



PLANNING DEPARTMENT

DATE: May 2, 2019

TO: Planning Commission

APPLICANT: Wilmar Vallecios for Manish Drona
13852 Olive View Drive
Sylmar, CA 91342

CASE NO.: SPR-01504-2018

LOCATION: 28500 Driver Avenue
(APN 2055-004-040)

REQUESTS: Request for approval of a Site Plan/Architectural Review to construct a 4,917 square-foot, two-story, single-family residence and a 695 square-foot attached garage; and a request to make a finding of exemption under the California Environmental Quality Act (CEQA).

ENVIRONMENTAL DETERMINATION: Categorically Exempt per Section 15303 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Site Plan/Architectural Review Case No. SPR-01504-2018, subject to conditions, based on the findings of the draft resolutions.

ZONING DESIGNATION: Residential Low Density (20,000 square-foot minimum lot size)-Old Agoura Design Overlay–Equestrian Overlay Districts (RL-20,000-OA-EQ)

GENERAL PLAN DESIGNATION: RL (Residential Low Density)

I. PROJECT BACKGROUND AND DESCRIPTION

The applicant, Wilmar Vallecios from Vallecios Design Studio, representing the owner, Manish Drona, is requesting the approval of a Site Plan/Architectural Review (SPR) to construct a 4,917 square-foot, two-story, single-family residence and a 695 square-foot,

attached three-car garage at 28500 Driver Avenue. Other structures include an attached 328 square-foot covered front porch, 147 square feet of balconies, and an 840 square-foot swimming pool. The 21,781 square-foot vacant lot is located on the south side of Driver Avenue. The parcel is zoned Residential Low Density (20,000 square-foot minimum lot size)-Old Agoura Design Overlay-Equestrian Overlay (RL-20,000-OA-EQ).

The site consists of a near rectangle-shaped lot that rises approximately 26 feet in elevation from the street along the front property line (929 feet above mean sea level - MSL) to the rear of the lot (955 feet above MSL), with an average topographic slope of 9.48 percent. A ten (10)-foot wide easement for the purpose of public utilities is located on the easterly portion of the property, and a small concrete wall is located at the center of the property (to be removed). Access to the property will be provided from Driver Avenue. Existing single-family homes, both single- and two-story, are located on the adjacent properties to the east, west and south, as well as across the street to the north of the subject property. Immediately to the west and south are two-story residences, and to the east is a single-family home on a flag lot, beyond which is a vacant, residentially zoned lot.

New single-family homes are subject to review by the Planning Commission. Since the property has an average topographical slope that is less than 10 percent, the project is not subject to the City Hillside Ordinance or Conditional Use Permit and, therefore, can be reviewed as a Site Plan/Architectural Review application.

The following is a summary comparison of the project and the relevant zoning development standards.

Pertinent Data		
	Proposed	Allowed/Required
Lot Size	21,781 sq. ft.	20,000 sq. ft. min.
Lot Width	83.5 ft.	75 ft. min.
Lot Depth	248 to 268 ft.	200 ft. min.
Building Height	25 ft., 2 stories	30 ft., two stories max.
Building Square Footage		
Residence (First Floor)	2,488 sq. ft.	
Residence (Second Floor)	2,398 sq. ft.	
Chimney	31 sq. ft.	
Total Residence	4,917 sq. ft.	
Attached Garage	695 sq. ft.	
Covered Front Porch	328 sq. ft.	
Balconies	147 sq. ft.	
Total Other Structures	1,170 sq. ft.	

Pertinent Data		
	Proposed	Allowed/Required
Lot Coverage		
Residence, Structures and Impermeable Surfaces	26.18%	35% max.
Building Setbacks		
Front Yard (north)	82 ft.	1.25 ft. for each foot of building height with 25 ft. min. (31.25 ft. required)
Rear Yard (south)	93.66 ft.	25 ft. min.
Side Yard (east)	23.5 ft.	12 ft. min. or 0.5 feet for each foot of building height, whichever is greater (12.5 ft. required)
Side Yard (west)	12.5 ft.	12 ft. min. or 0.5 feet for each foot of building height, whichever is greater (12.5 feet min.)

II. STAFF ANALYSIS

A. Site Plan and Buildings

The proposed residence and attached garage, would be situated in the center portion of the parcel, with the garage doors facing east and not visible from Driver Avenue. The swimming pool is proposed at the rear of the residence. In order to comply with the Equestrian Overlay District requirements, a 2,600 square-foot viable horse-keeping area is identified in the front yard in the event future owners wish to maintain horses.

Access to the residence and attached three-car garage would be provided from Driver Avenue via a 23.5-foot wide, 130-foot long driveway of permeable pavers proposed along the easterly side of the property. A six (6) foot high, 20-foot wide wood rolling gate is proposed for the new driveway. A four (4)-foot high open wood fence on top of a two (2)-foot high, smooth trowel stucco block wall, along with decorative stone veneer pilasters of six (6) feet high and solid wood gate are proposed to extend across the front of the property. A six (6)-foot high wood fence is proposed along the south side perimeter, while the existing six (6)-foot high wood fence on the eastern perimeter would remain. On the west side, the existing six (6)-foot high chain link fence on the adjacent property would remain, with a new six (6)-foot high wood fence installed toward the rear yard.

The Los Angeles County Fire Department requirements for access are accommodated with a truck vehicle turn around ("hammerhead" shape) at the front of the house and

near the proposed fountain. The Los Angeles Fire Department has provided preliminary approval of the site plan for the required emergency access.

The proposed residence and attached garage, which would occupy 14.5 percent of the lot, are permitted uses in the Low Density Residential (RL) zone and would meet the required development standards, relative to setbacks, height, and lot coverage. The RL zone requires a minimum setback of 31.25 feet from the front property line, 25 feet from the rear property line and 12.5 feet from each side property line. In this case, the house is set back 82 feet from the front property line, 93.66 feet from the rear property line, and 23.5 feet (east) and 12.5 feet (west) from the sides. The proposed height of the residence is 25 feet, whereas the maximum height allowed for a residence is 30 feet with vertical height projections limited to 35 feet. Lot coverage calculations include the footprints of structures (residence, garage, porch), swimming pool in the rear yard, and non-permeable hardscape. The project lot coverage occupies a total of 5,703 square feet, which is 26.18 percent of the 21,781 square-foot lot, and under the maximum allowable 35 percent per the RL zone.

No variances from the required development standards are requested for this project. The City's Architectural Design Standards and Guidelines (ADS&G) have specific recommendations for the Old Agoura residential neighborhood. The Guidelines recommend a maximum total square footage for a dwelling unit, garage and other habitable structures in relation to the lot size so that a residence is in proportion with the size of the lot. The ADS&G recommend a maximum of 4,106.8 square feet of development for this 21,781 square-foot lot, which is the usable square footage, excluding the majority of the garage and the front covered porch. The project includes 4,917 square feet of new useable space (excluding 690 of the 695 square-foot garage and the 328 square-foot front porch, as allowed by the ADS&G). The Guidelines are advisory, and the Planning Commission has discretion to determine whether the project as proposed meets their intent and the required findings.

The minimum required size of an RL-zoned lot is 20,000 square feet. The lot is slightly over the minimum size allowed. Surrounding lots are about the same, less or greater in size than the subject site. The size of the RL-zoned lots on the north and south sides of Driver Avenue between Lewis Road and Easterly Road in the area of this site range from 19,680 square feet to 63,598 square feet, with a median size of 23,882 square feet. The residences range from 1,440 square feet to 5,268 square feet in size, with a median size of 2,130 square feet. The proposed residence is not the largest in the immediate neighborhood. Directly to the south of the residence is a 5,268 square-foot, two-story, single-family residence on a 1.46 acre parcel that was constructed in 1977.

B. Architectural Design

Zoning Ordinance Sections 9555.B.2 and 9555.C.1 require that projects proposed in Old Agoura embrace an eclectic, rural style that preserves the equestrian nature of the area, and that the design is in character with the existing development within the Old Agoura Overlay District. The ADS&G also provide general recommendations on how to maximize architectural compatibility of new dwelling units with existing residential development, including the height of the structure, the use of natural materials like wood

and stone, warm and rich colors, roof pitch, roof eaves and the preservation of privacy. The Guidelines also include recommended porches and balconies, rear or side facing garage doors, and front door visibility. The project incorporates all of these recommendations. The front porch entry and fountain provide welcoming elements along the street frontage, and the garage doors are side-loaded and not visible from the street. Design features, the porch, and the balconies break up the house's massing. The residence would be finished with smooth light brown stucco exterior walls with white trim, dark brown horizontal wood lap siding (above the front porch area and around the west elevation's bay windows) and a brown earth tone tile gable and hip roof with a relatively steep pitch. All of the windows and doors on the residence (except the front door) and the window shutters would be painted white. The front door would be a decorative wood door with glass. Some of the exterior building wall portions and other features of the residence, like the chimney and porch column bases, would be clad with stone veneer. All of the wood handrails on the residence would be painted white. The entry walkway, the driveway to access the attached three (3)-car garage, the fire apparatus turn around, and the patio at the rear of the residence, would consist of permeable concrete pavers. The project's gable and hip roof, natural material accents and earth-tone colors are compatible with other homes in the neighborhood. Similar porch columns were used for a home recently approved on Driver Avenue, to the west.

