

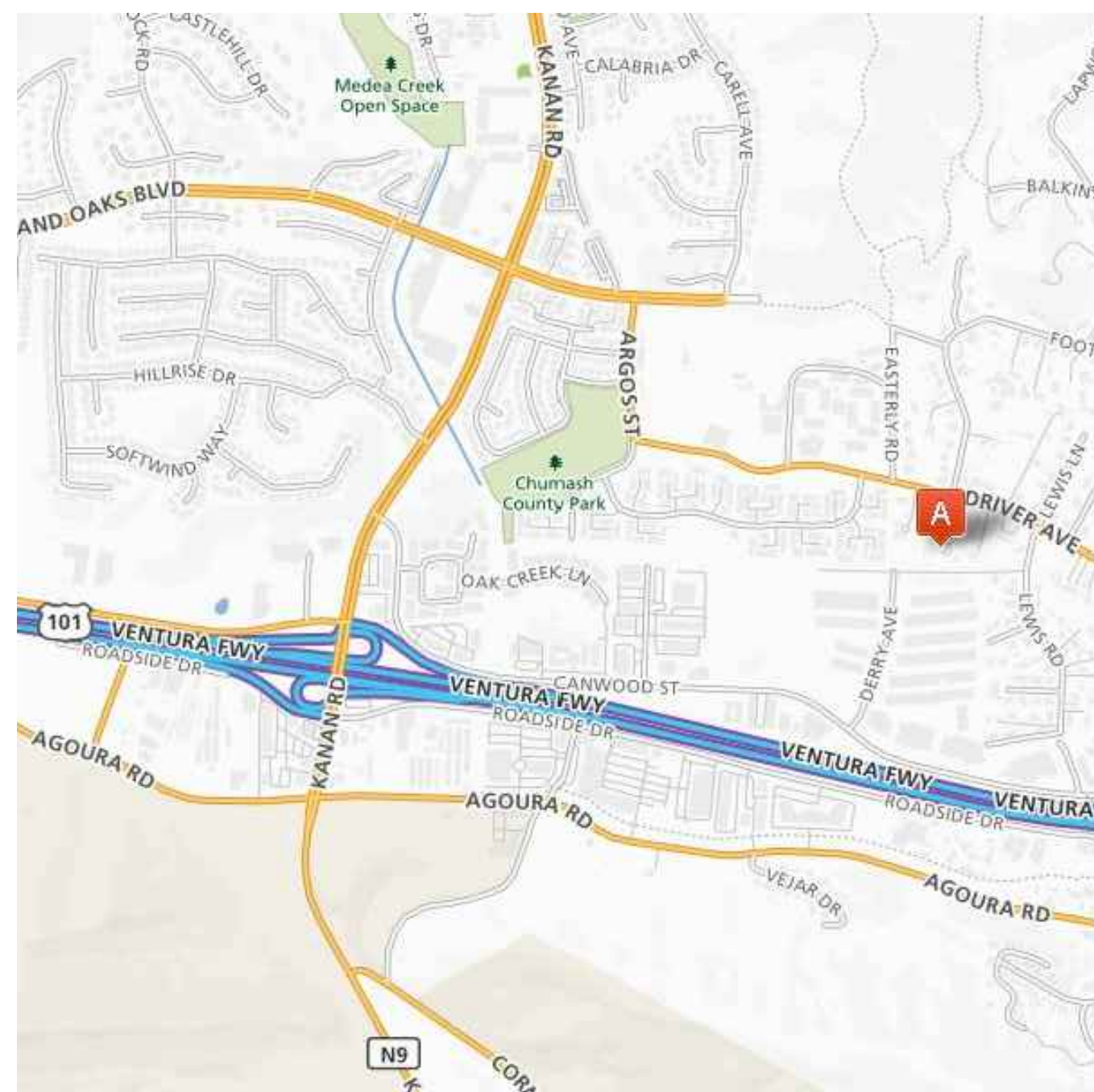
28500 DRIVER AVENUE

AGOURA HILLS, CA 91301

APN: 2055-004-040

REVISIONS:	BY:

VICINITY MAP



PROJECT CONTACTS

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SHEET INDEX

ARCHITECTURAL

- A0.0 COVER SHEET AND INDEX
- A1.0 SITE PLAN AND TOPOGRAPHIC MAP
- A2.0 FIRST FLOOR PLAN
- A3.0 SECOND FLOOR PLAN
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- A5.0 ELEVATIONS - NORTH AND EAST
- A5.1 ELEVATIONS - SOUTH AND WEST
- A5.2 ELEVATIONS - COLOR
- A6.0 SECTIONS

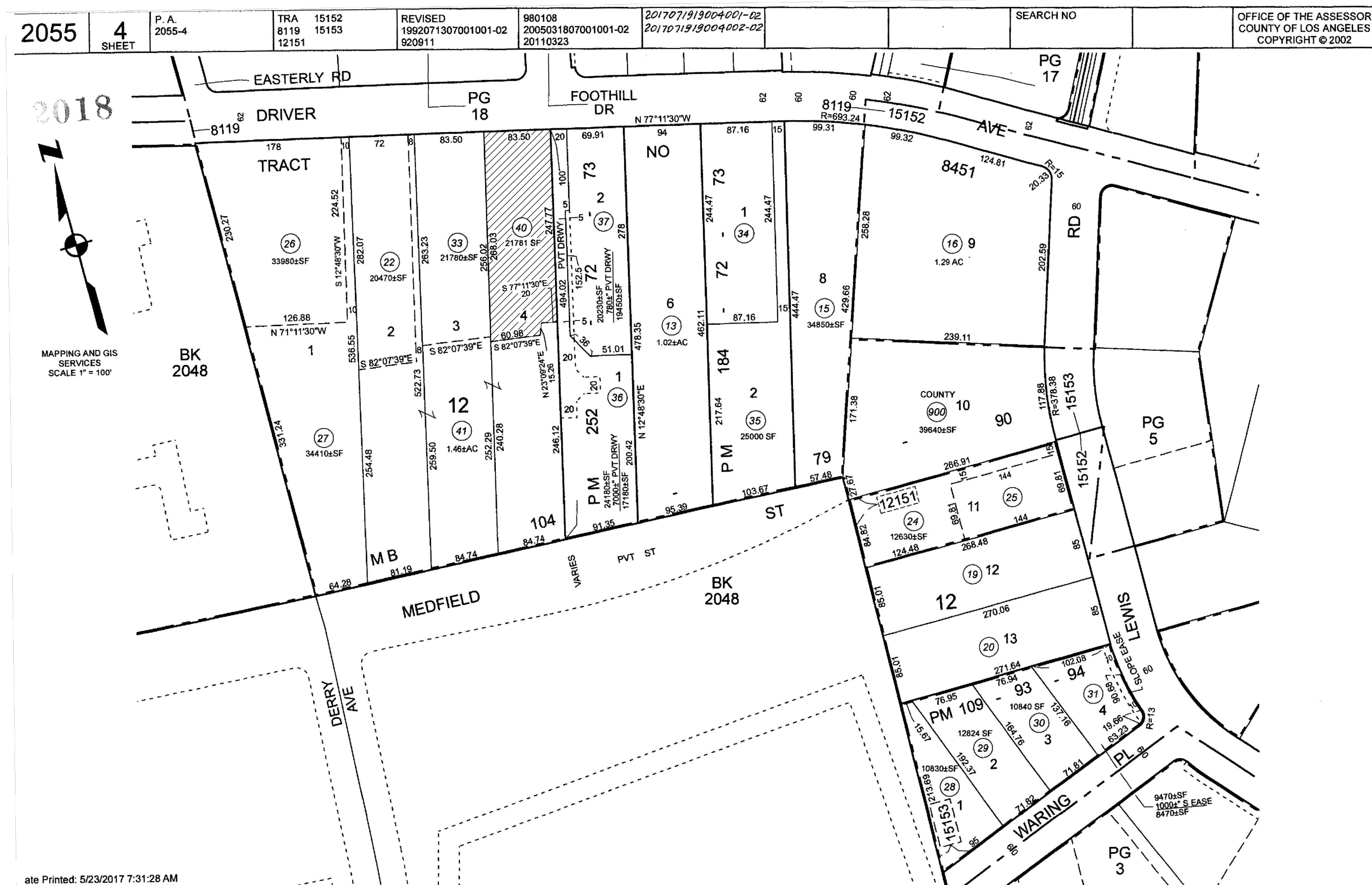
CIVIL

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LANDSCAPE

- L-1 SITE PLAN AND POOL SECTIONS
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- L-3 IRRIGATION PLAN
- L-4 MAXIMUM ALLOWANCE WATER APPLIED

ASSESSOR'S PARCEL MAP



SITE INFORMATION

ADDRESS: 28500 DRIVER AVE, AGOURA HILLS, CA 91301
 APN: 2055-004-040
 LOT NO: PORTION OF LOT 4
 TRACT NO.: 8451
 BLOCK: 12
 LOT SIZE: 21,781 SF (0.50 ACRES)
 ZONING: RL-20,000-OA-EQ (RESIDENTIAL LOW DENSITY)
 BUILDING HEIGHT: 25'-0" (MAXIMUM ALLOWED: 25'-0")

COMPLIANCE

THIS PROJECT IS TO BE IN COMPLIANCE WITH:

- 2016 CALIFORNIA RESIDENTIAL BUILDING CODE
- 2016 CALIFORNIA GREEN CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- CITY OF AGOURA HILLS MUNICIPAL CODE
- 2017 LOS ANGELES COUNTY FIRE CODE
- VERY HIGH FIRE HAZARD SEVERITY ZONE

AND LOCAL CODES

SCOPE OF WORK

(N) 2-STORY SINGLE FAMILY DWELLING, SPRINKLERED
 V-B CONSTRUCTION

1ST FLOOR:	2,488 S.F.
2ND FLOOR:	2,398 S.F.
TOTAL:	4,886 S.F. (SQUARE FOOTAGE)

GARAGE	695 S.F.
COV. PORCH:	328 S.F.
BALCONIES	147 S.F.
CHIMNEY	31 S.F.

LOT COVERAGE

SINGLE FAMILY DWELLING FOOTPRINT	3,542
BALCONIES	97
ENTRY STEPS	76
HARDSCAPE	1,900
POOL	840
POOL DECK:	991
POOL EQUIP.:	69
CONCEPTUAL BARN:	144
BBQ	20
TOTAL	5,779 (26.53% OF LOT)

SETBACKS

FRONT	82'-0"
SIDE (EAST)	23'-6"
SIDE (WEST)	12'-6"
REAR	93'-8"

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DRONA RESIDENCE
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 PROPOSED 2-STORY SINGLE FAMILY DWELLING
 APN: 2055-004-040

RESTRICTIONS:
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COVER SHEET AND INDEX

JOB ID: DRMERAVE
 DB: W.V. FV: 1.9b
 DATE: 06.12.2019
 SCALE: N.T.S.
 SHEET NUMBER:

A0.0

SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

GREEN NOTES

G1.0 1" INNER Ø LISTED RACEWAY TO BE INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 200V 240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.

VERY HIGH FIRE HAZARD SEVERITY ZONE

F.A CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS. WOOD SHAKES AND SHINGLES ARE NOT PERMITTED. (7207.4, 1505)
F.B VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 3/8-INCH-WIDE (9.14MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (704A.1.3)

GENERAL NOTES

A1.0 THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

FORM 195

PART II (A) INFORMATION ON FIRE FLOW AVAILABILITY (To be completed by Water Purveyor)

The distance from the fire hydrant to the property line is 81'
feet via vehicular access. The fire flow services will be rendered from a 8" inch diameter water main. The hydrant is located on Foothill Drive (Street) Driver Ave (Nearest Cross - Street)

PART II (B) SPRINKLERED BUILDINGS ONLY

Detector Location: (check one) Above Grade Below Grade Either
Backflow protection required (fire sprinklers/private hydrant): Yes No
Type of Protection Required: (check one) Double Check Detector Assembly Reduced Pressure Principal Detector Assembly Other Domestic Meter Size

PART II (C)

Las Virgenes Municipal Water District Water Purveyor
Signature David R. Lippman
Date 6/4/18 Director of Facilities & Operations

PART III Conditions for Approval by the Building Department (To be completed by Building Department)

The building permit may be issued for single family dwellings when the above information is complete and shows that the following minimum requirements are met and the property is not in the High Fire Hazard Severity Zone or the Very High Fire Hazard Severity Zone.
* The water system is capable of delivering at least 1250 GPM at 20 PSI for two hours.
* The structure is less than 3,600 square feet.
* The distance from the structure to the fire hydrant does not exceed 450 feet via vehicular access.

APPROVED BY DATE OFFICE
This information is Considered Valid for Twelve Months

Fire Prevention Division approval of the site plan will be required before a Building Permit can be issued by the Building Department.

INTERIOR

J1.0 ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 SF OF ATTIC AREA) IS REQUIRED. (R306.2)
J2.0 ATTIC AREA HAVING CLEAR HEADROOM OF 30" MUST HAVE AN ACCESS OPENING (22" X 30" MINIMUM). ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. IT IS NOT ALLOWED WITHIN A SMALL CLOSET SPACE. (R307.1)

EGRESS

H1.0 FOR HABITABLE LEVELS OR BASEMENTS LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT, SHALL NOT EXCEED 50 FEET (R311.4)
H2.0 PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. SHOW DETAILS ON PLANS. MINIMUM - 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5.0 SF AT GRADE LEVEL) & 44" MAXIMUM TO SILL. (R310.1)
H3.0 AT LEAST ONE DOOR SHALL BE 36" WIDE BY 80" HIGH (R311.2)
H4.0 STAIRS
A. 7.75" MAXIMUM RISE & MINIMUM 10" RUN. (R311.7.5)
B. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)
C. MINIMUM 36" CLEAR WIDTH. (R311.7.1)
D. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING (R311.7.8.1)
E. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (R311.7.7.3)
F. MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R312.1.3)
H4.1 WINDER TREADS SHALL COMPLY WITH SECTION R311.7.5.2.1.
H4.2 ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7)

FIRE

FIRE RESISTANCE RATED CONSTRUCTION
F1.0 PROJECTIONS BEYOND THE EXTERIOR WALL SHALL COMPLY WITH TABLE R302.1 AND SHALL NOT EXTEND:
A. TO A POINT CLOSER THAN 2 FEET FROM INTERIOR LOT LINE.
B. MORE THAN 4 INCHES AT THE ROOF EAVE FOR DETACHED GARAGES ACCESSORY TO A DWELLING WHEN LOCATED WITHIN 2 FEET OF A LOT LINE.
C. OVER THE LOT LINE FOR ACCESSORY STRUCTURES THAT ARE EXEMPT FROM PERMITS.
FIRE PROTECTION
F2.0 THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA 13D. (R313, 1.2.2.1A17(D))
F2.1 THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
F3.0 AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
F4.0 AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

GARAGE NOTES

B1.0 DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)
B2.0 THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).
B3.0 DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).
B4.0 OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.1.1, ITEM 4 (R302.5.3).
B5.0 GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)
B6.0 VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4

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APN: 2055-004-040

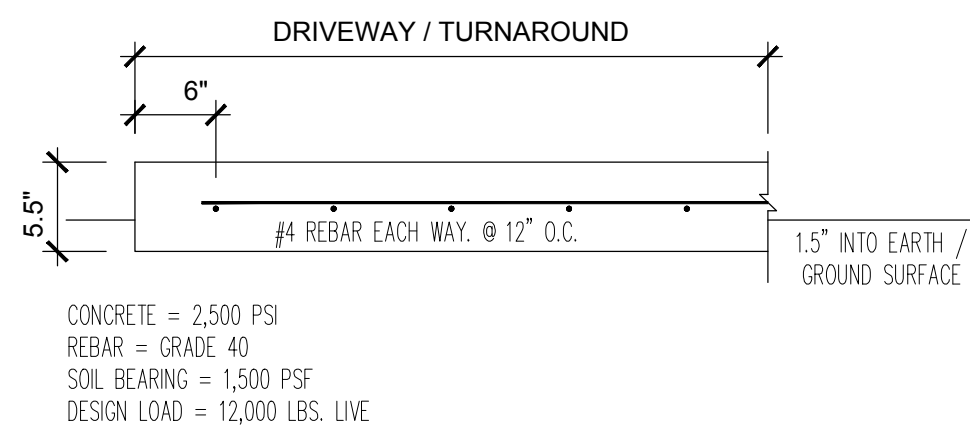
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GENERAL NOTES

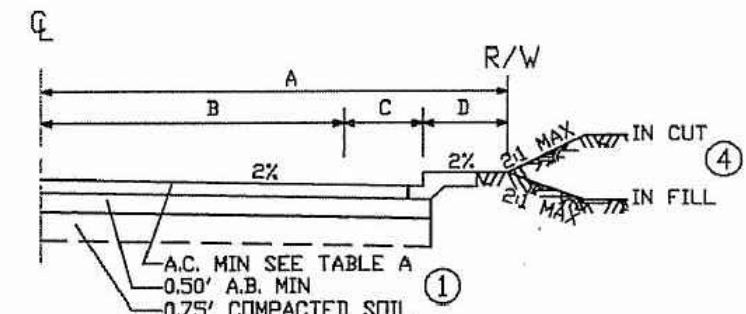
JOB ID: DRMERAVE
DB: W.V. FV: 1.9b
DATE: 06.12.2019
SCALE: N.T.S.
SHEET NUMBER:

