be constructed within the building tower for two transmitting sectors and behind a screen wall for the third sector, and the equipment is on the roof of the building, all completely invisible to public view. The facility is not expected to generate noise above the existing exterior noise level of fifty-five (55) dBA three feet from the noise source, and so would not be detrimental to the public health, safety, and welfare.

III. RECOMMENDATION

Based on the above analysis, staff recommends approval of Conditional Use Permit Case No. WIRE-01506-2018, subject to conditions of the attached Draft Resolution.

IV. ATTACHMENTS

- Draft Resolution of Approval and Conditions of Approval
- Exhibit A: Vicinity/Zoning Map
- Exhibit B: Approved Telecommunications Facilities Map
- Exhibit C: Reduced Copy of Plans
- Exhibit D: Photosimulations of the modification to the existing Wireless Telecommunication Facility

Case Planner: Valerie Darbouze, Associate Planner

RESOLUTION NO. 18-____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS CONDITIONALLY APPROVING WIRELESS TELECOMMUNICATIONS FACILITIES/ CONDITIONAL USE PERMIT CASE NO. WIRE-01506-2018 FOR THE MODIFICATION OF A FACILITY AT 30100 AGOURA ROAD; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Core Communications Group for Verizon Wireless with respect to the real property located at 30100 Agoura Road (A.P.N. 2061-005-048) for a Wireless Telecommunications Facilities/Conditional Use Permit to replace six (6) of the twelve (12) panel antennas inside the walls of an existing hotel building, and add multiple ancillary pieces of equipment, including twelve (12) remote radio units, six (6) dual pack diplexers, and three (3) power surge suppressors with coaxial cabling.

Section II. The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorically Exempt from the CEQA Guidelines per Section 15303. This exemption includes the construction of accessory structures. No significant environmental impacts are expected from development of this project. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines including but not limited to subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

<u>Section III.</u> The Planning Commission of the City of Agoura Hills considered the application at a public hearing held on October 18, 2018 at 6:30 p.m. in the Council Chambers of City Hall at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid was duly given.

<u>Section IV.</u> Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

- <u>Section V.</u> Conditional Use Permit. Pursuant to Section 9673.2.E. of the Agoura Hills Zoning Ordinance, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, that:
- 1. The proposed use is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. Wireless telecommunication facilities are allowed in the Planned Development (PD) zone subject to the issuance of a Conditional Use Permit. The wall-mounted antennas will be completely screened with a

radio frequency emission-transparent material textured and painted to match the texture and color of the building façade. The additions to the building will not create a visual distraction or block views along the right-of-way. The accessory equipment is located on top of the roof, and will be shielded by an existing parapet wall and a screen wall. The dimensions and appearance of the facilities are consistent with the Zoning Ordinance.

- 2. The proposed use is compatible with the surrounding properties. The wireless telecommunications facilities, including antennas and accessory equipment, are allowed by the Zoning Ordinance. The use is consistent with the land use designation of the PD zone and is appropriate for this commercial area since the use provides a communication service to neighboring commercial and residential properties, as well as to motorists. The facilities will be screened and so will not be visible to passers-by, thereby maintaining the character of the neighborhood.
- 3. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare. Wireless telecommunications facilities must be built in compliance with the City Building Code, and are subject to inspection by the Building Department to ensure they are constructed in a safe manner. The Federal Communications Commission (FCC) also regulates wireless telecommunications facilities with regards to other related health and safety issues, particularly radio frequency (RF) emissions, and establishes thresholds of the RF emissions beyond which a wireless telecommunications cannot exceed. Pursuant to the project conditions of approval and the Wireless Telecommunications Facilities Ordinance, the applicant must demonstrate continued compliance with established FCC RF emission standards.
- 4. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance. The wireless telecommunications facilities are allowed in the PD zone, subject to the issuance of a Conditional Use Permit. Each of the proposed antennas, as well as the accessory equipment, will comply with the applicable provisions of the Zoning Ordinance relative to the use, the property location, and the facility dimensions and appearance. The antennas and ancillary equipment will be placed on the building walls and roof, and no expansion of the existing building area is proposed.
- 5. The distance from other similar and like uses is sufficient to maintain the diversity within the community. There is only one wireless telecommunication provider with both wall mounted antennas and roof-mounted accessory equipment on this base station, which is the hotel. Over the years, other facilities have been approved on other commercial buildings in the vicinity of the proposed location, which have in most cases been screened from public view. Since the facility is not visible to the public and does not require direct use of the facility by the public, the proposed modification does not impact the concentration limitation imposed by the Conditional Use Permit requirements. The applicant is proposing the facilities to provide improved wireless telecommunication services in the area.
- 6. The proposed use is consistent with the goals and policies of the General Plan with respect to wireless telecommunications facilities, particularly with Goal U-6 and

Policies U-6.1 and U-6.2. The General Plan seeks quality communication systems that meet the demands of new and existing developments in the City, which this proposed use does by providing improved wireless telecommunication services and implementation of state-of-the-art telecommunications services in the form of 4G coverage. The General Plan requires that the installation of telecommunication infrastructure, such as cellular sites, be designed in a manner as to minimize visual impacts on the surrounding environment and neighborhood, and to be as unobtrusive as possible. The project meets the requirements by screening the antennas behind a solid stuccoed screen, and the equipment on top of the building roof and behind parapet walls.

<u>Section VI.</u> Wireless Telecommunications Facilities Ordinance. Pursuant to Section 9661.7 of the Agoura Hills Zoning Ordinance, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds that:

- 1. The proposed modification to the facility has been designed and located in compliance with all applicable provisions of Division 11 of Part 2, Chapter 6 of Title IX Zoning. The overall facility remains secondary to the hotel on this parcel and is permitted in this zone with a conditional use permit. The facility has been designed to effectively screen and camouflage the antennas behind building screens. The associated equipment will be installed on top of the building roof out of public view. Further, the applicant has completed the supplemental application to the satisfaction of the Director of Planning, which serves as compliance verification.
- 2. The proposed modification to the facility has been designed and located to achieve compatibility with the surrounding community. The entire wireless telecommunications facility is incorporated into an existing building and adequately screened from the surrounding area by screen and parapet walls, and is within the dimensions allowed.
- 3. As part of this modification application, the applicant has submitted a statement of its willingness to allow other carriers to collocate on the existing building where the existing wireless telecommunications facility is located wherever technically and economically feasible and where collocation would not harm community compatibility as previously agreed upon prior to the modification.
- 4. Noise generated by equipment will not be excessive, annoying nor be detrimental to the public health, safety, and welfare and will not exceed the standards set forth in Division 11 of Part 2, Chapter 6 of Title IX Zoning. With the addition of equipment, the applicant has certified that the project will not result in an increase of noise over current conditions. Further, the conditions of approval regulate permissible noise and provide a procedure for addressing potential noise effects.

<u>Section VII.</u> Based on the aforementioned findings, the Planning Commission hereby approves Wireless Telecommunications Facilities/Conditional Use Permit No. WIRE-01506-2018, subject to the attached Conditions of Approval, with respect to the property described in Section I.

Resolution N Page 4 of 4	lo. 18		
passage, ap	on VIII. The Secretary of the Planning Co proval, and adoption of this resolution, and tion to be entered in the Book of Resolutions	shall cause this res	solution and
PASS following vote	SED, APPROVED and ADOPTED thise to wit:	, 20	018, by the
AYES: NOES: ABSTAIN: ABSENT:	(O) (O) (O) (O)	Ountin Zaguta Ch	
		Curtis Zacuto, Ch	airperson
ATTEST:	v Coordon		
Doug Hoope	er, Secretary		

Exhibit A

Conditions of Approval (Case No. WIRE-01506-2018)

STANDARD CONDITIONS

- 1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
- 2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of this Permit with the Planning Department.
- 3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits: Site Plan; Elevation Plan; and Details Plan.
- 4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
- 5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
- 6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
- 7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Conditional Use Permit.
- 8. Unless this permit is used within two (2) years from the date of City approval, Case No. WIRE-01506-2018 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
- 9. Operation of the use shall not be granted until all Conditions of Approval have been complied with as determined by the Director of Planning.
- 10. Prior to the issuance of building permits, all requirements of the Los Angeles County Fire Department shall be satisfied.
- 11. The facility will require the approval of the Building and Safety Department prior to installation and operation.

- 12. The term "facility" shall mean the wireless telecommunications facility described in the application and set forth in Section 1 of the Resolution approving these conditions of approval.
- 13. Permittee shall defend, indemnify, protect and hold harmless City, its elected and appointed Council Members, boards, commissions, officers, officials, agents, consultants, employees, and volunteers from and against any and all claims, actions, or proceeding against the City, and its elected and appointed Council Members. boards, commissions, officers, officials, agents, consultants, employees, and volunteers to attack, set aside, void or annul, an approval of the City. Planning Commission or City Council concerning this permit and the project. indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses, including, but not limited to, interest, attorneys' fees and expert witness fees, or liability of any kind related to or arising from such claim. action, or proceeding. The City shall promptly notify the permittee of any claim. action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding. The City shall have the option of coordinating the defense, including, but not limited to, choosing counsel for the defense at permittee's expense.

WIRELESS TELECOMMUNICATIONS FACILITIES STANDARD CONDITIONS

- 14. The permittee shall submit an as built drawing within ninety (90) days after installation of the facility.
- 15. The permittee shall submit and maintain current at all times basic contact and site information on a form to be supplied by the City. The permittee shall notify the City of any changes to the information submitted within seven (7) days of any change, including change of the name or legal status of the owner or operator. This information shall include, but is not limited to, the following:
 - a. Identity, including the name, address and 24-hour local or toll free contact phone number of the permittee, the owner, the operator, and the agent or person responsible for the maintenance of the facility.
 - b. The legal status of the owner of the wireless telecommunications facility, including official identification numbers and Federal Communications Commission certification.
 - c. Name, address and telephone number of the property owner if different than the permittee.
- 16. Upon any transfer or assignment of the permit, the Director may require submission of any supporting materials or documentation necessary to determine that the proposed use is in compliance with the existing permit and all of its conditions of

approval including, but not limited to, statements, photographs, plans, drawings, models, and analysis by a qualified radio frequency engineer demonstrating compliance with all applicable regulations and standards of the Federal Communications Commission and the California Public Utilities Commission. If the Director determines that the proposed operation is not consistent with the existing permit, the Director shall notify the permittee who shall either revise the application or apply for modification of the permit pursuant to the requirements of the Agoura Hills Municipal Code.

- 17. The permittee shall not place any facilities that will deny access to, or otherwise interfere with, any public utility, easement, or right-of-way located on the site. The permittee shall allow the City reasonable access to, and maintenance of, all utilities and existing public improvements within or adjacent to the site, including, but not limited to, pavement, trees, public utilities, lighting and public signage.
- 18. At all times, all required notices and signs shall be posted on the site as required by the Federal Communications Commission and California Public Utilities Commission, and as approved by the City. The location and dimensions of a sign bearing the emergency contact name and telephone number shall be posted pursuant to the approved plans.
- 19. At all times, the permittee shall ensure that the facility complies with the most current regulatory and operational standards including, but not limited to, radio frequency emissions standards adopted by the Federal Communications Commission and antenna height standards adopted by the Federal Aviation Administration, and shall timely submit all monitoring reports required pursuant to section 9661.13 of the Agoura Hills Municipal Code.
- 20. If the Director determines there is good cause to believe that the facility may emit radio frequency emissions that are likely to exceed Federal Communications Commission standards, the Director may require post-installation testing, at permittee's expense, or the Director may require the permittee to submit a technically sufficient written report certified by a qualified radio frequency emissions engineer at other than the regularly required intervals specified in Section 9661.13 of the Agoura Hills Municipal Code, certifying that the facility is in compliance with such FCC standards.
- 21. Permittee shall pay for and provide a performance bond, which shall be in effect until the facility is fully and completely removed and the site reasonably returned to its original condition, to cover permittee's obligations under these conditions of approval and the Agoura Hills Municipal Code. The bond coverage shall include, but not be limited to, removal of the facility, maintenance obligations and landscaping obligations. Such performance bond shall be in a form satisfactory to the City Attorney and Risk Manager, naming the City as obligee, in an amount equal to \$25,000.

