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**PLANNING DEPARTMENT**

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**DATE:** May 16, 2019

**TO:** Planning Commission

**APPLICANT:** Adrienne Jacob  
5911 Colodny Drive  
Agoura Hills, CA 91301

**CASE NOS.** SPR-01493-2018 & OAK-01494-2018

**LOCATION:** 5911 Colodny Drive (APN 2055-028-041)

**REQUEST:** Request for approval of a Site Plan/Architectural Review for a substantial remodel of an existing one-story single-family residence of 1,667 square feet and attached 564 square-foot garage by adding a second story and expanding the first story for a total 4,391 square-foot residence and 787 square-foot garage; approval of an Oak Tree Permit to encroach into the protected zone and canopies of three (3) on- and off-site oak trees; and to make a finding of exemption under the California Environmental Quality Act.

**ENVIRONMENTAL DETERMINATION:** Exempt from the California Environmental Quality Act (CEQA) per Section 15301(e) of the CEQA Guidelines.

**RECOMMENDATION:** Staff recommends the Planning Commission approve Site Plan/Architectural Review Case No. SPR-01493-2018 and Oak Tree Permit Case No. OAK-01494-2018, subject to conditions, based on the findings of the attached Draft Resolution.

**ZONING DESIGNATION:** Residential Very Low Density – Old Agoura Design Overlay District – Equestrian Overlay District (RV-OA-EQ)

**GENERAL PLAN DESIGNATION:** Residential Very Low (RV)

## **I. PROJECT BACKGROUND AND DESCRIPTION**

The applicant, Adrienne Jacob, is requesting approval of a Site Plan/Architectural Review for a substantial remodel of an existing 1,667 square-foot, single-story residence and 564 square-foot garage at 5911 Colodny Drive. The applicant is also requesting an Oak Tree Permit to encroach into the protected zones and canopies of three (3) on- and off-site oak trees, and prune two (2) other oak trees to construct the addition and remodel. The approximately one-acre lot (1.1 acres or 47,912 square feet) is northwest of the intersection of Colodny Drive and Balkins Road in Old Agoura. The lot is zoned Residential Very Low (RV) and is in the Old Agoura Design (OA) and Equestrian Overlay (EQ) districts.

The project involves adding 997 square feet to the existing home's first floor and converting the 564 square-foot garage to habitable space. A second floor of 2,350 square feet, plus a 374 square-foot unfinished (uninhabited) attic, along with a new 787 square-foot three-car garage would be added. Two patio covers, each with a solid roof, would be created, one attached to the front and one to the rear of the house, for a total 907 square feet.

In addition to the residence, the lot currently contains a barn (1,014 square feet), two (2) equestrian shade covers (totaling 480 square feet), two (2) sheds (totaling 206 square feet), six (6)-foot high wood and chain link fencing, and a private septic system. These items would remain. The semi-circular driveway and approaches into the property would be reconfigured. One half of the driveway would be preserved and covered with gravel, and a separate driveway covered with decomposed granite would be created from the street to the rear of the lot along the south side of the property. The driveway aprons from Colodny Drive would be realigned with the new driveways. Currently, the front yard has not hardscape.

The applicant removed a failing three (3)-foot high masonry retaining wall in the front yard, and proposes to rebuild it in its place with a four (4)-foot high wall built with railroad ties. The wall would continue to retain a Coast Live Oak tree and the new driveway.

The lot has a gentle slope and gradually descends from an elevation of 1,042 feet above mean sea level (MSL) at the street to 1,016 feet above MSL at the rear of the lot over a 375-foot length. It is not considered a hillside lot because the overall average slope is less than ten (10) percent.

The following table summarizes how the proposed project compares with the relevant lot and development standards.

	Existing	Proposed	Allowed/Required /Recommended
<b>Lot Dimensions</b>			
Size	47,912 sq.ft.	47,912 sq.ft.	43,560 sq.ft.min.
	1.1 acres	1.1 acres	1 acre min.
Lot Width	373.62	373.62	No min. dimensions
Lot Depth	128.96	128.96	No min. dimensions
<b>Building Height</b>			
	13 ft. 2 in.	25 ft. 10 in.	35 ft.
<b>Building Setback</b>			
Front (East)	110 ft.	55 ft. 3 in.	25 ft. min.
Rear (West)	228ft.	214.9 ft.	25 ft. min.
Side (North)	14 ft. 8 in.	14 ft. 8 in.	12 ft. min.
Side (South)	17 ft. 3 in.	17 ft. 3 in.	12 ft. min.
<b>Building Square Footage</b>			
Residence			
1 <sup>st</sup> floor	1,667 sq.f.t	3,228 sq.ft.	n/a
2 <sup>nd</sup> floor		789 sq.ft.	n/a
Attic Space		374 sq.ft.	n/a
<i>Total Residence</i>	1,667 sq.ft.	4,391 sq.ft.	n/a
Garage	564 sq.ft.	787 sq.ft.	n/a
Front Porch		221 sq.ft.	n/a
Rear Patio		687 sq.ft.	n/a
Accessory Structures			
Barn	1,014 sq.ft.	1,014 sq.ft.	n/a
Shade Covers	480 sq.ft.	480 sq.ft.	n/a
2 Sheds	206 sq.ft.	206 sq.ft.	n/a
<b>Total Structures</b>	<b>3,931 sq.ft.</b>	<b>7,786 sq.ft.</b>	<b>n/a</b>
Applicable square-footage for lot coverage	3,931 sq.ft.	6,623 sq.ft.	11,978 sq.ft.
<b>Building Coverage</b>			
	8.2%	13.8%	25%
<b>Maximum Floor Area (Recommended)</b>			
	2,792 sq.ft.	5,925 sq.ft.	5,388.22 sq.ft.

The project requires Planning Commission approval, as the addition is considered a substantial remodel, exceeding 30 percent of the original house square footage per Sections 9223.8 and 9223.9 of the Zoning Ordinance (RV district standards).

## II. STAFF ANALYSIS

### A. Site Plan and Buildings

The property is currently served by two driveways on Colodny Drive, connected by an unfinished circular driveway. One side of the driveway branches off and leads to the street facing garage door. The project would redirect the driveway to lead to a north facing garage door instead. The three-foot high retaining wall that was removed from the front yard would be replaced to retain the sloping driveway and an existing oak tree. The driveway would be finished with gravel. The existing driveway leading to the equestrian area along the south side of the property (left of the house) would be surfaced with decomposed granite (DG). As shown in the table above, the new footprint is approximately 1.75 times the size of the original one. The new L-shape residence coverage remains, however, below the maximum building coverage of 25 percent with 13.8 percent, including the existing accessory structures. The footprint expands into the front yard, which reduces the front yard setback to 55 feet from 110 feet, but still maintains the minimum 25-foot setback required by the RV zone. The location of the building pad remains generally in the same location of the lot. The south side yard would remain at 17 feet 3 inches whereas a minimum of 12 feet must be provided. The side yard setback would remain the same where the addition is proposed, as the structure would extend toward the front yard. The rear yard and the northern side yard setback would remain as exiting with over 200 feet of setback and 14 feet 8 inches respectively. As such, a large equestrian area is preserved in the rear yard with a recommended 12-foot wide vehicular access connecting it to the street along the south side of the property.

The roof height would be increased to two-stories and a maximum height of 25 feet 10 inches compared to the current 13 feet 2 inches. The new roof would be below the maximum 35-foot height allowed in the RV zone. The building pad is situated lower than the street elevation by seven (7) feet. As a result, the house height would appear approximately 18 feet high as viewed from the street, thereby reducing the visual impacts of the massing of the structure. The five (5) single-story accessory structures, which primarily serve the equestrian use, include a 1,014 square-foot barn, two (2) shade covers totaling 480 square feet, and two (2) storage sheds totaling 206 square feet will remain in place in the rear yard.

To encourage applicants to design projects that are compatible with the neighborhood scale and in proportion to the lot size, the City Architectural Design Standards & Guidelines (ADS&G) establish a maximum recommended<sup>1</sup> useable floor area in Old Agoura. The usable floor area includes the total square footage of the house (first and second stories), plus attached solid patio covers. It exempts a 690 square-foot garage, street fronting covered porch, attached open

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<sup>1</sup> The maximum square footage is a guideline and not a standard. Therefore, the Planning Commission may approve the proposed square footage at its discretion when evaluating whether the project satisfies the required findings.

beam covers, and an unenclosed 300 square-foot or enclosed 576 square-foot structure for animal keeping. Per the ADS&G calculation, the project could be allowed 5,358 square feet for a lot between 40,001 (0.92 acres) and 80,000 square feet (1.84 acres). The lot is 47,916 square feet, or 1.1 acres. The project proposes 5,925 square feet of usable floor area, which is 567 square feet above the ADS&G recommended square footage for this lot size. A portion of the square footage is attributed to the equestrian structures, which are encouraged in the Old Agoura Design Overlay district.

#### B. Architectural Design

The architecture of the two-story residence would be barn style with white vertical wood siding, black standing seam metal roofing, and black aluminum framed windows. The window openings are enhanced with a wood trim and black barn hanging shutters that roll in front of the windows like barn doors. The chimney is clad with metal. The standing seam metal gable roof is steep with a 12:3 pitch. The choice of materials, with wood siding and doors and metal roof, complies with the rustic and eclectic style of architecture called for in Old Agoura. The house is designed in an L-shape to minimize impacts to the oak trees on the site, but also to limit the visual impact of the building mass as viewed from the street. The second story roof line is parallel to the street and includes a row of small windows to light the high volume ceilings. The attic has no habitable space. The portion of the second story perpendicular to the street and above the garage consists of habitable space, with a large window facing the street. As a result, only a narrow two-story volume can be viewed from the street. The entrance to the garage faces north and away from the street. A faux barn door is applied to the gable elevation facing the street to emphasize the barn style of the house. The ADS&G specific to the Old Agoura Neighborhood recommend rear or side-facing garage access, and natural materials such as wood, as proposed by the project. The size of the house is in proportion with the size of the lot and other houses in the vicinity with a two-story design. The new front porch is also consistent with the ADS&G.

The lot is adjacent to other developed residential lots, with the six (6) closest lots having an average size of 1.33 acres (57,724 square feet) and a median size of 1.23 acres (53,600 square feet). Residences in the area average 3,130 square feet, with a median size of 2,991 square feet.

The project proposes new lighting, which includes wall-mounted barn style light fixtures pointing downward with a black solid cover to match the style and colors of the residence. The lighting is not expected to adversely affect the adjacent developed properties and passersby on Colodny Drive because it would be limited to the area immediately surrounding the residence, and the residence is set back a sufficient distance (more than the minimum required yard) from the street and adjacent lots.

The project was reviewed by the Architectural Review Panel (“ARP”) for consistency with the ADS&G. The ARP recommended a minor change to the roof line that the applicant addressed, and recommended color photo simulations for the Planning Commission’s use. The applicant has complied with this recommendation and the exhibits are included as Attachment 5. The existing accessory structures are clad with white siding and dark brown asphalt shingles, and consistent with the remodeled house.

#### C. Equestrian Overlay District

The project site is within the Equestrian Overlay District (EQ), which requires that a 1,500 square-foot horse-keeping area be identified on the property for equestrian purposes. The applicant currently owns horses and wants to maintain the 1,014 square-foot barn, and the 480 square-foot shade structure in the 14,870 square-foot fenced arena. The area is easily accessible from the street via the existing driveway. The residence will remain at least 35 feet away from on- and off-site equestrian structures per the Zoning Ordinance.

#### D. Old Agoura Overlay District

The purpose of the Old Agoura (OA) Design Overlay district, as stated in the Zoning Ordinance, is to preserve the unique character of Old Agoura through the establishment of special standards and design guidelines. The District calls for residential development to embrace an eclectic, rural style that preserves the equestrian nature of the area. The project is consistent with the overlay district in that the barn style of architecture is rustic. Wood siding and standing seam metal roof are materials consistent with Old Agoura. The remodeled structure maintains a low density appearance, as the second story massing would be minimized along the street view through façade design and window placement. The equestrian use of the site would be maintained. The Old Agoura Home Owners Planning and Zoning Committee has reviewed the project design. A copy of its letter dated January 21, 2019 is included as Attachment 3.

#### E. Engineering/Public Works Department

Grading would result in 260 cubic yards of soil exported from the property. The private septic system has been upgraded, and can accommodate the additional square footage of the proposed project per the Los Angeles County Health Department. Minor changes are proposed to the drainage, which were reviewed and approved as proposed. The scope of the project does not require extensive changes to the property drainage as no drainage concerns are known to have occurred on this particular parcel. The applicant has obtained the approval of the Los Angeles County Fire Department regarding access to the site.

#### F. Oak Trees

The applicant has applied for an Oak Tree Permit, and has submitted an oak tree report prepared by Richard Campbell, dated July 20, 2018, and updated on September 22, 2018 and April 11, 2019. A copy of the Oak Tree Report is included as Attachment 7. The report evaluates ten (10) Coast Live oak trees, seven (7) of which are on the parcel and three (3) off-site. The oak trees are located along the north and south sides of the property, straddling the property lines, with the exception of one large oak tree in the front of the residence. Three (3) of the ten (10) oak trees' protected zones and canopies will be encroached temporarily during the construction: one on-site oak tree (JOT-1) for the construction of a retaining wall and patio cover, and two off-site oak trees (OST-1 and OST-2) for potential pruning as a result of the construction of the taller new roof. The encroachment of three (3) oak trees is considered minor. With the incorporation of conditions of approval, the trees will not be adversely affected during construction. The retaining wall is to be constructed where a wall was previously located, and is necessary to support the soil at the base of the Oak tree (JOT-1). The hardscape on the north side of the property will remain in place. Pruning to raise the tree canopy with the intent of protecting the structure is supported by staff, and will have no unforeseen impacts to the oak trees as confirmed by the oak tree consultants. The proposed conditions of approval require the applicant to take precautionary measures when grading in proximity to the oak trees, fencing other oak trees during the construction phase using proper pruning methods, and restricting further development from the under the tree canopies.

Conditions Nos. 44 through 56 in Exhibit A of Attachment 1 are protective measures to ensure the continued health of all oak trees on- and off-site, and for the oak trees to remain during the construction phase, and in perpetuity after the construction is finalized.

#### G. General Plan Consistency

Staff finds the project will be consistent with the following applicable General Plan goals and policies:

*Goal LU-8 Residential Very Low- and Residential Low-Density Neighborhoods (Old Agoura).* Residential neighborhoods containing very low- and low-density housing reflecting Agoura Hills' history and designed to respect their environmental setting.

- Policy LU-8.1 Neighborhood identify. Promote and maintain the integrity of Old Agoura residential neighborhoods for their low-density large estates, rustic character, non-urban infrastructure, and keeping of horses and other farm animals.

- Policy LU-8.2 Development Compatibility with Community Character. Require that renovation of existing and construction of new housing and property improvements respect the characteristics that distinguish Old Agoura, including its topography parcel sizes, housing scale and form, nonurban infrastructure and streetscapes (no sidewalks, curbs and gutters, and street lighting), and equestrian trails.
- Policy LU-8.3 Integration of Development with Natural Setting. Require that buildings be located, scaled, and designed to reflect the existing terrain and minimize grading to the maximum extent possible. Structures shall be integrated into the hillsides, taking care to preserve the view-shed and natural ridgelines.
- Policy LU-8.4 Property Setbacks. Encourage variable setbacks to enhance streetscape character and increase building separation.
- Policy LU-8.5 Building Materials and Colors. Limit exterior building materials to those that have the appearance of materials that are characteristics of rural environments.
- Policy LU-8.6 Landscaping. Require that on-site landscapes transition smoothly to the natural undeveloped open areas.
- Policy LU-8.7 Open Spaces. Encourage the provision of open space areas suitable for horses or other farm animals, thereby enhancing the equestrian and rural character of the area.

The project complies with Goal LU-8 and its policies. The renovated and expanded residence would be consistent with neighboring properties with respect to height, density, and setbacks. The lot size is similar to the neighboring lots, and while the building square footage is greater than the existing residence, and neighboring properties, the building footprint coverage is less than permitted by the RV zone. The residences in the immediate vicinity, at the exception of the residence to the south, which was approved to be built with a 4,148 square-footage in 2007, were built in the 1950s and 1960s and have smaller square footages. Most have not been upgraded yet and have the same potential for expansion while complying with the RV lot coverage. The project requires only minor grading to re-orient the driveway.

The architecture is of a contemporary barn design, which reflects the rustic lifestyle of Old Agoura. The updated structure will match the existing horse structures on the property. The lot coverage preserves a large equestrian area in the rear of the property and its access to the street, and the remainder of the lot would remain in its natural condition.

*Goal LU-9 Single Family Neighborhoods.* Maintenance of the identity, scale and character of the City's distinct residential neighborhoods.



- Policy LU-9.1 Neighborhood Identity. Maintain the distinguishing characteristics that differentiate by topography, parcel size, housing scale and form, and public streetscapes in Agoura Hills' single-family neighborhoods.

The project complies with Goal LU-9 and Policy LU-9.1 in that it upgrades an existing structure while maintaining the rustic style of the neighborhood with its barn-like design and inviting front porch. The house would appear as a one-story structure from the street because of its existing lower building pad elevation, and would maintain a 55-foot setback distance from the street, which is over twice the minimum required.

#### H. Environmental Review

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorically Exempt from the CEQA Guidelines per Section 15301(e). This exemption includes the addition to an existing structure, 10,000 square feet or less. No significant environmental impacts are expected from development of this project. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

### III. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Site Plan/Architectural Review Case No. SPR-01493-2018 and Oak Tree Permit Case No. OAK-01494-2018, subject to conditions of approval, based on the findings of the attached draft resolution.

### IV. ATTACHMENTS

1. Draft Resolution of Approval and Exhibit A, Conditions of Approval
2. Letter from the Old Agoura Homeowners
3. Vicinity Map
4. Rendering and color and material board
5. Reduced copies of the architectural and grading plans
6. Photographs of the existing property
7. Oak Tree Report

Case Planner: Valerie Darbouze

RESOLUTION NO. 19-\_\_\_

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01493-2018 AND OAK TREE PERMIT CASE NO. OAK-01494-2018, FOR A SUBSTANTIAL REMODEL OF AN EXISTING SINGLE-FAMILY RESIDENCE LOCATED AT 5911 COLODNY DRIVE, AND MAKING A FINDING OF EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Adrienne Jacob with respect to the real property located at 5911 Colodny Drive (Assessor's Parcel No. 2055-028-041), requesting approval of a Site Plan/Architectural Review for a substantial remodel of an existing one-story single-family residence of 1,667 square feet and attached 564 square-foot garage by adding a second story and expanding the first story for a total 4,391 square-foot residence and 787 square-foot garage (Case No. SPR-01493-2018); and requesting approval of an Oak Tree Permit to encroach in the protected zone and canopies of three (3) on- and off-site oak trees for the proposed development (Case No. OAK-01494-2018).

Section II. The project is a request for expansion of square footage and height of an existing private residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15301(e) (Existing Facilities). The project would not result in significant impacts to the environment. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including but not limited to, subsection (c) which relates to unusual circumstances.

Section III. The Planning Commission of the City of Agoura Hills considered the applications at a public hearing held on May 16, 2019 at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Site Plan Review. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Zoning Ordinance Section 9677.5 that:

- A. The proposed use is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located. The residence and the proposed addition are permitted uses in the Residential Very Low (RV) zone with the approval of a Site Plan/Architectural Review application. The expansion of the use is also consistent with the zone by allowing more living space to the existing residence and a conforming garage while complying with the development of the zone and protecting the natural resource on- and off-site.
- B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare. The addition will be constructed within the buildable area of the lot. The property will be improved and maintained according to City Building Code standards and all building plans will be reviewed and approved by the City's Building and Safety Department. Access to the site will continue to be provided by two driveways. The septic system will accommodate the project.
- C. The proposed use will not conflict with the character and design of the buildings and surrounding area and is compatible with the surrounding properties and open spaces. The design of the proposed addition and renovation of the structure provides a desirable environment for its occupants, and does not conflict with the neighborhood character or conflict with open space areas in the neighborhood, because it maintains a rustic style of architecture, and protects the available equestrian use of the lot, as intended for the Old Agoura Design Overlay District. By placing the addition in the front of the lot, the addition maintains the staggered placement of homes along Colodny Drive to protect privacy and add interest to the residential street. Although the equestrian structures are not visible from the front of the lot, the residence's barn-like design is evidence of the rustic and equestrian development on this parcel.
- D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance, except for approved variances or modifications. No modification or variance is required as part of the request. The additional square footage is permitted in the RV zone. The increase in lot coverage building height, and changes to the yard setbacks comply with the development standards of the zone.
- E. The proposed use is consistent with the City's General Plan Goal LU-8 Residential Very Low- and Residential Low-Density Neighborhoods (Old Agoura), Policies LU-8.1 through LU-8.7 by complying with the building coverage and existing natural conditions of the site, including the topography, the oak tree resource and the natural growth of vegetation. The project is consistent with Goal LU-9 Single-Family Neighborhoods and Policy LU-9.1, which require maintaining the distinguishing characteristics that differentiate projects based on their topography, parcel size, housing scale and form, and public streetscapes in

Agoura Hills' single-family neighborhoods. The project remains in scale and character with the use of a wood-clad barn-like style of architecture, and with other residences in the neighborhood with the two-story design and massing. The neighborhood is characterized by a variety of front yard setback distances, and the project will be consistent with such setbacks and meet the setback standards of the zone. The height of the residence is below the maximum allowed in the RV zone, and the impact of the mass is reduced with a large front yard setback. The building pad is below the street elevation, thereby helping the structure appear lower in height. The project continues to provide for equestrian use, consistent with the neighborhood.

