

REPORT TO CITY COUNCIL

DATE: JUNE 26, 2019

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: GREG RAMIREZ, CITY MANAGER *gr*

BY: NATHAN HAMBURGER, ASSISTANT CITY MANAGER *nh*
DAVE WARD, COMMUNITY DEVELOPMENT DIRECTOR *DW*

SUBJECT: CONDUCT A PUBLIC HEARING TO REVIEW THE AGOURA HILLS PLANNING COMMISSION'S APPROVAL OF THE SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01504-2018 FOR 28500 DRIVER AVENUE (APN 2055-004-40); A REQUEST TO CONSTRUCT A 4,917 SQUARE-FOOT, TWO-STORY, SINGLE-FAMILY RESIDENCE AND A 695 SQUARE-FOOT ATTACHED GARAGE (MANISH DRONA, APPLICANT)

The City Council has elected to review a decision made by the Planning Commission per Division 7, Section 9807 of the Agoura Hills Municipal Code. Staff recommends that the City Council conduct a de novo public hearing, review Site Plan/Architectural Review (SPR) Case No. SPR-01504-2018, and either (1) uphold the Planning Commission's original decision and uphold the project, as conditioned; (2) approve the project as recently modified; (3) modify the Planning Commission's decision by amending the project's conditions or modifying the project's site plan and architecture; or (4) overturn the Planning Commission's decision and deny the project.

On May 2, 2019, the new single-family residence project at 28500 Driver Avenue (A.P.N. 2055-004-040) was brought before the Planning Commission for consideration at a regularly scheduled hearing. The Planning Commission voted to approve the project with a vote of 4-0-1 (Commissioner Wolf was absent), with additional conditions.

The City Council action at its meeting on May 14, 2019 was to consider whether the City Council should elect to review the project and direct staff to set a de novo hearing at a future City Council meeting, or decline to review the project. The City Council voted 4-1 (Weber opposed) to review the project at a future City Council meeting.

The project consists of a new two-story, 4,917 square-foot residence, attached 695 square-foot garage, and an 840 square-foot swimming pool on a 21,781 square-foot site on Driver Avenue. The site is zoned Residential Low Density (20,000 square-foot minimum lot size)-Old Agoura Design Overlay-Equestrian Overlay Zone (RL-20,000-OA-EQ).

Attachment 1 of this report consists of the Planning Commission staff report, along with the full attachments, including project plans. The staff report contains a detailed description of the proposed project, and analysis of the requested application. Attachment 2 contains the Planning Commission Resolution approving the Site Plan/Architectural Review, along with the adopted conditions of approval. The Planning Commission minutes are provided in Attachment 3.

Staff recommended the Planning Commission approve the project because it found the project met the requirements set forth in the Agoura Hills Municipal Code, complied with the Old Agoura Design Guidelines, and was consistent with the General Plan. The Planning Commission considered the request, staff's analysis of the project and recommendation outlined in the staff report, along with all written and oral testimony presented at the public hearing. Although the Planning Commission approved the project, some Commissioners indicated concerns with the project, primarily in terms of its compatibility with the rural character of Old Agoura, the architectural design, and the proximity of the driveway gate to the street. As such, as part of the approval of Resolution No. 19-1223, the Planning Commission approved two additional project conditions:

“76. The applicant shall move the location of the entry gate at least nineteen feet into the driveway beyond what is shown on the Site Plan.”

“77. The applicant shall modify the entryway to embrace a rural style consistent with the intent of the Old Agoura Design Guidelines and safe building principles, including, but not limited to, removing the four columns, to the satisfaction of the Planning Director and City Building Official.”

In an effort to address the Planning Commission's conditions, as well as concerns and comments raised at the Planning Commission hearing, on May 2, 2019, the applicant submitted revised plans (Attachment 4). The driveway entry gate has been moved further into the driveway in accordance with Condition 76. The applicant also provided an outline of revisions to the building design since being presented to the Planning Commission that include the following:

- (1) The original round-profile, double-height entry columns have been replaced with five (5) feet high tapered columns (Craftsman style) sitting on a four (4) foot high base wrapped in stone veneer;
- (2) The original two-story high main entry gable roof has been replaced. The front porch is now covered with a 15-foot high gable roof with exposed heavy timber framing members. Above the porch area, the second story of the house has a hip roof. The angle of the hip roof further reduces the mass of the entry by sloping 25 feet of the otherwise full-height roof ridge; or
- (3) The arched 18-foot high double-door and transom entry on the front façade has been replaced with an eight (8) foot high rectangular, single-door with

sidelights. The two original tall arched windows at either side of the main entry door have been replaced with four (4) rectangular windows, two below the covered porch and two above the porch, all on the same wall;

- (4) The front entry wall will have hardy board as siding material instead of a stucco finish; and
- (5) The arched handrails at the front steps have been replaced with rectilinear handrails centered at each of the two (2) inner columns.

The applicant has also submitted revised renderings showing the revision (Attachment 5). The size and footprint of the residence remains as originally planned.

RECOMMENDATION

Staff respectfully recommends the City Council conduct a de novo hearing and consider any of the following options:

1. Uphold the Planning Commission's decision, including conditions added by the Planning Commission, to approve the project with conditions, and adopt a Resolution (Attachment 6); or
2. Approve the project as proposed by the applicant in the plans date stamped June 12, 2019 and adopt a Resolution (Attachment 7); or
3. Modify the Planning Commission's decision by adopting new conditions, changing conditions, or deleting conditions applicable to the project, provide further direction regarding the project's site plan and/or architecture and direct staff to return with revised plans, and/or make other modifications to the Planning Commission's decision; or
4. Overturn the Planning Commission's decision and deny Site Plan/Architectural Review Case No. SPR-01504-2018.

For City Council consideration, staff has prepared Resolutions for Options 1 and 2 which would allow the City Council to take a final action at the meeting. No resolution is prepared for Options 3 and 4, as the City Council would first need to provide direction to staff regarding its desired modifications to the Planning Commission's decision, or the basis for overturning the Commission's decision, and direct staff to prepare a resolution in accordance with the Council's direction and return with the resolution at a later meeting date.

Attachments:

1. Planning Commission staff report with project plans dated May 2, 2019
2. Planning Commission Resolution No. 19-1223
3. Planning Commission minutes of May 2, 2019
4. Revised Project Plans, date stamped June 12, 2019
5. Revised Project Renderings dated June 12, 2019 with previous project renderings dated May 2, 2019
6. Draft Resolution to uphold Planning Commission's decision and conditions
7. Draft Resolution to approve the applicant proposed revised project with conditions

Attachment 1



PLANNING DEPARTMENT

DATE: May 2, 2019

TO: Planning Commission

APPLICANT: Wilmar Vallecios for Manish Drona
13852 Olive View Drive
Sylmar, CA 91342

CASE NO.: SPR-01504-2018

LOCATION: 28500 Driver Avenue
(APN 2055-004-040)

REQUESTS: Request for approval of a Site Plan/Architectural Review to construct a 4,917 square-foot, two-story, single-family residence and a 695 square-foot attached garage; and a request to make a finding of exemption under the California Environmental Quality Act (CEQA).

ENVIRONMENTAL DETERMINATION: Categorically Exempt per Section 15303 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Site Plan/Architectural Review Case No. SPR-01504-2018, subject to conditions, based on the findings of the draft resolutions.

ZONING DESIGNATION: Residential Low Density (20,000 square-foot minimum lot size)-Old Agoura Design Overlay–Equestrian Overlay Districts (RL-20,000-OA-EQ)

GENERAL PLAN DESIGNATION: RL (Residential Low Density)

I. PROJECT BACKGROUND AND DESCRIPTION

The applicant, Wilmar Vallecios from Vallecios Design Studio, representing the owner, Manish Drona, is requesting the approval of a Site Plan/Architectural Review (SPR) to construct a 4,917 square-foot, two-story, single-family residence and a 695 square-foot,

attached three-car garage at 28500 Driver Avenue. Other structures include an attached 328 square-foot covered front porch, 147 square feet of balconies, and an 840 square-foot swimming pool. The 21,781 square-foot vacant lot is located on the south side of Driver Avenue. The parcel is zoned Residential Low Density (20,000 square-foot minimum lot size)-Old Agoura Design Overlay-Equestrian Overlay (RL-20,000-OA-EQ).

The site consists of a near rectangle-shaped lot that rises approximately 26 feet in elevation from the street along the front property line (929 feet above mean sea level - MSL) to the rear of the lot (955 feet above MSL), with an average topographic slope of 9.48 percent. A ten (10)-foot wide easement for the purpose of public utilities is located on the easterly portion of the property, and a small concrete wall is located at the center of the property (to be removed). Access to the property will be provided from Driver Avenue. Existing single-family homes, both single- and two-story, are located on the adjacent properties to the east, west and south, as well as across the street to the north of the subject property. Immediately to the west and south are two-story residences, and to the east is a single-family home on a flag lot, beyond which is a vacant, residentially zoned lot.

New single-family homes are subject to review by the Planning Commission. Since the property has an average topographical slope that is less than 10 percent, the project is not subject to the City Hillside Ordinance or Conditional Use Permit and, therefore, can be reviewed as a Site Plan/Architectural Review application.

The following is a summary comparison of the project and the relevant zoning development standards.

Pertinent Data		
	Proposed	Allowed/Required
Lot Size	21,781 sq. ft.	20,000 sq. ft. min.
Lot Width	83.5 ft.	75 ft. min.
Lot Depth	248 to 268 ft.	200 ft. min.
Building Height	25 ft., 2 stories	30 ft., two stories max.
Building Square Footage		
Residence (First Floor)	2,488 sq. ft.	
Residence (Second Floor)	2,398 sq. ft.	
Chimney	31 sq. ft.	
Total Residence	4,917 sq. ft.	
Attached Garage	695 sq. ft.	
Covered Front Porch	328 sq. ft.	
Balconies	147 sq. ft.	
Total Other Structures	1,170 sq. ft.	

Pertinent Data		
	Proposed	Allowed/Required
Lot Coverage		
Residence, Structures and Impermeable Surfaces	26.18%	35% max.
Building Setbacks		
Front Yard (north)	82 ft.	1.25 ft. for each foot of building height with 25 ft. min. (31.25 ft. required)
Rear Yard (south)	93.66 ft.	25 ft. min.
Side Yard (east)	23.5 ft.	12 ft. min. or 0.5 feet for each foot of building height, whichever is greater (12.5 ft. required)
Side Yard (west)	12.5 ft.	12 ft. min. or 0.5 feet for each foot of building height, whichever is greater (12.5 feet min.)

II. STAFF ANALYSIS

A. Site Plan and Buildings

The proposed residence and attached garage, would be situated in the center portion of the parcel, with the garage doors facing east and not visible from Driver Avenue. The swimming pool is proposed at the rear of the residence. In order to comply with the Equestrian Overlay District requirements, a 2,600 square-foot viable horse-keeping area is identified in the front yard in the event future owners wish to maintain horses.

Access to the residence and attached three-car garage would be provided from Driver Avenue via a 23.5-foot wide, 130-foot long driveway of permeable pavers proposed along the easterly side of the property. A six (6) foot high, 20-foot wide wood rolling gate is proposed for the new driveway. A four (4)-foot high open wood fence on top of a two (2)-foot high, smooth trowel stucco block wall, along with decorative stone veneer pilasters of six (6) feet high and solid wood gate are proposed to extend across the front of the property. A six (6)-foot high wood fence is proposed along the south side perimeter, while the existing six (6)-foot high wood fence on the eastern perimeter would remain. On the west side, the existing six (6)-foot high chain link fence on the adjacent property would remain, with a new six (6)-foot high wood fence installed toward the rear yard.

The Los Angeles County Fire Department requirements for access are accommodated with a truck vehicle turn around ("hammerhead" shape) at the front of the house and

near the proposed fountain. The Los Angeles Fire Department has provided preliminary approval of the site plan for the required emergency access.

The proposed residence and attached garage, which would occupy 14.5 percent of the lot, are permitted uses in the Low Density Residential (RL) zone and would meet the required development standards, relative to setbacks, height, and lot coverage. The RL zone requires a minimum setback of 31.25 feet from the front property line, 25 feet from the rear property line and 12.5 feet from each side property line. In this case, the house is set back 82 feet from the front property line, 93.66 feet from the rear property line, and 23.5 feet (east) and 12.5 feet (west) from the sides. The proposed height of the residence is 25 feet, whereas the maximum height allowed for a residence is 30 feet with vertical height projections limited to 35 feet. Lot coverage calculations include the footprints of structures (residence, garage, porch), swimming pool in the rear yard, and non-permeable hardscape. The project lot coverage occupies a total of 5,703 square feet, which is 26.18 percent of the 21,781 square-foot lot, and under the maximum allowable 35 percent per the RL zone.

No variances from the required development standards are requested for this project. The City's Architectural Design Standards and Guidelines (ADS&G) have specific recommendations for the Old Agoura residential neighborhood. The Guidelines recommend a maximum total square footage for a dwelling unit, garage and other habitable structures in relation to the lot size so that a residence is in proportion with the size of the lot. The ADS&G recommend a maximum of 4,106.8 square feet of development for this 21,781 square-foot lot, which is the usable square footage, excluding the majority of the garage and the front covered porch. The project includes 4,917 square feet of new useable space (excluding 690 of the 695 square-foot garage and the 328 square-foot front porch, as allowed by the ADS&G). The Guidelines are advisory, and the Planning Commission has discretion to determine whether the project as proposed meets their intent and the required findings.

The minimum required size of an RL-zoned lot is 20,000 square feet. The lot is slightly over the minimum size allowed. Surrounding lots are about the same, less or greater in size than the subject site. The size of the RL-zoned lots on the north and south sides of Driver Avenue between Lewis Road and Easterly Road in the area of this site range from 19,680 square feet to 63,598 square feet, with a median size of 23,882 square feet. The residences range from 1,440 square feet to 5,268 square feet in size, with a median size of 2,130 square feet. The proposed residence is not the largest in the immediate neighborhood. Directly to the south of the residence is a 5,268 square-foot, two-story, single-family residence on a 1.46 acre parcel that was constructed in 1977.

B. Architectural Design

Zoning Ordinance Sections 9555.B.2 and 9555.C.1 require that projects proposed in Old Agoura embrace an eclectic, rural style that preserves the equestrian nature of the area, and that the design is in character with the existing development within the Old Agoura Overlay District. The ADS&G also provide general recommendations on how to maximize architectural compatibility of new dwelling units with existing residential development, including the height of the structure, the use of natural materials like wood

and stone, warm and rich colors, roof pitch, roof eaves and the preservation of privacy. The Guidelines also include recommended porches and balconies, rear or side facing garage doors, and front door visibility. The project incorporates all of these recommendations. The front porch entry and fountain provide welcoming elements along the street frontage, and the garage doors are side-loaded and not visible from the street. Design features, the porch, and the balconies break up the house's massing. The residence would be finished with smooth light brown stucco exterior walls with white trim, dark brown horizontal wood lap siding (above the front porch area and around the west elevation's bay windows) and a brown earth tone tile gable and hip roof with a relatively steep pitch. All of the windows and doors on the residence (except the front door) and the window shutters would be painted white. The front door would be a decorative wood door with glass. Some of the exterior building wall portions and other features of the residence, like the chimney and porch column bases, would be clad with stone veneer. All of the wood handrails on the residence would be painted white. The entry walkway, the driveway to access the attached three (3)-car garage, the fire apparatus turn around, and the patio at the rear of the residence, would consist of permeable concrete pavers. The project's gable and hip roof, natural material accents and earth-tone colors are compatible with other homes in the neighborhood. Similar porch columns were used for a home recently approved on Driver Avenue, to the west.

The proposed project would maintain privacy for existing development on adjacent lots. The southerly part of the rear yard would be a slope planted with native shrubs and fruit trees, which would provide a screening for the southerly neighbor. The existing vegetation and driveway along the edge of the western border serves as buffer and screen. On the lot on the easterly side of the property is a driveway and the lot beyond is not developed yet. Although second-story windows are proposed, the location of the home will exceed minimum yard requirements for the zoning district.

The Architectural Review Panel (ARP) reviewed the project and suggested revisions to the front elevation that included adding stone on the base of the exterior walls, columns and stairway; the use of wood handrails instead of wrought iron handrails; the use of a brown color palette instead of off-white and grey; and the use of lap siding at the front porch. The applicant made the requested revisions, which are demonstrated on the attached plans.

C. Equestrian Overlay District

The project site is within the Equestrian Overlay District (EQ), which requires that a horse-keeping area of at least 1,500 square-feet be identified on the property for equestrian purposes. Although the applicant is not interested in keeping horses on the property at this time, he has included an equestrian area on the plans. A 2,600 square-foot horse keeping area has been designated in the front of the property. At this time, the applicant proposes to construct wood corral fencing, with a potential future barn area identified. The proposed project could support horses and other farm animals and would comply with the minimum 35-foot required separation to on- and off-site habitable structures. Since the equestrian area would be adjacent to the street (Driver Avenue), vehicular access would be provided in and out of the property to support emergency services to the animals.

D. Old Agoura Design Overlay District

The purpose of the Old Agoura (OA) Design Overlay district, as stated in the Zoning Ordinance, is to preserve the unique character of Old Agoura through the establishment of special standards and design guidelines. The District calls for residential development to embrace an eclectic, rural style that preserves the equestrian nature of the area. The architectural styles of surrounding residences are varied. The building design incorporates wood and stone elements, relatively steeply pitched gable and hip roofs, and primarily earth tone colors, consistent with the neighboring Old Agoura residences. The project is consistent with the overlay district, as it includes the use of natural materials and colors, natural fences, a front porch, and all sides of the building complement one another and incorporate consistent design elements. The site provides a viable area for equestrian use. The project includes permeable pavers on the driveway and a portion of the patios and walkways. On-site grading is minimized with the building pad on the relatively flat area of the site. The Old Agoura Home Owners Planning and Zoning Committee has reviewed the project design. A copy of their letter, dated March 25, 2019, is included as Attachment 5. Attachment 6 is written public comments regarding this project that were submitted to staff.

E. Public Works/Engineering Department

The Public Works/Engineering Department has reviewed the civil engineering plans and requires that Driver Avenue be improved along the property street frontage. The street improvements include a new driveway approach extending twenty-three and one-half (23.5) feet wide along the property frontage, connection to the existing eight (8)-inch main sewer line in Driver Avenue in front of the subject parcel, and the installation of a six (6)-inch sewer lateral. The equestrian trail serving Driver Avenue is located on the north side of Driver Avenue, thus no trail improvements are required of this project.