- 22. If a nearby property owner registers a noise complaint and such complaint is verified as valid by the City, the City may hire a consultant to study, examine and evaluate the noise complaint and the permittee shall pay the fee for the consultant. The matter shall be reviewed by the Director. If the Director determines sound proofing or other sound attenuation measures should be required to bring the project into compliance with the Agoura Hills Municipal Code, the Director may impose that condition on the project after notice and a public hearing.
- 23. "Permittee" shall include the applicant and all successors in interest to this permit.
- 24. The facility shall bear no signs or advertising devices other than certification, warning or other signage required by law or permitted by the City.
- 25. The facility shall not be illuminated unless specifically required by the Federal Aviation Administration or other government agency. Lightning arresters and beacon lights are not permitted unless required by the Federal Aviation Administration or other government agency. Any required lighting shall be shielded to eliminated, to the maximum extent possible, impacts on the surrounding neighborhoods, and a lighting study shall be prepared by a qualified lighting professional to evaluate potential impacts to adjacent properties, which must be reviewed and approved by the City prior to the installation of any lighting.
- 26. Permittee shall submit to the City within ninety (90) days of beginning operations under this permit, and every two years from the date the facility begins operations, a technically sufficient report ("monitoring report") that demonstrates the following:
 - a. The facility is in compliance with applicable federal regulations, including Federal Communications Commission RF emissions standards, as certified by a qualified radio frequency emissions engineer;
 - b. The facility is in compliance with all provisions of this section and its conditions of approval.
 - c. The bandwidth of the facility has not been changed since the original application or last report, as applicable, and if it has, a full written description of that change.

27. Noise.

- a. The facility shall be operated and maintained in such a manner so as to minimize any possible disruption caused by noise.
- b. The facility is not approved for a backup generator. In the event of an emergency that results in a loss of power to the facility, a temporary emergency backup generator may be employed and shall only be operated during periods of power outages, and shall not be tested on weekends or holidays, or between the hours of 7:00 PM and 7:00 AM. The temporary

- emergency backup generator shall be promptly removed from the premises once the emergency is terminated.
- c. At no time shall equipment noise from the facility exceed an exterior noise level of fifty-five (55) dBA at the facility's property line and such equipment noise shall at no time be audible at the property line of any property zoned residential or improved with a residential use that is located within five hundred (500) feet of the facility.
- d. All air conditioning units and any other equipment that may emit noise that would be audible from beyond the facility's property line shall be enclosed or equipped with noise attenuation devices to the extent necessary to ensure compliance with applicable noise limitations under the City of Agoura Hills Municipal Code.
- e. Except for emergency repairs, any testing and maintenance activities that will be audible beyond the property line shall only occur between the hours of 7:00 a.m. and 7:00 p.m. on Monday through Friday, excluding holidays, unless alternative hours are approved by the Director.
- 28. Features designed to make the facility resistant to, and minimize opportunities for, unauthorized access, climbing, vandalism, graffiti and other conditions that would result in hazardous situations, visual blight or attractive nuisances shall not be removed by permittee and shall be maintained in good condition.
- 29. The facility, including, but not limited to, antennas, accessory equipment, walls, shields, cabinets, camouflage, and the facility site, shall be maintained in good condition, including ensuring the facility is reasonably free of:
 - a. General dirt and grease;
 - b. Chipped, faded, peeling, and cracked paint;
 - c. Rust and corrosion;
 - d. Cracks, dents, and discoloration;
 - e. Missing, discolored or damaged screening or other camouflage;
 - f. Graffiti, bills, stickers, advertisements, litter and debris;
 - g. Broken and misshapen structural parts; and
 - h. Any damage from any cause.
- 30. The permittee shall replace its facility, or part thereof, after obtaining all required permits, if maintenance or repair is not sufficient to return the facility to the condition it was in at the time of installation. The permittee shall routinely inspect the facility

- and site to ensure compliance with the standards set forth in the Agoura Hills Municipal Code and these conditions of approval.
- 31. Graffiti shall be removed from a facility as soon as practicable, and in no instance more than twenty-four (24) hours from the time of notification by the City unless a provision of the Agoura Hills Municipal Code provides a shorter time period for removal.
- 32. In the event Permittee desires to modify the facility, Permittee shall apply for and obtain all permits or permit amendments required by the Agoura Hills Municipal Code prior to making any modification to the facility. At a minimum, any application for modification to the facility shall use the screening and camouflage designs approved by this permit unless a more effective screen, concealment or camouflage design is proposed by the permittee or required by the Agoura Hills Municipal Code, or the building is remodeled such that it necessitates a new screen, concealment or camouflage design that is consistent with the building façade. Additionally, to the extent feasible, existing equipment shall be replaced with equipment that reduces visual, noise and other impacts, including, but not limited to, replacing larger, more visually intrusive facilities with smaller, less visually intrusive facilities. "Modification" means a change to an existing wireless telecommunications facility that involves any of the following: collocation. expansion, alteration, enlargement, intensification, reduction, or augmentation. including, but not limited to, changes in size, shape, color, visual design, or exterior material. "Modification" does not include repair, replacement or maintenance if those actions do not involve a change to the existing facility involving any of the following: collocation, expansion, alteration, enlargement, intensification, reduction, or augmentation
- 33. This permit shall be valid for a period of ten (10) years from the date of Planning Commission approval, which is the date of issuance, unless pursuant to another provision of the Agoura Hills Municipal Code it lapses sooner or is revoked. At the end of ten (10) years from the date of issuance, this permit shall expire.
- 34. In the event the facility ceases to provide wireless telecommunications services for ninety (90) or more consecutive days, the facility shall be considered abandoned and shall be promptly removed as provided in these conditions of approval and the Agoura Hills Municipal Code. If there are two (2) or more users of a single facility, then this provision shall not become effective until all users cease using the facility.
- 35. Permittee shall notify the City in writing of its intent to abandon or cease use of the facility within ten (10) days of ceasing or abandoning use. Additionally, the Permittee shall provide written notice to the Director of any discontinuation of operations of thirty (30) days or more.
- 36. Failure to inform the Director of cessation or discontinuation of operations of the facility as required by these conditions of approval shall constitute a violation of the conditions of approval and be grounds for:

Conditions of Approval (Case No. WIRE-01506-2018) Page 7 of 8

- a. Prosecution:
- b. Revocation or modification of the permit;
- c. Calling of any bond or other assurance required by the Agoura Hills Municipal Code or conditions of approval of the permit:
- d. Removal of the facility by the City in accordance with the procedures established under the Agoura Hills Municipal Code for abatement of a public nuisance at the permittee's expense; and/or
- e. Any other remedies permitted under the Agoura Hills Municipal Code.
- 37. Upon the expiration date of the permit, including any extensions, earlier termination or revocation of the permit or abandonment of the facility, the permittee, the property owner, or both shall remove the facility and restore the site to its natural condition except for retaining the landscaping improvements and any other improvements at the discretion of the City. Removal shall be in accordance with proper health and safety requirements and all ordinances, rules, and regulations of the City. The facility shall be removed from the property, at no cost or expense to the City. The private property owner shall be independently responsible for the expense of timely removal and restoration.
- 38. Failure of the permittee, property owner, or both to promptly remove the facility and restore the property within thirty (30) days after expiration of this permit, earlier termination or revocation of this permit, or abandonment of the facility, shall be a violation of the Agoura Hills Municipal Code, and shall be grounds for:
 - a. Prosecution;
 - b. Calling of any bond or other assurance required by the Agoura Hills Municipal Code or conditions of approval of permit;
 - c. Removal of the facility by the City in accordance with the procedures established under the Agoura Hills Municipal Code for abatement of a public nuisance at the permittee and/or property owner's expense; and/or
 - d. Any other remedies permitted under the Agoura Hills Municipal Code.
- 39. The facility shall comply at all times with any and all applicable local, state, and federal laws, regulations and guidelines. Any violation of these conditions of approval or the Agoura Hills Municipal Code may be subject to the citations, penalties and fines as set forth in the Agoura Hills Municipal Code, other available remedies and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.

Conditions of Approval (Case No. WIRE-01506-2018) Page 8 of 8

SPECIFIC PROJECT CONDITIONS

- 40. Permittee shall abide by the conditions of operation stipulated in the Sitesafe Radio Frequency Report dated March 7, 2018.
- 41. Permittee shall keep the access points to the rooftop area locked at all times, except when active maintenance is performed on the rooftop or equipment.
- 42. Permittee shall lock all access hatches on all roof levels at all times while authorized personnel are not physically present at the site.
- 43. Permittee shall install and at all times maintain in good condition a network operations information sign at the access entries to the rooftop. Signs required under this condition shall be installed so that a person may clearly see the sign before he or she approaches the access point when the door, hatch or other access point is in the open position and when the door, hatch or other access point is in the closed position (e.g. placed on the wall opposite from the hinges so that the sign remains visible when the door or hatch swings open).
- 44. Permittee shall install and at all times maintain in good condition an "RF Caution" and network operations information sign adjacent to each antenna sector on the rooftop. The RF Caution signs shall be placed inside the FRP screen enclosures.
- 45. Permittee shall ensure that all signage complies with FCC OET Bulletin 65 or ANSI C95.2 for color, symbol, and content conventions. All such signage shall at all times provide a working local or toll-free telephone number to its network operations center, and such telephone number shall be able to reach a live person who can exert transmitter power-down control over this site as required by the FCC.