- F. The proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The residence is designed like a barn, compatible with the equestrian community. The emphasis of the development is put on the rustic and outdoor use of the property as encouraged by the Old Agoura residential community.

Section VI. Architectural Review. Based on the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Zoning Ordinance Section 9677.6.G, that:

- A. The proposed use is consistent with the General Plan, any specific plans, and any design standards adopted by the City Council. The project complies with the City General Plan Goal LU-8 and Policies 8.1 through 8.7, and LU-9 and Policy LU-9.1 by remaining in scale and character with the other residences in the neighborhood by complying with the building coverage and existing natural conditions of the site, including the topography, the oak tree resource and the natural growth of vegetation. The project is consistent with Goal LU-9 Single-Family Neighborhoods and Policy LU-9.1, which require maintaining the distinguishing characteristics that differentiate by topography, parcel size, housing scale and form, and public streetscapes in Agoura Hills' single-family neighborhoods. The project remains in scale and character with the use of a barn-like style of architecture, and with other residences in the neighborhood with the two-story design and massing. The neighborhood is characterized by a variety of front yard setback distances, and the project is consistent with such setbacks and meets the setback standards of the zone. The height of the residence is below the maximum allowed in the RV zone, and the impact of the mass is reduced with a large front yard setback. The building pad is below the street elevation, thereby helping the structure appear lower in height. The project continues to provide for equestrian use, consistent with the neighborhood.
- B. The design and location of the proposed development and its relationship to existing developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of existing or proposed

developments in the vicinity, and will not create traffic hazards or congestion. The proposed addition is located entirely within the buildable area of the lot and does not interfere with the use and enjoyment of existing development in the vicinity. Access to the property will continue with two driveways on Colodny Drive. The proposed project will not increase traffic in the neighborhood, as it is an addition to an existing home, and the structure will remain a single-family residence similar to the adjacent properties. Equestrian use will be maintained with the project.

- C. The proposed use is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of the City. The residence's remodel and addition will be compatible with the existing site and neighborhood. The design incorporates rustic elements and maintains equestrian use. The project complies with height, setback and building coverage standards. The design of the second story minimizes the appearance of massing from the street, and is consistent with other two-story residences in the surrounding area. Access to the lot via two driveways will be maintained. The project would allow more living space to the existing residence without detracting from the original development of the lot and indirectly of the neighborhood. The proposed colors and materials would maintain the rustic style of the structure.
- D. The design of the proposed development provides a desirable environment for its occupants, as well as for the project's neighbors. The renovation and addition benefits the residence's occupants by creating additional interior space and upgrading the structure, and improve the real estate asset of the community. The project will be compatible with the surrounding neighborhood in terms of rustic design, scale, and equestrian use.
- E. The proposed use complies with all applicable requirements of the district in which it is located and all other applicable requirements. Single-family residential uses and expansions to single-family units are allowed in the RV zone. The building site coverage, building setbacks, and building height will comply with the zone development standards. The project will maintain equestrian use of the site.
- F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare. The addition will be constructed within the buildable area of the lot. The property will be improved and maintained according to City Building Code standards and all building plans will be reviewed and approved by the City's Building and Safety Department. Access to the site will continue to be provided by two driveways. The septic system will accommodate the project.

Section VI. Oak Tree Permit. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds for the Oak Tree Permit, pursuant to Section 9657.5(C), and the Oak Tree Preservation Guidelines of the Agoura Hills Zoning Ordinance, that:

- A. The project will require encroaching into the protected zone of three (3) on- and off-site Coast Live oak trees to construct a retaining wall, patio cover and driveway, to construct the taller roof. Accordingly, it is necessary to encroach into the protected zone of these three (3) oak trees in order to develop the subject property.
- B. The proposed construction will be accomplished without endangering the health of the remaining trees on the subject property. The encroachment is considered minor and limited to the construction phase of the project. According to the City's oak tree consultant, the encroachment will not endanger the health of the remaining oak trees as long as the conditions of approval are enforced.
- C. Because no oak tree will be removed, the project will not result in soil erosion through the diversion or increased flow of surface waters, which cannot be satisfactorily mitigated.
- D. The removal or relocation of the three (3) oak trees is necessary because the continued existence at their present locations prevents the planned project on the subject property to such an extent that alternative development plans would be cost prohibitive. The project would require complete demolition and reconstruction of the structure, its foundation and private septic system elsewhere on the parcel, and the relocation of the oak trees would not guarantee their survival. The project minimizes the work around the trees and protects them during the construction phase. With the incorporation of conditions of approval, the trees will not be adversely affected during construction and beyond. The retaining wall is to be constructed where a wall was previously located, and is necessary to support the soil at the base of the Oak tree (JOT-1). The hardscape on the north side of the property will remain in place. Pruning to raise the tree canopy with the intent of protecting the structure is supported by staff, and will have no foreseen impacts to the oak trees as confirmed by the oak tree consultants. The proposed conditions of approval include the requirement for the applicant take precautionary measures when grading in proximity to the oak trees, fencing other oak trees during the construction phase using proper pruning methods, and restricting further development from the under the tree canopies. Therefore, the oaks, all of which will remain, will not be endangered by to the project.

Section VII. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. SPR-01493-2018 and Oak Tree Permit Case No. Oak-01494-2018, subject to the conditions attached hereto as Exhibit A, with respect to the property described in Section I hereof.

Section VIII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this

certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 16<sup>th</sup> day of May of 2019, by the following vote to wit:

AYES: (0)  
NOES: (0)  
ABSTAIN: (0)  
ABSENT: (0)

---

John Asuncion, Chair

ATTEST

---

Doug Hooper, Secretary

**EXHIBIT A**  
**CONDITIONS OF APPROVAL**  
**(Case Nos. SPR-01493-2018 & OAK-01494-2018)**

**PLANNING DEPARTMENT CONDITIONS**

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of these permits shall not be effective for any purpose until the applicant has agreed in writing that she is aware of, and accepts, all conditions of the permits with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, and Grading Plans.
4. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of these permits is held or declared invalid, the permits shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permits shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the permits or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Planning Director.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property for the primary residence, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and



Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.

12. Unless these permits are used within two (2) years from the date of City approval, Site Plan/Architectural Review Case No. SPR-01493-2018 & OAK-01494-2018 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of Building Permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.79 per square foot for residential construction.
15. All outstanding planning fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
16. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
17. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
18. The applicant is responsible for obtaining the approval from the Environmental Health Services Department regarding the upgrade of the on-site private septic system.
19. The Applicant, and property owner(s), and their successors in interest, shall indemnify, defend and hold harmless the City, its officials, officers, agents and employees (collectively "Indemnitees") from and against any and all claims, actions, lawsuits, damages, losses and liabilities arising or resulting from the granting of this approval by the City or the exercise of the rights granted by this approval. This indemnification obligation shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the Indemnitees in connection with any such claims, actions or lawsuits, any expert fees, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such claim, action or lawsuit. The City shall promptly notify Applicant and property owners of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. In the event such a legal action is filed, the City shall estimate its expenses for litigation. Applicant or property owners shall deposit such amount with the City or enter into an agreement with the City to pay such expenses as they become due. Applicant and property owners shall reimburse the City, and each of the Indemnitees for any and all legal expenses and costs incurred by it in enforcing the indemnity

herein provided. Although the Applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.

#### BUILDING AND SAFETY DEPARTMENT CONDITIONS

20. This project shall be subject to the 2016 California Residential, Building, Mechanical, Plumbing, Electrical, Energy, Green Building Codes and Agoura Hills Municipal Code.
21. All the code requirements for the Very High Fire Hazard Severity Zone (VHFHSZ) per Chapter 7A of the 2016 California Building Code, 2017 Los Angeles County Code and Agoura Hills Municipal Code apply to this project.
22. Per AQMD Rule 445 only fireplaces fueled by gas (such as gas logs) may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted.
23. Fire Sprinklers will be required for all new structures per Section 903.2, Article VIII of the Agoura Hills Municipal Code 903.2.
24. The project shall provide for a two (2) percent slope away from the structure for drainage (for the first five (5) feet from the building all around the new structures.
25. Per AQMD Rule 445, only fireplaces fueled by gas may be installed in a new residence. Permanently installed indoor or outdoor wood-burning fireplaces or stoves are not permitted.
26. Prior to the issuance of a Building Permit, a soils report is required to be submitted to the Building and Safety Department for this project along with a Grading Plan.
27. Built-in barbeques shall be located a minimum of three (3) feet from any combustible materials unless the material above is non-combustible or an approved UL listed hood is provided.
28. Los Angeles County Fire Department review and approval will be required for all new structures, prior to issuance of a Building Permit.
29. Los Angeles County Health Department approval is required for the installation of any septic tanks, leach fields or seepage pits and future leach fields and seepage pits, prior to issuance of a Grading Permit.
30. Applicable Las Virgenes School District fees shall be paid prior to the issuance of a Building Permit.
31. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Mechanical, Electrical,

Plumbing, Energy Plans, Title 24 plans will need to be submitted to Building and Safety Department for plan review and approval. Please be advised that this is a preliminary review and does not constitute a final Building and Safety approval.

#### ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

32. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
33. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of any permits, all improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc. shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at [www.ci.agoura-hills.ca.us](http://www.ci.agoura-hills.ca.us).
34. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
35. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
36. The grading plan shall show the location(s) of all Oak trees, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
37. Prior to permitting, the project shall obtain approval from the Los Angeles County Fire Department.
38. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The project is required to remove and replace the existing concrete driveway approaches, and all water appurtenances shall be constructed per Las Virgenes Municipal Water District's standards.

39. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
  - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
  - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
  - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
  - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
40. Prior to issuance of Certificate of Occupancy, all remaining fees/deposits required by the Engineering Department must be paid in full.
41. Prior to issuance of Certificate of Occupancy, all requirements including construction of improvements covered in condition number 38 must be completed to the satisfaction of the City Engineer.
42. Prior to issuance of Certificate of Occupancy, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.
43. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

## OAK TREE CONDITIONS

44. All tree minimization measures outlined in the Oak Tree Report (Richard W. Campbell, July 20, 2018, amended September 22, 2018, and April 2019) shall be implemented.
45. All oak trees located on the property shall be preserved in perpetuity.
46. Prior to the start of any work or mobilization at the site, protective fencing shall be installed at the Tree Protective Zone (TPZ) of the oak trees that are located adjacent to work activities. The applicant or their consulting arborist shall consult the City's Oak Tree Consultant to determine the exact fencing configuration and appropriate fencing material, and submit a fencing plan subject to approval by the City's Oak Tree Consultant. The City's Oak Tree Consultant shall verify the installation of protective fencing prior to the start of construction activities.
47. The applicant shall provide a minimum of 48-hours' notice to the City Oak Tree Consultant prior to the start of approved work within the TPZ of any oak tree.
48. No grading, scarifying or other soil disturbance shall be permitted within the portion of the TPZ of any oak tree.
49. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
50. No irrigation or ground cover shall be installed within the Protective Zone of any existing oak tree unless specifically approved by the City Oak Tree Consultant and the Planning Director.
51. Prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
52. No more than 10 percent of Oak Trees JOT 2 and 3 may be pruned for construction clearance purposes. Pruning shall be performed by a certified arborist and shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.
53. If there is room available on the branches that were cut on Oak Tree JOT 1 where wound dressing was applied, a clean cut should be made to remove the wound dressing and to increase the potential for compartmentalization (healing) take place. If applicable, this should only be conducted under the direction and/or supervision of the applicant's certified arborist.

54. Any ripped or torn roots on Oak Tree JOT-1 from the removal of the previous retaining wall shall be cut properly with pruning shears in accordance with ANSI A300 Standards – Part 1 Pruning prior to the construction of the new retaining wall.
55. No herbicides shall be used within 100 feet of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
56. The applicant's consulting arborist shall submit certification letters for all work completed within the TPZ of an oak tree within five working days of the completion of said work. The letter(s) shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

#### SOLID WASTE MANAGEMENT CONDITIONS

57. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
58. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
59. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

## Old Agoura Home Owners Planning and Zoning Committee

January 21, 2017

Attn: City of Agoura Hills Planning Dept.

Re: 5911 Colodny

The Planning and zoning committee, from the Old Agoura Home Owners Association has visited the subject site, and reviewed the plans provided by S- Concepts dated 6/11/2018.

The project consist of a major remodel and addition to the existing 1,667 square foot house. The project, when completed will be 4,017 square feet of conditioned space, it will have a new 787 square foot 3 car garage, a new front, and rear covered porch.

The property, is going to remain horse friendly with good access to the 16,000 (+ -) square foot arena and barn area. The plans represent the lot will have a maximum of 14.46% coverage, well under the maximum allowed.

The roof is shown as metal standing seam, which will match with the minimally pitched roof areas over the patios.

The scale and mass of the house, the farmhouse style architecture, the larger front setback, the color of the house, with accenting dark trim, are pleasing. The project as presented, compliments the essence of Old Agoura.

Assuming the project complies with local codes, we suggest approval of the project as presented.

Thank you for allowing Old Agoura Homeowners Planning and Zoning to comment on the project. Feel free to call Daniel Farkash at 818-599-6842 if you have any questions.

Daniel Farkash  
Phil Ramuno  
Mike Colabella

# City of Agoura Hills

SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01493-2018 & OAK TREE PERMIT CASE NO. OAK -01494-2018





**GENERAL NOTES:**

**GENERAL REQUIREMENTS**

1. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS ON THE DRAWINGS. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK.
2. EACH SUBCONTRACTOR WILL CLEAN UP HIS WASTE MATERIAL AND RUBBISH AND DEPOSIT SAME AT AN ONSITE DUMP AREA PROVIDED BY THE CONTRACTOR. CONTRACTOR SHALL LEAVE THE ENTIRE BUILDING AND PREMISES "BROOM CLEAN", ALL GLASS BRUSHED CLEAN AND FREE FROM STAINS AND DISCOLORATIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPERVISING ALL WORK AND FOR CONSTRUCTION MEANS, METHODS, SEQUENCE AND PROCEDURE. CONTRACTOR SHALL PROVIDE MEASURES NECESSARY TO PROTECT STRUCTURE DURING CONSTRUCTION. OBSERVATION VISITS TO THE SITE BY THE DESIGNER OR ENGINEER OR THEIR REPRESENTATIVES SHALL NOT INCLUDE INSPECTION OF THESE PROTECTIVE MEASURES. ANY SUPPORT SERVICES PERFORMED BY THE DESIGNER OR HIS REPRESENTATIVE DURING CONSTRUCTION SHALL BE FOR THE PURPOSE OF CONFORMANCE WITH CONTRACT DRAWINGS AND CONTRACTOR'S PERFORMANCE.

**SITE WORK**

1. ALL CONSTRUCTION WASTE AND DEBRIS SHALL BE KEPT IN AN ENCLOSED CONTAINER IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT STANDARDS.

**WOOD**

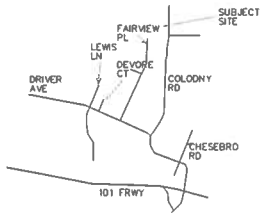
1. CONTRACTOR SHALL VERIFY PLAN DIMENSIONS RELATING TO ALL PLUMBING FIXTURE INSTALLATION.

**FINISHES**

1. PLASTERED SURFACES ON WALLS, CEILINGS AND ROOF SOFFITS EXPOSED TO THE WEATHER SHALL HAVE EXTERIOR LATH AND PLASTER.

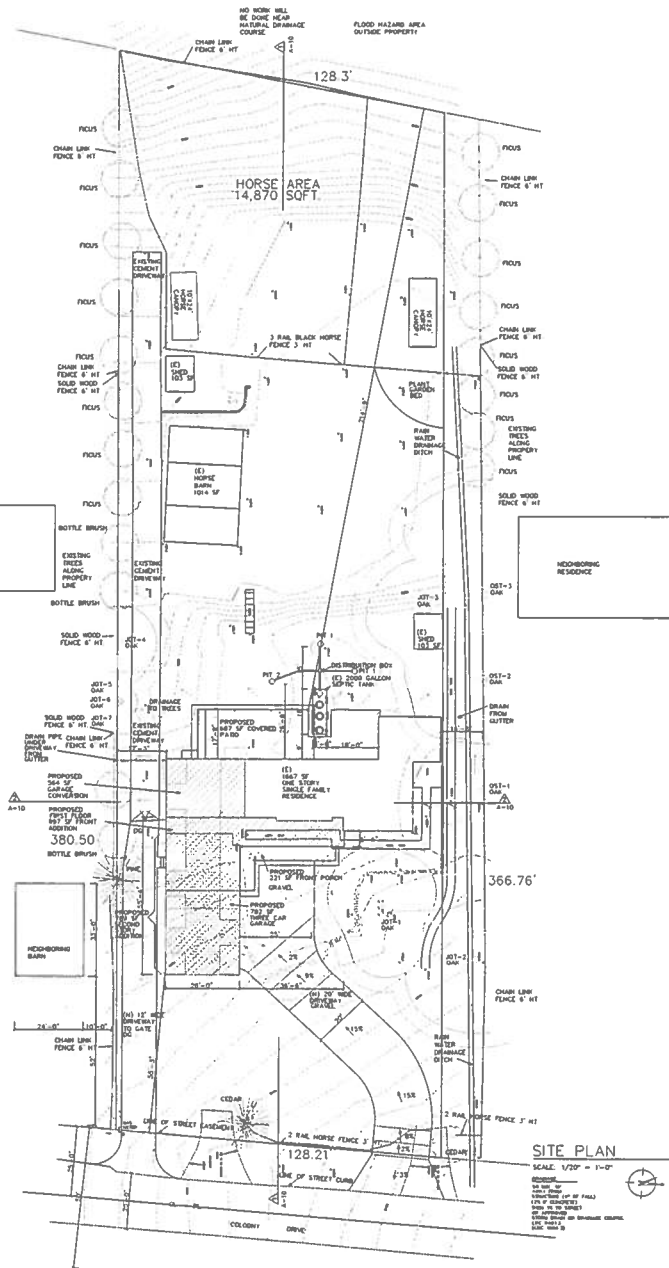
**DRAINAGE:**

PROVIDE SURFACE DRAINAGE AWAY FROM ADDITION 5% MIN. (2% IF CONCRETE) 10' MINIMUM, THEN 1% TO STREET OR APPROVED STORM DRAIN. TOMC 8-116, CRC



VICINITY MAP

NOT TO SCALE



**DRAWING INDEX**

- A-1 SITE PLAN AND VICINITY MAP
- A-2 FLOOR PLAN EXISTING
- A-3 FLOOR PLAN FIRST FLOOR NEW
- A-3A DOOR AND WINDOW SCHEDULE
- A-4 FLOOR PLAN SECOND FLOOR NEW
- A-5 FRONT AND REAR ELEVATION
- A-6 SIDE ELEVATIONS
- A-6A CROSS SECTION A-A, B-B, C-C AND D-D
- A-7 ROOF PLAN
- A-8 ELECTRICAL PLAN FIRST FLOOR
- A-9 ELECTRICAL PLAN SECOND FLOOR
- A-10 SECTION 1-1 AND 2-2
- T-1 TOPOGRAPHIC MAP

**AREA CALCULATIONS**

(C) CONDITIONED RESIDENCE	1667 SF
(E) GARAGE TO BE CONVERTED TO CONDITIONED SPACE	564 SF
PROPOSED FRONT ADDITION	997 SF
TOTAL CONDITIONED AREA FIRST FLOOR	3228 SF
PROPOSED SECOND STORY ADDITION	789 SF
ADDITIONAL CONDITIONED RESIDENCE	2300 SF
TOTAL NEW CONDITIONED RESIDENCE	4017 SF
PROPOSED NEW THREE CAR GARAGE	2282 SF
PROPOSED NEW SECOND STORY UNFINISHED ATTC	374 SF
PROPOSED COVERED PATIO REAR	687 SF
PROPOSED COVERED FRONT PORCH	221 SF
TOTAL	908 SF
HORSE CANOPIES	480 SF
BATH SHEDS	1016 SF
TOTAL ACCESSORY STRUCTURES	1700 SF
LOT COVERAGE	6623 SF
(C) LOT SIZE	47916 SF
BUILDING LOT COVERAGE (RESIDENCE, GARAGE, PATIOS)	6623/47916=
FAR:	13.8%
APPLICABLE LOT SIZES FOR FAR CALCULATIONS: 40,001-80,001	
RECOMMENDED SQUARE FOOTAGE: 1,5200 SF + 0.02% LOT SF OVER 40,001	
47,912-40,001=7,911 7,911*0.02=158.22 5200+158.22=5358.22 SQFT	
PROPOSED PROJECT: HOUSE + GARAGE + PATIO COVERS + ACCESSORY STRUCTURE	
UNFINISHED ATTC "CELEBRITY"	
4017+(787+680)97+687+(1700-576)1124= 5925	
SQFT	
FAR = ACTUAL 5925 SQFT	
NO SLOPE, FLAT PROPERTY	

**BUILDING CODE DATA LEGEND:**

- A. OCCUPANCY GROUP:
- B. DESCRIPTION OF USE: SINGLE FAMILY RESIDENCE
- C. TYPE OF CONSTRUCTION: V-B
- D. SPRINKLERS: YES
- E. STORIES: TWO
- F. HEIGHT: 25FT
- G. ALL WORK SHALL CONFORM TO THE 2015 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA RESIDENTIAL CODE AND LA COUNTY CODES. ZONE: RV,DA-E0

CONSTRUCTION OR WORK FOR WHICH A PERMIT IS REQUIRED SHALL BE SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL AND SUCH CONSTRUCTION OR WORK SHALL REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION PURPOSES UNTIL APPROVED. 2016 CRC 9104

NO BUILDING OR STRUCTURE GOVERNED BY THIS CODE SHALL BE CONSTRUCTED ON ANY SLOPE GREATER THAN 5:1 WITHOUT A FINDING BY THE BUILDING OFFICIAL THAT REQUIRES A GEOLOGICAL INVESTIGATION, SOIL ENGINEER'S REPORT, AND FOR THE FOUNDATION TO BE DESIGNED BY A CIVIL OR STRUCTURAL ENGINEER REGISTERED AS SUCH BY THE STATE OF CALIFORNIA, TITLE 16087.