Grading required for the proposed project is minimized since the building pad is located on the flatter portion, and would result in a finished grade of approximately 938 above mean sea level and net export of 25 cubic yards of soil, which is minor. New low slough walls no more than two and one-half (2.5) feet high would be located along the east and west sides of the property and stuccoed and painted brown. Retaining walls around the perimeter of the pool area are proposed at no more than five (5) feet high and would maintain the relatively steeper slope at the back of the site. Geotechnical, geological and drainage studies have been reviewed by the City Geotechnical Consultant from a geotechnical perspective, and found them to be in compliance with applicable codes, guidelines, and standards of practice. The applicant must submit a Final Grading Plan, Encroachment Permit, Erosion and Sediment Control Plan, and Standard Urban Stormwater Mitigation Plan to the City Engineer for review and approval prior to construction.

F. Landscaping

There are no oak trees located on-site or impacted by this project. The preliminary proposed landscape plan includes a combination of native and non-native, natural-appearing species, including trees, shrubs, vines and grass that were reviewed by staff and the City Landscape Consultant. There are several existing eucalyptus trees on-site, which are to remain. Based on the plant palette and plant placement, the Los Angeles County Fire Department's Fuel Modification Unit, which addresses potential vegetation wild fire hazards, has provided preliminary approval of the project.

G. General Plan Consistency

Staff finds the project will be consistent with the following applicable General Plan goals and policies:

Goal LU-7: Livable and Quality Neighborhoods. Neighborhoods that provide a variety of housing types, densities, and design, and a mix of uses and services that support the needs of their residents.

- Policy LU-7.1 Neighborhood Conservation. Maintain the uses, densities, character, amenities, and quality of Agoura Hills' residential neighborhoods, recognizing their contribution to the City's identity, economic value, and quality of life for residents.
- Policy LU-7.2 Housing Character and Design. Require that new and renovated housing within existing single- and multi-family neighborhoods be located and designed to maintain their distinguishing characteristics and qualities, including prevailing lot sizes; building form, scale, massing, and relationship to street frontages; architectural design; landscape; property setbacks; and comparable elements. Continue to implement the City's Architectural Design Standards and Guidelines to ensure that residential units are designed to sustain the high level of architectural design quality and the character of the existing land forms that characterize the Agoura Hills neighborhoods, in consideration of the following principles as identified in the City Architectural Design Standards and Guidelines:
 - Harmony with the natural land forms and native vegetation
 - Response to the local climate (through proper building orientation, appropriate glazing, use of overhangs, shading devices, native vegetation, etc.)
 - Reflection of the highest standards of adjacent buildings and the neighborhood style[s], proportions, colors, and materials.

Goal LU-8 Residential Very Low– and Residential Low-Density Neighborhoods (Old Agoura). Residential neighborhoods containing very low–and low-density housing reflecting Agoura Hills' history and designed to respect their environmental setting.

- Policy LU-8.1 Neighborhood Identity. Promote and maintain the integrity of Old Agoura residential neighborhoods for their low-density large estates, rustic character, non-urban infrastructure, and keeping of horses and other farm animals.
- Policy LU-8.2 Development Compatibility with Community Character. Require that renovation of existing and construction of new housing and property improvements respect the characteristics that distinguish Old Agoura, including its topography, parcel sizes, housing scale and form, nonurban infrastructure and some streetscapes (no sidewalks, curbs and gutters, and street lighting), and equestrian trails.
- Policy LU-8.3 Integration of Development with Natural Setting. Require that buildings be located, scaled, and designed to reflect the existing terrain and minimize grading to the maximum extent possible. Structures shall be integrated into the hillsides, taking care to preserve the viewsheds and natural ridgelines.
- Policy LU-8.4 Property Setbacks. Encourage variable setbacks to enhance streetscape character and increase building separation.
- Policy LU-8.5 Building Materials and Colors. Limit exterior building materials to those that have the appearance of materials that are characteristic of rural environments.
- Policy LU-8.6 Landscaping. Require that on-site landscapes transition smoothly to the natural undeveloped open areas.
- Policy LU-8.7 Open Spaces. Encourage the provision of open space areas suitable for horses or other farm animals, thereby enhancing the equestrian and rural character of the area.

Goal LU-9 Single Family Neighborhoods. Maintenance of the identity, scale and character of the City's distinct residential neighborhoods.

- Policy LU-9.1 Neighborhood Identity. Maintain the distinguishing characteristics that differentiate by topography, parcel size, housing scale and form, and public streetscapes in Agoura Hills' single-family neighborhoods.

The project complies with Goals LU-7, LU-8 and LU-9 and their policies. The project would be consistent with neighboring properties in terms of height and massing, and would be lower in height than some residences in the neighborhood. The proposed single-family house conforms to the required height and setbacks of the RL zone. The lot size is similar to properties in the area. Site grading would be minimized by creating the building pad in the site's flatter portion, and cut and fill quantities would be comparable, resulting in a net export of only 25 cubic yards of soil. The relatively steep part of the site in the south would be maintained as open space with native shrubs and fruit trees providing privacy to the residence to the south. The driveway would be

located along the east side of the lot, providing a buffer to the adjacent lot's driveway and the potential future house on the vacant lot further east. Vegetation on the lot to the west serves as a buffer to the neighboring two-story house.

The architectural design is of high quality, as are the materials, which is natural and earth-tone colors, and integrate the project with the Old Agoura area natural setting. The residence is adequately articulated on all sides with varying architectural features and planes. The different building façade materials (stucco, wood, and stone) and features, including front porch, balconies, and bay windows, minimize the building mass. The plant palette incorporates native as well non-native but natural-looking trees and plant species. The residence is less than the maximum allowed height and is set back over 80 feet from the street. The project includes a 2,600 square-foot designated equestrian area in the front of the property that is both visible and accessible from Driver Avenue. Its location emphasizes the semi-rural character of the neighborhood and provides open space between the house and public right-of-way. The proposed project could support horses and other farm animals.

H. Environmental Review

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorical Exempt from the CEQA Guidelines per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence and accessory structures. No significant environmental impacts are expected from development of this project. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

III. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Site Plan/Architectural Review Case No. CUP-01504-2018, subject to attached conditions and based on the findings of the attached draft resolution.

IV. ATTACHMENTS

- Exhibit A. Draft Resolution for Site Plan/Architectural Review and Conditions of Approval
- Exhibit B. Vicinity Map
- Exhibit C. Project Renderings
- Exhibit D. Reduced Copies of Project Plans
- Exhibit E. Color and Materials Board
- Exhibit F. Letter from the Old Agoura Home Owners Planning and Zoning Committee, dated March 25, 2019
- Exhibit G. Written Public Comments
- Exhibit H. Photographs of Property and Surrounding Properties

Case Planner: Renee Madrigal, Associate Planner

Exhibit A

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01504-2018 FOR THE CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE LOCATED AT 28500 DRIVER AVENUE; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Wilmar Vallecios with respect to the real property located at 28500 Driver Avenue, Assessor's Parcel Number 2055-004-040, requesting approval of Site Plan/Architectural Review Case No. SPR-01504-2018 to allow the construction of a new 4,917 square-foot, two-story, single-family residence and a 695 square-foot, attached three-car garage on a vacant parcel.

Section II. The project is a request for construction of a new single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversions of Small Structures). The new single-family residence and related structures would not result in significant impacts to the environment. No exception to this categorical exemption applies, as set forth in Section 15300.2 of the CEQA Guidelines, including but not limited to, Subsection (c), which relates to unusual circumstances.

Section III. The Planning Commission of the City of Agoura Hills considered the project and application at a public hearing held on May 2, 2019, at 6:30 p.m. in the City Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforementioned hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforementioned public meeting.

Section V. Site Plan. Based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Zoning Ordinance Section 9677.5 of the Agoura Hills Municipal Code, that:

A. The proposed use is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located.

The proposed project is located within the Low Density Residential and Old Agoura Design Overlay and Equestrian Overlay (RL-OA-EQ) district, which allows for the development of single-family residences. The project meets the City's minimum development standards for the zoning district with regard to lot coverage, lot size, building height, building setbacks, and all other applicable development standards. The project is also subject to the Old Agoura Design and Equestrian Overlay Districts. The project accommodates an equestrian area large enough to build a corral, and a barn in compliance with the Equestrian Overlay District.

B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare. The design of the residence will ensure adequate light, air, privacy and open space to surrounding properties, as the project complies with the RL zone height, setback, lot size and coverage requirements. Vehicular access to the property will be provided via Driver Avenue, and the driveway is designed in accordance with City and Fire Department standards. Geological, geotechnical, and drainage studies have been reviewed by the City Geotechnical Consultant from a geotechnical perspective, and found them to be in compliance with applicable codes, guidelines, and standards of practice. They recommend the Planning Commission consider approval of the project. The site will be served by the public sewer system. The project will be in full compliance with the City's Building Code.

C. The proposed use will not conflict with the character and design of the buildings and open space in the surrounding area. The proposed style of architecture and building materials of the residence, includes light brown colored stuccoed walls, white trim, brown tile pitched roof, stone cladding, dark brown lap siding, wood railing painted white, and white window shutters. The project is in compliance with the City's Architectural Design Standards and Guidelines and standards of the Old Agoura Design and Equestrian Overlay Districts by providing for structures compatible with the natural environment in terms of colors and materials, providing a side facing garage, front porch and gable and hip roof with a relatively steep pitch, and an area for horse-keeping.

D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance except for approved variances or modifications. The project is consistent with the zoning district's requirements for setbacks, building height, building site coverage, lot size and retaining wall heights and all other applicable development standards. The project is also consistent with the Old Agoura Design and Equestrian Overlay districts relative to the style of architecture with natural materials and colors, native and drought-tolerant landscaping, minimization of grading, and sufficient area allotted for equestrian use. No variances or modifications are required.

E. The proposed use is consistent with the City's General Plan. The project is consistent with Land Use and Community Form Goal LU-7 and LU-8 and Policy LU-7.1 Neighborhood Conservation, Policy LU-7.2 Housing Character and Design, Policy LU-8.1 Neighborhood Identity, Policy LU-8.2 Development Compatibility with Community Character, Policy LU-8.3 Integration of Development with Natural Setting, Policy LU-8.4

Property Setbacks, Policy LU-8.5 Building Materials and Colors, Policy LU-8.6 Landscaping, and Policy LU-8.7 Open Spaces. The project is consistent with neighboring properties in terms of height and density. The proposed single-family residence conforms to the required height and setbacks of the RL zone. The lot size is similar to others in the neighborhood. The architectural design is of high quality, as are the materials, which are natural and earth-tone colors, integrate the project with the Old Agoura area natural setting. The residence is adequately articulated with varying architectural features and planes. The different building façade materials (wood, glass, and stone) and features, including porch, balconies, and bay windows, minimize the building mass. The plant palette incorporates native as well non-native but natural-looking trees and plant species. The residence is set back over 80 feet from Driver Avenue. The proposed plans include a 2,600 square-foot equestrian area that is accessible from Driver Avenue. Therefore, the proposed project could support horses and other farm animals. The project complies with Goal LU-9 and Policy LU-9.1 Neighborhood Identity by remaining in scale with the other residences in the neighborhood in terms of the lot size. Given the large front yard setback, the development would not be readily visible from passers-by.

F. The proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The project's gable and hip roof, natural material accents and earth tone colors reflect many of the residences in the area. The project meets the minimum yard setback requirements, height, lot coverage and lot size requirements of the Residential Low Density zone and will be placed 82 feet from Driver Avenue, a similar distance to the residence to the west of the site. Furthermore, the project is designed to provide sufficient space on the property to accommodate accessory structures and amenities in addition to the main residence, including a horse-keeping area.

Section VI. Architectural Review. Based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Zoning Ordinance Section 9677.7.G of the Agoura Hills Municipal Code, that:

A. The proposed development is consistent with the General Plan, and design standards adopted by the City Council. The project complies with the City General Plan Goals LU-7, LU-8, and LU-9 and Policies LU-7.1, LU-7.2, LU-8.1 through LU-8.7, and LU-9.1 by being consistent with neighboring properties in terms of architecture, height and density. One single-family residence is proposed for the lot and it conforms to the required height and setbacks of the RL zone. The lot size is similar to other area properties. The architectural design and material are of high quality. The plant palette incorporates native as well non-native trees and plant species. The residence is set back over 80 feet from the street. The project provides an equestrian area that is accessible from the street. The residence will be in scale with the other residences in the neighborhood and would not be readily visible from passers-by due to the distance from the street.

B. The design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not

impair the desirability of investment or occupation in the neighborhood. The proposed development will not interfere with the use and enjoyment of existing or proposed residential developments in the vicinity because the project meets all requirements of the Zoning Ordinance, especially height, setbacks, lot coverage and lot size. The building design reflects natural colors and materials compatible with the surrounding area. It will not create traffic hazards or congestion as the use is a single-family residence with minimal expected traffic trips generated. Access to the site is readily available via Driver Avenue. The driveway location will not interfere with neighboring developments or create traffic hazards, and the driveway and access meets City and Los Angeles County Fire Department Standards.

C. The design of the proposed development is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of the City. The residence includes design features and materials and colors compatible with style of homes in the surrounding Old Agoura neighborhood, and the project meets or exceeds the minimum development standards established by the Zoning Ordinance with regard to lot coverage, lot size, building height, and building setbacks. The single-family residence is a permitted use in the RL zone. Grading has been minimized by locating the residence on the flatter area of the lot.

D. The design of the proposed development provides a desirable environment for its occupants, as well as for neighbors, and is aesthetically of good composition, materials, textures, and colors. The building design is compatible with the variety of architectural styles in the neighborhood. The materials include stone and wood and the colors reflect earth tones, consistent with the community. The design includes articulation on all elevations, including a front porch, bay windows, windows with shutters, and a relatively steeply pitched gable and hip roof, all of which is reflective of the Old Agoura community. The distance between structures meets or exceeds all minimum setback requirements. The two-story design of the house will not significantly impact view-sheds of surrounding properties. The southerly portion of the lot that is an ascending slope will be landscaped with shrubs and trees that would offer privacy.

E. The proposed use complies with all applicable requirements of the district in which it is located and all other applicable requirements. Single-family residential uses are allowed in the RL-OA-EQ zone. Minimum development standards have been met with regard to building setback, height, site coverage, and equestrian use.

F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare. The design of the residence will ensure adequate light, air, privacy and open space to surrounding properties, as the project complies with the RL zone height, setback and lot size and coverage requirements. Vehicular access to the property will be provided via Driver Avenue, and the driveway is designed in accordance with City and Fire Department standards. Geological, geotechnical, and drainage studies have been reviewed and approved by the City's

consultants. The site will be served by the public sewer system. The project will be in full compliance with the City's Building Code.

Section VII. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. SPR-01504-2018, subject to the conditions attached hereto as Exhibit A, with respect to the property described in Section I hereof.

Section VIII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 2nd day of May, 2019, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John Asuncion, Chairperson

Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case No. SPR-01504-2018)

PLANNING DEPARTMENT

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of the Planning Commission's action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicant has agreed in writing that they are aware of, and accept, all conditions of this of this permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to, and requires complete conformation to, the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plans, Roof Plan, Grading Plan, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Director of Planning.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.

11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
12. Unless this permit is used within two (2) years from the date of City approval, Site Plan/Architectural Review Case No. SPR-01504-2018 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.79 per square foot for residential construction.
15. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
16. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
17. Retaining walls shall not be built with an exposed face greater than six (6) feet tall.
18. In the event archaeological resources are encountered during ground-disturbing activities, the City Planning Department shall be notified immediately, and work shall stop within a 100-foot radius until a qualified archaeologist approved by the City Planning Department, and retained and paid for by the developer/applicant, has assessed the nature, extent, and potential significance of any remains. In the event such resources are determined to be significant, appropriate actions are to be determined by the archaeologist consistent with the City General Plan, in consultation with the City Planning Department.
19. If human remains are unearthed during ground disturbing activities, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the developer/contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) though to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assessed the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City.

20. Final Fuel Modification Plan approval by the County Fire Department Fuel Modification Unit is required prior to issuance of a Building Permit.
21. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
22. A pre-construction conference shall be held prior to the issuance of a Grading Permit, with all construction personnel involved with the grading operations.
23. No construction work or repair shall be performed outside the hours of 7:00 a.m. to 7:00 p.m. or any Sunday or Holiday.
24. All retaining walls and CMU walls shall either be decorative stone or be smooth trowel cement plastering and painted light brown to match the color scheme of the house, and subject to the approval of the Planning Director.
25. The Applicant, and property owner(s), and their successors in interest, shall indemnify, defend and hold harmless the City, its officials, officers, agents and employees (collectively "Indemnitees") from and against any and all claims, actions, lawsuits, damages, losses and liabilities arising or resulting from the granting of this approval by the City or the exercise of the rights granted by this approval. This indemnification obligation shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the Indemnitees in connection with any such claims, actions or lawsuits, any expert fees, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such claim, action or lawsuit. The City shall promptly notify Applicant and property owners of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. In the event such a legal action is filed, the City shall estimate its expenses for litigation. Applicant or property owners shall deposit such amount with the City or enter into an agreement with the City to pay such expenses as they become due. Applicant and property owners shall reimburse the City, and each of the Indemnitees for any and all legal expenses and costs incurred by it in enforcing the indemnity herein provided. Although the Applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.

BUILDING AND SAFETY DEPARTMENT

26. A building permit is required for this project.
27. This project shall be subject to the 2016 California Residential, Building, Mechanical, Plumbing, Electrical, Energy, Green Building Codes, and 2017 Los Angeles County Fire and Agoura Hills Municipal Code.

28. All exterior materials used for eaves, sidings, porch, patio, decks, canopies, carport and other similar structures need to meet the Very High Fire Hazard Severity Zone as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code and 2017 Los Angeles County Fire Code.
29. The applicant shall note on the plans that all new or replaced windows will be tempered on at least one side of the dual pane, or a 20 minute rated window or glass blocks per Section 704A.3.2.2 of the 2016 California Building Code and 2017 Los Angeles County Fire Code.
30. Fire Sprinklers will be required for all new structures per Section 903.2, Article VIII of the Agoura Hills Municipal Code 903.2.
31. A soils report will be required for the project as part of the applicant's building permit plan check submittal.
32. Handrails shall be required for exterior stairs with four (4) or more risers per Section 311.7.8 of the 2016 California Building Code.
33. Los Angeles County Fire Department review and final approval will be required for all new structures as part of Building plan check.
34. Las Virgenes Municipal Water District final approval will be required as part of the applicant's building permit.
35. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Mechanical, Electrical, Plumbing, Energy Plans, Title 24 plans shall be submitted to Building and Safety Department for plan review and approval.

PUBLIC WORKS/ENGINEERING DEPARTMENT

36. A grading permit shall be obtained for this project.
37. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
38. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of any permits, all improvement plans, which include, but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc. shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet Las Virgenes Municipal Water District standards and contain a signature block for the City Engineer. All associated fees

and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department.

