

# ATTACHMENT 6

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# 28254 LAURA LA PLANTE

AGOURA HILLS, CA 91301

## VICINITY MAP



## AREA TABULATION

LOT SIZE	IRREGULAR 50 FT X 134 FT			
LOT AREA	0.068 SQ FT			
DESCRIPTION	HVAC	FOOT PRINT	BASEMENT	FLOOR AREA
FIRST FLOOR	---	1,438 SQ FT	---	1,304 SQ FT
SECOND FLOOR	---	---	---	1,245 SQ FT
SUB-TOTAL FLOOR AREA =	---	---	---	2,549 SQ FT
GARAGE (U-1)	---	---	577 SQ FT	---
TOTAL =	---	1,438 SQ FT	577 SQ FT	2,549 SQ FT
TOTAL BUILDING AREA =	---	---	---	3,126 SQ FT
FOR AREA CALCULATION SEE SHEET A-1.0				
TOTAL IMPERVIOUS AREA = 2,469 S.F.				

## PROJECT SUMMARY

ZONING	R1	
FIRE ZONE	MOUNTAIN FIRE DISTRICT	
OCCUPANCY	SINGLE FAMILY (R-3) WITH ATTACHED GARAGE (U-1)	
TYPE OF CONSTRUCTION	TYPE V - N (SPRINKLERS)	
NO. OF STORIES	TWO STORY OVER GARAGE	
CODE	2013 CBC	
LOCATION	REQUIRED	PROVIDED
NO. OF PARKING	2	2
HEIGHT OF BUILDING	35'-0" (MAX)	15'-0"
FRONT SET BACK	(25')	25'-0"
SIDE SET BACK	22'-0" COMBINED	18'-0" COMBINED
REAR SET BACK	25'-0" (MIN)	25'-0"

## SHEET INDEX

### ARCHITECTURAL

- A-01 FLOOR SLAB
- A-02 FLOOR SLAB
- A-03 CEILING
- A-04 EXTERIOR WALL
- A-05 EXTERIOR WINDOW
- A-06 EXTERIOR DOOR
- A-07 EXTERIOR STAIR
- A-08 EXTERIOR RAMP
- A-09 EXTERIOR BALCONY
- A-10 EXTERIOR TERRACE
- A-11 EXTERIOR PORCH
- A-12 EXTERIOR PATIO
- A-13 EXTERIOR WALL
- A-14 EXTERIOR WINDOW
- A-15 EXTERIOR DOOR
- A-16 EXTERIOR STAIR
- A-17 EXTERIOR RAMP
- A-18 EXTERIOR BALCONY
- A-19 EXTERIOR TERRACE
- A-20 EXTERIOR PORCH
- A-21 EXTERIOR PATIO
- A-22 EXTERIOR WALL
- A-23 EXTERIOR WINDOW
- A-24 EXTERIOR DOOR
- A-25 EXTERIOR STAIR
- A-26 EXTERIOR RAMP
- A-27 EXTERIOR BALCONY
- A-28 EXTERIOR TERRACE
- A-29 EXTERIOR PORCH
- A-30 EXTERIOR PATIO

### STRUCTURAL

- S-01 FOUNDATION
- S-02 FOUNDATION
- S-03 FOUNDATION
- S-04 FOUNDATION
- S-05 FOUNDATION
- S-06 FOUNDATION
- S-07 FOUNDATION
- S-08 FOUNDATION
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- S-30 FOUNDATION

### MECHANICAL / ELECTRICAL / PLUMBING

- M-01 MECHANICAL
- M-02 MECHANICAL
- M-03 MECHANICAL
- M-04 MECHANICAL
- M-05 MECHANICAL
- M-06 MECHANICAL
- M-07 MECHANICAL
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- M-26 MECHANICAL
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- M-28 MECHANICAL
- M-29 MECHANICAL
- M-30 MECHANICAL

### TITLE 24

SEE SHEET A-1.0 FOR PERMITS, FEES, & REGULATIONS FOR CALIFORNIA

### CIVIL ENGINEERING

- C-01 SITE PLAN
- C-02 SITE PLAN
- C-03 SITE PLAN
- C-04 SITE PLAN
- C-05 SITE PLAN
- C-06 SITE PLAN
- C-07 SITE PLAN
- C-08 SITE PLAN
- C-09 SITE PLAN
- C-10 SITE PLAN
- C-11 SITE PLAN
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### LANDSCAPING

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- L-30 LANDSCAPING

LEGAL DESCRIPTION	TRACT 6793
BLK 2	
LOT 1	
MAP REFERENCE NUMBER	
PARCEL ID NUMBER	
ASSessor PARCEL NUMBER	7041-017-007

## DIRECTORY

<b>OWNER</b> POUYA PAYAN & SHAHIN BENYAMIN 1280 HALPER STREET ENCINO, CA 91436 TEL: (818) 200-5005 E-MAIL: pouyapayan@gmail.com	<b>SURVEYOR</b> NORICH SURVEYING 1 SUNSET RIVER IRVINE, CA 92604 TEL: (949) 726-9067	<b>FIRE PREVENTION / LAND DEV.</b> NANCY RODEHEFFER 5823 RICKENBACKER RD COMMERCIAL, CA 90040 TEL: (323) 890-4243
<b>LANDSCAPE ARCHITECT</b> LABYRINTH DESIGN STUDIO 1600 SAWFELLE BLVD #230 LOS ANGELES, CA 90025 TEL: (818) 700-5005 E-MAIL: pouyayashin@l.com	<b>CIVIL ENGINEER</b> LABYRINTH DESIGN STUDIO HAMD AZARIN, C64515 1600 SAWFELLE BLVD #230 LOS ANGELES, CA 90025 TEL: (818) 700-5005 E-MAIL: pouyayashin@l.com	<b>MECHANICAL &amp; PLUMBING</b> AMH PIRBADIAN, INC. NO C72413 5425 BALBOA BLVD #214 ENCINO, CA 91436 TEL: (818) 990-6425 E-MAIL: AAMDGSTRFENG@GMAIL.COM
<b>SOILS ENGINEER</b> APPLIED EARTH SCIENCES CAROL MINNIS 4742 SAN FERNANDO ROAD GLENDALE, CA 91204 TEL: 818-552-6000 www.aessoi.com email: info@aessoi.com		<b>STRUCTURAL ENG.</b> AMH PIRBADIAN, INC. NO C72413 5425 BALBOA BLVD #214 ENCINO, CA 91436 TEL: (818) 990-6425 E-MAIL: AAMDGSTRFENG@GMAIL.COM

## GENERAL NOTES

1. THIS PROJECT IS A TWO STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE (U-1) WITH 2 STORIES.
2. FOUNDATION, MECHANICAL, ELECTRICAL, PLUMBING AND ALL OTHER SPECIALTY TRADES SHALL BE SUBMITTED BY BUILDING DEPARTMENT AND APPROVED PRIOR TO FOUNDATION SPECIFICATION.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE BUILDING DEPARTMENT AND ALL APPLICABLE AGENCIES.
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## SCOPE OF WORK FOR REVISION 3

- Scope of work for Revision 3:
1. Add foundation for the 2nd floor maximum (10' x 10' x 12" depth) at all grid lines A through H and 1 through 2.
  2. Add foundation for the 2nd floor maximum (10' x 10' x 12" depth) at all grid lines A through H and 1 through 2.
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LABYRINTH DESIGN STUDIO  
1600 SAWFELLE BLVD #230  
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E-MAIL: pouyayashin@l.com

PROJECT: SINGLE FAMILY RESIDENCE @ 28254 LAURA LA PLANTE, AGOURA HILLS, CALIFORNIA

OWNER: POUYA PAYAN & SHAHIN BENYAMIN  
1280 HALPER STREET  
ENCINO, CA 91436  
TEL: (818) 200-5005  
E-MAIL: pouyapayan@gmail.com

DESIGNER: LABYRINTH DESIGN STUDIO  
1600 SAWFELLE BLVD #230  
LOS ANGELES, CA 90025  
TEL: (818) 700-5005  
E-MAIL: pouyayashin@l.com

DATE: 11/15/2016  
REVISION: 3

SCALE: AS SHOWN  
DRAWN: NP  
START DATE: NOV 2016  
A-01-1

TITLE SHEET

SCALE: AS SHOWN

DRAWN: NP

START DATE: NOV 2016

A-01-1

SCALE: AS SHOWN

DRAWN: NP

START DATE: NOV 2016

A-01-1

SYMBOL	LEGEND
	MAX 42" HIGH RET. WALL PER STRUCTURAL PLANS TO BE CONSTRUCTED UNDER SEPARATE PERMIT
	MAX 42" HIGH RET. WALL PER STRUCTURAL PLANS TO BE CONSTRUCTED UNDER SEPARATE PERMIT
	NON COMPLIANT >6" H REAR YARD RETAINING WALL TO BE CONSTRUCTED UNDER SEPARATE PERMIT
	RETAINING WALL >42" H IN FRONT YARD
	LINE OF BUILDING OUTLINE BELOW
	MAX 6" HIGH PLANTER WALL
	EXISTING CONTOUR LINES TO REMAIN
	MODIFIED CONTOUR LINES
	EXTERIOR WALLS
	PROPERTY LINES
	42" HIGH GUARD RAIL PER DETAIL 9 @ A-09.2
	MAX 36" HIGH PLANTER WALL
	4" UNDERGROUND DRAINAGE PIPE WITH 1% SLOPE
	FIRE FIGHTER ACCESS WALKWAY <150" EACH SIDE PAVED PATH WITH LESS THAN 10% SLOPE
	5' WIDE PEBBLE FINISH CONCRETE WALKWAY
	BROOM FINISH CONCRETE DRIVE WAY