**CONSULTANTS:**

**DRAFTSMAN:** S-CONCEPTS  
URSULA BUEHLI  
944 CAMINO DOS RIOS,  
THOUSAND OAKS, CA 91360  
PHONE/FAX: 805 499 7827

**ENGINEER:** SAPPHIRE ENGINEERING COMPANY, INC.  
SHANZAIN HUSANI, P.E.  
2977 WILLOW LANE, SUITE 101  
WESTLAKE VILLAGE, CA 91361  
PHONE/FAX: 805 807 1175

**LEGAL DESCRIPTION**

APN: 2055-028-041  
LOT 11, PARCEL 11, TRACT NO.2055,  
BLOCK NO. 1 BOOK 25 PG. 33  
CITY OF AGOURA HILLS,  
COUNTY OF LOS ANGELES, CALIFORNIA

**PROJECT DESCRIPTION**

REMODEL AND ADDITION

DATE: 6-11-2018  
DRAWN: U BUEHLI  
SCALE: 1/20"=1'-0"  
SHEET: 1  
JOB: JACOB

SITE PLAN AND VICINITY MAP

S-CONCEPTS  
TEL: (805) 499-7827

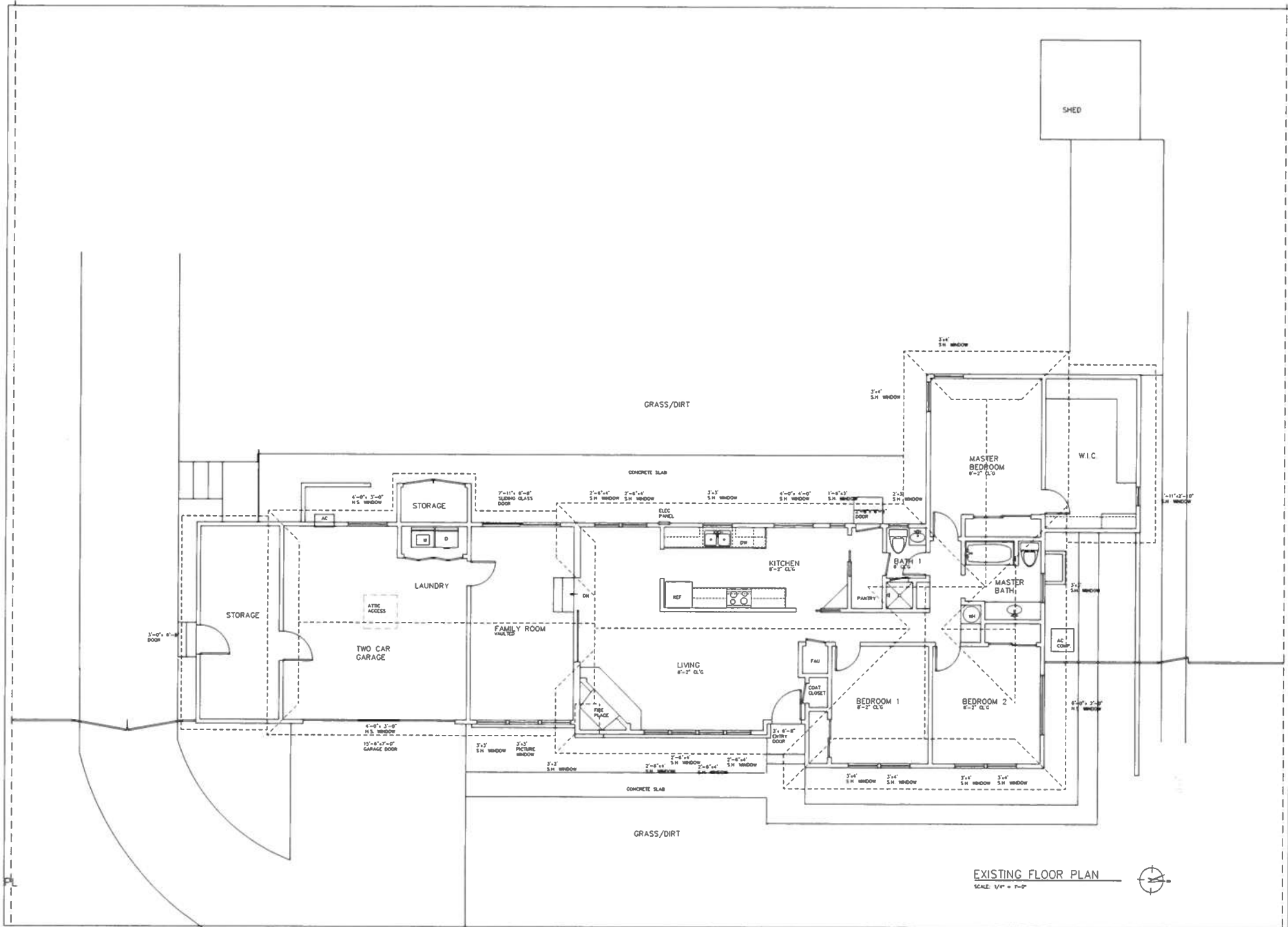
REMODEL AND ADDITION  
JACOB RESIDENCE  
5911 COLONY DRIVE  
AGOURA HILLS, CA 91301

PHONE: 818 575 9030

DATE: 6-11-2018  
SCALE: 1/20"=1'-0"  
DRAWN: U BUEHLI  
JOB: JACOB  
SHEET

A-1

OF 10 SHEETS



EXISTING FLOOR PLAN  
SCALE: 1/4" = 1'-0"



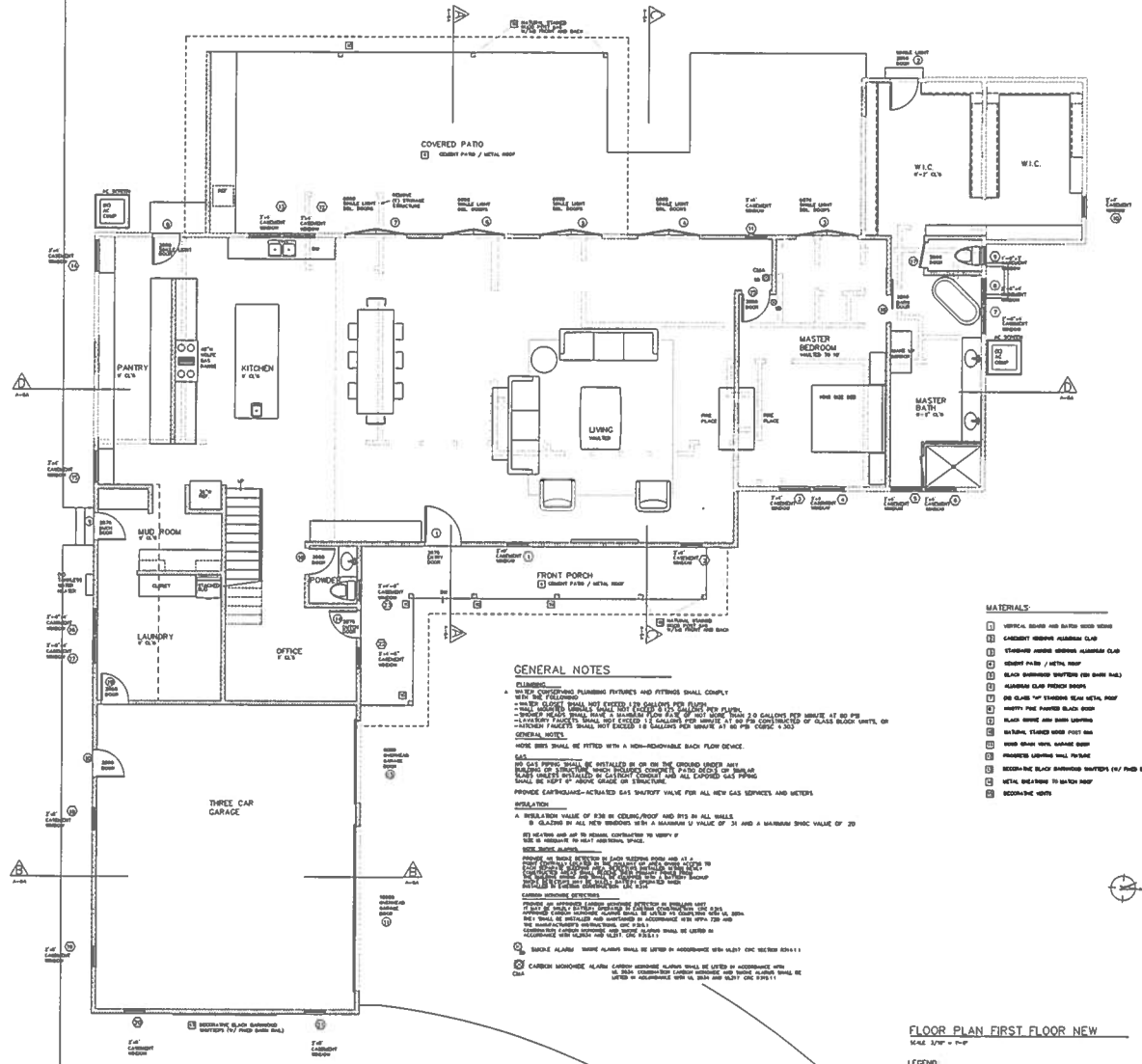
FLOOR PLAN EXISTING

S-CONCEPTS  
TEL. (805) 499-1827

REMODEL AND ADDITION  
JACOB RESIDENCE  
5911 COLONNY DRIVE  
AGOURA HILLS, CA 91301  
PHONE: 818.575.9030

DATE: 6-11-2018  
SCALE: 1/4"=1'-0"  
DRAWN: U.BUERLI  
JOB: JACOB  
SHEET

A-2  
OF 9 SHEETS



**GENERAL NOTES**

**CLADDING:**  
 A. WATER RESISTANT CLADDING MATERIALS AND FINISHES SHALL COMPLY WITH THE FOLLOWING:  
 - WOOD: EXPOSED WOOD SHALL NOT EXCEED 1% MOISTURE CONTENT.  
 - BRICK: EXPOSED BRICK SHALL NOT EXCEED 1% MOISTURE CONTENT.  
 - STONE: EXPOSED STONE SHALL NOT EXCEED 1% MOISTURE CONTENT.  
 - CONCRETE: EXPOSED CONCRETE SHALL NOT EXCEED 1% MOISTURE CONTENT.  
 - METAL: EXPOSED METAL SHALL NOT EXCEED 1% MOISTURE CONTENT.  
 - GLASS: EXPOSED GLASS SHALL NOT EXCEED 1% MOISTURE CONTENT.  
 - OTHER: EXPOSED OTHER MATERIALS SHALL NOT EXCEED 1% MOISTURE CONTENT.

**GENERAL NOTES:**  
 A. HOME WIRING SHALL BE FITTED WITH A NON-REMOVABLE BACK FLOW DEVICE.  
 B. ALL GAS PIPING SHALL BE INSTALLED AS PER THE GAS CODE AND ALL GAS PIPING SHALL BE TESTED AT 1/2" WATER COLUMN PRESSURE FOR LEAKS.  
 C. ALL GAS PIPING SHALL BE INSTALLED AS PER THE GAS CODE AND ALL GAS PIPING SHALL BE TESTED AT 1/2" WATER COLUMN PRESSURE FOR LEAKS.  
 D. ALL GAS PIPING SHALL BE INSTALLED AS PER THE GAS CODE AND ALL GAS PIPING SHALL BE TESTED AT 1/2" WATER COLUMN PRESSURE FOR LEAKS.

**INSULATION:**  
 A. INSULATION VALUE OF R20 IN CEILING/ROOF AND R19 IN ALL WALLS.  
 B. GLAZING IN ALL NEW WINDOWS WITH A MINIMUM U VALUE OF 3.0 AND A MINIMUM SHGC VALUE OF 0.70.  
 C. ALL NEW DOORS AND WINDOWS SHALL BE ENERGY EFFICIENT.  
 D. ALL NEW DOORS AND WINDOWS SHALL BE ENERGY EFFICIENT.

**MECHANICAL SYSTEMS:**  
 A. MECHANICAL SYSTEMS SHALL BE INSTALLED AS PER THE MECHANICAL CODE AND ALL MECHANICAL SYSTEMS SHALL BE TESTED AT 1/2" WATER COLUMN PRESSURE FOR LEAKS.  
 B. MECHANICAL SYSTEMS SHALL BE INSTALLED AS PER THE MECHANICAL CODE AND ALL MECHANICAL SYSTEMS SHALL BE TESTED AT 1/2" WATER COLUMN PRESSURE FOR LEAKS.

**SMOKE ALARMS:**  
 A. SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE SMOKE ALARM CODE AND ALL SMOKE ALARMS SHALL BE TESTED AT 1/2" WATER COLUMN PRESSURE FOR LEAKS.  
 B. SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE SMOKE ALARM CODE AND ALL SMOKE ALARMS SHALL BE TESTED AT 1/2" WATER COLUMN PRESSURE FOR LEAKS.

**CARBON MONOXIDE ALARMS:**  
 A. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CARBON MONOXIDE ALARM CODE AND ALL CARBON MONOXIDE ALARMS SHALL BE TESTED AT 1/2" WATER COLUMN PRESSURE FOR LEAKS.  
 B. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CARBON MONOXIDE ALARM CODE AND ALL CARBON MONOXIDE ALARMS SHALL BE TESTED AT 1/2" WATER COLUMN PRESSURE FOR LEAKS.

**MATERIALS**

- 1. VERTICAL BRICK AND BATH ROOM WOOD
- 2. EXPOSED WOOD FINISHING CLIP
- 3. EXPOSED WOOD FINISHING CLIP
- 4. EXPOSED WOOD FINISHING CLIP
- 5. EXPOSED WOOD FINISHING CLIP
- 6. EXPOSED WOOD FINISHING CLIP
- 7. EXPOSED WOOD FINISHING CLIP
- 8. EXPOSED WOOD FINISHING CLIP
- 9. EXPOSED WOOD FINISHING CLIP
- 10. EXPOSED WOOD FINISHING CLIP
- 11. EXPOSED WOOD FINISHING CLIP
- 12. EXPOSED WOOD FINISHING CLIP
- 13. EXPOSED WOOD FINISHING CLIP
- 14. EXPOSED WOOD FINISHING CLIP
- 15. EXPOSED WOOD FINISHING CLIP
- 16. EXPOSED WOOD FINISHING CLIP
- 17. EXPOSED WOOD FINISHING CLIP
- 18. EXPOSED WOOD FINISHING CLIP
- 19. EXPOSED WOOD FINISHING CLIP
- 20. EXPOSED WOOD FINISHING CLIP

**FLOOR PLAN FIRST FLOOR NEW**

SCALE 3/16" = 1'-0"

**LEGEND**

(E)	EXISTING
(N)	NEW
(R)	WALLS TO BE REMOVED

DATE: 6-11-2018  
 SCALE: 3/16" = 1'-0"  
 DRAWN: U. BUBERLI  
 JOB: JACOB  
 SHEET  
 A-3

FLOOR PLAN NEW

S-CONCEPTS  
 TEL: (800) 699-7827

REMODEL AND ADDITION  
 JACOB RESIDENCE  
 5911 COLONY DRIVE  
 AGOURA HILLS, CA 91301  
 PHONE: 818 575 9030

DATE: 6-11-2018  
 SCALE: 3/16" = 1'-0"  
 DRAWN: U. BUBERLI  
 JOB: JACOB  
 SHEET

A-3

OF 10 SHEETS

WINDOW SCHEDULE			
WINDOW	SIZE	OPERATION	NOTES
1	2'-0" x 6'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
2	2'-0" x 6'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
3	3'-0" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
4	3'-0" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
5	3'-0" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
6	3'-0" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
7	2'-6" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
8	2'-6" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
9	1'-9" x 3'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
10	2'-0" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
11	2'-0" x 6'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
12	3'-0" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
13	3'-0" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
14	3'-0" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
15	3'-0" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
16	2'-6" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
17	2'-6" x 4'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
18	2'-0" x 6'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
19	2'-0" x 6'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
20	2'-0" x 6'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
21	2'-0" x 6'-0"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
22	2'-0" x 4'-6"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
23	2'-0" x 4'-6"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
24	2'-0" x 2'-0"	PICTURE WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
25	2'-0" x 2'-0"	PICTURE WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
26	2'-0" x 2'-0"	PICTURE WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
27	2'-0" x 2'-0"	PICTURE WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
28	2'-0" x 2'-0"	PICTURE WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
29	2'-0" x 2'-0"	PICTURE WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
30	2'-0" x 2'-0"	PICTURE WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
31	2'-0" x 2'-0"	PICTURE WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
32	3'-0" x 4'-6"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
33	3'-0" x 4'-6"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
34	3'-0" x 4'-6"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
35	3'-0" x 4'-6"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
36	3'-0" x 4'-6"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
37	3'-0" x 4'-6"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
38	3'-0" x 4'-6"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
39	3'-0" x 4'-6"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
40	3'-0" x 4'-6"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD
41	3'-0" x 4'-6"	CASEMENT WINDOW	DUAL GLAZE, LOW-E, WOOD CLAD