A0.1

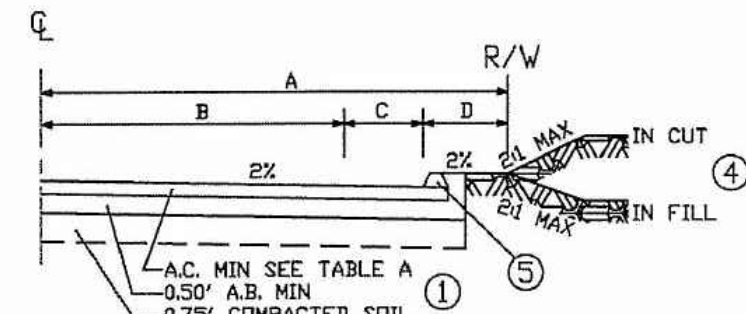
DRIVEWAY SECTION



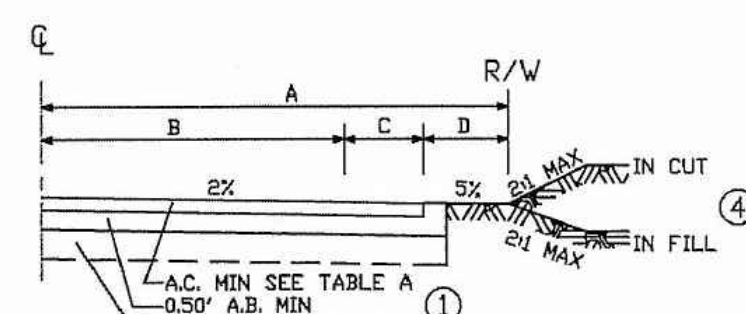
ROADWAY SECTION



ROAD HALF-SECTION WITH SIDEWALK



ROAD HALF-SECTION WITH A.C. DIKE



CLASS	ADT	TI	AC	A	B	C	D
RURAL ROAD	250-400	4.5	.30	18	12	0	6
RESIDENTIAL STREET	400-1000	4.5	.30	28	10	8	10
COLLECTOR STREET	1000-5000	5.5	.33	30	12	8	10

AB = AGGREGATE BASE MATERIALS
AC = ASPHALT CONCRETE PAVING

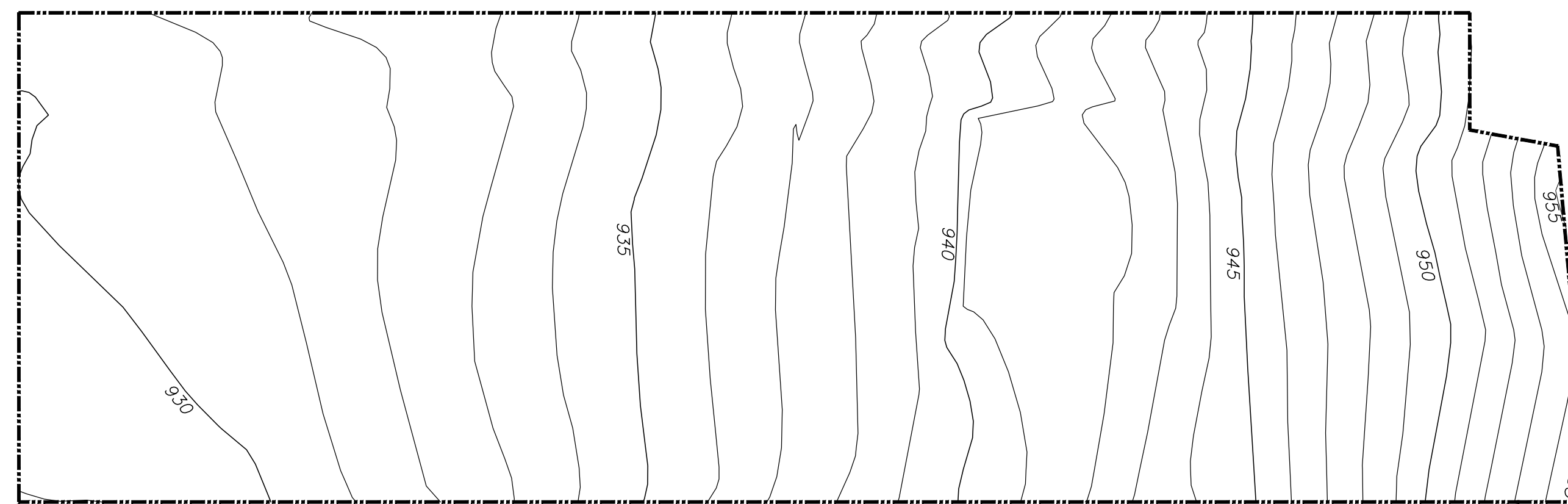
FIRE HYDRANTS WITHIN 600 FEET



SCALE: 1" = 300'
ALL FIRE HYDRANTS MATCH DESCRIPTION SHOWN UNDER 'FIRE HYDRANT' SECTION BELOW

CONTOURS

ID	LENGTH
929	13.94
930	87.24
931	92.17
932	91.03
933	85.63
934	82.12
935	81.43
936	82.39
937	87.38
938	83.12
939	83.09
940	87.91
941	95.16
942	89.39
943	82.47
944	81.49
945	80.43
946	80.90
947	81.13
948	81.52
949	82.02
950	82.13
951	78.02
952	61.59
953	60.05
954	61.29
955	12.59
2,066.23	TOTAL



AVERAGE PARCEL SLOPE

$$S = \frac{L \times 100}{A}$$

$$S = \frac{(1)(2,066.23) \times 100}{21,781}$$

$$S = 9.48$$

- S = AVERAGE PERCENT SLOPE
- I = CONTOUR LINE ELEVATION INTERVAL IN FEET
- L = SUM OF THE LENGTH OF ALL CONTOUR LINES ACROSS THE PARCEL
- A = NET AREA* OF PARCEL IN SQUARE FEET

EXISTING TOPOGRAPHIC MAP - SCALE 1" = 20'-0" NORTH

FIRE DEPARTMENT NOTES

FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 501.4

WHEN SECURITY GATES ARE PROVIDED, MAINTAIN A MINIMUM ACCESS WIDTH OF 20 FEET. THE SECURITY GATE SHALL BE PROVIDED WITH AN APPROVED MEANS OF EMERGENCY OPERATION, AND SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES AND REPLACED OR REPAIRED WHEN DEFECTIVE. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F220. GATES SHALL BE OF THE SWINGING OR SLIDING TYPE. CONSTRUCTION OF GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON. FIRE CODE 503.6

APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1

THE REQUIRED FIRE FLOW FOR FIRE HYDRANTS AT THIS LOCATION IS 1,250 GPM, AT 20 PSI RESIDUAL PRESSURE, FOR A DURATION OF 1 HOUR OVER AND ABOVE MAXIMUM DAILY DOMESTIC DEMAND. FIRE CODE 507.3 AND APPENDIX B105.1 APPENDIX B.

ALL FIRE HYDRANTS SHALL MEASURE 6" x 4" x 2-1/2", BRASS OR BRONZE, CONFORMING TO AMERICAN WIRE WORKS ASSOCIATION STANDARD C503, OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 8.

FIRE HYDRANT

(E) FIRE HYDRANT FROM FORM 195: DISTANCE TO PROPERTY LINE = 81'-0" VIA VEHICULAR ACCESS. THE FIRE FLOW SERVICES WILL BE RENDERED FROM A 6" WATER MAIN. THE HYDRANT IS LOCATED ON FOOTHILL DRIVE 42' NORTH EAST DRIVER AVE. UNDER NORMAL OPERATION CONDITIONS THE FIRE FLOW AVAILABLE FROM THIS 6"x4"x2-1/2" (SIZE) HYDRANT IS 1,250 GPM AT 20 PSI RESIDUAL FOR 2 HOURS AT 131 PSI STATIC.

SITE PLAN NOTES

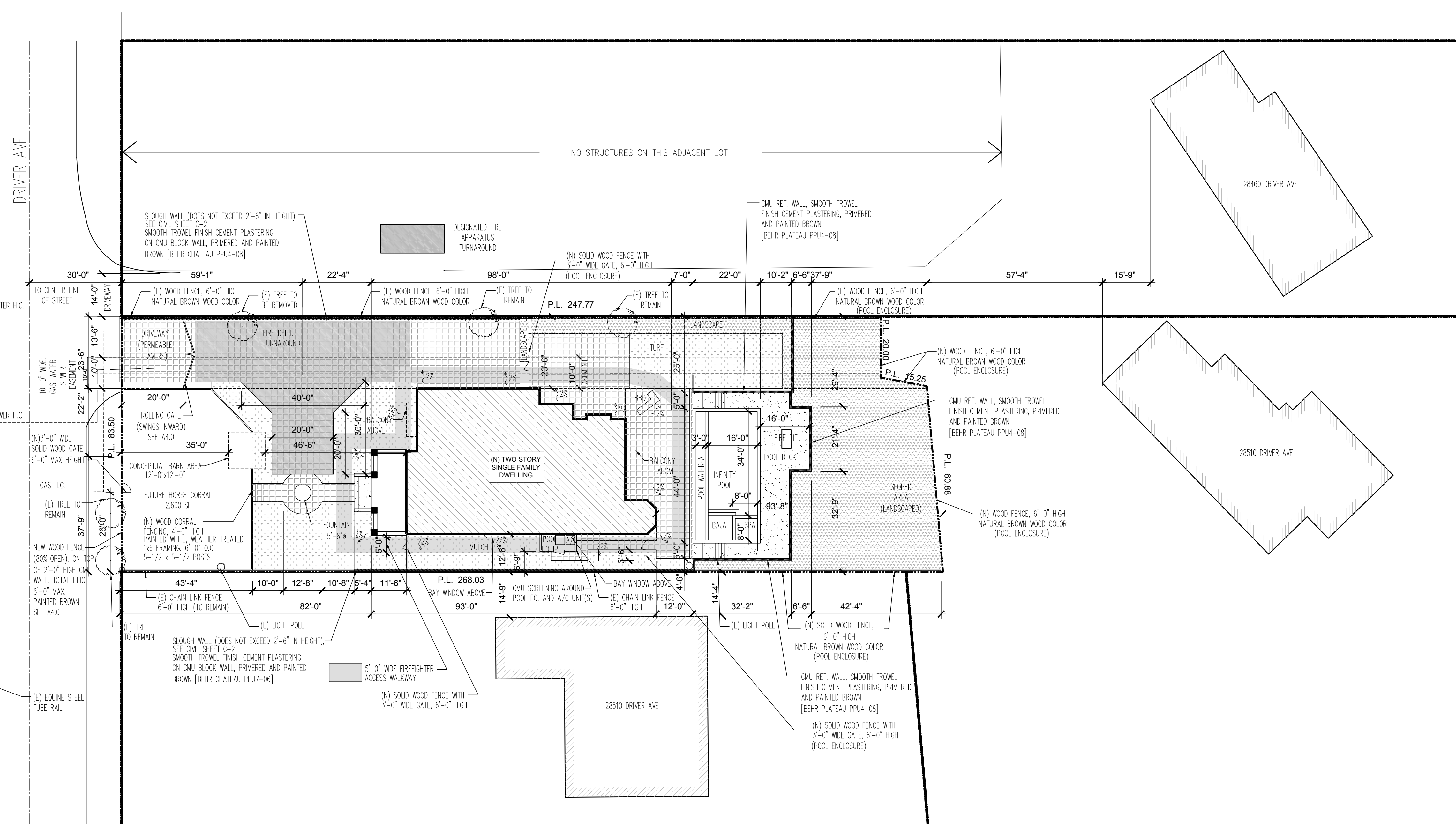
A 10'-0" WIDE EASEMENT IS PRESENT ON THE LOT, RUNNING NORTH TO SOUTH ON ENTIRE LOT, AT APPROXIMATELY 13'-0" FEET FROM EAST PROPERTY LINE. GAS LINE, WATER LINE, AND SEWER LINE ARE PRESENT WITHIN THIS EASEMENT.

2% SLOPE AWAY FROM THE STRUCTURE FOR DRAINAGE (ON THE FIRST 5'-0") ALL AROUND NEW STRUCTURES.

PER AQMD RULE 445 ONLY FIREPLACES FUELED BY GAS (SUCH AS GAS LOGS) MAY BE INSTALLED IN A NEW RESIDENCE. PERMANENTLY INSTALLED INDOOR OR OUTDOOR WOOD-BURNING FIREPLACES OR STOVES ARE NOT PERMITTED.

FIRE SPRINKLERS FOR ALL NEW STRUCTURES WILL BE REQUIRED PER AGOURA HILLS MUNICIPAL CODE 903.2

POOL FENCING SHALL BE PROVIDED. THE DOOR IS SELF CLOSING. SELF LATCHING, TO SWING OUT FROM SIDE OF POOL. A DOOR ALARM IS REQUIRED IF DOORS OR WINDOWS ARE USED AS PART OF THE POOL FENCE.



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APN: 20955-0044-040

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SITE PLAN
JOB ID: DRIVERAVE
DB: W.V. FV: 1.9b
DATE: 06.12.2019
SCALE: 1" = 20'-0"
SHEET NUMBER:

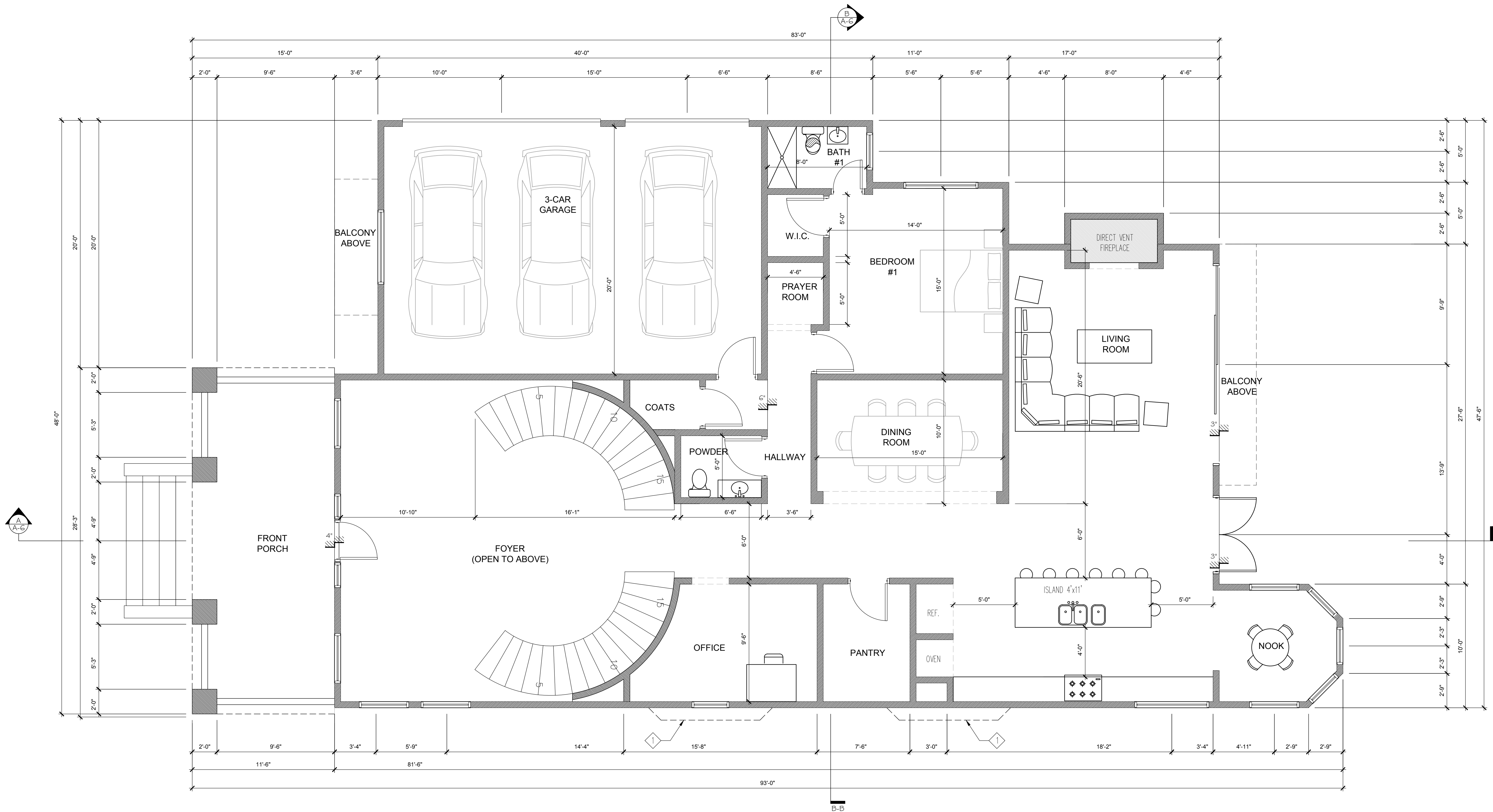
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SITE PLAN - SCALE 1" = 20'-0" NORTH

SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

PLAN NOTES

◇ BAY WINDOWS ABOVE



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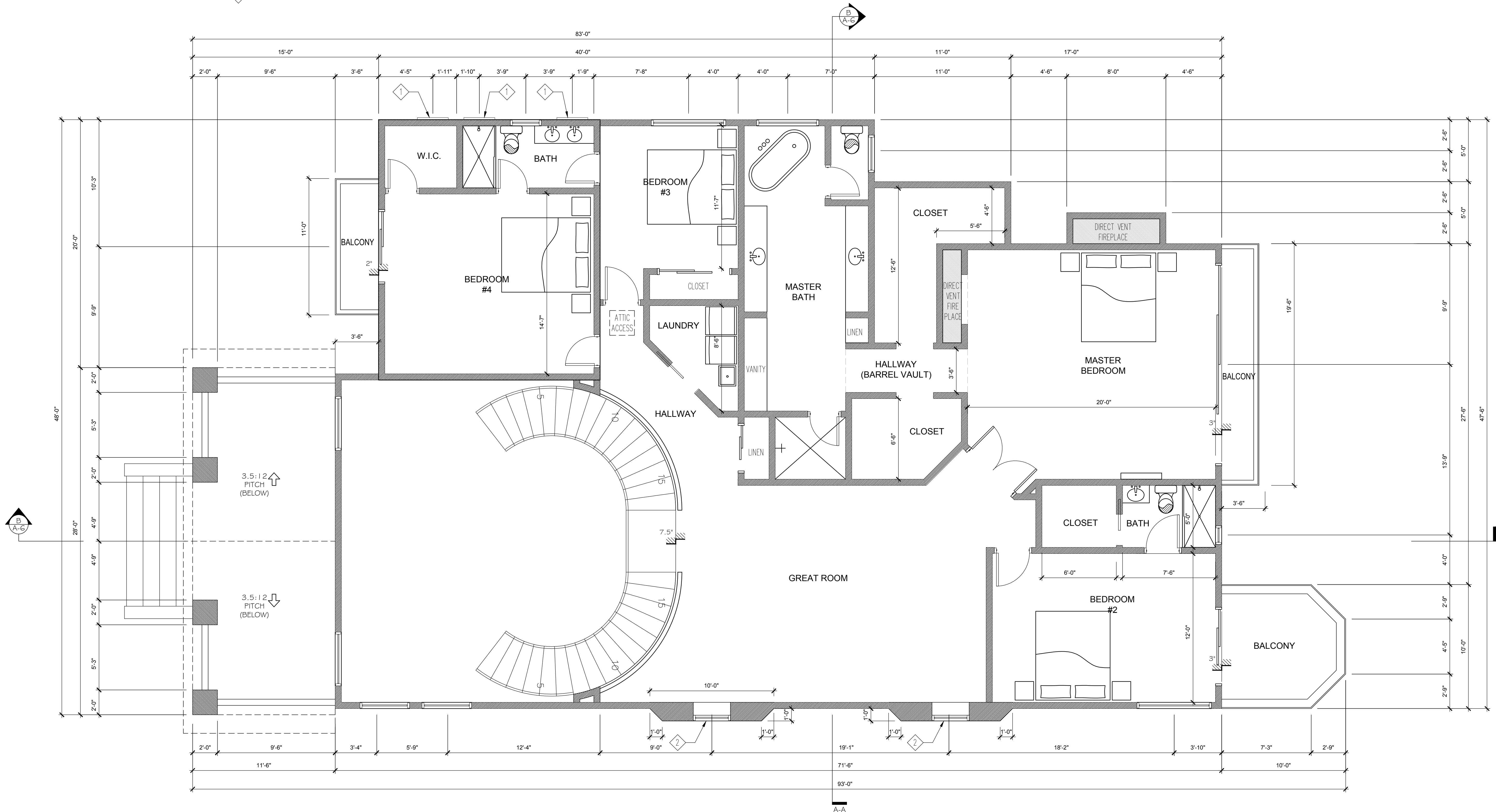
FIRST FLOOR PLAN

JOB ID: DRMRVAV
 DB: W.V. FV: 1.9b
 DATE: 06.12.2019
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

A2.0

PLAN NOTES

- ◊ WINDOW FRAME ATTACHED TO WALL EXTERIOR, NO OPENING
- ◊ BAY WINDOW



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SECOND FLOOR PLAN

JOB ID: DRMRVAVE
 DB: W.V. FV: 1.9b
 DATE: 06.12.2019
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

A3.0

REVISIONS:	BY:

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 28500 DRIVER AVE, AGOURA HILLS, CA 91301
 PROPOSED 2-STORY SINGLE FAMILY DWELLING
 APN: 2855-004-040

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ROOF PLAN

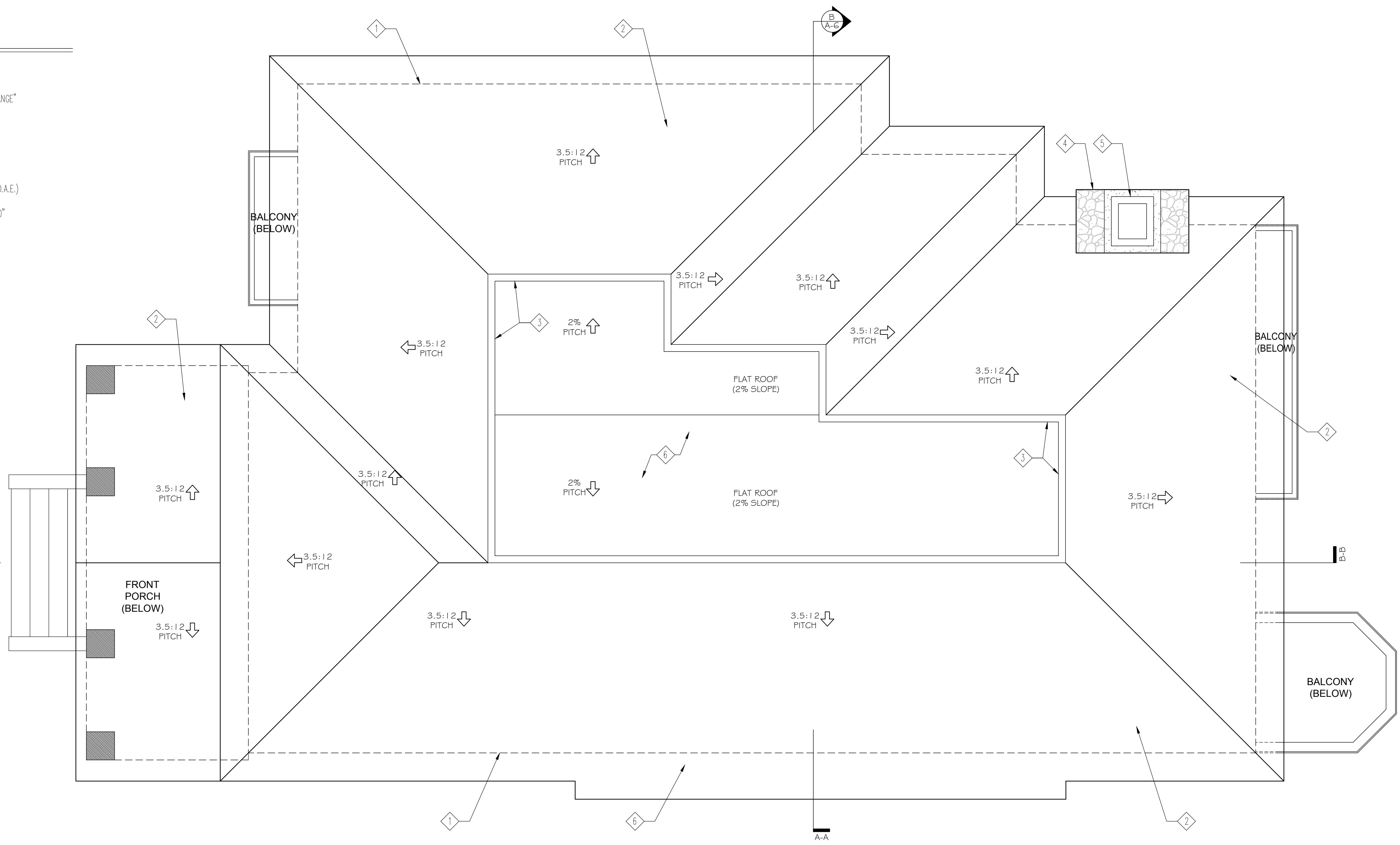
JOB ID: DRMRVAV
 DB: W.V. FV: 1.9b
 DATE: 06.12.2019
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

A4.0

SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

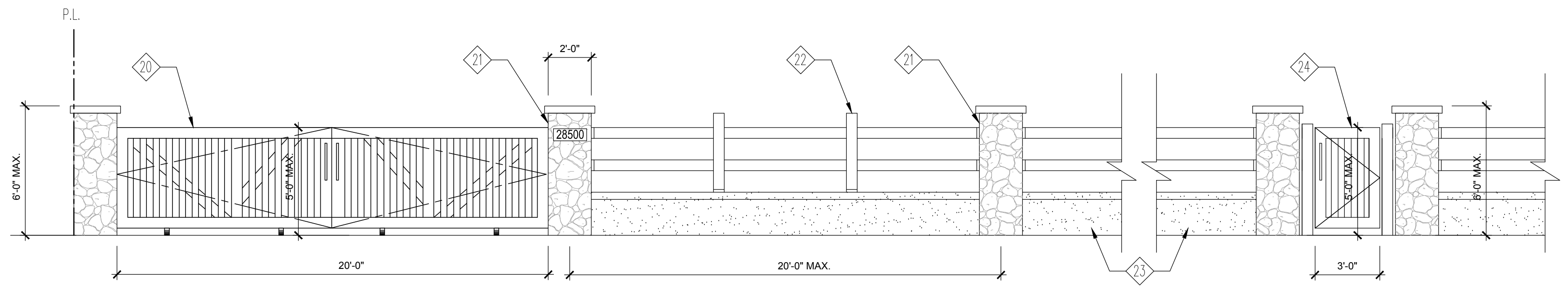
ROOF NOTES

- 1 LINE OF WALL BELOW
- 2 CLASS A, FLAT ROOF TILES "BROWN GRAY RANGE" BY "EAGLE / BORAL ROOFING PRODUCTS"
- 3 PARAPET WALL AROUND FLAT ROOF AREA [BEHR PLATEAU PPU4-08]
- 4 CMU CHIMNEY WRAPPED IN STONE VENEER, PER MANUFACTURER SPECIFICATIONS STYLE: "LUCERA" BY "EL DORADO STONE" (O.A.E.)
CHIMNEY SHOULD EXTEND A MINIMUM OF 2'-0" ABOVE ANY PORTION OF ROOF WITHIN 10'-0".
- 5 AN APPROVED SPARK ARRESTOR SHOULD BE INSTALLED AT TOP OF CHIMNEY
- 6 CLASS A, GAF TPO ROOFING AT 2% SLOPE COLOR: "SLATE GRAY"

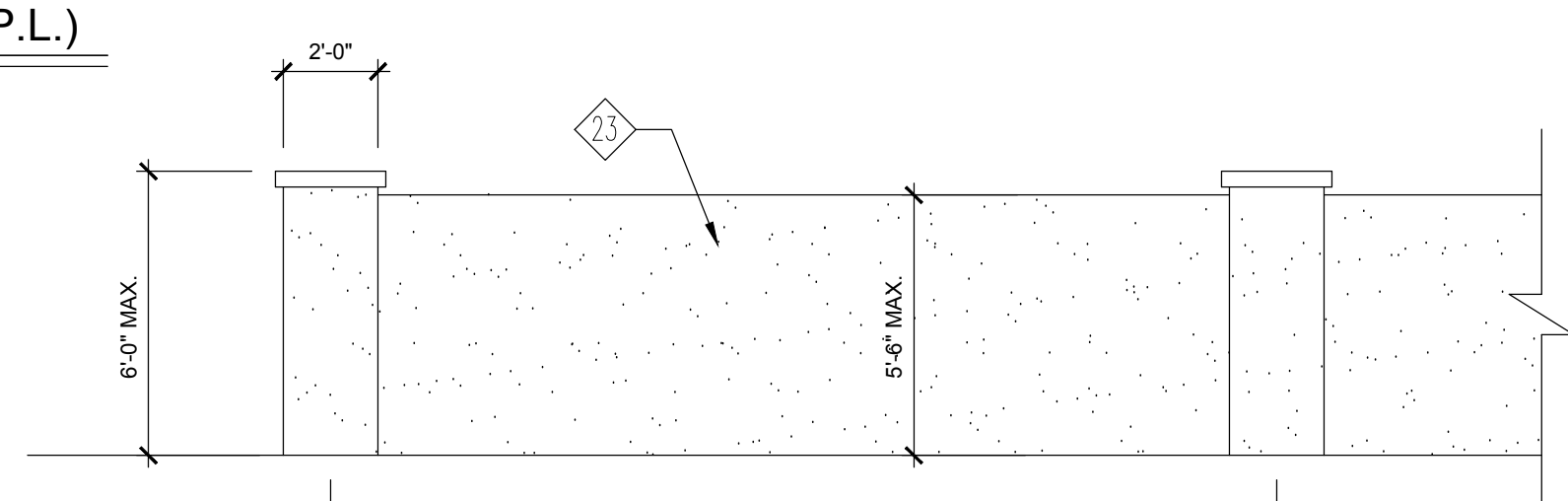


ELEVATION NOTES

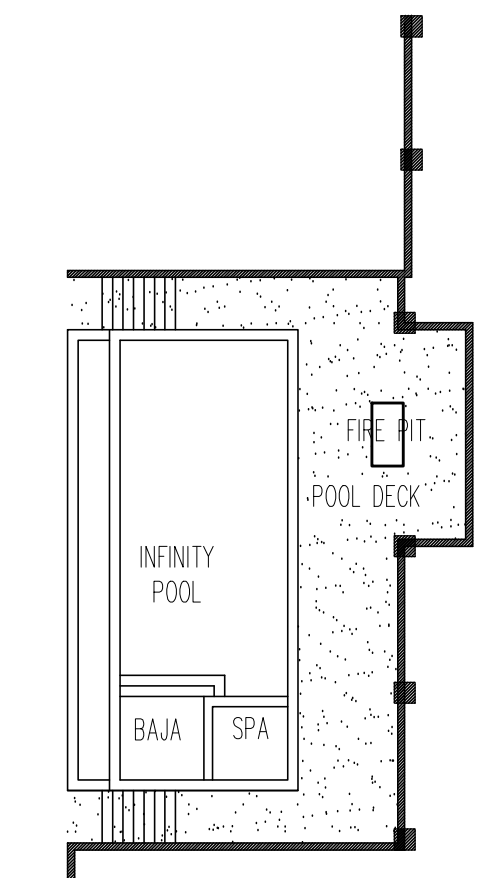
- 20 ROLLING GATE (SWINGS INWARD) 5'-0" TOTAL HEIGHT, WOOD, PAINTED BROWN [BEHR CHOCOLATE SWRL PPU5-18] DOORS ARE POSITIONED 20'-0" BEYOND FRONT P.L.
- 21 PILASTERS WITH DECORATIVE STONE VENEER, 6'-0" MAX. HEIGHT [EL DORADO STONE - HILLSTONE LUCERA]
- 22 WEATHER TREATED, 2x6 PLANKS, PAINTED BROWN [BEHR CHOCOLATE SWRL PPU5-18]
- 23 SMOOTH TROWEL FINISH CEMENT PLASTERING ON CMU BLOCK WALL, PRIMERED AND PAINTED BROWN [BEHR PLATEAU PPU4-08]
- 24 (N) 3'-0" WIDE SOLID WOOD GATE 5'-0" HIGH MAX. PAINTED BROWN [BEHR CHOCOLATE SWRL PPU5-18] SEE LOCATION ON A1.0



MAIN GATE (20'-0" BEYOND FRONT P.L.)