39. Prior to grading permit, the applicant shall pay the applicable Transportation Impact Fee (TIF) to the Building and Safety Department.
40. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
41. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
42. The grading plan shall show location(s) of all oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
43. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
44. Prior to grading permit, the project shall obtain a permit from the Los Angeles County Fire Department, and from Las Virgenes Municipal Water District.
45. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at 818.597.7322 for approved City certification forms.
46. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The project is required to repair the Asphalt Concrete Inverted Shoulder along the property frontage, construct a new Asphalt Concrete driveway approach, install a new 6-Inch sewer lateral, connect to the 8-Inch sewer main in Driver Avenue, and all water appurtenances shall be per Las Virgenes Municipal Water District's standards.
47. This property is within the Las Virgenes Municipal Water District service area. The applicant shall make arrangements with Las Virgenes Municipal Water District for those services and provide the City with proof that all Las Virgenes Municipal Water District fees have been paid prior to permitting.

48. This project shall connect to the 8-Inch sewer main line in Driver Avenue (Reference Sewer Plan # E-117).
49. This project shall use existing laterals, whenever provided, for connection to the public sewer system.
50. All water facilities shall be designed to comply with all Las Virgenes Municipal Water District requirements. Final plans must be reviewed and approved by Las Virgenes Municipal Water District and City.
51. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
52. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
53. Prior to the approval of the Grading Plan and issuance of Grading Permit, a completed Low Impact Development (LID) Plan shall be submitted to and approved by the Engineering Department. The LID Plan shall comply with the requirements of the LID Ordinance and Los Angeles County LID Standards Manual. The LID Plan shall include the following information:
 - Identification of whether the proposed project is a Designated or Non-Designated Project.

- If the proposed project is a Designated Project, identification of the project category.
 - Feasibility of infiltration including a percolation report as part of a geotechnical report prepared by a geotechnical engineer.
 - Source control measure(s) proposed to be implemented
 - Calculation of the SWQDv.
 - Discussion on whether stormwater runoff harvest and use is feasible.
 - Stormwater quality control measure(s) proposed to be implemented.
 - Discussion of how the applicable water quality standards and total maximum daily loads (TMDLs) will be addressed (off-site mitigation projects only).
 - Proposed hydromodification controls and calculations (if necessary).
 - Proposed maintenance plan (if necessary).
54. Prior to issuance of Certificate of Occupancy, all remaining fees/ deposits required by the Engineering Department must be paid in full.
55. Prior to issuance of Certificate of Occupancy, all requirements including construction of improvements covered in condition number 44 must be completed to the satisfaction of the City Engineer.
56. Prior to issuance of Certificate of Occupancy, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.
57. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued storm water maintenance with the Los Angeles County using City-approved forms.
58. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
59. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL

60. The applicant shall comply with all the City Geological/Geotechnical Consultant's (GeoDynamics, Inc.) Conditions of Approval letter dated November 20, 2018.

LANDSCAPING

61. Final Landscape Plans shall substantially conform to the Landscape Preliminary Plan prepared by Design Concepts dated November 15, 2018, as approved by the City of Agoura Hills Planning Commission.
62. Location and material of paved surfaces, accessory structures, walls and fences, landscape features and other site improvements shown approved plans shall conform to approved plans.
63. Prior to the approval of a grading permit, the applicant shall submit three (3) sets of Final Landscape Plans for review by the City Landscape Consultant and approval by the Planning Director. A California Landscape Architect with current license shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans. The Planting and Irrigation Plans shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.
64. At the time of the Final Landscape Plans submittal, the project Landscape Architect shall provide the City with written confirmation that the civil engineering drawings have been reviewed and that the Landscape Plan is not in conflict with the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID).
65. The Final Planting Plan shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees shall be fifteen (15) gallon. The minimum size of shrubs shall be five (5) gallon except shrubs planted as groundcovers and or as accent planting, which may be one (1) gallon size. Plant sizes may be increased on some projects at the discretion of the Planning Director. *(If necessary specify required plant sizes)*. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
66. The Final Landscape Plans shall include the following notes:
 - a. The Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans prior to final city inspection.

- b. Identification of the total square footage of the landscape area within the project.
67. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
68. With the Final Landscape Plans, three (3) copies of plans, details, and specifications shall be provided, addressing but not limited to, layout, planting, soil preparation, tree staking, guying, installation details and post installation maintenance.
69. The approved landscape shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
70. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
71. All planting areas shall receive a three (3) inch layer of coniferous bark mulch. Mulch to be kept away from tree and shrub crowns. Mulch areas to be dressed to present a clean uniform appearance when complete
72. Landscape improvements, planting, and irrigation installation shall be subject to inspection and approval by the Planning Department prior to final building permit inspection.

SOLID WASTE MANAGEMENT

73. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for a percent of the waste generated on the project to be diverted from the landfill, at the rate currently required by California Department of Resources Recycling and Recovery. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
74. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or

construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

75. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

Exhibit B

CASE NO. SPR-01504-2018 (Drona)



Exhibit C









Exhibit D

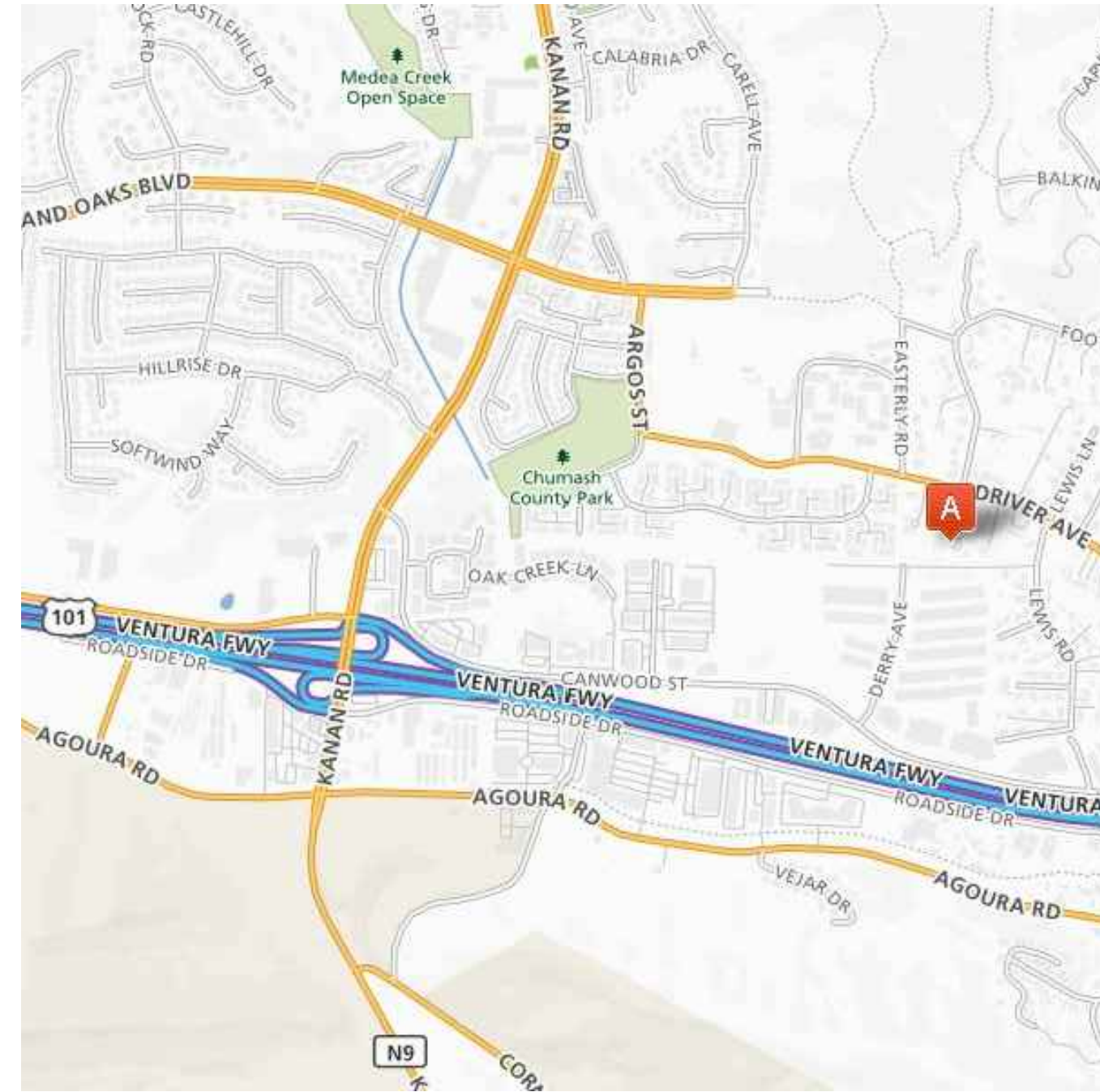
28500 DRIVER AVENUE

AGOURA HILLS, CA 91301

APN: 2055-004-040

REVISIONS:	BY:

VICINITY MAP



PROJECT CONTACTS

OWNER
 MANISH DRONA
 160 FORRESTER CT, SIMI VALLEY, CA 93065
 805.233.2366 MANISHDRONA@GMAIL.COM

DESIGNER
 WILMAR VALLECIOS | VALLECIOS DESIGN STUDIO
 13852 OLIVE VIEW DRIVE, SYLMAR, CA 91342
 818.554.8831 VALLECIOS@GMAIL.COM

LANDSCAPE ARCHITECT
 MARSH SANDERS | DESIGN CONCEPTS LANDSCAPE ARCHITECTURE
 586 OTERO CT, CAMARILLO, CA 95010
 805.522-1266 MARSH.SANDERS@YAHOO.COM

CIVIL ENGINEER
 RANDY CHAPMAN | CCE DESIGN AND ASSOCIATES
 450 ROSEWOOD AVE #202, CAMARILLO, CA 93010
 805.738.5434 RANDY@CCEDESIGNASSOCIATES.COM

SHEET INDEX

ARCHITECTURAL

- A0.0 COVER SHEET AND INDEX
- A1.0 SITE PLAN AND TOPOGRAPHIC MAP
- A2.0 FIRST FLOOR PLAN
- A3.0 SECOND FLOOR PLAN
- A4.0 ROOF PLAN AND WALL ELEVATIONS
- A5.0 ELEVATIONS - NORTH AND EAST
- A5.1 ELEVATIONS - SOUTH AND WEST
- A5.2 ELEVATIONS - COLOR
- A6.0 SECTIONS

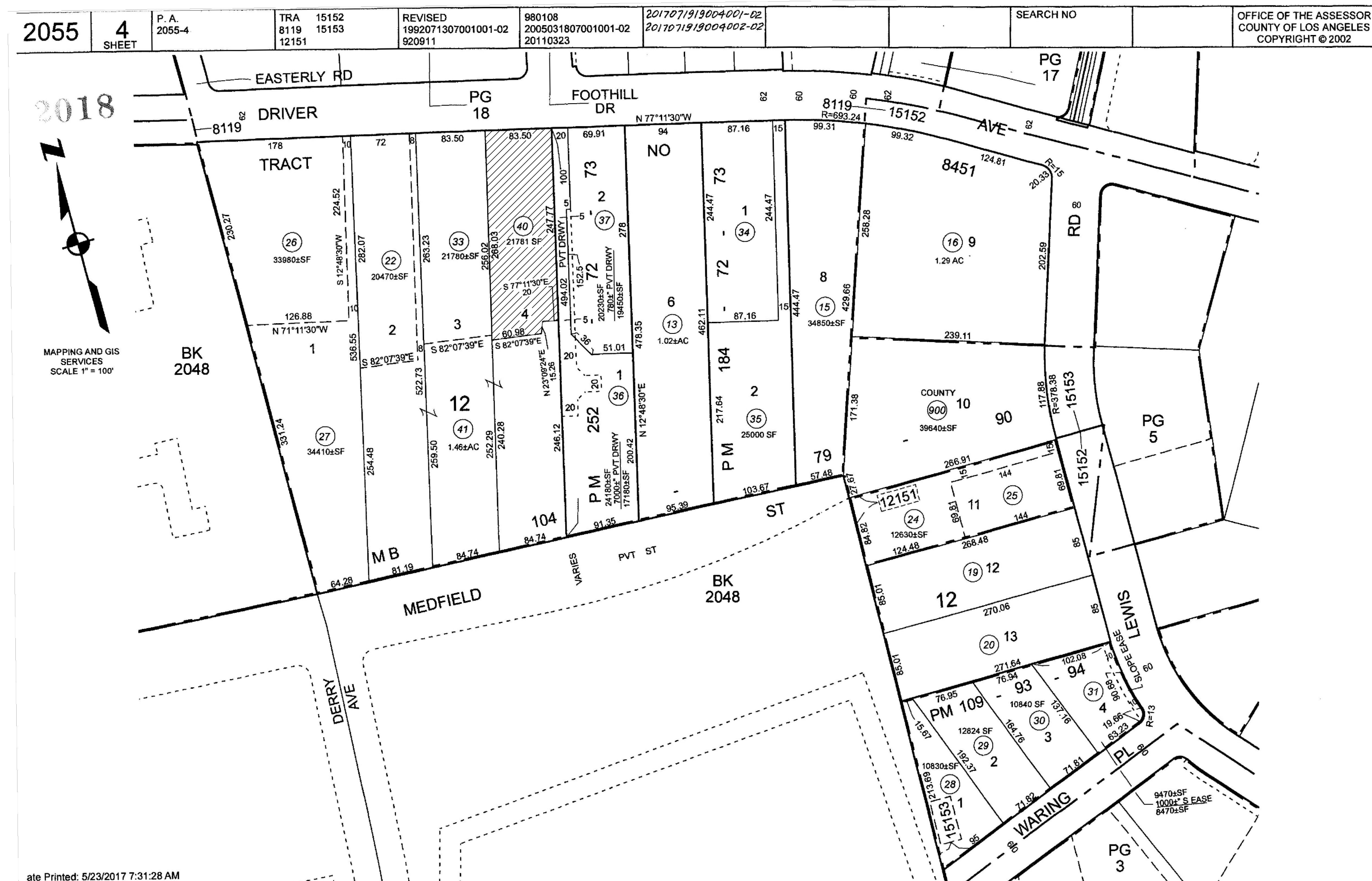
CIVIL

- C-1 INDEX SHEET
- C-2 GRADING PLAN
- C-3 EROSION CONTROL PLAN
- C-4 DETAILS AND SECTIONS

LANDSCAPE

- L-1 SITE PLAN AND POOL SECTIONS
- L-2 PLANTING PLAN
- L-3 IRRIGATION PLAN
- L-4 MAXIMUM ALLOWANCE WATER APPLIED

ASSESSOR'S PARCEL MAP



SITE INFORMATION

ADDRESS: 28500 DRIVER AVE, AGOURA HILLS, CA 91301
 APN: 2055-004-040
 LOT NO: PORTION OF LOT 4
 TRACT NO.: 8451
 BLOCK: 12
 LOT SIZE: 21,781 SF (0.50 ACRES)
 ZONING: RL-20,000-OA-EQ (RESIDENTIAL LOW DENSITY)
 BUILDING HEIGHT: 25'-0" (MAXIMUM ALLOWED: 25'-0")

SCOPE OF WORK

(N) 2-STORY SINGLE FAMILY DWELLING, SPRINKLERED
 V-B CONSTRUCTION

1ST FLOOR:	2,488 S.F.
2ND FLOOR:	2,398 S.F.
TOTAL:	4,886 S.F. (SQUARE FOOTAGE)

GARAGE	695 S.F.
COV. PORCH:	328 S.F.
BALCONIES	147 S.F.
CHIMNEY	31 S.F.

LOT COVERAGE

SINGLE FAMILY DWELLING FOOTPRINT	3,542
BALCONIES	97
HARDSCAPE	1,900
POOL	840
POOL DECK:	991
POOL EQUIP.:	69
CONCEPTUAL BARN:	144
BBQ	20
TOTAL	5,703 (26.18% OF LOT)

SETBACKS

FRONT	82'-0"
SIDE (EAST)	23'-6"
SIDE (WEST)	12'-6"
REAR	93'-8"

COMPLIANCE

THIS PROJECT IS TO BE IN COMPLIANCE WITH:

- 2016 CALIFORNIA RESIDENTIAL BUILDING CODE
- 2016 CALIFORNIA GREEN CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- CITY OF AGOURA HILLS MUNICIPAL CODE
- 2017 LOS ANGELES COUNTY FIRE CODE
- VERY HIGH FIRE HAZARD SEVERITY ZONE

AND LOCAL CODES

VALLECIOS
 DESIGN STUDIO - PROJECT MANAGEMENT
 vallecios@gmail.com 818.554.8831

DRONA RESIDENCE
 28500 DRIVER AVE, AGOURA HILLS, CA 91301
 PROPOSED 2-STORY SINGLE FAMILY DWELLING
 APN: 2055-004-040

RESTRICTIONS:
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COVER SHEET AND INDEX

JOB ID: DRMRVAV
 DB: W.V. FV: 1.8
 DATE: 03.22.2019
 SCALE: N.T.S.
 SHEET NUMBER:

A0.0

SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

GREEN NOTES

G1.0 1" INNER Ø LISTED RACEWAY TO BE INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 200/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.

G2.0 THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

G3.0 THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

G4.0 THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS.

G5.0 THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OF MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC".

G6.0 EXHAUST FANS SHALL BE INSTALLED IN A BATHROOM CONTAINING BATHTUBS, SHOWERS, OR TUB / SHOWER COMBINATIONS. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROLLER.

G7.0 FIREPLACES SHALL BE DIRECT-VENT, SEALED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. SEE MANUFACTURERS SPECIFICATIONS FOR PROPER INSTALLATION.