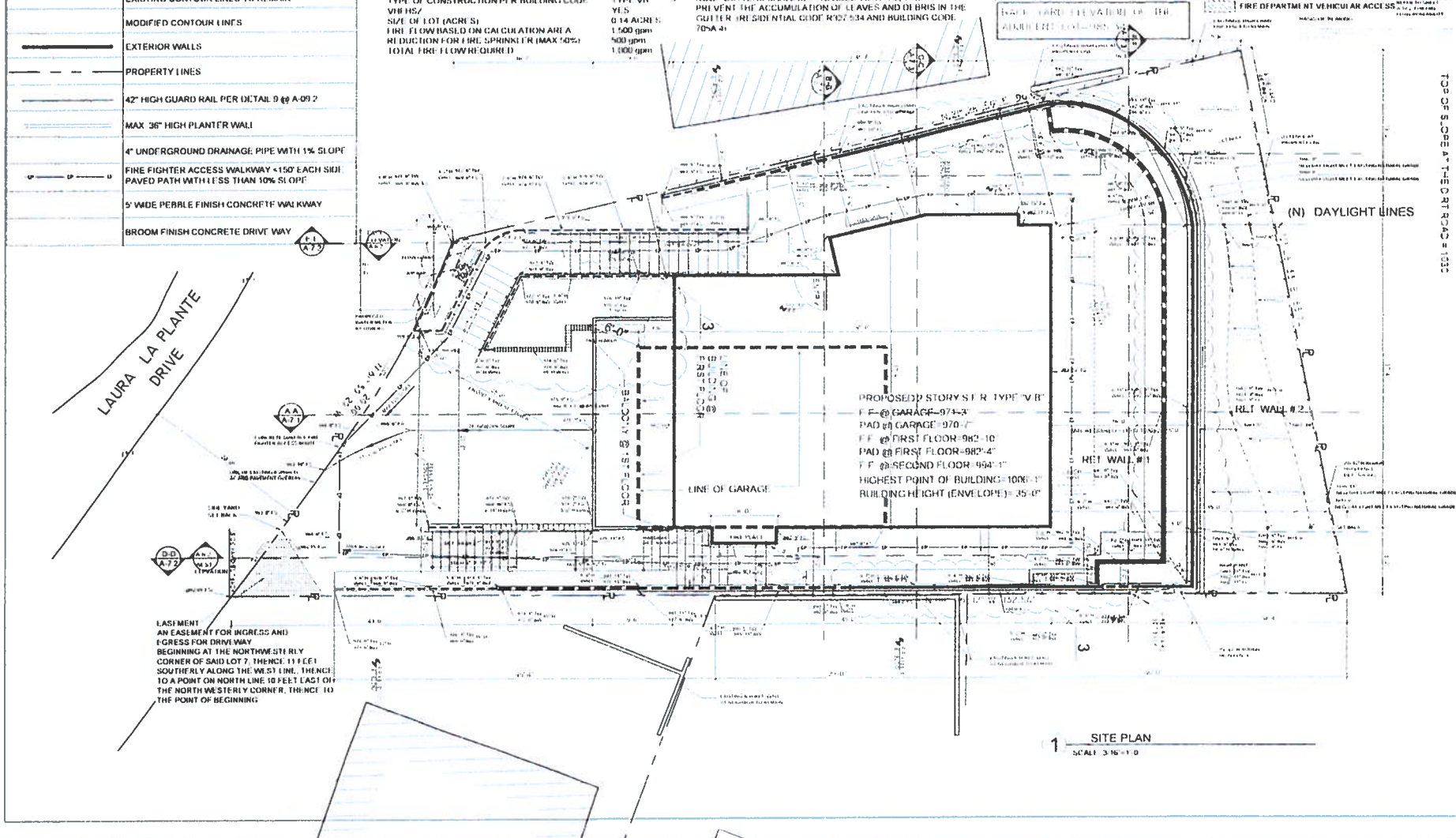
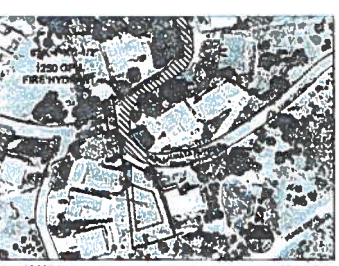
ZONING CODE: R1  
 OCCUPANCY: SINGLE FAMILY (R-3) WITH (U-1) GARAGE  
 CONSTRUCTION TYPE: TYPE V-N (SPRINKLERS)  
 NO. OF STORIES: TWO STORY (OVER GARAGE)

NOTES:  
 1. FINISH GRADE AROUND THE STRUCTURE/ADDITION SHALL BE SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET.  
 2. ALL RETAINING AND SCREEN WALLS TO BE CONSTRUCTED UNDER SEPARATE PERMIT.  
 3. APPROVED BUILDING ADDRESS NUMBERS, BUILDING OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMBERS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH MINIMUM STROKE WIDTH OF 0.5 INCH (FIRE CODE S-905.1).  
 4. REQUIRED FIRE FLOW CALCULATION

TYPE OF CONSTRUCTION PER BUILDING CODE	TYPE V-N	TYPE V-N
YES	YES	YES
0.14 ACRES	1.500 gpm	1.000 gpm
SIZE OF LOT (ACRES)	0.14 ACRES	1.500 gpm
FIRE FLOW BASED ON CALCULATION ARE A REDUCTION FOR FIRE SPRINKLER (MAX 50%) TOTAL FIRE FLOW REQUIRED	1.000 gpm	1.000 gpm

ALL FIRE HYDRANT SHALL MEASURE 6" X 4" X 12" BRASS OR 10 BRONZE CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503 OR APPROVED EQUAL AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION. PROVIDE AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM AS SET FORTH BY BUILDING CODE 903 AND FIRE CODE 903 UNIT 1 OR RELIEF AND APPROVAL PRIOR TO INSTALLATION. TYPE OF FIRE SPRINKLER SYSTEM 903.3.1.1, 903.3.1.2, 903.3.1.3 ALL ROOF COVERINGS SHALL BE CLASS A AS SPECIFIED IN BUILDING CODE 1505.1.1 (RESIDENTIAL CODE R307.5.2 & R902). ROOF VALLEY FLASHING SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION RESISTANT METAL INSTALLED OVER A MINIMUM 3/8 INCH WDF UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET METAL RUNNING THE FULL LENGTH OF THE VALLEY. RESIDENTIAL CODE R307.5.3 AND BUILDING CODE 705A.3). ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (RESIDENTIAL CODE R107.034 AND BUILDING CODE 705A.4).

VENTS SHALL RESIST THE INTRUSION OF FLAMES AND FIBERS THROUGH VENTILATION OPENINGS. VENTS OPENINGS SHALL BE PROTECTED BY CORROSION RESISTANT 1/8 INCH CORROSION RESISTANT WIRE MESH WITH MINIMUM 1/8 INCH OPENING AND SHALL NOT EXCEED 1/8 INCH VENT SHALL NOT BE INSTALLED IN EAVES OR CORNICES (RESIDENTIAL CODE R307.6) AND BUILDING CODE 706A.1). VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS. VENT OPENING SHALL BE PROTECTED BY CORROSION RESISTANT CON COMBUSTIBLE WIRE MESH WITH A MINIMUM 1/8 INCH OPENINGS AND SHALL NOT EXCEED 1/8 INCH VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES.



1st FLOOR PLAN  
 28254 LAURA LA PLANTE

PROJECT:  
 SINGLE FAMILY RESIDENCE @  
 28254 LAURA LA PLANTE  
 AGOURA HILLS, CALIFORNIA

OWNER:  
 FLORA PAVAN &  
 SHAHAR RIVHANI  
 18010 HARPER STREET  
 THE DALE, CA 91344  
 TEL: (818) 780-5005

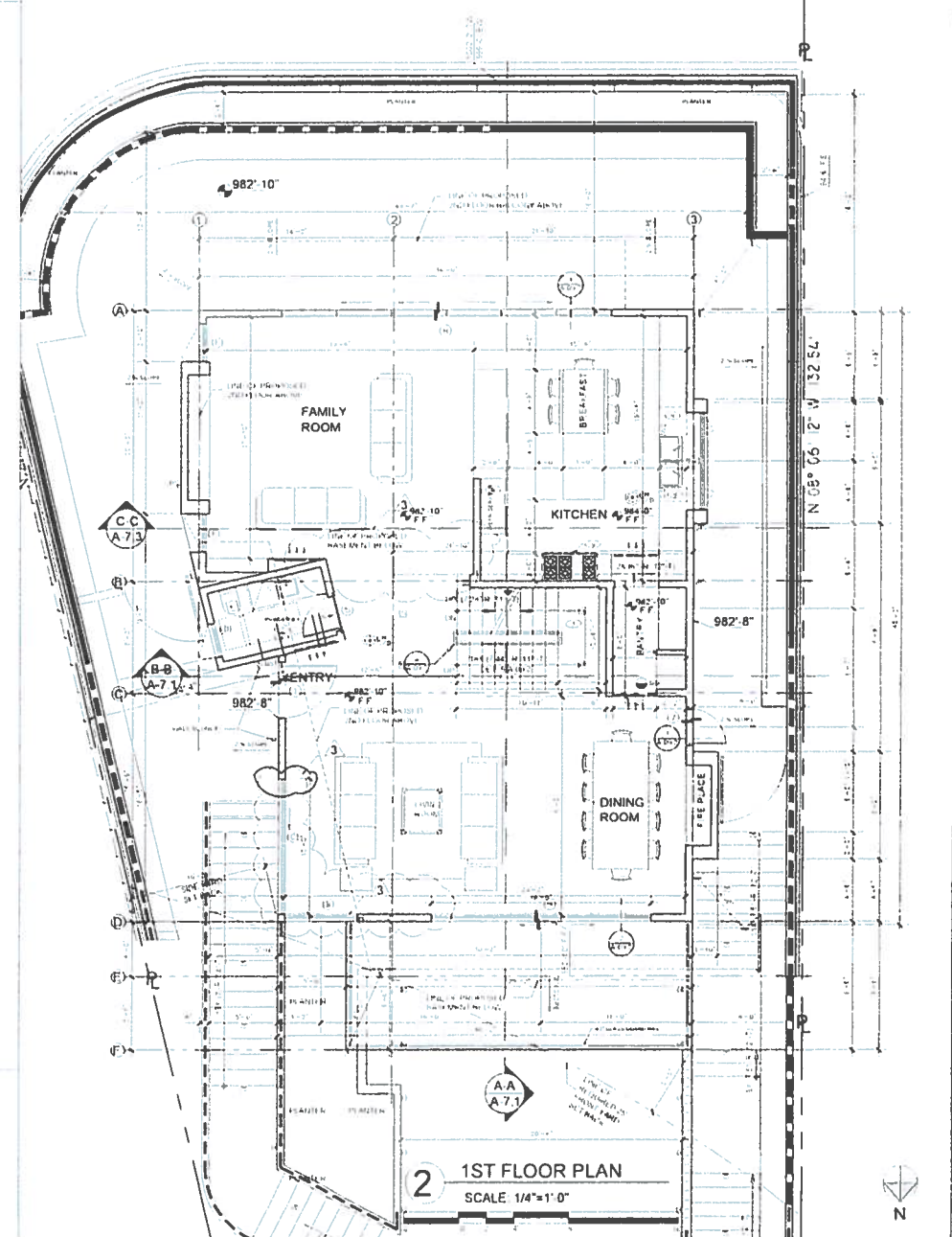
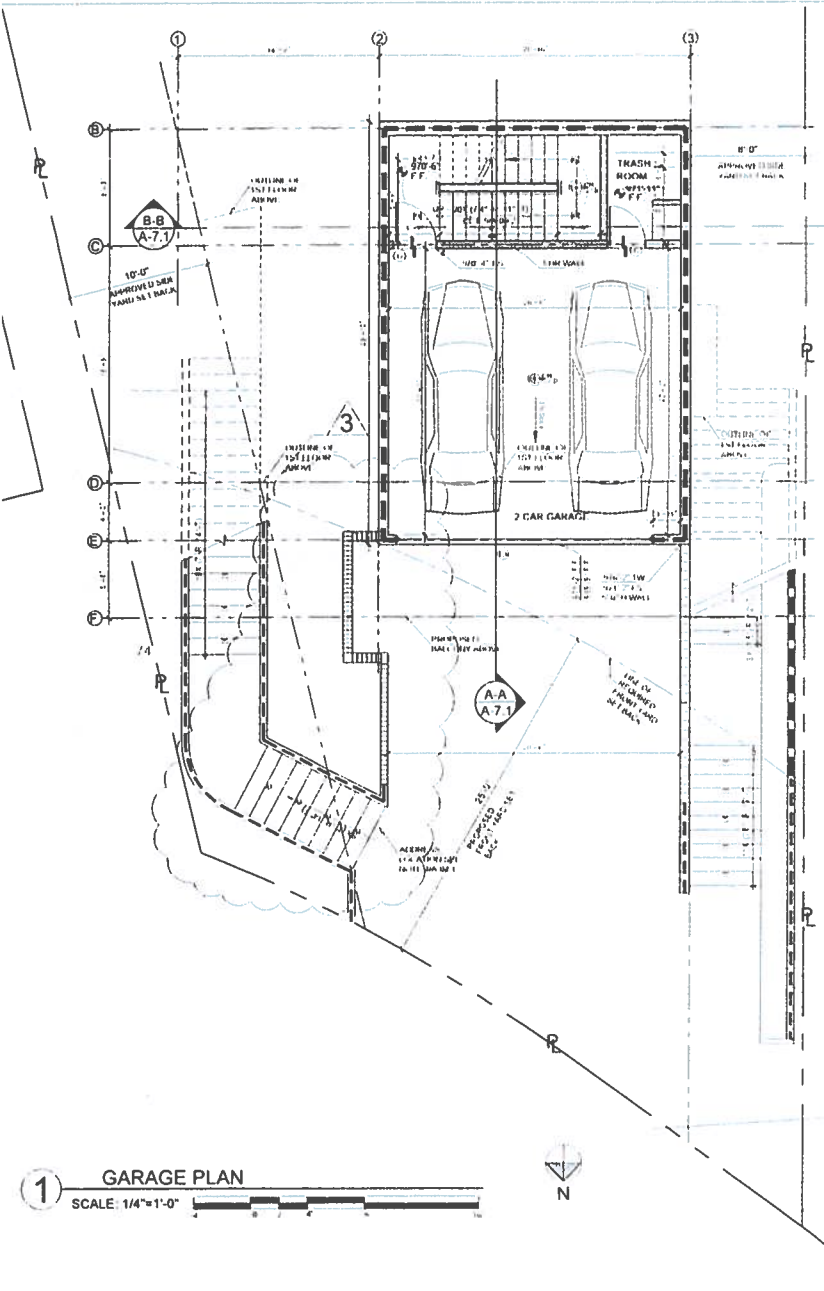
DESIGNER:  
 LABYRINTH DESIGN STUDIO  
 HANA PAVAN  
 18010 HARPER STREET, #210  
 THE DALE, CA, 91344  
 TEL: (818) 780-5005  
 E-MAIL: hana@labyrinth.com

