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**PLANNING DEPARTMENT**

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**DATE:** July 18, 2019

**TO:** Planning Commission

**APPLICANT:** Agoura Wine and Beer Company  
8526 Oso Avenue  
Winnetka, CA 91306

**CASE NOS.:** CUP-01480-2018, SPR-01653-2019 and DINE-01481-2018

**LOCATION:** 28851 Agoura Road

**REQUESTS:** Request for approval of a Conditional Use Permit to allow on-sale and off-sale of alcoholic beverages (Types 20 and 42 ABC licenses) for a new retail wine and beer shop with a tasting bar; approval of a Site Plan/Architectural Review for an outdoor patio and exterior improvements; approval of an Outdoor Dining Permit to allow dining within a new outdoor patio area; and to make a finding of exemption under the California Environmental Quality Act.

**ENVIRONMENTAL DETERMINATION:** Categorically Exempt per Section 15301 of the CEQA Guidelines.

**RECOMMENDATION:** Staff recommends that the Planning Commission approve Conditional Use Permit Case No. CUP-01480-2018, Site Plan/Architectural Review Case No. 01653-2018, and Outdoor Dining Permit Case No. DINE-01481-2018, subject to conditions, based on the findings of the draft resolutions.

**ZONING DESIGNATION:** PD (Planned Development) - Agoura Village Specific Plan

**GENERAL PLAN DESIGNATION:** PD (Planned Development)

## **I. PROJECT BACKGROUND AND DESCRIPTION**

The proposed project is a new retail wine and beer shop (Agoura Wine and Beer Company) with a tasting bar for both wine and beer and an outdoor patio in an existing tenant space in Whizin Market Square, at 28851 Agoura Road. The retail wine and beer shop would occupy and renovate the existing 1,186 square-foot interior space at the eastern end of the building at the south side of the center, parallel to Agoura Road, and fronting the main interior parking lot of the center. The project would renovate this space, along with a 507 square-foot area in the adjacent tenant space on the west side, and add a new outdoor patio area on the south side of the tenant space. The project also includes minor exterior changes to the tenant space. Because alcoholic beverages would be provided on-site and off-site at the wine and beer shop, an Alcoholic Beverage Control (ABC) license from the California Department of Alcoholic Beverage Control is required. The City requires review and approval of a Conditional Use Permit (CUP) by the Planning Commission as a condition precedent for the ABC license. The City also requires a Site Plan/Architectural Review for the outdoor patio and exterior improvements, and an Outdoor Dining Permit (ODP) for the outdoor dining use if four (4) or more tables are proposed. Pre-packaged food would be served, but no cooking would occur on-site. The applicant's intent is to apply for an administrative sign permit at a later date.

The Whizin Market Square site is zoned Planned Development (PD)-Agoura Village Specific Plan (AVSP). The Whizin Market Square contains multiple buildings that include a variety of retail, office and restaurant uses. The center takes access from Agoura Road to the south, Roadside Drive to the north, and Cornell Road to the west. The center is bordered on the north by Roadside Drive, beyond which is the U.S. 101 Freeway; on the south by Agoura Road, beyond which is vacant land and a single-family home in the AVSP area; on the west by Cornell Road, beyond which are commercial retail and restaurant uses; and on the east by a large commercial retail business.

The location of the proposed Agoura Wine and Beer Company establishment was formerly a retail space, which has been vacated. The former retail space would be remodeled to include a retail area with shelves of wine that can be purchased for off-site consumption, a bar area near the back of the tenant space for on-site consumption, and an office and restroom area adjacent to the bar area occupying a portion of the existing vacant tenant space to the west. The retail area, bar area, office, and restrooms would be located within a 1,693 square-foot indoor area. A new 566 square-foot partially enclosed outdoor patio with seating area would be located on the south end of the tenant space. The entrance to the retail wine and beer shop would face north, toward the main parking lot. The outdoor patio area would be accessed from within the wine and beer shop, and a pedestrian exit gate is also proposed along the western side of the new outdoor patio area. The outdoor dining request includes a combination of seating, table and counter tops in the 566 square-foot patio area to seat a total of 33 guests. The total gross floor area for the interior retail and wine tasting area and outdoor patio area would be 2,259 square feet.

The applicant is proposing that Agoura Wine and Beer Company operate Sunday through Thursday from 10:00 a.m. to 10:00 p.m., and 10:00 a.m. to 11:00 p.m. Friday and Saturday. Condition No. 10 of the Draft Resolution for the SPR and ODP identifies these hours of operation. (The CUP Resolution includes this as Condition No. 12.) Another restaurant in the same building, approved by the Planning Commission in April 2018, closes at 10:00 p.m. at the latest. The Planning Commission has discretion to determine whether the additional hour of operation until 11:00 p.m. on Fridays and Saturdays for this project is appropriate.

The exterior changes to the tenant space include new, larger dual glazed fixed windows with bronze trim along the east/side elevation of the existing façade to replace the existing windows. The new outdoor patio area would include a wood trellis cover; fireplace with mantle; stone-clad chimney; and a stucco partial wall three feet, four inches (3'4") high on the south and east sides. The existing asphalt surface would be replaced with concrete slab to accommodate the patio space. Access to the patio would be from within the tenant space by a bronze trimmed panoramic folding glass door. The dark charcoal colored wrought iron pedestrian gate would provide an exit from the patio. The front/north elevation of the wine and beer shop facing the parking lot would be retained with no changes. The front façade of the building would remain white-painted brick.

The Agoura Hills Zoning Ordinance (Section 9120.1.H.2) defines *on-sale* alcoholic beverage establishments as “any establishment wherein alcoholic beverages are sold, served, or given away to be consumed on the premises, and which has obtained or intends to obtain an Alcoholic Beverage Control license type 40, 41, 42, 47, 48, 51, 52, 61, and/or 75. References to an on-sale alcoholic beverage establishment shall include any immediately adjacent area that is owned, leased, or rented, or controlled by the permittee. It shall also include any facility, inclusive of a portion thereof, which is rented out for special event functions wherein alcoholic beverages are sold or given away on the premises and are to be consumed on the premises.” The Agoura Hills Zoning Ordinance (Section 9120.1.H.1) defines *off-sale* alcoholic beverage establishments as “any establishment wherein alcoholic beverages are sold, served, or given away to be consumed off the premises, including, but not limited to, any establishment that has obtained or intends to obtain an Alcoholic Beverage Control license type 20 or 21. References to an off-sale alcoholic beverage establishment shall include any immediately adjacent area that is owned, leased, or rented, or controlled by the permittee.” Agoura Wine and Beer Company has applied for new ABC Type 20 and 42 licenses to sell beer and wine for on-site and off-site consumption.

The purpose of the City ABC Ordinance (AHMC Section 9396.1), which requires a CUP for all on-sale and off-sale alcohol sales, is to regulate potential nuisance-type issues related to alcoholic beverage establishments, such as noise, particularly related to the proximity to residential areas, as well as overall safety issues, and any impacts related to the concentration of such businesses. The Planning Commission may incorporate conditions on a case-by-case basis, following a public hearing, to ensure the intent of the Ordinance is met. In addition to the findings currently required for approval of a CUP, the

Ordinance also requires the Planning Commission to make additional findings relative to alcohol beverage sales and service.

## **II. STAFF ANALYSIS**

### **A. Site Plan and Building**

The purpose of the Planned Development (PD) zone is to designate certain areas of the City for special development and land use regulations that cannot be addressed through the City-wide zoning ordinances. Specific regulations guide development and land uses in an orderly manner so that they are compatible with the existing setting. The PD zone in this area refers to the Agoura Village Specific Plan (AVSP) for development and design standards. The proposed wine and beer shop is located in the AVSP area, Zone D. Wine and beer shops and outdoor dining areas, such as the one proposed here, are permitted uses in Zone D. The new outdoor patio area would be consistent with the AVSP standards for rear setback (zero feet required), and maximum height (35 feet). With the addition of the outdoor patio area, the rear setback, measured from the center's south property line, would change from 66.5 feet to 48 feet. The new trellis cover would be approximately twelve feet, four inches (12'4") high, and the existing height of the building is seventeen feet, seven inches (17'7") high. The AVSP allows a maximum of 60 percent building coverage on a lot. The project site is located within the larger Whizin Market Square that includes other buildings. Currently, the building coverage on the overall site is 22.93 percent. With the addition of the outdoor patio area, the building coverage would be 23.6 percent, consistent with the AVSP 60 percent maximum allowed. The proposed on-sale and off-sale of alcoholic beverages inside the new wine and beer shop and outdoor dining area is allowed in the PD zone in the AVSP area with a Conditional Use Permit (CUP).

Outdoor dining is encouraged in the AVSP area as part of the pedestrian-oriented village concept. The hours of operation are intended to be compatible with the surrounding neighborhood, which includes areas in the AVSP area where residential-commercial mixed-use is allowed, as well as other commercial uses, and a residential neighborhood about 1,000 feet to the southeast. By closing at 10:00 p.m., Sunday through Thursday, evening noise would be limited during the weekdays. On weekend nights, the establishment would operate until 11:00 p.m. New lighting would consist of five (5) track light fixtures in the partially-enclosed outdoor patio area. A condition of approval has been incorporated to ensure light spillover and glare is minimized and the exterior lights are not in use beyond the operating hours. Exterior lights would be focused downwards and shielded to avoid light spillover and glare beyond the outdoor dining areas. Lighting and noise effects would also be minimized by the location of the building, set back 150 feet from Agoura Road. In between the outdoor patio area and Agoura Road are the County Flood Control District channel and landscaping, including trees on the south side of the parking lot.

With regard to the ABC License CUP, as previously noted, land uses adjacent to the Whizin Market Square include commercial uses to the east and west, vacant lots to the

south, beyond Agoura Road, and Roadside Drive and the U.S. 101 Freeway to the north. With the exception of a residence located on the south side of Agoura Road, across from the center, the nearest residential neighborhood is located approximately 1,000 feet to the southeast of the wine and beer shop. The distance from the residential neighborhood provides an adequate buffer between the wine and beer shop and residentially-zoned properties. There is no school or park located within 500 feet of the site. The nearest public school is Agoura High School located approximately 2,150 feet to the north of the tenant space. A private pre-school is located 3,000 feet to the east of the tenant space on Agoura Road. The nearest park or playground is Chumash Park, about 2,000 feet north of the wine and beer shop location. According to the Los Angeles County Sheriff Department, there have been no recent incidents in the Whizin Market Square related to the consumption of alcoholic beverages. Restaurants in the center have the same or similar type of ABC license, including Canyon Club, Plata Taqueria and Cantina, Wood Ranch BBQ and Grill, Numero Uno, Blue Table and Basta Restaurant the latter of which is located in the same building as the proposed project and is currently under construction.

#### B. Architectural Design

The exterior improvements, including patio, would be compatible with the design standards of the AVSP and with the Whizin Market Square design in that there is a mix of neutral colors (white, dark charcoal, natural wood stain) and natural materials (wood, stone) in addition to stucco consistent in design with the buildings in the center and reflective of the natural setting of Agoura Hills. In the outdoor dining area, a wood trellis and half-wall of off-white stucco would complement the architectural style of the building, which consists of off-white stucco and white brick exterior with dark shingle sloped roofs. New windows with bronze trim proposed along the east elevation would replace the existing smaller windows and would be compatible in style with the windows elsewhere on the building.

#### C. Parking

The Whizin Market Square on-site parking area provides a total of 492 marked spaces for the customers of its businesses. The Parking Ordinance requires 15 spaces for each 1,000 square feet of seating and waiting area for a restaurant, and one (1) parking space for each 250 square feet of retail gross floor area. The total seating and waiting areas (including the patio area) would be 592 square feet. This would equate to a demand of nine (9) parking spaces. The total retail area would be 1,557 square feet (includes office and restrooms). This would equate to a demand of six (6) parking spaces. The total combined demand is for fifteen (15) spaces. Previously, the retail uses occupying this same interior area of 1,693 square feet resulted in a parking demand of seven (7) spaces. Staff calculated the available parking spaces, considering the demand from existing tenants at Whizen Market Square, approved projects that have yet to be occupied, and tenant spaces that are vacant now but may be occupied in the future. Of the total 492 existing spaces, staff has determined that 36 spaces are available for use. Therefore, the project's demand for 15 spaces can be accommodated.