The proposed project would maintain privacy for existing development on adjacent lots. The southerly part of the rear yard would be a slope planted with native shrubs and fruit trees, which would provide a screening for the southerly neighbor. The existing vegetation and driveway along the edge of the western border serves as buffer and screen. On the lot on the easterly side of the property is a driveway and the lot beyond is not developed yet. Although second-story windows are proposed, the location of the home will exceed minimum yard requirements for the zoning district.

The Architectural Review Panel (ARP) reviewed the project and suggested revisions to the front elevation that included adding stone on the base of the exterior walls, columns and stairway; the use of wood handrails instead of wrought iron handrails; the use of a brown color palette instead of off-white and grey; and the use of lap siding at the front porch. The applicant made the requested revisions, which are demonstrated on the attached plans.

C. Equestrian Overlay District

The project site is within the Equestrian Overlay District (EQ), which requires that a horse-keeping area of at least 1,500 square-feet be identified on the property for equestrian purposes. Although the applicant is not interested in keeping horses on the property at this time, he has included an equestrian area on the plans. A 2,600 square-foot horse keeping area has been designated in the front of the property. At this time, the applicant proposes to construct wood corral fencing, with a potential future barn area identified. The proposed project could support horses and other farm animals and would comply with the minimum 35-foot required separation to on- and off-site habitable structures. Since the equestrian area would be adjacent to the street (Driver Avenue), vehicular access would be provided in and out of the property to support emergency services to the animals.

D. Old Agoura Design Overlay District

The purpose of the Old Agoura (OA) Design Overlay district, as stated in the Zoning Ordinance, is to preserve the unique character of Old Agoura through the establishment of special standards and design guidelines. The District calls for residential development to embrace an eclectic, rural style that preserves the equestrian nature of the area. The architectural styles of surrounding residences are varied. The building design incorporates wood and stone elements, relatively steeply pitched gable and hip roofs, and primarily earth tone colors, consistent with the neighboring Old Agoura residences. The project is consistent with the overlay district, as it includes the use of natural materials and colors, natural fences, a front porch, and all sides of the building complement one another and incorporate consistent design elements. The site provides a viable area for equestrian use. The project includes permeable pavers on the driveway and a portion of the patios and walkways. On-site grading is minimized with the building pad on the relatively flat area of the site. The Old Agoura Home Owners Planning and Zoning Committee has reviewed the project design. A copy of their letter, dated March 25, 2019, is included as Attachment 5. Attachment 6 is written public comments regarding this project that were submitted to staff.

E. Public Works/Engineering Department

The Public Works/Engineering Department has reviewed the civil engineering plans and requires that Driver Avenue be improved along the property street frontage. The street improvements include a new driveway approach extending twenty-three and one-half (23.5) feet wide along the property frontage, connection to the existing eight (8)-inch main sewer line in Driver Avenue in front of the subject parcel, and the installation of a six (6)-inch sewer lateral. The equestrian trail serving Driver Avenue is located on the north side of Driver Avenue, thus no trail improvements are required of this project.

Grading required for the proposed project is minimized since the building pad is located on the flatter portion, and would result in a finished grade of approximately 938 above mean sea level and net export of 25 cubic yards of soil, which is minor. New low slough walls no more than two and one-half (2.5) feet high would be located along the east and west sides of the property and stuccoed and painted brown. Retaining walls around the perimeter of the pool area are proposed at no more than five (5) feet high and would maintain the relatively steeper slope at the back of the site. Geotechnical, geological and drainage studies have been reviewed by the City Geotechnical Consultant from a geotechnical perspective, and found them to be in compliance with applicable codes, guidelines, and standards of practice. The applicant must submit a Final Grading Plan, Encroachment Permit, Erosion and Sediment Control Plan, and Standard Urban Stormwater Mitigation Plan to the City Engineer for review and approval prior to construction.

F. Landscaping

There are no oak trees located on-site or impacted by this project. The preliminary proposed landscape plan includes a combination of native and non-native, natural-appearing species, including trees, shrubs, vines and grass that were reviewed by staff and the City Landscape Consultant. There are several existing eucalyptus trees on-site, which are to remain. Based on the plant palette and plant placement, the Los Angeles County Fire Department's Fuel Modification Unit, which addresses potential vegetation wild fire hazards, has provided preliminary approval of the project.

G. General Plan Consistency

Staff finds the project will be consistent with the following applicable General Plan goals and policies:

Goal LU-7: Livable and Quality Neighborhoods. Neighborhoods that provide a variety of housing types, densities, and design, and a mix of uses and services that support the needs of their residents.

- Policy LU-7.1 Neighborhood Conservation. Maintain the uses, densities, character, amenities, and quality of Agoura Hills' residential neighborhoods, recognizing their contribution to the City's identity, economic value, and quality of life for residents.
- Policy LU-7.2 Housing Character and Design. Require that new and renovated housing within existing single- and multi-family neighborhoods be located and designed to maintain their distinguishing characteristics and qualities, including prevailing lot sizes; building form, scale, massing, and relationship to street frontages; architectural design; landscape; property setbacks; and comparable elements. Continue to implement the City's Architectural Design Standards and Guidelines to ensure that residential units are designed to sustain the high level of architectural design quality and the character of the existing land forms that characterize the Agoura Hills neighborhoods, in consideration of the following principles as identified in the City Architectural Design Standards and Guidelines:
 - Harmony with the natural land forms and native vegetation
 - Response to the local climate (through proper building orientation, appropriate glazing, use of overhangs, shading devices, native vegetation, etc.)
 - Reflection of the highest standards of adjacent buildings and the neighborhood style[s], proportions, colors, and materials.

Goal LU-8 Residential Very Low– and Residential Low-Density Neighborhoods (Old Agoura). Residential neighborhoods containing very low–and low-density housing reflecting Agoura Hills' history and designed to respect their environmental setting.

- Policy LU-8.1 Neighborhood Identity. Promote and maintain the integrity of Old Agoura residential neighborhoods for their low-density large estates, rustic character, non-urban infrastructure, and keeping of horses and other farm animals.
- Policy LU-8.2 Development Compatibility with Community Character. Require that renovation of existing and construction of new housing and property improvements respect the characteristics that distinguish Old Agoura, including its topography, parcel sizes, housing scale and form, nonurban infrastructure and some streetscapes (no sidewalks, curbs and gutters, and street lighting), and equestrian trails.
- Policy LU-8.3 Integration of Development with Natural Setting. Require that buildings be located, scaled, and designed to reflect the existing terrain and minimize grading to the maximum extent possible. Structures shall be integrated into the hillsides, taking care to preserve the viewsheds and natural ridgelines.
- Policy LU-8.4 Property Setbacks. Encourage variable setbacks to enhance streetscape character and increase building separation.
- Policy LU-8.5 Building Materials and Colors. Limit exterior building materials to those that have the appearance of materials that are characteristic of rural environments.
- Policy LU-8.6 Landscaping. Require that on-site landscapes transition smoothly to the natural undeveloped open areas.
- Policy LU-8.7 Open Spaces. Encourage the provision of open space areas suitable for horses or other farm animals, thereby enhancing the equestrian and rural character of the area.

Goal LU-9 Single Family Neighborhoods. Maintenance of the identity, scale and character of the City's distinct residential neighborhoods.

- Policy LU-9.1 Neighborhood Identity. Maintain the distinguishing characteristics that differentiate by topography, parcel size, housing scale and form, and public streetscapes in Agoura Hills' single-family neighborhoods.

The project complies with Goals LU-7, LU-8 and LU-9 and their policies. The project would be consistent with neighboring properties in terms of height and massing, and would be lower in height than some residences in the neighborhood. The proposed single-family house conforms to the required height and setbacks of the RL zone. The lot size is similar to properties in the area. Site grading would be minimized by creating the building pad in the site's flatter portion, and cut and fill quantities would be comparable, resulting in a net export of only 25 cubic yards of soil. The relatively steep part of the site in the south would be maintained as open space with native shrubs and fruit trees providing privacy to the residence to the south. The driveway would be

located along the east side of the lot, providing a buffer to the adjacent lot's driveway and the potential future house on the vacant lot further east. Vegetation on the lot to the west serves as a buffer to the neighboring two-story house.

The architectural design is of high quality, as are the materials, which is natural and earth-tone colors, and integrate the project with the Old Agoura area natural setting. The residence is adequately articulated on all sides with varying architectural features and planes. The different building façade materials (stucco, wood, and stone) and features, including front porch, balconies, and bay windows, minimize the building mass. The plant palette incorporates native as well non-native but natural-looking trees and plant species. The residence is less than the maximum allowed height and is set back over 80 feet from the street. The project includes a 2,600 square-foot designated equestrian area in the front of the property that is both visible and accessible from Driver Avenue. Its location emphasizes the semi-rural character of the neighborhood and provides open space between the house and public right-of-way. The proposed project could support horses and other farm animals.