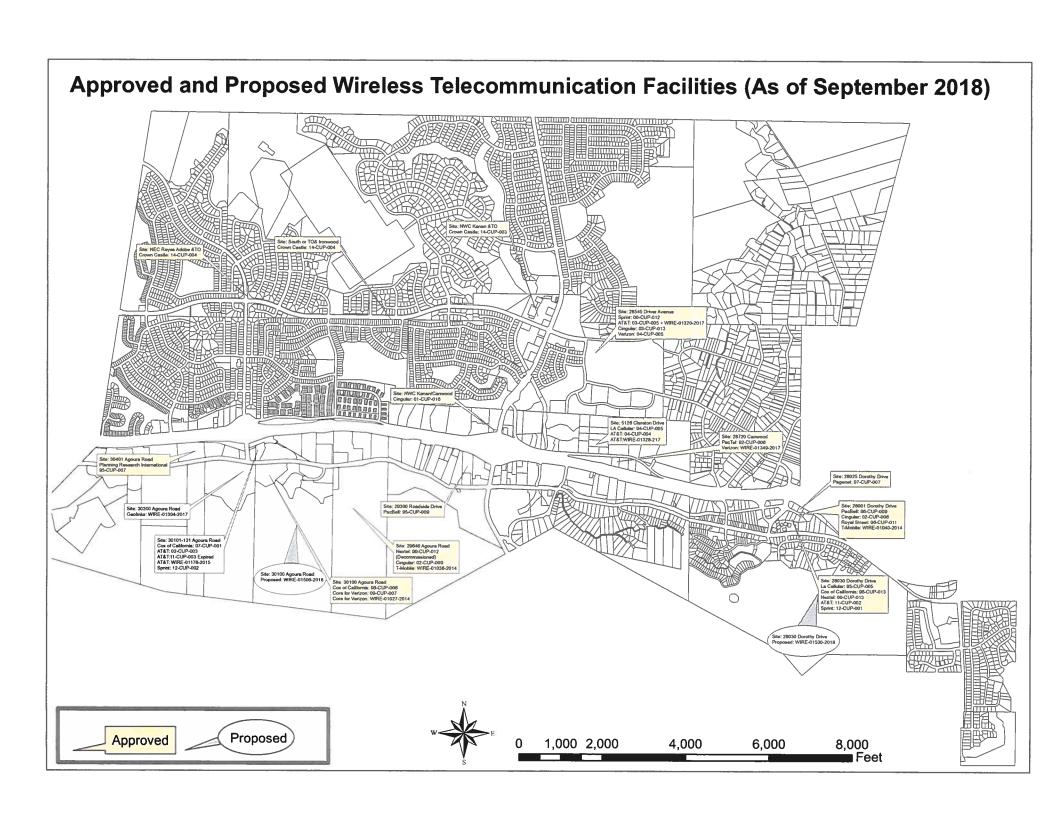
END

City of Agoura Hills

CASE NO. WIRE-01506-2018

Vicinity/Zoning Map





ABE	BREVIATIO	NS				
ABV.	ABBREVIATION	EQ.	EQUAL	MECH.	MECHANICAL	
AC	ACOUSTIC(AL)	EOUP.	EQUIPMENT	MET	WETAL	
A/C	AIR CONDITIONING	120X3	EXISTING	MB4	миненцы	
ALT	ALTERNATE	Ex	EXTERIOR	MISC.	MISCELLANEOUS	
ALUM	ALUMINUM	F.S.	FACE OF STUD	NAT	NATURAL	
A.B.	ANCHOR BOLT	FIN.	FRESH	N.	NORTH	
APPROX.	APPROXIMATE	FIX.	FOXURE	N.I.C	NOT IN CONTRACT	
ARCH.	ARCHITECT(URAL)	FL.	FLOOR	N.1.S	NOT TO SCALE	
A.C.	ASPHALTIC CONCRETE	FL	FLOW LINE	O.C.	ON CENTER	
BM.	BEAM	F.D.	FLOOR DRAIN	0.0	OUTSIDE DIAMETER	
BLK(C)	BLOCKING	FLOUR.		OPNG.	OPENING	
80	90ARD	FI /	FOOT PER	QPP.	OPPOSITE	
901.	80110M	FTG.	FOOTING	PL.	PLATE	
BLDG.	BUILDING	FDN.	FOUNDATION	PLYWD.	PLYW000	
CAB.	CABINET	CAL.	CALLON	RENT	RENFORCE(ING)	
CT.	CAST IRON			RM.	ROOM	
C.B.	CATCH BASIN	CALV.	CALVANIZED	SCHED.	SCHEDULE	
CLG.	CELLING	G.I	CALVANIZED IRON	SEC.	SECTION	
CEM.	CEMENT	G.	CAS	SHI	SHEET	
CER.	CERAMIC	GA.	CAUCE	SZM.	SMILAR	
C.O.	CLEAN OUT	CL.	GLASS	S.	SOUTH	
CLR.	CLEAR	CT.	GLUED LAMINATE	SPECS.		
COL	COLUMN	CIP,	CYPSUM	50.	SOUARE	
CONC	CONCRETE	HÎ.	HEIGHT	STD.	SIANDARO	
COMN.	CONNECTION	HM.	HOLLOW METAL	STL.	SIEEL	
CONT.	CONTINUE(OUS)	HORIZ.	HORIZONTAL		STRUCTURAL	
DET.	DETAIL	H.B.	H0SE BIBB	SUSP.	SUSPENDED	
DIAM.	DAMETER	INFO	INFORMATION	T & P	TELEPHONE & POWER	
DtM.	DIMENSION	I.D.	INSIDE DIAMETER	THK.	THICK	
DR.	DOOR	INSUL	INSULATE(ION)	T & B	TOP & BOTTOM	
DBL.	DOUBLE	INT.	INTERIOR	Ma.	TYPICAL	
DN.	DOWN	JT.	JOINT	UNO.	UNLESS NOTED DIHERWIS	
DS.	DOWN SPOUT	101	KITCHEN	VENT.	VENTRATION	
DWG.	DRAWING	LAB.	LABORATORY	VERT.	VERTICAL	
D.F.	DRINKING FOUNTAIN	LT.	UQHT	W.	WATER	
-	FACH	LIN.	LINEAL			
EA. E.	EAST	WFR.	MANUFACTUR(ER'S)	WI,	WEICHT WELDED WIRE MESH	
ELEC	ELECTRICIAL)	MFR, M,O.	MASONRY OPENING	W.W.M		
ELL.C	ELECTRIC(AL)	MAT.		W	WEST	
_			MATERIAL	W/	WIH	
ENCL	ENCLOSURE	MAX.	MAXIMUM	WD	w000	
PROJECT DESCRIPTION						

MODIFICATION OF AN EXISTING UNMANNED VERIZON WIRELESS COMMUNICATIONS SUBSTATION TO CONSIST OF THE FOLLOWING

- THE REMOVAL & REPLACEMENT OF TWO (2) EXISTING PREVIOUSLY APPROVED & VERIZON WIRELESS PANEL ANTENNAS WITH TWO (2) NEW & VERIZON WIRELESS PANEL ANTENNAS (ON NEW DUAL MOUNT BRACKET, TYP, OF TWO (2) AT ALPHA SECTIOD.
- THE REMOVAL A REPLACEMENT OF FOUR MUCHSTAND PREMOUSLY APPROVED AS VERIZON WIRELESS PANEL ANTENNAS WITH FOUR (4) NEW 4' VERIZON WIRELESS PANEL ANTENNAS (ON NEW DUAL MOUNT BRACKETS, TYP. OF TWO (2) AT BETA A
- INSTALLATION OF THREE (3) NEW RRUS (913) COMBO UNITS FOR 700-LTE (1 PER
- SECTOR)
 INSTALLATION OF THREE (3) NEW BRUS (85) COMBO UNITS FOR 850-LTE (1 PER
- SECTOR:
 INSTALLATION OF SIX 49 NEW DUAL PACK DIPLEXERS (2 PER SECTOR FOR YOURSO)
 INSTALLATION OF THREE (3) NEW PRUS (82) FOR PCS-LTE (1 PER SECTOR)
 INSTALLATION OF THREE (3) NEW PRUS (866) FOR ANSWAYS (1 PER SECTOR)
 INSTALLATION OF THREE (3) NEW 3215 RAYCAP BOXES (WO (3) AT EXISTING

- EQUIPMENT PLATFORM & ONE (1) AT EXISTING GAMMA ANTENNA SECTOR) INSTALLATION OF ONE (1) NEW 1-5.8°O (6.12) HYBRIFLEX CABLE TO GAMMA SECTOR

THE SIZE OF THE EXISTING EQUIPMENT LEASE AREA AND FACILITY HOGHT IS TO REMAIN UNCHANGED.

CONSTRUCTION DATA: JURISDICTION

TYPE OF CONSTRUCTION OCCUPANCY TYPE

CITY OF AGOURA HILLS

RF DOCUMENT

THESE PLANS DESIGNED PER PCS-LTE/AWS-3,850-LTE FUZE DOCUMENT DATED 01/03/18

PROPRIETARY INFORMATION

verizon^v

"REYES ROAD" (PCS-LTE/AWS-3/850-LTE ADD & 700 CONVERSION)

MTX-41 30100 1 AGOURA ROAD AGOURA HILLS, CA 91301

LEGAL DESCRIPTION

ASSESSORS IDENTIFICATION

LOS ANDRES COUNTY APPLICATIONS

OT 1 OF TRACT NO 43716 1/17-F CITY OF ALOURA FELB, CONNTY OF LOS ANCRES STATE OF ALFERNIA AS PRI WAY RECORDED IN BOUNTING, PACED BSTHROUGH IN, NACHDAE OF SIMPL 12774 FRINZ OF THE CONSTITURIZATION OF RAD CONSTITUTION.

LTE ADD RSION) ROAD

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VICINITY MAP PROJECT TEAM SHEET INDEX STRUCTURAL ENGINEER SHUCRI-CHUCK YACHI, P.C. 112 E. CHAPMAN AVE., SUITE D ORANTE, CA 92814 TITLE SHEET VERZON WIRELESS 15505 SAND CANYON AVE BUILDING D, FRST FLOOR IRVINE, CA 12315 GENERAL NOTES, SYMBOLS AND STRUCTURAL SPECIFICATIONS CONDITIONS OF APPROVAL 714-997-9120 CONTACT CHUCK YAGHI PE 004-2 COA-3 CONDITIONS OF APPROVAL APPLICANT'S AGENT
CORE COMMUNICATIONS GROUP
3350 E BIRCH ST #250
BREA, CA 92821
PH, (714,72%-8464
CONTACT AMY SINON A-3 FOURWENT & ANTENNA PLANS ELEVATIONS ARCHITECT: DERRA DESIGN, INC 495 E. RINCON STREET, #204 CORONA CA 92879 FLEVATIONS ARCHITECTURAL DETAILS & EQUIPMENT SPECIFICATIONS Agoura Rd Agoura Rd ARCHITECTURAL DETAILS & EQUIPMENT SPECIFICATIONS ARCHITECTURAL DETAILS & EQUIPMENT SPECIFICATIONS PH (851) 288-1650 CONTACT JEFF ROCBUCK

BUILDING CODES

AS OF JANUARY 1, 2017 ALL WORK AND MATERIALS SHALL COMPLY WITH THE POLLCHING APPROVED BY DATE BITTIALS COMMENTS

2016 CALIFORNIA ADMINISTRATIVE CODE PART 1. TITLE 24, C C R

2016 CALIFORNIA BUILDING CODE IC B C 1

PART 2, TITLE 24, C.C.R. (BASED ON THE 2018 INTERNATIONAL BUILDING CODE WITH 2016 CALIFORNIA AMENDMENTS)

2016 CALIFORNIA ELECTRICAL CODE (C.E.C.)
PART 3, TITLE 24, G.G.R.
(BASED ON THE 2014 NATIONAL ELECTRICAL CODE)

2018 CAUFORNIA MECHANICAL CODE (C M C)

PART 4, TITLE 24, C.C.R. (BASED ON THE 2015 LIMFORNI MECHANICAL CODE WITH 2016 CALIFORNIA AMENDMENTS)

2016 CALIFORNIA PLUMBING CODE (C.P.C.)
PART 5, TITLE 24, C.C.R.
(BASED ON THE 2015 UNIFORM PLUMBING CODE)

2016 CALIFORNIA ENERGY CODE (PART 6, TITLE-24, COR)

2016 CALIFORNIA GREEN BUILDING STANDARDS CODC (CIG BISICI) (PART 11, TITLE 24, GOR)

PART 9, TITLE 24, C.C.R.
(BARED ON THE 2015 INTERNATIONAL FIRE CODE WITH 2016 CALIFORNIA AMENDMENTS)

2016 TITLE 19 C C R , PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

AND ALL APPLICABLE CODES, LOCAL, CURRENT OSHA LAWS, 7-24 ENERGY CONSERVATION: LISTS OF STANDAROS. AND DISABLED ACCESS REQUILATIONS WHERE

APPROVALS

RF ENGINEER			
SITE DEV.			
SITE ACO.			
PM			
	2-11		
			,

NOTES

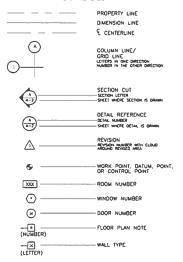
- THE MAXIMUM NUMBER OF PREVIOUSLY APPROVED PANEL ANTENNAS TO REMAIN IS INVELVE (12) THE MAXIMUM NUMBER OF PREVIOUSLY APPROVED PANEL ANTENNAS TO BE REMOVED IS REPLACED IS SIX (6)
- THE MAXIMUM NUMBER OF RRUS TO BE INSTALLED IS TWELVE (12)
- THE MAXIMUM NUMBER OF RAYCAP BOXES TO BE INSTALLED IS THREE OIL
- THE MAXIMUM NUMBER OF PREVIOUSLY APPROVED GPS ANTENNAS TO REMAIN IS
- THE MAXIMUM NUMBER OF PREVIOUSLY APPROVED CABINETS TO REMAIN IS FOUR (4) THE SIZE, HEIGHT, DIRECTION AND LOCATION OF ANTENNAS SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS AS NEEDED
- ALL ITEMS WHETHER EXISTING OR NEW, WHICH ARE WITHIN THE VERIZON WIRELESS LEASE AREA ARE TO BE APPROVED.