D. General Plan Consistency

Staff finds the project will be consistent with the following applicable General Plan goals and policies:

*Goal LU-2: City of Diverse Uses.* A mix of land uses that meets the diverse needs of Agoura Hills' residents, offers a variety of employment opportunities, and allows for the capture of regional population and employment growth.

- Policy LU-2.2: Retail Services. Provide for and encourage the development of a broad range of uses in Agoura Hills' commercial centers that reduce the need to travel to adjoining communities and that capture a great share of local spending.

The Conditional Use Permit, Site Plan/Architectural Review and Outdoor Dining Permit will allow for the sale, service and consumption alcoholic beverages and ancillary food within a new wine and beer shop and proposed outdoor patio area at the Whizin Market Square for visitors and residents of the community. The site is located within the AVSP area, and the use is consistent with the surrounding mix of businesses, which consist of retail, office and restaurant. The project serves to expand the range of goods and services provided in the area and facilitates continued viability of the commercial center. The project would provide a positive experience for patrons and passersby. The outdoor patio area is encouraged in the AVSP to enliven the Village and create a more active pedestrian environment.

*Goal LU-17: Cohesive and Integrated Districts.* Districts containing buildings developed on multiple properties that convey the character of cohesive and distinctly identifiable places, which respect their natural setting and are well designed, reflecting the traditions of the City.

- Policy LU-17.3: Architectural Design Quality. Require that development in mixed use districts convey a high level of architectural design quality and landscape amenity, reflecting the traditions that historically have defined Agoura Hills.

The project would provide an attractive building appearance and outdoor dining environment, improving the aesthetics of the tenant space, including along the Whizin Market Square's southern street frontage. The building's colors would be neutral (dark charcoal, white, natural wood stain) and materials stucco, while incorporating natural elements of wood and stone, compatible with the City's aesthetic and the Whizin Market Square. The design of the outdoor patio includes a seating area with table and counter tops and chairs, as well as ceiling lights in the open patio. Attractive architectural details include a wood trellis, large fixed windows with bronze frames, accordion style door that fully opens to provide flexible space, and a fireplace. The project is buffered from adjacent uses on the south by existing landscaping, including trees, and the flood control channel beyond which is Agoura Road; and on the north, east, and west by the center's parking areas and buildings.

E. Environmental Review

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorically Exempt from the CEQA Guidelines per Section 15301. This exemption includes, but is not limited to, minor changes to an existing facility, such as additions to existing buildings of up to 2,500 square feet. No significant environment impacts are expected, as the project includes interior renovation, and exterior remodel of an existing building, and addition of a partially enclosed outdoor dining patio in an existing paved area. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

**III. RECOMMENDATION**

Based on the above analysis, staff recommends that the Planning Commission approve Conditional Use Permit Case No. CUP-01480-2018, Site Plan/Architectural Review Case No. SPR-01653-2019 and Outdoor Dining Permit Case No. DINE-01481-2018, subject to attached conditions, and based on the findings of the attached draft resolutions.

**IV. ATTACHMENTS**

1. Vicinity Map
2. Draft Resolution for Conditional Use Permit, with Exhibit A Conditions of Approval
3. Draft Resolution for Site Plan/Architectural Review and Outdoor Dining Permit, with Exhibit A Conditions of Approval
4. Project Renderings
5. Reduced Copies of Project Plans
6. Color and Materials Board

**CASE PLANNER:** Renee Madrigal, Associate Planner

# ATTACHMENT 1

## VICINITY MAP



CUP-01480-2018, SPR-01653-2019 and  
DINE-01481-2018



## ATTACHMENT 2

DRAFT RESOLUTION FOR THE CONDITIONAL USE  
PERMIT, WITH EXHIBIT A CONDITIONS OF APPROVAL

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-01480-2018 TO ALLOW THE ON-SALE AND OFF-SALE OF ALCOHOLIC BEVERAGES (TYPE 20 AND 42 ABC LICENSE) FOR A NEW RETAIL WINE AND BEER SHOP WITH TASTING BAR LOCATED AT 28851 AGOURA ROAD; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Agoura Wine and Beer Company with respect to the real property located at 28851 Agoura Road, Assessor's Parcel No. 2061-007-041 and 51, requesting approval of a Conditional Use Permit (Case No. CUP-01480-2018) to allow the on-site and off-site sale of alcoholic beverages (Type 20 and 42 ABC license) for a new retail wine and beer shop with tasting bar and outdoor patio.

Section II. The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorically Exempt from the CEQA Guidelines per Section 15301. This exemption includes, but is not limited to, minor changes to an existing facility, such as additions to existing buildings of up to 2,500 square feet. No significant environmental impacts are expected, as the project includes interior renovation and exterior remodel of an existing building, and the addition of a partially enclosed outdoor dining patio in an existing paved area. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the project and application at a public hearing held on July 18, 2019, at 6:30 p.m. in the City Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforementioned hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforementioned public hearing.

Section V. Conditional Use Permit. Pursuant to Zoning Ordinance Section 9673.2.E of the Agoura Hills Municipal Code and based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, that:

A. The proposed use is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located. The on-sale and off-sale of alcoholic beverages at a new wine and beer shop is permitted in the Planned Development (PD) zone-Agoura Village Specific Plan (AVSP) area with a Conditional Use Permit (CUP). The project complies with the requirements of the PD (AVSP) zone relative to use, lot coverage, building height, and building setbacks.

B. The proposed use is compatible with the surrounding properties, and with the other uses in the center as conditioned. The wine and beer shop is within the Whizin Market Square in the AVSP area, which is occupied by retail, office and restaurant uses. The proposed use is compatible with the surrounding properties, which consist of retail, office, and restaurant uses. Conditions have been incorporated to limit hours of operation and use of exterior lighting to minimize adverse noise and lighting effects on adjacent properties. The property's zoning designation of PD in the AVSP area allows for retail, offices, commercial services, restaurants, and movie theatres.

C. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare. In addition to the on-sale and off-sale of alcoholic beverages within the wine and beer shop, alcoholic beverages will be served within a new outdoor patio area adjacent to the tenant space. The California Department of Alcoholic Beverage Control regulates the sale and dispensing of alcoholic beverages inside as well as outside, and enforces its own public safety regulations, and will regulate the alcohol use for this project. As conditioned, noise will be minimized by restricting the hours of operation, and exterior lighting will not result in light spillover beyond the tenant space, nor will lights be kept on beyond operating hours.

D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance. This permit allows for the on-site and off-site sale of alcoholic beverages at a wine and beer shop with indoor and outdoor seating areas. The wine and beer shop is a permitted use in the PD zone in the AVSP, and the on-sale and off-sale consumption of alcoholic beverages is allowed pursuant to a Conditional Use Permit. The project meets the development standards of the AVSP and the Zoning Ordinance relative to setbacks, building height and lot coverage.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community. The Whizin Market Square currently hosts 44 tenants. With the inclusion of this new wine and beer shop, there will be six (6) restaurants and this wine and beer shop that serve alcoholic beverages, representing six (6) percent of the uses and so maintaining land use diversity. The request is subject to the Department of Alcoholic Beverage Control's final determination for concentration of licenses. The AVSP encourages a variety of food and beverage establishments, and outdoor dining, as part of a pedestrian-oriented Village.

F. The proposed use is consistent with the City's General Plan. The project is consistent with the Land Use and Community Form Goals LU-2 and LU-17 and Policy LU-2.2 Retail Services and Policy LU-17.3 Architectural Design Quality. The site is

located in the AVSP area and the use will be consistent with the surrounding mix of businesses, which include retail, office and restaurant. The project expands the range of goods and services provided in the area and facilitates continued viability of the commercial center. The architectural design, colors and materials will be consistent with the surrounding buildings, with neutral colors (dark charcoal, white and natural wood stain) and natural materials (wood and stone) along with stucco. The project offers additional amenities to the Whizin Market Square and Agoura Village with the outdoor patio area.

Section VI. Alcoholic Beverage Sales. Pursuant to Section 9396.3 of the Agoura Hills Zoning Ordinance, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds that:

A. The requested use at the proposed location will not adversely affect the use of a school, park, playground or similar use within a 500-foot radius, as the wine and beer shop is located within an established retail center, is not within a 500-foot radius of these uses, and is screened by structures or landscaping. The nearest school, park, playground or similar use is at least 2,000 feet away.

B. The requested use at the proposed location is sufficiently buffered by public or private improvements from residentially zoned areas within the immediate vicinity so as not to adversely affect said areas. With the exception of one (1) house across Agoura Road in the AVSP commercial-residential mixed-use area, a minimum 1,000-foot of separation exists between the shopping center and the nearest existing residential community to the southeast. There is no direct access from the wine and beer shop to the homes in this residential neighborhood. The Whizin Market Square building where the tenant space is located is set back from Agoura Road, with the flood control channel and street landscaping, including trees, buffering the shopping center from Agoura Road. The wine and beer shop closes at 10:00 p.m. Sunday through Thursday, and at 11:00 p.m. Friday and Saturday, thereby minimizing noise impacts to surrounding tenants and properties, and restrictions on lighting will minimize adverse effects to neighboring properties. Mixed-use commercial and residential uses are allowed across the street on Agoura Road as part of the AVSP.

C. The exterior appearance of the structure will not be inconsistent with the external appearance of commercial structures already constructed or under construction within the immediate neighborhood so as to cause blight or property deterioration, or to substantially diminish or impair property values within the neighborhood, as conditioned. With the exception of the new outdoor dining area that would provide aesthetic improvements to the rear of the building, only minor improvements will occur to the exterior of the tenant space. The improvements are consistent with the theme of the shopping center by incorporating neutral colors (dark charcoal, white and natural wood stain) and natural materials (wood and stone), in addition to stucco and brick that are currently on the building. Therefore, the project will be consistent with the external appearance of the existing commercial structures within the center and surrounding area. The project will not cause blight or property deterioration, or substantially diminish or impair property values within the neighborhood, as the sale and consumption of alcoholic

beverages will occur within a wine and beer shop and outdoor dining area, and will be consistent with other similar uses in the retail center. The hours of operation will be restricted, and exterior lighting will be focused downward to avoid spillover to adjacent areas and turned off at the close of business.

D. The upkeep and operating characteristics are compatible with, and will not adversely affect, the livability or appropriate development and use of abutting properties and the surrounding neighborhood. The on-site consumption of alcoholic beverages will not affect the use of abutting properties because the tenant space is surrounded by other commercial establishments in the Whizin Market Square. The alcoholic beverage establishment use will be held to the same operational standards, which includes exterior appearance of the structure, hours of operation, lighting and parking, as the City has established for other retail/commercial businesses in the shopping center, and will be subject to the City's nuisance laws.

E. The sale of alcoholic beverages may be restricted to certain hours of each day of the week as necessary to ensure that activities related to the project are compatible with the quiet enjoyment of the neighborhood. The proposed hours of alcohol beverage sales, as conditioned, ensure that activities related to the project are compatible with the quiet enjoyment of the neighborhood. The on-sale and off-sale of alcoholic beverages in the wine and beer shop is only permitted between the hours of 10:00 a.m. to 10:00 p.m. Sunday through Thursday and 10:00 a.m. to 11:00 p.m. Friday and Saturday, which will minimize the potential for impacts on the quiet enjoyment of the nearby residential neighborhood.

F. If an off-sale alcoholic establishment, the requested use is not located in the Freeway Corridor (FC) Overlay District and use district, unless it is a supermarket/food store larger than ten thousand (10,000) square feet of floor area. The project is not within the FC Overlay District. Therefore, this finding does not apply.