H. Environmental Review

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorically Exempt from the CEQA Guidelines per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence and accessory structures. No significant environmental impacts are expected from development of this project. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

III. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Site Plan/Architectural Review Case No. CUP-01504-2018, subject to attached conditions and based on the findings of the attached draft resolution.

IV. ATTACHMENTS

- Exhibit A. Draft Resolution for Site Plan/Architectural Review and Conditions of Approval
- Exhibit B. Vicinity Map
- Exhibit C. Project Renderings
- Exhibit D. Reduced Copies of Project Plans
- Exhibit E. Color and Materials Board
- Exhibit F. Letter from the Old Agoura Home Owners Planning and Zoning Committee, dated March 25, 2019
- Exhibit G. Written Public Comments
- Exhibit H. Photographs of Property and Surrounding Properties

Case Planner: Renee Madrigal, Associate Planner

Exhibit A

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01504-2018 FOR THE CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE LOCATED AT 28500 DRIVER AVENUE; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Wilmar Vallecios with respect to the real property located at 28500 Driver Avenue, Assessor's Parcel Number 2055-004-040, requesting approval of Site Plan/Architectural Review Case No. SPR-01504-2018 to allow the construction of a new 4,917 square-foot, two-story, single-family residence and a 695 square-foot, attached three-car garage on a vacant parcel.

Section II. The project is a request for construction of a new single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversions of Small Structures). The new single-family residence and related structures would not result in significant impacts to the environment. No exception to this categorical exemption applies, as set forth in Section 15300.2 of the CEQA Guidelines, including but not limited to, Subsection (c), which relates to unusual circumstances.

Section III. The Planning Commission of the City of Agoura Hills considered the project and application at a public hearing held on May 2, 2019, at 6:30 p.m. in the City Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforementioned hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforementioned public meeting.

Section V. Site Plan. Based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Zoning Ordinance Section 9677.5 of the Agoura Hills Municipal Code, that:

A. The proposed use is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located.

The proposed project is located within the Low Density Residential and Old Agoura Design Overlay and Equestrian Overlay (RL-OA-EQ) district, which allows for the development of single-family residences. The project meets the City's minimum development standards for the zoning district with regard to lot coverage, lot size, building height, building setbacks, and all other applicable development standards. The project is also subject to the Old Agoura Design and Equestrian Overlay Districts. The project accommodates an equestrian area large enough to build a corral, and a barn in compliance with the Equestrian Overlay District.

B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare. The design of the residence will ensure adequate light, air, privacy and open space to surrounding properties, as the project complies with the RL zone height, setback, lot size and coverage requirements. Vehicular access to the property will be provided via Driver Avenue, and the driveway is designed in accordance with City and Fire Department standards. Geological, geotechnical, and drainage studies have been reviewed by the City Geotechnical Consultant from a geotechnical perspective, and found them to be in compliance with applicable codes, guidelines, and standards of practice. They recommend the Planning Commission consider approval of the project. The site will be served by the public sewer system. The project will be in full compliance with the City's Building Code.

C. The proposed use will not conflict with the character and design of the buildings and open space in the surrounding area. The proposed style of architecture and building materials of the residence, includes light brown colored stuccoed walls, white trim, brown tile pitched roof, stone cladding, dark brown lap siding, wood railing painted white, and white window shutters. The project is in compliance with the City's Architectural Design Standards and Guidelines and standards of the Old Agoura Design and Equestrian Overlay Districts by providing for structures compatible with the natural environment in terms of colors and materials, providing a side facing garage, front porch and gable and hip roof with a relatively steep pitch, and an area for horse-keeping.

D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance except for approved variances or modifications. The project is consistent with the zoning district's requirements for setbacks, building height, building site coverage, lot size and retaining wall heights and all other applicable development standards. The project is also consistent with the Old Agoura Design and Equestrian Overlay districts relative to the style of architecture with natural materials and colors, native and drought-tolerant landscaping, minimization of grading, and sufficient area allotted for equestrian use. No variances or modifications are required.

E. The proposed use is consistent with the City's General Plan. The project is consistent with Land Use and Community Form Goal LU-7 and LU-8 and Policy LU-7.1 Neighborhood Conservation, Policy LU-7.2 Housing Character and Design, Policy LU-8.1 Neighborhood Identity, Policy LU-8.2 Development Compatibility with Community Character, Policy LU-8.3 Integration of Development with Natural Setting, Policy LU-8.4

Property Setbacks, Policy LU-8.5 Building Materials and Colors, Policy LU-8.6 Landscaping, and Policy LU-8.7 Open Spaces. The project is consistent with neighboring properties in terms of height and density. The proposed single-family residence conforms to the required height and setbacks of the RL zone. The lot size is similar to others in the neighborhood. The architectural design is of high quality, as are the materials, which are natural and earth-tone colors, integrate the project with the Old Agoura area natural setting. The residence is adequately articulated with varying architectural features and planes. The different building façade materials (wood, glass, and stone) and features, including porch, balconies, and bay windows, minimize the building mass. The plant palette incorporates native as well non-native but natural-looking trees and plant species. The residence is set back over 80 feet from Driver Avenue. The proposed plans include a 2,600 square-foot equestrian area that is accessible from Driver Avenue. Therefore, the proposed project could support horses and other farm animals. The project complies with Goal LU-9 and Policy LU-9.1 Neighborhood Identity by remaining in scale with the other residences in the neighborhood in terms of the lot size. Given the large front yard setback, the development would not be readily visible from passers-by.

F. The proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The project's gable and hip roof, natural material accents and earth tone colors reflect many of the residences in the area. The project meets the minimum yard setback requirements, height, lot coverage and lot size requirements of the Residential Low Density zone and will be placed 82 feet from Driver Avenue, a similar distance to the residence to the west of the site. Furthermore, the project is designed to provide sufficient space on the property to accommodate accessory structures and amenities in addition to the main residence, including a horse-keeping area.

Section VI. Architectural Review. Based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Zoning Ordinance Section 9677.7.G of the Agoura Hills Municipal Code, that:

A. The proposed development is consistent with the General Plan, and design standards adopted by the City Council. The project complies with the City General Plan Goals LU-7, LU-8, and LU-9 and Policies LU-7.1, LU-7.2, LU-8.1 through LU-8.7, and LU-9.1 by being consistent with neighboring properties in terms of architecture, height and density. One single-family residence is proposed for the lot and it conforms to the required height and setbacks of the RL zone. The lot size is similar to other area properties. The architectural design and material are of high quality. The plant palette incorporates native as well non-native trees and plant species. The residence is set back over 80 feet from the street. The project provides an equestrian area that is accessible from the street. The residence will be in scale with the other residences in the neighborhood and would not be readily visible from passers-by due to the distance from the street.

B. The design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not

impair the desirability of investment or occupation in the neighborhood. The proposed development will not interfere with the use and enjoyment of existing or proposed residential developments in the vicinity because the project meets all requirements of the Zoning Ordinance, especially height, setbacks, lot coverage and lot size. The building design reflects natural colors and materials compatible with the surrounding area. It will not create traffic hazards or congestion as the use is a single-family residence with minimal expected traffic trips generated. Access to the site is readily available via Driver Avenue. The driveway location will not interfere with neighboring developments or create traffic hazards, and the driveway and access meets City and Los Angeles County Fire Department Standards.

C. The design of the proposed development is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of the City. The residence includes design features and materials and colors compatible with style of homes in the surrounding Old Agoura neighborhood, and the project meets or exceeds the minimum development standards established by the Zoning Ordinance with regard to lot coverage, lot size, building height, and building setbacks. The single-family residence is a permitted use in the RL zone. Grading has been minimized by locating the residence on the flatter area of the lot.

D. The design of the proposed development provides a desirable environment for its occupants, as well as for neighbors, and is aesthetically of good composition, materials, textures, and colors. The building design is compatible with the variety of architectural styles in the neighborhood. The materials include stone and wood and the colors reflect earth tones, consistent with the community. The design includes articulation on all elevations, including a front porch, bay windows, windows with shutters, and a relatively steeply pitched gable and hip roof, all of which is reflective of the Old Agoura community. The distance between structures meets or exceeds all minimum setback requirements. The two-story design of the house will not significantly impact view-sheds of surrounding properties. The southerly portion of the lot that is an ascending slope will be landscaped with shrubs and trees that would offer privacy.

E. The proposed use complies with all applicable requirements of the district in which it is located and all other applicable requirements. Single-family residential uses are allowed in the RL-OA-EQ zone. Minimum development standards have been met with regard to building setback, height, site coverage, and equestrian use.

F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare. The design of the residence will ensure adequate light, air, privacy and open space to surrounding properties, as the project complies with the RL zone height, setback and lot size and coverage requirements. Vehicular access to the property will be provided via Driver Avenue, and the driveway is designed in accordance with City and Fire Department standards. Geological, geotechnical, and drainage studies have been reviewed and approved by the City's

consultants. The site will be served by the public sewer system. The project will be in full compliance with the City's Building Code.

Section VII. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. SPR-01504-2018, subject to the conditions attached hereto as Exhibit A, with respect to the property described in Section I hereof.