NO.	DATE	REVISION

SHEET TITLE:  
 SITE PLAN

SCALE: AS SHOWN  
 DRAWN: N.P.  
 START DATE: NOV 2016  
 28254 LAURA LA PLANTE  
 SHEET

A-02.1



**LABYRINTH**  
14 421 STUDIO

PROJECT:  
**SINGLE FAMILY RESIDENCE**  
28254 LAURA LA PLANTE  
AGOURA HILLS, CALIFORNIA

OWNER:  
PRITVA PAVAN S.  
NANDINI DEVIYANATHI  
18814 TAM PER STREET  
IRVINE, CA 92614  
TEL: (949) 490-5005

DESIGNER:  
LABYRINTH DESIGN STUDIO  
PRITVA PAVAN S.  
NANDINI DEVIYANATHI  
18814 TAM PER STREET  
IRVINE, CA 92614  
TEL: (949) 490-5005  
E-MAIL: info@labyrinth.com

REV	DATE	DESCRIPTION
1	09/20/2016	REV. 1
2	09/20/2016	REV. 2
3	09/20/2016	REV. 3

SHEET TITLE:  
**1ST FLOOR AND GARAGE PLAN**

SCALE: AS SHOWN  
DRAWN: N.P.  
START DATE: NOV 2016  
JOB NUMBER: 2016 LAURA LA  
SHEET

**A-3.1**

10/20/2016 10:24:04



DATE: 11/15/2016	PROJECT: SINGLE FAMILY RESIDENCE	CLIENT: LAURA LA PLANTE	LOCATION: AGOURA HILLS, CA
DRAWN BY: [Name]	CHECKED BY: [Name]	DATE: 11/15/2016	SCALE: AS SHOWN

NOTES:  
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 2. FINISH FLOOR IS 1" ABOVE FINISH GRADE UNLESS NOTED OTHERWISE.  
 3. ALL WALLS ARE 12" THICK UNLESS NOTED OTHERWISE.  
 4. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.  
 5. ALL WINDOWS ARE 60" WIDE UNLESS NOTED OTHERWISE.  
 6. ALL ROOFING IS 12/12 PITCH UNLESS NOTED OTHERWISE.  
 7. ALL ROOFING IS TO BE SHINGLED UNLESS NOTED OTHERWISE.  
 8. ALL ROOFING IS TO BE 1/2" OSB UNLESS NOTED OTHERWISE.  
 9. ALL ROOFING IS TO BE 1/2" GYP UNLESS NOTED OTHERWISE.  
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**GENERAL NOTES**

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- ROOF PLAN GENERAL NOTES**
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**ROOF PLAN GENERAL NOTES**

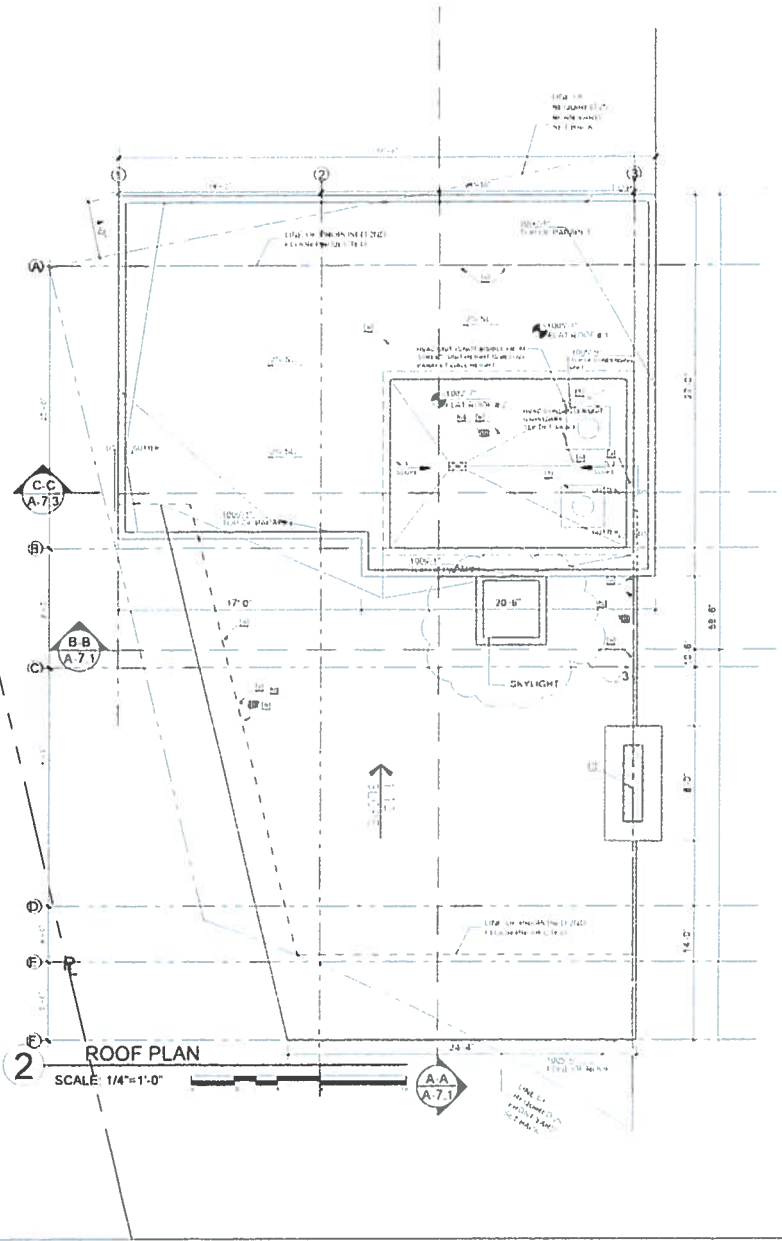
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10. ALL ROOFING IS TO BE 1/2" GYP UNLESS NOTED OTHERWISE.

**CHIMNEY WALL DETAIL**

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISH FLOOR IS 1" ABOVE FINISH GRADE UNLESS NOTED OTHERWISE.
3. ALL WALLS ARE 12" THICK UNLESS NOTED OTHERWISE.
4. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
5. ALL WINDOWS ARE 60" WIDE UNLESS NOTED OTHERWISE.
6. ALL ROOFING IS 12/12 PITCH UNLESS NOTED OTHERWISE.
7. ALL ROOFING IS TO BE SHINGLED UNLESS NOTED OTHERWISE.
8. ALL ROOFING IS TO BE 1/2" OSB UNLESS NOTED OTHERWISE.
9. ALL ROOFING IS TO BE 1/2" GYP UNLESS NOTED OTHERWISE.
10. ALL ROOFING IS TO BE 1/2" GYP UNLESS NOTED OTHERWISE.

**NOTES**

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISH FLOOR IS 1" ABOVE FINISH GRADE UNLESS NOTED OTHERWISE.
3. ALL WALLS ARE 12" THICK UNLESS NOTED OTHERWISE.
4. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
5. ALL WINDOWS ARE 60" WIDE UNLESS NOTED OTHERWISE.
6. ALL ROOFING IS 12/12 PITCH UNLESS NOTED OTHERWISE.
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8. ALL ROOFING IS TO BE 1/2" OSB UNLESS NOTED OTHERWISE.
9. ALL ROOFING IS TO BE 1/2" GYP UNLESS NOTED OTHERWISE.
10. ALL ROOFING IS TO BE 1/2" GYP UNLESS NOTED OTHERWISE.