G. The requested use will not contribute to an undue concentration of alcoholic beverage establishments in the area. The restaurant is within a commercial multi-tenant center. Of the 44 existing tenants, only seven (7) serve alcoholic beverages including this project. Upon review of the project by the City, the Department of Alcoholic Beverage Control is responsible for determining whether the type of request is within acceptable levels of license concentration.

H. The requested use is not located in a high-crime area, or where a disproportionate number of police calls occur. The Los Angeles County Sheriff's Department has confirmed that the requested use is not located in a high-crime area, or where a disproportionate number of police calls occur.

I. If the sale of alcohol is proposed at an establishment that also offers live entertainment, said conditional use permit request shall be reviewed in conjunction with the conditional use permit for live entertainment. Live entertainment is not being requested at this time. Therefore, this finding is inapplicable to the project.

Section VII. Based on the aforementioned findings, the Planning Commission hereby approves Case No. CUP-01480-2018, subject to the conditions attached hereto as Exhibit A, with respect to the property described in Section I hereof.

Section VIII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 18<sup>th</sup> day of July, 2019, by the following vote to wit:

AYES: (0)  
NOES: (0)  
ABSENT: (0)  
ABSTAIN: (0)

\_\_\_\_\_  
John Asuncion, Chairperson

\_\_\_\_\_  
Doug Hooper, Secretary

Exhibit A  
CONDITIONS OF APPROVAL  
(Case No. CUP-01480-2018)

PLANNING DEPARTMENT

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the required forms and related fees with the City.
2. The approval of this permit shall not be effective for any purpose until the Applicant has agreed in writing that the Applicant is aware of, and accepts, all Conditions of this Permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to, and requires complete conformation to the approved labeled exhibits: Site Plan, Floor Plan, Roof Plan, Outdoor Patio Plan and Elevation Plans.
4. If any provision of these permits is held or declared invalid, the approval shall be void and the privileges granted hereunder shall lapse.
5. If any condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the Applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit.
7. Unless this permit is used within two (2) years from the date of City approval, Conditional Use Permit Case No. CUP-01480-2018 will expire.
8. Operation of the use shall not be granted until all Conditions of Approval have been complied with as determined by the Planning Director.
9. The Applicant, and property owner(s), and their successors in interest, shall indemnify, defend and hold harmless the City, its officials, officers, agents and employees (collectively "Indemnitees") from and against any and all claims, actions, lawsuits, damages, losses and liabilities arising or resulting from the granting of this approval by the City or the exercise of the rights granted by this approval. This indemnification obligation shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the Indemnitees in connection with any such claims, actions or lawsuits, any expert fees, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such claim, action or lawsuit. The City shall promptly notify Applicant and property owners of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. In the event such a legal action is filed, the City shall estimate its expenses for litigation. Applicant or property owners shall



deposit such amount with the City or enter into an agreement with the City to pay such expenses as they become due. Applicant and property owners shall reimburse the City, and each of the Indemnitees for any and all legal expenses and costs incurred by it in enforcing the indemnity herein provided. Although the Applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the Applicant of any obligation under this condition.

10. The Applicant shall comply with all requirements of the California Department of Alcohol Beverage Control.
11. The CUP shall be valid strictly for license type 20 and 42 as defined by the California Department of Alcohol Beverage Control.
12. The approved hours of operation are from 10:00 a.m. to 10:00 p.m. Sunday through Thursday, and 10:00 a.m. to 11:00 p.m. Friday and Saturday.
13. Live entertainment is not permitted as part of this approval.
14. The Planning Director is authorized to prepare and execute a letter of Public Convenience or Necessity for this approval, if required by the California Department of Alcohol Beverage Control.
15. In accordance with Zoning Ordinance Section 9710, reconsideration of the Conditional Use Permit shall be required when any of the following conditions of the business apply:
  - A. The establishment changes its type of retail liquor license with the Department of Alcoholic Beverage Control.
  - B. There is substantial modification to the mode or character of operation, including, but not limited to, any increase of 20 percent or more in the floor area devoted to alcohol sales.
  - C. The off-site or on-site alcoholic beverage establishment expands a customer service area primarily devoted to the sale or service of any alcoholic beverages and/or increases the number of customer seats primarily devoted to the sale or service of any alcoholic beverages.
  - D. The alcoholic beverage license has either been revoked or suspended for any period by ABC.
16. Exterior lights shall be turned off at close of business, and shall be focused downwards and shielded to avoid light spillover and glare beyond the outdoor dining areas. Exterior lighting, including that of the outdoor patio, is subject to Planning Director review and approval.

END

## ATTACHMENT 3

DRAFT RESOLUTION FOR THE SITE  
PLAN/ARCHITECTURAL REVIEW AND OUTDOOR  
DINING PERMIT, WITH EXHIBIT A CONDITIONS OF  
APPROVAL

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01653-2019 FOR A NEW OUTDOOR PATIO AND EXTERIOR IMPROVEMENTS; APPROVING OUTDOOR DINING PERMIT CASE NO. DINE-01481-2018 TO ALLOW DINING WITHIN A NEW OUTDOOR PATIO AREA LOCATED AT 28851 AGOURA ROAD; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Agoura Wine and Beer Company with respect to the real property located at 28851 Agoura Road, Assessor's Parcel No. 2061-007-041 and 51, requesting approval of a Site Plan/Architectural Review (Case No. SPR-01653-2019) for a new outdoor patio and exterior improvements; and an Outdoor Dining Permit (Case No. DINE-01481-2018) to allow outdoor dining within a new outdoor patio area.

Section II. The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorically Exempt from the CEQA Guidelines per Section 15301. This exemption includes, but is not limited to, minor changes to an existing facility, such as additions to existing buildings of up to 2,500 square feet. No significant environment impacts are expected, as it includes interior renovation and exterior remodel of an existing building, and the addition of a partially enclosed outdoor dining patio in an existing paved area. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the project and application at a public hearing held on July 18, 2019, at 6:30 p.m. in the City Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforementioned hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforementioned public hearing.

Section V. Architectural Review. Based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning

Commission finds, pursuant to Zoning Ordinance Section 9677.7.G of the Agoura Hills Municipal Code, that:

A. The proposed development is consistent with the General Plan, and design standards adopted by the City Council. The project complies with the City General Plan Goals LU-2 and LU-17 and Policies LU-2-2 and LU-17.3. The site is located in the AVSP area and the use will be consistent with the surrounding mix of businesses, which include retail, office and restaurant. The project expands the range of goods and services provided in the area and facilitates continued viability of the commercial center. The architectural design, colors and materials will be consistent with the surrounding buildings, with neutral colors (dark charcoal, white, natural wood stain) and natural materials (wood and stone) along with stucco. The project offers additional amenities to the Whizin Market Square and Agoura Village with the outdoor patio area for people to gather.

B. The design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood. The proposed project will not unreasonably interfere with the use and enjoyment of existing or proposed commercial developments in the vicinity because the project meets all requirements of the Zoning Ordinance, including height, setbacks and lot coverage. It will not create traffic hazards or congestion, as the use is a retail wine and beer shop with minimal expected traffic trips generated, and therefore no further traffic impact analysis is required. Access to the site will continue to be via Agoura Road, Cornell Road and Roadside Drive. The project improves the appearance of the building and so would increase the desirability of the neighborhood.

C. The design of the proposed development is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of the City. The architectural design, colors and materials will be compatible with the surrounding neighborhood, with neutral colors (dark charcoal, white and natural wood stain) and natural materials (wood and stone) along with stucco. The existing brick walls on the tenant space would remain. The project offers additional amenities to the Whizin Market Square and Agoura Village with the outdoor patio area. The project meets the development standards established by the Zoning Ordinance with regard to lot coverage, building height and building setbacks. The wine and beer shop is a permitted use in the PD zone.

D. The design of the proposed development provides a desirable environment for its occupants, as well as for neighbors, and is aesthetically of good composition, materials, textures, and colors. The architectural design, colors and materials are compatible with the surrounding buildings, with neutral colors (dark charcoal, white and natural wood stain) and natural materials (wood and stone) along with stucco, and the existing brick walls of the tenant space. The exterior changes include new dual glazed

fixed windows along the east/side elevation, a new outdoor patio area with a wood trellis cover, fireplace with mantle and chimney, and a partial wall on the south and east sides.

E. The proposed use complies with all applicable requirements of the district in which it is located and all other applicable requirements. The proposed wine and beer shop use and outdoor patio and exterior improvements are allowed in the PD zone in the AVSP. Development standards have been met with regard to site coverage, building height and setbacks.

F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare, as conditioned. The new outdoor patio and interior and exterior improvements will be constructed to comply with the City's Building Code. The site already provides the necessary vehicular and pedestrian access in and out of the property, and throughout the parcel as well, which will not be modified. The parking demand will be met on-site in the existing parking lot. The site will continue to be served by the existing public sewer system. No light spillover will occur beyond the restaurant tenant space, and the hours of operation are restricted to minimize noise.

Section VI. Agoura Village Specific Plan. Based upon the evidence presented at the hearing, including the staff report and oral testimony, the Planning Commission, pursuant to Chapter 9 of the AVSP, finds that:

A. The proposed project complies with relevant provisions of the adopted Specific Plan. The new outdoor patio area facing Agoura Road is consistent with the Village-like environment desired in AVSP where there are spaces for people to gather. The new windows on the east side elevation and door on the rear of the tenant space, as well as the design of the outdoor dining area, are consistent with the architectural style of the building. The outdoor patio area addition meets the minimum development standards of the AVSP with regard to building setbacks, building height, and site coverage.

B. The proposed project incorporates design measures to ensure maximum compatibility with the vision of the Agoura Village Specific Plan. The project incorporates detailing and architectural features on the southern side of the building, such as a wood trellis, off-white stucco half walls, and panoramic glass door. In addition to wood accents and neutral colors, a stone chimney and masonry fireplace add to the rustic element consistent with the natural setting of the Village.

C. The proposed project incorporates architectural elements that enhance the area. The appearance of the southern façade of the tenant space will be improved with a partially enclosed outdoor patio area with stucco half-walls, a trellis, and fireplace that provide an attractive, inviting environment. These amenities and features will not detract from the simple architectural style of the building. There is no provision for landscaped planters along this building in the Whizin Market Square, and the project will not create new landscaped planters. Therefore, the finding for landscaping elements is not applicable.

D. The project's vehicular access and parking plan minimizes conflicts and promotes efficient internal circulation and shared use of facilities wherever feasible. The project will not change the established access to and from the Whizin site and to the building. Three driveways will continue to serve the site. The project will not alter the vehicular circulation, access or parking layout on-site, as the project consists of interior improvements, minor exterior building wall changes and an outside patio at the rear of the tenant space, while the Whizin site's parking and vehicle circulation are located within the front of the tenant space.

Section VII. Planned Development District. Based upon the evidence presented at the hearing, including the staff report and oral testimony, the Planning Commission, pursuant to Zoning Code Section 9496, finds that:

A. All the required findings for a conditional use permit can be made. The project complies with all the required findings for a conditional use permit, Section 9673 as follows.

1. The proposed use is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located. The wine and beer shop is permitted in the Planned Development (PD) zone in the Agoura Village Specific Plan (AVSP) area. The project complies with the requirements of the zone and AVSP relative to use, lot coverage, building height, and building setbacks.

2. The proposed use is compatible with the surrounding properties, and with the other uses in the center, as conditioned. The wine and beer shop is within the Whizin Market Square in the AVSP area, which is also occupied with retail, office and restaurant uses. The proposed use is compatible with the surrounding properties, which consist of retail, office, and restaurant uses. Conditions have been incorporated to limit hours of operation and use of exterior lighting to minimize adverse noise and lighting effects on adjacent properties. The property's zoning designation of PD and the AVSP allow for the proposed use, as well as retail, offices, commercial services, restaurants, and movie theatres.

3. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare. In addition to on-sale and off-sale of alcoholic beverages within the wine and beer shop, alcoholic beverages will be served within a new outdoor patio area adjacent to the tenant space. The new outdoor patio and interior and exterior improvements will be constructed to comply with the City's Building Code. The site already provides the necessary vehicular and pedestrian access in and out of the property, and throughout the parcel as well, which will not be modified. Available on-site parking is adequate to accommodate the use. As conditioned, the hours of operation are restricted to minimize noise, and all exterior lighting will not result in light spillover beyond the tenant space. The use will be served by the existing public sewer system.

4. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance. The wine and beer shop is a permitted use in the PD zone in the AVSP. The project meets the development standards of the AVSP and the Zoning Ordinance relative to setbacks, building height and lot coverage.

5. The distance from other similar and like uses is sufficient to maintain the diversity of the community. The Whizin Market Square currently hosts 44 tenants. With the inclusion of this new wine and beer shop, there will be six (6) restaurants and this wine and beer shop that serves alcoholic beverages, representing six (6) percent of the uses and so maintaining land use diversity. The AVSP encourages a variety of food and beverage establishments, and outdoor dining, as part of a pedestrian-oriented Village with spaces for people to gather.

6. The proposed use is consistent with the City's General Plan. The project is consistent with the Land Use and Community Form Goals LU-2 and LU-17 and Policy LU-2.2 Retail Services and Policy LU-17.3 Architectural Design Quality. The site is located in the AVSP area and the use will be consistent with the surrounding mix of businesses, which include retail, office and restaurant. The project expands the range of goods and services provided in the area and facilitates continued viability of the commercial center. The architectural design, colors and materials will be consistent with the surrounding buildings, with neutral colors (dark charcoal, white and natural wood stain) and natural materials (wood and stone) along with stucco and the existing brick. The project offers additional amenities to the Whizin Market Square and Agoura Village with the outdoor patio area.

B. The development complies with the provision of Section 9498, Development Standards and Regulations. The project is in compliance with the AVSP maximum building coverage, setbacks and building height requirements, and the proposed use is allowed in the AVSP.

C. Adequate evidence and guarantees have been provided to indicate that all other provisions of the zoning district can be satisfied. Adequate evidence has been provided in the form of architectural and site plans. The site plan shows adequate parking and access into the site. The floor plan shows adequate egress and ingress into the building and outdoor dining areas.

Section VIII. Based on the aforementioned findings, the Planning Commission hereby approves Case Nos. SPR-01653-2019 and DINE-01481-2018, subject to the conditions attached hereto as Exhibit A, with respect to the property described in Section I hereof.

Section IX. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 18<sup>th</sup> day of July, 2019, by the following vote to wit:

AYES: (0)

NOES: (0)

ABSENT: (0)

ABSTAIN: (0)

---

John Asuncion, Chairperson

---

Doug Hooper, Secretary



Exhibit A  
CONDITIONS OF APPROVAL  
(Case Nos. SPR-01653-2019 and DINE-01481-2018)

PLANNING DEPARTMENT

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the required forms and related fees with the City.
2. The approval of these permits shall not be effective for any purpose until the Applicant has agreed in writing that the Applicant is aware of, and accepts, all Conditions of these Permits with the Planning Department.
3. Except as modified herein, the approval of this action is limited to, and requires complete conformation to the approved labeled exhibits: Site Plan, Floor Plan, Roof Plan, Outdoor Patio Plan and Elevation Plans
4. If any provision of these permits are held or declared invalid, the approval shall be void and the privileges granted hereunder shall lapse.
5. If any condition herein is violated, these permits shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Site Plan/Architectural Review and Outdoor Dining Permit.
7. Unless these permits are used within two (2) years from the date of City approval, Site Plan/Architectural Review Case No. SPR-01480-2019 and Outdoor Dining Permit Case No. DINE-01481-2018 will expire.
8. Operation of the use shall not be granted until all Conditions of Approval have been complied with as determined by the Planning Director.
9. The Applicant, and property owner(s), and their successors in interest, shall indemnify, defend and hold harmless the City, its officials, officers, agents and employees (collectively "Indemnitees") from and against any and all claims, actions, lawsuits, damages, losses and liabilities arising or resulting from the granting of this approval by the City or the exercise of the rights granted by this approval. This indemnification obligation shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the Indemnitees in connection with any such claims, actions or lawsuits, any expert

fees, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such claim, action or lawsuit. The City shall promptly notify Applicant and property owners of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. In the event such a legal action is filed, the City shall estimate its expenses for litigation. Applicant or property owners shall deposit such amount with the City or enter into an agreement with the City to pay such expenses as they become due. Applicant and property owners shall reimburse the City, and each of the Indemnitees for any and all legal expenses and costs incurred by it in enforcing the indemnity herein provided. Although the Applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the Applicant of any obligation under this condition.

10. The approved hours of operation are from 10:00 a.m. to 10:00 p.m. Sunday through Thursday, and 10:00 a.m. to 11:00 p.m. Fridays and Saturdays.
11. Signage is not included as part of this approval.
12. Live entertainment is not permitted as part of this approval.
13. Exterior lights shall be turned off at close of business, and shall be focused downwards and shielded to avoid light spillover and glare beyond the outdoor dining areas. Exterior lighting, including that of the outdoor patio, is subject to Planning Director review and approval.

#### BUILDING AND SAFETY DEPARTMENT

14. All exterior materials used for eaves, sidings, porch, patio, decks, canopies, carport and other similar structures need to meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code.
15. If the plans are submitted to Building and Safety Department prior to January 1, 2020, this project shall be subject to the 2016 California Building, Mechanical, Plumbing, Electrical, Energy, Green Building Codes, 2017 Los Angeles County Fire Code and Agoura Hills Municipal Code. If plans are submitted after January 1, 2020, the 2019 California Codes with the latest amendments will be enforced.
16. Los Angeles County Health Department Approval will be required for this project.
17. Las Virgenes Municipal Water District approval will be required for this project.
18. Los Angeles County Fire Department approval will be required for this project.
19. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Mechanical, Electrical,

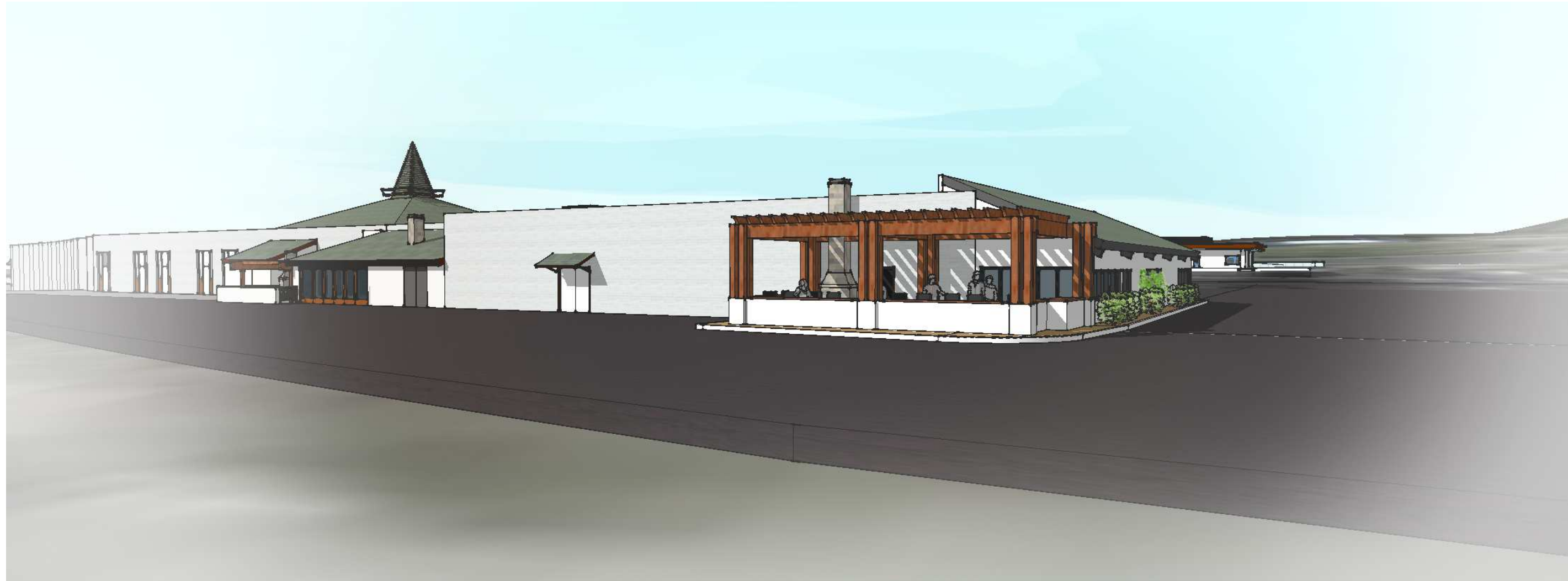
Plumbing, Energy Plans, will need to be submitted to Building and Safety Department for plan review and approval. Please be advised that this is a preliminary review and does not constitute a final Building and Safety approval.

20. A urinal shall be installed in the men's bathroom and shall meet all accessibility requirements.
21. The 42" high movable retail displays in the bar area, adjacent to the exterior wall, cannot have shelving. This area cannot be utilized for any wine tasting purposes and can only be used for display of products.

END

ATTACHMENT 4

PROJECT RENDERINGS



**RENDERING**  
N.T.S.





**RENDERING**

N.T.S.





**RENDERING**

N.T.S.





**RENDERING**  
N.T.S.







**RENDERING**

N.T.S.





**RENDERING**  
N.T.S.

A  
6



**COLORED 3D SOUTH ELEVATION**

N.T.S.





**COLORED 3D EAST ELEVATION**

N.T.S.





**COLORED SOUTH ELEVATION**

N.T.S.





**COLORED EAST ELEVATION**

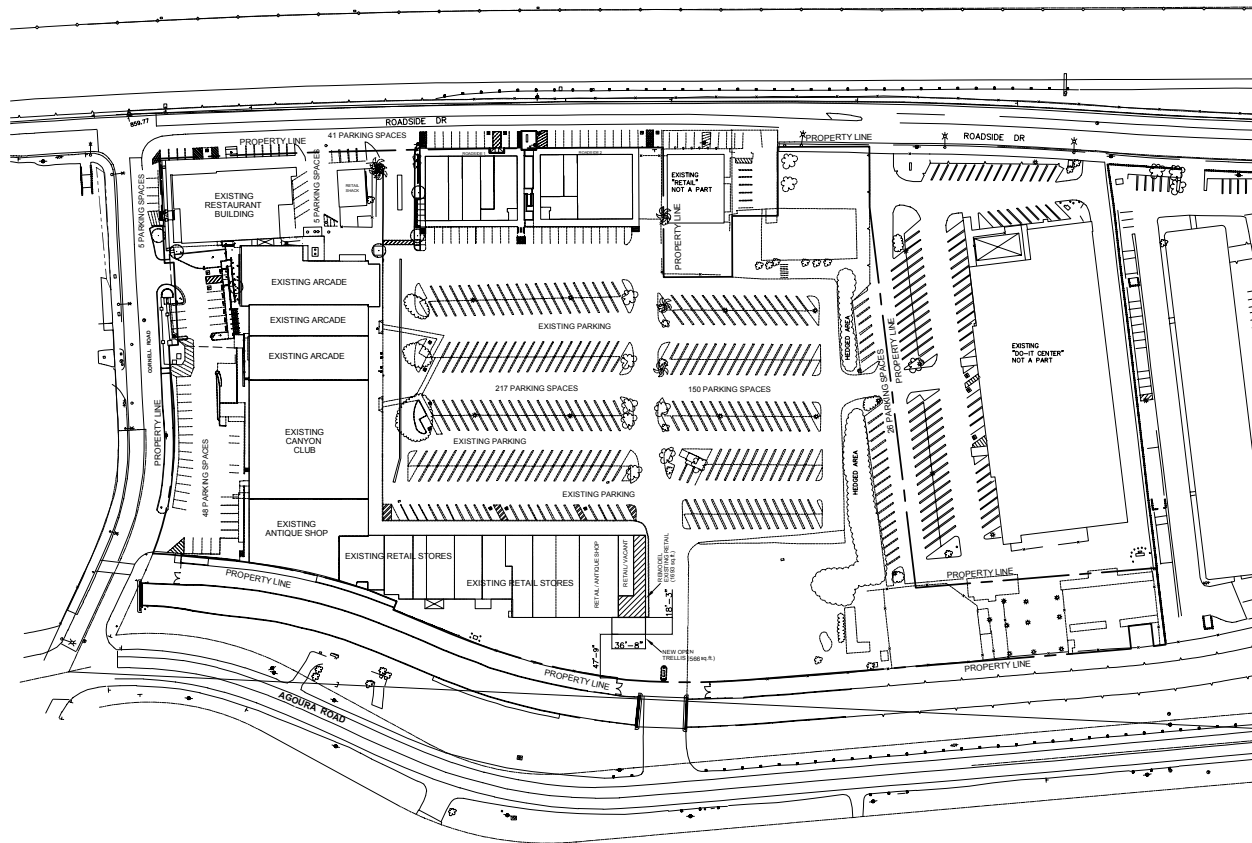
N.T.S.