VERY HIGH FIRE HAZARD SEVERITY ZONE

F.A CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS. WOOD SHAKES AND SHINGLES ARE NOT PERMITTED. (7207.4, 1505)

F.B VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 3/8-INCH-WIDE (9.14MM) UNDERLAYER CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (704A.1.3)

F.C ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (704A.1.5)

F.D (ROOF) (ATTIC)(EXTERIOR WALL) VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4 -INCH (6 MM) OPENINGS OR ITS EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES (704A.2.1, 704A3.2.1, 704A.2.2, 7207.3)

F.E EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE (704A.2.3)

F.F EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL CONSTRUCTION OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SFM 12-7A-1 (704A.3.1)

F.G EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH (50.8 MM) NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE (704A.3.2)

F.H EXTERIOR WINDOWS, WINDOW WALLS, GLAZE DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING- GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE- RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO ASTM E 2010, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-2 (704A.3.2.2)

F.I EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4 INCHES THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 2074. (EXCEPTION: NONCOMBUSTIBLE OR EXTERIOR FIRE-RETARDANT TREATED WOOD VEHICLE ACCESS DOORS) (704A.3.2.3)

F.J DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER, NON COMBUSTIBLE OR OTHER APPROVED MATERIALS PER SEC.704A.4.1

F.K THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION- RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE (704A.4.2.1)

F.L BUILDINGS SHALL HAVE ALL UNDERFLOOR AREAS COMPLETELY ENCLOSED TO THE GRADE WITH CONSTRUCTION AS REQUIRED FOR EXTERIOR WALLS (704A.4.2.2, 7207.1)

F.M ALL UTILITIES, PIPES, FURNANCES, WATER HEATERS OR OTHER MECHANICAL DEVICES LOCATED IN AN EXPOSED UNDER-FLOOR AREA OF A RESIDENTIAL BUILDING SHALL BE ENCLOSED WITH MATERIALS AS REQUIRED FOR 1-HOUR FIRE-RESISTIVE CONSTRUCTION.(7207.2)

F.N THE SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS AND BE FIRE STOPPED PER 704A.1.2.

F.O NO TRELLIS IS PERMITTED WITHIN 10 FEET OF THE PRIMARY STRUCTURE.

F.P TRELLIS MORE THAN 10 FEET FROM THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER OR NON COMBUSTIBLE MATERIALS. MINIMUM OF 4 INCHES SPACING IS REQUIRED BETWEEN THE MEMBERS. (INFORMATION BULLETIN NO. FBC 2008-023).

GENERAL NOTES

A1.0 THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

A2.0 AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

A3.0 PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

A4.0 KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

A5.0 BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

A6.0 PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

A7.0 UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

A8.0 WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

A9.0 FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

A10.0 FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)

A11.0 AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

A12.0 SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNERS APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

A13.0 WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)

A14.0 EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELS OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

A15.0 A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

FORM 195

PART II (A) INFORMATION ON FIRE FLOW AVAILABILITY (To be completed by Water Purveyor)

The distance from the fire hydrant to the property line is 81'. feet via vehicular access. The fire flow services will be rendered from a 8" inch diameter water main. The hydrant is located on Foothill Drive (Street) Driver Ave (Nearest Cross - Street). Under normal operation conditions the fire flow available from this 6" X 4 X 2 1/2" (size) hydrant is 1250 GPM at 20 PSI residual for 2 hours at 131 PSI static.

PART II (B) SPRINKLERED BUILDINGS ONLY

Detector Location (check one) Above Grade Below Grade Either. Backflow protection required (fire sprinklers/private hydrant): Yes No. Type of Protection Required (check one) Double Check Detector Assembly Reduced Pressure Principal Detector Assembly Other Domestic Meter Size.

PART II (C)

Las Virgenes Municipal Water District Water Purveyor. Signature David R. Lippman. Director of Facilities & Operations. Date 6/4/18 Title.

PART III Conditions for Approval by the Building Department (To be completed by Building Department)

The building permit may be issued for single family dwellings when the above information is complete and shows that the following minimum requirements are met and the property is not in the High Fire Hazard Severity Zone or the Very High Fire Hazard Severity Zone.

- * The water system is capable of delivering at least 1250 GPM at 20 PSI for two hours.
* The structure is less than 3,600 square feet.
* The distance from the structure to the fire hydrant does not exceed 450 feet via vehicular access.
* The proposed construction must be within 150 feet of a vehicular access roadway that is a minimum of 20 feet wide, paved with concrete or asphalt and does not exceed 15% grade.

APPROVED BY DATE OFFICE. This information is Considered Valid for Twelve Months.

Fire Prevention Division approval of the site plan will be required before a Building Permit can be issued by the Building Department.

INTERIOR

J1.0 ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 SF OF ATTIC AREA) IS REQUIRED. (R806.2)

J2.0 ATTIC AREA HAVING CLEAR HEADROOM OF 30" MUST HAVE AN ACCESS OPENING (22" X 30" MINIMUM). ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. IT IS NOT ALLOWED WITHIN A SMALL CLOSET SPACE. (R807.1)

EGRESS

H1.0 FOR HABITABLE LEVELS OR BASEMENTS LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT, SHALL NOT EXCEED 50 FEET (R311.4)

H2.0 PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. SHOW DETAILS ON PLANS. MINIMUM - 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5.0 SF AT GRADE LEVEL) # 44" MAXIMUM TO SILL. (R310.1)

H3.0 AT LEAST ONE DOOR SHALL BE 36" WIDE BY 80" HIGH (R311.2)

H4.0 STAIRS

- A. 7.75" MAXIMUM RISE # MINIMUM 10" RUN. (R311.7.5)
B. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)
C. MINIMUM 36" CLEAR WIDTH. (R311.7.1)
D. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING (R311.7.8.1)
E. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (R311.7.7.3)
F. MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R312.1.3)

H4.1 WINDER TREADS SHALL COMPLY WITH SECTION R311.7.5.2.1.
H4.2 ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7)

FIRE

FIRE RESISTANCE RATED CONSTRUCTION

F1.0 PROJECTIONS BEYOND THE EXTERIOR WALL SHALL COMPLY WITH TABLE R302.1 AND SHALL NOT EXTEND:
A. TO A POINT CLOSER THAN 2 FEET FROM INTERIOR LOT LINE.
B. MORE THAN 4 INCHES AT THE ROOF LEAVE FOR DETACHED GARAGES ACCESSORY TO A DWELLING WHEN LOCATED WITHIN 2 FEET OF A LOT LINE.
C. OVER THE LOT LINE FOR ACCESSORY STRUCTURES THAT ARE EXEMPT FROM PERMITS.

FIRE PROTECTION

F2.0 THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA 13D. (R313, 1.2.1 A1 7(D))

F2.1 THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

F3.0 AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM # HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)

F4.0 AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

GARAGE NOTES

B1.0 DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)

B2.0 THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).

B3.0 DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).

B4.0 OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.1.1, ITEM 4 (R302.5.3).

B5.0 GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)

B6.0 VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4

REVISIONS: BY: table with 2 columns and 10 rows.

VALECIOS DESIGN STUDIO - PROJECT MANAGEMENT valecios@gmail.com 818.554.8831

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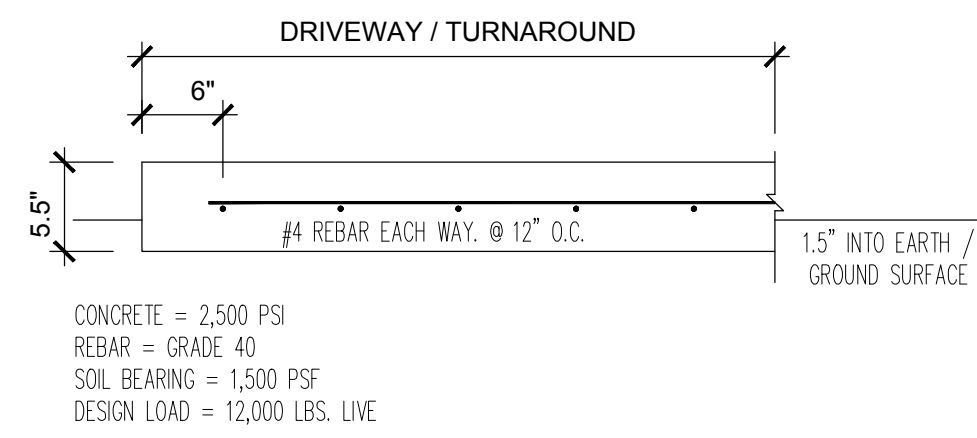
SITE PLAN

JOB ID: DRMERAVE DB: W.V. FV: 1.8 DATE: 03.22.2019 SCALE: N.T.S. SHEET NUMBER:

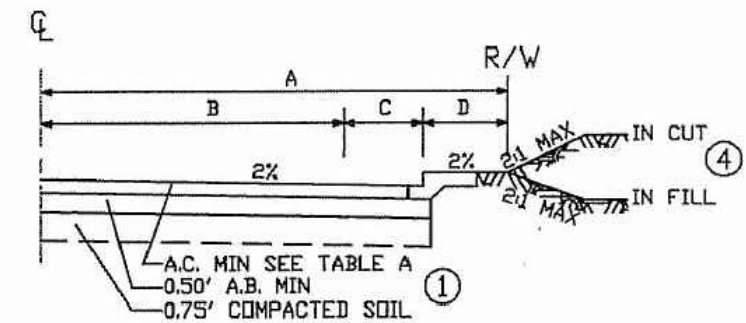
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SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

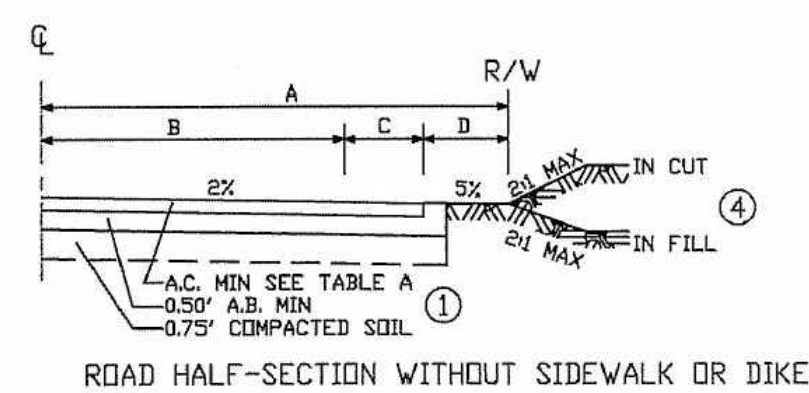
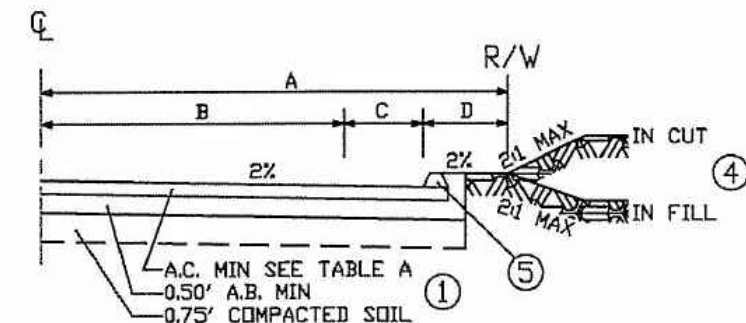
DRIVEWAY SECTION



ROADWAY SECTION



ROAD HALF-SECTION WITH A.C. DIKE



CLASS	ADT	TI	AC	A	B	C	D
RURAL ROAD	250-400	4.5	.30	18	12	0	6
RESIDENTIAL STREET	400-1000	4.5	.30	28	10	8	10
COLLECTOR STREET	1000-5000	5.5	.33	30	12	8	10

AB = AGGREGATE BASE MATERIALS
AC = ASPHALT CONCRETE PAVING

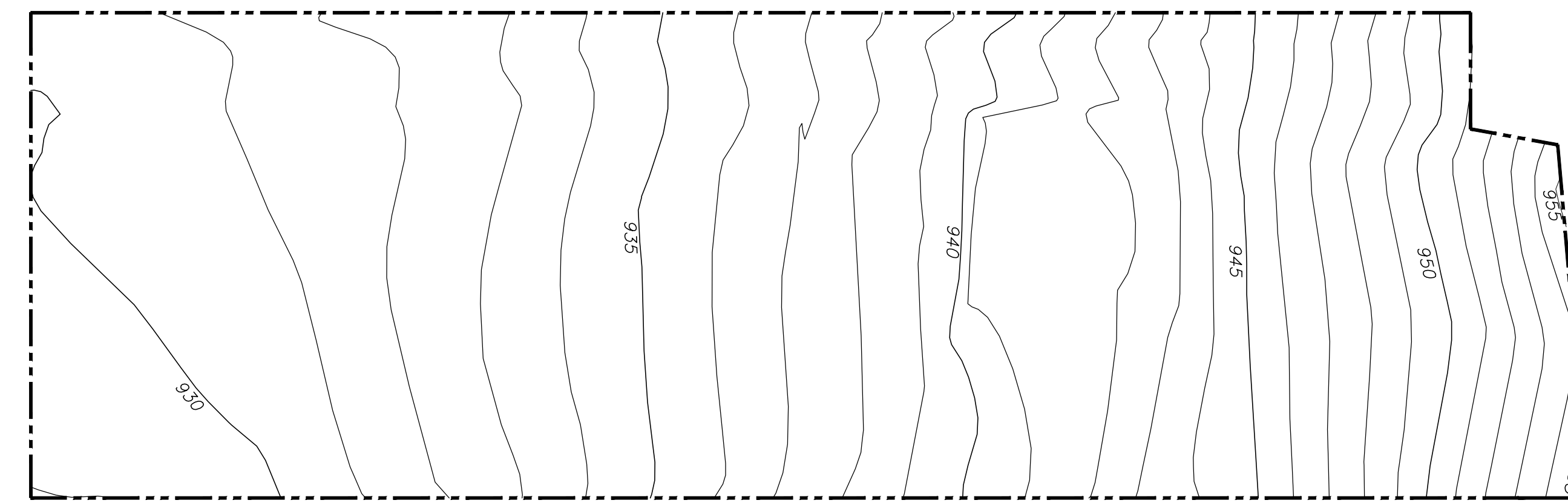
FIRE HYDRANTS WITHIN 600 FEET



SCALE: 1" = 300'
ALL FIRE HYDRANTS MATCH DESCRIPTION SHOWN UNDER 'FIRE HYDRANT' SECTION BELOW

CONTOURS

ID	LENGTH
929	13.94
930	87.24
931	92.17
932	91.03
933	85.63
934	82.12
935	81.43
936	82.39
937	87.38
938	83.12
939	83.09
940	87.91
941	95.16
942	89.39
943	82.47
944	81.49
945	80.43
946	80.90
947	81.13
948	81.52
949	82.02
950	82.13
951	78.02
952	61.59
953	60.05
954	61.29
955	12.59
2,066.23	TOTAL



AVERAGE PARCEL SLOPE

$$S = \frac{L \times 100}{A}$$

$$S = \frac{(1)(2,066.23) \times 100}{21,781}$$

$$S = 9.48$$

S = AVERAGE PERCENT SLOPE
I = CONTOUR LINE ELEVATION INTERVAL IN FEET
L = SUM OF THE LENGTH OF ALL CONTOUR LINES ACROSS THE PARCEL
A = NET AREA* OF PARCEL IN SQUARE FEET

EXISTING TOPOGRAPHIC MAP - SCALE 1" = 20'-0" NORTH

FIRE DEPARTMENT NOTES

FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 501.4

WHEN SECURITY GATES ARE PROVIDED, MAINTAIN A MINIMUM ACCESS WIDTH OF 20 FEET. THE SECURITY GATE SHALL BE PROVIDED WITH AN APPROVED MEANS OF EMERGENCY OPERATION, AND SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES AND REPLACED OR REPAIRED WHEN DEFECTIVE. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F220. GATES SHALL BE OF THE SWINGING OR SLIDING TYPE. CONSTRUCTION OF GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON. FIRE CODE 503.6

APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1

THE REQUIRED FIRE FLOW FOR FIRE HYDRANTS AT THIS LOCATION IS 1,250 GPM, AT 20 PSI RESIDUAL PRESSURE, FOR A DURATION OF 1 HOUR OVER AND ABOVE MAXIMUM DAILY DOMESTIC DEMAND. FIRE CODE 507.3 AND APPENDIX B105.1 APPENDIX B.

ALL FIRE HYDRANTS SHALL MEASURE 6" x 4" x 2-1/2", BRASS OR BRONZE, CONFORMING TO AMERICAN WIR WORKS ASSOCIATION STANDARD C503, OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 8.

FIRE HYDRANT

(E) FIRE HYDRANT FROM FORM 195: DISTANCE TO PROPERTY LINE = 81'-0" VIA VEHICULAR ACCESS. THE FIRE FLOW SERVICES WILL BE RENDERED FROM A 6" WATER MAIN. THE HYDRANT IS LOCATED ON FOOTHILL DRIVE 42' NORTH EAST DRIVER AVE. UNDER NORMAL OPERATION CONDITIONS THE FIRE FLOW AVAILABLE FROM THIS 6"x4"x2-1/2" (SIZE) HYDRANT IS 1,250 GPM AT 20 PSI RESIDUAL FOR 2 HOURS AT 131 PSI STATIC.

SITE PLAN NOTES

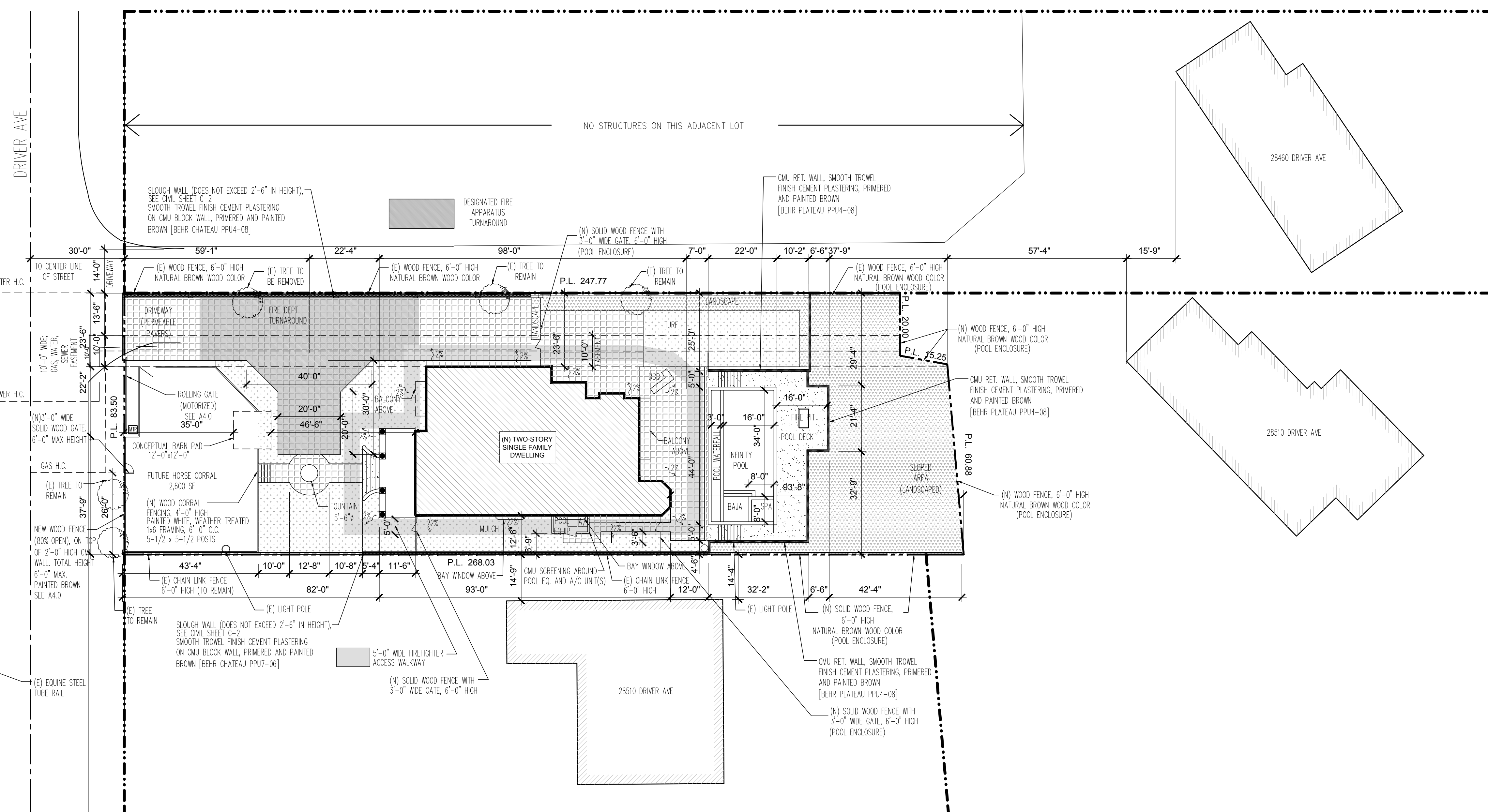
A 10'-0" WIDE EASEMENT IS PRESENT ON THE LOT, RUNNING NORTH TO SOUTH ON ENTIRE LOT, AT APPROXIMATELY 13'-0" FEET FROM EAST PROPERTY LINE. GAS LINE, WATER LINE, AND SEWER LINE ARE PRESENT WITHIN THIS EASEMENT.