RETAINING WALL - BACKYARD



RETAINING WALL LOCATIONS

ROOF PLAN - SCALE 1/4" = 1'-0"



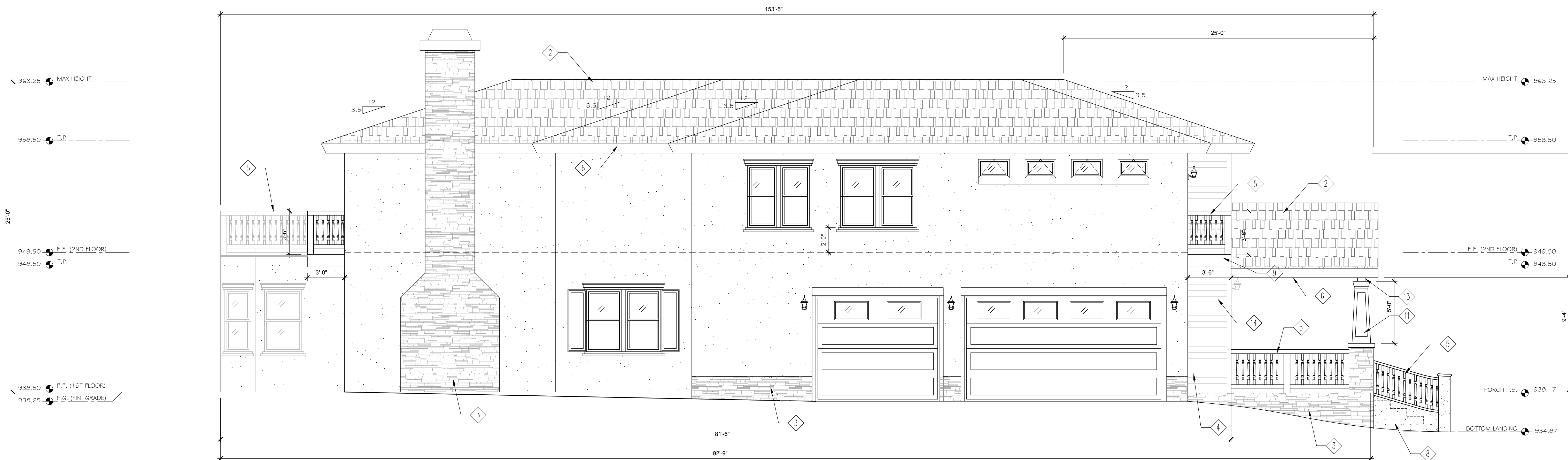
REVISIONS:	BY:

ELEVATION NOTES

- 1 STUCCO, SMOOTH FINISH, PAINTED BROWN [BEHR PLATEAU PPU4-08]
- 2 CLASS A, FLAT ROOF TILES "BROWN GRAY RANGE" BY "EAGLE / BORAL ROOFING PRODUCTS"
- 3 STONE VENEER, ANCHORED TO WALL PER MANUFACTURER SPECIFICATIONS STYLE: "GOLDEN HARVEST" BY "CORONADO" STONE (O.A.E.)
- 4 JAMES HARDIE BOARD LAP SIDING [WOODSTOCK BROWN]
- 5 WOOD RAILING 3'-6" HIGH COLOR: "WHITE"
- 6 FASCIA BOARDS COLOR: "WHITE"
- 7 DOOR AND WINDOW FRAMES, SILLS, AND ACCENTS COLOR: "WHITE"
- 8 LOW DECORATIVE CMU WALL AT ENTRY COLOR: WHITE
- 9 BALCONY OUTER FRAMING COLOR: "WHITE"
- 10 MAIN ENTRY DOOR [BEHR CHOCOLATE SOUL MQ1-58]
- 11 ENTRY COLUMNS COLOR: "WHITE"
- 12 WINDOW SHUTTERS COLOR: "WHITE"
- 13 EXPOSED HEAVY TIMBER
- 14 4" HARDIE BOARD TRIM COLOR: "WHITE"



NORTH ELEVATION - SCALE 1/4" = 1'-0"



EAST ELEVATION - SCALE 1/4" = 1'-0"

VALECIOS
 DESIGN STUDIO - PROJECT MANAGEMENT
 valecios@gmail.com 818.554.8831

DRONA RESIDENCE
 28500 DRIVER AVE, AGOURA HILLS, CA 91301
 PROPOSED 2-STORY SINGLE FAMILY DWELLING

APN: 20355-004-040

RESTRICTIONS:
 THESE PLANS ARE THE INTELLECTUAL PROPERTY OF WILMAR VALLECIOS AND MUST BE USED ONLY FOR THE ADDRESS AND CLIENT FOR WHICH THESE PLANS WERE PREPARED. FURTHERMORE, THESE DRAWINGS MAY NOT BE COPIED, TRACED, OR SHARED IN ANY FORM, IN PART OR AS A WHOLE, WITHOUT WRITTEN CONSENT OF WILMAR VALLECIOS. ACKNOWLEDGEMENT WITH THESE RESTRICTIONS ARE ASSUMED WITH THE USE OF THESE PLANS. FAILURE TO COMPLY WITH THESE TERMS IS IN VIOLATION WITH THE RESTRICTIONS HEREBY STATED.

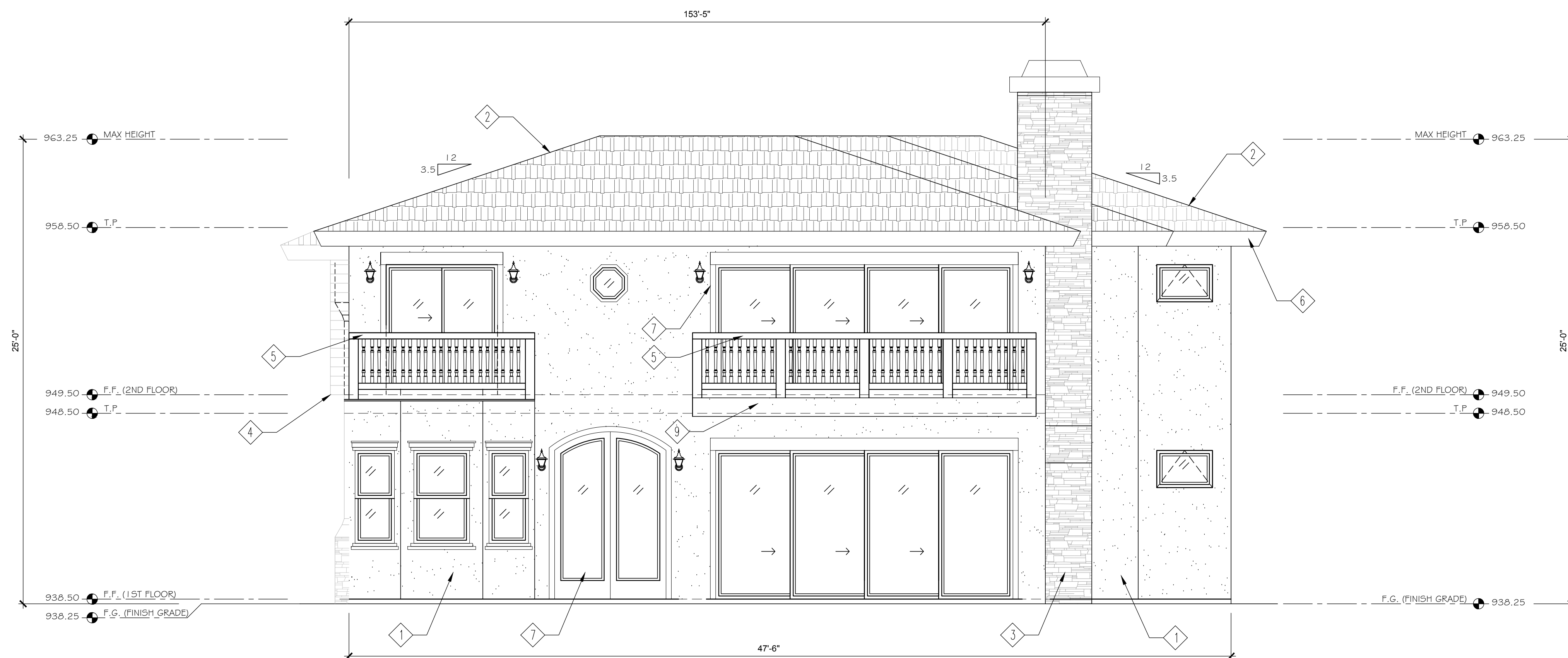
ELEVATIONS - NORTH AND EAST

JOB ID: DRMERAVE
 DB: W.V. FV: 1.9b
 DATE: 06.12.2019
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

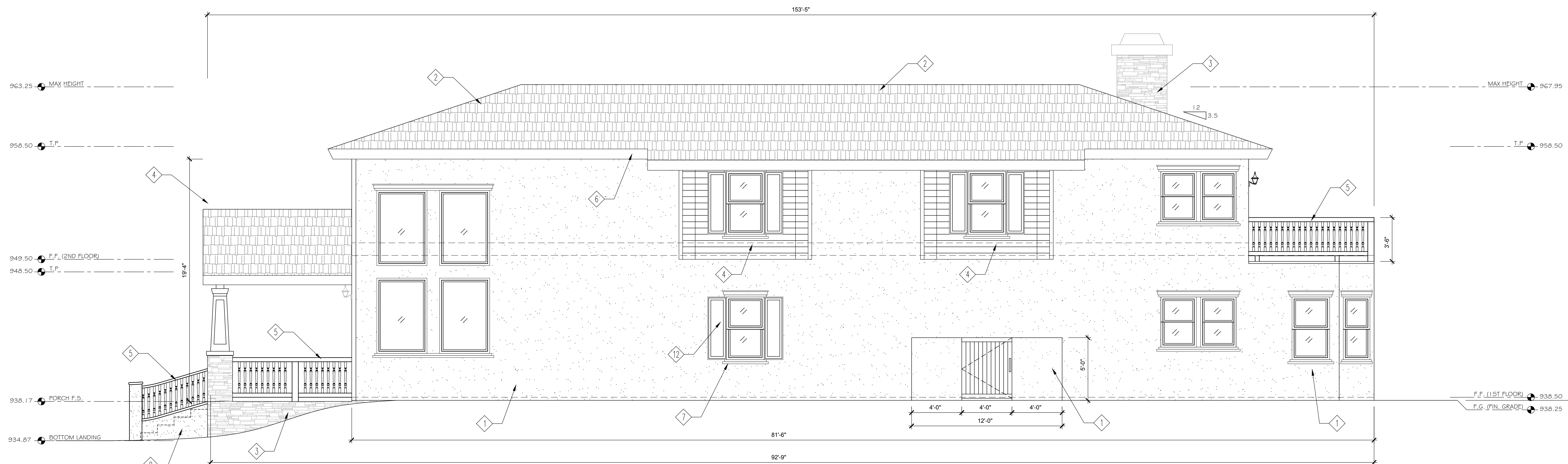
A5.0

ELEVATION NOTES

- 1 STUCCO, SMOOTH FINISH, PAINTED BROWN
[BEHR PLATEAU PPU4-08]
- 2 CLASS A, FLAT ROOF TILES "BROWN GRAY RANGE"
BY "EAGLE / BORAL ROOFING PRODUCTS"
- 3 STONE VENEER, ANCHORED TO WALL
PER MANUFACTURER SPECIFICATIONS
STYLE: "GOLDEN HARVEST" BY "CORONADO" STONE (O.A.E.)
- 4 JAMES HARDIE BOARD LAP SIDING
[WOODSTOCK BROWN]
- 5 WOOD RAILING 3'-6" HIGH
COLOR: "WHITE"
- 6 FASCIA BOARDS
COLOR: "WHITE"
- 7 DOOR AND WINDOW FRAMES, SILLS, AND ACCENTS
COLOR: "WHITE"
- 8 LOW DECORATIVE CMU WALL AT ENTRY
COLOR: WHITE
- 9 BALCONY OUTER FRAMING
COLOR: "WHITE"
- 10 MAIN ENTRY DOOR
[BEHR CHOCOLATE SOUL M01-58]
- 11 ENTRY COLUMNS
COLOR: "WHITE"
- 12 WINDOW SHUTTERS
COLOR: "WHITE"
- 13 EXPOSED HEAVY TIMBER
- 14 4" HARDIE BOARD TRIM
COLOR: "WHITE"



SOUTH ELEVATION - SCALE 1/4" = 1'-0"



WEST ELEVATION - SCALE 1/4" = 1'-0"

REVISIONS: BY:

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DRONA RESIDENCE
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PROPOSED 2-STORY SINGLE FAMILY DWELLING
APN: 2055-004-040

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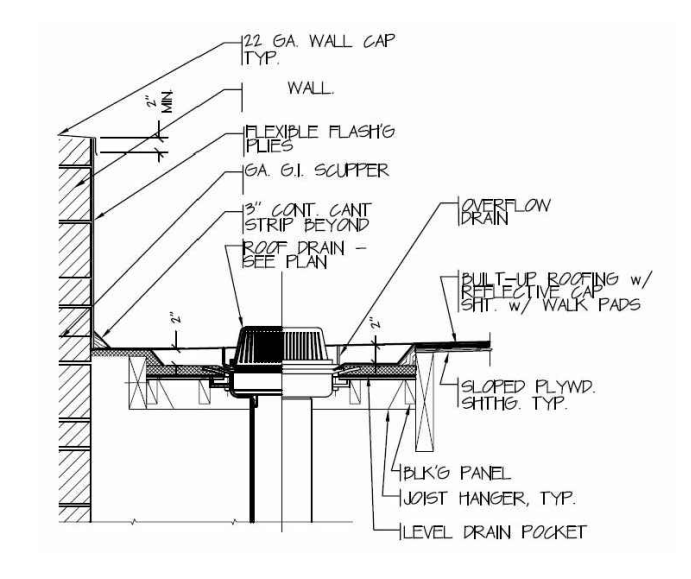
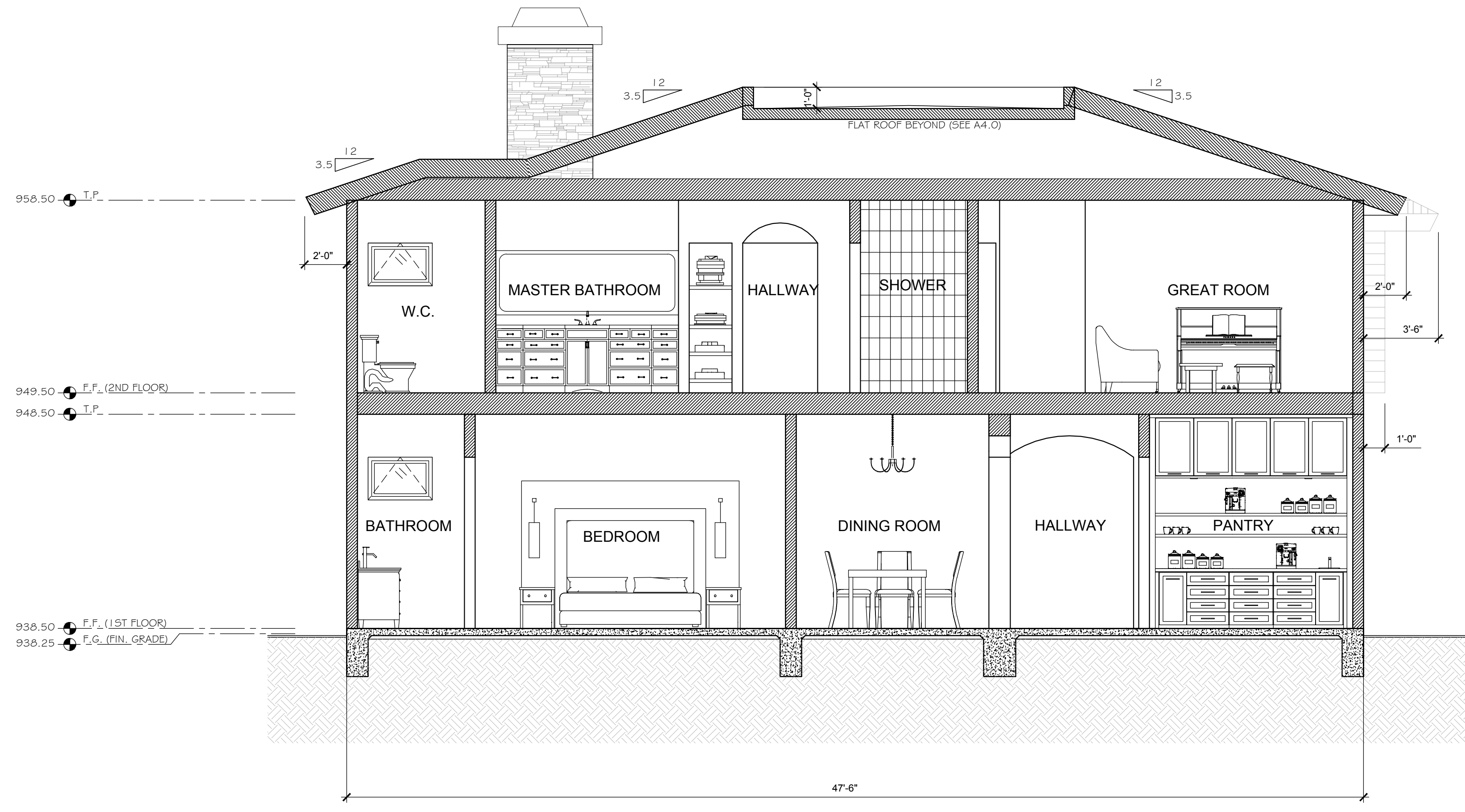
ELEVATIONS - SOUTH AND WEST