## ATTACHMENT 5

### REDUCED COPIES OF PROJECT PLANS

All drawing and specifications on these plans are the property of Structural Solutions. And shall remain Structural Solutions property. They are not to be produced and/or used on any other project without written permission by Hrach, Javadiviesan.



**SITE PLAN**  
SCALE: 1/64" = 1'-0"



**GENERAL NOTES:**

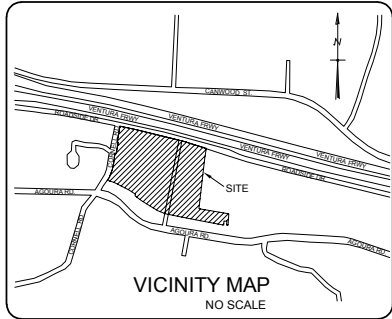
- SCOPE OF WORK:
- The work described in these plans is to remodel existing retail to wine cellar. Build new outdoor patio.
  - All work to be complete and ready for use upon completion of the job.
  - The work is to include the obtaining by the appropriate sub-contractor a valid permit for his work, where required.
  - All work is to conform to all governing Municipal, County, State and Federal Codes and regulations.
- GENERAL:
- The General Contractor is to obtain any required O.S.H.A. permits that may be required.
  - The General Contractor is to be responsible for all work to be done on the job.
  - The job site is to be kept clear of all excess materials, equipment and debris.
  - The General Contractor shall maintain temporary toilet facilities on the job site at all times during construction.
  - The approved stamped set of plans together with all permits shall be on the job site at all times.
  - Bedrooms and hallways to have hard wired smoke detector/ carbon monoxide with battery back up.

**SUMMARY OF PROJECT:**

Legal Description:  
APN # 2061-007-041 #2061-007-051 #2061-007-052  
\*TR=LICENSED SURVEYOR'S MAP AS PER BK 15 P 8-9  
OF LS\*LOT COM AT INTERSECTION OF NE LINE OF  
LOT 16 WITH A LINE CON-CENTRIC AND PARALLEL  
WITH AND DIST SW LOT 19

Size of land: 9.82 ac.  
Remodel (E) Retail: 1,693 sq.ft.  
(N) Open Trellis: 566 sq.ft.  
Wine Tasting Area: (566 patio+ 945 inside) 1,511 sq.ft.  
Retail Area: (945retail +348bath.area+ 155office) 1,452 sq.ft.  
Number of Existing Parking: (No Change) 492 spaces

Zoning: AVSP-PD  
Occupancy Group: M  
Type of Construction: III-B (Sprinklered)



**INDEX TO SHEETS**

No.	Description
A1	Site Plan, Vicinity Map, Index and Notes
A2	Interior Floor Plan
A3	Shell Building Roof Plan
A4	Patio Floor and Roof Plan
A5	Patio + Shell Building Elevations
A6	Patio Elevation

OWNER:  
**WINE CELLAR / OPEN TRELIS**  
ADDRESS: 28851 ROADSIDE DR., AGOURA HILLS, CA, 91301

OWNER:  
**GINA SEIDENGLANZ**  
28851 ROADSIDE DR.  
AGOURA HILLS, CA, 91301  
(818) 542-3424

STRUCTURAL DESIGN:  
**STRUCTURAL SOLUTIONS**  
HRACH JAVADIVIESAN, Civil Engineer  
411 North Central Avenue # 605  
Glandale, CA, 91203  
(619) 240-4330  
structural@structsol.com

PROJECT  
**1806**

SHEET  
**A1**

OF 6

1/32" SCALE

SITE PLAN

Plotted on 10/31/2018



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**LEGEND:**

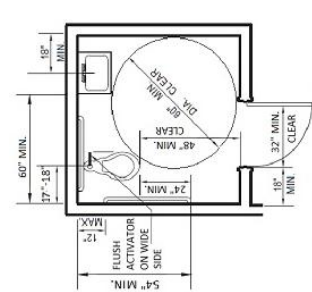
- EXISTING WALL
- NEW WALL
- WALL TO BE REMOVED
- (E) EXISTING
- (N) NEW

**DOOR & WINDOW SCHEDULE:**

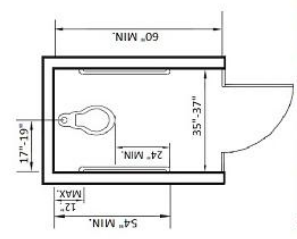
No.	Size	Type	Frame	Glazing	U-Fact.	SHGC	Hrdwr	Qty	Comment
(A)	4'-0" x 3'-6"	FIXED PANELS	Metal	DUEL-GL	0.28	0.20	N/A	4	Fixed Panels to match
(1)	3'-0" x 6'-8"	SOLID CORE	Wood	N/A			LEVER	1	(E) Entry Door
(2)	4'-0" x 6'-8"	RETRACTABLE PANELS	Metal	1/2" GLASS	0.28	0.20	LATCH	1	RETRACTABLE PANELS, TEMPERED GLASS
(3)	3'-0" x 6'-8"	HOLLOW CORE	Wood	N/A			LEVER	2	(N) ADA BATH DOOR
(4)	3'-0" x 6'-8"	SOLID CORE	Wood	N/A			LEVER	1	(E) Rear Exit Door
(5)	3'-0" x 6'-8"	HOLLOW CORE	Wood	N/A			LEVER	1	(E) OFFICE DOOR

1. All exterior openings to be security protected.  
 2. All glazing within 18" of the floor and doors to be tempered glass.  
 3. All exterior openings to be weatherstripped and sealed.  
 4. Security locking devices to be provided on all exterior openings.

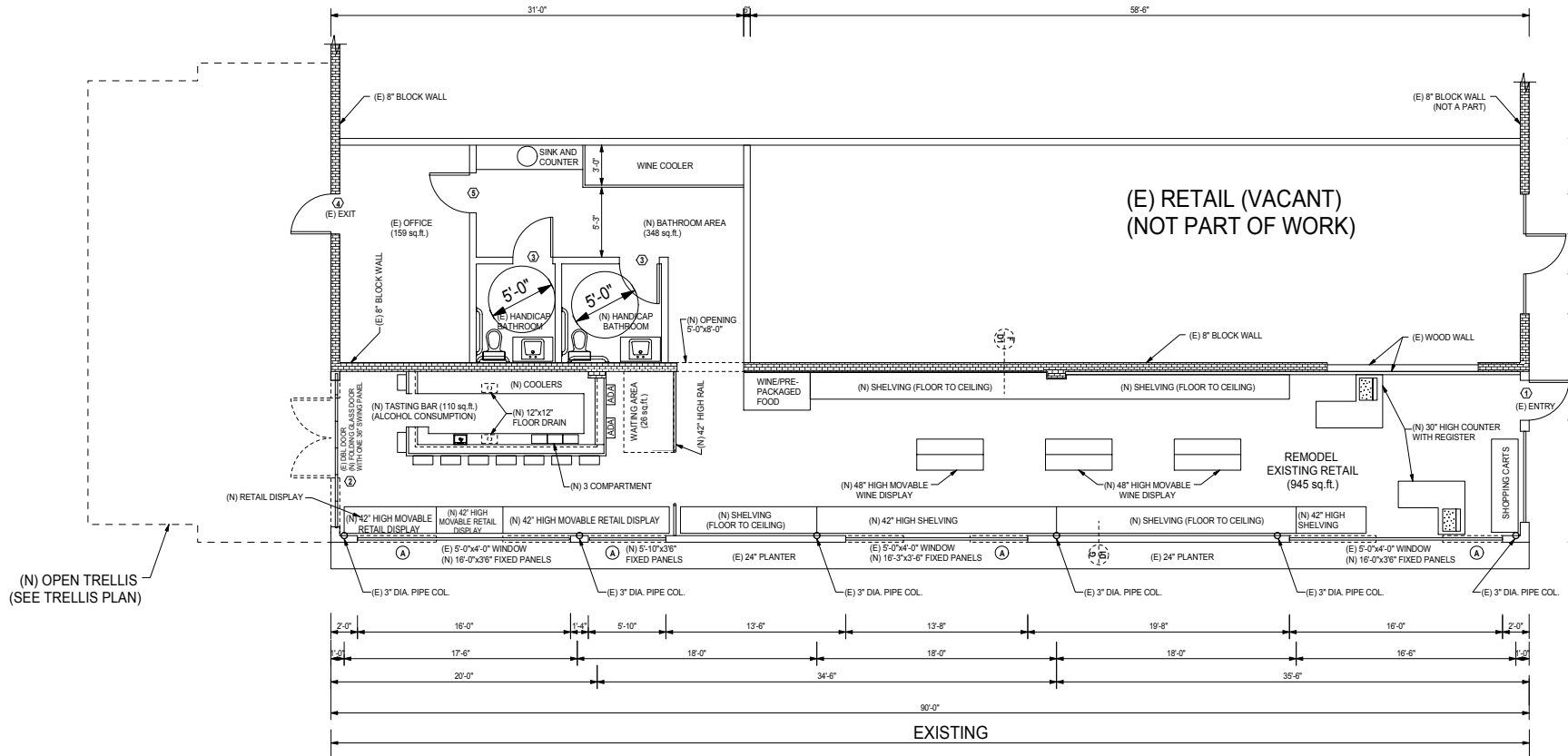
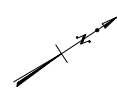
NOTE: THE NFPA TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TABULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.