2% SLOPE AWAY FROM THE STRUCTURE FOR DRAINAGE (ON THE FIRST 5'-0") ALL AROUND NEW STRUCTURES.

PER AQMD RULE 445 ONLY FIREPLACES FUELED BY GAS (SUCH AS GAS LOGS) MAY BE INSTALLED IN A NEW RESIDENCE. PERMANENTLY INSTALLED INDOOR OR OUTDOOR WOOD-BURNING FIREPLACES OR STOVES ARE NOT PERMITTED.

FIRE SPRINKLERS FOR ALL NEW STRUCTURES WILL BE REQUIRED PER AGOURA HILLS MUNICIPAL CODE 903.2

POOL FENCING SHALL BE PROVIDED. THE DOOR IS SELF CLOSING, SELF LATCHING, TO SWING OUT FROM SIDE OF POOL. A DOOR ALARM IS REQUIRED IF DOORS OR WINDOWS ARE USED AS PART OF THE POOL FENCE.



REVISIONS: BY:

VALECIOS
DESIGN STUDIO - PROJECT MANAGEMENT
valacios@gmail.com 818.554.8831

DRONA RESIDENCE
28500 DRIVER AVE, AGOURA HILLS, CA 91301
PROPOSED 2-STORY SINGLE FAMILY DWELLING
APN: 20955-0044-040

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SITE PLAN
JOB ID: DRIVERAVE
DB: W.V. FV: 1.8
DATE: 03.22.2019
SCALE: 1" = 20'-0"
SHEET NUMBER:

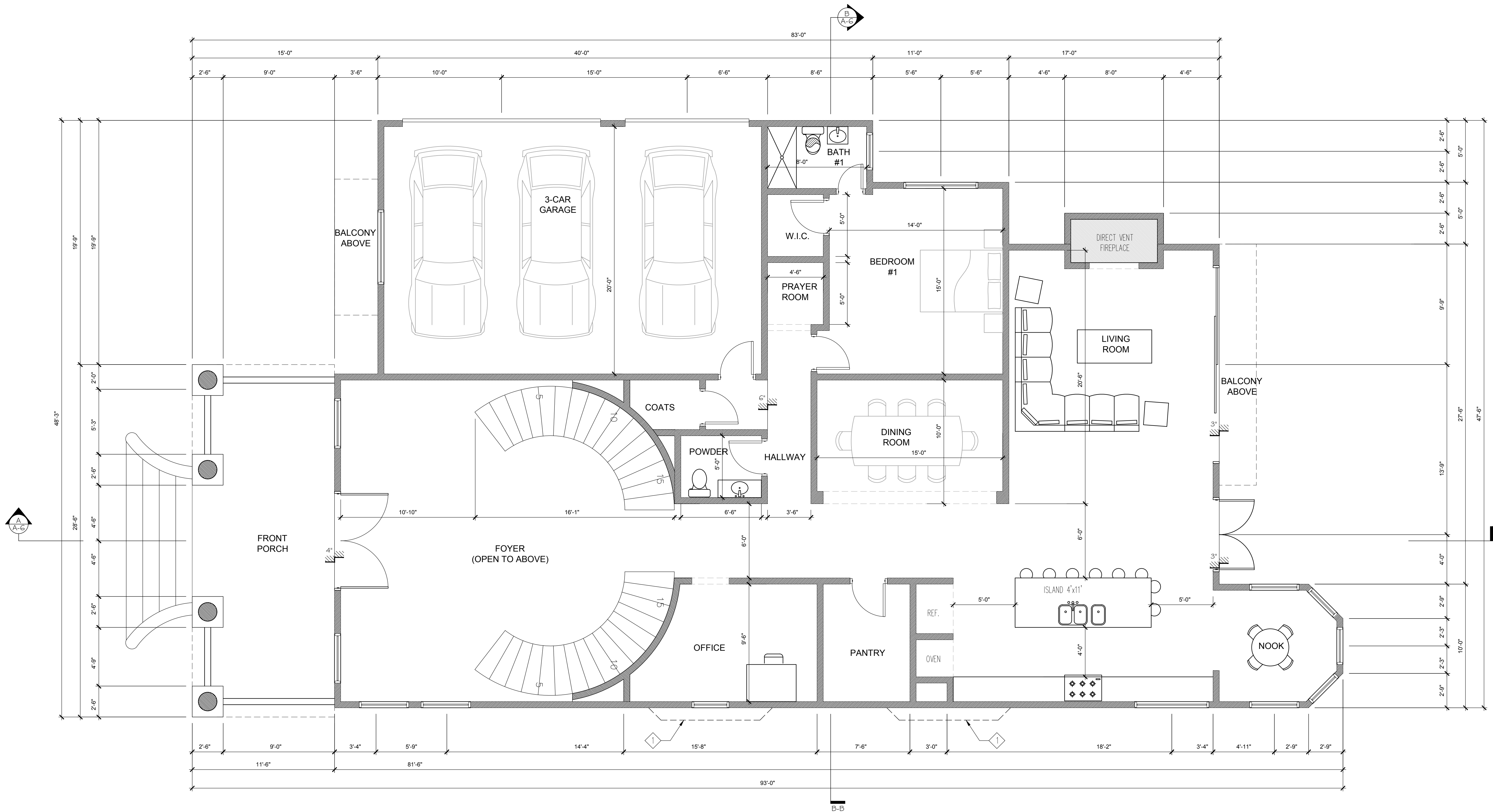
A1.0

SITE PLAN - SCALE 1" = 20'-0" NORTH

SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

PLAN NOTES

◇ BAY WINDOWS ABOVE



REVISIONS:	BY:

VALECIOS
 DESIGN STUDIO - PROJECT MANAGEMENT
 valecios@gmail.com 818.554.8831

DRONA RESIDENCE
 28500 DRIVER AVE, AGOURA HILLS, CA 91301
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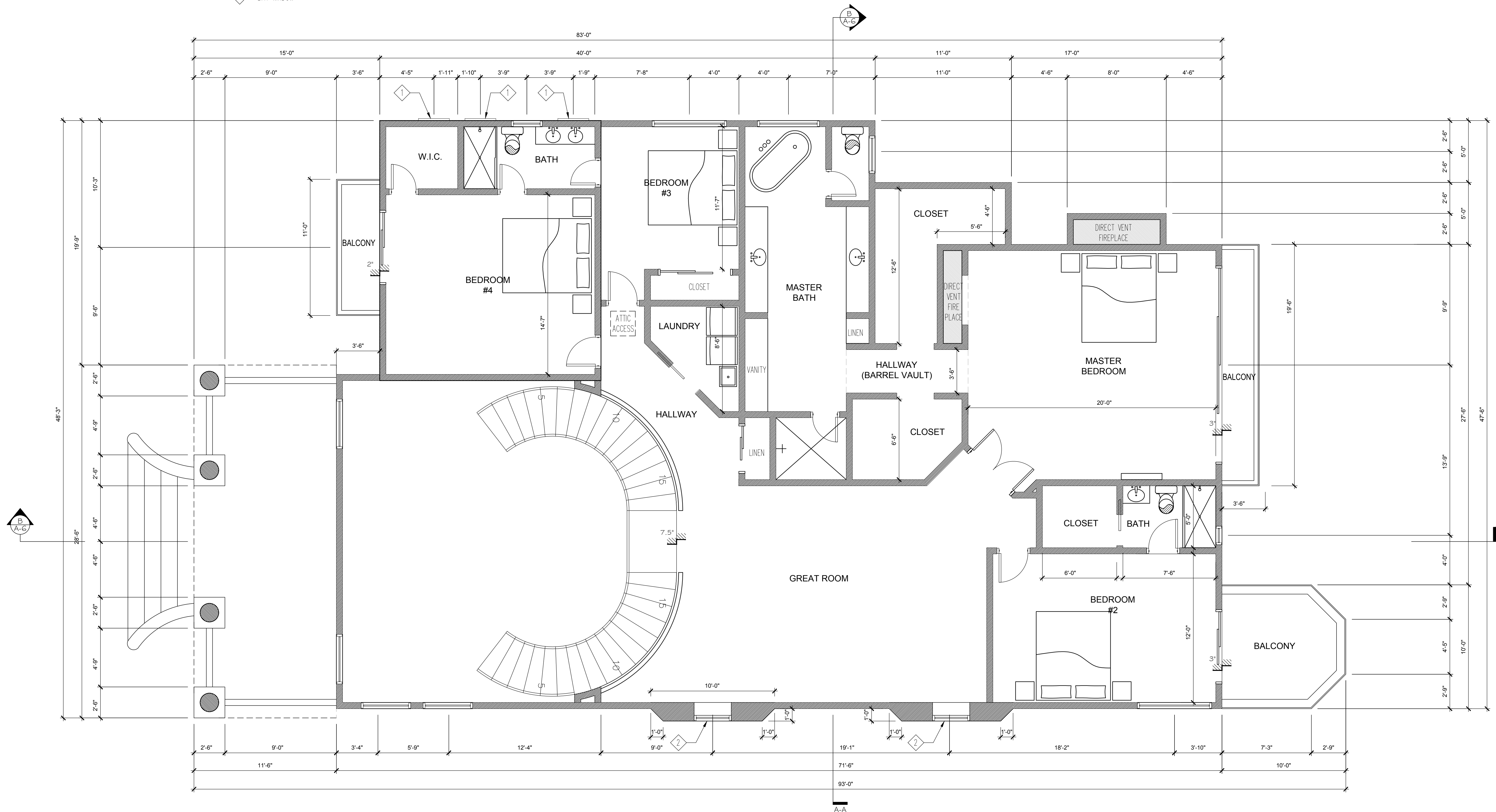
FIRST FLOOR PLAN
 SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

JOB ID: DRMR AVE
 DB: W.V. FV: 1.8
 DATE: 03.22.2019
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

A2.0

PLAN NOTES

- ① WINDOW FRAME ATTACHED TO WALL EXTERIOR, NO OPENING
- ② BAY WINDOW



REVISIONS:	BY:

VALECIOS
 DESIGN STUDIO - PROJECT MANAGEMENT
 valecios@gmail.com 818.554.8831

DRONA RESIDENCE
 28500 DRIVER AVE, AGOURA HILLS, CA 91301
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 APN: 20355-004-040

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SECOND FLOOR PLAN

JOB ID: DRMRVAVE
 DB: W.V. FV: 1.8
 DATE: 03.22.2019
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

A3.0

REVISIONS:	BY:

VALLECIOS
 DESIGN STUDIO - PROJECT MANAGEMENT
 vallecios@gmail.com 818.554.8831

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 APN: 2055-004-040

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ROOF PLAN

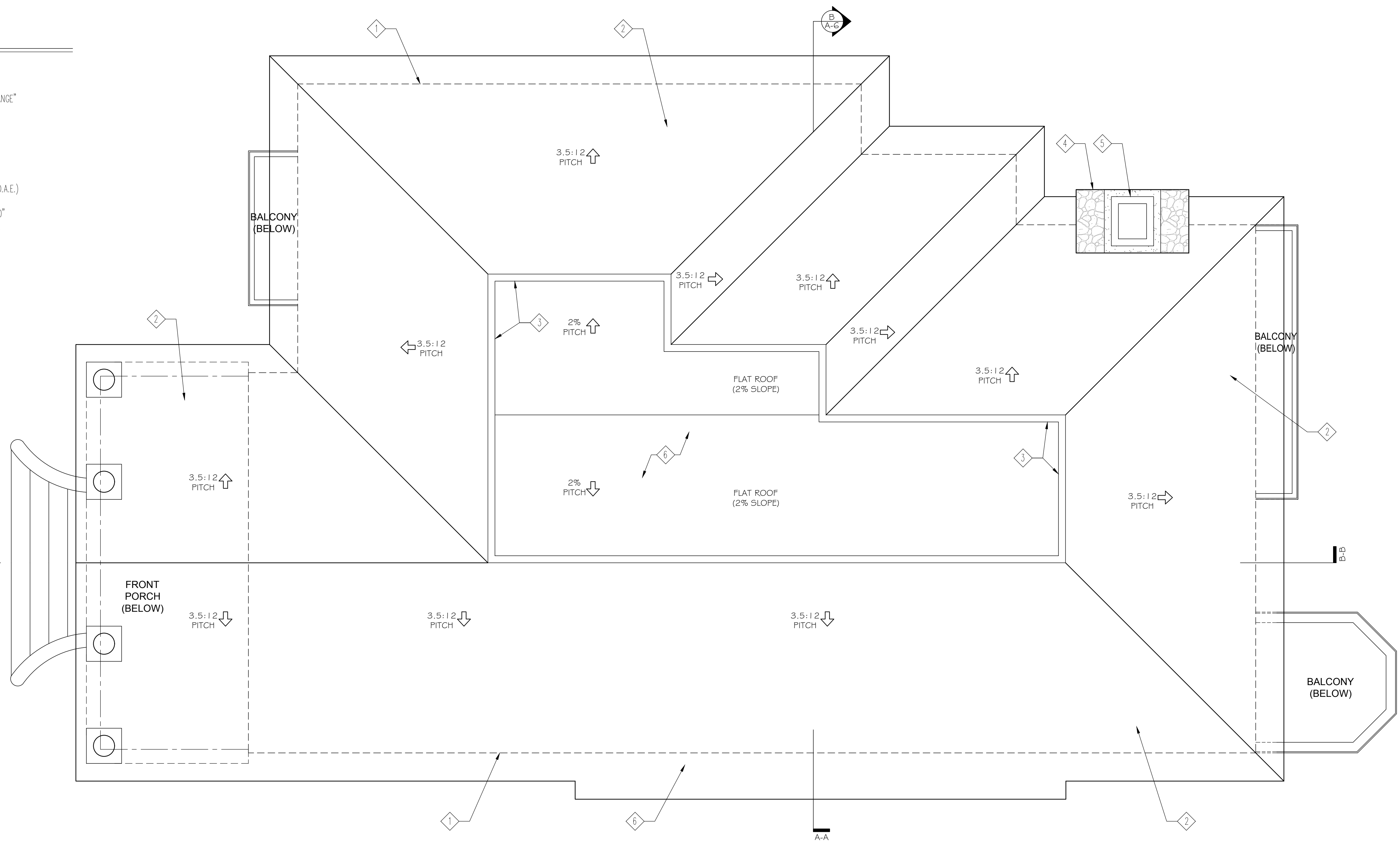
JOB ID: DRMERAVE
 DB: W.V. FV: 1.8
 DATE: 03.22.2019
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

A4.0

SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

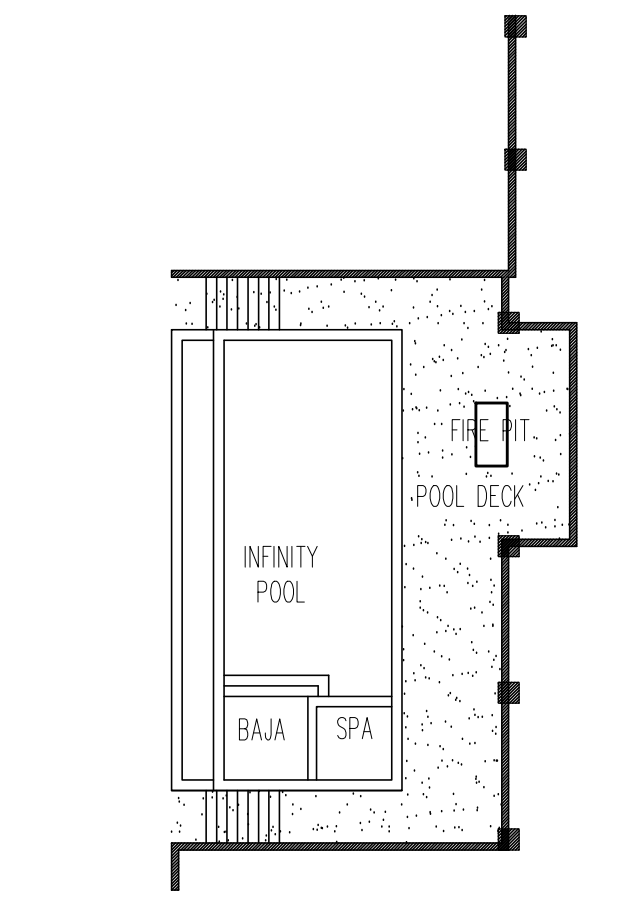
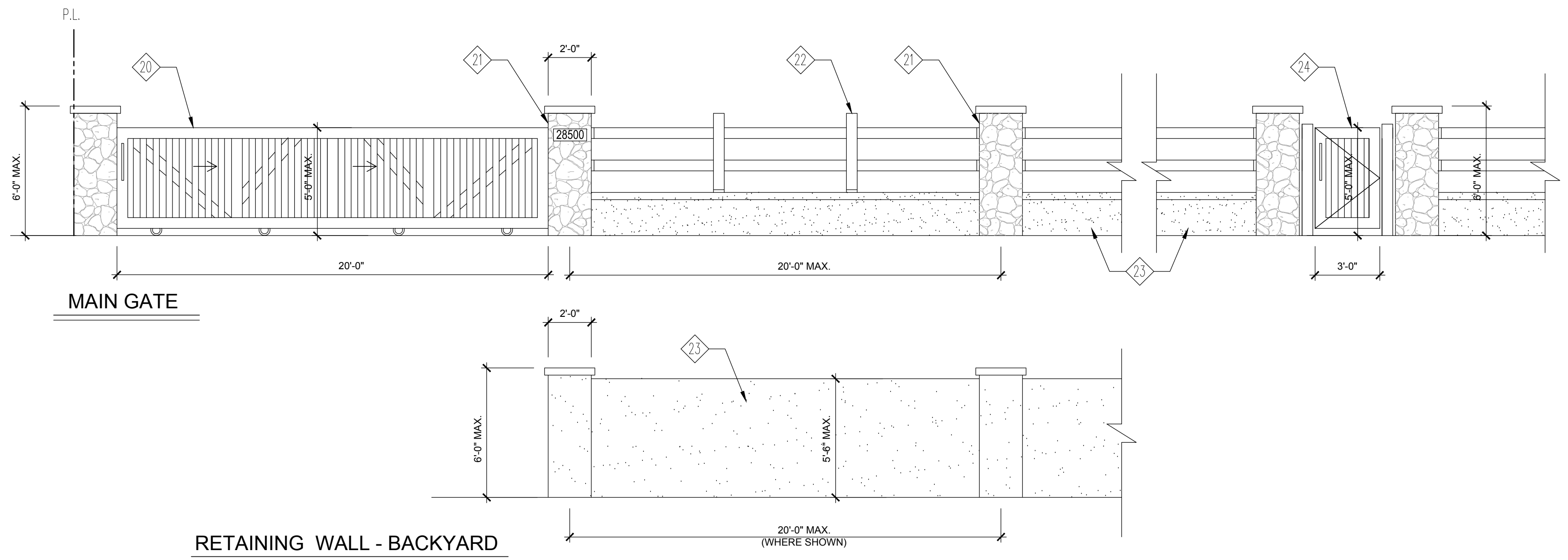
ROOF NOTES