SPECIAL INSPECTIONS

SPECIAL INSPECTION & STRUCTURAL OBSERVATION NOTES

- ITEMS REQUIRING SPECIAL INSPECTION AND/OR STRUCTURNL OBSERVATION FOR THIS PROJECT SHALL INCLUDE:
 - A NONE
- A CERTIFICATE OF SATISFACTORY COMPLETION OF THE WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIMISION.
- AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.
- 4. A CERTIFICATE OF COMPLIANCE FOR OFF—SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.
- 5. THE SPECIAL INSPECTIONS IDENTIFIED ARE IN ADDITION TO THOSE REQUIRED BY SEC. 108 OF THE BUILDING CODE, AS AMENDED. SPECIAL INSPECTION IS NOT A SUBSTITUTE FOR INSPECTION BY A CITY INSPECTION.
- 6 ALL OBSERVED DEPICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTIOR, CONTRACTOR, & IT INSPECTIOR SERVERS SHALL SHOULD SHARL SHOULD SHARL SHOULD SHARL SHOULD SHARL SHARL

SYMBOLS



CONSTRUCTION NOTES

- HOURS OF WORK CONTRACTOR TO OBSERVE BUSINESS HOURS OF B A.M. TO 6 P.M., M - F. ANY OTHER SPECIAL OR EXTENDED HOURS TO BE APPROVED BY OWNER REPRESENTATIVE
- 2. SIACHIC/LODING AREA N.L. WORK MUST BE ARRANGED TO ANDO INTERERNO WITH ESTIMEN TRAFFIC POPELSTAME ON MOID BUSINESS ALL EQUIPMENT AS MATERIALS MUST BE STORED IN NEW EQUIPMENT ROOM ONLY UNILESS PROBIG ARREMANS IN SIGNADE BETWEEN VERIZON WIRELESS PROJECT MANAGER, OWNER AND CONTRACTOR VERY VERY AND CONTRACTOR OF THE MANAGER OWNER AND CONTRACTOR OWNER AND CO
- CONTRACTOR SHALL READ, UNDERSTAND, & ADHERE TO ALL NOTES ON THIS SHEET & ALL NOTES THROUGHOUT THIS SET OF CONSTRUCTION DOCUMENTS. ANY REQUIRED CHANGES AND/OR ADJUSTMENTS MUST BE MADE WITH THE PRIOR APPROVAL OF THE VERTICAN WHITELESS PROJECT MANAGER AND THE ARCHITECT.
- PROTECT ALL SURFACES & MATERIALS IN AND ADJACENT TO EQUIPMENT ROOM. ALSO PROTECT, PRESERVE AND CLEAN ALL AREAS; INCLUSIVE OF PATHS OF TRAVEL, IN AND BETWEEN ALL AREAS OF WORK.
- CONTRACTOR TO MAKE APPOINTMENT WITH BUILDING OWNER REPRESENTATIVE PRIOR TO ANY X-RAY & CORE DRILLING THAT MAY AFFECT OTHER TEMANTS.



Verizon

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T-2



DEPARTMENT OF PLANNING AND COMMENTY OFFICE OPHISTS

ACTION DATE Sanuaber 77, 2015

Plendilly Contributed

Con Common when the Verton Wireless 27 M Grand Service Book CA 92811

CASE NO. WIES-01827-2014 LOCATION:

REQUEST:

Annual Control (**) 20 Tols (**) 1994

Strain Agents Board (**) 20 Tols (**) 20 Tols (**) 20 Tols (**)

Strain Agents Board (**) 20 Tols (**) 20 Tols (**) 20 Tols (**)

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Strain Agents Board (**) 20 Tols (**) 20 Tols

ENVIRONMENTAL ANALYSIS: Consponently Ensure uniter CEQA per Society (#30)

KECOMO CONTATION

APPLICANT

Staff managements suffering of Wireless Tolerandon States Faithfulloaditions | Her Persist No., AUSS-9107-2014, philips to exhibiton, basid on ballage, in the Qual Reportant.

ZONDIG DESIGNATION: PD (Final Development - Ladyton Mounts Squife Plan)

PD (Pleased Development)

Planning Commission
Page 2 of 7

I. PROJECT BACKGROUND AND DESCRIPTION

The options, Con-Construction Development within a proposals as quality a carbon behavior assistant substitute as an only of the form of \$7.000 Gene, Dec. (See For ex-tension production of the Program was opposed by the Francisco Constitute to the Acide Reck. A Constituted University of the Production of the Constitutes, opening on the refineds; beard, "The ortificial application considered of the influentiation, superants on the refineds; beard," The ortificial application considered of the influentiation of the influence and the constitute of the constitute of the constitute of the constitute of the constitute and the constitute of the constitute of

The applicant proposes to replace spine of the two-two naturess, or there is such action, in cards of that remain becomes. The entension were accounted this major inspects produced to consequent accounter. The entension consequence of the first one cardson in the produce a particle or the custions such as the second action of two to or a coloring word. These point accounts were installed to install account action of two to or a coloring word. These point accounts were installed to the consequent account action of the coloring word. The coloring word that the coloring word is the coloring word to the coloring wo

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The applicant has psychiad soff with specifications of the equipment to be bundled and certifies that the prospect family, soon PCC resolute, The PCC relates an extendant developed by the American Federical Fermionis Institute (AFST), Brandwise are continually reviewed to account for monty proceds fatiguing and smolitified when appropriate.

IL STAFF ANALYSIS

The Cley's Workson Yakinessumpainents Pacificies (WTP) Outlinesse provides remarkeds for the appearance of strelates Statistics. The surviver process colonies of times for the appearance of strelates Statistics. The surviver process colonies of times for the Cley's facilities' for Statistics of the Cley's survivers the survivers of the Cley's facilities' for Statistics of the Cley's facilities, and regalities a Confidence Use Parallel or at Amendment to an existing Confidence for the Cley of the Parallel or an Amendment to an existing Confidence for the Confidence (Openheuise view) and approach and providence for the Confidence (Openheuise view) and providence in Dampilor to the Propriet of Confidence (Openheuise view) and the requires in Dampilor to the provision of the Officiance (openheuise).

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The second fact is whether the middlession to an existing facility changes the physical dimensions of the facility substantially based or of a relating

- Height, An pligible the little request crosses a substantial classes when is immune
 the builds (1) cross than 30% or one additional samples alrays not tune than 30
 foot higher the towers on private property, or Quarter than 10% or 10 feet
 (whichever is greater) the towers in the millist rights—drovey and cill have statemen.
- Width, An eligible flexibles required quiese a substantial change when it increases the trang width (1) money than 20 these or the stone width as the loved by the apparament widthern in general) the stones may be proved properly, of (2) more than mx feet the tenerary in the public rights-of-way and all home actions.
- Exercises. An eligible facilities respect course a solutional citemps when it ignotives exercisine. (1) excited the lease or license sens the towers and base attackes on private propagary or (2) emitted in preventity to the ground-minuted engineers for towers in the public rights-of way.
- Camouflage. An eligible facilities request expens a submantial charge when it would defeat the existing concessional elements of the tower or bus station.
- Nepacespilacco. An eligible facilities request sunset a substantial change when it would violate a price condition of approved that does not condited with the Countries of a substantial oberage.

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Compts, WEBS1007-2014

The highest is employing to deletions the middle samples with our first brief brief sensitive 27.7 facilities 19.7 (19) when write 19.7 (19) which store, 19.7 (19) when the properties of the p

In right the to the proposant, the applicant is reprisenting to obtained an equipment of them to be some benefits to be provided upon the challenge are one of the final many has been been benefits as the provided of the provided of the challenge of the charge of approximate provided between provided to the challenge of the chal

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to order for a Caccificion! Dos therept to be approved, the applicant over descriptions with all the offer Caccifficant bis Present Caclings; so well as with all four of the window assumements in philities aposite findings frond to Zeolog Ordenzon to Sordens 4973.2.8 and 5661.7 and provided below:

1. The proposed two is consistent with the effectives of the Zoning Ordinates and the purposes of the district in which the last is promes. Wireless takeningscalantes includes

Com No. Wiles: 4077-3014 (Variant Window)

on sthemal in the Premark Development (PD) seen stablest to the interess of a Confident of the Premark The And-constant amounts of the originality phenode with a Confident User Sprain, The And-constant control of the Anderson of the Ander

- 2. The proposed use it compatible with the narrounding properties. The whether uniquenteed inclines including natures and naturely engineers, or solved Philodo Development on solved in properties for the properties from the large included and one of the provides a quantum state of a temporal properties of the prop
- 2. The proposed on and the accelerate union which it would be operated or nonlineared will use? A designation of the public leads, where we wishers, Western inhorous manifestation to the public bear for the public leads of th
 - A.The proposal our will comply with each of the applicable previous of the Zusing Chillman. The viriates inhumenisation histories are disvered in the PD man, ellipsing to the insures of a Continuous to the breath, that of the proposal antenne, are will of the assessment of a Continuous to the breath, that of the proposal antenne, are will of the assessment pulgations, will comply with the applicable previous of the Zusing Childman scaleway to the way, the proposal continuous that the active the second and the continuous three continuous transfer and the proposal.
 - 5. The distances from ordiner desilier and liga uses in reflictions by resiluents the observity within the continuously. There is only our versions independent continuously to provide with both wall descented statement and conformed tentionary obliquences are this lines anticles which is because it is not a conformed to the continuously obliquences are the lines and the behalf including in the vicinity of the proposed tention which have in our case to make increased to the complete description that facility is reliable to the public of the converginity entering the continuously of the facility of the proposed metalliconary does not impact the connectional tention impacts by the conformation in the public obliques to the facility of the public, the proposed metalliconary does not impact the connectional tention impacts by the conformation improvements.

Cam No. WIRE 1927-3014

(leal II-fe' Talescommentation System Ocality communication systems (and most the decimals of new and soleting developments in the City.

The project will provide quelty communications systems to meet the demands of new and extends development in the City by exclading obserue and adding expectly, with mixinal continuous immilliant.

Prince L.4.1. Account and Availability. What with service provides to desure account of and availability of a wide range of state-of-the-out misconnectations systems and servicide for broadcolds, furnisesses and institutions throughout the City.

Policy1942 Dates and Files of Politics Repote that the issuitation of inhomosumes indicate behavioration, which at criticise these and toward, be designed in a measure to indicate visual disputes on the amounting environment and neighborhood, and to be indicated with disputes on the amounting environment and neighborhood, and to be indicated in a subdivision in practice.

Window Jelessenmentoctori Pacifigio Electrace

- The proposed facility has been designed and focused in compliance with all applicable provisions of the Zening Ordinance: The relations an results unconduct to the head to each in president of this case with a Conditional the Preside. It is designed with antening engineers. Purder, the reprience, two completed the Supplemented Applications for wincine submemmental providence in the Condition of the Difference of Pressings.
- The purposed facility has been damped and forested to exhibit a computability with the community. Whereas internamentations facilities are boing imageorated into a sever and beform a server and completely include to public view.
- 3. The applicant has submitted a statement of its willingness to allow other carriers to collectes on the proposed whether teleconomissations facility wherever technically used communically femable and where collection would not hearn community consumblity.
- 4. Noise generated by sequipment will not be extensive, amonying, nor be destinanced to the public health, safety, and well not excess the sendends set furth in the Zendig Ordinance. The noise well can be usefulled as the property ties of any ordinance, the property ties of the property ties of any ordinance of the property setting the property setting and the same of the same of

Case No. WEIS-1027-2014

Com No. WELS-1927-2014

As described by the City's wholese occusions, Taberon Lew Firm, P.C. Vertext will comply such its related non-immensal collegations under the PCC rules (4 C.C.F.S. Soc. 1,130) at eacy pin agents us object and legalistics of providents or providents of providents or only as the obligations of appropriate very level as the obligations of appropriate propriate in price providents better to Exhibit 3 of die and report. The Cyt page issues a genuit is provident when reported only if Vertical Vertical regions to ensure that other control only if Vertical Vertical regions to ensure that the control of the

DL RECOMMENDATION

Based on the above sanitysis, staff recommends approved of Conditional Use Parasit Case No. WIRE-01027-2014, subject to conditions of the starched Death Resolution.