DOOR SCHEDULE			
DOOR	SIZE	CONSTRUCTION	NOTES
1	3'-0" x 7'-0" x 1 3/4"	ENTRY DOOR	HINGED, TIGHT FIT.
2	2'-8" x 6'-8" x 1 3/4"	SINGLE LIGHT	HINGED, TIGHT FIT, DUAL GLAZE, TEMP.
3	6'-0" x 7'-6" x 1 3/4"	SINGLE LIGHT, DBL. DOORS	HINGED, TIGHT FIT, DUAL GLAZE, TEMP.
4	6'-0" x 6'-0" x 1 3/4"	SINGLE LIGHT, DBL. DOORS	HINGED, TIGHT FIT, DUAL GLAZE, TEMP.
5	8'-0" x 6'-0" x 1 3/4"	SINGLE LIGHT, DBL. DOORS	HINGED, TIGHT FIT, DUAL GLAZE, TEMP.
6	8'-0" x 8'-0" x 1 3/4"	SINGLE LIGHT, DBL. DOORS	HINGED, TIGHT FIT, DUAL GLAZE, TEMP.
7	8'-0" x 8'-0" x 1 3/4"	SINGLE LIGHT, DBL. DOORS	HINGED, TIGHT FIT, DUAL GLAZE, TEMP.
8	2'-8" x 8'-0" x 1 3/4"	SINGLE LIGHT	HINGED, TIGHT FIT, DUAL GLAZE, TEMP.
9	2'-8" x 7'-6" x 1 3/4"	SOLID CORE, DUTCH DOOR	HINGED, TIGHT FIT, DUAL GLAZE, TEMP.
10	2'-8" x 7'-6" x 1 3/4"	SOLID CORE 4 PANEL DOOR, METAL	HINGED
11	16'-0" x 8'-0"	OVERHEAD GARAGE DOOR	METAL
12			
13	8'-0" x 8'-0"	OVERHEAD GARAGE DOOR	METAL
14	2'-8" x 7'-6" x 1 3/4"	SOLID CORE, DUTCH DOOR	HINGED
15	2'-8" x 6'-8" x 1 3/8"	SOLID CORE 4 PANEL DOOR	HINGED
16	2'-8" x 6'-8" x 1 3/8"	BARN DOOR	SLIDER
17	2'-8" x 6'-8" x 1 3/8"	SOLID CORE 4 PANEL DOOR	HINGED
18	2'-8" x 6'-8" x 1 3/8"	SOLID CORE 4 PANEL DOOR	HINGED
19	2'-8" x 6'-8" x 1 3/8"	SOLID C. 4 PANEL, 20 MIN. FIRE RATED	HINGED, SELF CLOSING, TIGHT FIT, METAL
20	2'-8" x 6'-8" x 1 3/8"	SOLID CORE, 4 PANEL, ATRIC DOOR	HINGED, TIGHT FITTING
21	11'-10" x 6'-8"	WARDROBE SLIDER	
22	2'-8" x 6'-8" x 1 3/8"	SOLID CORE 4 PANEL	HINGED
23	5'-8" x 6'-8"	WARDROBE SLIDER	
24	2'-8" x 6'-8" x 1 3/8"	SOLID CORE 4 PANEL	HINGED
25	2'-6" x 6'-8" x 1 3/8"	SOLID CORE 4 PANEL	HINGED

FIRST FLOOR  
 SECOND FLOOR

FIRST FLOOR  
 SECOND FLOOR

DOOR DESIGN TO BE SELECTED BY OWNER  
 VERIFY EXACT DOOR SIZES BEFORE ORDERING DOORS

WINDOW DESIGN TO BE SELECTED BY OWNER  
 VERIFY EXACT WINDOW SIZES BEFORE ORDERING WINDOWS  
 ALL NEW AND REPLACEMENT WINDOWS MUST HAVE A SOLAR HEAT GAIN COEFFICIENT (SHGC) VALUE OF .25 OR LESS AND A U-VALUE OF .32 OR LESS TO MEET STATE OF CALIFORNIA ENERGY REQUIREMENTS  
 THE REQUIRED CERTIFICATES OF COMPLIANCE (CPR), CERTIFICATES OF INSTALLATION (CFI), AND THE CERTIFICATES OF VERIFICATION (CFV) SHALL BE SUBMITTED TO THE CITY INSPECTOR DURING THE FINAL INSPECTION

DOOR AND WINDOW SCHEDULE.

S-CONCEPTS  
 TEL. (650) 499-7627

PHONE. 818 575 9030

REMODEL AND ADDITION  
 JACOB RESIDENCE  
 5911 COLDOBY DRIVE  
 AGOURA HILLS, CA 91301

DATE: 7-25-2018

SCALE: 1/4"=1'-0"

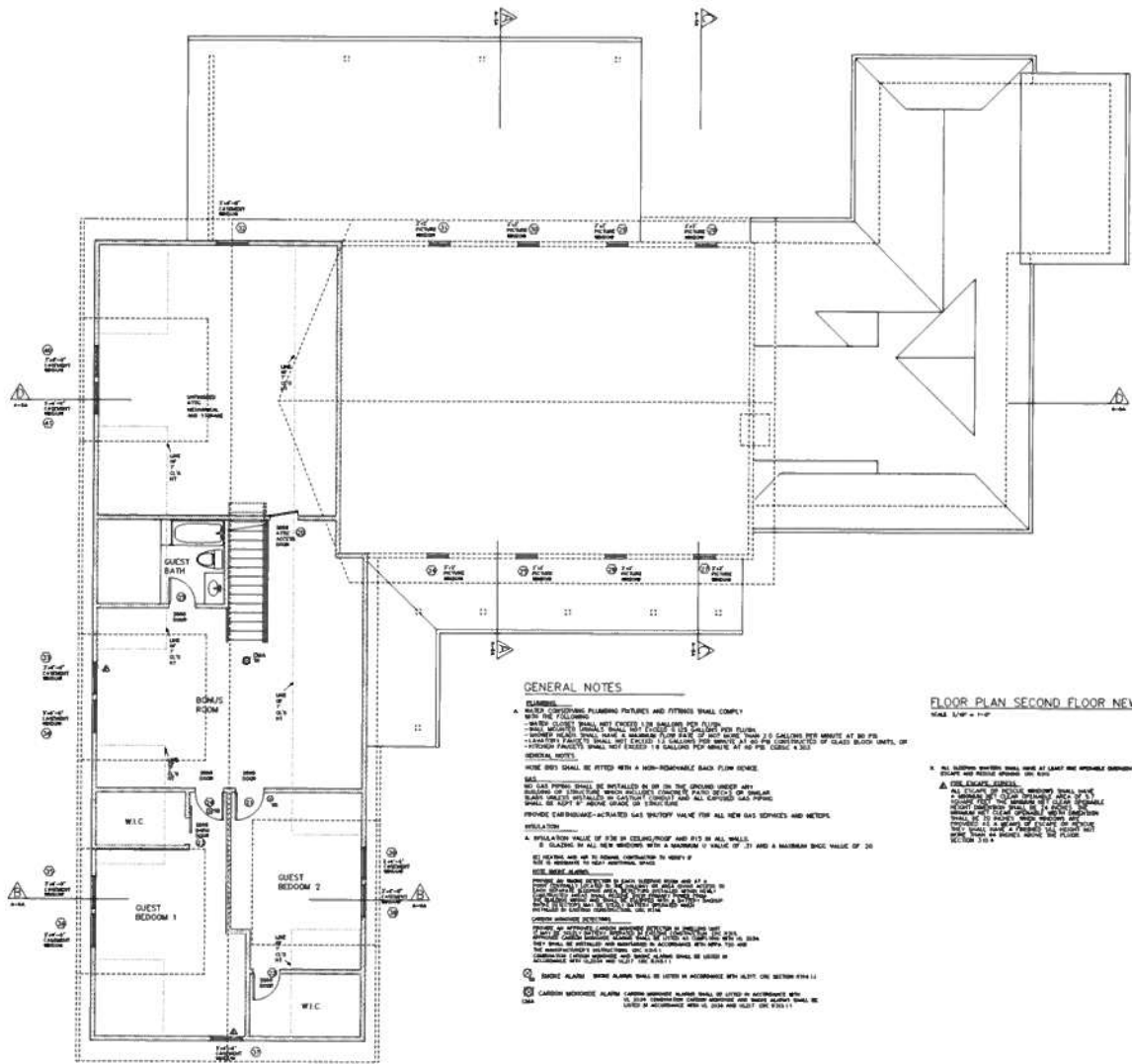
DRAWN: U BUERLI

JOB: JACOB

SHEET

A-3A

OF 10 SHEETS



**GENERAL NOTES**

- PLUMBING
- A. ALL EXISTING PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE FOLLOWING:
  - 1. SINKS SHALL BE PROVIDED WITH 1.5 GALLONS PER MINUTE AT 80 PSI
  - 2. TOILETS SHALL BE PROVIDED WITH 2.0 GALLONS PER MINUTE AT 80 PSI
  - 3. SHOWER FLOORS SHALL BE PROVIDED WITH 2.0 GALLONS PER MINUTE AT 80 PSI
  - 4. EXISTING FIXTURES SHALL NOT EXCEED 1.0 GALLONS PER MINUTE AT 80 PSI UNLESS OTHERWISE NOTED.
- B. SINKS SHALL BE FITTED WITH A NON-RETURNABLE BACK FLOW DEVICE.
- C. ALL SINKS SHALL BE INSTALLED AS UP IN THE UNITS UNDER SINKS.
- D. SINKS SHALL BE PROVIDED WITH SHUT-OFF CONTROLS, FAULT DETECTION, AND SINKS SHALL BE ADJUSTED TO PREVENT LEAKS.
- E. PROVIDE CARTRIDGE-ACTUATED GAS SHUT-OFF VALVE FOR ALL NEW GAS SERVICES AND METERS.
- VENTILATION
- A. VENTILATION SHALL BE PROVIDED IN ALL ROOMS.
- B. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20 AND A MAXIMUM BACK VALUE OF 20.
- C. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- D. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- E. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- F. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- G. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- H. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- I. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- J. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- K. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- L. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- M. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- N. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- O. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- P. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- Q. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- R. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- S. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- T. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- U. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- V. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- W. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- X. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- Y. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.
- Z. EXHAUST SHALL BE PROVIDED WITH A MINIMUM CFM VALUE OF 20.

**FLOOR PLAN SECOND FLOOR NEW**

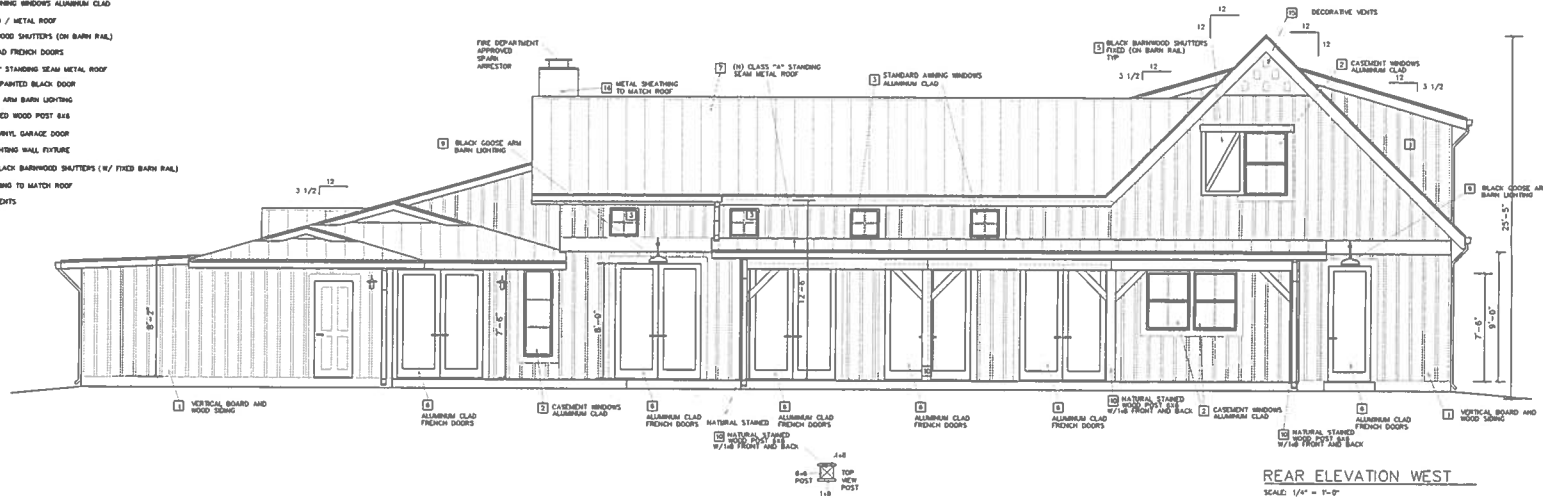
- SCALE: 1/8" = 1'-0"
- A. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- B. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- C. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- D. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- E. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
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- G. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
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- L. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- M. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- N. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
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- P. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- Q. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- R. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- S. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- T. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- U. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- V. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- W. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- X. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- Y. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.
- Z. ALL EXISTING WALLS SHALL HAVE AT LEAST THE MINIMUM THICKNESS SHOWN AND SHALL BE REMOVED UNLESS NOTED.

**LEGEND**

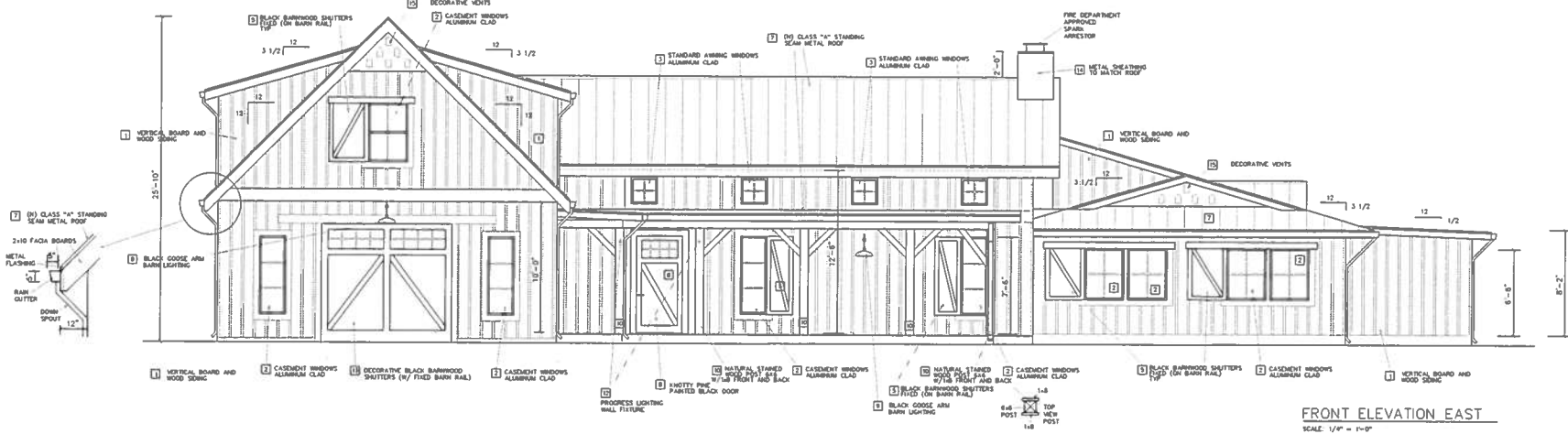
	EXISTING WALLS
	NEW WALLS
	WALLS TO BE REMOVED
(X)	EXISTING
(N)	NEW

**MATERIALS:**

- 1 VERTICAL BOARD AND BATH WOOD SING
- 2 CASEMENT WINDOWS ALUMINUM CLAD
- 3 STANDARD ARCHED WINDOWS ALUMINUM CLAD
- 4 CEMENT PATIO / METAL ROOF
- 5 BLACK BARNWOOD SHUTTERS (ON BARN RAIL)
- 6 ALUMINUM CLAD FRENCH DOORS
- 7 (H) CLASS "A" STANDING SEAM METAL ROOF
- 8 KNOTTY PINE PAINTED BLACK DOOR
- 9 BLACK GOOSE ARM BARN LIGHTING
- 10 NATURAL STAINED WOOD POST & RAIL
- 11 WOOD GRAB W/HTL GARAGE DOOR
- 12 PROGRESS LIGHTING WALL FIXTURE
- 13 DECORATIVE BLACK BARNWOOD SHUTTERS (1/2" FIXED BARN RAIL)
- 14 METAL SHEATHING TO MATCH ROOF
- 15 DECORATIVE VENTS



REAR ELEVATION WEST  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION EAST  
SCALE: 1/4" = 1'-0"

DATE: 6-11-2018  
SCALE: 1/4" = 1'-0"  
DRAWN: U GUERU  
JOB: JACOB  
SHEET

FRONT AND REAR ELEVATION

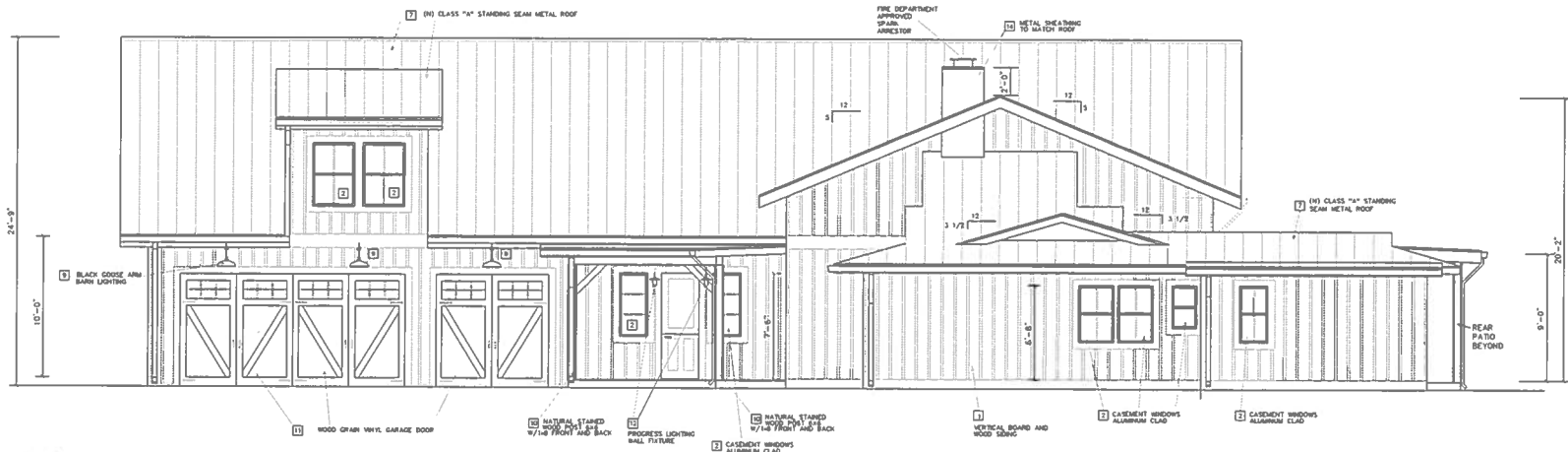
S-CONCEPTS  
TEL: (805) 494-7827

REMODEL AND ADDITION  
JACOB RESIDENCE  
5911 COLONY DRIVE  
AGOURA HILLS, CA 91301  
PHONE: 818 575 9030

DATE: 6-11-2018  
SCALE: 1/4" = 1'-0"  
DRAWN: U GUERU  
JOB: JACOB  
SHEET

A-5

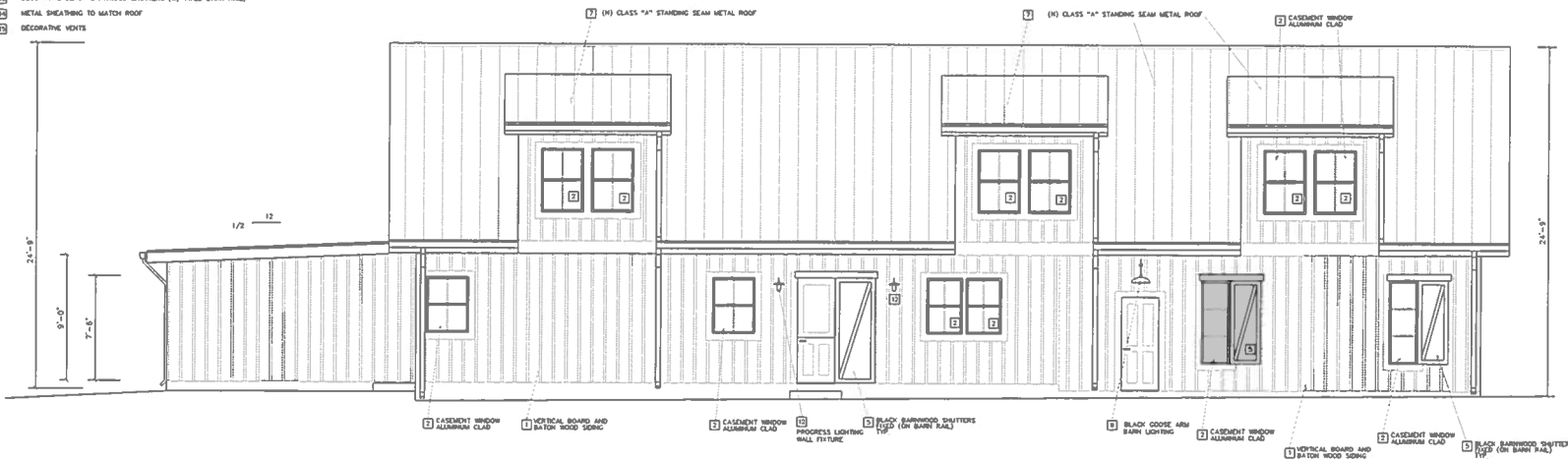
OF 10 SHEETS



**MATERIALS.**

- 1 VERTICAL BOARD AND BATON WOOD SIDING
- 2 CASEMENT WINDOWS ALUMINUM CLAD
- 3 STANDARD AWING WINDOWS ALUMINUM CLAD
- 4 CEDENT PANO / METAL ROOF
- 5 BLACK BARNWOOD SHUTTERS FIXED (ON BARN RAIL)
- 6 ALUMINUM CLAD PINDOR DOORS
- 7 (H) CLASS "A" STANDING SEAM METAL ROOF
- 8 KNOTTY PINE PAINTED BLACK DOOR
- 9 BLACK GOOSE ARM BARN LIGHTING
- 10 NATURAL STAINED WOOD POST 6x6
- 11 WOOD GRAIN VINYL GARAGE DOOR
- 12 PROGRESS LIGHTING WALL FIXTURE
- 13 DECORATIVE BLACK BARNWOOD SHUTTERS (W/ FIXED BARN RAIL)
- 14 METAL SHEATHING TO MATCH ROOF
- 15 DECORATIVE VENTS