Section VIII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 2nd day of May, 2019, by the following vote to wit:

AYES:	(0)
NOES:	(0)
ABSTAIN:	(0)
ABSENT:	(0)

John Asuncion, Chairperson

Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case No. SPR-01504-2018)

PLANNING DEPARTMENT

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of the Planning Commission's action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicant has agreed in writing that they are aware of, and accept, all conditions of this of this permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to, and requires complete conformation to, the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plans, Roof Plan, Grading Plan, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Director of Planning.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.

11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
12. Unless this permit is used within two (2) years from the date of City approval, Site Plan/Architectural Review Case No. SPR-01504-2018 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.79 per square foot for residential construction.
15. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
16. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
17. Retaining walls shall not be built with an exposed face greater than six (6) feet tall.
18. In the event archaeological resources are encountered during ground-disturbing activities, the City Planning Department shall be notified immediately, and work shall stop within a 100-foot radius until a qualified archaeologist approved by the City Planning Department, and retained and paid for by the developer/applicant, has assessed the nature, extent, and potential significance of any remains. In the event such resources are determined to be significant, appropriate actions are to be determined by the archaeologist consistent with the City General Plan, in consultation with the City Planning Department.
19. If human remains are unearthed during ground disturbing activities, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the developer/contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) though to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assessed the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City.

20. Final Fuel Modification Plan approval by the County Fire Department Fuel Modification Unit is required prior to issuance of a Building Permit.
21. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
22. A pre-construction conference shall be held prior to the issuance of a Grading Permit, with all construction personnel involved with the grading operations.
23. No construction work or repair shall be performed outside the hours of 7:00 a.m. to 7:00 p.m. or any Sunday or Holiday.
24. All retaining walls and CMU walls shall either be decorative stone or be smooth trowel cement plastering and painted light brown to match the color scheme of the house, and subject to the approval of the Planning Director.
25. The Applicant, and property owner(s), and their successors in interest, shall indemnify, defend and hold harmless the City, its officials, officers, agents and employees (collectively "Indemnitees") from and against any and all claims, actions, lawsuits, damages, losses and liabilities arising or resulting from the granting of this approval by the City or the exercise of the rights granted by this approval. This indemnification obligation shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the Indemnitees in connection with any such claims, actions or lawsuits, any expert fees, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such claim, action or lawsuit. The City shall promptly notify Applicant and property owners of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. In the event such a legal action is filed, the City shall estimate its expenses for litigation. Applicant or property owners shall deposit such amount with the City or enter into an agreement with the City to pay such expenses as they become due. Applicant and property owners shall reimburse the City, and each of the Indemnitees for any and all legal expenses and costs incurred by it in enforcing the indemnity herein provided. Although the Applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.

BUILDING AND SAFETY DEPARTMENT

26. A building permit is required for this project.
27. This project shall be subject to the 2016 California Residential, Building, Mechanical, Plumbing, Electrical, Energy, Green Building Codes, and 2017 Los Angeles County Fire and Agoura Hills Municipal Code.

28. All exterior materials used for eaves, sidings, porch, patio, decks, canopies, carport and other similar structures need to meet the Very High Fire Hazard Severity Zone as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code and 2017 Los Angeles County Fire Code.
29. The applicant shall note on the plans that all new or replaced windows will be tempered on at least one side of the dual pane, or a 20 minute rated window or glass blocks per Section 704A.3.2.2 of the 2016 California Building Code and 2017 Los Angeles County Fire Code.
30. Fire Sprinklers will be required for all new structures per Section 903.2, Article VIII of the Agoura Hills Municipal Code 903.2.
31. A soils report will be required for the project as part of the applicant's building permit plan check submittal.
32. Handrails shall be required for exterior stairs with four (4) or more risers per Section 311.7.8 of the 2016 California Building Code.
33. Los Angeles County Fire Department review and final approval will be required for all new structures as part of Building plan check.
34. Las Virgenes Municipal Water District final approval will be required as part of the applicant's building permit.
35. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Mechanical, Electrical, Plumbing, Energy Plans, Title 24 plans shall be submitted to Building and Safety Department for plan review and approval.

PUBLIC WORKS/ENGINEERING DEPARTMENT

36. A grading permit shall be obtained for this project.
37. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
38. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of any permits, all improvement plans, which include, but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc. shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet Las Virgenes Municipal Water District standards and contain a signature block for the City Engineer. All associated fees

and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department.

39. Prior to grading permit, the applicant shall pay the applicable Transportation Impact Fee (TIF) to the Building and Safety Department.
40. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
41. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
42. The grading plan shall show location(s) of all oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
43. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
44. Prior to grading permit, the project shall obtain a permit from the Los Angeles County Fire Department, and from Las Virgenes Municipal Water District.
45. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at 818.597.7322 for approved City certification forms.
46. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The project is required to repair the Asphalt Concrete Inverted Shoulder along the property frontage, construct a new Asphalt Concrete driveway approach, install a new 6-Inch sewer lateral, connect to the 8-Inch sewer main in Driver Avenue, and all water appurtenances shall be per Las Virgenes Municipal Water District's standards.
47. This property is within the Las Virgenes Municipal Water District service area. The applicant shall make arrangements with Las Virgenes Municipal Water District for those services and provide the City with proof that all Las Virgenes Municipal Water District fees have been paid prior to permitting.

48. This project shall connect to the 8-Inch sewer main line in Driver Avenue (Reference Sewer Plan # E-117).
49. This project shall use existing laterals, whenever provided, for connection to the public sewer system.
50. All water facilities shall be designed to comply with all Las Virgenes Municipal Water District requirements. Final plans must be reviewed and approved by Las Virgenes Municipal Water District and City.
51. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
52. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
53. Prior to the approval of the Grading Plan and issuance of Grading Permit, a completed Low Impact Development (LID) Plan shall be submitted to and approved by the Engineering Department. The LID Plan shall comply with the requirements of the LID Ordinance and Los Angeles County LID Standards Manual. The LID Plan shall include the following information:
 - Identification of whether the proposed project is a Designated or Non-Designated Project.

- If the proposed project is a Designated Project, identification of the project category.
 - Feasibility of infiltration including a percolation report as part of a geotechnical report prepared by a geotechnical engineer.
 - Source control measure(s) proposed to be implemented
 - Calculation of the SWQDv.
 - Discussion on whether stormwater runoff harvest and use is feasible.
 - Stormwater quality control measure(s) proposed to be implemented.
 - Discussion of how the applicable water quality standards and total maximum daily loads (TMDLs) will be addressed (off-site mitigation projects only).
 - Proposed hydromodification controls and calculations (if necessary).
 - Proposed maintenance plan (if necessary).
54. Prior to issuance of Certificate of Occupancy, all remaining fees/ deposits required by the Engineering Department must be paid in full.
55. Prior to issuance of Certificate of Occupancy, all requirements including construction of improvements covered in condition number 44 must be completed to the satisfaction of the City Engineer.
56. Prior to issuance of Certificate of Occupancy, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.
57. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued storm water maintenance with the Los Angeles County using City-approved forms.
58. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
59. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL

60. The applicant shall comply with all the City Geological/Geotechnical Consultant's (GeoDynamics, Inc.) Conditions of Approval letter dated November 20, 2018.

LANDSCAPING

61. Final Landscape Plans shall substantially conform to the Landscape Preliminary Plan prepared by Design Concepts dated November 15, 2018, as approved by the City of Agoura Hills Planning Commission.
62. Location and material of paved surfaces, accessory structures, walls and fences, landscape features and other site improvements shown approved plans shall conform to approved plans.
63. Prior to the approval of a grading permit, the applicant shall submit three (3) sets of Final Landscape Plans for review by the City Landscape Consultant and approval by the Planning Director. A California Landscape Architect with current license shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans. The Planting and Irrigation Plans shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.
64. At the time of the Final Landscape Plans submittal, the project Landscape Architect shall provide the City with written confirmation that the civil engineering drawings have been reviewed and that the Landscape Plan is not in conflict with the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID).
65. The Final Planting Plan shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees shall be fifteen (15) gallon. The minimum size of shrubs shall be five (5) gallon except shrubs planted as groundcovers and or as accent planting, which may be one (1) gallon size. Plant sizes may be increased on some projects at the discretion of the Planning Director. (*If necessary specify required plant sizes*). Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
66. The Final Landscape Plans shall include the following notes:
 - a. The Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans prior to final city inspection.

- b. Identification of the total square footage of the landscape area within the project.
67. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
68. With the Final Landscape Plans, three (3) copies of plans, details, and specifications shall be provided, addressing but not limited to, layout, planting, soil preparation, tree staking, guying, installation details and post installation maintenance.
69. The approved landscape shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
70. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
71. All planting areas shall receive a three (3) inch layer of coniferous bark mulch. Mulch to be kept away from tree and shrub crowns. Mulch areas to be dressed to present a clean uniform appearance when complete
72. Landscape improvements, planting, and irrigation installation shall be subject to inspection and approval by the Planning Department prior to final building permit inspection.