- IV. ATTACEMENTS

- Deed Recobilise of Approved and Creditions of Approved
 E-Babbit A: Variably Zizzing Map
 E-Babbit A: Variably Zizzing Map
 E-Babbit A: Speciment Federate neuroscientes Production Map
 E-Babbit C: Resident Copy of Please
 E-Babbit D: Residentiation of Proposed Visiteer Telecommunications Production
 E-Babbit C: Residentiation of Proposed Visiteer Telecommunications Production
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Case Pinner: Valorio Daffouro, Associato Pinner

DRAFT-RESOLUTION NO

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ADDURA HILLS CONDITIONALLY APPROXISE OF WELLERS IT INDECOMMENTATIONS ACCUSTED COMPITIONAL USE PERSON CASE NO. WELLOWS TO A PACILITY AT 2000 ACCURATE ADDURATION AND MALEND THE FERDING OF CONDITIONAL BOARD, AND MALEND THE FERDING OF CONDITION FOR THE CALLEDONAL NUMBER AND THE PRODUCT OF THE PRODU

THE FLANKING CONDUISSION OF THE CITY OF AGOURA HELE HEREBY FINDS, RESOLVES AND ORDERS AS POLLOWS:

Buttles L. As application was day find by Care Development Services to Virticis Virtual Participation of the Care Development Services to Virtual Participation of the Care Development of Services and Services of the Care Development of Services and Services and Services of Services and Services of Services and Services of Services of Services and Services of Serv

Zeiches Z. The Pleasing Commission of the City of Agence 18th considered the application as a public lengths, hald an Enjamenter 17, 2015, as 6-50 p.m. in the Compell Chapters of City Held of 1900 Ladyton Chart, Agence 18th, Chillicele. Notice of the Sans, Sector and compense of the Servand Ladyton cathery given.

<u>Ecology</u>. Dilatons, both vectors and end, instuding the staff separt and supporting

position for the property of the second of t

1. The proposed are in constraint with the phiperbous of the Zinging Chellmans and the purposes of the district in which the san is because. Window indexembergates for the district in which the san is because. Window indexembergates for the instruction of the contract o

2. The proposed use is compatible with the unreceding properties. The wholess interconcentrations furtilists, including antennes and measurery explanents, are allowed by the Zeolog Ordinanes. The use is considerent with the land use insignation of the Planend Development state and is appropriate for this commercial area shows.

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Verizo

(PCS-LTEAWS-3/856-LTE ADD 8,700-LTE CONVERSION) 30:100 1/2 AGOURA ROAD AGOURA HILLS, CA 91301 CONDITIONS OF APPROVAL CONSTRUCTION DRAWINGS

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COA-1 Job No. 13248

mainstane pervice to aciath/acing commercial and emidential

- The proposed one and the conditions make which it would be operated or maintained will out be declarated to the public health, unity, or walthm. Wholess inhammated instabilities care to be the latest public health, unity, or walthm. Wholess inhammated instabilities care to be thinking Department to some steps are constructed by an after account relation of construction (No. 2) and constructed by an after account. The Foreston Communication Constraining (NO.2) and steply instability rates and steply instability, instability rates of construction of the public construction of the construction of the public construction of the construction of the construction of the construction of the public construction of the construction of the construction of the construction of the public construction of the construction of the
- 4. The proposed was will comply with each of the applicable providence of the Zunking Ordinana. The windows inspectations in facilities are alleved to the PD zone, neglect to the limitation of a Confident for breath. Each of the proposed assessment, we will not be associative publications, will camply with the applicable provides bit the Zunking Ordinana evolution in the Same proposed assessment, will the habitate Zunking Ordinana evolution for the Same proposed, will be placed on buildings wells not be expression of the salteting buildings was in proposed.
- 5. The distance from other shadles and like may be religious a making the elevative visits the community. These to only our visities interconnectioning profess with both well reconnected enteness and one-connected enteness enteness the connected accessive projections of the like interest which is the loved. Over the years, other dubbles have been approved to other recognitional buildings in the visitory of the proposed interest twicther loss in sents from lower accessed them yelder views. Ears the inclinity is not visible to the public some community of the projection of public the proposed transfer in the loss of the facility by the public the proposed transfer in the loss of the facility to the public the proposed transfer in the loss of the facility to the public the proposed transfer in the loss of the facility to the confidence that Present in our case of the facility to the confidence that Present in our case of the facility to the Confidence that Present in our case of the facility to the Confidence of the Present in the Confidence of the Confidence of the Present in the Confidence of the Confidence of the Present in the Confidence of the Confid
- care Armitt Implements.

 C. The passage is the continues with das goals and profiles of the Cannair Plan wide respect to vicinies relates indexes including particularly with Orac I-Se and Profess (S-L-I) and O-L-I. The O-cannair Plan marks quith; commissation proposed and done by providing improved volunts withouts medicates are required our done by providing improved volunts withouts medicates are related in the forms of O-L-I continues and implementation of the orac office-one visionsessmanisation in the forms of O-L-I continues and interest of the orac office-one visionsessmanisation in the forms of O-L-I continues and the orac office of the orac office-one visionsessmanisation in the forms of O-L-I continues and the orac office-one visionsessmanisation vision in the forms of O-L-I continues and the orac office-one visionses in the orac of the orac office-one visionses in the orac office-one visionses in the orac of the orac office-one visionses in the orac of the orac office-one visionses in the orac office-one visionses of the orac office-one visionses in the orac off

Dreft Capalution No.____ Page 3 of 4

<u>Section S.</u> Personn to Section 9551.7 of the Agreen Hitle Zeeling Onlineson, and bessel apon the evidence presented as the brancha, including the smill report and oral and written settlessay, the Planning Commission finds the section of the Planning Commission for the Planning Com

- 1. The precorded facilities have been destinated and posited in controllines with all optionishs provisions of Dyrides 1 for Fav 2, Chapter 6 of This IX Zohnig, The proposed helding presents measuring the face the notice on this passed and is presented to the next wide in established the present. The facility has been designed to effectively resent and manufacture been estimated, the present and present with the facilities of the root of the root of paties where. For mining, the application of the production of the Director of Presence, the Proposed of Presence, and the proposed of Presence of Presence, the Proposed of Presence of Presence, the Proposed of Presence of Presence, the Proposed of Presence, the Proposed of Presence, the Proposed of Presence of Presence, the Proposed of Presence, the Proposed of Presence, the Proposed of Presence of Presence, the Proposed of Presence, the Proposed of Presence of Proposed of Presence of Proposed of Presence of Proposed of Presence of Proposed of Proposed of Proposed of Presence of Proposed of Proposed
- This proposed duclibles have been designed and located to utilize compatibility with the networding accessority. The window belongsamelactions facilities on incorporated face on existing building and adequately netword faces the restricteding error.
- 3. The applicant has solutioned a structure of its willinguous to allow often carriers to collecter, on the proposed whethers indecommencations facilities whenever technically and enconocially healths and where collections would not have commently computability. The modification does not change this exempgement.
- 4. Noise guarante by apignams will not be manufow, emerging our be intrinsume to the pubble banks, suthry, and weather not will not comed the numbers or footh in Devision in 1 of the 2, Chapter's of 16 feet Ke Zhong. The project stone in Incrume the evental number of autonass or equipment outlets, and the application has cuttled than the project will not require 10 in terms or other over created contribution. Further, the conclines of approved maples apparationable naise and provides a presental near all numbers of approved maples apparationable naise and provides approved in the application and other depressions.

Section 6 CEQA Findings.

- A. The Pleaning Chamilation basely finds that the approved of the propert is assumptively campet than the Calciuration informations of quality for Challe To Calciuration (Calciuration (Calciuration) for the Calciuration (Calciuration) for the Calciuration (Calciuration) for the Calciuration (Calciuration) for the Calciuration of Calciuration and the campeter of service and further on the Calciuration of service and calciuration for small analysis of service and service
- B. The custodian of records for all custodis that numbers the record of proceeding upon which this decision in based in the City Clerk, and storm donessees are southeld for public service in the City Clerk's office found as 30001 Lulytper Court, Agreen Hills, Childrenia 91301.

Section 8. The Secretary of the Planning Commission shall carrify to the passage, agreemed, and overpless of this reaching, and shall cause this machine and this certification to be curred to the Book of Recolutions of the Piracing Commission of the City.

PASSED, APPROVED and ADOPTED this $17^{\rm th}$ day of September 2015, by the following were to sele:

AYER: (0) NOES: (0) ABSTAIN: (0) ABSENTI (0)

Linda Northrap, Chaleparson

ATTEST

Door House, Secretary

STANDARD COMMITTONS

- That destribut, or only opport of this destribut, one he appealed to the City Council which Sidner (15) steps done the date of Phensing Communicate action, subject to Siting the appropriate States and related from
- Biospi no medified havels, the approval of this scrion is limited to and regrice conspiner conformation to the approval fainful sublisher Site Plant Elevation Plant and Details Plan.
- All exterior naturals used in this preparation. The in configuration with the control amplies advected as a plan of this application.
- It is further declared and media of Confliction of this action from IT any Confliction havels in Visitated, the Permit shall be unspected and this privileges granted because which layer, provided that for the privalent shall be the given vertical metion to come made violations and has falled to the son for a packed of fifting VOS days.
- Unless this possil is used within two (2) years from the date of City approval, Core Ho. WERE-01027-2014 will explore, A within request the α our (1) year extension, may be
- Operation of the use shall not be granted uptil all Conditions of Approve have tempthal with an Assentiant by the Director of Hanning.
- Fifer to the incomes of building parties, all reprisonment of the Los Angeles County Five Department shall be selected.
- The facility will require the approved of the Dubbing and Sultry Department polar to instillation and opposition.
- The text "Selfby" deal case the weaker releasement facility described in the application and set forth in Section 1 of the Resolution approximations of confidence of approximations.

Conditions of Approved (Case No. WIRE-REST-2015) Prior 2 of 8

WIRELESS TELECOMMUNICATIONS PACILITIES STANDARD CONDITIONS

- The parasition shall embade an at balls denoting within almoy (90) days after isomorphism of the factility.
- The parameters shall submit and mariners correct or still three besic counce, and also information on a form to be impossed by the Chy. The propulses into leading the Chy of any changes to the information actions of which were 1/3 days of any shaping, including change Ch and into control of the into correct pages (and a propulse of the propulse of
- Monety, techning the main, statyms and 74-how found or stall thes content pictors attaches risk day; postured, the system, the operator, and the satisf or present required to the maintenance of the facility.
- The high status of the owner of the wireless references indicates facility, hilleding official identification analysis and Federal Contributions Continuous conficusion.
- Upon may sensitive or uniforment of the protects, the Discour easy copies subjections of any objecting solutionists of the protects, the Discourse one copy copies and any objecting solutionists of the consideration of the consideration of objects of the consideration of the consideration of objects of the copy copies of the consideration of th
- 4. The permittee that not piece any feedbles the will darp entous po, or otherwise immittee with any public stable; excellent on Register from feeding on the bis. The president stable has been on the president of the president stable and express problem.
- At 40 times, all populos trations and signs shall be proved on the abs an regular by the Pedent Communications Quanchaines and Colleges Pedelt Publish Communities, and an approvality by the City. The Intention and distinction of a sign benefit of interrupting content motors and below the market shall for protect pursuant to the approved plans.
- As all times, the purceition shall ensure that the facility compiles with the near execute regulatory and operational stundards including, but not hereined no, solid Suspensy excitations standards adopted by the Federal Computationists Commission and automo-

Conditions of Approval (Case No. W(RS-01027-2015) Page 3 of 8

height menderly adopted by the Federal Aviation Administration, and that thesis subsite all mendering reports required paramet to notion 9641.13 of the Agrees Hills Municipal

off membrating psychia supplied parameter is seenes 1941-11 for the Agaren Mills Manifestal Code.