JOB ID: DRMRVAV
DB: W.V. FV: 1.9b
DATE: 06.12.2019
SCALE: 1/4" = 1'-0"
SHEET NUMBER:

A5.1

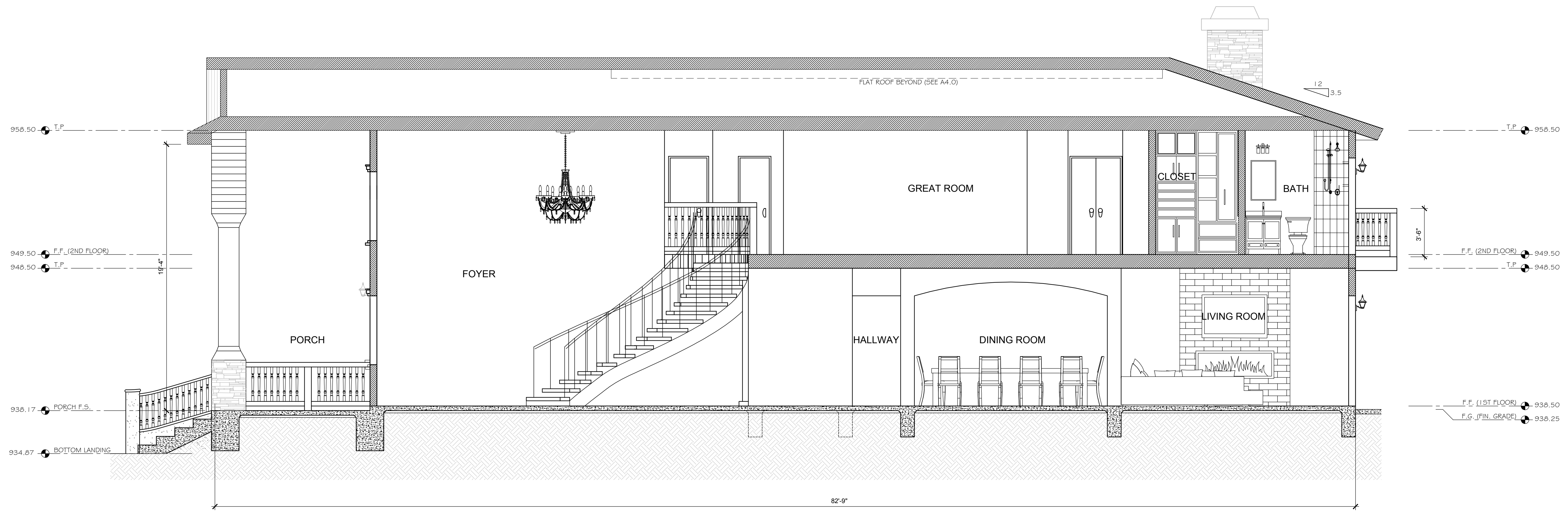
SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

REVISIONS:	BY:



DRAIN AT FLAT ROOF

SECTION A-A - SCALE 1/4" = 1'-0"



SECTION B-B - SCALE 1/4" = 1'-0"

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 vvallecios@gmail.com 818.554.8831

DRONA RESIDENCE
 28500 DRIVER AVE, AGOURA HILLS, CA 91301
 PROPOSED 2-STORY SINGLE FAMILY DWELLING
 APN: 20955-004-040

RESTRICTIONS:
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SECTIONS

JOB ID: DRMR AVE
 DB: W.V. FV: 1.9b
 DATE: 06.12.2019
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:

A6.0

SITE PLAN / ARCHITECTURAL REVIEW - ROUND 2 P.C. VERIFICATION

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
- AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
- TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 130, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

PUBLIC UTILITIES / SERVICES

WATER: LAS VIRGENES MUNICIPAL WATER DISTRICT
4232 LAS VIRGENES ROAD
CALABASAS, CA 91302
(818) 880-4110

ELECTRICAL: SOUTHERN CALIFORNIA EDISON
3589 FOOTHILL DRIVE
THOUSAND OAKS, CA 91361
(805) 494-7016

TELEPHONE: SBC (PAC BELL)
16201 RAYMER STREET, #115
VAN NUYS, CA 91406
(818) 373-6889

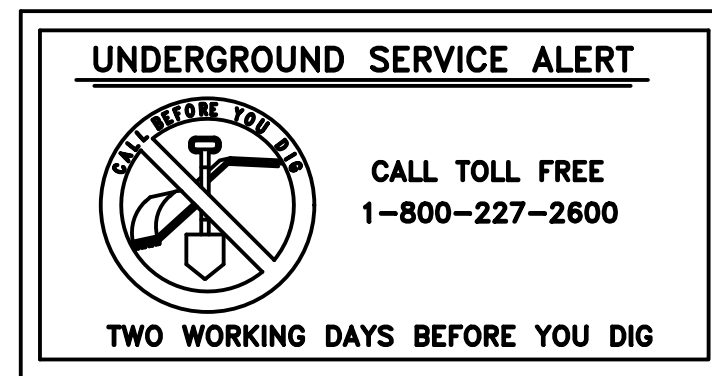
GAS: SOUTHERN CALIFORNIA GAS
9400 OAKDALE AVENUE
CHATSWORTH, CA 91313
(818) 701-3324

SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1000 S. FREMONT AVENUE, BLDG A9 EAST
ALHAMBRA, CA 91803
(626) 300-3308

CABLE: ADELPHIA
2323 TELLER ROAD
NEWBURY PARK, CA 91320
(805) 375-5213

CABLE: CHARTER COMMUNICATIONS
3806 CROSSCREEK ROAD
MALIBU, CA 90265
(310) 456-9010

CALTRANS: CALTRANS
5660 RESEDA BOULEVARD
TARZANA, CA 91356
(805) 388-1426



STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ONSITE POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC, "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ONSITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 597-7350, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."

LEGAL DESCRIPTION

THAT PORTION OF PARCEL "A" OF CERTIFICATE OF COMPLIANCE 04-LLA-012, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA RECORDED DECEMBER 13, 2004 AS INSTRUMENT NO. 04-3200764 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, MORE PARTICULARLY DESCRIBED AS LYING NORTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE NORTHEASTERLY CORNER OF SAID PARCEL "A"; THENCE, NORTHWESTERLY ALONG THE NORTHERLY LINE OF SAID PARCEL "A", NORTH 77° 11' 30" WEST 83.50 FEET TO THE EASTERLY LINE OF LOT 3, BLOCK 12, TRACT 8451, RECORDED IN M.B. 104, PAGES 79 TO 90 INCLUSIVE; THENCE, SOUTHERLY ALONG SAID EASTERLY LINE, SOUTH 12° 48' 30" WEST 256.02 FEET TO THE NORTHERLY LINE OF PARCEL 2 DESCRIBED IN THE DEED RECORDED APRIL 2, 2004 AS INSTRUMENT NO. 04-0789739, SAID LINE ALSO BEING THE SOUTHERLY LINE OF PARCEL 1 PER DEED RECORDED DECEMBER 2, 2004 AS INSTRUMENT NO. 04-3117590, BOTH OF OFFICIAL RECORDS OF SAID COUNTY, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE, ALONG THE PROLONGATION OF SAID EASTERLY LINE SOUTH 12° 48' 30" WEST 12.00 FEET; THENCE, SOUTH 82° 07' 39" EAST 60.98 FEET; THENCE, NORTH 23° 09' 24" EAST 15.26 FEET; THENCE, SOUTH 77° 11' 30" EAST 20.00 FEET TO THE WESTERLY LINE OF LOT 5, BLOCK 12 OF SAID TRACT.

SAID LAND IS DESCRIBED AND DELINEATED AS PROPOSED PARCEL 1 ON CERTIFICATE OF COMPLIANCE NO. LLA-07-005, RECORDED APRIL 10, 2017 AS INSTRUMENT NO. 2017-391635, OF OFFICIAL RECORDS.

BEING A PORTION OF LOT 4 IN BLOCK 12 OF TRACT NO. 8451, AS PER MAP RECORDED IN BOOK 104, PAGES 79 TO 90, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

ABBREVIATIONS

AC - ASPHALTIC CONCRETE	NG - NATURAL GROUND
BF - BOTTOM OF FOOTING	NTS - NOT TO SCALE
CB - CATCH BASIN	PL - PROPERTY LINE
CF - CURB FACE	POB - POINT OF BEGINNING
CL - CENTERLINE	SDMH - STORM DRAIN MANHOLE
CLF - CHAIN LINK FENCE	SMH - SEWER MANHOLE
CO - CLEAN OUT	SS - SANITARY SEWER
DB - DEBRIS BASIN	TB - TOP OF BERM
D/L - DAYLIGHT	TC - TOP OF CURB
EG - EDGE OF GUTTER	TF - TOP OF FOOTING
EP - EDGE OF PAVEMENT	TG - TOP OF GRATE
FF - FINISHED FLOOR	TW - TOP OF WALL
FG - FINISHED GRADE	TYP - TYPICAL
FH - FIRE HYDRANT	WM - WATER METER
FL - FLOWLINE	WV - WATER VALVE
FS - FINISH SURFACE	
HC RMP - HANDICAP RAMP	
HP - HIGH POINT	
INV - INVERT	

LEGEND AND SYMBOLS

PROJECT BOUNDARY	—————
EXISTING GRADE CONTOUR	————— 1100 —————
PROPOSED GRADE CONTOUR	————— 1100 —————
SPOT ELEVATION	× 1100
PROPOSED SLOPE PER PLAN	—————
RETAINING WALL	—————
DAYLIGHT CUT/FILL LINE	—————
DIRECTION OF FLOW (SLOPE)	—————
CONSTRUCTION NOTE NUMBER	⑧

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
C1	GRADING COVER SHEET
C2	GRADING PLAN
C3	EROSION CONTROL PLAN
C4	DETAILS

ESTIMATED EARTHWORK QUANTITIES			
ESTIMATED CUT:	821 CY	ESTIMATED EXPORT:	25 CY
ESTIMATED FILL:	768 CY	ESTIMATED IMPORT:	N/A
ESTIMATED OVER-EXCAVATION:	446 CY		

BENCHMARK:		
DESCRIPTION: BM NO. _____	ELEVATION: _____	SURVEY DATE: _____

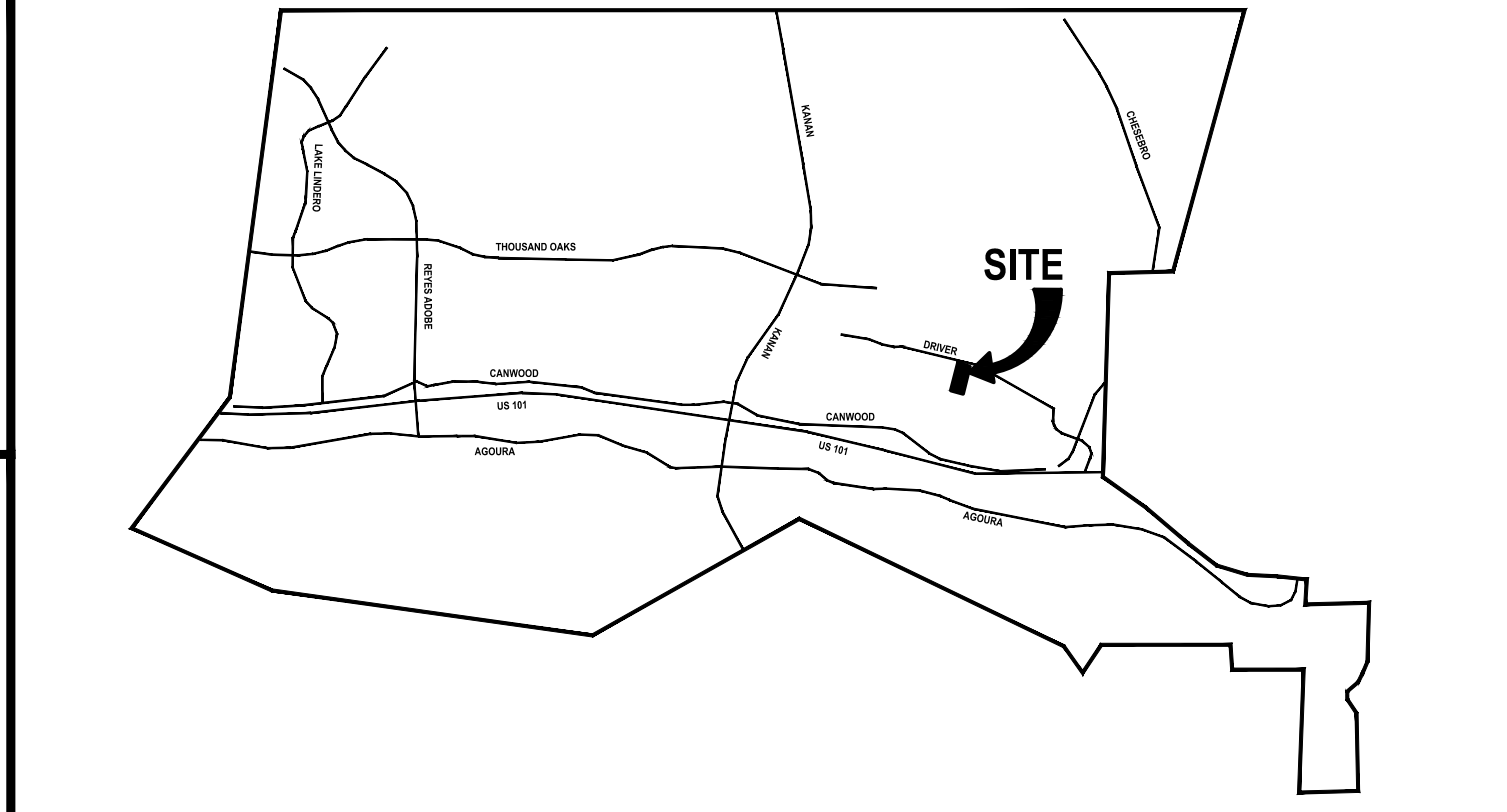
RECORD DRAWING STATEMENT			
I, _____, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. _____ THROUGH _____ MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.			
REGISTERED CIVIL ENGINEER	DATE	RCE NO.	EXP. DATE

SOILS APPROVAL			
THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) "PRELIMINARY SOIL INVESTIGATION," DATED JULY 9, 2018.			
REGISTERED GEOLOGIST	DATE	RCE NO.	EXP DATE
REGISTERED GEOTECHNICAL ENGINEER	DATE	RCE NO.	EXP DATE

OWNER	
NAME: MANISH DRONA	_____
ADDRESS: 160 FORRESTER CIRCLE, SIMI VALLEY, CA 93065	_____
REPRESENTATIVE: MANISH DRONA	_____
TELEPHONE: 805.233.2366	_____

CIVIL ENGINEER	
NAME: CCE DESIGN ASSOCIATES, INC.	_____
ADDRESS: 450 ROSEWOOD AVENUE, SUITE 202, CAMARILLO, CA 93010	_____
REPRESENTATIVE: RANDY CHAPMAN, P.E.	_____
TELEPHONE: 805.738.5434	_____

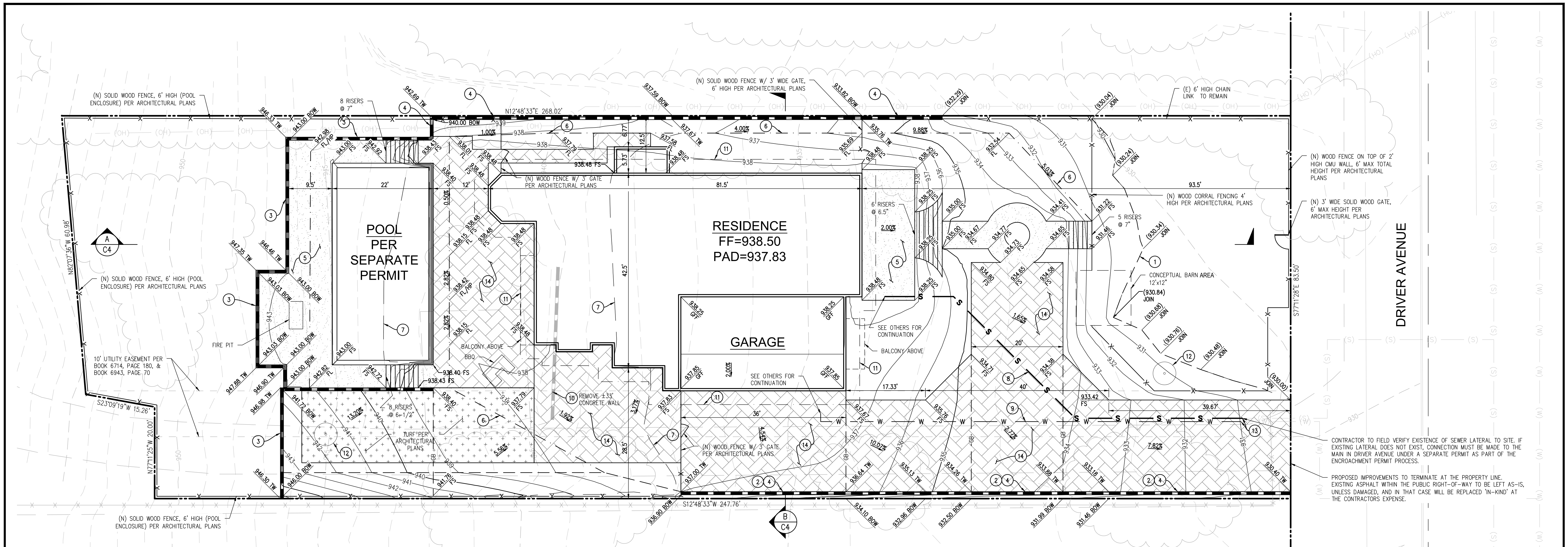
GEOTECHNICAL ENGINEER	
NAME: GSS ENGINEERING, INC.	_____
ADDRESS: 11823 SLAUSON AVENUE, SUITE 46, SANTA FE SPRINGS, CA 90670	_____
REPRESENTATIVE: ALLEN LEE	_____
TELEPHONE: 562.696.6062	_____



VICINITY MAP



		PREPARED BY: CCE DESIGN ASSOCIATES, INC. 450 Rosewood Ave., Suite 202 Camarillo, CA 93010 P: 805.738.5434		CITY OF AGOURA HILLS APPROVAL				APN 2055-004-040 GRADING COVER SHEET 28500 DRIVER AVENUE AGOURA HILLS, CA 91301		C1 SHEET 1 OF 4		
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	RANDY CHAPMAN, P.E.	DATE	REVIEWED BY	DATE	RAMIRO S. ADEVA III CITY ENGINEER	DATE	66865 RCE NO.	09/30/20 EXP DATE



CONTRACTOR TO FIELD VERIFY EXISTENCE OF SEWER LATERAL TO SITE. IF EXISTING LATERAL DOES NOT EXIST, CONNECTION MUST BE MADE TO THE MAIN IN DRIVER AVENUE UNDER A SEPARATE PERMIT AS PART OF THE ENCROACHMENT PERMIT PROCESS.