SOLID WASTE MANAGEMENT

73. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for a percent of the waste generated on the project to be diverted from the landfill, at the rate currently required by California Department of Resources Recycling and Recovery. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
74. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or

construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

75. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

Exhibit B

CASE NO. SPR-01504-2018 (Drona)



Exhibit C





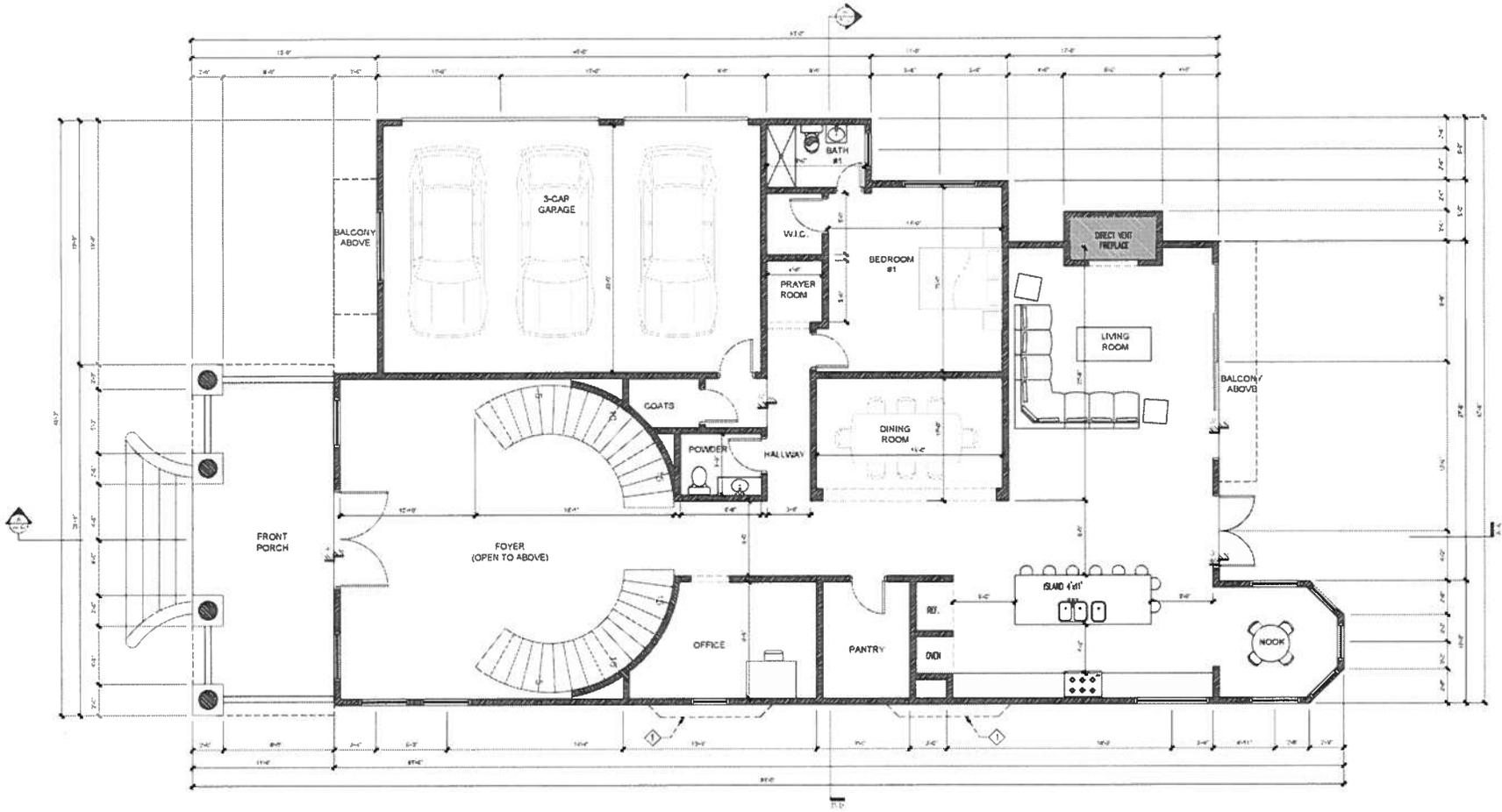




Exhibit D

PLAN NOTES

① BAY WINDOWS ABOVE



REVISIONS	BY

VALLECOS
 10255 5TH STREET, SUITE 100
 REDWOOD CITY, CA 94061
 TEL: 650.352.0202

DRONA RESIDENCE
 28500 DRIVER AVE, AGOURA HILLS, CA 91301
 PROPOSED 2-STORY SINGLE FAMILY DWELLING
 APT. 205020102

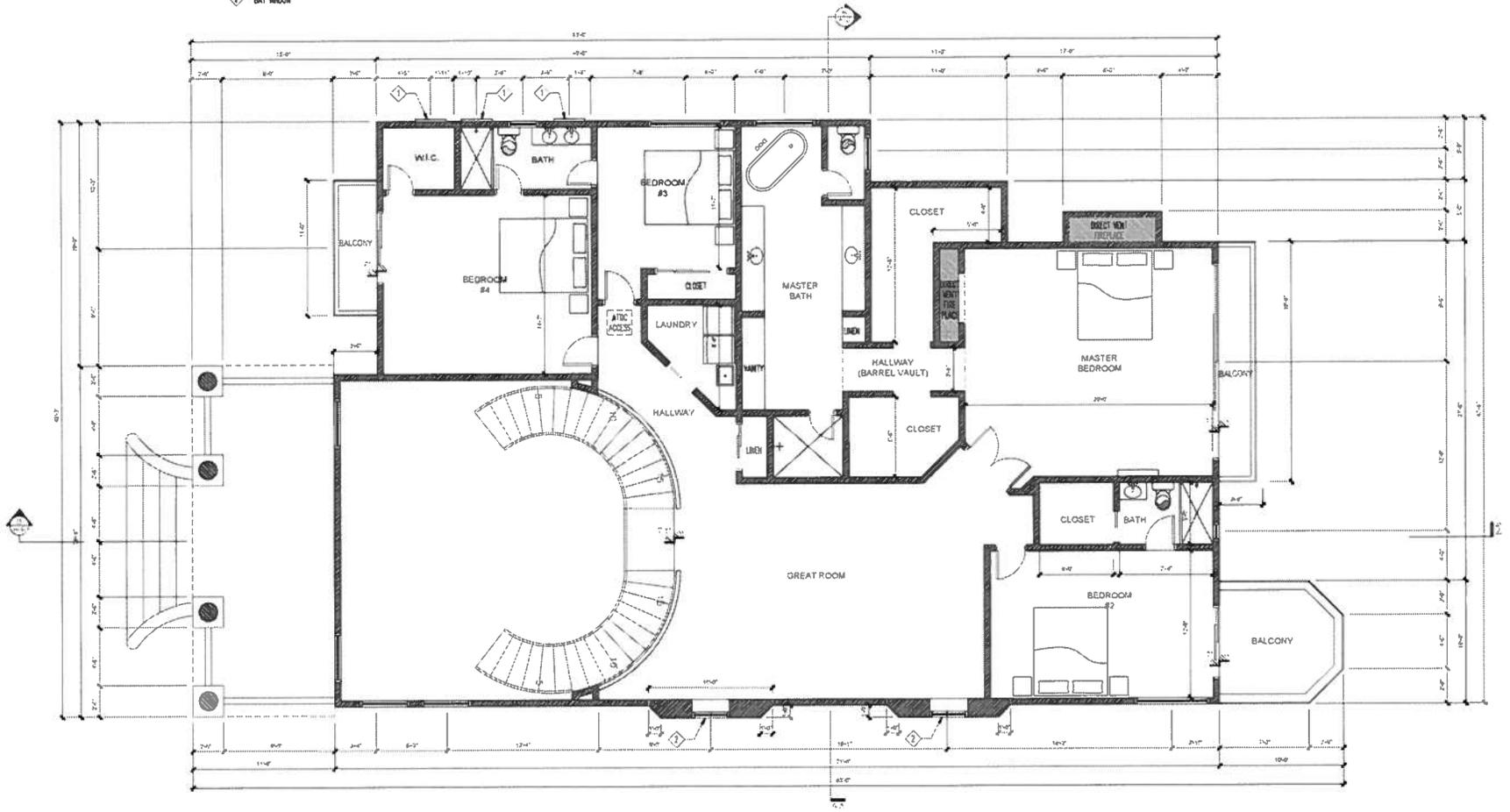
DATE: 01/22/2017
 TIME: 11:00 AM
 DRAWN BY: J. W. W. / J. W. W.
 CHECKED BY: J. W. W. / J. W. W.
 PROJECT NO: 205020102

PROJECT PLAN
JOB NO. OVERAGE
DATE: 01/22/2017
SCALE: 1/4" = 1'-0"
SHEET NUMBER

A2.0

PLAN NOTES

- ① WINDOW FRAME ATTACHED TO WALL
EXTERIOR, NO OPENING
- ② BAY WINDOW



REVISIONS	BY

VALLECOS
 ARCHITECTURAL PROJECT ARCHITECTS
 1400 S. GARDEN AVENUE
 ANAHEIM, CA 92805
 TEL: 714.944.1111

DRONA RESIDENCE
 28500 DRIVER AVE, AGOURA HILLS, CA 91301
 PROPOSED 2-STORY SINGLE FAMILY DWELLING
 APT. 202509-02-01

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SECOND FLOOR PLAN
 JOB ID: DROMER AVE
 DR: VJK, TP: JLB
 DATE: 01.22.2010
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