1. If pp Discuss descendent these is good cause to believe that the firstlity are settle still cold fifteeness of the process of the

- 11. "Persistent" shall include the applicant and all successors in interest to this person.
- The facility shall bear an eigen or advectising devices other than sentification, warning or other signings respicted by few or primitived by the City.

Conditions of Approval (Case No. WIRE-81 (07-2075) Page 4 of 6

- Page 441

 2. Ph. defailfy that nor to Unamount while questically explained by the Fathert Avision Administration or when previousness equity. Lifeting consume and bases light in one or protected moise regions by the Fatistic Architecture. Architecture or other government quarter, here reggers lighting and by alleghed in distances to the green and the property of the control of the protection of the property of the control of the protection of the control of the contr
- b. The facility is in compliance with all provisions of this section and its equitions
- The bandwidth of the facility has not been changed since the religion application or last inpost, or applicable, and if it has, a full velocus description of that change.

- The fictility is not opposed the a bactup personne. In this revent of to emorgancy that stanks in a fast of power to the fictility, a temporary emorgancy hastern presents; care but objected as find the present care but objected and stand only to expended details particle of power training, and adult out to be made on ventionals or backless, we between the bound on ventionals to backless, we between the bound of the contraction of the backless, we between the bound of the power of the backless of the power of the contraction of the temporary forms of the power of the one one opening to temporary forms of the power of the one one opening to temporary forms of the power of the one of the one opening the temporary forms of the power of the one of the opening the one of the opening the openin
- At me time shall applyment noise from the facility storms on consists holes level of this few (53) clifts, at the facility is properly like and such conjugate more than at an time he such that at an properly like of any property scored confinedat or implies with a real-late at the properly like of any property scored confinedat or improved with a real-late of time in its income within the continue of the size in the late of the size o
- d. All sir establishing units and any other equipment that may east nades that would be easilist from beyond the facility's property line shall be excluded or equipment with another electrons to the mean reconstray to ensure sequipment with applicable rollies limitations under the City of Agottes Hills Membrings Code.

Conditions of Approved (Case No. 8 JEE-01027-2015) Page 5 of 8

- Given a sum on a region of particle of a sum on a serious the will be abble by the first the particle of the
- 14. Experimental formula for 1990 for recovery and analysis opposition of the control of the con
- - a. Green) direct years.
 - b. Chinesel, fided, proline, and constant police

 - a. Montag, decident of decognit according or other consultage.
 - Contitis, bills, etches, advertisements, time and debate.

 - is. Any decoupe front my ones.

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- The promition should respect to the families, on pain demonst, when changing all respected promiting (I have been proposed to the medical promiting (I have been proposed to the medical proposed to the propo
- Omiffel shall be encoved from a facility or room of practicating and its po figurate nor than remove flow (1-4) hours from the time of artiflustics, by the City majors a provision or the Agents Hills Mindelpat Code provides a shorter time period the request.
- the square color desirable action process for general color general action related to the second process of th



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Building 15", I living CA 92 PCS-LTE ADD
8, 700-LTE CONVERSION)
30100 1/2 AGOUBA ROAD
AGOUBA HILLS, CA 91301
CONDITIONS OF APPROVAL
CONSTRUCTION DRAWINGS



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COA-2 lab No. 13248

Conditions of Approval (Com No. WILE-01027-2015)

requirement place has been for the eventoress (see anothers tribute under neat other agreement behavior). As one beatter by similarly beauty, more visually, broader beautiful with a state of the similar beautiful bea

- 20. This permit shall be valid for a period of an (FE)-years first the data of Flaming.
 Commission approved, which is the data of limensus, unless persists to interfer provides of the Aspers 18th Mahingling Cheek if pages source of the required. At the end of two (16) years from the date of tamence, this permit shall regime.
- 20 In the remark (see facility consenses to provide virules an independent activities activities to asset (90) or times consistently stray. The hapility shall be completely districtive and shall be promptly remarked on privately as the same unablance of operated and privately and the same unablance of operated and the Angewe hills be indexigned Colon. If there are prival (10) or more related on dependent of the same and the same a
- Pulsarine shift saidly the City to acting of its basics or shooten or used nor of the facility within test (10) days of country or steadyman, mag., Additionally, the Puralists shall provide written inches to the Director of any discontinuation of specialism of thirty (10) days or more.
- Pailms to inform the Director of countries or disconfination of operations of the facility or required by these resultings of appared shall countries a violation of the excellent of appared and be grounds for:
 - a. Presention,
 - b. Revocation or modification of the puzzis;
- Calling of any band or other rememors required by the Agoust Hills Mostleigas
 Cade or conditions of apparent of the parent;
- 4. Denoval of the facility by the City in secondame with the presedures established nodes the Ageurs Hills Municipal Code for absenuess of a public automore as the permisses's supposes; and/or
- 24. Upon the explosion date of the period, including any extensions, under trainingline as recording of the period or observations of the fieldity, the permitter, the preparation, the preparation, the preparation of the field preserve the fieldity and various that this to be passional condition garget for annulus the histological improvements and not of other despressesses of the discussion.

Condition of Approval (Case No. WIRE-01027-2015) Page 7 of 8

of the City. Regards shall be be accordance with proper leading and paying experiments and jull ordanesses, rules, and regulations of the City. The facility shall be reasoned true the property," as no cast or suppose to the City. The printed property power shall be interestingly expectable for the express of facility reasonal and restaurching.

- 25. Pulturs of the promption, peoperty owner, or both so preceptly sometre the helity and reason the principary within thirty (ND) days other unitaration of risks, special, unifor translations or effectively of other people, or estimatements of the thirties, shall be a violation of the Agence Hills Metalogad Code, and shall be grounds for:
- Calling of any bond, or-other assumes explined by the Agency Hills blankings.
 Code or conditions of approval of paradit;
- Resource of the facility by the City is encordance with the procedures established under the Agency 1988 Manicipal Code the shames of a politic antimines at the permittee author property owner's expense, aution
 - d. Any other remodes possible tudes the Agoust Hills Menjelpel Cods.
 - 24. The finiting shall coupsity at all times with any sed-all applicable local, stans, and freignal how, requiredness and guidalines. Any relation of these conditions of opportunities that Agents (ESS Yeldright) color way to explore of the relations, possibly into this ten se there's in the Agents (ESS Yeldright) color, other evaluation smoother monotones are most forced on of the passed on the fluction of the Cay Anterny and City Procustoms or most forced on of the passed on the fluction of the Cay Anterny and City Procustom.

SPECIFIC PROJECT CONDITIONS

Permittee shall point the preposed across well to match the solors of the building walls it is stretched to.

- Perchise chall ablds by the confidence of operation expained in the Waterford Radio Propumery Expanses Pre-Installation PCC Completence Assessment Report dated August 25, 2014
- 3. Permitties shall beauth and or all class products in good constitute a Visitomic Operation. Comer information sign at the account polarity to the conf. Vertices Wileylow shall be said the sign(s) possible that this Generalism on that a pursua very classify an end understood the sign before the or also account the root.
 - Persisting shall deatall and at all times unlesses to good overlitter sign eachersency bacter for the styles sector or described on page 12 of the Waterbell Report.
- Persistes stuff install and at all times recommists good condition on "RV Castica" sign, on the physical bastier it installed for the eights assent, Vertime Window shall install the

Condition of Approved (Care No. WIRD-01027-2015) Page 8 of 6

- Propings shall famile and of the Saint materials in produced the Saint Montes, and the Saint Montes, and
- 7. "Premiero deal" espera fast til sjöruge opspeller vrija PCC, OST, Belletin 65, or 4/03. CPS 2 for volor, grabelij, and venkept ophysicities. All dette sjøruge, spall fil all time parvise av venking faste or delfatte skiptimes statel as plant sjøruge, spall fil all time parvise av venking faste or delfatte skiptimes statel as plant som opståde statel av person villa den etter i menseste pomod-devolventater ever til menseste se eventate film for PCC.