RIGHT SIDE ELEVATION NORTH  
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION SOUTH  
SCALE 1/4" = 1'-0"

REVISIONS  
REV 1 11/17/11  
REV 2 11/17/11  
REV 3 11/17/11  
REV 4 11/17/11  
REV 5 11/17/11  
REV 6 11/17/11  
REV 7 11/17/11  
REV 8 11/17/11  
REV 9 11/17/11  
REV 10 11/17/11

SIDE ELEVATIONS

S-CONCEPTS  
TEL: (800) 499-7827

PHONE 818 575 9030

REMODEL AND ADDITION  
JACOB RESIDENCE  
5911 COLONY DRIVE  
AGOURA HILLS, CA 91301

DATE: 6-11-2018

SCALE: 1/4" = 1'-0"

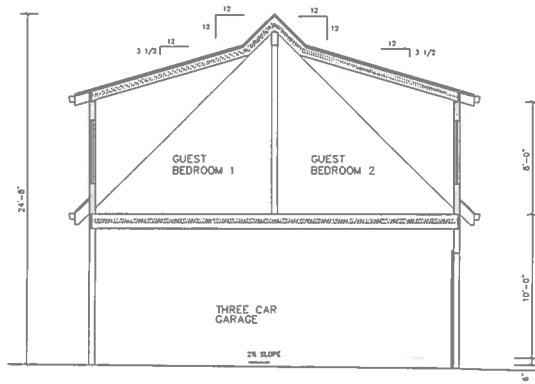
DRAWN: U.BUCRLU

JOB: JACOB

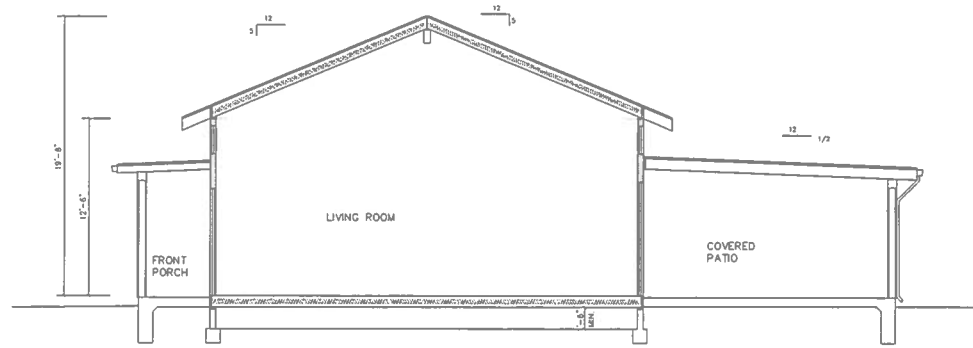
SHEET

A-6

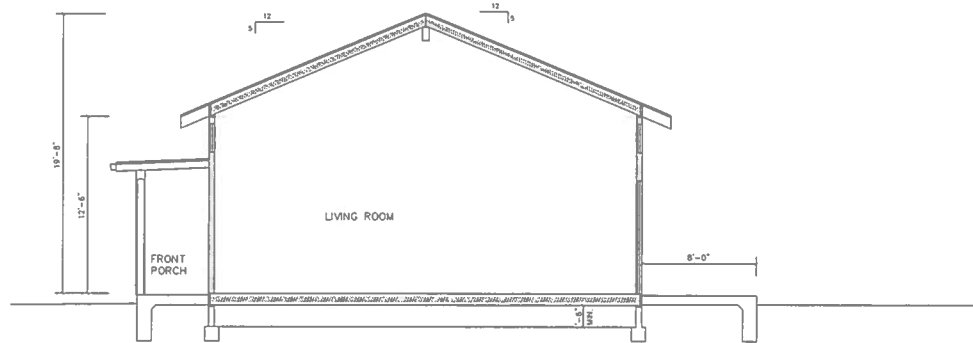
OF 10 SHEETS



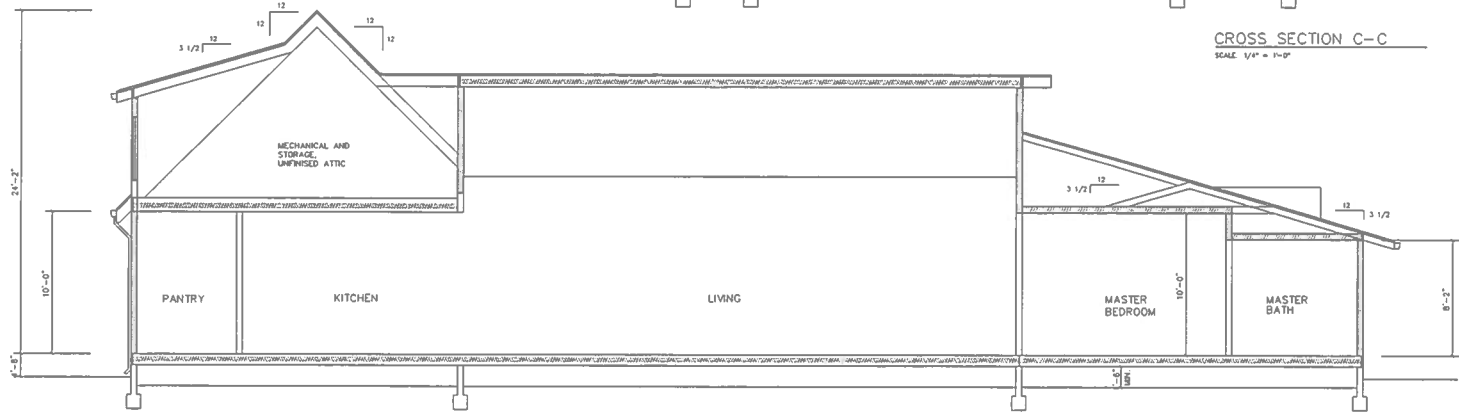
CROSS SECTION B-B  
SCALE: 1/4" = 1'-0"



CROSS SECTION A-A  
SCALE: 1/4" = 1'-0"

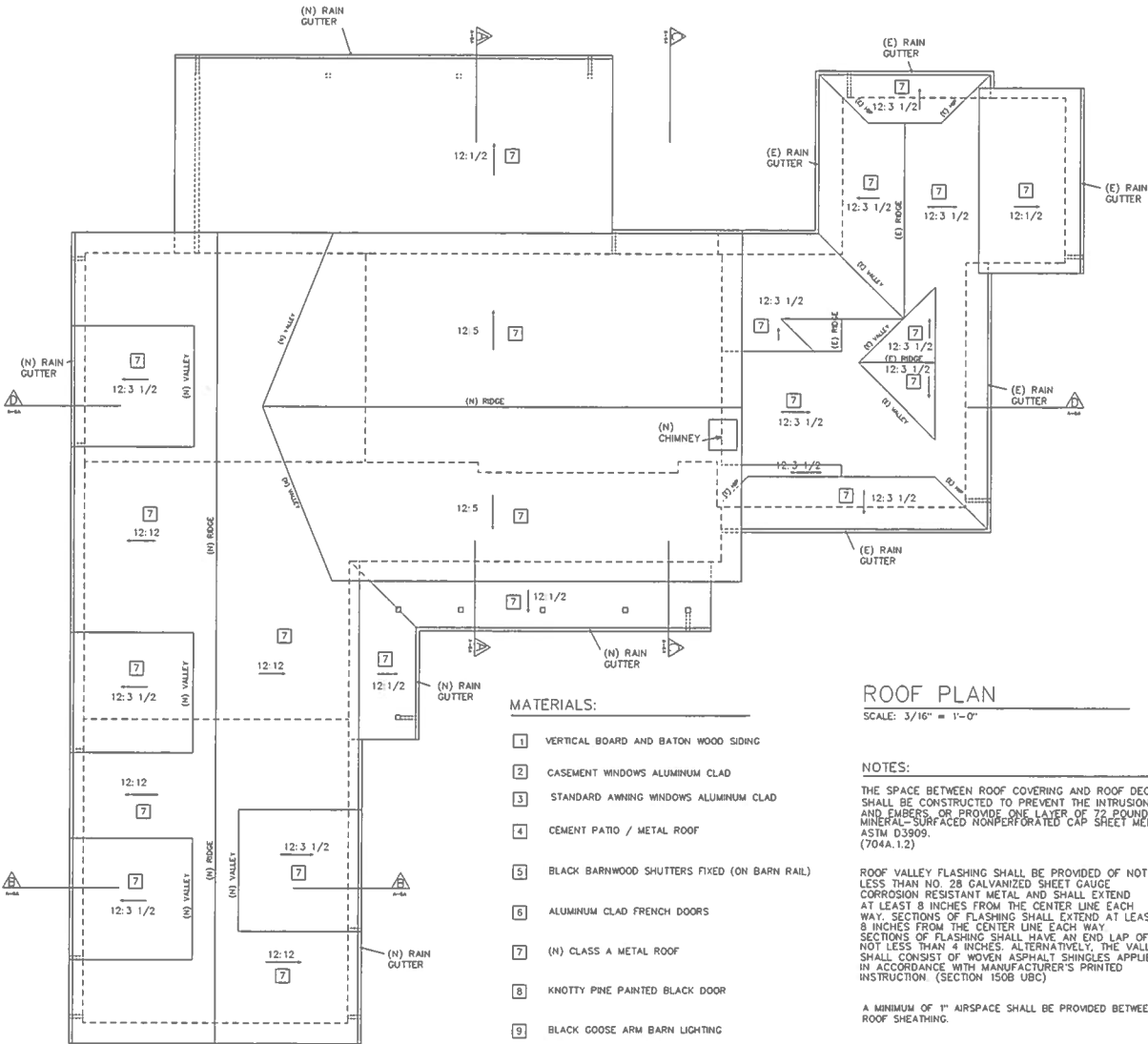


CROSS SECTION C-C  
SCALE: 1/4" = 1'-0"



CROSS SECTION D-D  
SCALE: 1/4" = 1'-0"





**ROOF PLAN**

SCALE: 3/16" = 1'-0"

**MATERIALS:**

- 1 VERTICAL BOARD AND BATON WOOD SIDING
- 2 CASEMENT WINDOWS ALUMINUM CLAD
- 3 STANDARD AWNING WINDOWS ALUMINUM CLAD
- 4 CEMENT PATIO / METAL ROOF
- 5 BLACK BARNWOOD SHUTTERS FIXED (ON BARN RAIL)
- 6 ALUMINUM CLAD FRENCH DOORS
- 7 (N) CLASS A METAL ROOF
- 8 KNOTTY PINE PAINTED BLACK DOOR
- 9 BLACK GOOSE ARM BARN LIGHTING
- 10 NATURAL STAINED WOOD POST 6X6
- 11 WOOD GRAIN VINYL GARAGE DOOR
- 12 PROGRESS LIGHTING WALL FIXTURE

**NOTES:**

THE SPACE BETWEEN ROOF COVERING AND ROOF DECKING SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND FIBERS, OR PROVIDE ONE LAYER OF 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET MEETING ASTM D3909. (704A.1.2)

ROOF VALLEY FLASHING SHALL BE PROVIDED OF NOT LESS THAN NO. 28 GALVANIZED SHEET GAUGE CORROSION RESISTANT METAL AND SHALL EXTEND AT LEAST 8 INCHES FROM THE CENTER LINE EACH WAY. SECTIONS OF FLASHING SHALL EXTEND AT LEAST 8 INCHES FROM THE CENTER LINE EACH WAY. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4 INCHES. ALTERNATIVELY, THE VALLEY SHALL CONSIST OF WOVEN ASPHALT SHINGLES APPLIED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTION (SECTION 150B UBC).

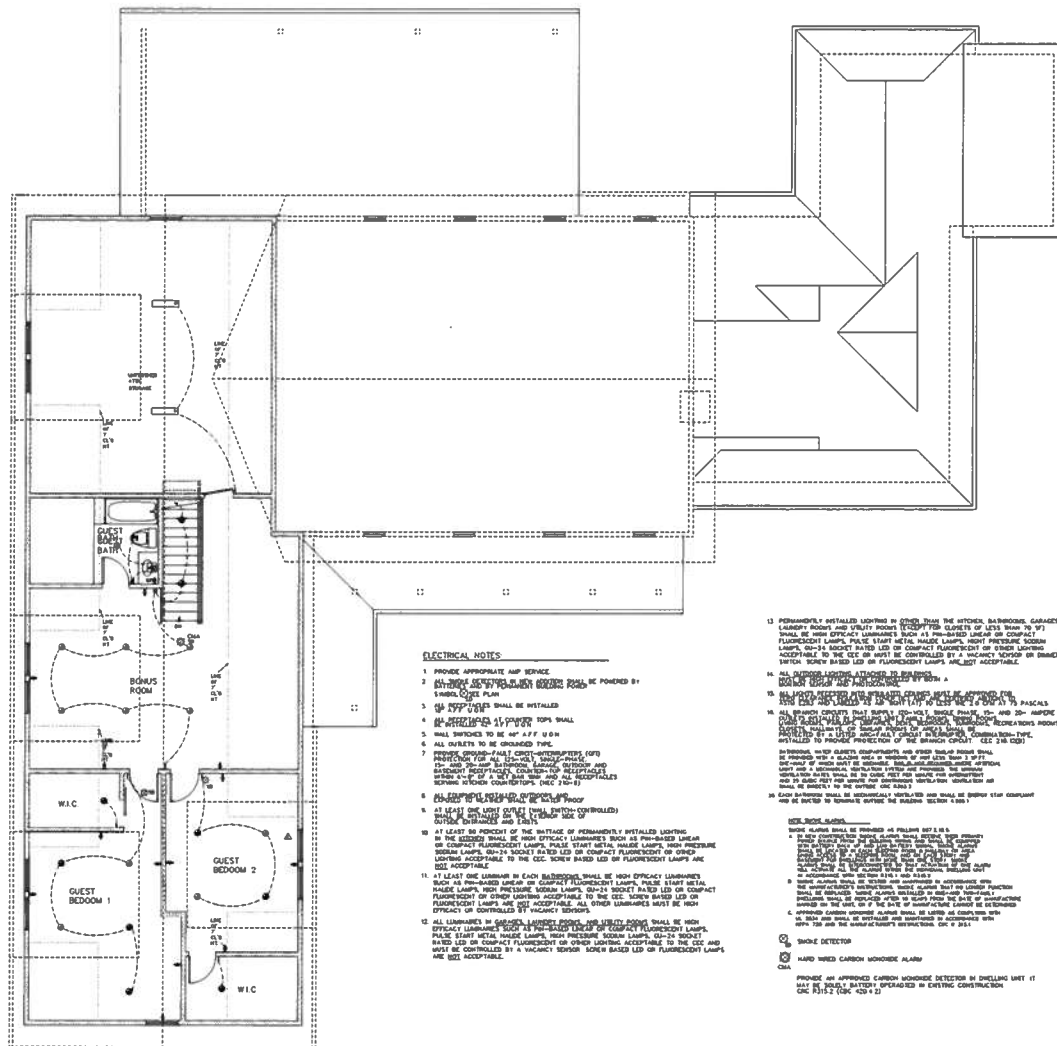
A MINIMUM OF 1" AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING.

**RAIN GUTTERS:**

ALL RAIN GUTTERS AND DOWNSPOUTS TO HAVE WATER ROUTED 5' AWAY FROM FOUNDATION OR CONNECTED TO LANDSCAPE DRAINS.

ROOF CUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (RESIDENTIAL CODE R327.5.4 AND BUILDING CODE 705A.4)  
PROVIDE SCREENS FOR RAIN GUTTERS TO PREVENT THE ACCUMULATION OF LEAVES/DEBRIS.





**ELECTRICAL NOTES:**

1. PROVIDE APPROPRIATE AMP SERVICE
2. ALL NEW ELECTRICAL WORK SHALL BE POWERED BY SHARED CIRCUIT
3. ALL NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC)
4. ALL OUTLETS TO BE GROUND TYPE
5. ALL OUTLETS TO BE 120V 15A
6. ALL OUTLETS TO BE 120V 15A
7. ALL OUTLETS TO BE 120V 15A
8. ALL OUTLETS TO BE 120V 15A
9. AT LEAST 80 PERCENT OF THE SURFACE OF PERMANENTLY INSTALLED LIGHTING IN THE ROOMS SHALL BE HIGH EFFICACY LUMINAIRES SUCH AS PREFERRED LINEAR OR COMPACT FLUORESCENT LAMPS, PLEASANT METAL HULSE LAMPS, HIGH PRESSURE SODIUM LAMPS, OR 24 SOCKET BASED LED OR COMPACT FLUORESCENT LAMP AND LED ACCEPTABLE TO THE CEC. SOREY BASED LED OR FLUORESCENT LAMP ARE NOT ACCEPTABLE.
10. AT LEAST ONE LUMINAIRE IN EACH BEDROOM SHALL BE HIGH EFFICACY LUMINAIRE SUCH AS PREFERRED LINEAR OR COMPACT FLUORESCENT LAMP, PLEASANT METAL HULSE LAMP, HIGH PRESSURE SODIUM LAMP, OR 24 SOCKET BASED LED OR COMPACT FLUORESCENT LAMP AND LED ACCEPTABLE TO THE CEC. SOREY BASED LED OR FLUORESCENT LAMP ARE NOT ACCEPTABLE.
11. AT LEAST ONE LUMINAIRE IN EACH BATHROOM SHALL BE HIGH EFFICACY LUMINAIRE SUCH AS PREFERRED LINEAR OR COMPACT FLUORESCENT LAMP, PLEASANT METAL HULSE LAMP, HIGH PRESSURE SODIUM LAMP, OR 24 SOCKET BASED LED OR COMPACT FLUORESCENT LAMP AND LED ACCEPTABLE TO THE CEC. SOREY BASED LED OR FLUORESCENT LAMP ARE NOT ACCEPTABLE.
12. ALL LUMINAIRES IN GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRE SUCH AS PREFERRED LINEAR OR COMPACT FLUORESCENT LAMP, PLEASANT METAL HULSE LAMP, HIGH PRESSURE SODIUM LAMP, OR 24 SOCKET BASED LED OR COMPACT FLUORESCENT LAMP AND LED ACCEPTABLE TO THE CEC. SOREY BASED LED OR FLUORESCENT LAMP ARE NOT ACCEPTABLE.