(b) SINGLE-ACCOMMODATION TOILET FACILITY



(d) AMBULATORY ACCESSIBLE COMPARTMENT

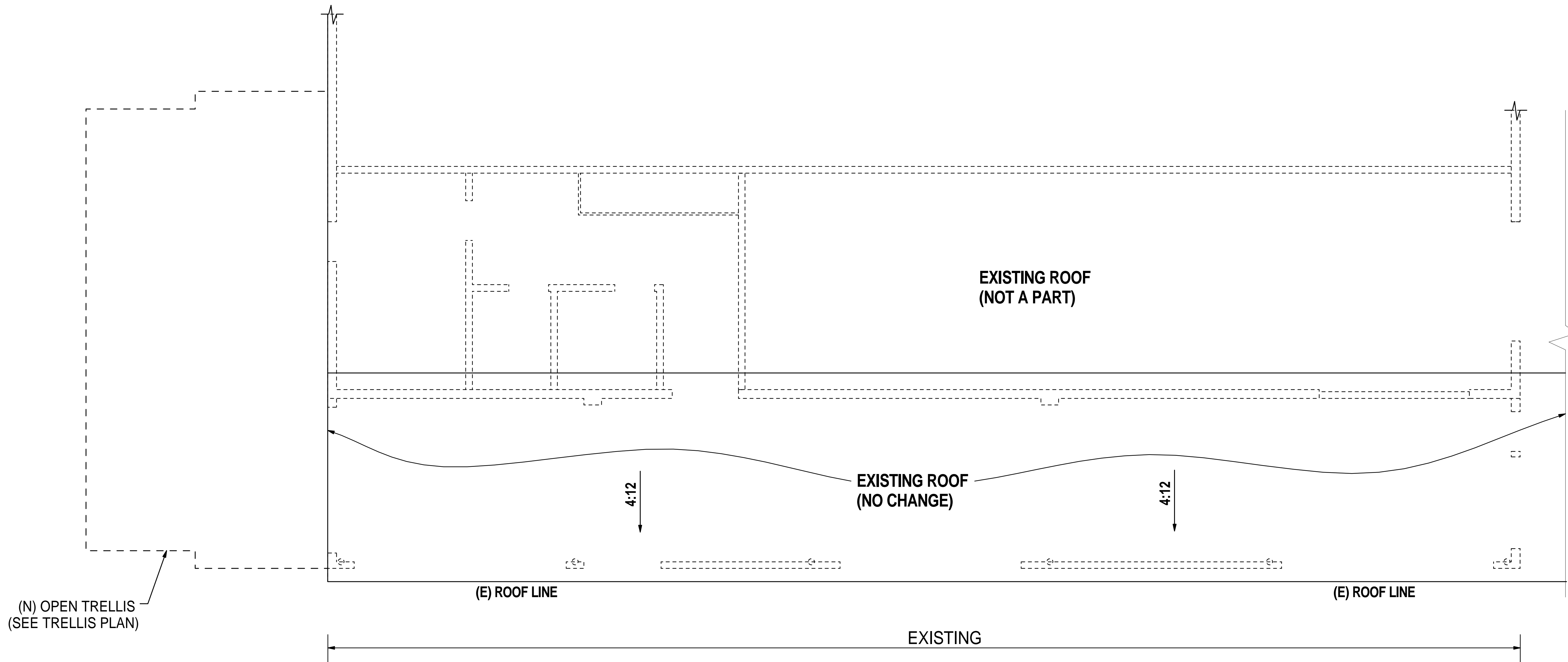


(E) RETAIL (VACANT)  
(NOT PART OF WORK)

OWNER: **WINE CELLARI PATIO**  
 ADDRESS OF JOB: 28851 ROADSIDE DR. AGOURA HILLS, CA, 91301  
 OWNER: **GINA SEIDENGLAZ**  
 ADDRESS OF OFFICE: 28851 ROADSIDE DR. AGOURA HILLS, CA, 91301  
 (818) 442-3424  
 STRUCTURAL DESIGNER: **STRUCTURAL SOLUTIONS**  
 HRACH JAVAD/ESHAN Chief Engineer  
 411 North Central Avenue #606  
 Orange, CA 92667  
 (714) 242-0200 www.structsolutions.com  
 CIVIL ENGINEER: **STRUCTURAL SOLUTIONS**  
 PROJECT: **1806**  
 SHEET: **A-2**  
 PLOTTED ON: 06/04/2019

**FLOOR PLAN (INTERIOR)**  
SCALE: 1/4" = 1'-0"

All drawing and specifications on these plans are the property of Structural Solutions. And shall remain Structural Solutions property. They are not to be produced and/or used on any other project without written permission by Hrach Javaadvesian.



**ROOF PLAN (INTERIOR)**  
SCALE: 1/4" = 1'-0"

SCOPE OF WORK:  
**WINE CELLAR/ PATIO**  
ADDRESS OF JOB:  
**28851 ROADSIDE DR. AGOURA HILLS, CA, 91301**

OWNER:  
**GINA SEIDENGLANZ**  
28851 ROADSIDE DR.  
AGOURA HILLS, CA, 91301  
(818) 642-3424

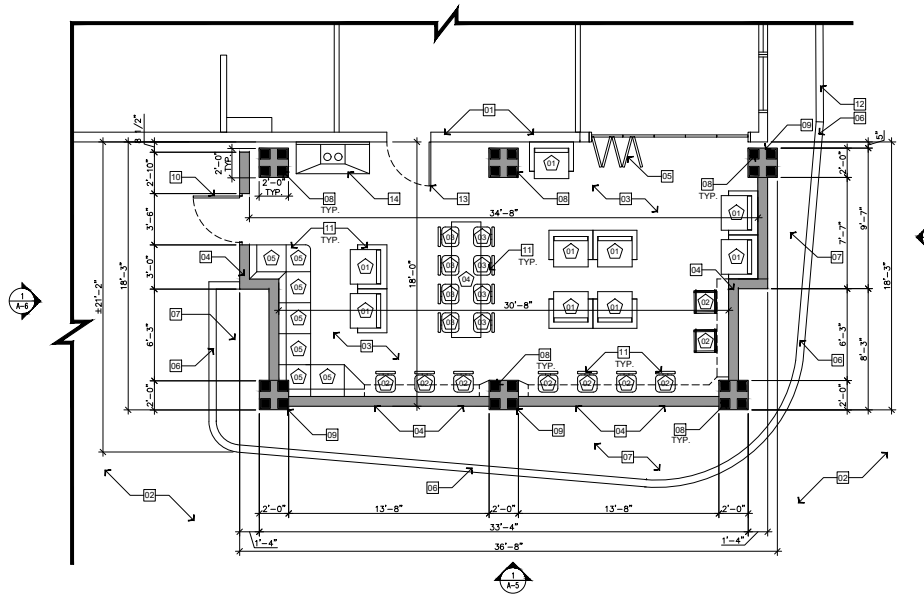
STRUCTURAL DESIGN:  
**STRUCTURAL SOLUTIONS**  
HRACH JAVAADVESIAN Civil Engineer  
411 North Central Avenue # 605  
Glendale, CA, 91203  
(818) 240-4330 structural@yahoo.com

PROJECT  
**1806**

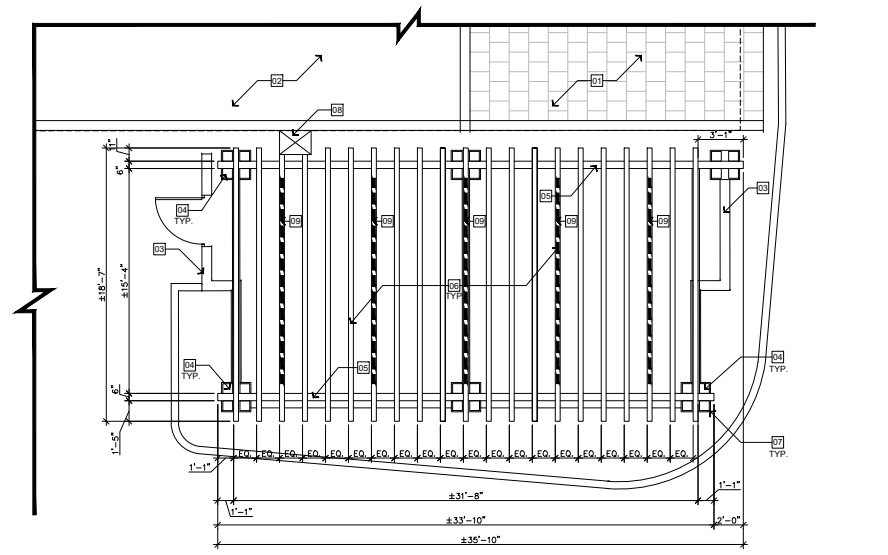
SHEET  
**A-3**

1/4" SCALE

Plotted on 10/31/2018



1 FLOOR PLAN  
1/4" = 1'-0"



2 ROOF PLAN  
1/4" = 1'-0"

FLOOR PLAN KEY NOTES

- 01 EXISTING EXTERIOR BUILDING WALL.
- 02 EXISTING ASPHALT PAVING.
- 03 NEW CONCRETE SLAB. NATURAL COLOR.
- 04 NEW LOW PATIO WALL WITH STUCCO FINISH. PAINT COLOR TO MATCH ADJACENT FIELD PAINT OF EXISTING BUILDING. REFER TO A-5 FOR FINISH INFORMATION.
- 05 NEW STOREFRONT SYSTEM. PANORAMIC DOORS OR EQUAL BY TENANT. REFER TO A-5 FOR FINISH INFORMATION. SEE SHEET A-2 FOR DOOR & WINDOW SCHEDULE.
- 06 NEW CONCRETE CURB. ALIGN WITH EXISTING CONCRETE CURB. NATURAL COLOR.
- 07 NOT USED.
- 08 NEW 8"x8" WOOD COLUMNS. REFER TO A-5 FOR FINISH INFORMATION.
- 09 NEW COLUMN BASE. REFER TO A-5 FOR FINISH INFORMATION.
- 10 NEW WROUGHT IRON METAL GATE. 30" HIGH X 30" WIDE. REFER TO A-5 FOR FINISH INFORMATION.
- 11 NEW PATIO FURNITURE.
- 12 EXISTING CONCRETE CURB.
- 13 REPLACE EXISTING EXTERIOR DOOR, FRAME AND HARDWARE. REFER TO A-5 FOR FINISH INFORMATION. SEE SHEET A-2 FOR DOOR & WINDOW SCHEDULE.
- 14 NEW FIREPLACE WITH CHIMNEY, EL DORADO, WILMINGTON, GAS BURNING FIREPLACE. REFER TO A-5 FOR FINISH INFORMATION.

LEGEND

- EXISTING BUILDING WALLS
- NEW LOW PATIO WALL
- NEW WOOD COLUMN

FURNITURE KEY NOTES

- ARM CHAIR
- BAR CHAIR
- CHAIR
- TABLE
- BOOTH SEAT

SEATING CALCULATIONS

AREA	SQUARE FOOTAGE	SEATING
INDOOR BAR	110 SQFT	11
OUTDOOR PATIO	566 SQFT	33
INDOOR BAR WAITING AREA	26 SQSF	4
TOTAL		48

ROOF PLAN KEY NOTES

- 01 EXISTING TILE ROOF.
- 02 EXISTING BUILT-UP ROOF.
- 03 NEW LOW PATIO WALL WITH STUCCO FINISH.
- 04 NEW 8"x8" WOOD COLUMNS.
- 05 NEW 8"x18" WOOD BEAMS.
- 06 NEW WOOD TRELLIS WITH METAL CAP. PAINT CAP TO MATCH BUILDING FACIA.
- 07 NEW COLUMN BASE PER FLOOR PLAN.
- 08 NEW CHIMNEY, EL DORADO, WILMINGTON, GAS BURNING FIREPLACE. REFER TO A-5 FOR FINISH INFORMATION.
- 09 NEW TRACK LIGHTING UNDER JOIST. LIGHTOLGY MICRO OUTDOOR TRACK LIGHT EDG542711. SEE MATERIAL BOARD FINISH DETAILS.

NOTE: DIMENSIONS OF TRELLIS FRAMING IS FOR REFERENCE ONLY. STRUCTURAL ENGINEERING AND CALCULATIONS WILL BE REQUIRED PRIOR TO BUILDING PERMITS.