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S E E E E



15505 Sand Building 'D', 1

PCS-LTE CONVERSION)
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CONDITIONS OF APPROVAL
CONSTRUCTION DRAWINGS



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10/2/17

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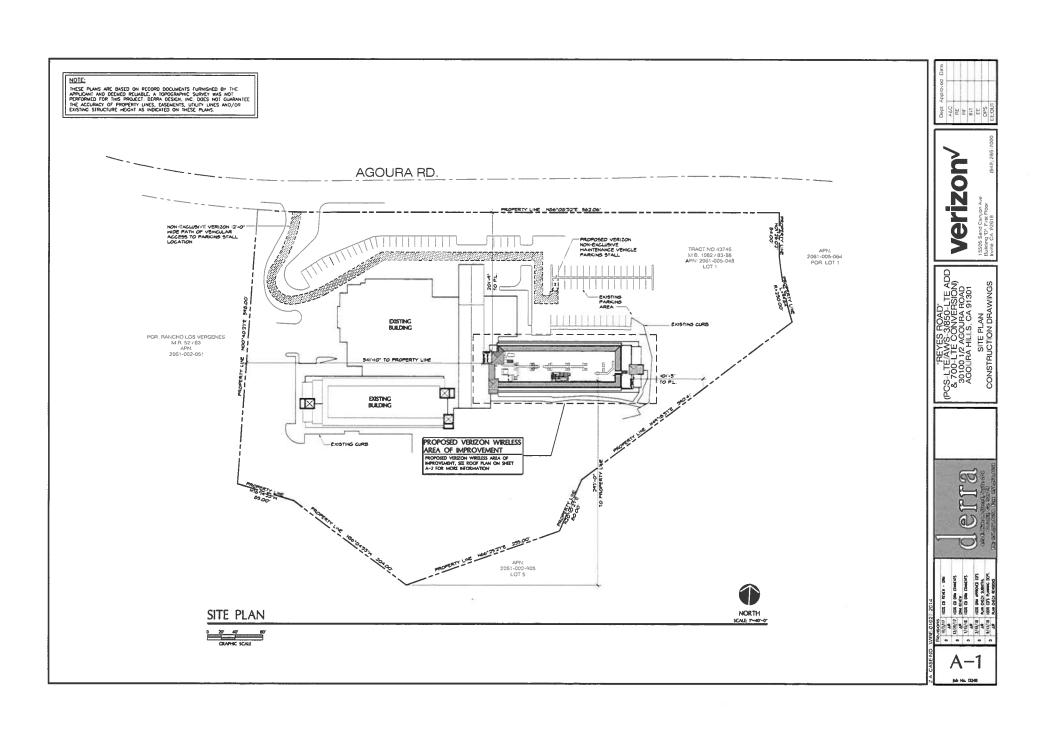
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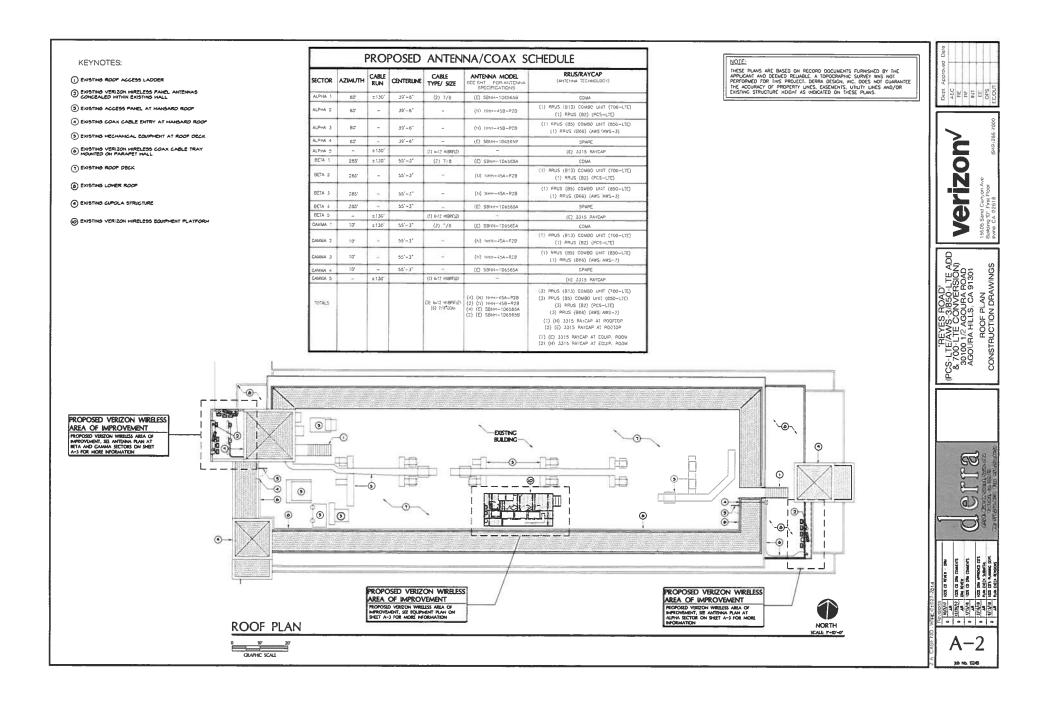
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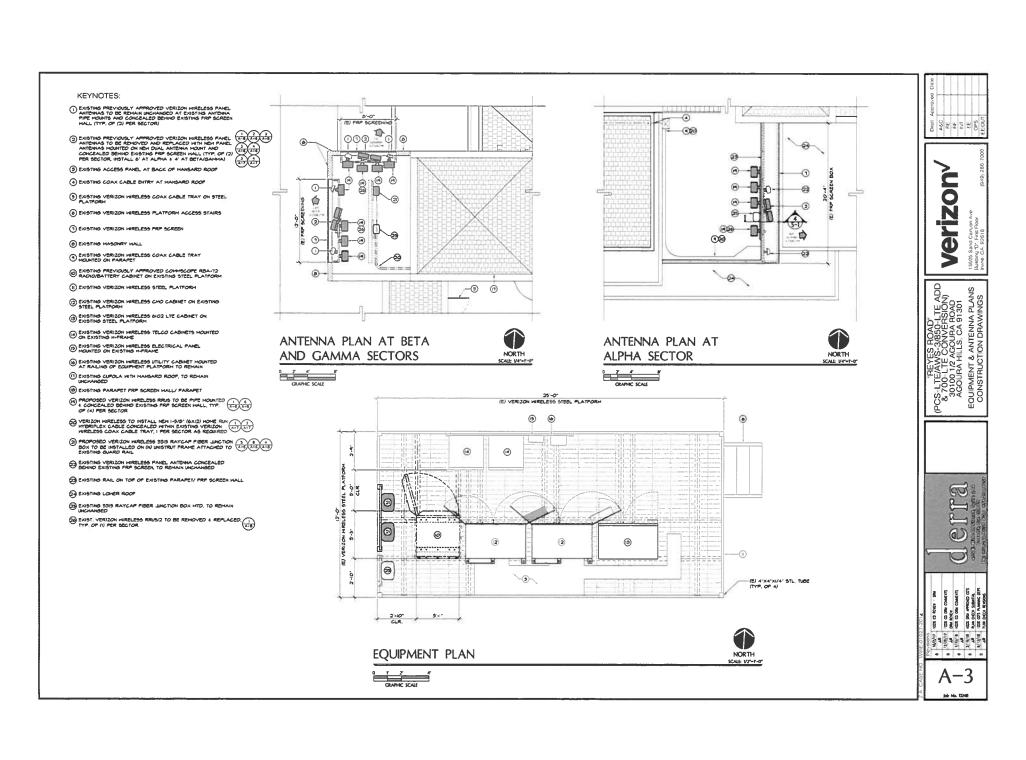
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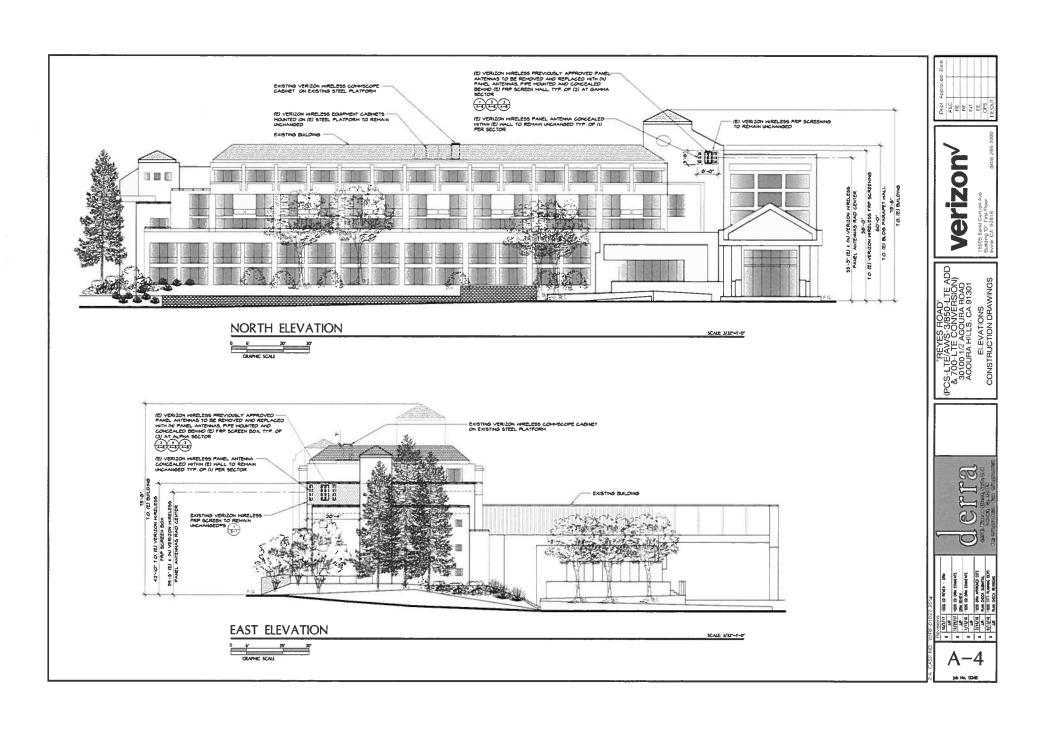
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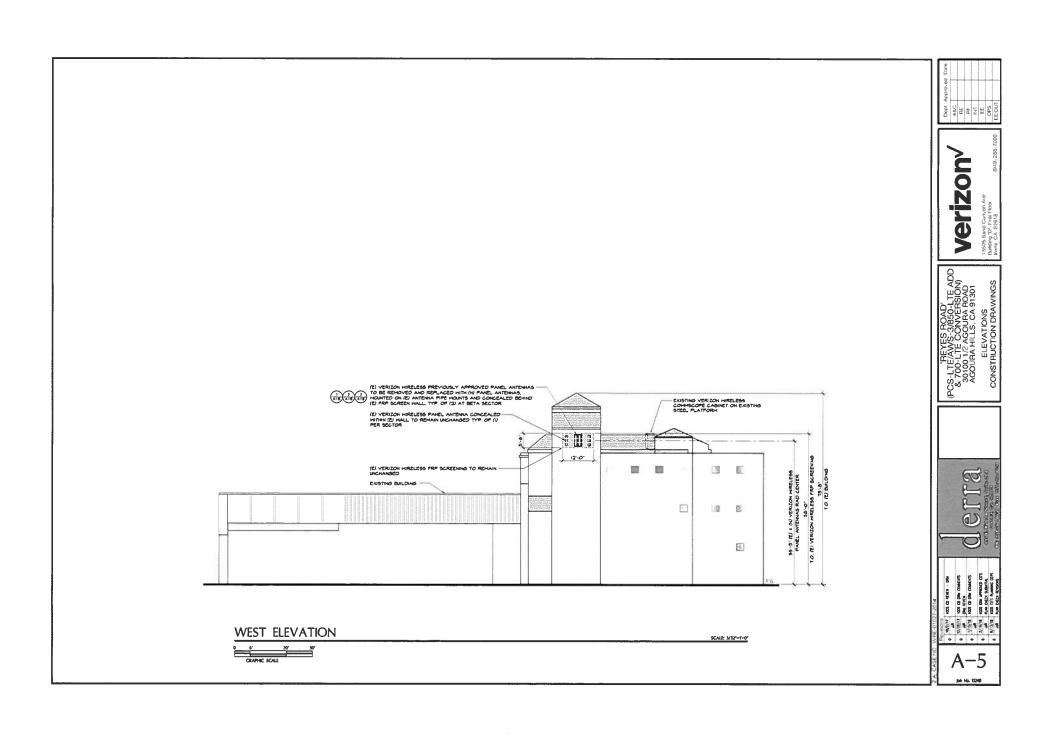
COA-3