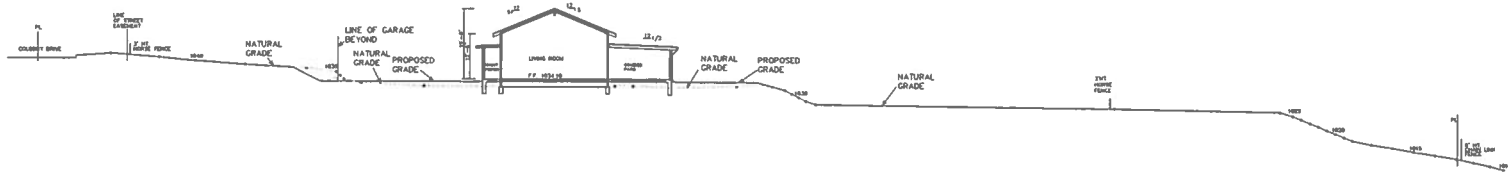
13. PERMANENTLY INSTALLED LIGHTING IN OTHER THAN THE KITCHEN, BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOMS (EXCEPT FOR CEILING OF 12'6" TO 10'0") SHALL BE HIGH EFFICACY LUMINAIRE SUCH AS PREFERRED LINEAR OR COMPACT FLUORESCENT LAMP, PLEASANT METAL HULSE LAMP, HIGH PRESSURE SODIUM LAMP, OR 24 SOCKET BASED LED OR COMPACT FLUORESCENT LAMP AND LED ACCEPTABLE TO THE CEC OR MUST BE CONTROLLED BY A VACUANCY SENSOR OR DIMMER SWITCH. SOREY BASED LED OR FLUORESCENT LAMP ARE NOT ACCEPTABLE.
14. ALL SWITCHES, DIMMERS, DIMMER SWITCHES, AND DIMMER SWITCHES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC)
15. ALL SWITCHES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC)
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**ELECTRICAL PLAN SECOND FLOOR**

DATE: 7-5-2018  
SCALE: 3/16"=1'-0"  
DRAWN: U BUEHLER  
JOB: JACOB  
SHEET: A-9  
OF 10 SHEETS



- SYMBOLS LEGEND**
- POWER:**
- DUPLEX OUTLET
  - GROUND OUTLET
  - SWITCHED DUPLEX OUTLET
  - DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER
  - DUPLEX OUTLET W/ AFC FAULT CIRCUIT INTERRUPTER
  - WATER PROOF DUPLEX OUTLET
  - 20A OUTLET
  - FLOOR OUTLET
- LIGHTING:**
- 4" LED RECEIVED ON
  - 4" LED RECEIVED ON
  - 4" LED RECEIVED DIRECTION
  - 4" LED RECEIVED DIRECTION
  - SURFACE MOUNT LED LIGHT FIXTURE
  - WALL MOUNT LED LIGHT FIXTURE
  - CONCEALED BLACK DIMMABLE LIGHT
  - LED STRIP LIGHT
  - WATER PROOF LED LIGHT
  - CHANDELIERS
  - LED STEP LIGHT
  - CEILING FAN
  - FLOOR LIGHTS
  - UNDER CABINET PLUS LIGHTS
  - FLUORESCENT TUBE LIGHT
- SWITCHING:**
- SWITCH
  - 3-WAY SWITCH
  - DIMMER SWITCH
  - SPEAKER CONTROL
- MISCELLANEOUS:**
- PHONE TELEPHONE JACK WALL MOUNT
  - TELEVISION CABLE
  - SMOKE DETECTOR
  - CARBON MONOXIDE ALARM
  - REINFORCED
  - 1/2" DIA. HOLE FOR PIPE, WITH LED LIGHT
  - SPEAKERS
  - SPEAKER CONTROL
  - GAS SHUTOFF
  - HOLE SEE
  - CAT 5
  - OCCUPANCY SENSOR



SECTION 1-1

SCALE: 1/16" = 1'-0"



SECTION 2-2

SCALE: 1/16" = 1'-0"

SECTION 1-1 AND 2-2

S-CONCEPTS  
TEL: (603) 448-7427

PHONE: 818 575 9030

REMODEL AND ADDITION  
JACOB RESIDENCE  
5911 COLODNY DRIVE  
AGOURA HILLS, CA 91301

DATE: 6-11-2018

SCALE: 1/20" = 1'-0"

DRAWN: U.BUERLI

JOB: JACOB

SHEET

A-10

OF 10 SHEETS

**GRADING NOTES**

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLES 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREOF SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
  - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
  - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
  - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL ORIGINAL, BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINAGE AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL, BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
  - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
  - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
  - A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
  - ALL CONSTRUCTION ACTIVITY SHALL BE COMPLETED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT OBSERVED HOLIDAYS.

**INSPECTION NOTES**

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

**ABBREVIATIONS**

- |                         |                            |
|-------------------------|----------------------------|
| AC - ASPHALTIC CONCRETE | NO - NATURAL GROUND        |
| BF - BOTTOM OF FOOTING  | NTS - NOT TO SCALE         |
| CB - CATCH BASIN        | PL - PROPERTY LINE         |
| CF - CURB FACE          | POS - POINT OF BEGINNING   |
| C - CENTERLINE          | SDMH - STORM DRAIN MANHOLE |
| CLF - CHAIN LINK FENCE  | SBM - SEWER MANHOLE        |
| CO - CLEAN OUT          | SS - SANITARY SEWER        |
| DB - DEBRIS BASIN       | TB - TOP OF BERM           |
| DL - DAYLIGHT           | TE - TOP OF CURB           |
| EG - EDGE OF GUTTER     | TF - TOP OF FOOTING        |
| EP - EDGE OF PAVEMENT   | TR - TOP OF GRATE          |
| FF - FINISHED FLOOR     | TW - TOP OF WALL           |
| FG - FINISHED GRADE     | TYP - TYPICAL              |
| FH - FIRE HYDRANT       | WB - WATER METER           |
| FL - FLOWLINE           | WV - WATER VALVE           |
| FS - FRESH SURFACE      |                            |
| HC TSP - HANDICAP RAMP  |                            |
| HP - HIGH POINT         |                            |
| HV - INVERT             |                            |

**LEGEND AND SYMBOLS**

- |                           |  |
|---------------------------|--|
| PROJECT BOUNDARY          |  |
| EXISTING GRADE CONTOUR    |  |
| PROPOSED GRADE CONTOUR    |  |
| SPOT ELEVATION            |  |
| PROPOSED SLOPE PER PLAN   |  |
| RETAINING WALL            |  |
| DAYLIGHT CUT/FILL LINE    |  |
| DIRECTION OF FLOW (SLOPE) |  |
| CONSTRUCTION NOTE NUMBER  |  |

**PUBLIC UTILITIES / SERVICES**

- WATER:** LAS VIRGENES MUNICIPAL WATER DISTRICT  
4322 LAS VIRGENES ROAD  
CALABASAS, CA 91302  
(818) 890-4110
- ELECTRICAL:** SOUTHERN CALIFORNIA EDISON  
3569 FOOTHILL DRIVE  
THOUSAND OAKS, CA 91381  
(805) 494-7018
- TELEPHONE:** SBC (PAC BELL)  
16201 RAYMER STREET, #115  
VAN NUYS, CA 91410  
(818) 373-8983
- GAS:** SOUTHERN CALIFORNIA GAS  
3408 GARDALE AVENUE  
CHATSWORTH, CA 91313  
(818) 701-3234
- SEWER:** LA COUNTY, DEPT. OF PUBLIC WORKS  
SEWER MAINTENANCE DIVISION  
1000 S. FREDERICK AVENUE, BLDG. 48 EAST  
ALHAMBRA, CA 91803  
(626) 300-3500
- CABLE:** CHARTER COMMUNICATIONS  
3808 CRENSHAW ROAD  
MALIBU, CA 90265  
(310) 458-8010



**STORMWATER POLLUTION NOTES**

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ON-SITE POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

**OAK TREE NOTES**

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 897-7350, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."

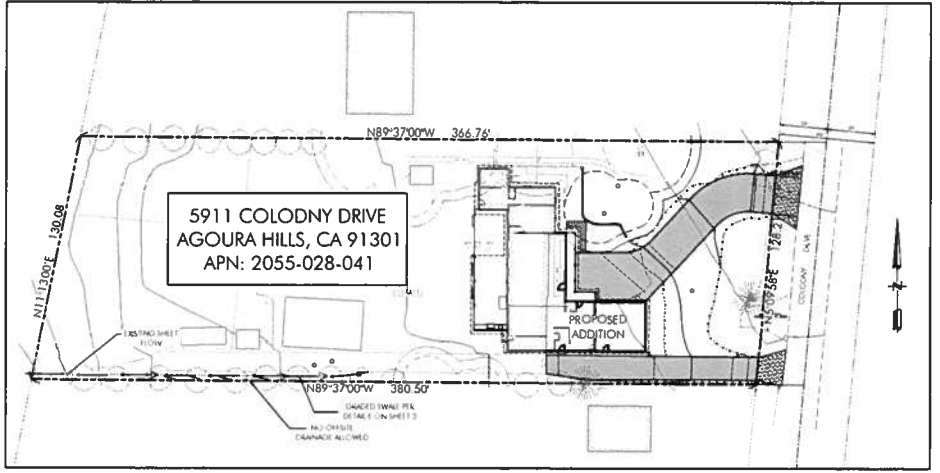
**LEGAL DESCRIPTION**

LOT 11, PARCEL 41, TRACT NO. 2855, BLOCK NO. 800K 23, PAGE 23, CITY OF AGOURA HILLS COUNTY OF LOS ANGELES, CALIFORNIA.

APN: 2055-028-041

**SURVEYOR NOTES**

- BOUNDARIES SHOWN HEREON ARE PER PARCEL MAP NO. 7716, P.M.S. 106-5306
- LANDSCAPING AND LANDSCAPE IRRIGATION DEVICES EXIST WITHIN THE PROPERTY AND ARE NOT SHOWN.
- TREELINE CHANGES ARE PICTORIAL, AND MAY NOT REFLECT TRUE ORPLINES.
- IF RETAINING WALLS OR SIMILAR STRUCTURES ARE TO BE DESIGNED FROM TOPOGRAPHY SHOWN HEREON, THE ELEVATIONS OF CRITICAL POINTS CONTROLLING THE DESIGN MUST BE VERIFIED PRIOR TO ADOPTION OF FINAL DESIGN.



**OVERALL SITEPLAN**  
SCALE: 1" = 30'

INDEX OF DRAWINGS	
SHEET NO	DESCRIPTION
1 OF 4	COVER SHEET
2 OF 4	DRAINAGE/GRADING PLAN
3 OF 4	DETAIL SHEET
4 OF 4	EROSION CONTROL PLAN

ESTIMATED EARTHWORK QUANTITIES			
ESTIMATED CUT	250 CY	ESTIMATED EXPORT	250 CY
ESTIMATED FILL	0 CY	ESTIMATED IMPORT	0 CY
ESTIMATED OVER-EXCAVATION	NA CY		

BENCHMARK:		
DESCRIPTION: BM NO.	ELEVATION:	SURVEY DATE:

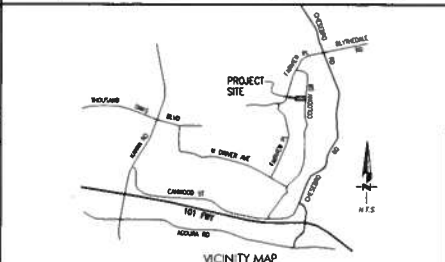
REGISTERED CIVIL ENGINEER			
DESCRIPTION	DATE	REG NO.	EXP DATE

REGISTERED GEOLOGIST			
DESCRIPTION	DATE	REG NO.	EXP DATE

OWNER	
NAME:	ADRIENNE JACOB
ADDRESS:	5911 COLODNY DRIVE, AGOURA HILLS, CA 91301
REPRESENTATIVE:	ADRIENNE JACOB
TELEPHONE:	

CIVIL ENGINEER	
NAME:	PACIFIC COAST CIVIL, INC.
ADDRESS:	30141 AGOURA ROAD, SUITE 300, AGOURA HILLS, CA 91301
REPRESENTATIVE:	RICHARD E. DOSS
TELEPHONE:	(818) 963-1189

GEOTECHNICAL ENGINEER	
NAME:	
ADDRESS:	
REPRESENTATIVE:	
TELEPHONE:	



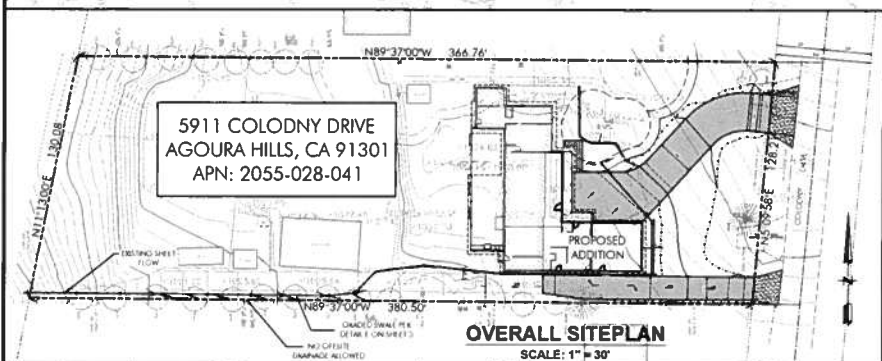
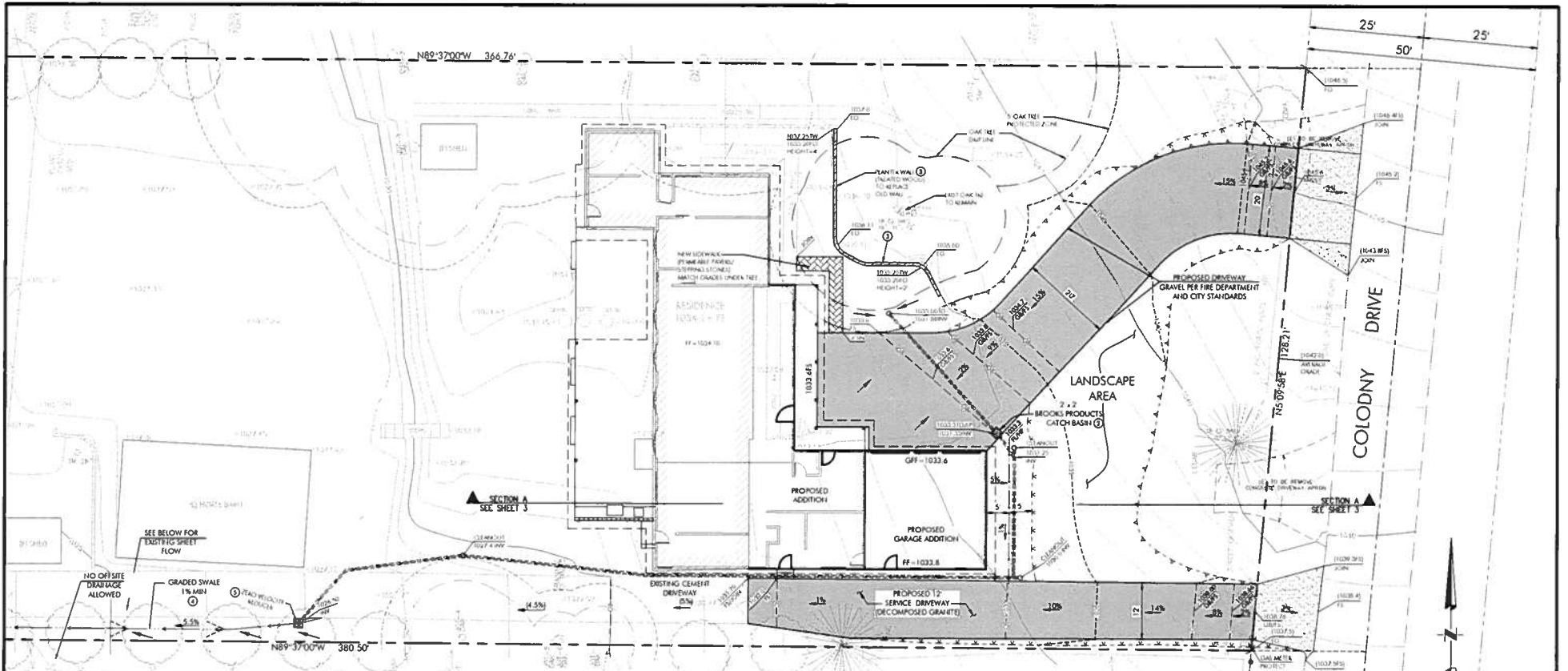
REGISTERED TECHNICAL ENGINEER			
DESCRIPTION	DATE	REG NO.	EXP DATE

CITY OF AGOURA HILLS APPROVAL			
REVIEWED BY	DATE	REG NO.	EXP DATE
RAMIRO S. ADEVA II, P.E. CITY ENGINEER		064895	09/30/2020

COVER SHEET	
PROJECT NO.	18-1539
SHEET	1 OF 4

REVISION	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY	
PACIFIC COAST CIVIL, INC. 30141 Agoura Road, Suite 300 Agoura Hills, CA 91301 PH: (818) 963-1189 FAX: (818) 963-1188	RICHARD E. DOSS, R.C.E. 064895



- CONSTRUCTION NOTES: ON-SITE**
- ① AREA DRAIN PER DETAIL ON SHEET C-3
  - ② CATCH BASIN PER DETAIL B ON SHEET C-3
  - ③ DRAIN AT BACK OF WALL PER DETAIL A ON SHEET C-3
  - ④ GRADED SWALE PER DETAIL D ON SHEET C-3
  - ⑤ WELLSITY RESURF PER DETAIL E ON SHEET C-3

<b>APPLICANT</b>	
NAME: ADRIENNE JACOB	
ADDRESS: 5911 COLODNY DRIVE, AGOURA HILLS, CA 91301	
REPRESENTATIVE: ADRIENNE JACOB	
TELEPHONE:	
<b>CIVIL ENGINEER</b>	
NAME: PACIFIC COAST CIVIL, INC.	
ADDRESS: 39141 AGOURA ROAD, SUITE 200, AGOURA HILLS, CA 91301	
REPRESENTATIVE: RICHARD E. DOSS	
TELEPHONE: (918) 963-4168	

<b>LEGAL DESCRIPTION</b>
LOT 11, PARCEL 41, TRACT NO. 2885, BLOCK NO. 28, PAGE 33, CITY OF AGOURA HILLS & COUNTY OF LOS ANGELES, CALIFORNIA.
APN: 2055-028-041
<b>5911 COLODNY DRIVE AGOURA HILLS, CA 91301 APN: 2055-028-041</b>

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

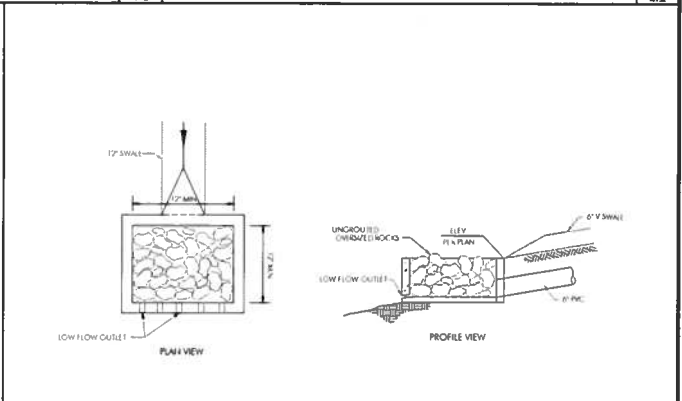
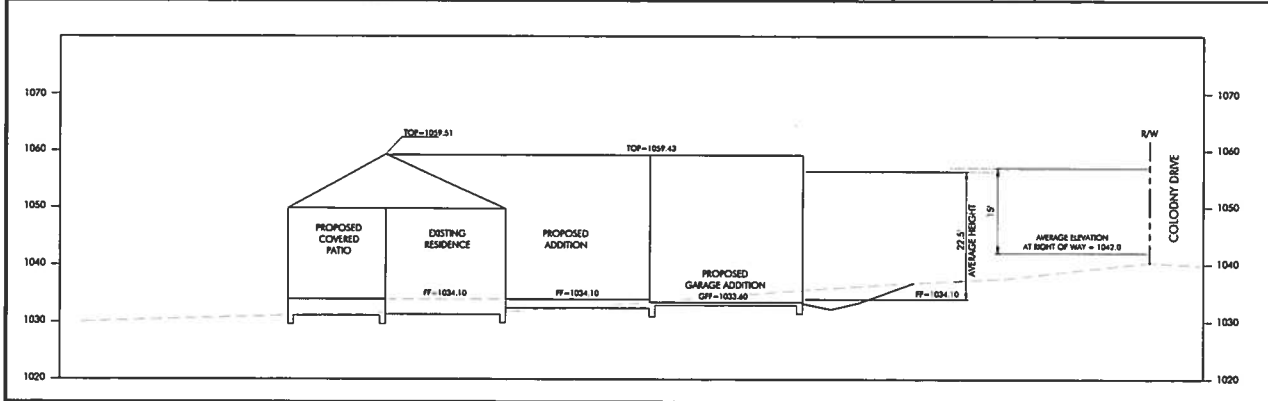
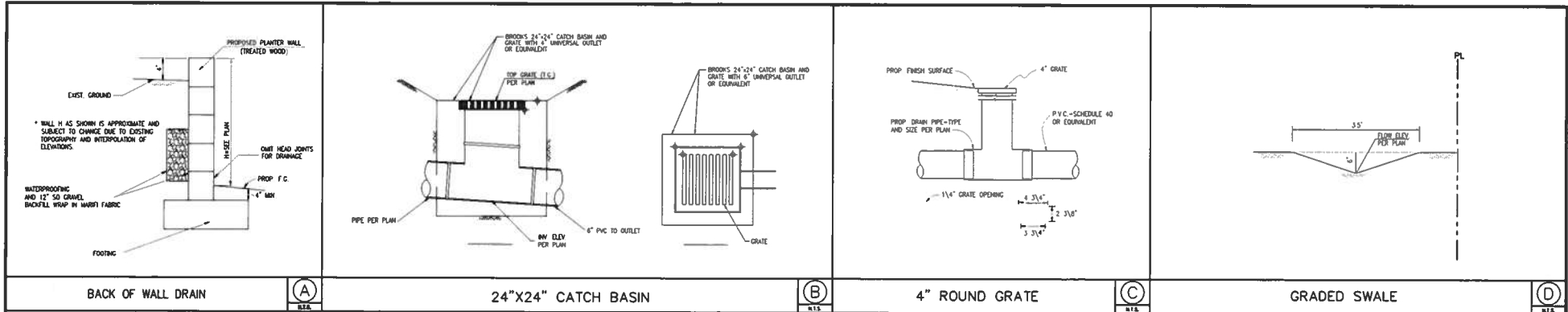
PREPARED BY  
**PACIFIC COAST CIVIL, INC.**  
 28141 Agoura Road, Suite 200  
 Agoura Hills, CA 91301  
 PH: (918) 963-4168  
 FAX: (918) 963-4168