A3.0

REVISIONS	BY:

VALLECOS
 (SINCE FROM PROJECT INaugers)
 vallecosp@comcast.net 415-554-1851

DRONA RESIDENCE
 28500 DRIVER AVE. AGOURA HILLS, CA 91301
 PROPOSED 2-STORY SINGLE FAMILY DWELLING

JUN 2025 (03-25-02)

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ROOF PLAN

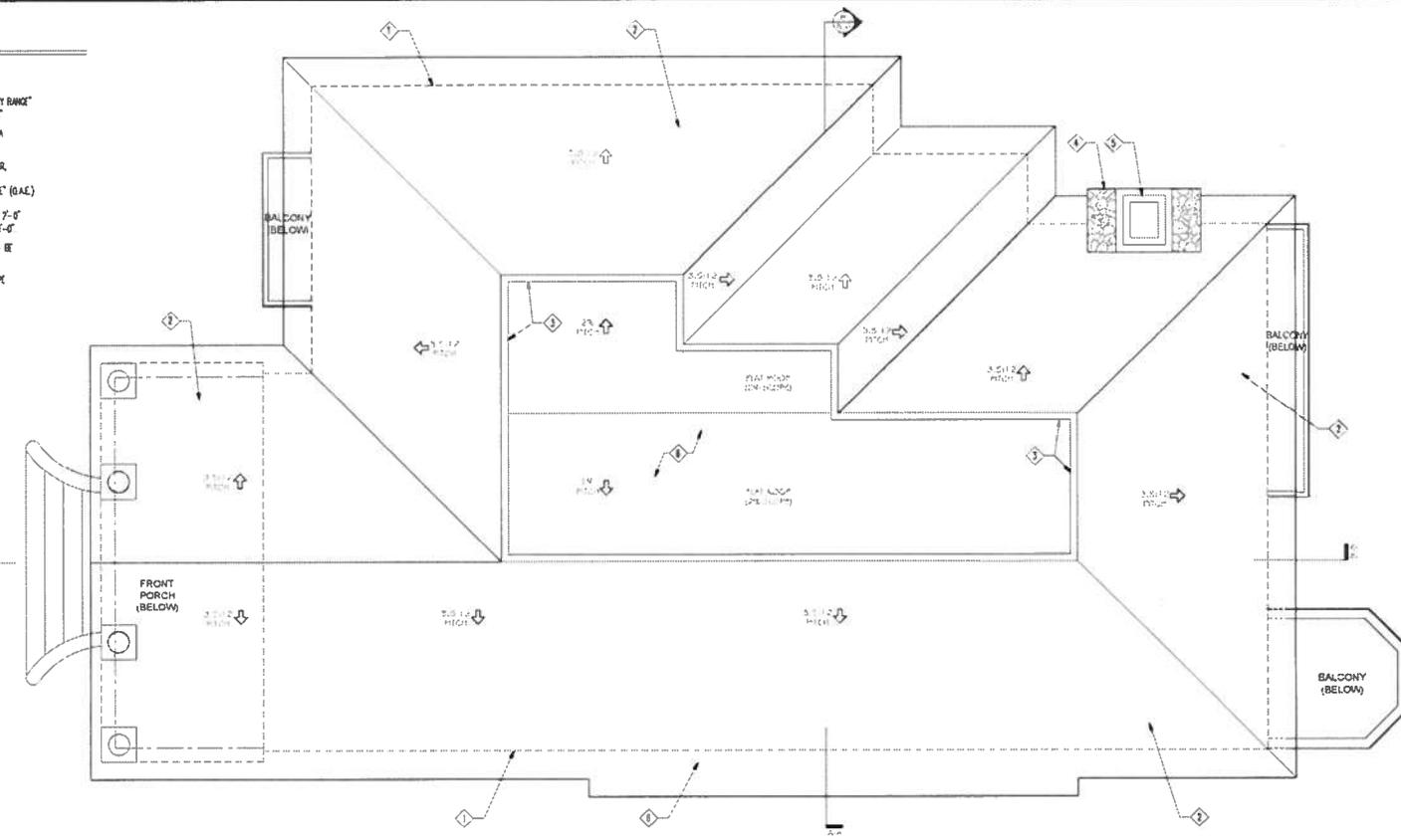
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 TB WIX: FY 1.0
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 SHEET NUMBER

A4.0

CITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

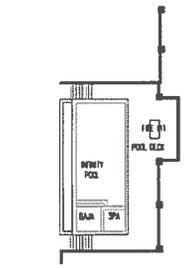
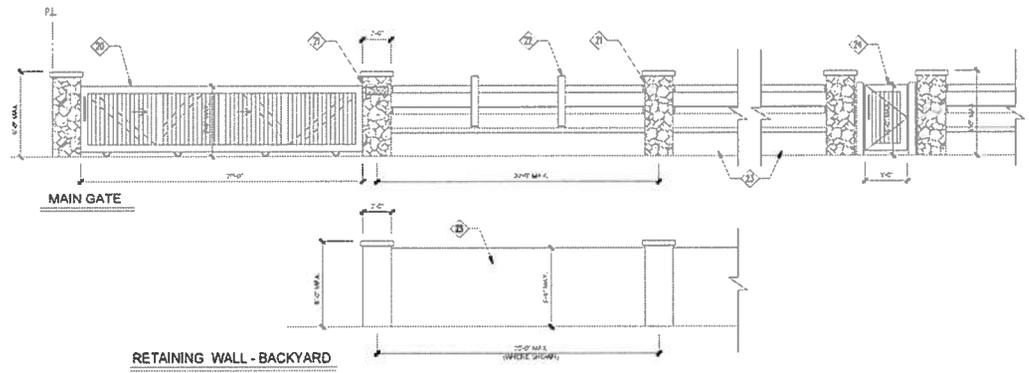
ROOF NOTES

- ① LINE OF WALL BELOW
- ② CLASS A FLAT ROOF TRUSS "BROWN GRAY RANGE" BY "EAGLE / BORNAL ROOFING PRODUCTS"
- ③ PARAPET WALL AROUND FLAT ROOF AREA [BEHR PLATEAU PPM-08]
- ④ CMU CHIMNEY WRAPPED IN STONE VENEER, PER MANUFACTURER SPECIFICATIONS STYLE: "LUCERA" BY "EL DORADO STONE" (I.A.E.)
 CHIMNEY SHOULD EXTEND A MINIMUM OF 7'-0" ABOVE ANY PORTION OF ROOF MINIMUM 10'-0"
- ⑤ AN APPROVED SPARK ARRESTOR SHOULD BE INSTALLED AT TOP OF CHIMNEY
- ⑥ CLASS A, CMU TPO ROOFING AT 2% SLOPE COLOR: "SLATE GRAY"



ELEVATION NOTES

- ⑦ ROLLING GATE (MOTORIZED) 5'-0" TOTAL HEIGHT, WOOD PAINTED BROWN [BEHR CHOCOLATE SHIR, PPM-18]
- ⑧ PLASTER WITH DECORATIVE STONE VENEER, 6'-0" MAX. HEIGHT [EL DORADO STONE - HILLSTONE (LUCERA)]
- ⑨ WEATHER TREATED, 2x6 PLANKS, PAINTED BROWN [BEHR CHOCOLATE SHIR, PPM-18]
- ⑩ SMOOTH FINISH, FRESH CEMENT PLASTERING ON CMU BLOCK WALL, FINISHED AND PAINTED BROWN [BEHR PLATEAU PPM-08]
- ⑪ (N) 3'-0" WIDE SOLID WOOD GATE 5'-0" HIGH MAX. PAINTED BROWN [BEHR CHOCOLATE SHIR, PPM-18] SEE LOCATION ON A1.0



RETAINING WALL LOCATIONS

ROOF PLAN - SCALE 1/4" = 1'-0" NORTH

ELEVATION NOTES

- 1 STEELED, SHEDDIN FINISH, PAINTED BROWN [BERN PLATEAU PPM1-02]
- 2 CLASS A, FLAT ROOF TILES "BROWN GRAY RANGE" BY "LAZULI / BURAL ROOFING PRODUCTS"
- 3 STONE VENEER, ANCHORED TO WALL PER MANUFACTURER SPECIFICATIONS STYLE: "GOLDEN HARKYST" BY "CORONADO" STONE (D.A.C.)
- 4 JAMES HARDIE BOARD LAP SIDING [WOODSTOCK BROWN]
- 5 WOOD RAILING 3'-6" HIGH COLOR: "WHITE"
- 6 FASCIA BOARDS COLOR: "WHITE"
- 7 DOOR AND WINDOW FRAMES, SILLS, AND ACCENTS COLOR: "WHITE"
- 8 LOW DECORATIVE OLD WALL AT ENTRY COLOR: "WHITE"
- 9 BALCONY OUTER FRAMING COLOR: "WHITE"
- 10 MAIN ENTRY DOOR [TRIP: CHOCOLATE SOUL M01-58]
- 11 ENTRY COLUMNS COLOR: "WHITE"
- 12 WINDOW SHUTTERS COLOR: "WHITE"