**PROJECT:**  
 SINGLE FAMILY RESIDENCE @  
 28254 LAURA LA PLANTE  
 AGOURA HILLS, CALIFORNIA

**OWNER:**  
 LAURA LA PLANTE  
 28254 LAURA LA PLANTE  
 AGOURA HILLS, CA 91301  
 TEL: (818) 245-1234

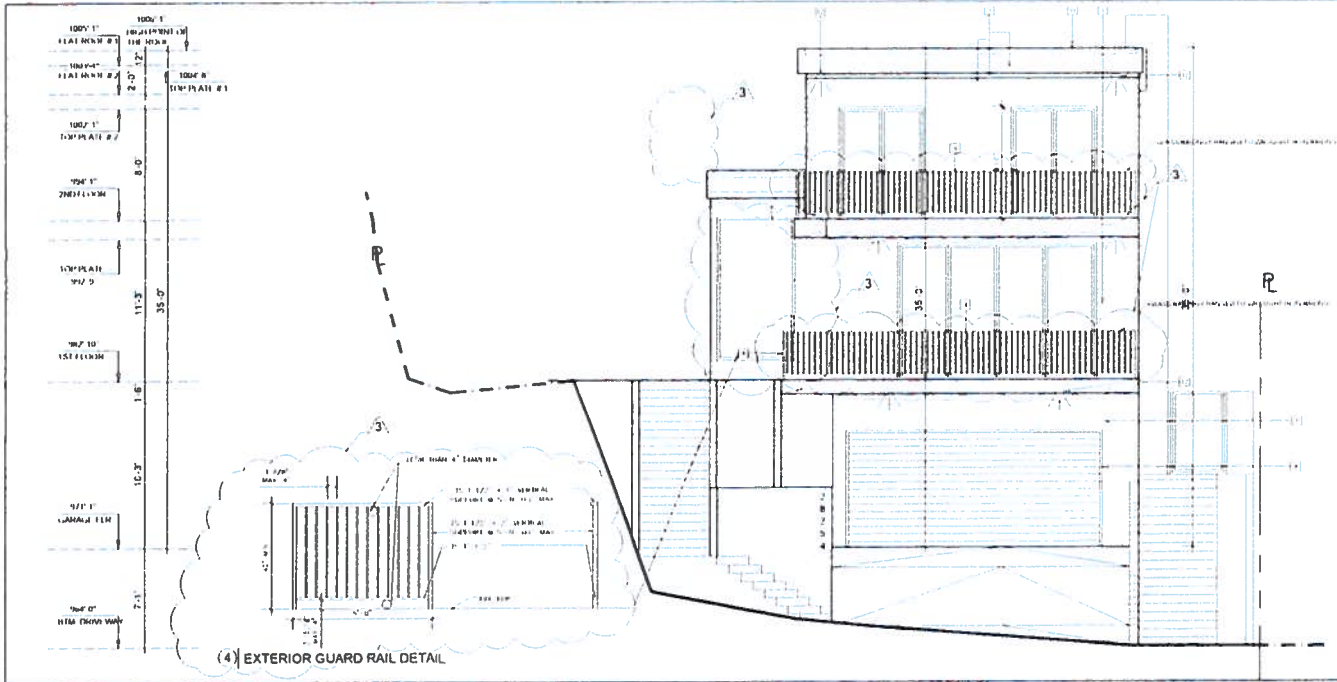
**DESIGNER:**  
 LABYRINTH DESIGN STUDIO  
 1000 WILSON BLVD, SUITE 200  
 AGOURA HILLS, CA 91301  
 TEL: (818) 245-1234  
 E-MAIL: info@labyrinth.com

NO.	DATE	REVISION
1	11/15/2016	ISSUE FOR PERMITS
2	11/15/2016	REVISED PER COMMENTS
3	11/15/2016	REVISED PER COMMENTS

**SHEET TITLE:**  
 ROOF PLAN

**SCALE:** AS SHOWN  
**DRAWN BY:** [Name]  
**START DATE:** NOV 2016  
**ARCHITECT:** LABYRINTH DESIGN STUDIO  
**SHEET:**

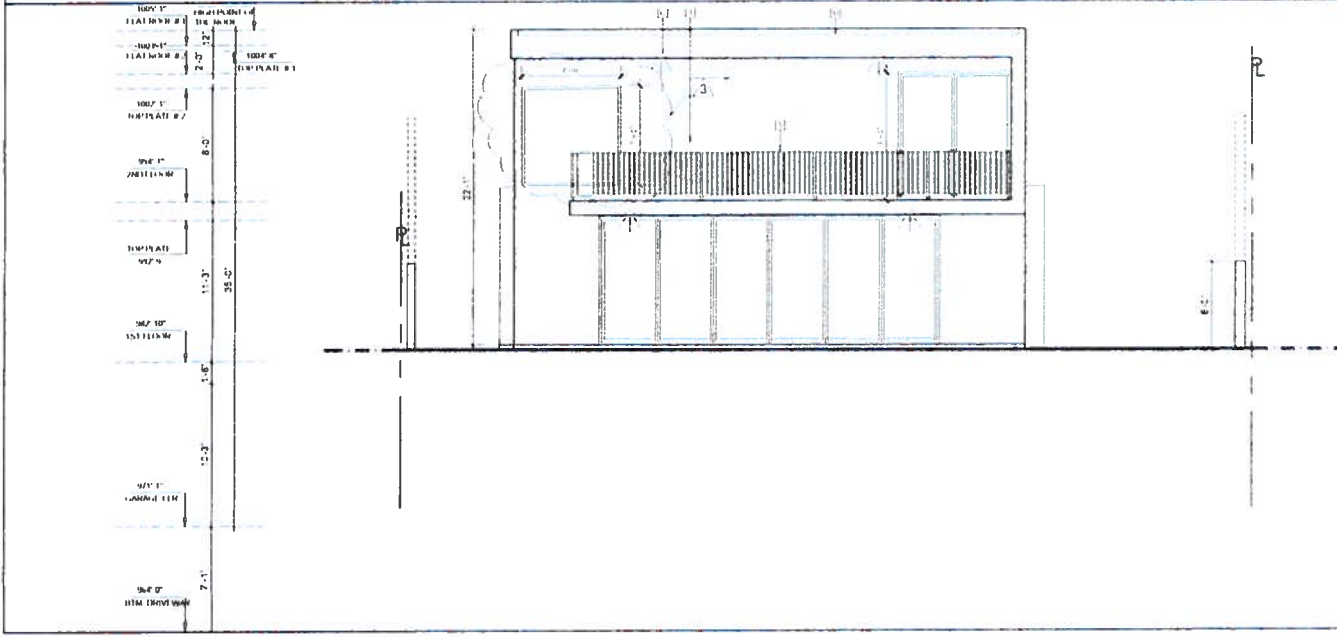
**A-05.1**



**EXTERIOR MATERIAL & FINISHES**

1. EXTERIOR WALLS: STUCCO WITH COLOR GRAY FINISH.
2. EXTERIOR ROOF: ASPH/FLT SHINGLES.
3. EXTERIOR FLOORS: POLISHED CONCRETE.
4. EXTERIOR STAIRS: POLISHED CONCRETE.
5. EXTERIOR BALCONY FLOORS: POLISHED CONCRETE.
6. EXTERIOR BALCONY RAILINGS: ALUMINUM WITH GLASS INFILL.
7. EXTERIOR DOORS: WOOD GRAIN FINISH.
8. EXTERIOR WINDOWS: ALUMINUM WITH GLASS INFILL.
9. EXTERIOR LIGHT FIXTURES: MODERN DESIGN.
10. EXTERIOR PAINT: EXTERIOR GRAF.
11. EXTERIOR TRIM: POLISHED CONCRETE.
12. EXTERIOR SIGNAGE: ALUMINUM WITH GLASS INFILL.
13. EXTERIOR LANDSCAPING: GRASS AND SHRUBS.
14. EXTERIOR PAVING: POLISHED CONCRETE.
15. EXTERIOR FENCE: ALUMINUM WITH GLASS INFILL.
16. EXTERIOR GARDEN: GRASS AND SHRUBS.
17. EXTERIOR DRIVEWAY: POLISHED CONCRETE.
18. EXTERIOR GARAGE FLOOR: POLISHED CONCRETE.
19. EXTERIOR GARAGE DOOR: WOOD GRAIN FINISH.
20. EXTERIOR GARAGE TRIM: POLISHED CONCRETE.

**2 FRONT (NORTH) ELEVATION**  
SCALE 1/4"=1' 0"



**1 REAR (SOUTH) ELEVATION**  
SCALE 1/4"=1' 0"



1001 WEST 200TH STREET  
TUSTIN, CALIFORNIA 92680

**PROJECT:**  
SINGLE FAMILY RESIDENCE @  
28254 LAURA LA PLANTE  
AGOURA HILLS, CALIFORNIA

**OWNER:**  
NADIA PAVANI &  
SHAHIN DEYRAMI  
1001 WEST 200TH STREET  
TUSTIN, CA 92680  
TEL: (949) 200-5005

**DESIGNER:**  
LABYRINTH DESIGN STUDIO  
NADIA PAVANI  
SHAHIN DEYRAMI  
1001 WEST 200TH STREET, #230  
TUSTIN, CALIFORNIA, 92680  
TEL: (949) 200-5005  
E-MAIL: info@labyrinth.com

REV	DATE	DESCRIPTION
1	11/02/2016	REV 1
2	11/02/2016	REV 2
3	11/02/2016	REV 3
4	11/02/2016	REV 4
5	11/02/2016	REV 5
6	11/02/2016	REV 6
7	11/02/2016	REV 7
8	11/02/2016	REV 8
9	11/02/2016	REV 9
10	11/02/2016	REV 10

SHEET TITLE

**SOUTH &  
NORTH  
ELEVATION**

SCALE: AS SHOWN

DRAWN: N.P.