REVISIONS

REVISION 1	2019.03.08
DATE	
REQUESTED BY	

DRAWING INFO

DATE	XXXX.XX.XX
PROJECT NO.	XXXX.XXXX

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**A-4**  
 PATIO  
 FLOOR PLAN &  
 ROOF PLAN

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REVISIONS	
△	REVISION 1 2019.03.08
△	REVISION 2 2019.03.29

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**OUTDOOR PATIO**  
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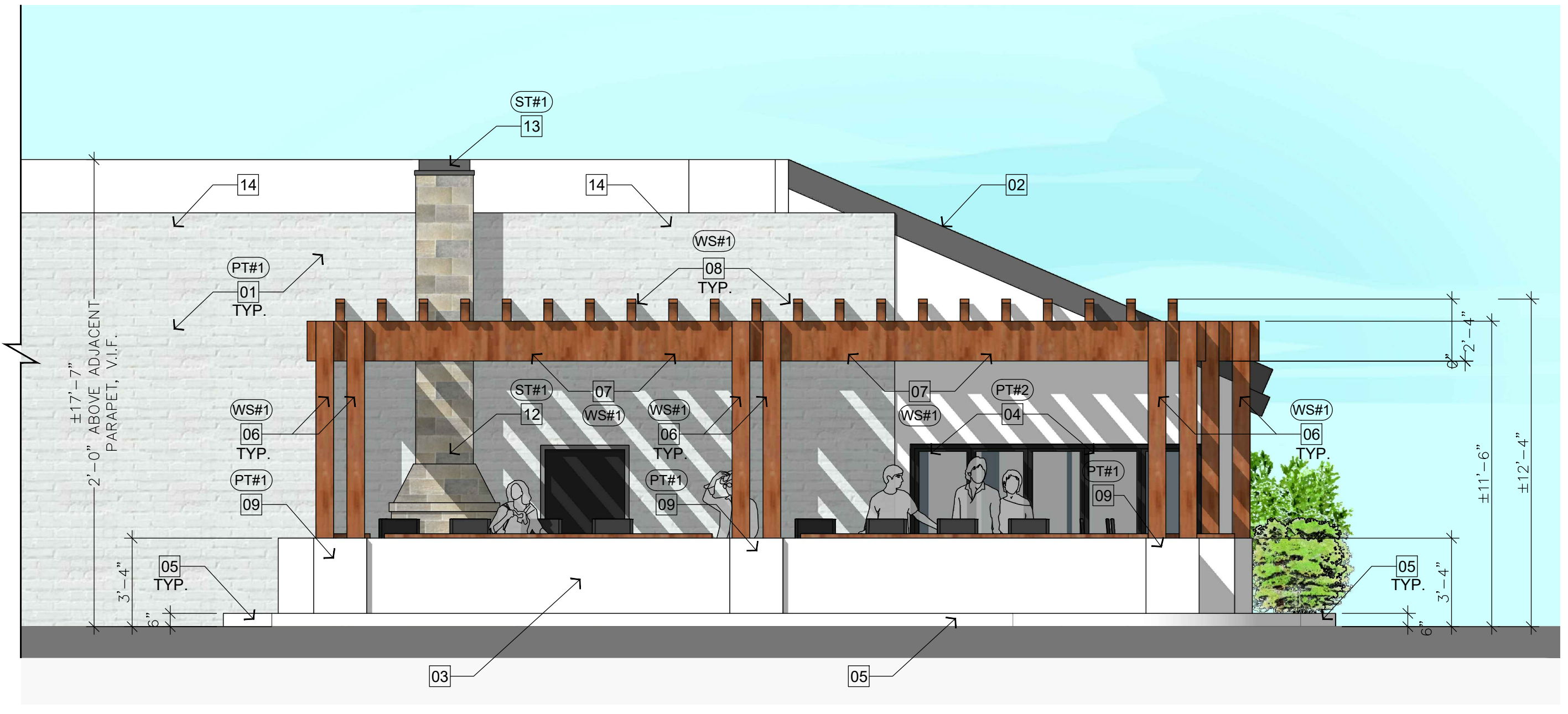
### KEY NOTES

- 01 EXISTING EXTERIOR BUILDING WALL.
- 02 EXISTING TILE ROOF.
- 03 NEW LOW PATIO WALL WITH STUCCO FINISH, PAINT COLOR TO MATCH FIELD PAINT OF EXISTING BUILDING.
- 04 NEW STOREFRONT SYSTEM, PANORAMIC DOORS, SIGNATURE ALUMINUM FOLDING DOORS, COLOR: BRONZE, OR EQUAL BY TENANT. SEE SHEET A-2 FOR DOOR & WINDOW SCHEDULE.
- 05 NEW CONCRETE CURB PER PLAN.
- 06 NEW 8"x8" WOOD COLUMNS. PER FLOOR PLAN.
- 07 NEW 6"x18" WOOD BEAM.
- 08 NEW WOOD TRELLIS WITH METAL CAP, PAINT CAP TO MATCH BUILDING FACIA.
- 09 NEW COLUMN BASE PER FLOOR PLAN.
- 10 NEW METAL GATE PER PLAN.
- 11 NEW CONCRETE SLAB PER FLOOR PLAN.
- 12 NEW FIREPLACE WITH MANTLE.
- 13 NEW CHIMNEY EL DORADO, WILMINGTON, GAS BURNING FIREPLACE.
- 14 EXISTING PARAPET.
- 15 EXISTING CURB WITH EXISTING LANDSCAPING.
- 16 NEW WINDOWS, GLASS AND FRAME TO MATCH OTHER NEWLY INSTALLED WINDOWS (I.E. PLATA'S HUGOS.....) SEE SHEET A-2 FOR DOOR & WINDOW SCHEDULE.

NOTE: THE SPECIFIED DIMENSIONS FOR LUMBER IS RECOMMENDED MINIMUM FOR AESTHETIC PURPOSES. ACTUAL DIMENSIONS ARE SUBJECT TO STRUCTURAL ENGINEERING.

### MATERIAL NOTES

- WS#1 WOOD STAIN - BEHR SEMI-TRANSPARENT SERIES ST-130 CALIFORNIA RUSTIC.
- ST#1 STONE PATTERN - CORONADO STONE, SANTA BARBARA SAND DUNE
- PT#1 PAINT COLOR - DUNN EDWARDS PAINTS DEC741 BONE WHITE
- PT#2 PAINT COLOR - DUNN EDWARDS PAINTS DET628 CHARCOAL SKETCH
- PT#3 PAINT COLOR - DUNN EDWARDS PAINTS DET628 CHARCOAL SKETCH



**1 SOUTH ELEVATION**  
1/4" = 1'-0"



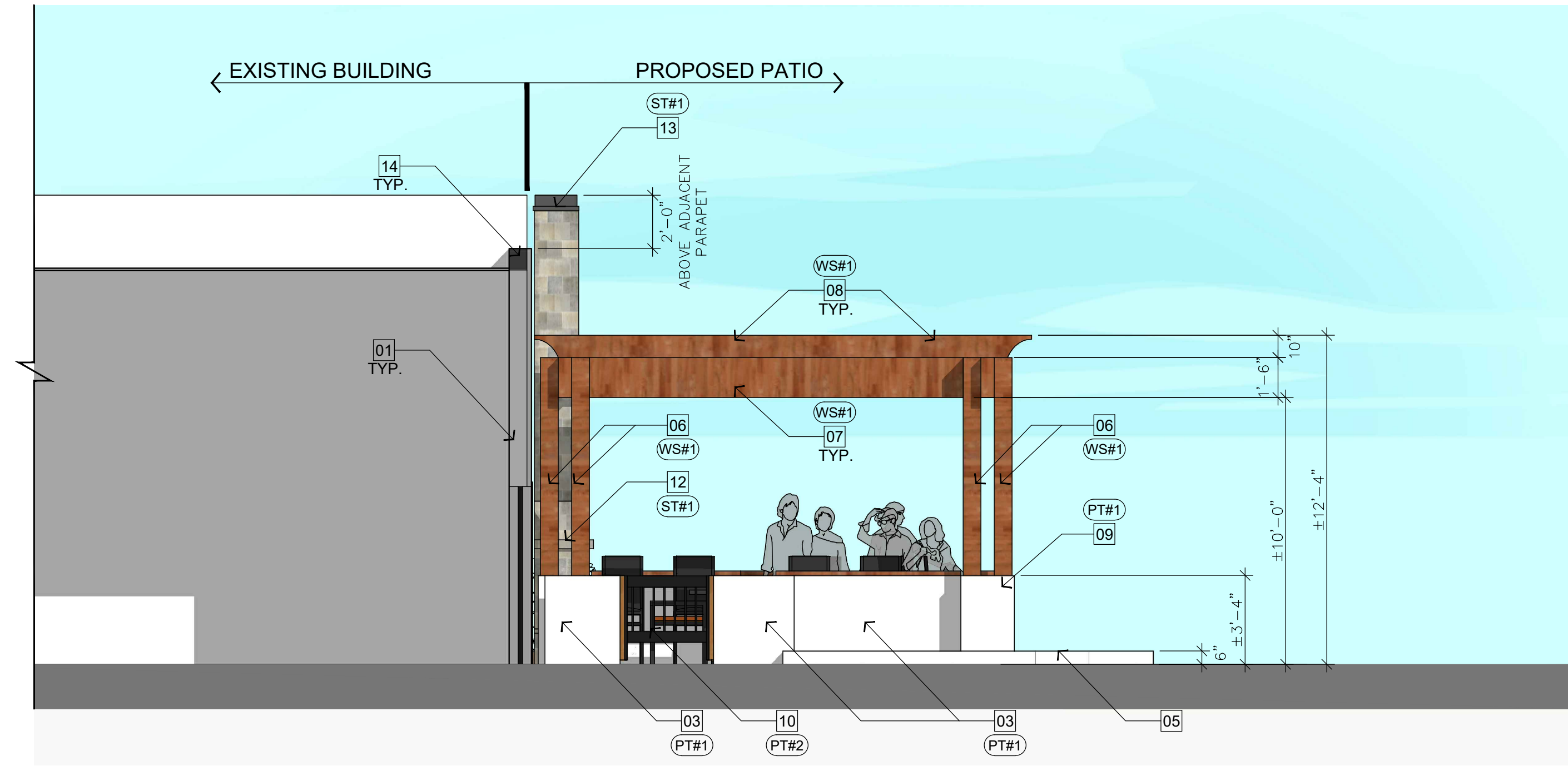
**2 EAST ELEVATION**  
1/4" = 1'-0"



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**A-5**  
EXTERIOR ELEVATIONS

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1 WEST ELEVATION  
1/4" = 1'-0"

### KEY NOTES

- 01 EXISTING EXTERIOR BUILDING WALL.
- 02 EXISTING TILE ROOF.
- 03 NEW LOW PATIO WALL WITH STUCCO FINISH, PAINT COLOR TO MATCH FIELD PAINT OF EXISTING BUILDING.
- 04 NEW STOREFRONT SYSTEM, PANORAMIC DOORS, SIGNATURE ALUMINUM FOLDING DOORS, COLOR: BRONZE, OR EQUAL BY TENANT. SEE SHEET A-2 FOR DOOR & WINDOW SCHEDULE.
- 05 NEW CONCRETE CURB PER PLAN.
- 06 NEW 8"x8" WOOD COLUMNS, PER FLOOR PLAN.
- 07 NEW 6"x18" WOOD BEAM.
- 08 NEW WOOD TRELLIS WITH METAL CAP, PAINT CAP TO MATCH BUILDING FACIA.
- 09 NEW COLUMN BASE PER FLOOR PLAN.
- 10 NEW 30" HIGH X 36" WIDE WROUGHT IRON METAL GATE PER PLAN.
- 11 NEW CONCRETE SLAB PER FLOOR PLAN.
- 12 NEW FIREPLACE WITH MANTLE.
- 13 NEW CHIMNEY EL DORADO, WILMINGTON, GAS BURNING FIREPLACE.
- 14 EXISTING PARAPET.

NOTE: THE SPECIFIED DIMENSIONS FOR LUMBER IS RECOMMENDED MINIMUM FOR AESTHETIC PURPOSES. ACTUAL DIMENSIONS ARE SUBJECT TO STRUCTURAL ENGINEERING.