NORTH ELEVATION - SCALE 1/4" = 1'-0"



EAST ELEVATION - SCALE 1/4" = 1'-0"

REVISIONS	BY

VALLECOS
 RESIDENTIAL PROJECT ARCHITECTS
 14500 S. VALLEY BLVD. SUITE 100
 TUSTIN, CA 92680
 TEL: 714.261.1111

DRONA RESIDENCE
 28500 DRIVER AVE. AGOURA HILLS, CA 91001
 PROPOSED 2-STORY SINGLE FAMILY DWELLING

DATE: 03.22.2017
 DRAWN BY: J.P.
 CHECKED BY: J.P.
 PROJECT NO: 17-001

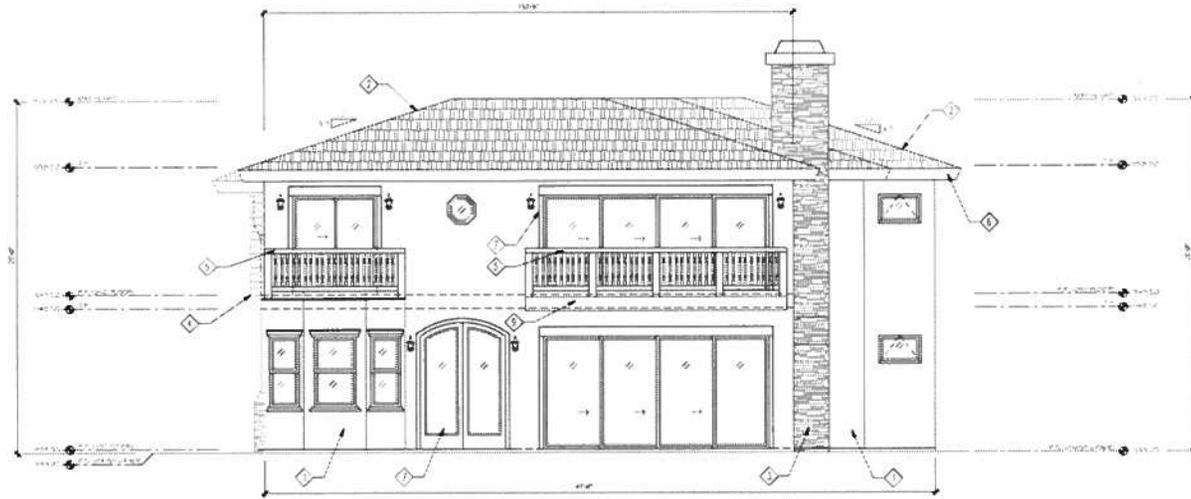
ELEVATIONS - NORTH AND EAST

JOB NO: DRIVER AVE
 JOB NO: 17-001
 DATE: 03.22.2017
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER

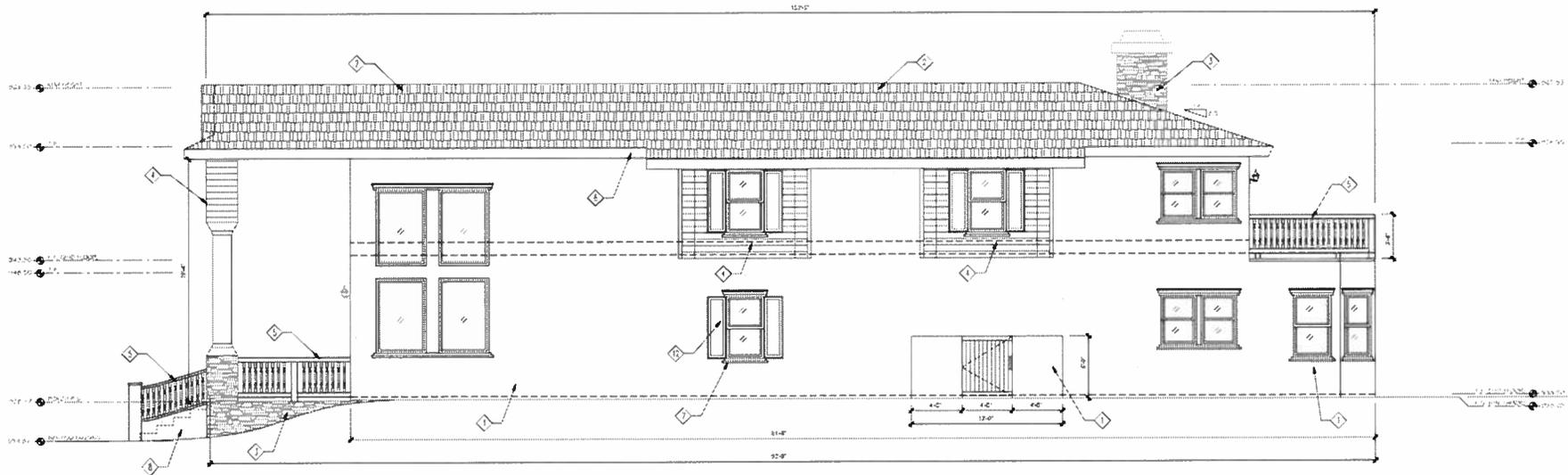
A5.0

ELEVATION NOTES

- ① STUCCO, SMOOTH FINISH, PAINTED BROWN (BEHR PLATEAU PPH-08)
- ② CLASS A, FLAT ROOF TILES "BROWN GRAY RANGE" BY "EAGLE / BORGAL ROOFING PRODUCTS"
- ③ STONE VENEER, ANCHORED TO WALL PER MANUFACTURER SPECIFICATIONS
STYLE: "GOLDEN HARVEST" BY "CORONAQUO" STONE (O.A.C.)
- ④ JAMES HARDIE BOARD LAP SIDING (WOODSTOCK BROWN)
- ⑤ WOOD RAILING 3'-6" HIGH
COLOR: "WHITE"
- ⑥ FASCIA BOARDS
COLOR: "WHITE"
- ⑦ DOOR AND WINDOW FRAMES, SILLS, AND ACCENTS
COLOR: "WHITE"
- ⑧ LOW DECORATIVE CHAIR RAIL AT EVERY
COLOR: WHITE
- ⑨ BALCONY OUTER FRAMING
COLOR: "WHITE"
- ⑩ MAIN ENTRY DOOR
(BEHR CHOCOLATE SOUL MCH-56)
- ⑪ ENTRY COLUMNS
COLOR: "WHITE"
- ⑫ WINDOW SHUTTERS
COLOR: "WHITE"



SOUTH ELEVATION - SCALE 1/4" = 1'-0"



WEST ELEVATION - SCALE 1/4" = 1'-0"

REVISIONS	BY

VALLECOS
 LEAD ARCHITECT
 vallecospa.com 415.554.851

DRONA RESIDENCE
 28500 DRIVER AVE, AGOURA HILLS, CA 91301
 PROPOSED 2-STORY SINGLE FAMILY DWELLING
 [APR 2024] 04/24/2024

THIS DRAWING IS THE PROPERTY OF VALLECOS ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF VALLECOS ARCHITECTURE IS STRICTLY PROHIBITED. THE CLIENT AGREES TO HOLD VALLECOS ARCHITECTURE HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DRAWING.

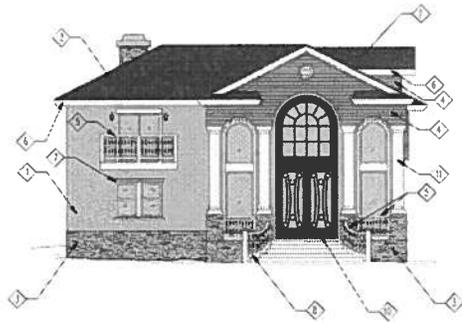
ELEVATIONS - SOUTH AND WEST
 JOB ID: DRONA-AVE
 DESIGNED BY: PV: J.A.
 DATE: 03/22/2024
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

A5.1

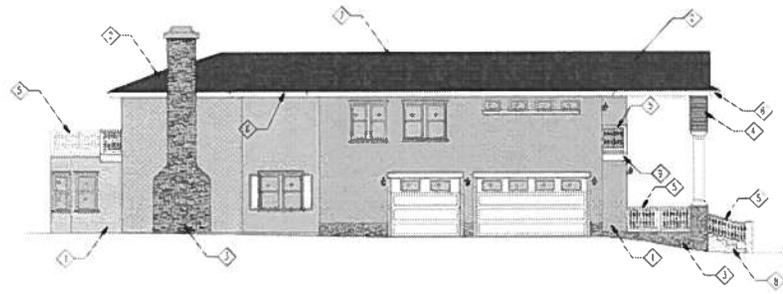
SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