CITY OF AGOURA HILLS APPROVAL

REVIEWED BY	DATE	RAMIRO S. ADEVA III, P.E. CITY ENGINEER	DATE
-------------	------	--	------

AGOURA HILLS  
 PROJECT NO. 18-1539  
 SHEET 2 OF 4

**DRAINAGE/GRADING PLAN**  
 05/01/2019



SECTION A-A

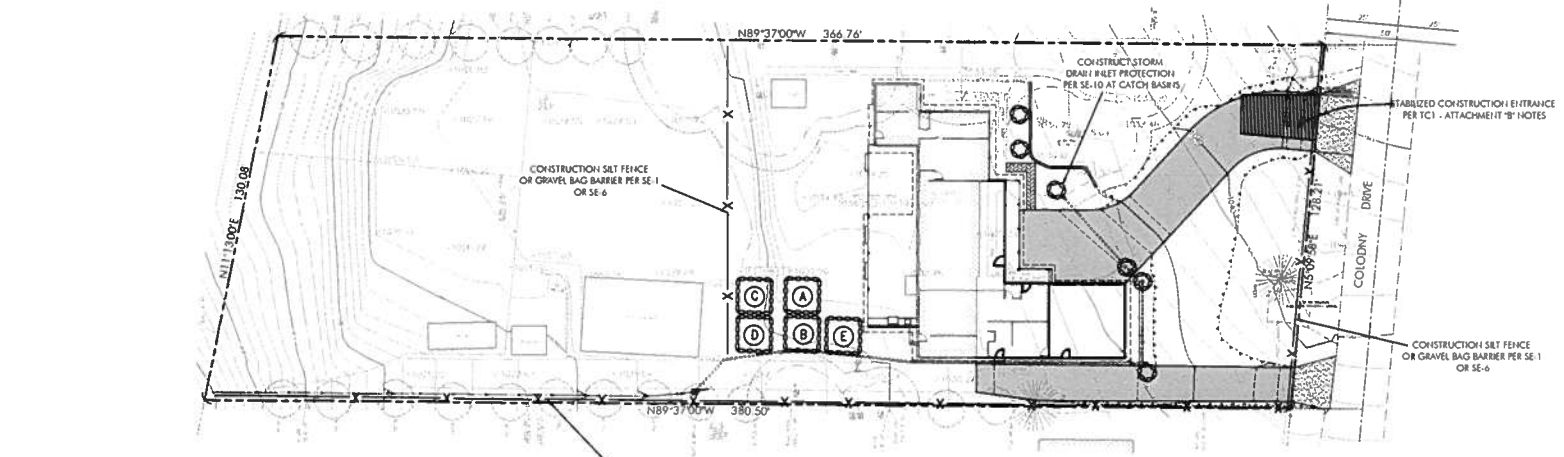
ZERO VELOCITY REDUCER

<p><b>APPLICANT</b></p> <p>NAME: ADRIENNE JACOB</p> <p>ADDRESS: 5911 COLODNY DRIVE, AGOURA HILLS, CA 91301</p> <p>REPRESENTATIVE: ADRIENNE JACOB</p> <p>TELEPHONE:</p>		<p><b>LEGAL DESCRIPTION</b></p> <p>LOT 11, PARCEL 41, TRACT NO. 2880, BLOCK NO. 1, BOOK 28, PAGE 33, CITY OF AGOURA HILLS &amp; COUNTY OF LOS ANGELES, CALIFORNIA.</p> <p>APN: 2055-028-041</p>
<p><b>CIVIL ENGINEER</b></p> <p>NAME: PACIFIC COAST CIVIL, INC.</p> <p>ADDRESS: 30141 AGOURA ROAD, SUITE 200, AGOURA HILLS, CA 91301</p> <p>REPRESENTATIVE: RICHARD E. DOSS</p> <p>TELEPHONE: (818) 862-4159</p>		<p>5911 COLODNY DRIVE AGOURA HILLS, CA 91301 APN: 2055-028-041</p>

<p>PREPARED BY</p> <p>PACIFIC COAST CIVIL, INC. 28141 Agoura Road, Suite 200 Agoura Hills, CA 91301 PH: (818) 862-4159 FAX: (818) 862-4159</p>	<p>CITY OF AGOURA HILLS APPROVAL</p> <p>REVIEWED BY: _____ DATE: _____</p> <p>RAMIRO S ADEVA III, P.E. CITY ENGINEER</p>	<p>06-8603 "ICE" NO.</p> <p>09/30/2020 EXP. DATE</p>	<p><b>DETAIL SHEET</b></p> <p>PROJECT NO. 18-1539</p> <p>SHEET 3 OF 4</p>
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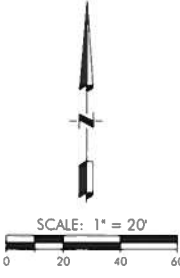
**GENERAL NOTES**

- IN CASE OF EMERGENCY, CALL 911 AT \_\_\_\_\_
- TOTAL DISTURBED AREA: 0.31 ACRES, 1000 SQ. FT.
- A STANDBY CLEAN UP OR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (APRIL 1 TO APRIL 15) NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT APPROPRIATE LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF THE EROSION CONTROL DEVICES WHEN DRAIN IS INSTALLED.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE DAMAGE OR MAINTENANCE PROCESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
- GRADE AREAS ADJACENT TO HILL SLOPES LOCATED AT THE SITE PLUMB LINE MUST BE MAINTAINED AT THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOCAL SOLES AND DEEPS SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AT THE END OF EACH WORKING DAY AND BE DISPOSED OF PROPERLY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WALLS IN ANY DEVICES EXCEEDS TWO FEET. THE DEVICES SHALL BE EXPOSED TO PUMPED OUT WITHIN 24 HOURS AT THE END OF EACH WORKING DAY AND EXHAUSTION OF ALL BAGS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP OR DEWATERING OPERATIONS.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTROL POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
- DEBRIS AND BAGS MAY NOT BE REMOVED OR MADE INOPERATIVE BE BETWEEN APRIL 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MAINTAINED AS NEEDED AS THE PROJECT PROGRESSES. THE DESIGN AND CONSTRUCTION OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PUNTS AND UNINTENDED CHANGES MUST BE SUBMITTED FOR APPROVAL BY THE BUILDING OFFICIAL.
- LIVELY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITES AT ALL TIMES.
- EXCESS SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE TO STREET FLOW, DRAINS, AREAS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF FERTILIZER AND OTHER CONSTRUCTION RELATED MATERIALS SHALL BE PROTECTED FROM WIND AND TRANSPORTED FROM THE SITE BY FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THE REGS AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. AT APPROVED STOCKPILE CONTAINERS ARE TO BE PROTECTED FROM THE WIND. THE SPILLS MUST BE CLEAN UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS ON-WASH CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTED ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- DEVELOPER/CONTRACTORS ARE RESPONSIBLE TO INSTALL ALL EROSION CONTROL DEVICES AND BMPs AS INSTALLED AND FUNCTIONING PROPERLY. THESE DEVICES MUST BE MAINTAINED AT ALL TIMES AND PROTECTED FROM THE WIND. THE SPILLS MUST BE CLEAN UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- FRESH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF SURFACE AND GROUND BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE WASHED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY WASH OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DEBRIS OF MATERIALS MUST BE STABILIZED SO AS TO PREVENT EROSION BY WIND AND WATER.
- AS THE ENGINEER HAS OF RECORD, HAVE SELECTED APPROPRIATE BMP TO EFFECTIVELY MANAGE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMP MUST BE INSTALLED, MAINTAINED, AND MAINTAINED TO ENSURE THE EFFECTIVENESS.



- 2) THE FOLLOWING BMP FROM THE "2007 CONSTRUCTION BMP HANDBOOK SPECIFICATIONS" MUST BE IMPLEMENTED FOR ALL CONSTRUCTION ACTIVITIES AS APPLICABLE. AS AN ALTERNATE, DETAILS FROM THE "2014 CONSTRUCTION WATER QUALITY HANDBOOK CONSTRUCTION SITE BMP MANUAL" MAY BE USED. ADDITIONAL MEASURES MAY BE REQUIRED IF DETERMINED APPROPRIATE BY THE BUILDING OFFICIAL.
- |  |   |
|--|---|
| <b>ATTACHMENT 'B' NOTES</b>                | <b>NON-CONTAMINATE MANAGEMENT</b>       |
| <b>CONSTRUCTION</b>                        |   |
| IC1 - NO EROSION                           | N01 - WASTE CONSTRUCTION PRACTICES      |
| IC2 - PRE-EROSION OF EXISTING VEGETATION   | N02 - DEWASHING OPERATIONS              |
| IC3 - SITE MAINTENANCE                     | N03 - PARKING AND GROUND OPERATIONS     |
| IC4 - HYDROLOGICAL                         | N04 - TRAILER MAT LITERAL COLLECTION    |
| IC5 - SOIL IMPACTS                         | N05 - CLEAN WASTE DISPOSAL              |
| IC6 - SILT/MUD                             | N06 - KUCCI CONNECTIONS/CHARGE          |
| IC7 - DECONTAMINATED WASTE                 | N07 - POTABLE WATER MANAGEMENT          |
| IC8 - WOOD MULCHING                        | N08 - VEHICLE AND EQUIPMENT CLEANING    |
| IC9 - FERTILIZER AND DRAINAGE WATERS       | N09 - VEHICLE AND EQUIPMENT FUELING     |
| IC10 - VELOCITY DEGRADATION DEVICES        | N10 - VEHICLE AND EQUIPMENT MAINTENANCE |
| IC11 - SOIL DAMPS                          | N11 - PRE-EROSION OPERATIONS            |
| IC12 - SITE MAINTENANCE/STABILIZATION      | N12 - CONCRETE CURING                   |
| IC13 - POLYACRYLAMIDE                      | N13 - CONCRETE FINISHING                |
| <b>TEMPORARY SEDIMENT CONTROL</b>          | N14 - MATERIAL AND EQUIPMENT LIME       |
| SE1 - SILT FENCE                           | N15 - DECONTAMINATION ADJACENT TO WASTE |
| SE2 - SEDIMENT BASIN                       | N16 - TEMPORARY BATCH PLANTS            |
| SE3 - SEDIMENT TRAP                        |   |
| SE4 - CHECK DAM                            |   |
| SE5 - FIBER ROLL                           |   |
| SE6 - CHURN BAG BARRIER                    |   |
| SE7 - 3" X 12" SPLITTING AND VACUUMING     |   |
| SE8 - SAND/GRASS MATS                      |   |
| SE9 - 1" SHALE BAG BARRIER                 |   |
| SE10 - 3" SHOWN DAMM INLET PROTECTION      |   |
| <b>WIND EROSION CONTROL</b>                |   |
| WE1 - WIND EROSION CONTROL                 |   |
| <b>EQUIPMENT FUNCTIONALITY CONTROL</b>     |   |
| EC1 - STABILIZED CONSTRUCTION ENTRANCE LOT |   |
| EC2 - STABILIZED CONSTRUCTION ROADWAY      |   |
| EC3 - ENTRANCE/EXIT TAIL WASH              |   |
|  | WM1 - MATERIAL DELIVERY AND STORAGE     |
|  | WM2 - MATERIAL USE                      |
|  | WM3 - STOCKPILE MANAGEMENT              |
|  | WM4 - SPILL PREVENTION AND CONTROL      |
|  | WM5 - SOLID WASTE MANAGEMENT            |
|  | WM6 - HAZARDOUS WASTE MANAGEMENT        |
|  | WM7 - CONTAMINATION SOIL MANAGEMENT     |
|  | WM8 - CONCRETE WASTE MANAGEMENT         |
|  | WM9 - SANITARY WASTE MANAGEMENT         |
|  | WM10 - LIQUID WASTE MANAGEMENT          |

- (A) CONCRETE WASHOUT AREA PER WM6 - ATTACHMENT 'B' NOTES
- (B) VEHICLE AREA PER WM9.9.10 - ATTACHMENT 'B' NOTES
- (C) STOCKPILE/CONSTRUCTION WASTE AREA PER WM-3 - ATTACHMENT 'B' NOTES
- (D) CONSTRUCTION / EROSION CONTROL SANDS/STOCKPILE STORAGE AREA PER WM-1 - ATTACHMENT 'B' NOTES
- (E) SANITARY WASTE MANAGEMENT AREA PER WM9 - ATTACHMENT 'B' NOTES



<b>APPLICANT</b>	
NAME: ADRIENNE JACOB	
ADDRESS: 5911 COLODNY DRIVE, AGOURA HILLS, CA 91301	
REPRESENTATIVE: ADRIENNE JACOB	
TELEPHONE:	
<b>CIVIL ENGINEER</b>	
NAME: PACIFIC COAST CIVIL, INC.	
ADDRESS: 30141 AGOURA ROAD, SUITE 300, AGOURA HILLS, CA 91301	
REPRESENTATIVE: RICHARD E. DOSS	
TELEPHONE: (918) 885-4168	

<b>LEGAL DESCRIPTION</b>	
LOT 11, PARCEL 41, TRACT NO. 2086, BLOCK NO., BOOK 25, PAGE 33, CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, CALIFORNIA.	
APN: 2055-028-041	
<b>5911 COLODNY DRIVE AGOURA HILLS, CA 91301 APN: 2055-028-041</b>	

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY	CITY OF AGOURA HILLS APPROVAL	REVIEWED BY	DATE	DATE	DATE	PROJECT NO.	SHEET	OF
					RICHARD E. DOSS, R.C.E. C4847	CITY OF AGOURA HILLS APPROVAL	RAMIRO S. ADEVA III, P.E. CITY ENGINEER				18-1530	4	OF 4



**EROSION CONTROL PLAN**

05/01/2018

664965 REC 183 09/30/2020 EXPIRE DATE

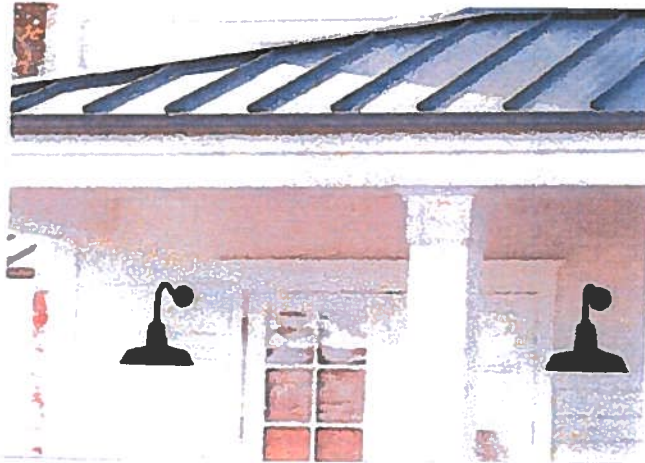
PROJECT NO. 18-1530

SHEET 4 OF 4



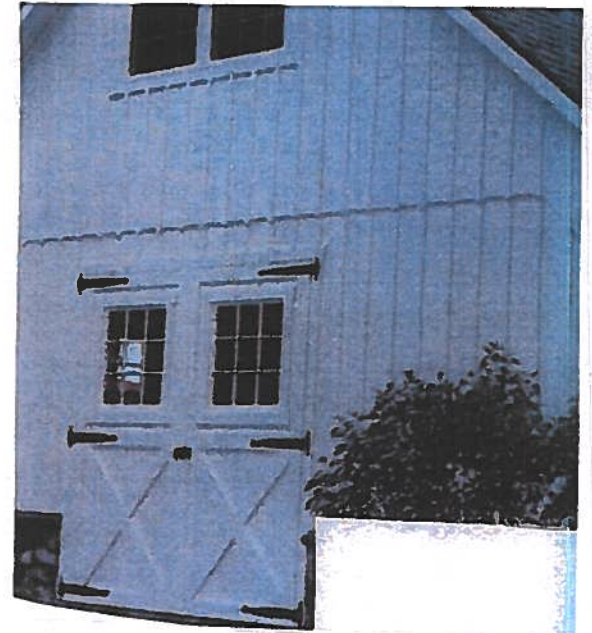


**Board & Batten Siding**



**Barn Lights**

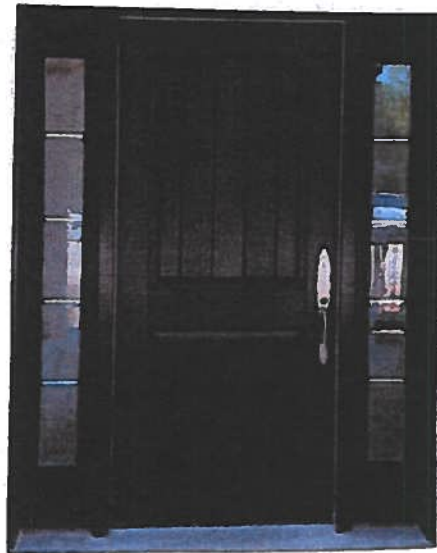
**Charcoal Metal Roof**



**Decorative Barn Door,**

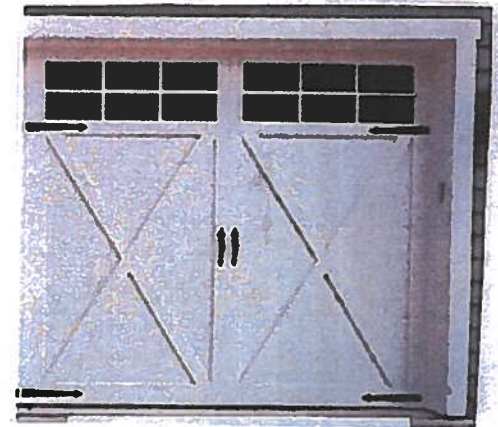


**French Doors**



**Wood Black**

**Entry Door**



**Garage Doors**



**Gravel Driveway**

**JACOB Residence**

**STANDING SEAM SHEET METAL**

**ROOF PANELS 07 41 13**

COLOR - Charcoal



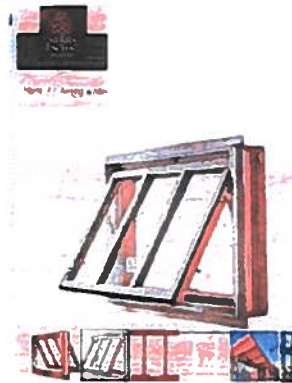
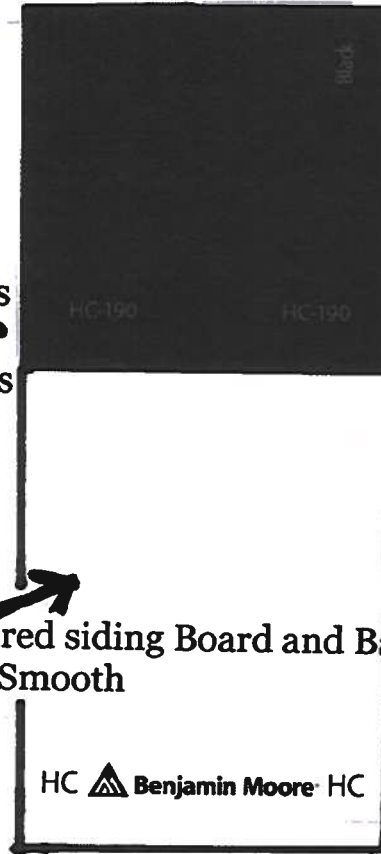
**Technical Properties for Vertical Seam:**