START DATE: NOV 2016

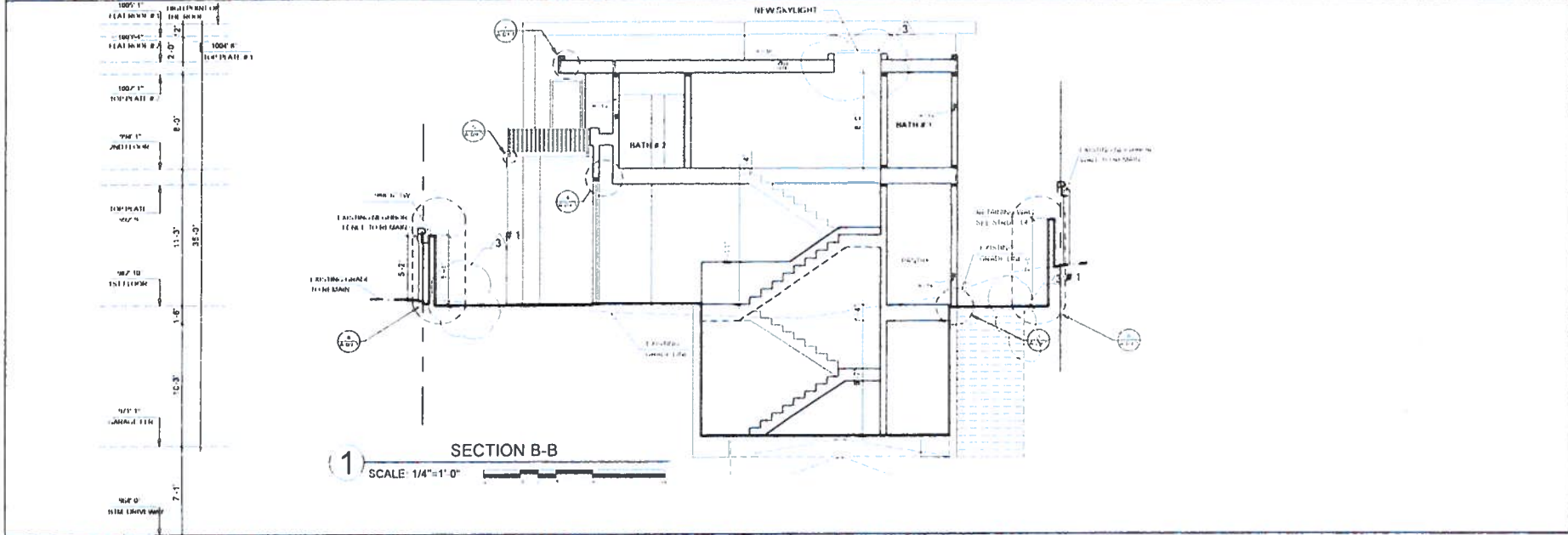
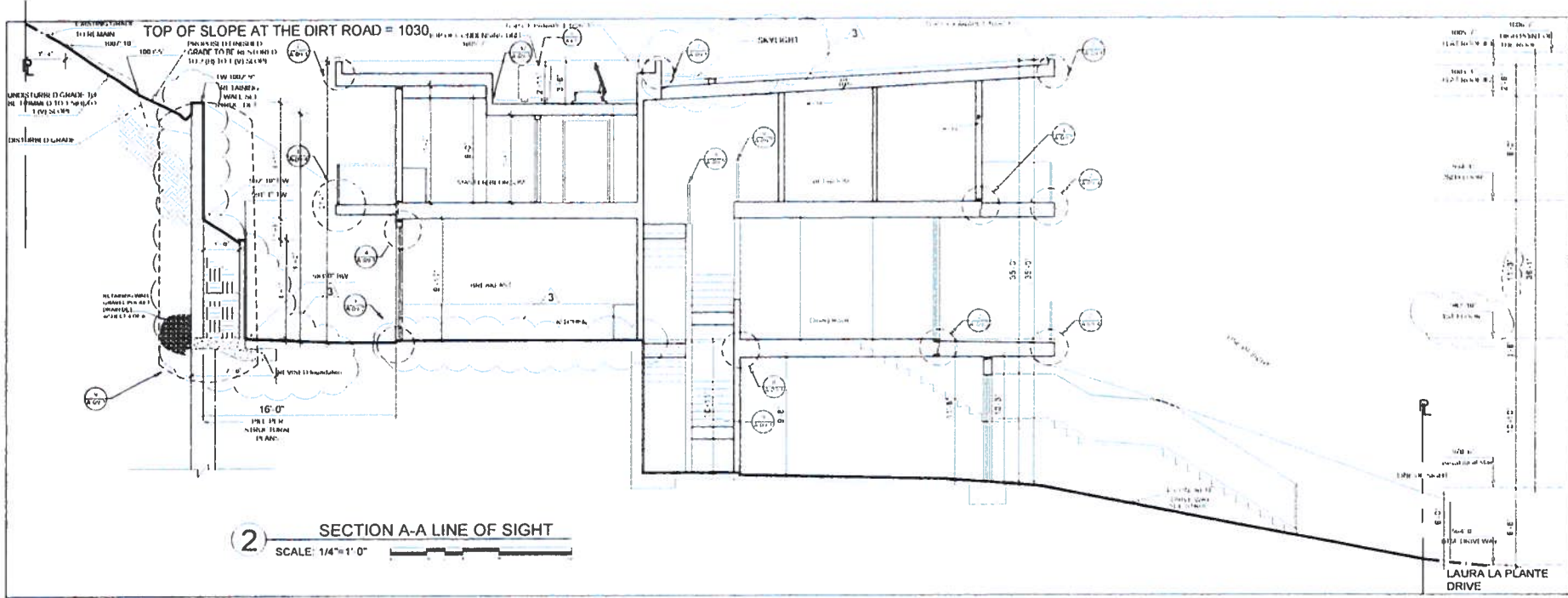
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SHEET

A-06.1







THE Labyrinth DESIGN GROUP  
www.labyrinthdesign.com

PROJECT:  
SINGLE FAMILY RESIDENCE @  
28254 LAURA LA PLANTE  
AGOURA HILLS, CALIFORNIA

OWNER:  
MUSTAFA PAVAN &  
SHARIF DEBYANIN  
15010 HAMPER STREET  
LOS ANGELES, CA 90048  
TEL: (310) 300-5000

DESIGNER:  
LABYRINTH DESIGN STUDIO  
MUSTAFA PAVAN  
1500 WASHINGTON BLVD. #230  
LOS ANGELES, CA 90007  
TEL: (310) 300-5000  
E-MAIL: info@labyrinth.com

NO.	DATE	REVISION
1	11/15/2016	REVISED
2	11/15/2016	REVISED
3	11/15/2016	REVISED
4	11/15/2016	REVISED

SHEET TITLE  
SECTION  
A-A LINE OF  
SIGHT  
&  
SECTION B-B

SCALE: AS SHOWN

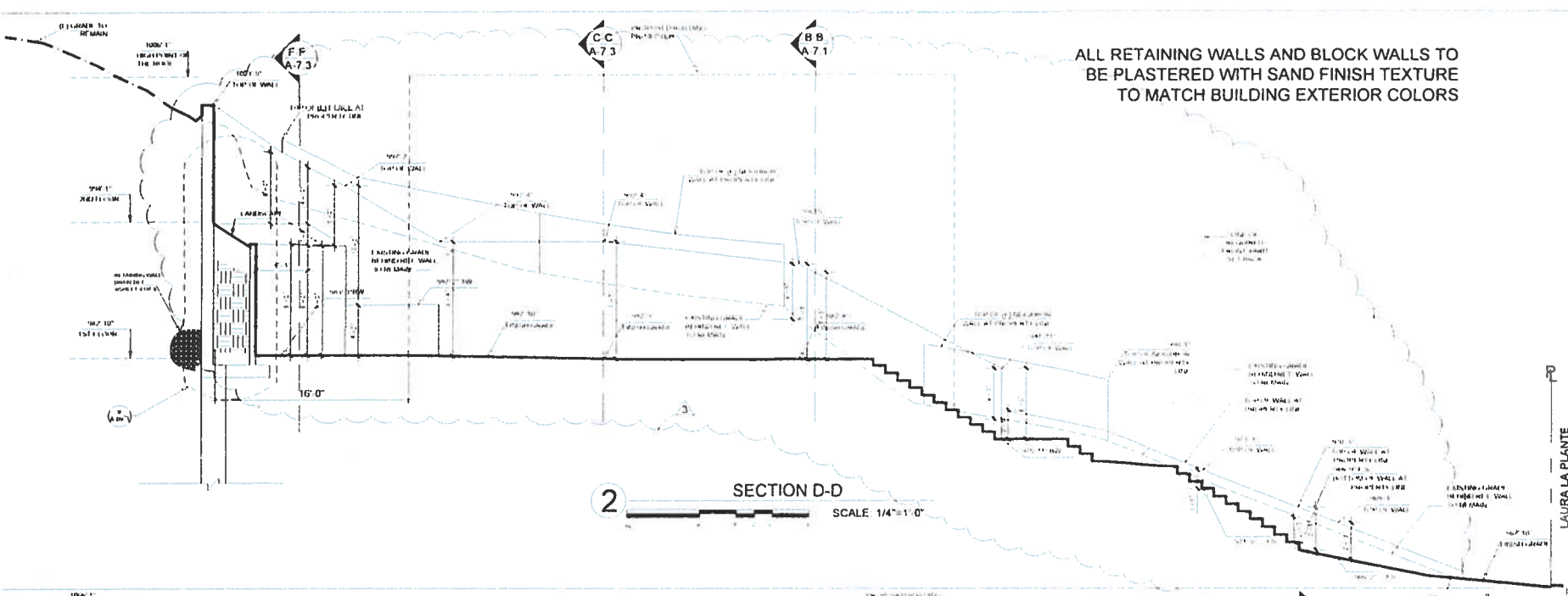
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START DATE: NOV. 2016

PROJECT NUMBER: 28254 LAURA LA

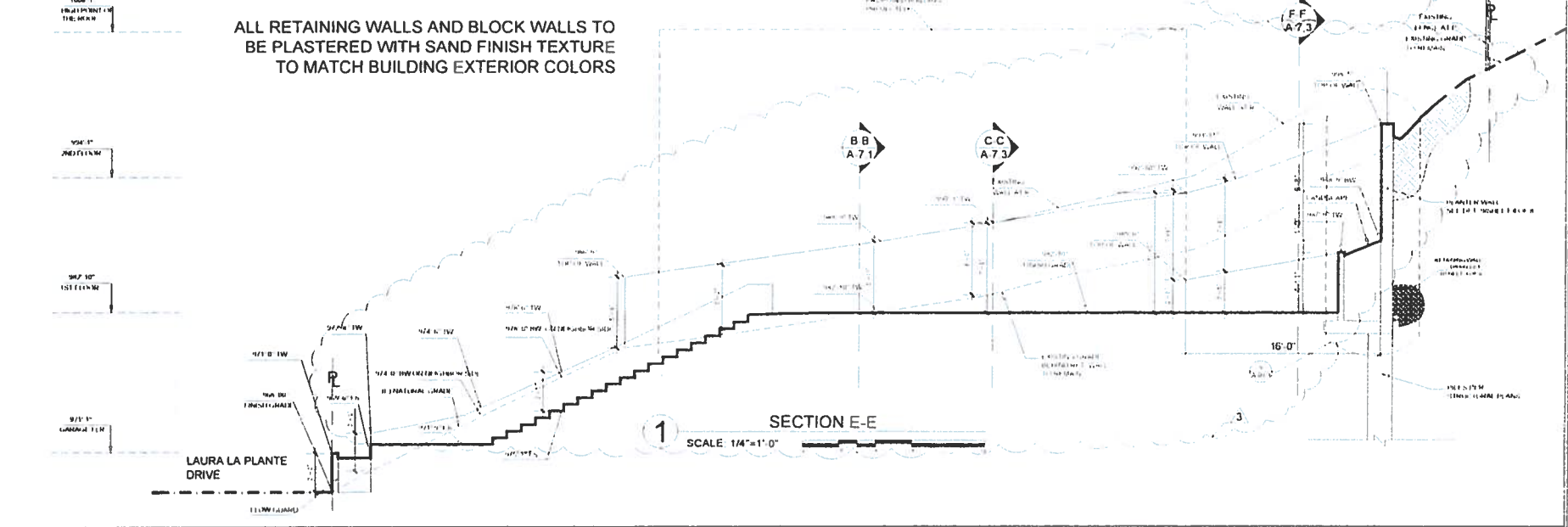
SHEET

A-07.1



**2** SECTION D-D  
SCALE 1/4"=1'-0"

ALL RETAINING WALLS AND BLOCK WALLS TO BE PLASTERED WITH SAND FINISH TEXTURE TO MATCH BUILDING EXTERIOR COLORS



**1** SECTION E-E  
SCALE 1/4"=1'-0"

ALL RETAINING WALLS AND BLOCK WALLS TO BE PLASTERED WITH SAND FINISH TEXTURE TO MATCH BUILDING EXTERIOR COLORS



LABYRINTH ARCHITECTS  
14500 JENSEN DRIVE  
LOS ANGELES, CA 90048

PROJECT: SINGLE FAMILY RESIDENCE @ 28254 LAURA LA PLANTE AGOURA HILLS, CALIFORNIA

OWNER: NINA PAVAN & SHARON BOURGAIN 10818 HAMPER STREET BURBANK, CA 91506 TEL: (818) 255-5667 E-MAIL: ninapavan@aol.com