PROPOSED IMPROVEMENTS TO TERMINATE AT THE PROPERTY LINE. EXISTING ASPHALT WITHIN THE PUBLIC RIGHT-OF-WAY TO BE LEFT AS-IS, UNLESS DAMAGED, AND IN THAT CASE WILL BE REPLACED 'IN-KIND' AT THE CONTRACTORS EXPENSE.

NOTE
 AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE THE RESULTS OF ALL COMPACTION TESTS AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOW LINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.

LEGEND

NEW	EXISTING	
		ASPHALT BERM
		BLOCK/RETAINING WALL
		BUILDING LINE
		CONCRETE CURB
		CONCRETE CURB CUT
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		FENCE LINE
		GRADE BREAK
		LOT LINE
		RIDGE LINE
		SANITARY SEWER
		SIDEWALK
		STORM DRAIN & CATCH BASIN
		TRACT BOUNDARY
		WATER LINE AND WATER METER

ABBREVIATIONS

BFP	BACKFLOW PREVENTION DEVICE	FF	FINISHED FLOOR
BO	BLOWOFF	FG	FINISHED GRADE
BOW	BOTTOM OF WALL (AT GROUND)	FS	FINISHED SURFACE
BW	BACK OF WALK	GB	GRADE BREAK
BLDG	BUILDING	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CO	CLEANOUT	LP	LOW POINT
CONC	CONCRETE	MH	MANHOLE
CMP	CORRUGATED METAL PIPE	PIV	POST INDICATOR VALVE
DR	DOOR	POC	POINT OF CONNECTION
DS	DOWN SPOUT	R	RIDGE
ESMT	EASEMENT	RM	RIM ELEVATION
EG	EXISTING GRADE	RD	ROOF DRAIN
FC	FACE OF CURB	TC	TOP OF CURB
FF	FINISHED FLOOR	TW	TOP OF WALL (AT GROUND)
FDC	FIRE DEPARTMENT CONNECTION	TE	TRASH ENCLOSURE
FH	FIRE HYDRANT	WM	WATER METER
FL	FLOW LINE	WV	WATER VALVE

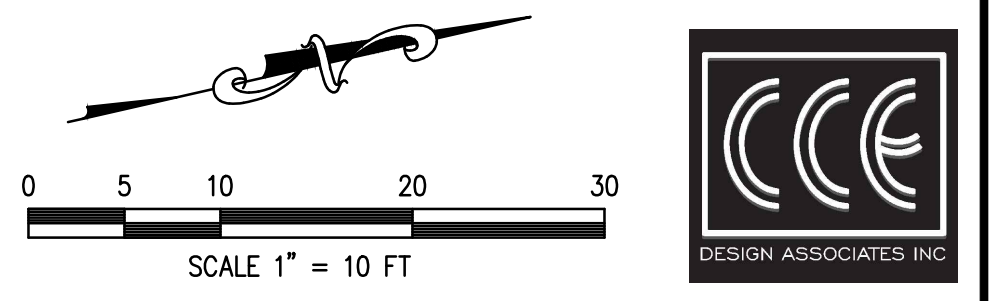
GRADING CONSTRUCTION NOTES / LEGEND

	1 DAYLIGHT LINE.
	2 CONSTRUCT 6 IN. CURB PER SPPWC STD. PLAN NO 120-2, TYPE C1-6.
	3 CONSTRUCT RETAINING WALL WITH PROTECTION FENCE. SEE STRUCTURAL / ARCHITECTURAL PLANS FOR DETAILS. TOP AND BOTTOM OF WALL ELEVATIONS PER PLAN.
	4 CONSTRUCT SLOUGH WALL PER SPPWC STD. PLAN NO. 622-3, TOP AND BOTTOM OF WALL ELEVATIONS PER PLAN.
	5 HARDSCAPE, INSTALL MATERIAL ON 4" AGGREGATE BASE, SEE ARCHITECTURAL PLANS FOR PRODUCT SPECIFICATION. PRODUCT TO BE 4" P.C.C. UNLESS NOTED OTHERWISE.
	6 CONSTRUCT EARTHEN SWALE PER DETAIL 1 ON SHEET C3, SLOPE PER PLAN.
	7 CUT/FILL TRANSITION LINE.
	8 INSTALL 4" VCP HOUSE CONNECTION PER SPPWC STD. PLAN NO. 222-2, PROFILE TYPE "A", LENGTH AND SLOPE PER PLAN.
	9 CONSTRUCT 1 1/2" COPPER TYPE K HOUSE LATERAL FROM BACK OF EXISTING METER TO POINT OF CONNECTION, PROVIDE MIN. 36" COVER.
	10 REMOVE EXISTING STRUCTURE AS NECESSARY.
	11 OVEREXCAVATION LIMITS. SURFACE SOILS TO BE REMOVED TO UNDERLYING STIFF NATURAL SOIL/BEDROCK, OR TO A DEPTH OF 3' BELOW THE BOTTOM OF THE PROPOSED FOOTING, WHICHEVER IS GREATER, AND THEN REPLACED WITH PROPERLY COMPACTED SOILS IN ACCORDANCE WITH THE PROJECT SOILS REPORT.
	12 NEW 15-GALLON TREE IN ACCORDANCE WITH LACDPW LID MANUAL.
	13 CONNECT TO EXISTING LATERAL. CONTRACTOR TO VERIFY DEPTH AND LOCATION OF EXISTING LINE PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD.
	14 CONCRETE PAVERS, SEE ARCHITECTURAL PLANS.

- GRADING NOTES**
- CONSTRUCT STEM WALL AT BUILDING PERIMETER WHERE ADJACENT TO SOIL. CONSTRUCT 8" MINIMUM CLEAR SPACE FROM FINISHED SOIL GRADE TO BUILDING WALL.
 - IMPROVEMENTS WITHIN CITY OF AGOURA HILLS PUBLIC RIGHT OF WAY, INCLUDING (BUT NOT EXCLUSIVE OF) FENCES, DRIVEWAYS, AND UTILITY CONNECTIONS WILL REQUIRE SUBSEQUENT PERMITS FROM THE CITY OF AGOURA HILLS.
 - RETAINING WALLS SHALL BE CONSTRUCTED UNDER A SEPARATE PERMIT FROM THE BUILDING & SAFETY DEPARTMENT.
 - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
 - ALL GRADING ACTIVITIES MUST BE IN COMPLIANCE WITH THE PROJECT SOILS REPORT PREPARED BY GSS ENGINEERING, DATED 7/9/2018.

811
 Know what's below.
 Call before you dig.

NOTICE TO CONTRACTORS
 CONTRACTOR TO NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 811 A MINIMUM OF 48 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY:	CITY OF AGOURA HILLS APPROVAL	DATE	REVIEWED BY	DATE	APPROVAL	DATE	APN 2055-004-040	PRECISE GRADING PLAN	SHEET 2 OF 4
					RANDY CHAPMAN, P.E.							28500 DRIVER AVENUE	AGOURA HILLS, CA 91301	

PREPARED BY:
CCE DESIGN ASSOCIATES, INC.
 450 Rosewood Ave., Suite 202
 Camarillo, CA 93010
 P:805.738.5434

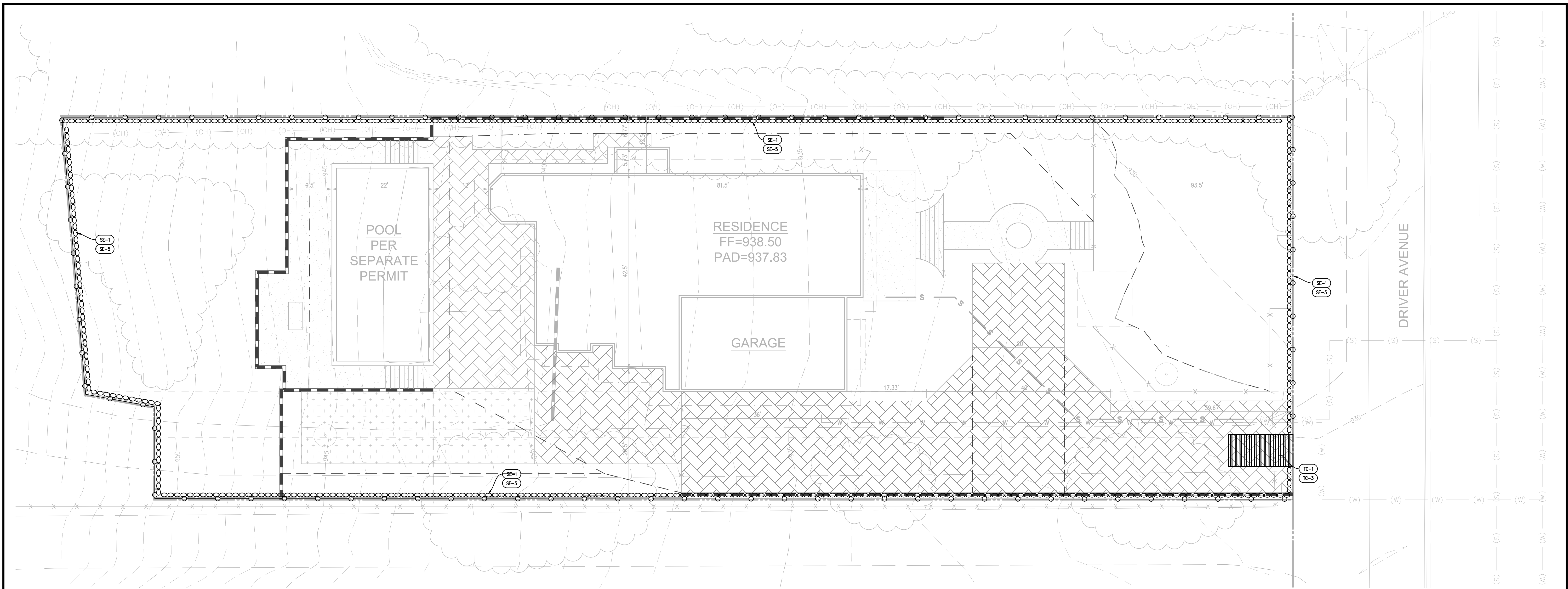
CITY OF AGOURA HILLS APPROVAL

RAMIRO S. ADEVA III
 CITY ENGINEER



APN 2055-004-040
 PRECISE GRADING PLAN
 28500 DRIVER AVENUE
 AGOURA HILLS, CA 91301





EROSION CONSTRUCTION NOTES / LEGEND

- (SE-1) SILT FENCE PER CASQA BMP SE-1. SEE DETAIL 2 / SHEET C3.
 - (SE-5) FIBER ROLLS PER CASQA BMP SE-5.
 - (TC-1) STABILIZED CONSTRUCTION ENTRANCE / EXIT PER CASQA BMP TC-1. SEE DETAIL 3 / SHEET C3.
- THE FOLLOWING CASQA BMPs ARE PART OF THE EROSION CONTROL PLAN; HOWEVER, ARE NOT LOCATION BASED AND CANNOT BE SHOWN HEREON:
- (EC-1) SCHEDULING PER CASQA BMP EC-1
 - (EC-4) HYDROSEEDING PER CASQA BMP EC-4
 - (SE-6) GRAVEL BAG BERM PER CASQA BMP SE-6 (ACCEPTABLE SUBSTITUTE FOR FIBER ROLLS)
 - (SE-7) STREET SWEEPING AND VACUUMING PER CASQA BMP SE-7
 - (WE-1) WIND EROSION CONTROL PER CASQA BMP WE-1
 - (TC-3) ENTRANCE / OUTLET TIRE WASH PER CASQA BMP TC-3
 - (NS-X) ANY AND ALL APPLICABLE CASQA NON-STORMWATER BMPs (INCLUSIVE OF NS-1 THROUGH NS-16)
 - (WM-X) ANY AND ALL APPLICABLE CASQA WASTE MANAGEMENT BMPs (INCLUSIVE OF WM-1 THROUGH WM-10)

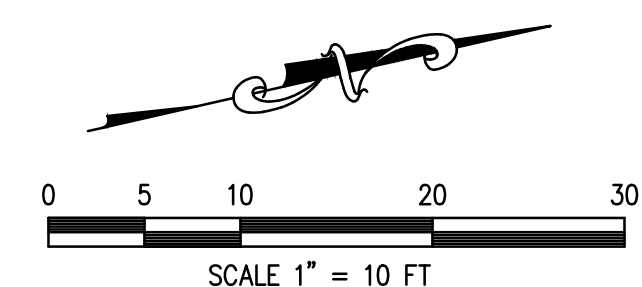
EROSION CONTROL NOTES

- TEMPORARY EROSION CONTROL PRIOR TO COMPLETION OF FINAL IMPROVEMENTS SHALL BE PERFORMED BY THE CONTRACTOR AS INDICATED BELOW:
- ALL GRADED AREAS ARE TO RECEIVE HYDROSEED EROSION CONTROL. HYDROSEEDING TO EXTEND 5 FT BEYOND DAYLIGHT LINES.
 - EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
 - DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE RESIDENT ENGINEER.
 - THE CONTRACTOR SHALL RESTORE ALL EROSION CONTROL DEVICES TO WORKING ORDER AFTER EACH RUNOFF PRODUCING RAINFALL.
 - THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES WHICH MAY ARISE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
 - ALL EROSION CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON.
 - GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
 - TEMPORARY EROSION CONTROL DEVICES ARE TO REMAIN IN PLACE UNTIL HYDROSEEDED AREAS ARE ESTABLISHED AND NO EROSION IS EVIDENT.
 - EXCEPT AS OTHERWISE DIRECTED BY THE CITY INSPECTOR, ALL DRAINAGE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF THE WORKING DAY WHEN THE 48 HOUR FORECAST OF RAIN PROBABILITY IS 40% AND MAINTAINED DURING THE RAINY SEASON FROM OCTOBER 15TH TO APRIL 15TH OF THE SUCCEEDING YEAR.
 - EROSION CONTROL DEVICES MUST BE IN PLACE DURING THE ABOVE STATED PERIOD.
 - CLEAN OUT MUD AND SILT AFTER EACH RAIN OR AS DIRECTED BY THE CITY INSPECTOR.
 - THE LOCATIONS OF THE GRAVEL BAGS AS SHOWN MAY VARY DUE TO THE FIELD CONDITIONS AND ADDITIONAL GRAVEL BAGS MAY BE REQUIRED AS DIRECTED BY THE CITY INSPECTOR.
 - FIBER ROLLS MAY BE USED IN PLACE OF GRAVEL BAGS AND SPACING IS TO BE PER STREET SCHEDULE HEREON BELOW AND SHALL BE PLACED BY FIELD CONDITIONS ALSO, DRIVEWAYS SHALL HAVE GRAVEL BAGS PLACED AT 50 FOOT INTERVALS.
 - PLACE MIRAFI FILTER FABRIC INSERT INTO CATCH BASIN OPENING AND PROTECT WITH GRAVEL BAGS (BMP SE-10).
- NOTE:**
THE LOCATION AND DESIGN OF ALL EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE TENTATIVE ONLY AND ARE SUBJECT TO REVISIONS AS DETERMINED BY THE RESIDENT INSPECTOR OR THE CITY ENGINEER. ACTUAL EROSION CONTROL MEASURES SHALL BE INSTALLED TO THE SATISFACTION OF THE RESIDENT INSPECTOR, AS CONDITIONS WARRANT. SILT, DEBRIS, AND MUD SHALL BE PROMPTLY REMOVED FROM ALL EROSION CONTROL STRUCTURES AFTER EACH RAIN TO THE SATISFACTION OF THE RESIDENT INSPECTOR. THE CITY MAY CONDUCT REGULAR SITE INSPECTIONS TO ASSESS CHANGING CONDITIONS AND DETERMINE THE NECESSITY OF ADDITIONAL CONTROL MEASURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL ALL EROSION CONTROL FACILITIES AS SHOWN ON THE APPROVED EROSION CONTROL PLAN OR AS DIRECTED BY THE CITY ENGINEER AT THE END OF EACH WORKING DAY.
 - THE CONTACT PERSON RESPONSIBLE FOR EROSION CONTROL IS THE CONSTRUCTION SUPERINTENDENT INDICATED HERE:
- 24 HOUR CONTACT TELEPHONE NUMBER: TBD
TBD