ELEVATION NOTES

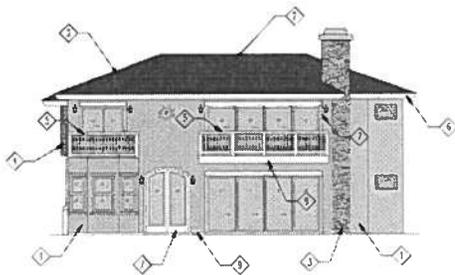
- 1 STUCCO, SHOWN FINISH, PAINTED BROWN [BEHR PLATEAU PPU4-08]
- 2 CLASS A, FLAT ROOF TILES "BROWN GRAY RANGE" BY "LAGE / BORN, ROOFING PRODUCTS"
- 3 STONE VENEER, HANGING TO WALL PER MANUFACTURER SPECIFICATIONS
- 4 JAMES HARDIE BOARD LAP SIDING [WOODSTOCK BROWN]
- 5 WOOD RAILING 3'-8" HIGH COLOR: "WHITE"
- 6 FASCH BOARDS COLOR: "WHITE"
- 7 DOOR AND WINDOW FRAMES, SILLS, AND ACCENTS COLOR: "WHITE"
- 8 LOW DECORATIVE CHU WALL AT ENTRY COLOR: WHITE
- 9 BALCONY OUTER FRAMING COLOR: "WHITE"
- 10 MAIN ENTRY DOOR [BEHR CHOCOLATE SOUL M01-58]
- 11 ENTRY COLLARS COLOR: "WHITE"
- 12 WINDOW SHUTTERS COLOR: "WHITE"



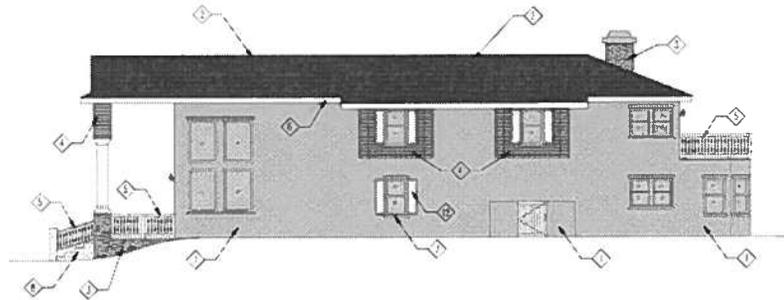
NORTH ELEVATION - SCALE 1/8" = 1'-0"



EAST ELEVATION - SCALE 1/8" = 1'-0"



SOUTH ELEVATION - SCALE 1/8" = 1'-0"



WEST ELEVATION - SCALE 1/8" = 1'-0"

REVISIONS	BY

VALLECOS
 ARCHITECTURE
 11555-1851

DRONA RESIDENCE
 28500 DRIVER AVE, AGOURA HILLS, CA 91301
 PROPOSED 2-STORY SINGLE FAMILY DWELLING
 APR. 2024 (04.01.24)

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ELEVATION COLOR
JOB ID: DRONA AVE
DS W/V: PV: 1.8
DATE: 03.22.2024
SCALE: 1/8" = 1'-0"
SHEET NUMBER

A5.2

DATE PLOTTED: 04/11/24 10:58 AM; PLOTTER: HP DesignJet T1300; PLOT SCALE: 1/8" = 1'-0"

Exhibit E



12



7



6



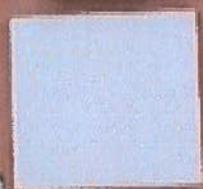
1



6



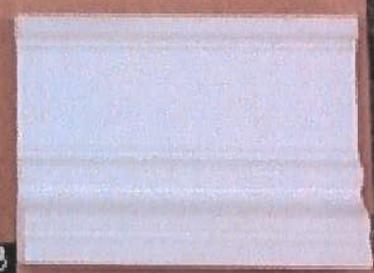
9



2



10



3

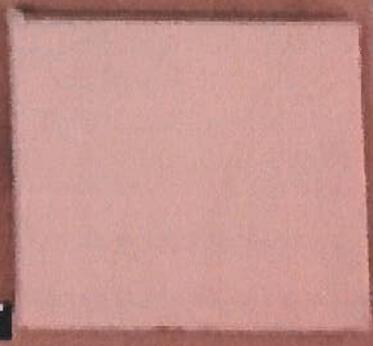
1. 20' x 20' x 1/2" (1/2" thick)
 2. 20' x 20' x 1/2" (1/2" thick)
 3. 20' x 20' x 1/2" (1/2" thick)
 4. 20' x 20' x 1/2" (1/2" thick)
 5. 20' x 20' x 1/2" (1/2" thick)
 6. 20' x 20' x 1/2" (1/2" thick)
 7. 20' x 20' x 1/2" (1/2" thick)
 8. 20' x 20' x 1/2" (1/2" thick)
 9. 20' x 20' x 1/2" (1/2" thick)
 10. 20' x 20' x 1/2" (1/2" thick)
 11. 20' x 20' x 1/2" (1/2" thick)
 12. 20' x 20' x 1/2" (1/2" thick)



4



11



5

28500 DRIVER AVE
MANISH DRONA

DESIGN: WILMAR VALLECKIS 818 454 8831

Exhibit F

Old Agoura Home Owners Planning and Zoning Committee

March 25, 2019

Attn: City of Agoura Hills Planning Dept.

Drona Project: Driver Ave. APN :2055-004-040

The Planning and zoning committee from the Old Agoura Planning and Zoning Committee has reviewed the revised proposed project by Vallecios Design Studio, dated 08/06/2018

The project; approximately 4,895 S.F. of a new two story residence, and proposed pool.

We appreciate the applicant taking steps to mitigate our concerns. The applicant added some articulation on the west, and changed some of the finishes in the front elevation.

Our guide lines, request scale mass and architecture should be sensitive to Old Agoura heritage. The front elevation, with the large columns, and 18' high entry doors and windows does not represent homage to our design guidelines. This project, with the smaller ascending lot, minimal front setback, raised front porch and gable, will be overpowering.

The east side of the house, only allows for 23' between the house and the property line fence at the garage door. Typically, a minimum of 26'7" is considered minimum turning radius in front of the garage. (LADBS parking standard used) Allowing turning radius reductions, means it's impractical for full size trucks and SUV's to use the garage for parking.

Old Agoura, is an agricultural, equestrian open space designated neighborhood. Taking away a place for trucks, trailers and Suv's to park, means that we are in fact, making it impractical to support those activities. This site, does not have any other place to park a truck and or a horse trailer

Our committee reviewed the new plans, and sought opinion from 2 residences to justify our findings. It is our committee's opinion, and the opinion from 2 of the 2 residences asked, agree the project does not fit Old Agoura Guide lines.

In conclusion, we do not support the project as it does not follow our guidelines for the following reasons:

955- C, The proposed design is in character with existing development in the Old Agoura District, in terms of height, materials, colors, roof pitch, roof eaves, and the preservation of privacy.)

9553.6. - Required architectural style and building materials. Project design and development shall perpetuate and reinforce the natural character of Old Agoura.)

Thank you.

Daniel Farkash
Mike Cobella
Phil Ramuno

Exhibit G

Doug Hooper

Subject: Old Agoura

From: Ron Troncatty <rontron2000@yahoo.com>

Sent: Tuesday, March 26, 2019 12:22 PM

To: Doug Hooper <dhooper@ci.agoura-hills.ca.us>; Renee Madrigal <rmadrigal@ci.agoura-hills.ca.us>; Valerie Darbouze <VDarbouze@ci.agoura-hills.ca.us>; Nathan Hamburger <NHamburger@ci.agoura-hills.ca.us>; Greg Ramirez <gramirez@ci.agoura-hills.ca.us>

Subject: Old Agoura

March 26, 2019

Att: City of Agoura Hills Planning Dept

RE:Drona Project / Driver Ave

APN: 2055-004-040

To Whom It May Concern;

This project seems just one more example of developers coming into Old Agoura to exploit our large lots with little intention of enjoying Old Agoura's rural quality of life.

This project as presented does not belong in Old Agoura. It doesn't represent the values of Old Agoura, and lastly is a slap in the face of us who have worked so hard to create a vision for Old Agoura and its historic rural agricultural nature.

The Planning department in receiving such an application should realize that the intention of applicant is not to share in the Old Agoura lifestyle and impose the strictest guidelines described in the Overlay, especially regarding "hardscape" which should include **any and all** hard surfaces covering the earth, except on flag lots.

Although the neighboring properties to the west and north equally share little of the Old Agoura lifestyle it must be noted that they were approved before the Overlay district was created.

Years ago when creating the hardscape clause it was intended to discourage development that would render properties "horse useless"

In responding to applications such as this one the Planning department often times seems to miss this goal in their discretions

Being satisfied by simply requiring a set aside horse area without taking in consideration, practicality and or common sense use, seems to happen more and more in the Planning department's response to such applications of late.

Ron Tron

Exhibit H



1. FROM FRONT OF STREET



2. FROM FRONT OF ADJACENT NEIGHBOR ON WEST



3. FROM FRONT PROPERTY LINE LOOKING AT UPWARD SLOPE



4. FROM REAR PROPERTY LINE LOOKING AT DOWNWARD SLOPE



5. ~20 FROM NORTH PROPERTY LINE FACING SOUTH WEST



6. ~25 FEET AWAY FROM SOUTH PROPERTY LINE / FENCE