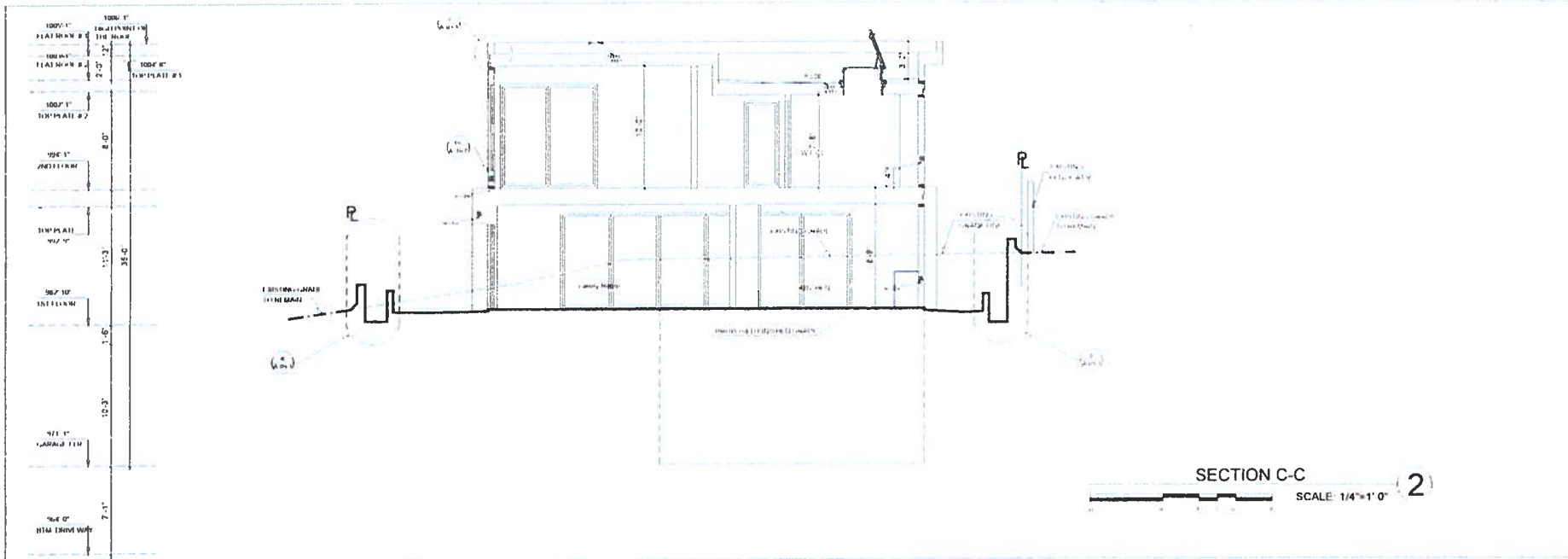
DESIGNER: LABYRINTH ARCHITECTS NINA PAVAN 10818 HAMPER STREET BURBANK, CA 91506 TEL: (818) 255-5667 E-MAIL: ninapavan@aol.com

REV	DATE	BY	CHKD	DESCRIPTION
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2				REVISED PER COMMENTS
3				REVISED PER COMMENTS
4				REVISED PER COMMENTS

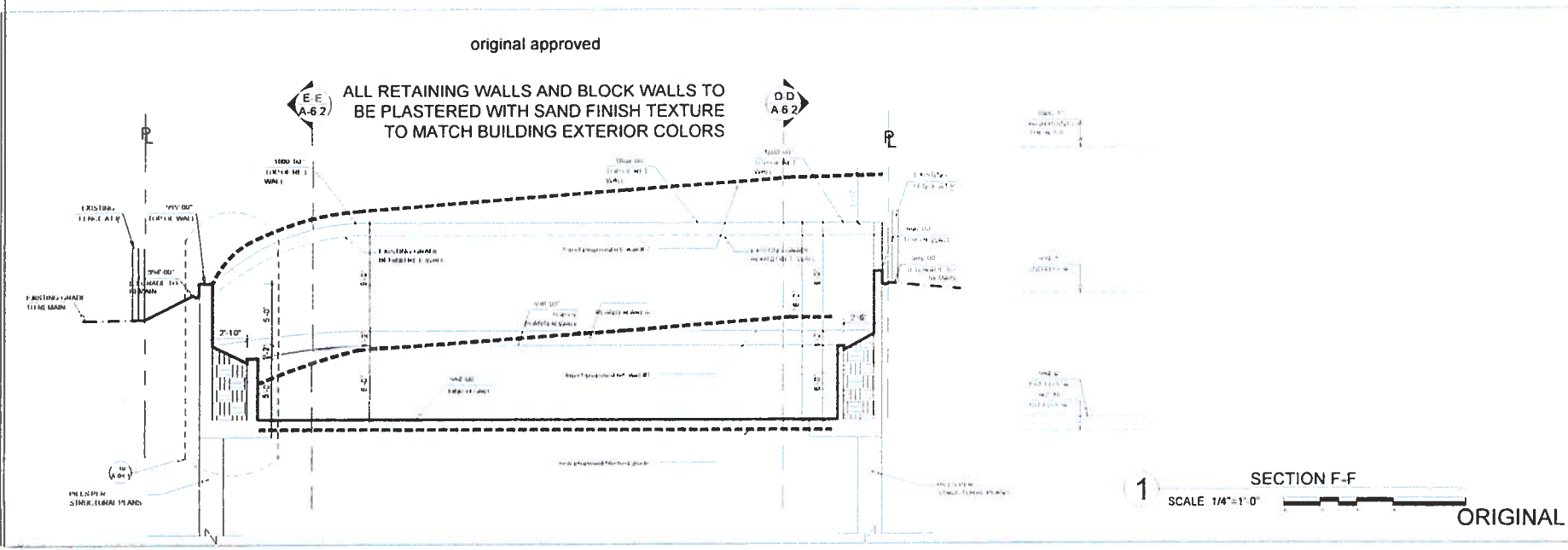
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SCALE: AS SHOWN  
DRAWN: N.P.  
START DATE: NOV 2016  
BY: NINA PAVAN / SHARON BOURGAIN  
SHEET

A-07.2



SECTION C-C  
SCALE: 1/4"=1'-0" (2)



SECTION F-F  
SCALE: 1/4"=1'-0" (1)



LABYRINTH

PROJECT:  
 SINGLE FAMILY RESIDENCE @  
 28254 LAURA LA PLANTE  
 AGOURA HILLS, CALIFORNIA

OWNER:  
 PERVA PAVAN &  
 SUDHAR REDYANAR  
 11800 S. HARPER STREET  
 BURBANK, CA 91504  
 Tel: (818) 880 5000

DESIGNER:  
 LABYRINTH DE SIGUE & FUDIO  
 PERVA PAVAN  
 11800 S HARPER STREET SUITE 210  
 BURBANK, CA 91504  
 Tel: (818) 880 5000  
 E MAIL: ninareddy@gmail.com

REV	DATE	NO. VISITORS

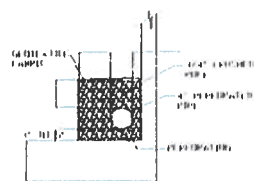
SHEET TITLE  
 SECTION  
 C-C,  
 SECTION F-F  
 AND DETAILS

SCALE AS SHOWN  
 DRAWN: N.P.  
 START DATE: NOV 2016  
 JAVI KRISHNAN, PERVA PAVAN, LAURA LA PLANTE  
 SHEET

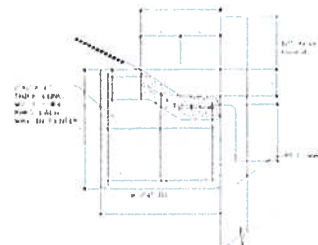
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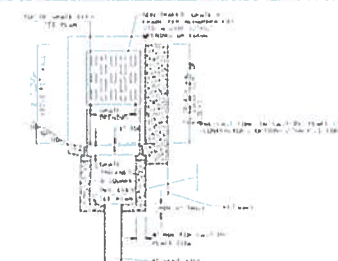




1 SUBDRAIN DETAIL



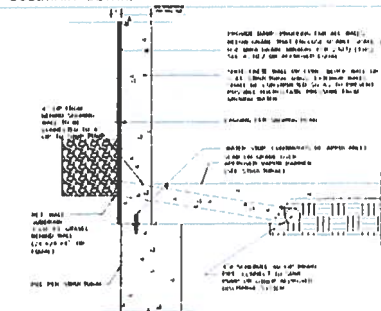
2 FREE BOARD AND WALL GUTTER TYPICAL SECTION



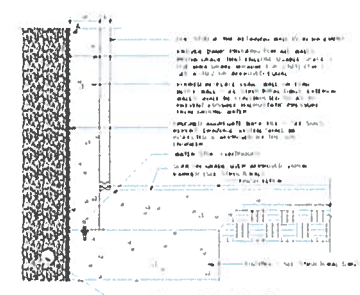
3 CONC. CATCH BASIN



4 TEMPORARY EXCAVATION DETAIL



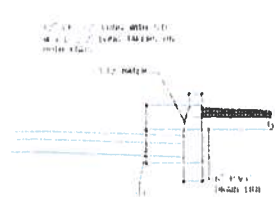
5 GRAVEL POCKET DETAIL AT RETAINING WALLS