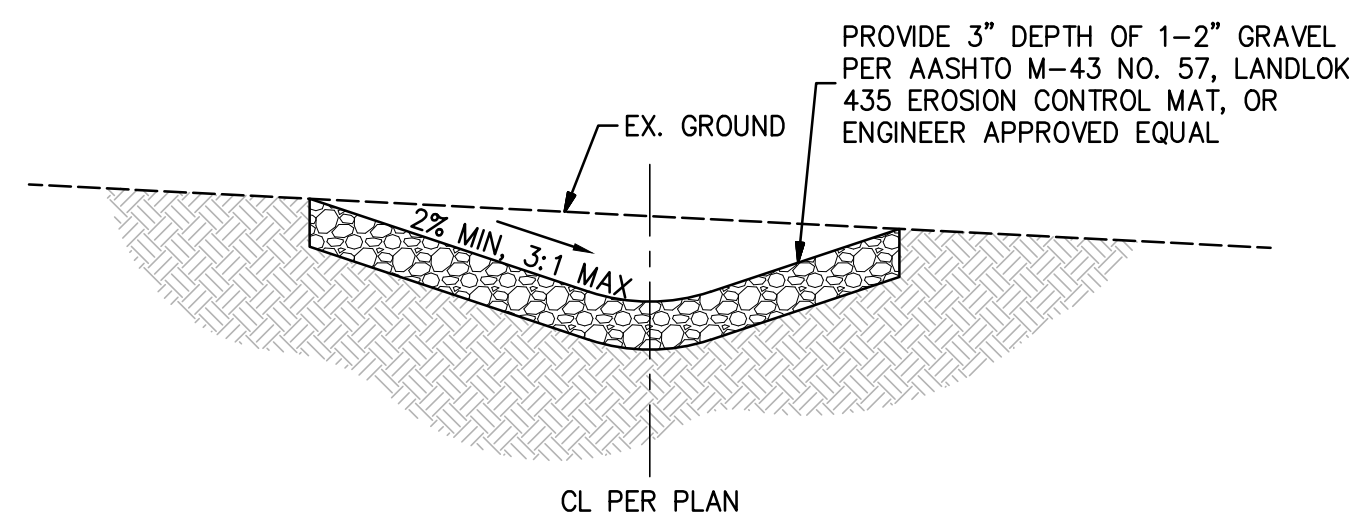


Know what's below.
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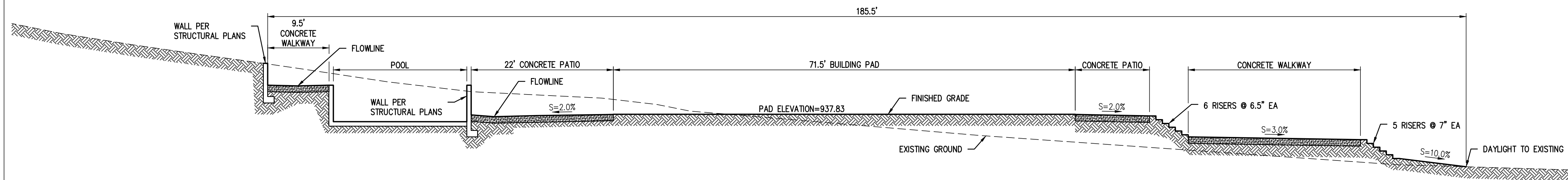
NOTICE TO CONTRACTORS
CONTRACTOR TO NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 811 A MINIMUM OF 48 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES



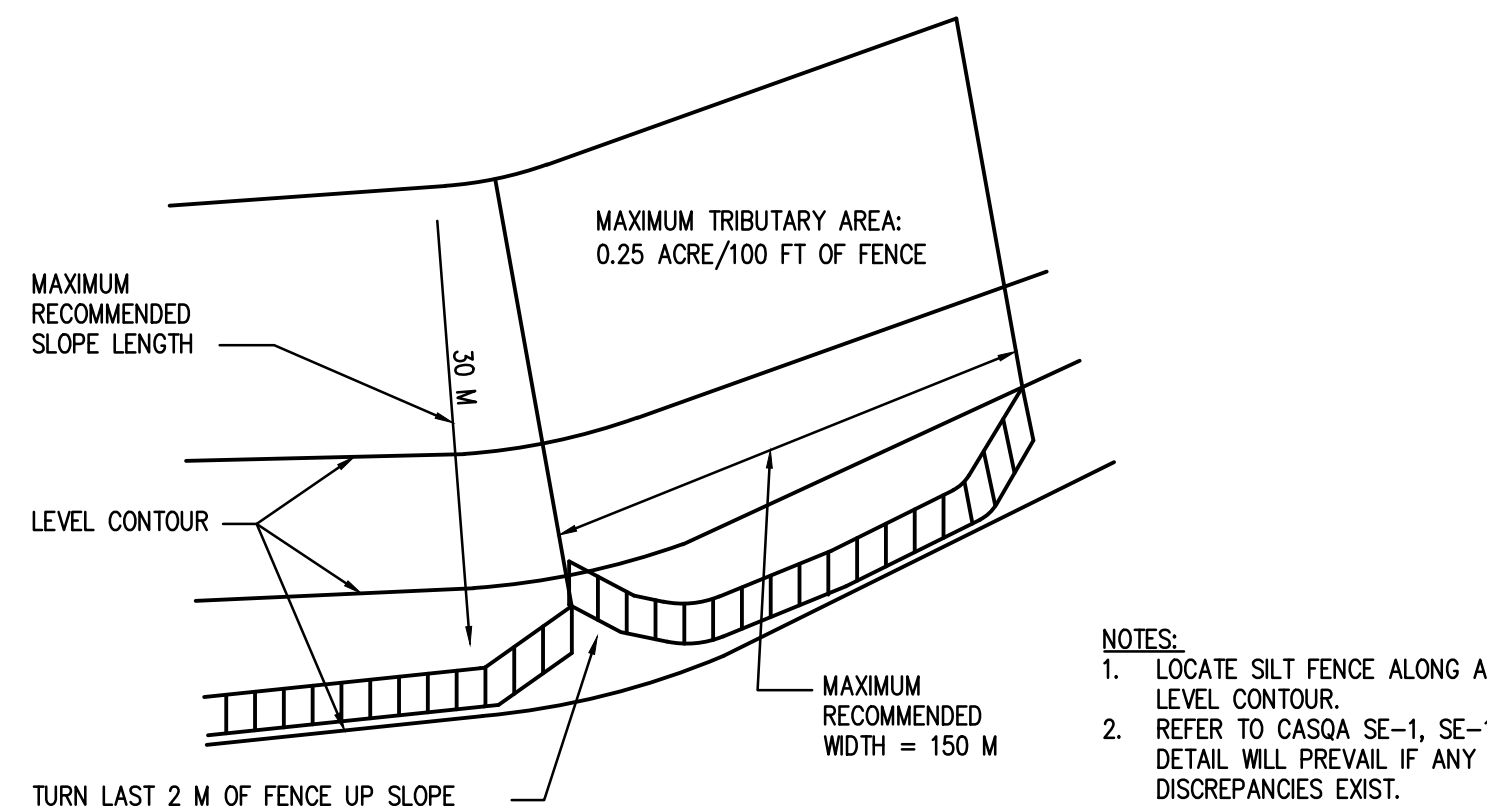
		PREPARED BY: CCE DESIGN ASSOCIATES, INC. 450 Rosewood Ave., Suite 202 Camarillo, CA 93010 P:805.738.5434		CITY OF AGOURA HILLS APPROVAL				APN 2055-004-040 EROSION CONTROL PLAN 28500 DRIVER AVENUE AGOURA HILLS, CA 91301		C3 SHEET 3 OF 4		
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	RANDY CHAPMAN, P.E.	DATE	REVIEWED BY	DATE	RAMIRO S. ADEVA III CITY ENGINEER	DATE	66865 RCE NO.	09/30/20 EXP DATE



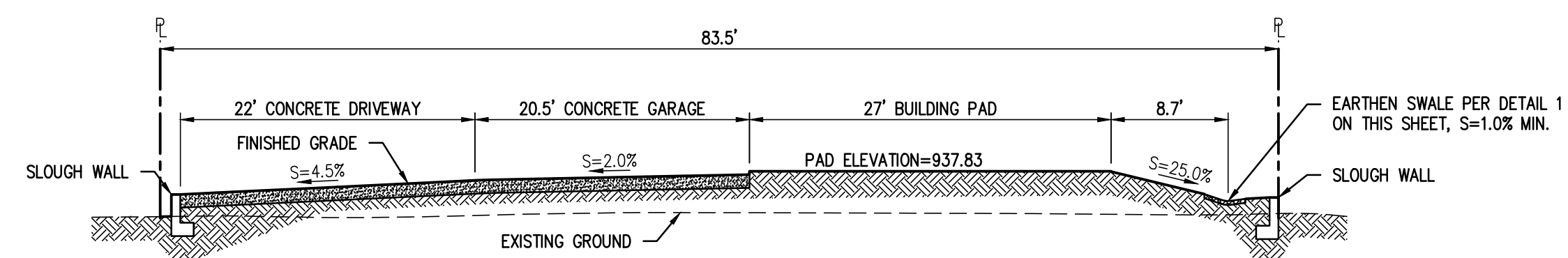
1 EARTHEN SWALE
NOT TO SCALE



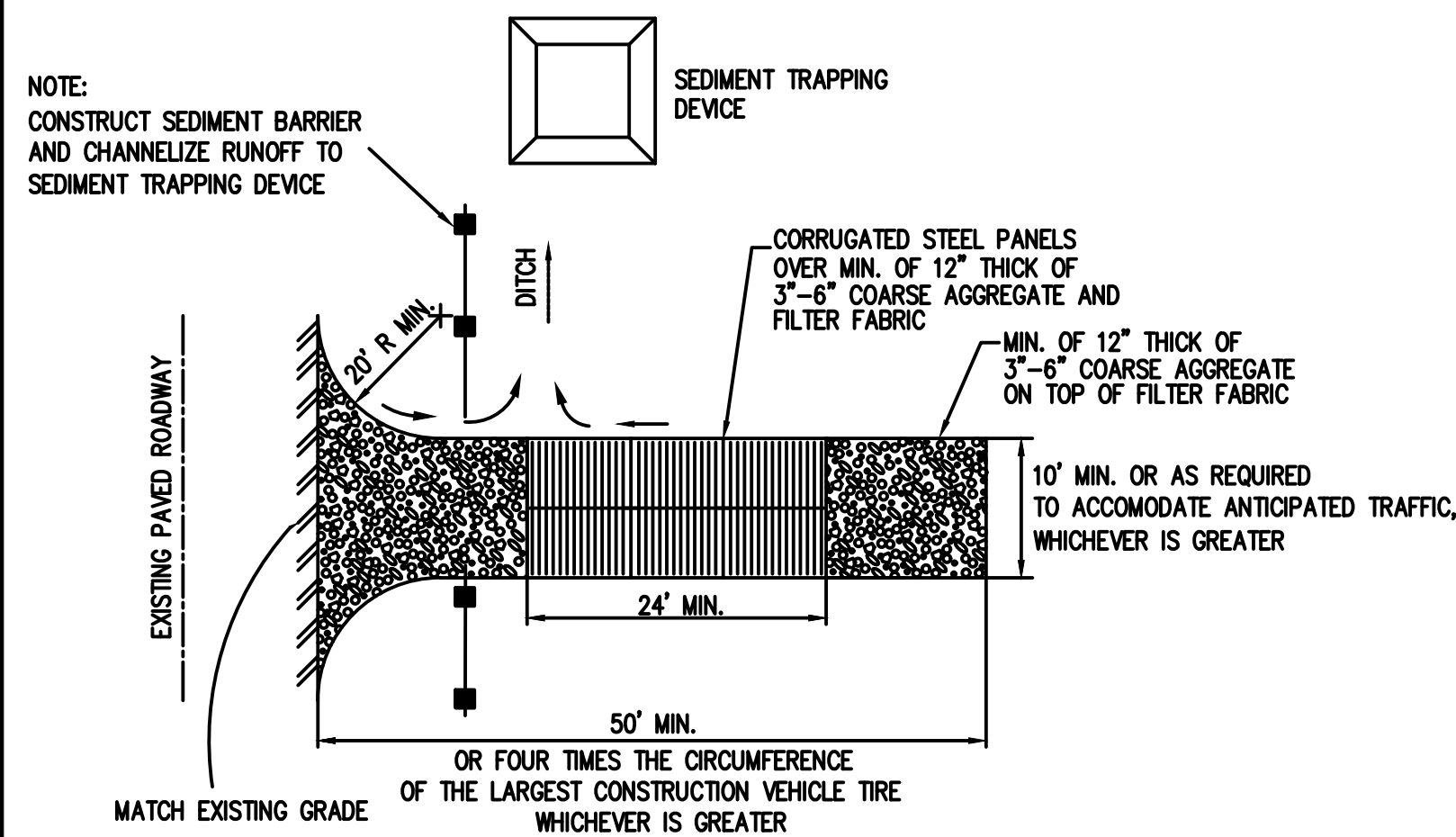
4 SECTION A
SCALE: 1"=10' (H); 1"=10' (V)



2 SILT FENCE (PER CASQA SE-1)
NOT TO SCALE



5 SECTION B
SCALE: 1"=10' (H); 1"=10' (V)



- NOTE:
CONSTRUCT SEDIMENT BARRIER AND CHANNELIZE RUNOFF TO SEDIMENT TRAPPING DEVICE
- NOTE:
1. LOCATE SILT FENCE ALONG A LEVEL CONTOUR.
2. REFER TO CASQA SE-1, SE-1 DETAIL WILL PREVAIL IF ANY DISCREPANCIES EXIST.
- NOTE:
CONSTRUCT SEDIMENT BARRIER AND CHANNELIZE RUNOFF TO SEDIMENT TRAPPING DEVICE
- NOTE:
1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC ROADS. DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
2.1. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT OF WAY, STREET, ALLEY, AND SIDEWALK OR PARKING AREA.
2.2. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN 3"-6" COARSE AGGREGATE WITH LENGTH, WIDTH & THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
2.3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
3. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.
- STREET MAINTENANCE NOTES:
1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

3 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



PREPARED BY:
CCE DESIGN ASSOCIATES, INC.
450 Rosewood Ave., Suite 202
Camarillo, CA 93010
P:805.738.5434