- Panel Coverage: 12 inches (304.8 mm), 16 inches (406.4 mm) or 18 inches (457.2 mm)
- Rib Height: 1-3/4 inches (44.5 mm)
- Material: Aluminum-zinc alloy-coated steel sheet, ASTM A 792, Class AZ50 coating designation, Grade 50, structural quality, 0.022 inch (0.56 mm), 0.028 inch (0.71 mm) or 0.034 inch (0.86 mm) nominal thickness
- Minimum Roof Slope Capability: 3:12 over Open raftering
- Minimum Roof Slope Capability: 1:12 over Solid substrate
- Sealant: Factory-applied side lap sealant
- Attachment: Concealed clip designed for thermal movement
- Side Lap: Snap-together panel system
- Insulation Capacity: Accommodate blanket insulation 1/2 inch (12.7 mm) to 4 inches (101.6 mm) thickness
- Application: Applied over open framing or solid substrate
- Surface Finish: PVDF (Kynar 500®), MS Color-st45 or Acrylic Coated Galvalume.
- Color: See list of available colors. Contact Metal sales for more information.
- Testing: Fire Resistance Rating: UL 790 Class A  
 Rattle Resistance Rating and UL 263  
 Impact Resistance: UL 2218 Class 4  
 Air Infiltration: Tested according to ASTM E 1680  
 Water Infiltration: Tested according to ASTM E 1646  
 Wind Uplift Resistance: Tested according to ASTM 1592 and in compliance with UL 580, Class 90

**PAINT COLORS**

Black HC-190  
Barn Door Shutters  
All Doors  
Font and side doors

White AF-5  
Hardie board Textured siding Board and Batten  
Trim- Arctic White Smooth



**Standard Awning - CA**

- Awning window opens outward from the bottom to give you fresh air while it's raining. Stay dry as secondary windows high on your wall to maximize light for your room, or provide several above as before a picture window to provide extra light. • Don't obstruct your view.
- 1 1/2" protective trimmers protecting for a low maintenance window
  - 75 powder coated and anodized brackets, low profiles and reinforced corner joints
  - Abrasive and laceration resistant covers
  - Equipped with built-in locks on the side panel
  - Finished by our exclusive On Guard Plus™ - the industry's best wood protection
  - 2 inch wide - narrow and deep
  - Closest Cabinet or Contemporary frame profile
  - Choose from a variety of performance finishes and hardware. Contact for profiles and colors.

**James Hardie**  
Siding | Trim

Krosswood Knotty Alder 6 Lite Craftsman With Beveled Glass

HardieTrim®  
Batten  
4/4 x 2.5 in.  
Smooth  
Sail Cloth

Door Size (WxH)

42" Wide x 96" Tall x 1-3/4" Thick (3' 6" W x 8' 0" H)  
( \$935.00 )

Pre-Hanging

Yes

Handle Preparation (Ac)



HardieTrim®  
5/4 x 5.5 in.  
Smooth  
Arctic White

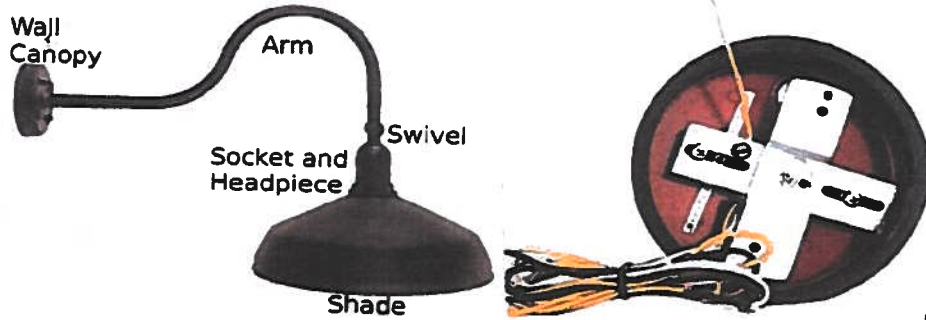
**5/4 RUSTIC GRAIN®**

Thickness 1 in.  
Length 12 ft. boards  
Width 3.5 in. 5.5 in. 7.25 in.

Lighting above garage doors  
above black barn door shutter

**Affordable Quality**

**ADLXSV925/ADLXSV930**



ADLXSV925 Figure A

Heavy Duty Cross Mounting Yoke

Voltage	12V / 120V
Socket Type	UL Certified E26 Medium Base
12v Bulb Type	A19 / M16 (with adapter)
120v Bulb Type	PAR30 / PAR38
Power Rating	120W
Mounting	Wall / Surface
Weight	4.69 lbs
Dimensions	H:20" x L:27.5" x D:15.5"

**JACOB RESIDENCE**  
5911 Colodny Dr  
Agoura Hills, CA  
805-630-2272

Lighting on sides of doors front  
and side doors



**PROGRESS LIGHTING**



Home // Casement Window // Standard Casement - WI



**Standard Casement - WI**

The clean lines and smooth operation of our casement windows make them a favorite across the country. Combine them with other fixed or operable Sierra Pacific windows to create a true room with a view.

- Choose from up to nine interior wood species. Pine is standard.
- Dust-arm operator opens a full 90 degrees for easy cleaning.
- New Escore folding handle is available in 11 decorator finishes.
- Sierra Pacific divided lites, grilles in the airspace or removable wood grilles available.
- Protected by our exclusive CoreGuard Plus™, the industry's best wood protection.



Home // Swinging Door



**Inswing - WI**

Like all of our doors, our inswing door can be enhanced by dramatically combining transom sidelites or additional door panels. For optimum security and superior weather resistance, feature a multi-point locking system that has passed the most stringent forced entry requirements. But best of all, all of our doors come with the same attention to detail and innovative engineering you've come to expect from Sierra Pacific.

- Protected by our exclusive CoreGuard Plus™, the industry's best wood protection.
- 1-3/4" thick panels
- Thick heavy-duty extruded aluminum cladding for a low maintenance exterior.
- Multi-point locking mechanism with solid forged brass handles in multiple finishes.
- Sillies & top rail 4-1/2". Select 4-1/2", 7-1/2", or 9-1/2" bottom rail.
- Optional swing screen.
- Personalize designs with optional arched and full radius tops and bottom panel.
- Matching sidelites with a 2 7/8" stile.
- Largest selection of options including 75 exterior powder-coat and anodize finishes

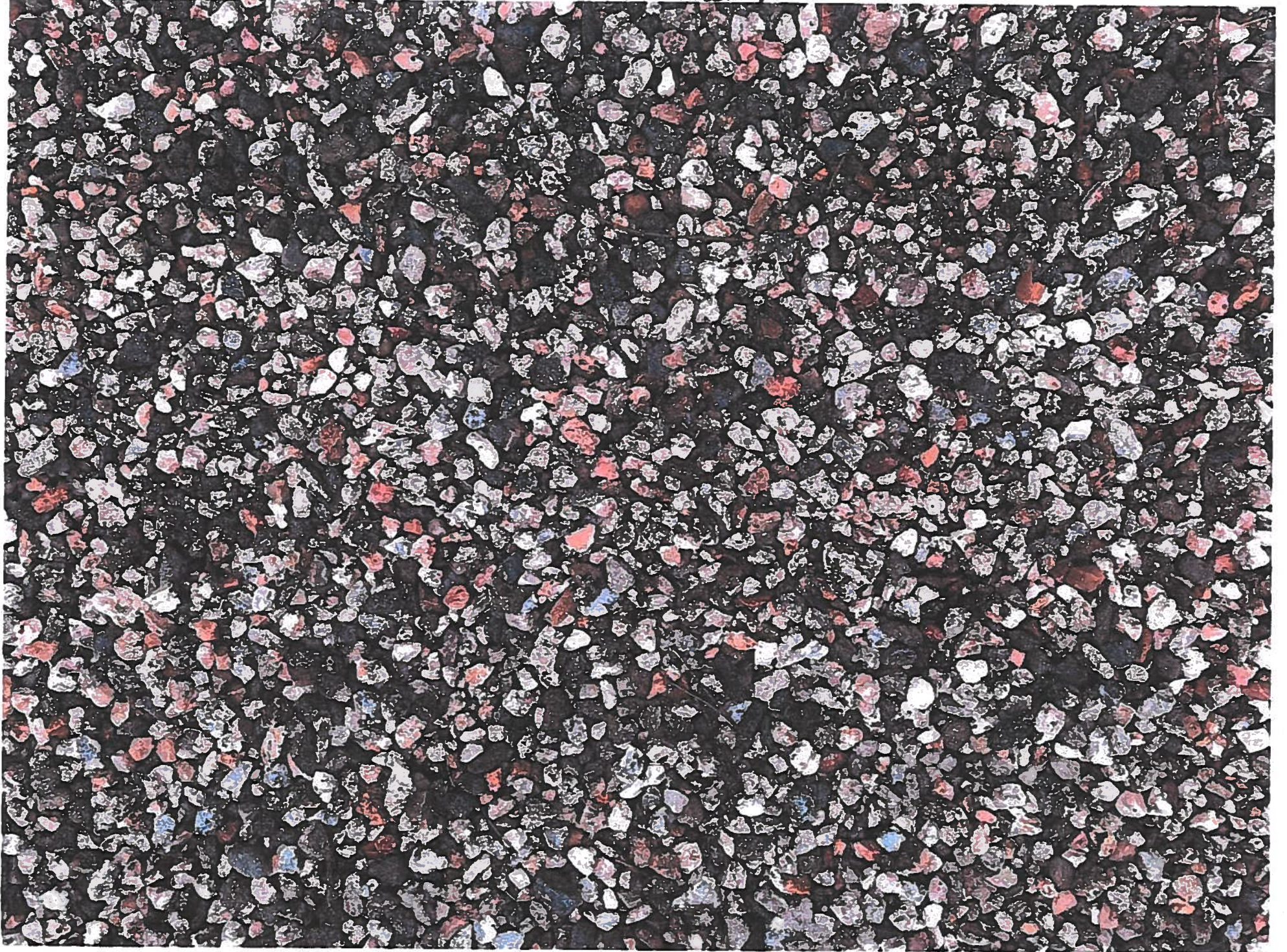
**Dimensions**

- Height: 11-1/2"
- Width: 8-5/8"
- Extension: 10-1/4"
- Product Weight: 1.2 lbs
- Wire Length: 6"

**Electrical Specifications**

- Bulb Base: Medium (E26)
- Number of Bulbs: 1
- Bulb Included: No
- Watts Per Bulb: 100 watts
- Wattage: 100 watts
- Voltage: 120 volts

RED GRAVEL JMCOD - 5911 COLONY LY.



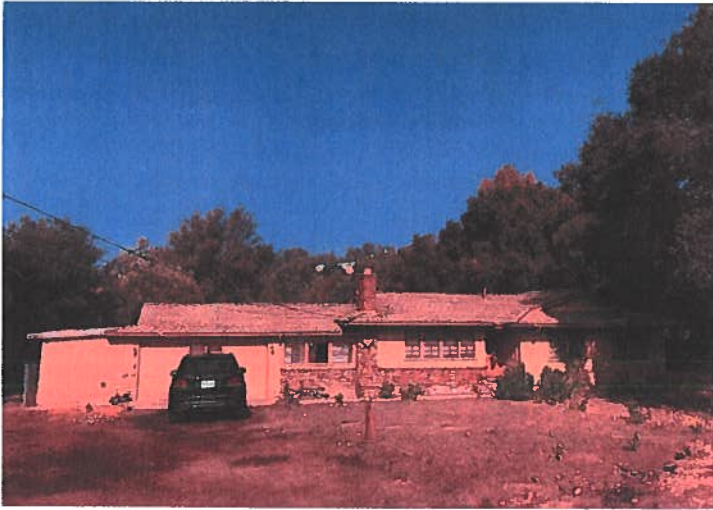


**JACOB Residence    5911 Colodny Dr. Agoura Hills**

**Site Plan/Architectural Review Case No. SPR-01493-2018**

**and**

**Oak Tree Permit Case No. OAK-01494-2018**



**Existing Residence – Front Elevation**



**East View – Colodny Drive**



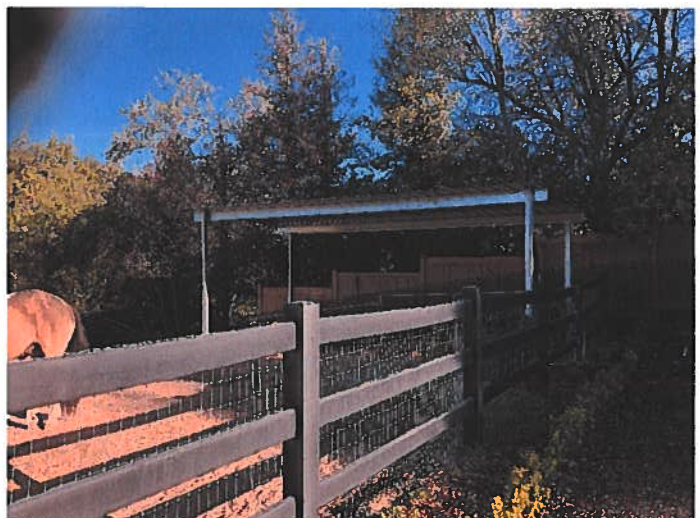
**Site Plan/Architectural Review Case No. SPR-01493-2018**

**and**

**Oak Tree Permit Case No. OAK-01494-2018**

**Accessory Structures**

**in the Rear Yard**





**Richard W. Campbell**  
ASLA BSLA  
Landscape Architect  
Calif. #1099 - Rev. #14  
(805) 375-1810  
P. O. Box 6182  
Thousand Oaks, Calif. 91350

# OAK TREE REPORT ADDENDUM III JACOB PROPERTY April 11, 2019

Adrienne Jacob  
5911 Colodny Drive  
Agoura Hills, CA 91301

Attn.: Adrienne

**JACOB PROPERTY**  
5911 COLODNY DRIVE  
IN THE "OLD AGOURA" AREA  
OF THE CITY OF AGOURA HILLS, CALIFORNIA

## GENERAL STATEMENT

As a response to the City of Agoura Hills Oak Tree Senior Planner, Valerie Darbouze, this Addendum III letter proposes to address the encroachment into the Protected Zones of Oak Trees JOT-1, OST-1 & OST-2, for the re-pitching of the Main House roof, as follows:

## RESPONSE COMMENT(S)

- A. Due to the construction (re-pitching) activities for the Main House roof, encroachment into the Protected Zones of Oak Trees JOT-1, OST-1 and OST-2 is proposed.

Prior to any roof construction (re-pitching) activities, canopy pruning of branches up to six inches (6") in diameter may be necessary for proper roof clearance.

It is proposed to prune up to two per cent (2%) of the westerly canopy of Oak Tree JOT-1, for five foot (5') of clearance above the newly proposed Main House roof construction (re-pitching).

It is proposed to prune up to five per cent (5%) of the southerly canopy of Oak Tree OST-1, for five foot (5') of clearance above the newly proposed Main House roof construction (re-pitching).





It is proposed to prune up to one per cent (1%) of the southerly canopy of Oak Tree OST-2, for five foot (5') of clearance above the newly proposed Main House roof construction (re-pitching).

## CONCLUSION AND RECOMMENDATION

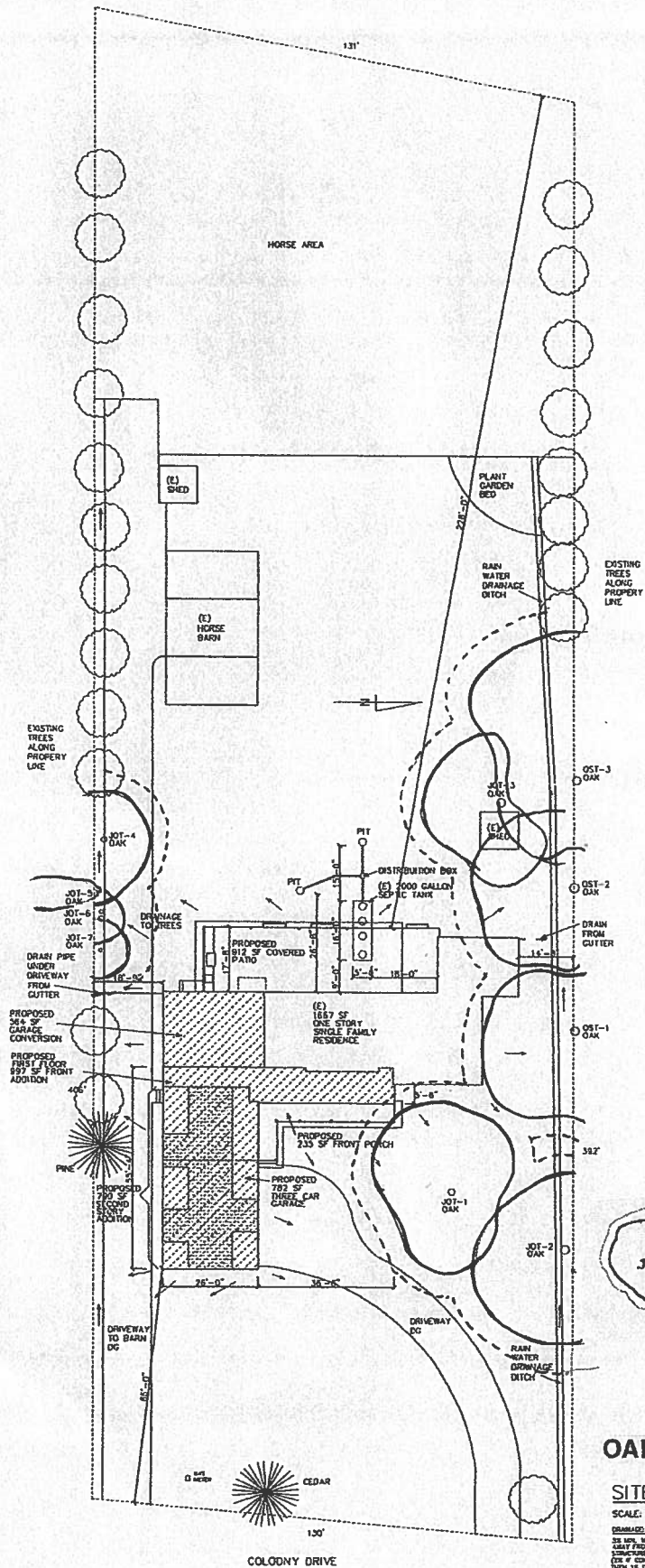
It is my opinion, that the proper canopy pruning (by an Approved Tree Pruning Company) of Oak Trees JOT-1, OST-1 and OST-2 will not have any long-term negative effects on the health and/or structural stability of these three (3) Trees.

Because of unknown factors in the preparation and roof construction (re-pitching) activities for the Main House, "Story Poles" and/or other physical indicators of the proposed roof height limits, must be in place for the Applicant's Consulting Arborist to properly monitor the clearance pruning operations.

Cordially,



Richard W. Campbell, A.S.L.A., B.S.L.A.  
Landscape Architect and Oak Tree Preservation Specialist-Arborist  
California License #1099, Nevada License #14  
P. O. Box 6192 Thousand Oaks, CA. 91359  
Phone (805) 375-1010  
[rwcampbellasla@verizon.net](mailto:rwcampbellasla@verizon.net)  
[www.richardwcampbellasla.com](http://www.richardwcampbellasla.com)



**OAK TREE MAP**

**SITE PLAN**

Rev. 6-30-18

SCALE: 1/8" = 1'-0"

DRAWN BY  
 25 APR. BY  
 CHECKED BY (P. OF FALL)  
 (S. & CONSTRUCTION)  
 100 N. 10 STREET  
 OR APPROVED  
 FROM GUYTON OR DRAINAGE COURSE  
 CIRC. 8-10-13  
 (CIRC. 1004.3)

COLODNY DRIVE