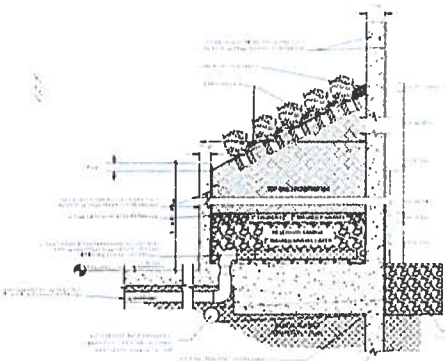
6 TYP. BASEMENT WALL SECTION



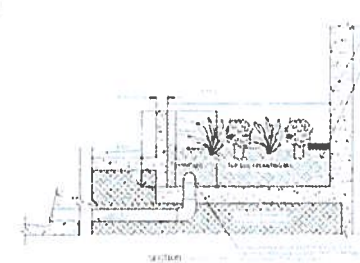
7 WALL BYPASS DRAINAGE DETAIL



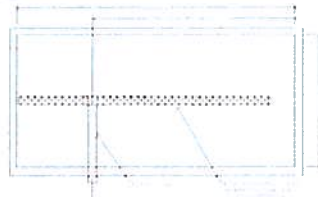
8 TYPICAL CURB FOR DRAIN OUTLET



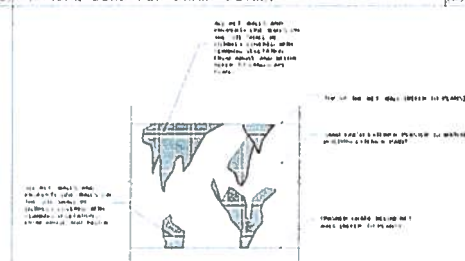
9 PLANTER DRAIN DETAIL AT BACK RETAINING WALL



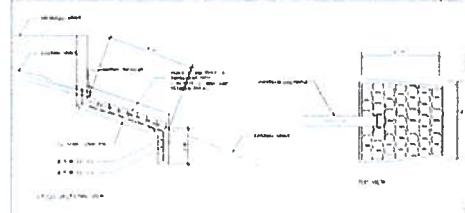
10 PLANTER BOX DRAIN



PLAN



11 CLEANING VEGETATION ON RET. WALLS, TYPICAL FOR ALL RET. WALLS



12 GROUTED RIP-RAP AT OUTLET DETAIL

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PROJECT ENGINEER	DATE: 10/02/18	DESIGNED BY	DATE	CITY OF AGOURA HILLS APPROVAL
HANDING OVER TO	DATE	CITY ENGINEER	DATE	

AGOURA HILLS

LABYRINTH

PROJECT

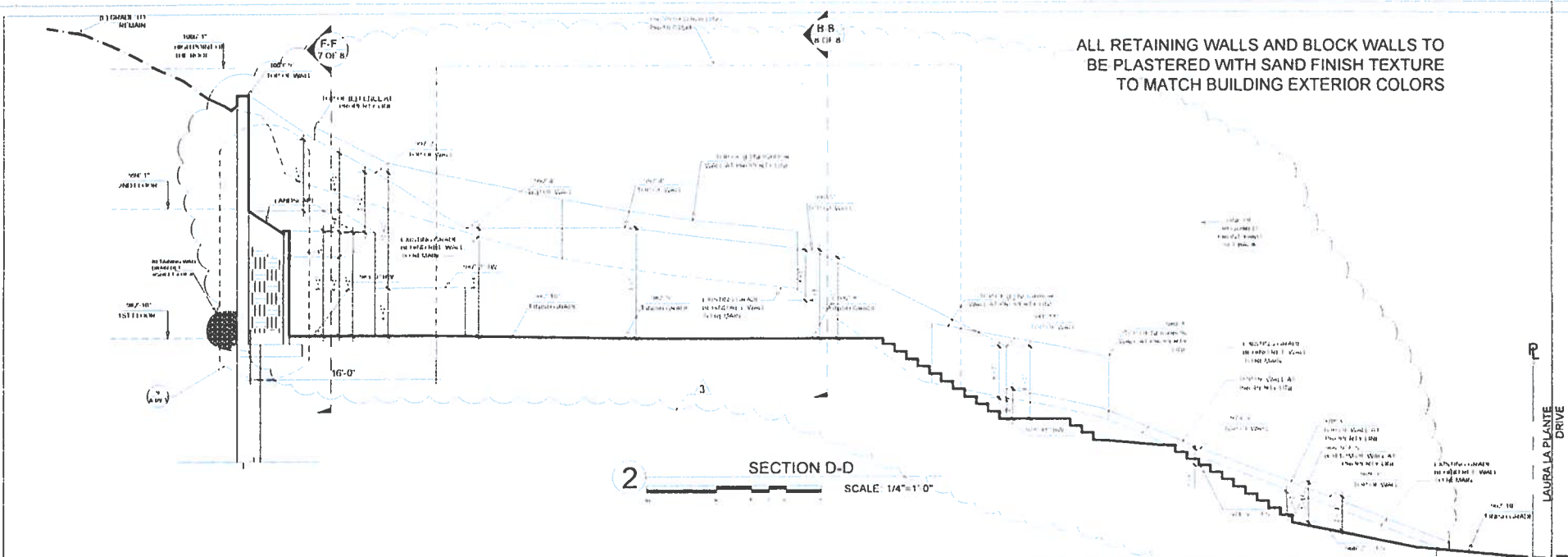
SINGLE FAMILY RESIDENCE

28254 LAURA LA PLANTE

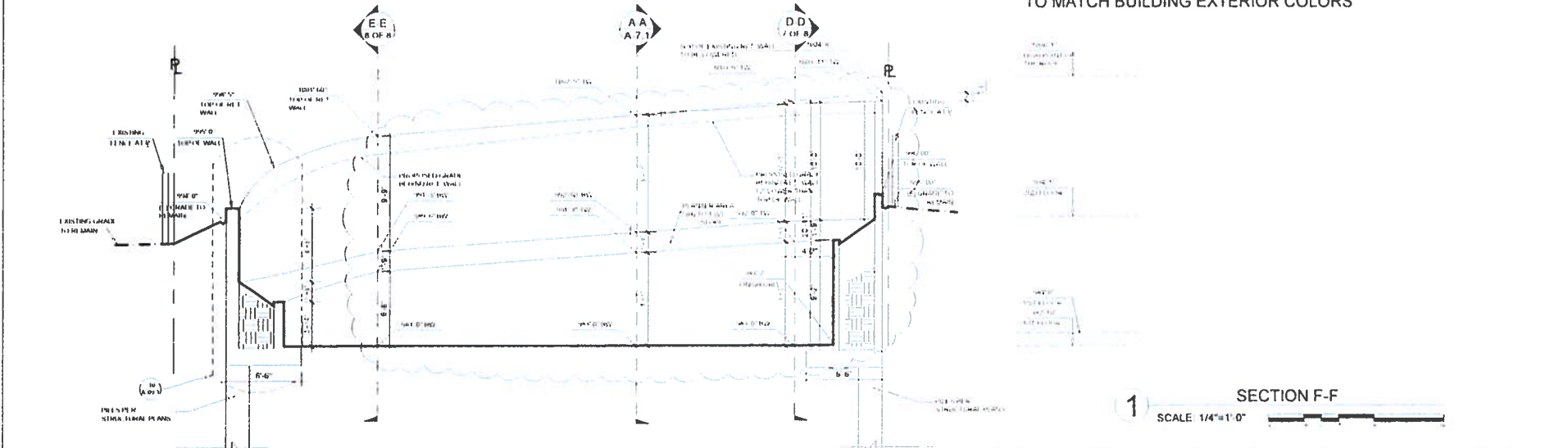
AGOURA HILLS, CALIF (IRINA)

GRADING AND DRAINAGE DETAILS

SHEET 4 of 8



ALL RETAINING WALLS AND BLOCK WALLS TO BE PLASTERED WITH SAND FINISH TEXTURE TO MATCH BUILDING EXTERIOR COLORS

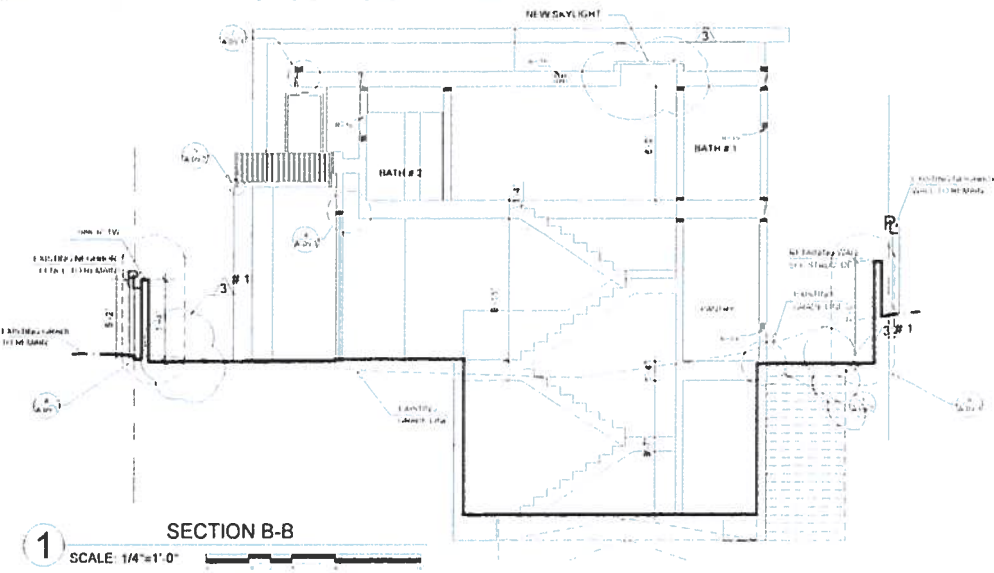
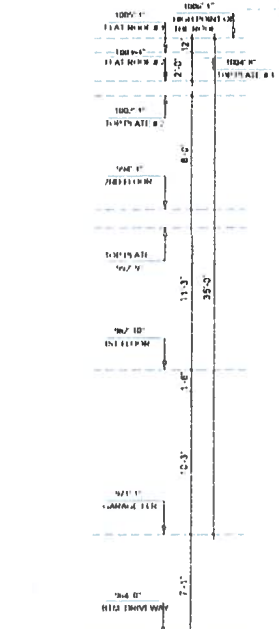
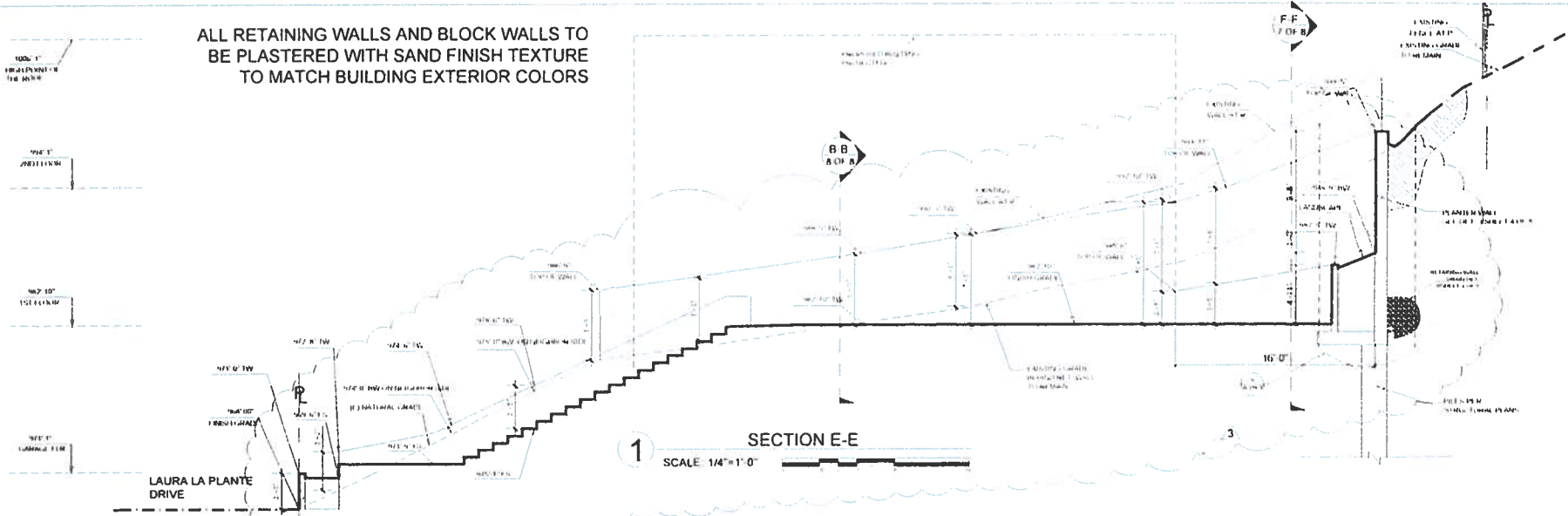