CITY OF AGOURA HILLS APPROVAL

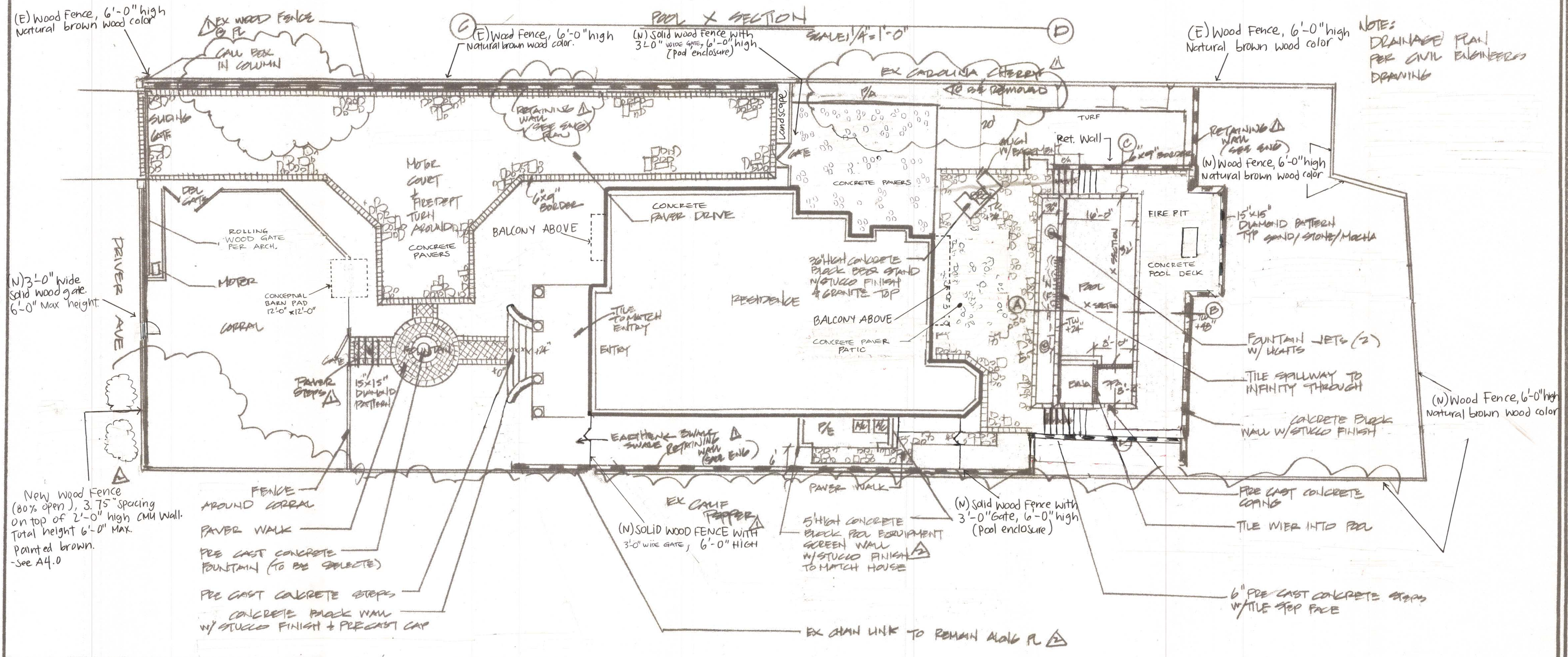
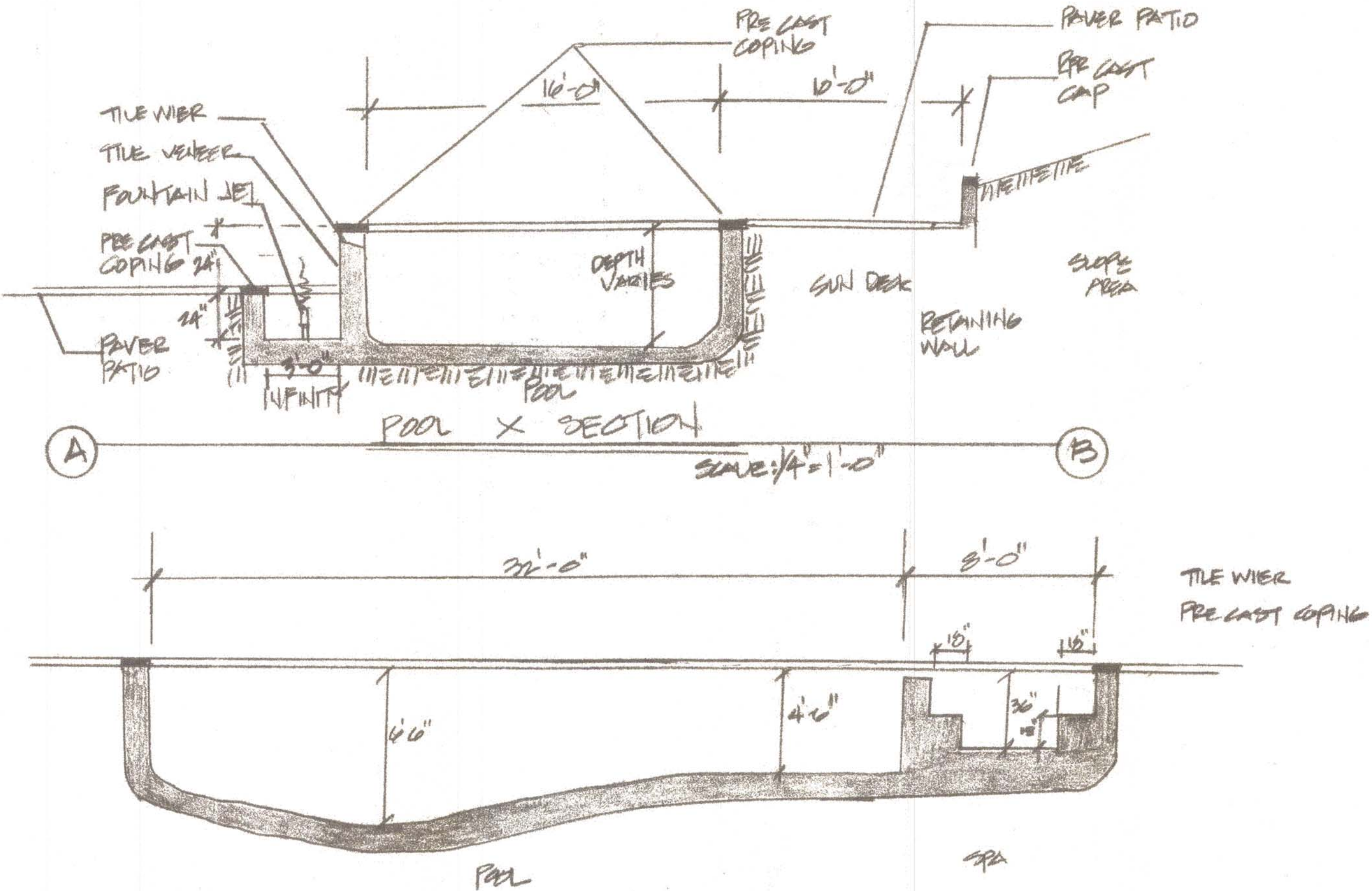
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

REVIEWED BY	DATE	REVIEWED BY	DATE



APN 2055-004-040
DETAILS
28500 DRIVER AVENUE
AGOURA HILLS, CA 91301

C4
SHEET 4 OF 4



DATE: 8/1/18
SCALE: 1"=10'-0"
SHEET: 1 of 4

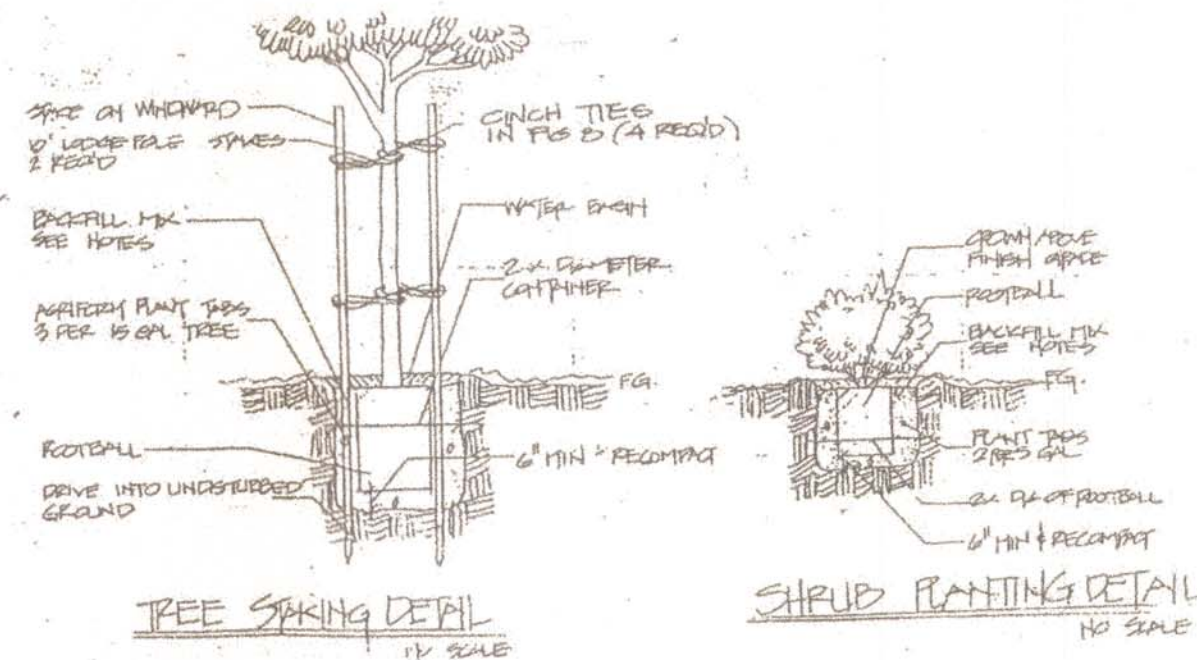
DESIGN CONCEPTS
LANDSCAPE ARCHITECTURE
588 OFFICE CT
CAMPBELL, CA 95010
(925) 522-1206

LANDSCAPE PLAN FOR:
DRONA RESIDENCE
28500 DRIVER AVE
ACQUA HILLS, CALIFORNIA

REVISIONS:
A 10/11/18
B 11/15/18
C 11/15/18
D 11/15/18
E 11/15/18

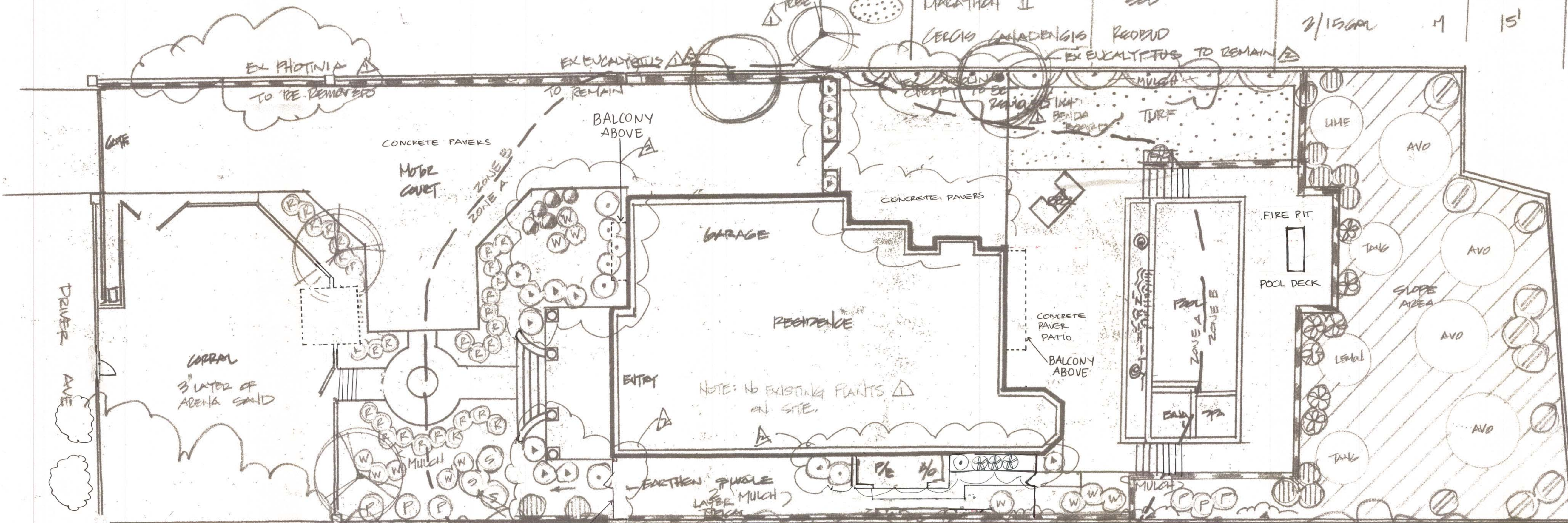
BY: [Signature]
DATE: 10/31/20

- PLANTING NOTES**
- Soil preparation: Quantities per 1,000 sq. ft. retotilled to depth of 6" - 4 cu. yds. nitrified shavings 100 lbs. agricultural gypsum 20 lbs. 8-8-4 commercial fertilizer.
 - Backfill mix: 60% site soil, 40% nitrified shavings.
 - Contractor to guarantee plantings for one year's vigorous growth.
 - Plant size and condition shall conform to American Assn. of Nurseryman's standards, free of pests and diseases.
 - Ground cover shall be treated with pre-emergent herbicide to inhibit weeds after planting.
 - Use Agriform plant tabs on all trees and shrubs per manufacturer's specifications.



PLANT LIST

TYPE	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY + SIZE	WATER USE	HEIGHT AT MATURE	PLANT FACTOR
TREES	AVO	AVOCADO	AVOCADO	4/15 GAL	M	20'	.4
T	LIME	CITRUS	PEARS LIME	1/15 GAL	M	10'	.4
T	LIME	CITRUS	EUREKA LEMON	1/15 GAL	M	10'	.4
T	TAB	CITRUS	TANGERINE	2/15 GAL	M	10'	.4
SHRUBS	S/N	HEROMELES ARBUTIFOLIA	TOYON	6/5 GAL	L	12'	.2
S	W	WESTRINGIA MUNDI	WESTRINGIA	12/5 GAL	M	2'	.4
S/N	S	SALVIA CLEVELANDII	CAIF. BLUE SAGE	2/5 GAL	L	3'	.2
S/N	R	ROSA CALIFORNICA	CAIF. ROSE	27/2 GAL	L	2'	.2
P,N	R	PENSTEMON SPECTABILIS	SHOWY PENSTEMON	11/5 GAL	L	3'	.3
S,N	▲	COPROSMA KIKAI	MIRROR PLANT	14/5 GAL	L	2'	.2
S,N	▲	GRAPTELA CROBYI	JADE PLANT	12/5 GAL	L	2'	.2
S,N	▲	ARTEMISIA CALIFORNICA	CAIF. SAGE BRUSH	11/5 GAL	L	2'	.2
S,N	▲	CELANOTHUS HORIZONTALIS	CALIFORNIA ULAR	10/5 GAL	L	4'	.2
S,N	▲	Aloe STRIATA	CORAL ALOE	8/1 GAL	L	2'	.3
VINES	G.S.V	TRACHELOSIPUM JACMINIIFLORUM	STAR JASMINE	8/5 GAL	M	N/A	.4
V	▲	BIGNONIA CHIRE	RED TRUMPET VINE	5/5 GAL	M	N/A	.5
GRASS	▲	BACCHARUS TINNIFERUS	COYOTE BUSH	5/5 GAL	L	12"	.2
GRASS	▲	URATHAL II	SED	2/15 GAL	H	N/A	.8
GRASS	▲	CERCIS CANADENSIS	REDBUD	2/15 GAL	M	15'	.4



HYDROZONE	PLANT WATER USE	PLANT FACTOR	AREA (SF)	PF X HA (SF)
1	SLOPE	MED	1750	700
2	PA PAV	LOW	1300	200
3	LAWN	HIGH	700	500
4	PA PAV	LOW	1600	320
SUM			1040	

- NOTES:**
- ALL EXTERIOR MATERIALS MUST MEET FIRE SAFETY STANDARDS.
 - LOS ANGELES COUNTY FIRE DEPT APPROVAL REQUIRED.
 - 2% SLOPE AWAY FROM STRUCTURE WITHIN 5' FEET.
 - SOILS REPORT REQUIRED
 - HILLSIDE SETBACK MUST BE MET PER ANGELES HILLS CODE.
 - NEW CONSTRUCTION
 - WATER TYPE POTABLE

TOTAL LANDSCAPE AREA	7100 SF	TOTAL LOT AREA	21781 SF
HORSE CORRAL AREA	2600 SF	TOTAL NON PERMEABLE AREA	5703 SF
POOL AREA (NON PERMEABLE)	1831 SF		26.18 % NON PERMEABLE
PERMEABLE PAVEMENT	5267 SF		(SEE ARCH. SHEET A.O.O FOR DETAILED INFORMATION)
TURF	879 SF		
RESIDENCE 1ST FLOOR	3542 SF		
AREA TOTALS			

EXP. DATE 10/21/20

LANDSCAPE ARCHITECT
REGISTERED LANDSCAPE ARCHITECT
LANDSCAPE ARCHITECT NO. 2282
STATE OF CALIFORNIA

REVISIONS:
10/1/20 PLANTS CHANGE W/ + ADD TREES + MOD CHANGES

DATE: 8/1/20
SCALE: 1"=10'-0"
SHEET: L-204

DESIGN CONCEPTS
LANDSCAPE ARCHITECTURE
500 OTTAWA ST
CAMPBELL, CA 95010
(925) 522-1216

LANDSCAPE PLAN FOR:
DRONA RESIDENCE
28500 DRIVER AVE
ANGELA HILLS, CALIFORNIA