- 1 LINE OF WALL BELOW
- 2 CLASS A, FLAT ROOF TILES "BROWN GRAY RANGE" BY "EAGLE / BORAL ROOFING PRODUCTS"
- 3 PARAPET WALL AROUND FLAT ROOF AREA [BEHR PLATEAU PPU4-08]
- 4 CMU CHIMNEY WRAPPED IN STONE VENEER, PER MANUFACTURER SPECIFICATIONS
 STYLE: "LUCERA" BY "EL DORADO STONE" (O.A.E.)
 CHIMNEY SHOULD EXTEND A MINIMUM OF 2'-0" ABOVE ANY PORTION OF ROOF WITHIN 10'-0".
- 5 AN APPROVED SPARK ARRESTOR SHOULD BE INSTALLED AT TOP OF CHIMNEY
- 6 CLASS A, GAF TPO ROOFING AT 2% SLOPE COLOR: "SLATE GRAY"



ELEVATION NOTES

- 20 ROLLING GATE (MOTORIZED) 5'-0" TOTAL HEIGHT, WOOD, PAINTED BROWN [BEHR CHOCOLATE SWIRL PPU5-18]
- 21 PILASTERS WITH DECORATIVE STONE VENEER, 6'-0" MAX. HEIGHT [EL DORADO STONE - HILLSTONE LUCERA]
- 22 WEATHER TREATED, 2x6 PLANKS, PAINTED BROWN [BEHR CHOCOLATE SWIRL PPU5-18]
- 23 SMOOTH TROWEL FINISH CEMENT PLASTERING ON CMU BLOCK WALL, PRIMERED AND PAINTED BROWN [BEHR PLATEAU PPU4-08]
- 24 (N) 3'-0" WIDE SOLID WOOD GATE 5'-0" HIGH MAX. PAINTED BROWN [BEHR CHOCOLATE SWIRL PPU5-18] SEE LOCATION ON A1.0



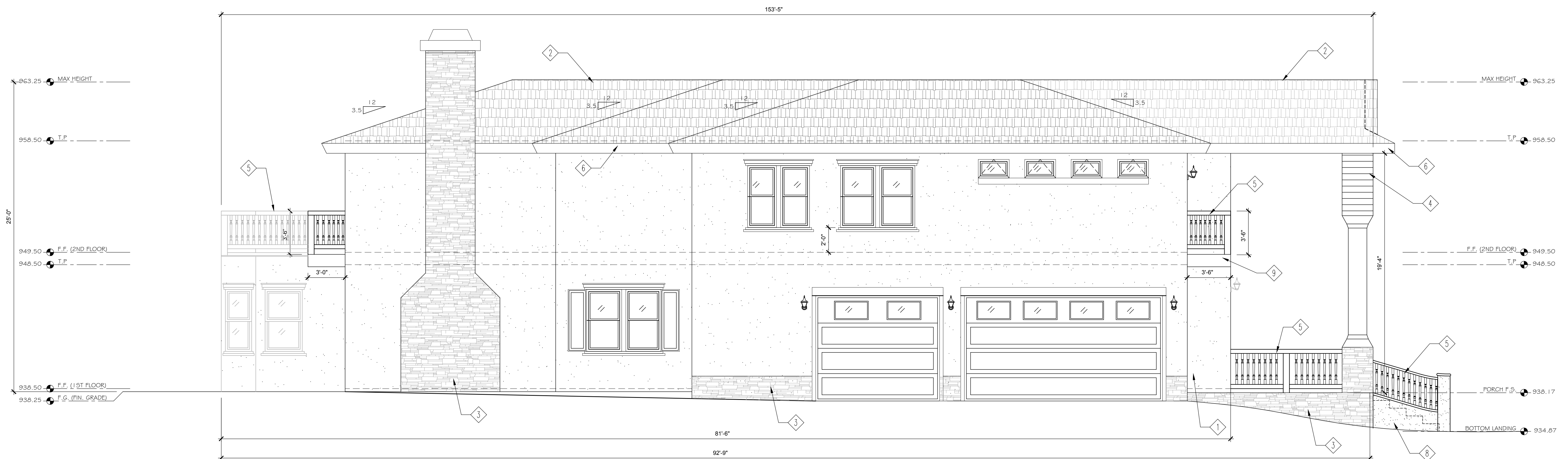
RETAINING WALL LOCATIONS

ELEVATION NOTES

- 1 STUCCO, SMOOTH FINISH, PAINTED BROWN [BEHR PLATEAU PPU4-08]
- 2 CLASS A, FLAT ROOF TILES "BROWN GRAY RANGE" BY "EAGLE / BORAL ROOFING PRODUCTS"
- 3 STONE VENEER, ANCHORED TO WALL PER MANUFACTURER SPECIFICATIONS STYLE: "GOLDEN HARVEST" BY "CORONADO" STONE (O.A.E.)
- 4 JAMES HARDIE BOARD LAP SIDING [WOODSTOCK BROWN]
- 5 WOOD RAILING 3'-6" HIGH COLOR: "WHITE"
- 6 FASCIA BOARDS COLOR: "WHITE"
- 7 DOOR AND WINDOW FRAMES, SILLS, AND ACCENTS COLOR: "WHITE"
- 8 LOW DECORATIVE CMU WALL AT ENTRY COLOR: WHITE
- 9 BALCONY OUTER FRAMING COLOR: "WHITE"
- 10 MAIN ENTRY DOOR [BEHR CHOCOLATE SOUL MQ1-58]
- 11 ENTRY COLUMNS COLOR: "WHITE"
- 12 WINDOW SHUTTERS COLOR: "WHITE"



NORTH ELEVATION - SCALE 1/4" = 1'-0"



EAST ELEVATION - SCALE 1/4" = 1'-0"

REVISIONS: BY:

VALECIOS
 DESIGN STUDIO - PROJECT MANAGEMENT
 vvalacios@gmail.com 818.554.8831

DRONA RESIDENCE
 28500 DRIVER AVE, AGOURA HILLS, CA 91301
 PROPOSED 2-STORY SINGLE FAMILY DWELLING
 APN: 2055-004-040

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ELEVATIONS - NORTH AND EAST

JOB ID: DRMERAVE
 DB: W.V. FV: 1.8
 DATE: 03.22.2019
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

A5.0

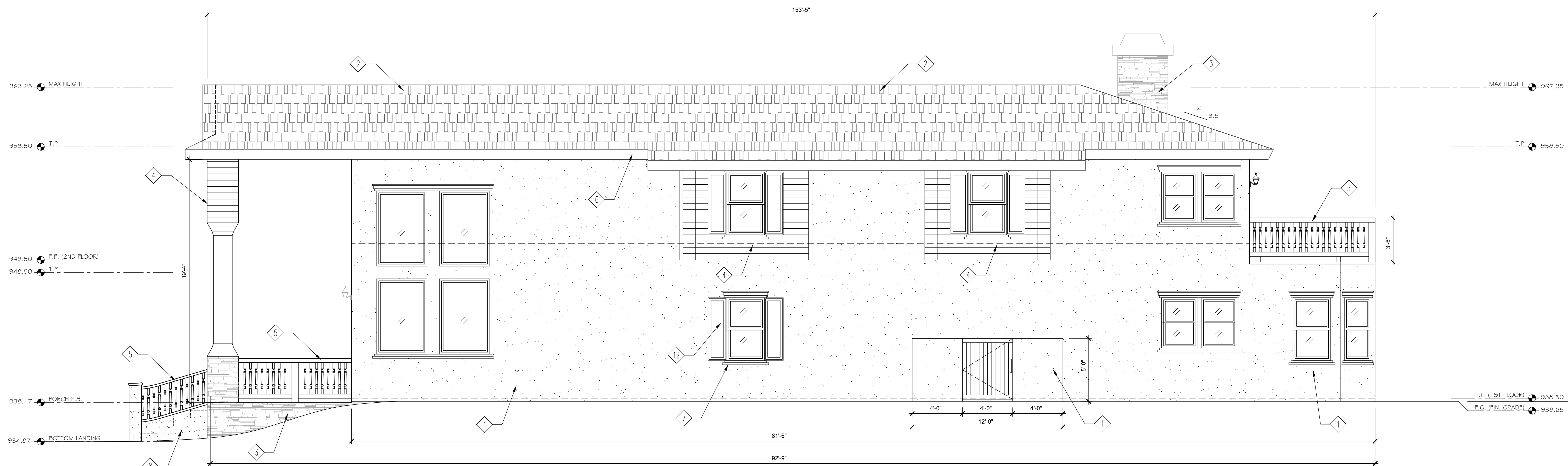
SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

ELEVATION NOTES

- 1 STUCCO, SMOOTH FINISH, PAINTED BROWN
[BEHR PLATEAU PPU4-08]
- 2 CLASS A, FLAT ROOF TILES "BROWN GRAY RANGE"
BY "EAGLE / BORAL ROOFING PRODUCTS"
- 3 STONE VENEER, ANCHORED TO WALL
PER MANUFACTURER SPECIFICATIONS
STYLE: "GOLDEN HARVEST" BY "CORONADO" STONE (O.A.E.)
- 4 JAMES HARDIE BOARD LAP SIDING
[WOODSTOCK BROWN]
- 5 WOOD RAILING 3'-6" HIGH
COLOR: "WHITE"
- 6 FASCIA BOARDS
COLOR: "WHITE"
- 7 DOOR AND WINDOW FRAMES, SILLS, AND ACCENTS
COLOR: "WHITE"
- 8 LOW DECORATIVE CMU WALL AT ENTRY
COLOR: WHITE
- 9 BALCONY OUTER FRAMING
COLOR: "WHITE"
- 10 MAIN ENTRY DOOR
[BEHR CHOCOLATE SOUL M01-58]
- 11 ENTRY COLUMNS
COLOR: "WHITE"
- 12 WINDOW SHUTTERS
COLOR: "WHITE"



SOUTH ELEVATION - SCALE 1/4" = 1'-0"



WEST ELEVATION - SCALE 1/4" = 1'-0"

REVISIONS: BY:

VALECICIOS
DESIGN STUDIO - PROJECT MANAGEMENT
valebcs@gmail.com 818.554.8831

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ELEVATIONS - SOUTH AND WEST

JOB ID: DRMRVAV
DB: W.V. FV: 1.8
DATE: 03.22.2019
SCALE: 1/4" = 1'-0"
SHEET NUMBER:

A5.1

SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

ELEVATION NOTES

- 1 STUCCO, SMOOTH FINISH, PAINTED BROWN [BEHR PLATEAU PPU4-08]
- 2 CLASS A, FLAT ROOF TILES "BROWN GRAY RANGE" BY "EAGLE / BORAL ROOFING PRODUCTS"
- 3 STONE VENEER, ANCHORED TO WALL PER MANUFACTURER SPECIFICATIONS STYLE: "GOLDEN HARVEST" BY "CORONADO" STONE (O.A.E.)
- 4 JAMES HARDIE BOARD LAP SIDING [WOODSTOCK BROWN]
- 5 WOOD RAILING 3'-6" HIGH COLOR: "WHITE"
- 6 FASCIA BOARDS COLOR: "WHITE"
- 7 DOOR AND WINDOW FRAMES, SILLS, AND ACCENTS COLOR: "WHITE"
- 8 LOW DECORATIVE CMU WALL AT ENTRY COLOR: WHITE
- 9 BALCONY OUTER FRAMING COLOR: "WHITE"
- 10 MAIN ENTRY DOOR [BEHR CHOCOLATE SOUL M01-58]
- 11 ENTRY COLUMNS COLOR: "WHITE"
- 12 WINDOW SHUTTERS COLOR: "WHITE"



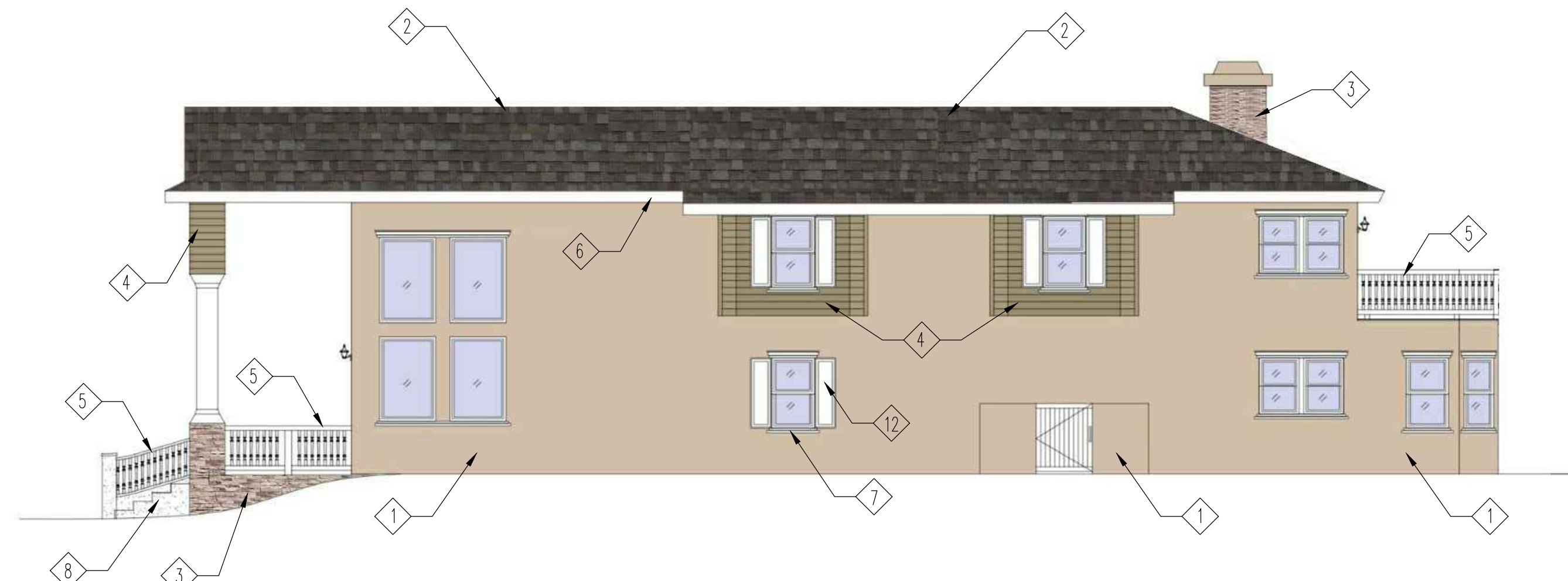
NORTH ELEVATION - SCALE 1/8" = 1'-0"



EAST ELEVATION - SCALE 1/8" = 1'-0"



SOUTH ELEVATION - SCALE 1/8" = 1'-0"



WEST ELEVATION - SCALE 1/8" = 1'-0"

REVISIONS:	BY:

VALLECIOS
 DESIGN STUDIO - PROJECT MANAGEMENT
 vallecios@gmail.com 818.554.8831

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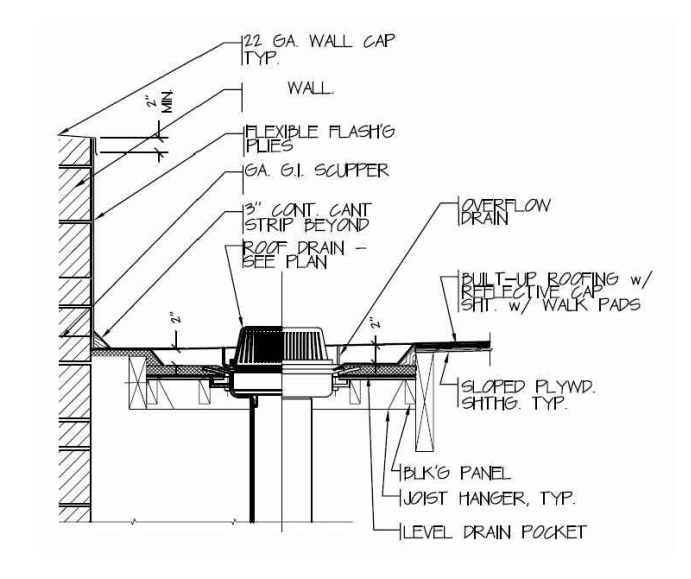
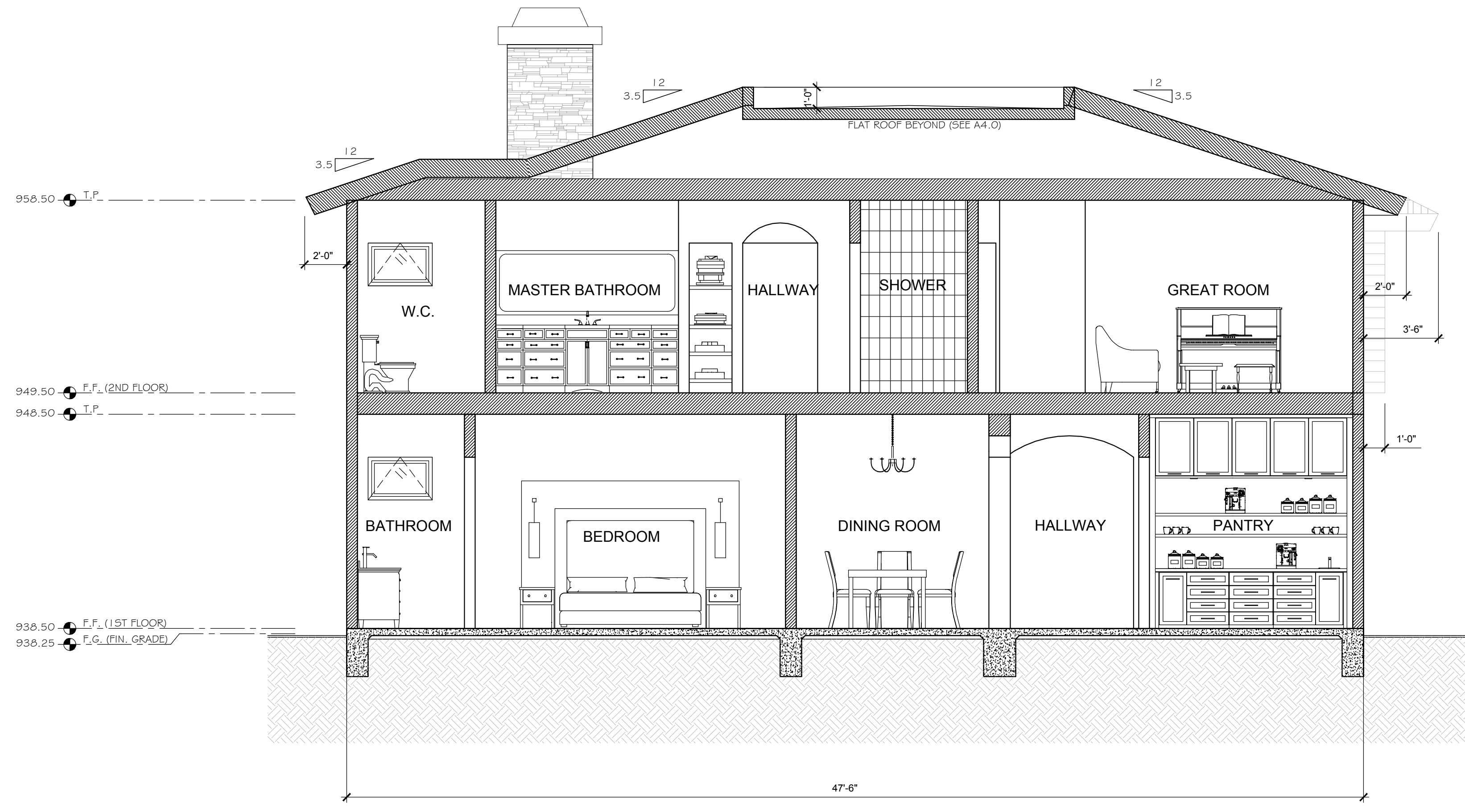
ELEVATIONS - COLOR

JOB ID: DRMERAVE
 DB: W.V. FV: 1.8
 DATE: 03.22.2019
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

A5.2

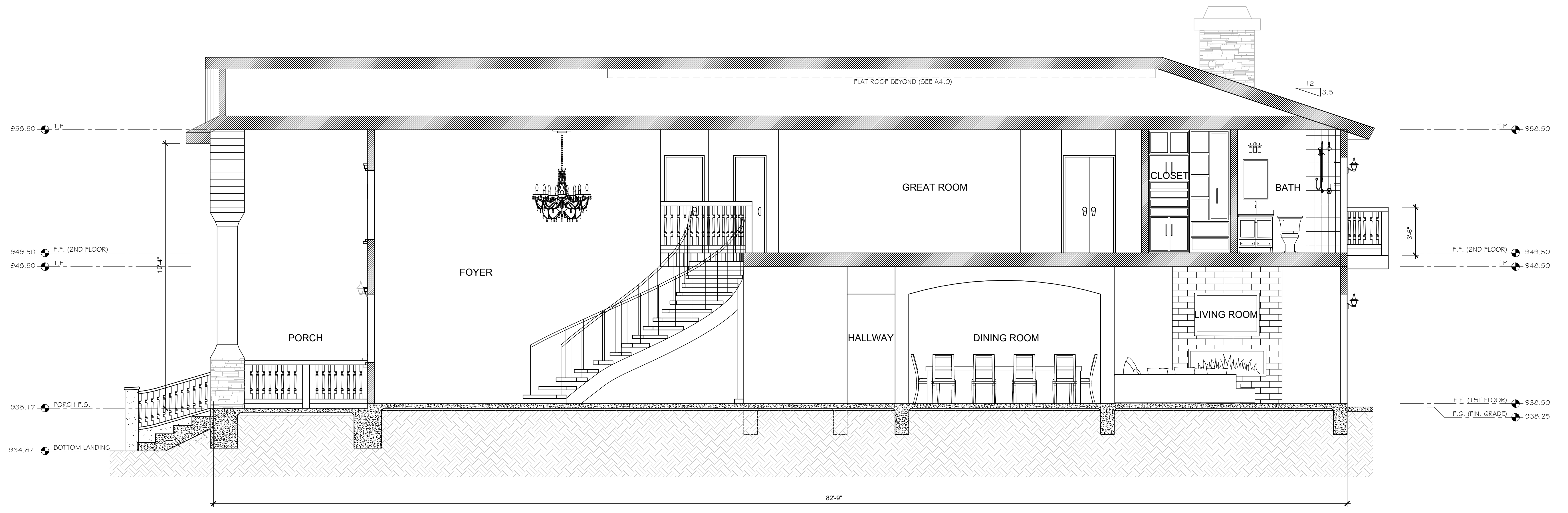
SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

REVISIONS:	BY:



DRAIN AT FLAT ROOF

SECTION A-A - SCALE 1/4" = 1'-0"



SECTION B-B - SCALE 1/4" = 1'-0"

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 DESIGN STUDIO - PROJECT MANAGEMENT
 vvalacios@gmail.com 818.554.8831

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SECTIONS

JOB ID: DRMERAVE
 DB: W.V. FV: 1.8
 DATE: 03.22.2019
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

A6.0

SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

Exhibit E



12



7



6



1



6



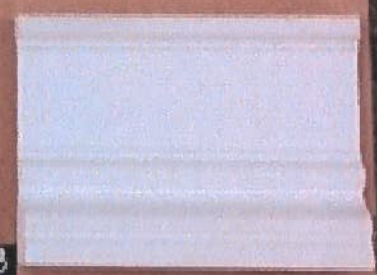
9



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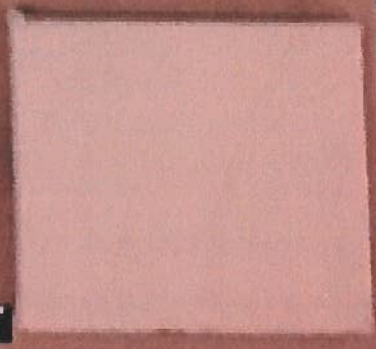
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4



11



5

28500 DRIVER AVE
MANISH DRONA

DESIGN: WILHAR VALLECKIS 888 454 8831

Exhibit F

Old Agoura Home Owners Planning and Zoning Committee

March 25, 2019

Attn: City of Agoura Hills Planning Dept.

Drona Project: Driver Ave. APN :2055-004-040

The Planning and zoning committee from the Old Agoura Planning and Zoning Committee has reviewed the revised proposed project by Vallecios Design Studio, dated 08/06/2018

The project; approximately 4,895 S.F. of a new two story residence, and proposed pool.

We appreciate the applicant taking steps to mitigate our concerns. The applicant added some articulation on the west, and changed some of the finishes in the front elevation.

Our guide lines, request scale mass and architecture should be sensitive to Old Agoura heritage. The front elevation, with the large columns, and 18' high entry doors and windows does not represent homage to our design guidelines. This project, with the smaller ascending lot, minimal front setback, raised front porch and gable, will be overpowering.

The east side of the house, only allows for 23' between the house and the property line fence at the garage door. Typically, a minimum of 26'7" is considered minimum turning radius in front of the garage. (LADBS parking standard used) Allowing turning radius reductions, means it's impractical for full size trucks and SUV's to use the garage for parking.

Old Agoura, is an agricultural, equestrian open space designated neighborhood. Taking away a place for trucks, trailers and Suv's to park, means that we are in fact, making it impractical to support those activities. This site, does not have any other place to park a truck and or a horse trailer

Our committee reviewed the new plans, and sought opinion from 2 residences to justify our findings. It is our committee's opinion, and the opinion from 2 of the 2 residences asked, agree the project does not fit Old Agoura Guide lines.

In conclusion, we do not support the project as it does not follow our guidelines for the following reasons:

955- C, The proposed design is in character with existing development in the Old Agoura District, in terms of height, materials, colors, roof pitch, roof eaves, and the preservation of privacy.)

9553.6. - Required architectural style and building materials. Project design and development shall perpetuate and reinforce the natural character of Old Agoura.)

Thank you.

Daniel Farkash
Mike Cobella
Phil Ramuno

Exhibit G

Doug Hooper

Subject: Old Agoura

From: Ron Troncatty <rontron2000@yahoo.com>

Sent: Tuesday, March 26, 2019 12:22 PM

To: Doug Hooper <dhooper@ci.agoura-hills.ca.us>; Renee Madrigal <rmadrigal@ci.agoura-hills.ca.us>; Valerie Darbouze <VDarbouze@ci.agoura-hills.ca.us>; Nathan Hamburger <NHamburger@ci.agoura-hills.ca.us>; Greg Ramirez <gramirez@ci.agoura-hills.ca.us>

Subject: Old Agoura

March 26, 2019

Att: City of Agoura Hills Planning Dept

RE:Drona Project / Driver Ave

APN: 2055-004-040

To Whom It May Concern;

This project seems just one more example of developers coming into Old Agoura to exploit our large lots with little intention of enjoying Old Agoura's rural quality of life.

This project as presented does not belong in Old Agoura. It doesn't represent the values of Old Agoura, and lastly is a slap in the face of us who have worked so hard to create a vision for Old Agoura and its historic rural agricultural nature.

The Planning department in receiving such an application should realize that the intention of applicant is not to share in the Old Agoura lifestyle and impose the strictest guidelines described in the Overlay, especially regarding "hardscape" which should include **any and all** hard surfaces covering the earth, except on flag lots.

Although the neighboring properties to the west and north equally share little of the Old Agoura lifestyle it must be noted that they were approved before the Overlay district was created.

Years ago when creating the hardscape clause it was intended to discourage development that would render properties "horse useless"

In responding to applications such as this one the Planning department often times seems to miss this goal in their discretions

Being satisfied by simply requiring a set aside horse area without taking in consideration, practicality and or common sense use, seems to happen more and more in the Planning department's response to such applications of late.

Ron Tron

Exhibit H



1. FROM FRONT OF STREET



2. FROM FRONT OF ADJACENT NEIGHBOR ON WEST



3. FROM FRONT PROPERTY LINE LOOKING AT UPWARD SLOPE



4. FROM REAR PROPERTY LINE LOOKING AT DOWNWARD SLOPE



5. ~20 FROM NORTH PROPERTY LINE FACING SOUTH WEST



6. ~25 FEET AWAY FROM SOUTH PROPERTY LINE / FENCE

Attachment 2

RESOLUTION NO. 19-1223

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01504-2018 FOR THE CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE LOCATED AT 28500 DRIVER AVENUE; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Wilmar Vallecios with respect to the real property located at 28500 Driver Avenue, Assessor's Parcel Number 2055-004-040, requesting approval of Site Plan/Architectural Review Case No. SPR-01504-2018 to allow the construction of a new 4,917 square-foot, two-story, single-family residence and a 695 square-foot, attached three-car garage on a vacant parcel.

Section II. The project is a request for construction of a new single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversions of Small Structures). The new single-family residence and related structures would not result in significant impacts to the environment. No exception to this categorical exemption applies, as set forth in Section 15300.2 of the CEQA Guidelines, including but not limited to, Subsection (c), which relates to unusual circumstances.

Section III. The Planning Commission of the City of Agoura Hills considered the project and application at a public hearing held on May 2, 2019, at 6:30 p.m. in the City Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforementioned hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforementioned public meeting.

Section V. Site Plan. Based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Zoning Ordinance Section 9677.5 of the Agoura Hills Municipal Code, that:

A. The proposed use is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located.

The proposed project is located within the Low Density Residential and Old Agoura Design Overlay and Equestrian Overlay (RL-OA-EQ) district, which allows for the development of single-family residences. The project meets the City's minimum development standards for the zoning district with regard to lot coverage, lot size, building height, building setbacks, and all other applicable development standards. The project is also subject to the Old Agoura Design and Equestrian Overlay Districts. The project accommodates an equestrian area large enough to build a corral, and a barn in compliance with the Equestrian Overlay District.

B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare. The design of the residence will ensure adequate light, air, privacy and open space to surrounding properties, as the project complies with the RL zone height, setback, lot size and coverage requirements. Vehicular access to the property will be provided via Driver Avenue, and the driveway is designed in accordance with City and Fire Department standards. Geological, geotechnical, and drainage studies have been reviewed by the City Geotechnical Consultant from a geotechnical perspective, and found them to be in compliance with applicable codes, guidelines, and standards of practice. They recommend the Planning Commission consider approval of the project. The site will be served by the public sewer system. The project will be in full compliance with the City's Building Code.

C. The proposed use will not conflict with the character and design of the buildings and open space in the surrounding area. The proposed style of architecture and building materials of the residence, includes light brown colored stuccoed walls, white trim, brown tile pitched roof, stone cladding, dark brown lap siding, wood railing painted white, and white window shutters. The project is in compliance with the City's Architectural Design Standards and Guidelines and standards of the Old Agoura Design and Equestrian Overlay Districts by providing for structures compatible with the natural environment in terms of colors and materials, providing a side facing garage, front porch and gable and hip roof with a relatively steep pitch, and an area for horse-keeping.

D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance except for approved variances or modifications. The project is consistent with the zoning district's requirements for setbacks, building height, building site coverage, lot size and retaining wall heights and all other applicable development standards. The project is also consistent with the Old Agoura Design and Equestrian Overlay districts relative to the style of architecture with natural materials and colors, native and drought-tolerant landscaping, minimization of grading, and sufficient area allotted for equestrian use. No variances or modifications are required.

E. The proposed use is consistent with the City's General Plan. The project is consistent with Land Use and Community Form Goal LU-7 and LU-8 and Policy LU-7.1 Neighborhood Conservation, Policy LU-7.2 Housing Character and Design, Policy LU-8.1 Neighborhood Identity, Policy LU-8.2 Development Compatibility with Community Character, Policy LU-8.3 Integration of Development with Natural Setting, Policy LU-8.4

Property Setbacks, Policy LU-8.5 Building Materials and Colors, Policy LU-8.6 Landscaping, and Policy LU-8.7 Open Spaces. The project is consistent with neighboring properties in terms of height and density. The proposed single-family residence conforms to the required height and setbacks of the RL zone. The lot size is similar to others in the neighborhood. The architectural design is of high quality, as are the materials, which are natural and earth-tone colors, integrate the project with the Old Agoura area natural setting. The residence is adequately articulated with varying architectural features and planes. The different building façade materials (wood, glass, and stone) and features, including porch, balconies, and bay windows, minimize the building mass. The plant palette incorporates native as well non-native but natural-looking trees and plant species. The residence is set back over 80 feet from Driver Avenue. The proposed plans include a 2,600 square-foot equestrian area that is accessible from Driver Avenue. Therefore, the proposed project could support horses and other farm animals. The project complies with Goal LU-9 and Policy LU-9.1 Neighborhood Identity by remaining in scale with the other residences in the neighborhood in terms of the lot size. Given the large front yard setback, the development would not be readily visible from passers-by.

F. The proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The project's gable and hip roof, natural material accents and earth tone colors reflect many of the residences in the area. The project meets the minimum yard setback requirements, height, lot coverage and lot size requirements of the Residential Low Density zone and will be placed 82 feet from Driver Avenue, a similar distance to the residence to the west of the site. Furthermore, the project is designed to provide sufficient space on the property to accommodate accessory structures and amenities in addition to the main residence, including a horse-keeping area.

Section VI. Architectural Review. Based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Zoning Ordinance Section 9677.7.G of the Agoura Hills Municipal Code, that:

A. The proposed development is consistent with the General Plan, and design standards adopted by the City Council. The project complies with the City General Plan Goals LU-7, LU-8, and LU-9 and Policies LU-7.1, LU-7.2, LU-8.1 through LU-8.7, and LU-9.1 by being consistent with neighboring properties in terms of architecture, height and density. One single-family residence is proposed for the lot and it conforms to the required height and setbacks of the RL zone. The lot size is similar to other area properties. The architectural design and material are of high quality. The plant palette incorporates native as well non-native trees and plant species. The residence is set back over 80 feet from the street. The project provides an equestrian area that is accessible from the street. The residence will be in scale with the other residences in the neighborhood and would not be readily visible from passers-by due to the distance from the street.

B. The design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not

impair the desirability of investment or occupation in the neighborhood. The proposed development will not interfere with the use and enjoyment of existing or proposed residential developments in the vicinity because the project meets all requirements of the Zoning Ordinance, especially height, setbacks, lot coverage and lot size. The building design reflects natural colors and materials compatible with the surrounding area. It will not create traffic hazards or congestion as the use is a single-family residence with minimal expected traffic trips generated. Access to the site is readily available via Driver Avenue. The driveway location will not interfere with neighboring developments or create traffic hazards, and the driveway and access meets City and Los Angeles County Fire Department Standards.

C. The design of the proposed development is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of the City. The residence includes design features and materials and colors compatible with style of homes in the surrounding Old Agoura neighborhood, and the project meets or exceeds the minimum development standards established by the Zoning Ordinance with regard to lot coverage, lot size, building height, and building setbacks. The single-family residence is a permitted use in the RL zone. Grading has been minimized by locating the residence on the flatter area of the lot.