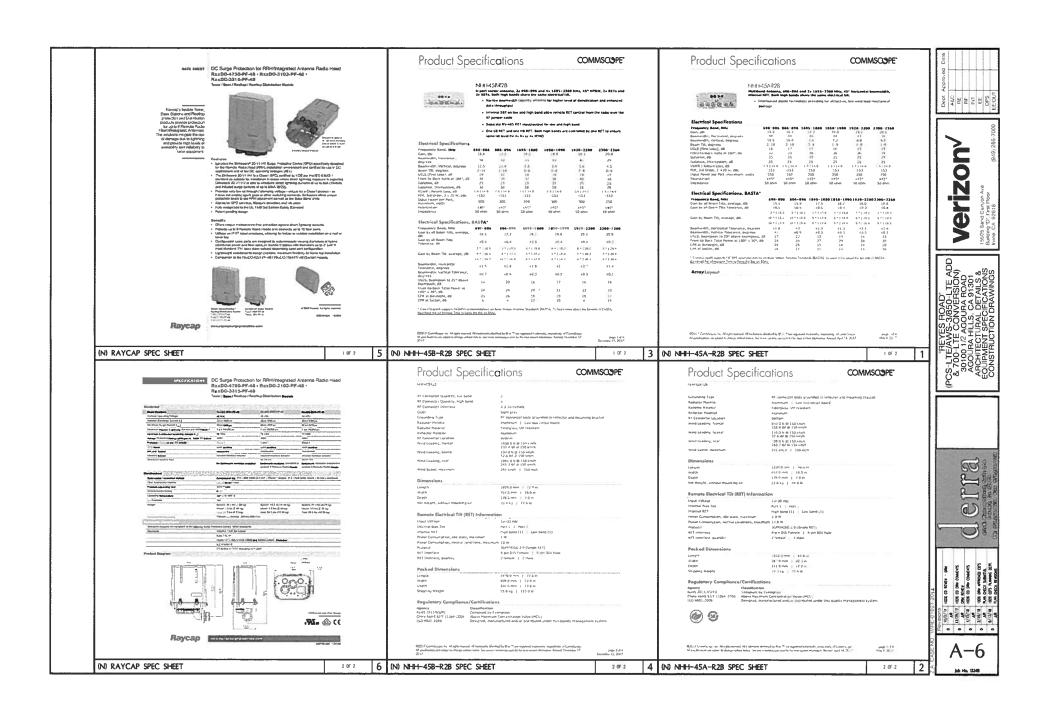


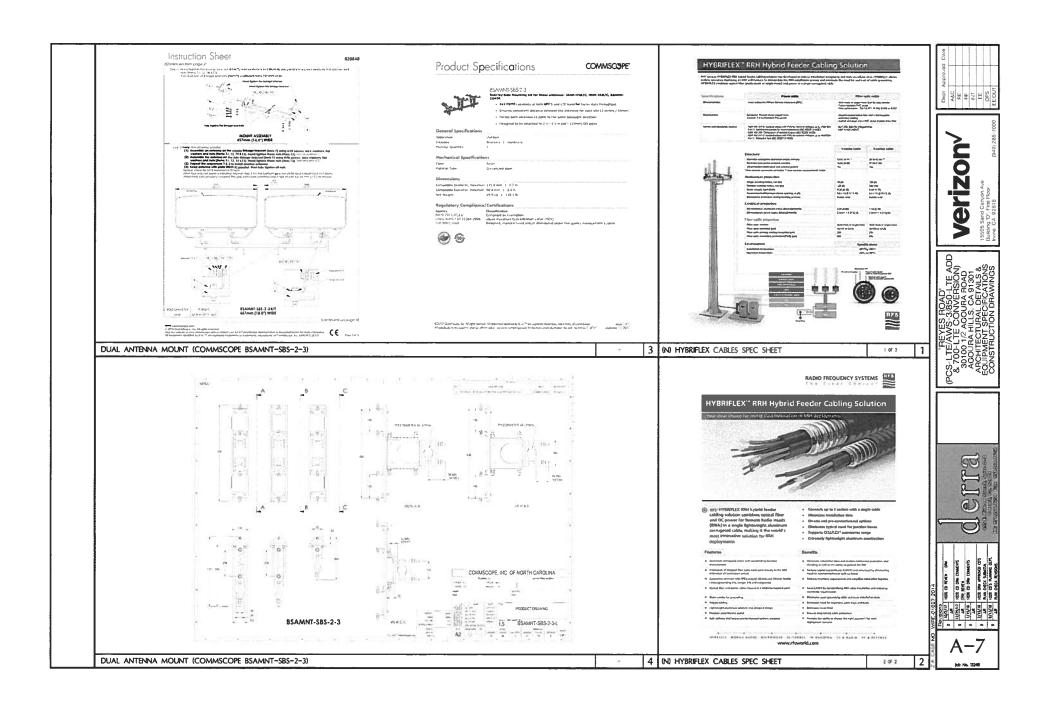


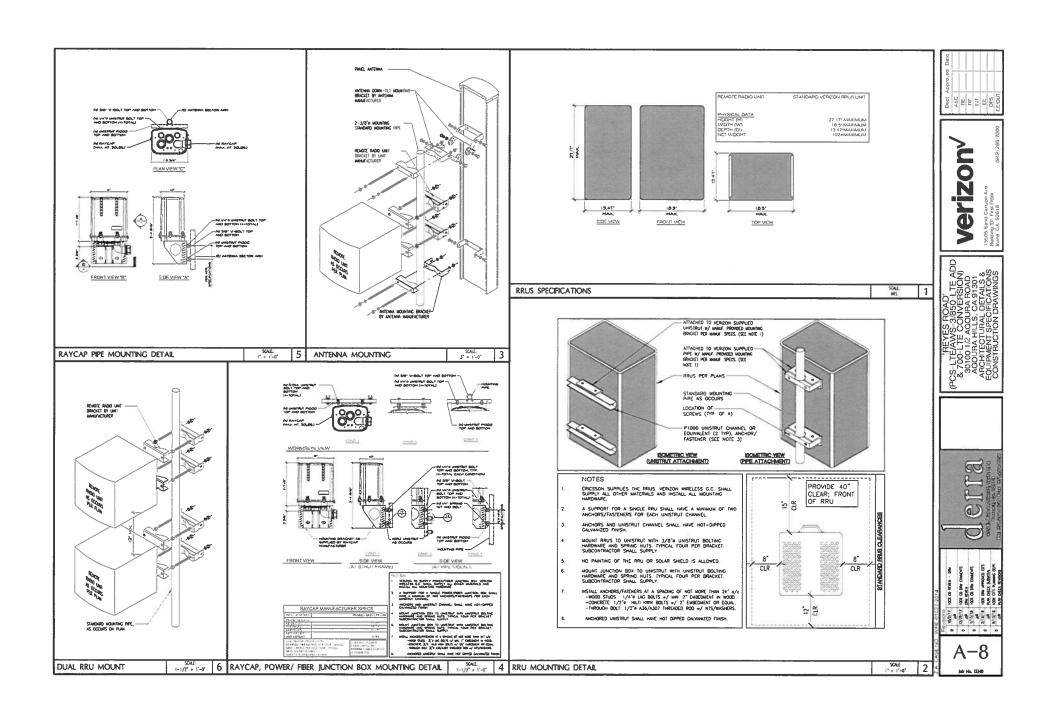


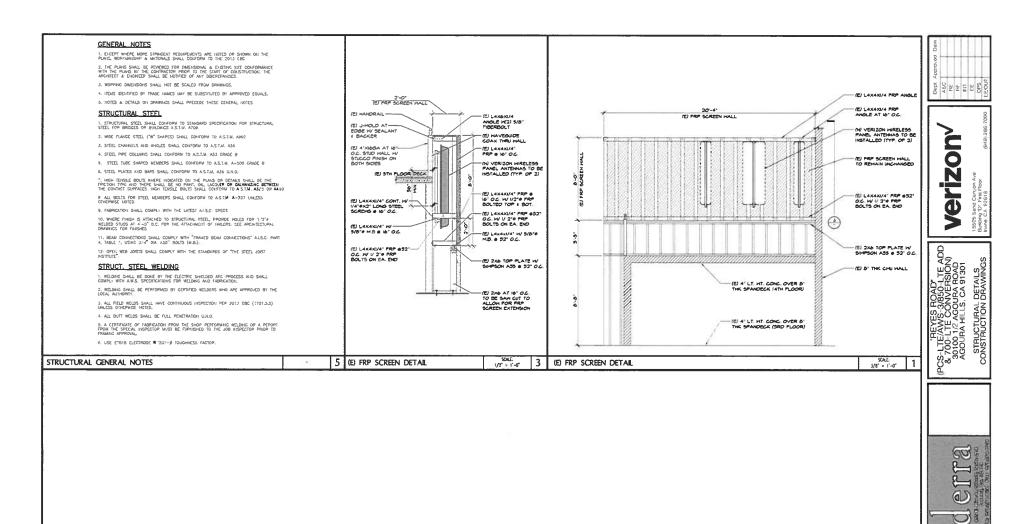












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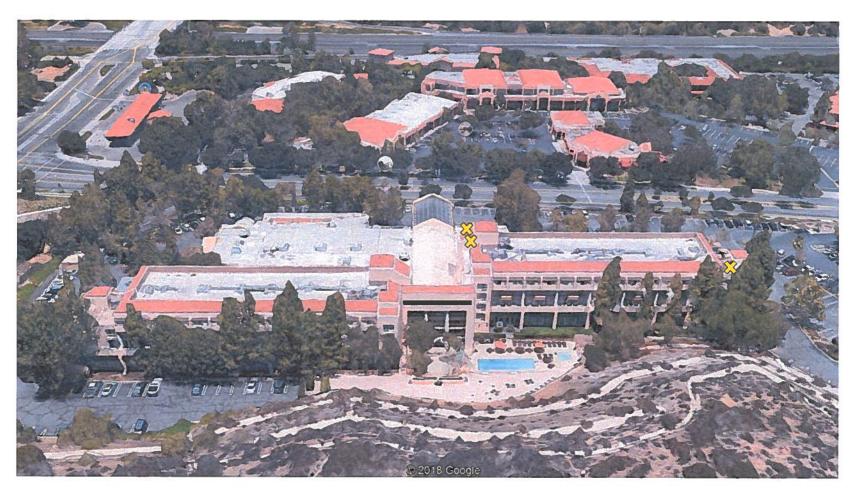
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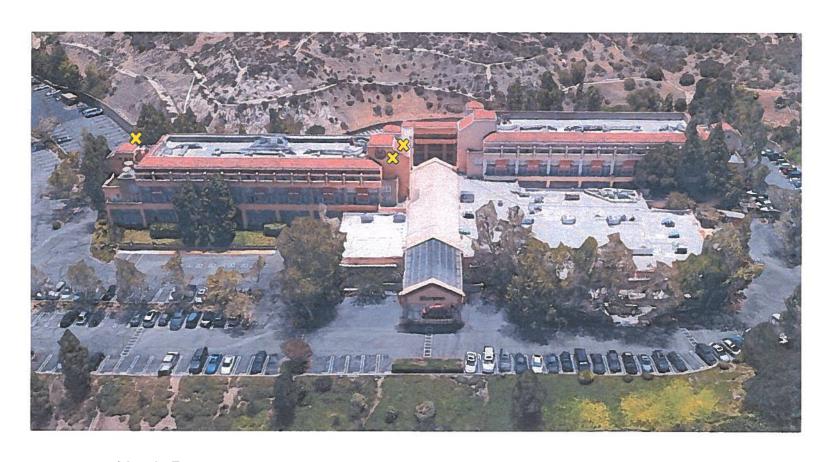
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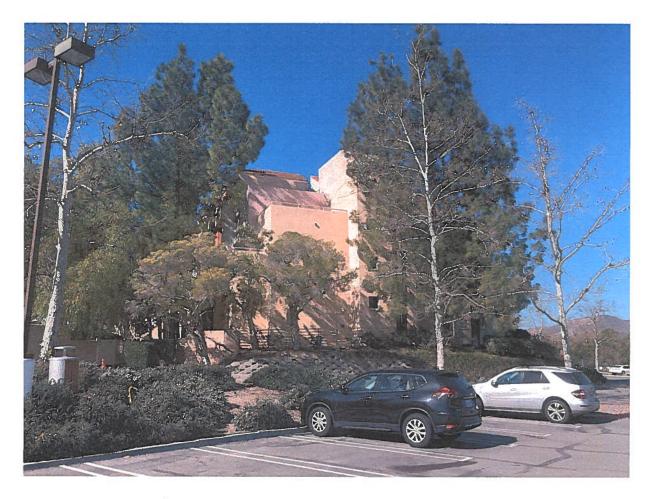
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South Panorama: Location of Vzw Antenna Sectors and Equipment



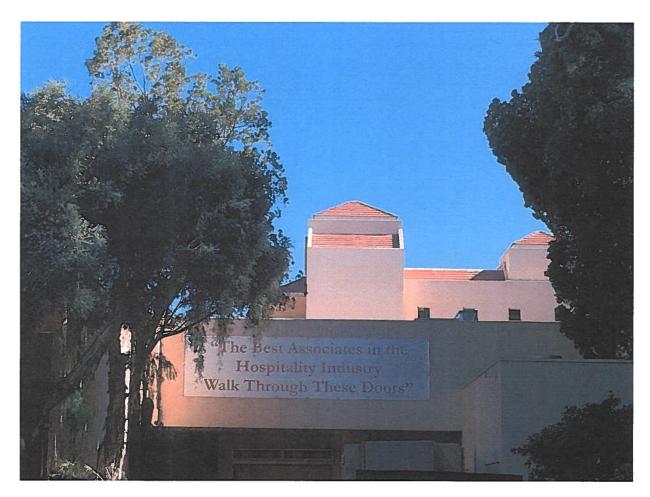
North Panorama: Location of Vzw Antenna Sectors and Equipment



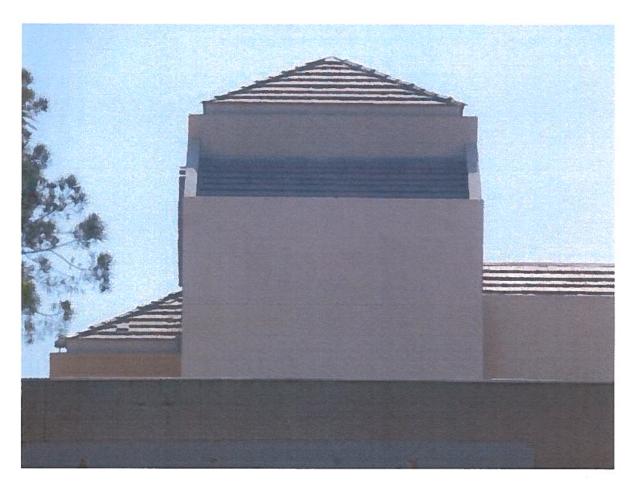
1. Alpha Sector- View from parking lot



2. Alpha Sector



3. Beta Sector- Ground View



4. Beta Sector



5. Gamma Sector-Street View



6. Gamma Sector