### MATERIAL NOTES

- (WS#1) WOOD STAIN - BEHR SEMI-TRANSPARENT SERIES ST-130 CALIFORNIA RUSTIC.
- (ST#1) STONE PATTERN - CORONADO STONE, SANTA BARBARA SAND DUNE
- (PT#1) PAINT COLOR - DUNN EDWARDS PAINTS DEC741 BONE WHITE
- (PT#2) PAINT COLOR - DUNN EDWARDS PAINTS DET628 CHARCOAL SKETCH
- (PT#3) PAINT COLOR - DUNN EDWARDS PAINTS DET628 CHARCOAL SKETCH



2 NORTH ELEVATION (STOREFRONT)  
1/4" = 1'-0"

REVISIONS	
△	REVISION 1 2019.03.08
△	REVISION 2 2019.03.29

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 A-6  
 EXTERIOR ELEVATIONS

## ATTACHMENT 6

### COLOR AND MATERIALS BOARD

WOOD STAIN

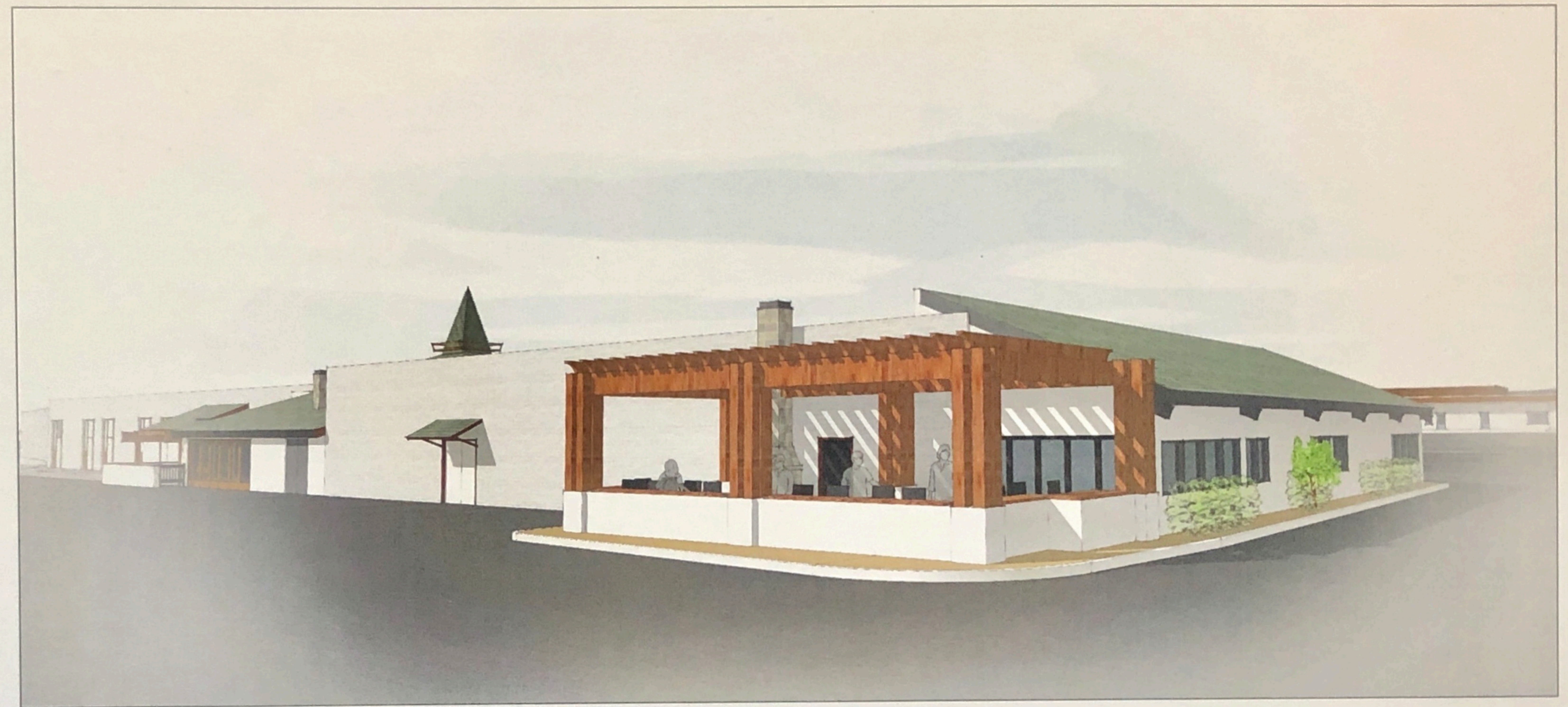


WS#1 | WOOD STAIN COLOR  
ST-130 CALIFORNIA RUSITC  
Behr, Semi-Transparent Series

LIGHTING



LT#1 | TRACK LIGHTING  
EDG542711 MICRO OUTDOOR  
Dimmable LED, Finish: Black  
Lightology



PAINT COLORS

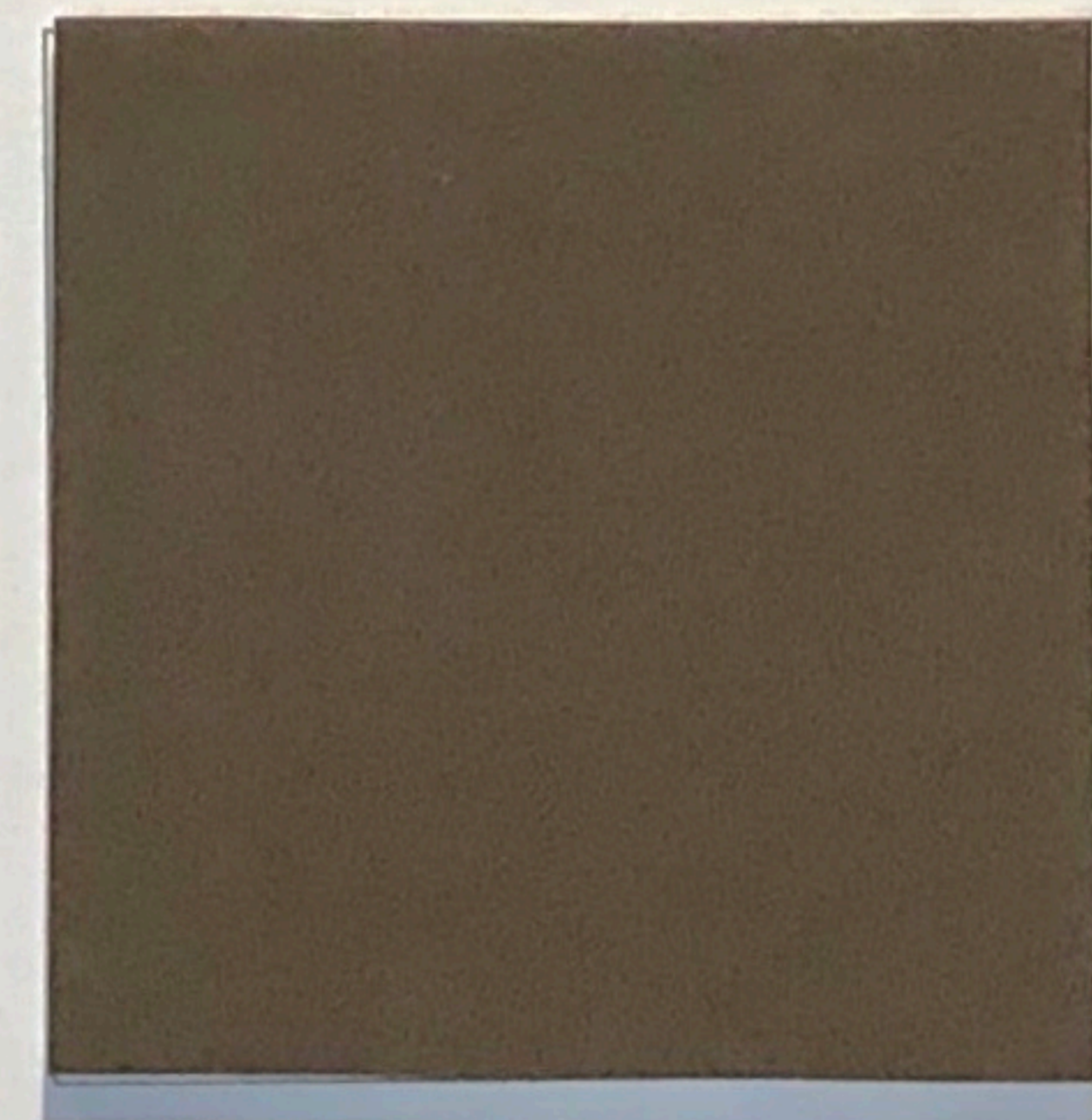
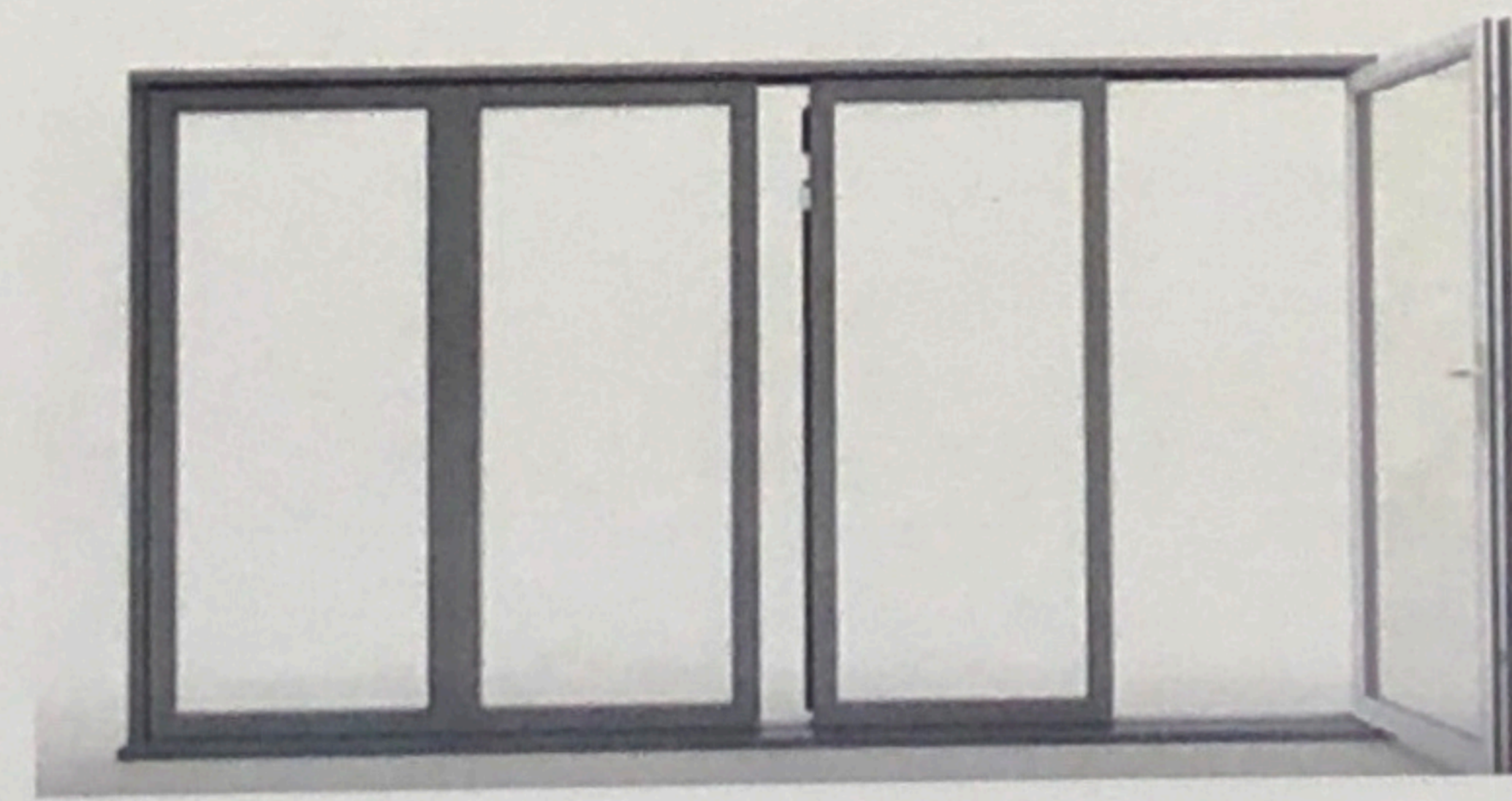


PT#1 | FIELD COLOR  
DEC741 BONE WHITE  
Dunn Edwards Paint



PT#2 | ACCENT COLOR  
DET628 CHARCOAL SKETCH  
Dunn Edwards Paint

DOORS TO PATIO



PANORAMIC DOORS RETRACTABLE PANELS  
SIGNATURE ALUMINUM FRAME WITH BRONZE FINISH

STONE PATTERN



ST#1 | FIELD STONE  
CORONADO STONE  
SANTA BARBARA SAND DUNE

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