D. The design of the proposed development provides a desirable environment for its occupants, as well as for neighbors, and is aesthetically of good composition, materials, textures, and colors. The building design is compatible with the variety of architectural styles in the neighborhood. The materials include stone and wood and the colors reflect earth tones, consistent with the community. The design includes articulation on all elevations, including a front porch, bay windows, windows with shutters, and a relatively steeply pitched gable and hip roof, all of which is reflective of the Old Agoura community. The distance between structures meets or exceeds all minimum setback requirements. The two-story design of the house will not significantly impact view-sheds of surrounding properties. The southerly portion of the lot that is an ascending slope will be landscaped with shrubs and trees that would offer privacy.

E. The proposed use complies with all applicable requirements of the district in which it is located and all other applicable requirements. Single-family residential uses are allowed in the RL-OA-EQ zone. Minimum development standards have been met with regard to building setback, height, site coverage, and equestrian use.

F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare. The design of the residence will ensure adequate light, air, privacy and open space to surrounding properties, as the project complies with the RL zone height, setback and lot size and coverage requirements. Vehicular access to the property will be provided via Driver Avenue, and the driveway is designed in accordance with City and Fire Department standards. Geological, geotechnical, and drainage studies have been reviewed and approved by the City's

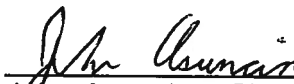
consultants. The site will be served by the public sewer system. The project will be in full compliance with the City's Building Code.

Section VII. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. SPR-01504-2018, subject to the conditions attached hereto as Exhibit A, with respect to the property described in Section I hereof.

Section VIII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 2nd day of May, 2019, by the following vote to wit:

AYES:	(4)	Asuncion, Anderson, Justice and Mogri
NOES:	(0)	
ABSTAIN:	(0)	
ABSENT:	(1)	Wolf



John Asuncion, Chairperson



Doug Hooper, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case No. SPR-01504-2018)

PLANNING DEPARTMENT

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of the Planning Commission's action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicant has agreed in writing that they are aware of, and accept, all conditions of this of this permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to, and requires complete conformation to, the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plans, Roof Plan, Grading Plan, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Director of Planning.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.

11. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
12. Unless this permit is used within two (2) years from the date of City approval, Site Plan/Architectural Review Case No. SPR-01504-2018 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$3.79 per square foot for residential construction.
15. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
16. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
17. Retaining walls shall not be built with an exposed face greater than six (6) feet tall.
18. In the event archaeological resources are encountered during ground-disturbing activities, the City Planning Department shall be notified immediately, and work shall stop within a 100-foot radius until a qualified archaeologist approved by the City Planning Department, and retained and paid for by the developer/applicant, has assessed the nature, extent, and potential significance of any remains. In the event such resources are determined to be significant, appropriate actions are to be determined by the archaeologist consistent with the City General Plan, in consultation with the City Planning Department.
19. If human remains are unearthed during ground disturbing activities, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the developer/contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) thought to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assessed the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City.

20. Final Fuel Modification Plan approval by the County Fire Department Fuel Modification Unit is required prior to issuance of a Building Permit.
21. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
22. A pre-construction conference shall be held prior to the issuance of a Grading Permit, with all construction personnel involved with the grading operations.
23. No construction work or repair shall be performed outside the hours of 7:00 a.m. to 7:00 p.m. or any Sunday or Holiday.
24. All retaining walls and CMU walls shall either be decorative stone or be smooth trowel cement plastering and painted light brown to match the color scheme of the house, and subject to the approval of the Planning Director.
25. The Applicant, and property owner(s), and their successors in interest, shall indemnify, defend and hold harmless the City, its officials, officers, agents and employees (collectively "Indemnitees") from and against any and all claims, actions, lawsuits, damages, losses and liabilities arising or resulting from the granting of this approval by the City or the exercise of the rights granted by this approval. This indemnification obligation shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the Indemnitees in connection with any such claims, actions or lawsuits, any expert fees, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such claim, action or lawsuit. The City shall promptly notify Applicant and property owners of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. In the event such a legal action is filed, the City shall estimate its expenses for litigation. Applicant or property owners shall deposit such amount with the City or enter into an agreement with the City to pay such expenses as they become due. Applicant and property owners shall reimburse the City, and each of the Indemnitees for any and all legal expenses and costs incurred by it in enforcing the indemnity herein provided. Although the Applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.

BUILDING AND SAFETY DEPARTMENT

26. A building permit is required for this project.
27. This project shall be subject to the 2016 California Residential, Building, Mechanical, Plumbing, Electrical, Energy, Green Building Codes, and 2017 Los Angeles County Fire and Agoura Hills Municipal Code.

28. All exterior materials used for eaves, sidings, porch, patio, decks, canopies, carport and other similar structures need to meet the Very High Fire Hazard Severity Zone as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code and 2017 Los Angeles County Fire Code.
29. The applicant shall note on the plans that all new or replaced windows will be tempered on at least one side of the dual pane, or a 20 minute rated window or glass blocks per Section 704A.3.2.2 of the 2016 California Building Code and 2017 Los Angeles County Fire Code.
30. Fire Sprinklers will be required for all new structures per Section 903.2, Article VIII of the Agoura Hills Municipal Code 903.2.
31. A soils report will be required for the project as part of the applicant's building permit plan check submittal.
32. Handrails shall be required for exterior stairs with four (4) or more risers per Section 311.7.8 of the 2016 California Building Code.
33. Los Angeles County Fire Department review and final approval will be required for all new structures as part of Building plan check.
34. Las Virgenes Municipal Water District final approval will be required as part of the applicant's building permit.
35. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Mechanical, Electrical, Plumbing, Energy Plans, Title 24 plans shall be submitted to Building and Safety Department for plan review and approval.

PUBLIC WORKS/ENGINEERING DEPARTMENT

36. A grading permit shall be obtained for this project.
37. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
38. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of any permits, all improvement plans, which include, but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc. shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet Las Virgenes Municipal Water District standards and contain a signature block for the City Engineer. All associated fees

and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department.

39. Prior to grading permit, the applicant shall pay the applicable Transportation Impact Fee (TIF) to the Building and Safety Department.
40. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
41. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
42. The grading plan shall show location(s) of all oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
43. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
44. Prior to grading permit, the project shall obtain a permit from the Los Angeles County Fire Department, and from Las Virgenes Municipal Water District.
45. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at 818.597.7322 for approved City certification forms.
46. Prior to permitting, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The project is required to repair the Asphalt Concrete Inverted Shoulder along the property frontage, construct a new Asphalt Concrete driveway approach, install a new 6-Inch sewer lateral, connect to the 8-Inch sewer main in Driver Avenue, and all water appurtenances shall be per Las Virgenes Municipal Water District's standards.
47. This property is within the Las Virgenes Municipal Water District service area. The applicant shall make arrangements with Las Virgenes Municipal Water District for those services and provide the City with proof that all Las Virgenes Municipal Water District fees have been paid prior to permitting.

48. This project shall connect to the 8-Inch sewer main line in Driver Avenue (Reference Sewer Plan # E-117).
49. This project shall use existing laterals, whenever provided, for connection to the public sewer system.
50. All water facilities shall be designed to comply with all Las Virgenes Municipal Water District requirements. Final plans must be reviewed and approved by Las Virgenes Municipal Water District and City.
51. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
52. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
53. Prior to the approval of the Grading Plan and issuance of Grading Permit, a completed Low Impact Development (LID) Plan shall be submitted to and approved by the Engineering Department. The LID Plan shall comply with the requirements of the LID Ordinance and Los Angeles County LID Standards Manual. The LID Plan shall include the following information:
 - Identification of whether the proposed project is a Designated or Non-Designated Project.

- If the proposed project is a Designated Project, identification of the project category.
 - Feasibility of infiltration including a percolation report as part of a geotechnical report prepared by a geotechnical engineer.
 - Source control measure(s) proposed to be implemented
 - Calculation of the SWQDv.
 - Discussion on whether stormwater runoff harvest and use is feasible.
 - Stormwater quality control measure(s) proposed to be implemented.
 - Discussion of how the applicable water quality standards and total maximum daily loads (TMDLs) will be addressed (off-site mitigation projects only).
 - Proposed hydromodification controls and calculations (if necessary).
 - Proposed maintenance plan (if necessary).
54. Prior to issuance of Certificate of Occupancy, all remaining fees/ deposits required by the Engineering Department must be paid in full.
55. Prior to issuance of Certificate of Occupancy, all requirements including construction of improvements covered in condition number 46 must be completed to the satisfaction of the City Engineer.
56. Prior to issuance of Certificate of Occupancy, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.
57. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued storm water maintenance with the Los Angeles County using City-approved forms.
58. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
59. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL

60. The applicant shall comply with all the City Geological/Geotechnical Consultant's (GeoDynamics, Inc.) Conditions of Approval letter dated November 20, 2018.

LANDSCAPING

61. Final Landscape Plans shall substantially conform to the Landscape Preliminary Plan prepared by Design Concepts dated November 15, 2018, as approved by the City of Agoura Hills Planning Commission.
62. Location and material of paved surfaces, accessory structures, walls and fences, landscape features and other site improvements shown approved plans shall conform to approved plans.
63. Prior to the approval of a grading permit, the applicant shall submit three (3) sets of Final Landscape Plans for review by the City Landscape Consultant and approval by the Planning Director. A California Landscape Architect with current license shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans. The Planting and Irrigation Plans shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.
64. At the time of the Final Landscape Plans submittal, the project Landscape Architect shall provide the City with written confirmation that the civil engineering drawings have been reviewed and that the Landscape Plan is not in conflict with the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID).
65. The Final Planting Plan shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees shall be fifteen (15) gallon. The minimum size of shrubs shall be five (5) gallon except shrubs planted as groundcovers and or as accent planting, which may be one (1) gallon size. Plant sizes may be increased on some projects at the discretion of the Planning Director. *(If necessary specify required plant sizes)*. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
66. The Final Landscape Plans shall include the following notes:
 - a. The Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans prior to final city inspection.

- b. Identification of the total square footage of the landscape area within the project.
67. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
68. With the Final Landscape Plans, three (3) copies of plans, details, and specifications shall be provided, addressing but not limited to, layout, planting, soil preparation, tree staking, guying, installation details and post installation maintenance.
69. The approved landscape shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
70. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
71. All planting areas shall receive a three (3) inch layer of coniferous bark mulch. Mulch to be kept away from tree and shrub crowns. Mulch areas to be dressed to present a clean uniform appearance when complete
72. Landscape improvements, planting, and irrigation installation shall be subject to inspection and approval by the Planning Department prior to final building permit inspection.

SOLID WASTE MANAGEMENT

73. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for a percent of the waste generated on the project to be diverted from the landfill, at the rate currently required by California Department of Resources Recycling and Recovery. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
74. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or

construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

75. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

SPECIAL CONDITIONS

76. The applicant shall move the location of the entry gate at least nineteen feet into the driveway beyond what is shown on the Site Plan.
77. The applicant shall modify the entryway to embrace a rural style consistent with the intent of the Old Agoura Design Guidelines and safe building principles including, but not limited to, removing the four columns to the satisfaction of the Planning Director and City Building Official.

END

Attachment 3

MINUTES
REGULAR MEETING OF THE
AGOURA HILLS PLANNING COMMISSION
Civic Center – Council Chambers
30001 Ladyface Court, Agoura Hills, California 91301
Thursday, May 2, 2019
6:30 P.M.

The Planning Commission meeting was called to order at 6:30 p.m. by Chair Asuncion.

The Pledge of Allegiance was led by Commissioner Mogri.

Present were: Chair John R. Asuncion, Vice Chair Kate Anderson, and Commissioners Michael Justice and Murtaza Mogri.

Absent was: Commissioner Jeremy Wolf.

Also Present were: Community Development Director Dave Ward, Assistant City Attorney Nick Ghirelli, Planning Director Doug Hooper, Assistant Planning Director Allison Cook, Associate Planner Renee Madrigal, Traffic Engineer Laura Forinash, Engineering Aide Robert Cortes, and City Clerk/Recording Secretary Kimberly Rodrigues.

EXCUSED ABSENCE

ACTION: By consensus, the Planning Commission excused the absence of Commissioner Wolf 4-0, by the following voice vote:

AYES: Chair Asuncion, Vice Chair Anderson, and Commissioners Justice and Mogri.

NOES: None.

ABSENT: Commissioner Wolf.

APPROVAL OF AGENDA

ACTION: Commissioner Justice moved to approve the Agenda, as presented. Commissioner Mogri seconded. The motion carried 4-0, by the following voice vote:

AYES: Chair Asuncion, Vice Chair Anderson, and Commissioners Justice and Mogri.

NOES: None.

ABSENT: Commissioner Wolf.

PUBLIC COMMENTS

There were no public speakers.

APPROVAL OF MINUTES

Vice Chair Anderson announced that, although not present at the meeting, she had reviewed the meeting tape and was prepared to vote on the item.

1. Minutes – January 3, 2019 Planning Commission Meeting

ACTION: Vice Chair Anderson moved to approve Item No. 1. Commissioner Justice seconded. The motion carried 4-0, by the following voice vote:

AYES: Chair Asuncion, Vice Chair Anderson, and Commissioners Justice and Mogri.

NOES: None.

ABSENT: Commissioner Wolf.

SITE PLAN / ARCHITECTURAL REVIEW

2. **REQUEST:** Request for approval of a Site Plan/Architectural Review to construct a 4,917 square-foot, two-story, single-family residence and a 695 square-foot attached garage; and a request to make a finding of exemption under the California Environmental Quality Act (CEQA).

APPLICANT: Wilmar Vallecios for Manish Drona
13852 Olive View Drive
Sylmar, CA 91342

CASE NO.: SPR-01504-2018

LOCATION: 28500 Driver Avenue
(APN 2055-004-040)

ENVIRONMENTAL DETERMINATION: Categorically Exempt per Section 15303 of the CEQA Guidelines.

ZONING DESIGNATION: Residential Low Density (20,000 square-foot minimum lot size)-Old Agoura Design Overlay-Equestrian Overlay Districts (RL-20,000-OA-EQ)

GENERAL PLAN

DESIGNATION: RL (Residential Low Density)

RECOMMENDATION: Staff recommended the Planning Commission approve Site Plan/Architectural Review Case No. SPR-01504-2018, subject to conditions, based on the findings of the draft resolutions.

Following presentation of the staff report, Chair Asuncion opened the Public Hearing at 6:43 p.m.

The following person(s) spoke on behalf of the Applicant:

Manish Drona, Applicant
Willmar Vallecios, representing Applicant

Following distribution of the agenda packet, and prior to the Planning Commission meeting, written correspondence was received from the following persons, distributed to the Planning Commission, and made available to the public.

Jess Thomas, Agoura Hills

The following person(s) submitted written comments:

David Graul, Agoura Hills
Marianne Perls, Agoura Hills

The following person(s) spoke:

George Colman, Agoura Hills
Jess Thomas, Agoura Hills, representing Old Agoura Homeowners
Mike Colabella, Agoura Hills
Tara Farkash, Agoura Hills
Daniel Farkash, representing Old Agoura Homeowners (*time deferred from other speakers – allowed 15 minutes for public comment*)

The following person spoke on behalf of the Applicant (rebuttal):

Manish Drona, Applicant

There being no further public speakers, Chair Asuncion closed the Public Hearing at 7:35 p.m.

ACTION: Following discussion, Commissioner Justice moved to adopt **Resolution No. 19-1223**; A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01504-2018 FOR THE CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE LOCATED AT 28500 DRIVER AVENUE; AND

MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. The motion included a correction to Condition No. 55 and the addition of two new conditions, No. 76 and No. 77, as follows:

- 55. Prior to issuance of Certificate of Occupancy, all requirements including construction of improvements covered in condition number ~~44~~ **46** must be completed to the satisfaction of the City Engineer.
- 76. The applicant shall move the location of the entry gate at least nineteen feet into the driveway beyond what is shown on the Site Plan.
- 77. The applicant shall modify the entryway to embrace a rural style consistent with the intent of the Old Agoura Design Guidelines and safe building principles including, but limited to, removing the four columns to the satisfaction of the Planning Director and City Building Official.

Commissioner Mogri seconded. The motion carried 4-0, by the following voice vote:

AYES: Chair Asuncion, Vice Chair Anderson, and Commissioners Justice and Mogri.

NOES: None.

ABSENT: Commissioner Wolf.

DISCUSSION / ACTION

3. REQUEST: Request for the Planning Commission's interpretation of Zoning Ordinance Section 9312.2 (Commercial Use Table), regarding a proposed travel agency's (American Travel Solutions, LLC) request to locate their business in the Business Park-Office Retail (BP-OR) zoning district, east of Palo Comado Canyon Road, at 27509 Agoura Road.

APPLICANT: Paul Pfeifle
BDR, Inc.
27489 Agoura Road
Agoura Hills, CA 91301

CASE NO.: PCI-01616-2019

LOCATION: 27509 Agoura Road

RECOMMENDATION: Staff recommended that the Planning Commission interpret, by minute order, the Zoning Ordinance to allow online travel agencies as a permitted use in the Business Park-Office Retail (BP-OR) zoning district, east of Palo Comado Canyon Road.

Following presentation of the staff report, Chair Asuncion opened the Public Hearing at 7:50 p.m.

The following person spoke on behalf of the Applicant:

Paul Pfeifle, Applicant

There being no further public speakers, Chair Asuncion closed the Public Hearing at 7:53 p.m.

ACTION: Following discussion, Vice Chair Anderson moved to interpret by minute order, the Zoning Ordinance to allow online travel agencies as permitted use in the Business Park-Office Retail (BP-OR) zoning district, east of Palo Comado Canyon Road. Commissioner Mogri seconded. The motion carried 4-0, by the following voice vote:

AYES: Chair Asuncion, Vice Chair Anderson, and Commissioners Justice and Mogri.

NOES: None.

ABSENT: Commissioner Wolf.

PLANNING COMMISSION / STAFF COMMENTS

Commissioner Mogri thanked staff for their assistance.

Chair Asuncion welcomed the new Community Development Director, Dave Ward.

Community Development Director Ward thanked the Planning Commission and made some introductory remarks.

ADJOURNMENT

Chair Asuncion announced the next Regular Meeting of the Planning Commission would be held at 6:30 p.m., Thursday, March 16, 2019, in the Council Chambers of the Civic Center. The Civic Center is located at 30001 Ladyface Court, Agoura Hills, California.

ACTION: At 7:57 p.m., Commissioner Justice moved to adjourn the meeting. Commissioner Mogri seconded. The motion carried 4-0, by the following voice vote:

AYES: Chair Asuncion, Vice Chair Anderson, and
Commissioners Justice and Mogri.

NOES: None.

ABSENT: Commissioner Wolf.



Kimberly M. Rodrigues, MPPA, MMC
City Clerk/Recording Secretary

Attachment 4

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