TO MATCH BUILDING EXTERIOR COLORS

REVISION #		SYMBOL		DESCRIPTION OF CHANGE		APPROVED		DATE		PREPARED BY: <b>Hamed N. Azarfar</b>		DATE: 10/21/18		REVIEWED BY:		DATE:		CITY OF AGOURA HILLS APPROVAL		 		PROJECT: SINGLE FAMILY RESIDENCE 28254 LAURA LA PLANTE AGOURA HILLS, CALIFORNIA		SECTIONS DD AND SECTION FF SHEET 7 of 8	
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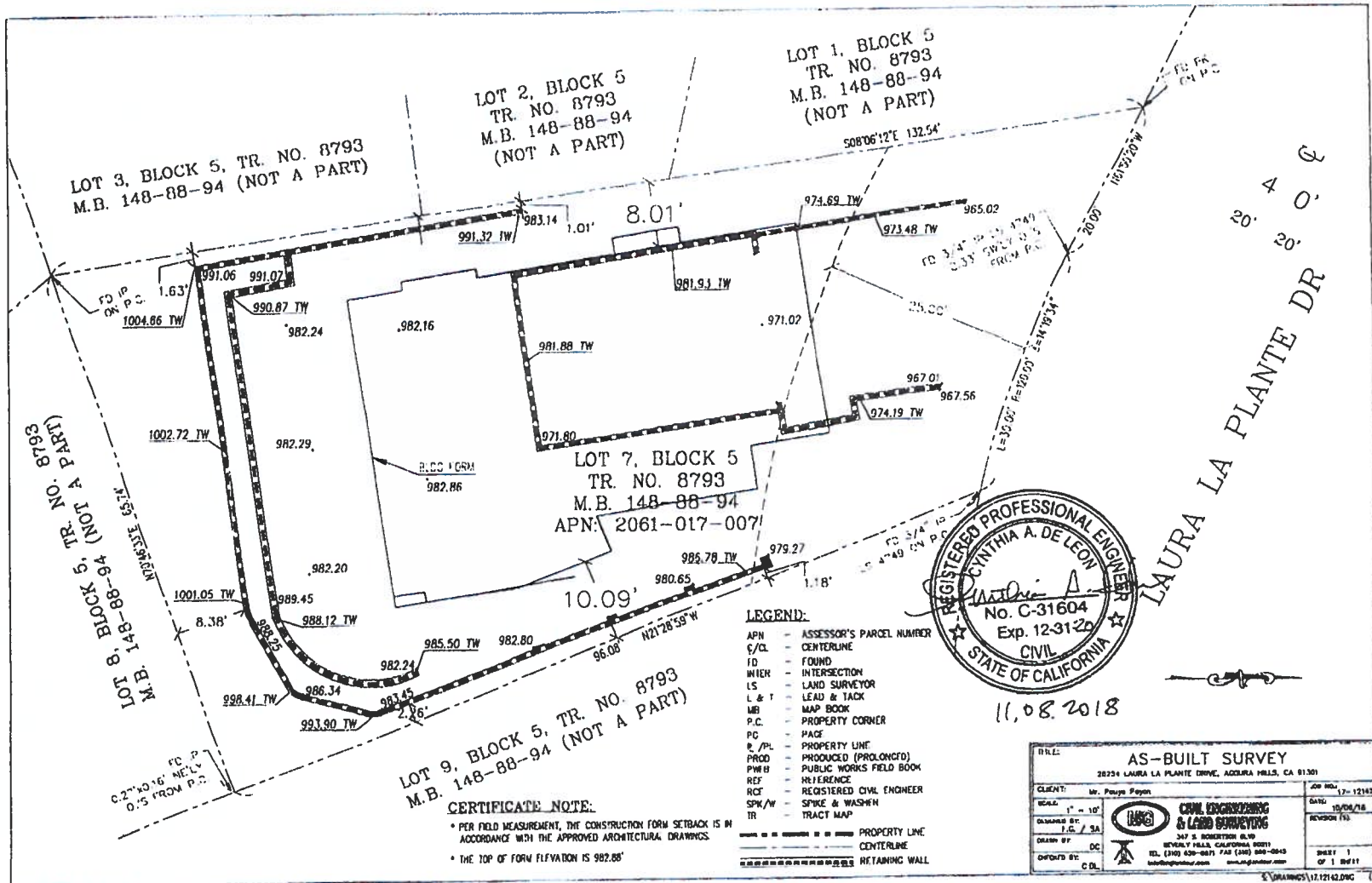


ALL RETAINING WALLS AND BLOCK WALLS TO BE PLASTERED WITH SAND FINISH TEXTURE TO MATCH BUILDING EXTERIOR COLORS



1 SECTION B-B  
SCALE: 1/4"=1'-0"

REVISION #		SYMBOL		DESCRIPTION OF CHANGE		APPROVED		DATE		PREPARED BY: <i>Hamed H. Azar</i>		CITY OF AGOURA HILLS APPROVAL		PROJECT: SINGLE FAMILY RESIDENCE 28254 LAURA LA PLANTE AGOURA HILLS, CALIFORNIA		SECTION EE & SECTION BB SHEET 8 OF 8	
										PROJECT ENGINEER: <i>Hamed H. Azar</i> DATE: 10/02/18		REVIEWED BY: _____ DATE: _____		RAZING @ ADEVA P.L. CIVIL ENGINEER DATE: _____		AGOURA HILLS CITY OF AGOURA HILLS, CALIFORNIA	



LOT 9, BLOCK 5, TR. NO. 8793  
M.B. 148-88-94 (NOT A PART)

**CERTIFICATE NOTE:**

- \* PER FIELD MEASUREMENT, THE CONSTRUCTION FORM SETBACK IS IN ACCORDANCE WITH THE APPROVED ARCHITECTURAL DRAWINGS.
- \* THE TOP OF FORM ELEVATION IS 982.88'

**LEGEND:**

- APN - ASSESSOR'S PARCEL NUMBER
- C/CL - CENTERLINE
- FD - FOUND
- INTER - INTERSECTION
- LS - LAND SURVEYOR
- L & T - LEAD & TACK
- MB - MAP BOOK
- P.C. - PROPERTY CORNER
- PC - FACE
- P/PL - PROPERTY LINE
- PROD - PRODUCED (PROLONGED)
- PWFH - PUBLIC WORKS FIELD BOOK
- REF - REFERENCE
- REG - REGISTERED CIVIL ENGINEER
- SPK/W - SPIKE & WASHIN
- TR - TRACT MAP
- PROPERTY LINE
- CENTERLINE
- ===== RETAINING WALL



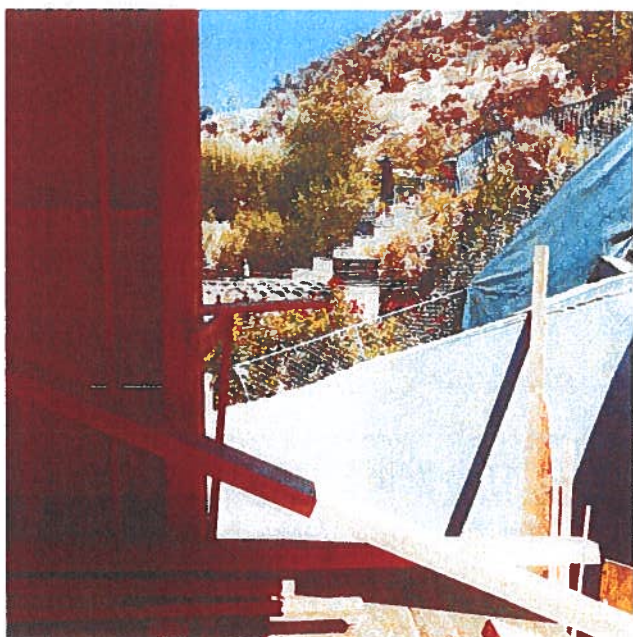
11.08.2018

<b>AS-BUILT SURVEY</b>		2023+ LAURA LA PLANTE DRIVE, ACEQUIA HILLS, CA 91301	
CLIENT: Mr. Paulo Pagan	JOB NO.: 17-12143	<b>CIVIL ENGINEERING &amp; LAND SURVEYING</b>	
SCALE: 1" = 10'	DATE: 10/08/18		
DRAWN BY: J.C. / S.A.	REVISION (S)	347 S. ROBERTSON BLVD SEVIERLY HILLS, CALIFORNIA 91371 TEL. (310) 820-0811 FAX (310) 820-0810 www.asbuilt.com	
DRAWN BY: DC	SHEET 1 OF 1 SHEET		
DESIGNED BY: C.D.L.		DRAWINGS/17.12143.DWG	

# ATTACHMENT 7

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**Case No. AMND-01521-2018  
(Amendment to CUP-01080-2015 & VAR-01081-2015)**



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# ATTACHMENT 8

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# City of Agoura Hills

AMENDMENT CASE NO. AMND-01521-2018 TO  
CONDITIONAL USE PERMIT CASE NO. CUP-01080-2015  
VARIANCE REQUEST CASE NO. VAR-01081-2015

Vicinity/Zoning  
Map

