

# 28889 GARNET HILL CT., AGOURA HILLS CA 91301

## NEW 1 CAR GARAGE ADDITION

### GENERAL NOTES

- GOVERNING CODES ON THIS PROJECT ARE:  
2019 CALIFORNIA RESIDENTIAL CODE (CRC)  
2019 CALIFORNIA BUILDING CODE (CBC)  
2019 CALIFORNIA ELECTRICAL CODE (CEC)  
2019 CALIFORNIA MECHANICAL CODE (CMC)  
2019 CALIFORNIA PLUMBING CODE (CPC)  
2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (CEES)  
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
- CONTRACTOR SHALL STUDY THE DRAWINGS, SPECIFICATIONS AND FIELD CONDITIONS BEFORE COMMENCING WITH THE WORK INVOLVED. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE OWNER IN WRITING FOR CORRECTIONS OR CLARIFICATION.
- PROVIDE SHORING AT ALL TIMES WHEN ALTERING VERTICAL MEMBERS. CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND REPORT IN WRITING TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.
- THE AREA OF GLASS IN WINDOWS LIMITED TO 20% OF THE FLOOR ADDITION PLUS THE AREA OF ANY GLASS THAT WAS ELIMINATED IN THE ORIGINAL RESIDENCE WALL AREA WHERE THE NEW ADDITION IS ATTACHED. ALL NEW WINDOWS SHALL BE DUAL-GLAZED.
- ALL WINDOWS ARE TO BE WEATHER STRIPPED.
- SMOKE DETECTORS SHALL BE INSTALLED IN AREAS GIVING ACCESS TO SLEEPING ROOMS ON OR NEAR THE CEILING, IN EACH SLEEPING ROOM (CBC 310.9.1-4).
- ATTIC VENTILATION, EQUAL TO 1/150 OF SPACE VENTILATED, SHALL BE PROVIDED OR AS REQUIRED FOR FORCED AIR UNIT.
- UTILITY LINES AND ACCESSORIES FOUND AT THE SITE THAT INTERFERE WITH THE NEW CONSTRUCTION SHALL BE RELOCATED AS NECESSARY. THE CONTRACTOR SHALL OBTAIN ANY BUILDING PERMIT REQUIRED.
- ALL WOOD IN CONTACT WITH CONCRETE AND FOUNDATION SILLS SHALL BE PRESSURE TREATED.
- PROVIDE CORROSION RESISTED WEEP SCREED AT FOUNDATION PLATE LINE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. 4" MINIMUM HEIGHT ABOVE GRADE.
- WALLS CONTAINING 3" OR 4" DIAMETER DRAIN/WASTE/VENT PIPING SHALL BE SIZED TO ALLOW CUTTING/NOTCHING/BORING (2 X 6 MIN.).
- CAULK/SEAL ALL PENETRATIONS TO TOP AND BOTTOM PLATES.
- CAULK/SEAL ALL EXTERIOR BOTTOM PLATES.
- INSULATION : WALLS R-13 / CEILING R-30 / FLOOR R-19
- ALL EXTERIOR FINISH MATERIAL TO MATCH EXISTING IN TYPE AND COLOR.
- ALL NEW ELECTRICAL WIRING SHALL BE COPPER.
- PROVIDE SEPARATE INSPECTION FOR EACH PHASE OF EXTERIOR PLASTER AS FOLLOWS : SCRATCH COAT, BROWN COAT, COLOR COAT [ STAPLES ARE NOT PERMITTED FOR ATTACHING WIRE ]
- BUILDING PAPER TO BE USED # 60 FOR STUCCO THAT DOES NOT HAVE PLYWOOD BACKING.
- DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE MECHANICAL CODE.
- DISTANCE FROM FACE OF THE FOUNDATION TO PROPERTY LINE TO BE ZONING SETBACK PLUS WALL FINISH THICKNESS (MINIMUM).
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- THE INSULATION INSTALLER AND THE CONTRACTOR SHALL POST A SIGNED CERTIFICATE OF COMPLIANCE IN A CONSPICUOUS LOCATION IN THE BUILDING. THIS CERTIFICATE SHALL STATE THAT THE INSTALLATIONS AND MATERIALS CONFORM TO THE APPROPRIATE SECTIONS OF THE CALIFORNIA ADMINISTRATIVE CODE, TITLES 20 AND 24 AND SHALL SPECIFY THE MANUFACTURE'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE, AND WHEN LOOSE FILL IS INSTALLED, SHALL STATE THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURE'S LABELED DENSITY FOR THE DESIRED R-VALUE.

### PROPERTY INFORMATION

PROPERTY INFORMATION  
ZONE: (RS)-(5)-7,000  
ASSESSOR'S ID NO: 2048-002-032  
ADDRESS: 28889 GARNET HILL CT AGOURA HILLS CA 91301  
PROPERTY TYPE: SINGLE FAMILY RESIDENTIAL  
REGION / CLUSTER: 02 / 02191  
PROPERTY BOUNDARY DESCRIPTION  
\*TR=31810 LOT 48  
BUILDING DESCRIPTION  
BUILDING IMPROVEMENT 1  
SQUARE FOOTAGE: 2,236  
YEAR BUILT / EFFECTIVE YEAR BUILT: 1980 / 1981  
BEDROOMS / BATHROOMS / 3  
UNITS : 1  
LOT SIZE : 10,241 SQ. FT.  
STYLE : SINGLE FAMILY RESIDENTIAL  
YEAR BUILT: 1980  
YEAR RENOVATED : 1981  
COUNTY : LOS ANGELES COUNTY  
APN : 2048002032

COMBINED SIDE YARD SETBACK:  
= 7'-2" + 8'-5"  
= 15'-7"

### INDEX

- A-0 EXISTING PLOT PLAN
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- A-2 EXISTING FLOOR PLAN & ROOF PLAN
- A-3 PROPOSED FLOOR PLAN
- A-4 PROPOSED ROOF PLAN
- A-5 ELEVATION / SECTIONS
- A-6 ONSITE PICTURES

### SCOPE OF WORK

- BUILD 199 SQ.FT. ADDITION TO EXISTING 2 CAR GARAGE TO MAKE IT A 3 CAR GARAGE.
- RELOCATED EXISTING GAS METER TO BE RELOCATED [SEE A1 SHEET FOR NEW LOCATION]
- ALL EXTERIOR FINISH MATERIAL TO MATCH EXISTING IN TYPE AND COLOR.

### LOT COVERAGE CALCULATION

LOT SIZE: 10,241 SQ. FT.  
MAXIMUM RESIDENTIAL FLOOR AREA  
= 50 % OF LOT SIZE  
= 0.50 X 10,241  
= 5,120.5 SQ.FT.

[E] SFD: .....2,236 SQ.FT.  
[E] 2 CAR GARAGE: .....461 SQ.FT.  
[N] 1 CAR ADDITION .....199 SQ.FT.

NO CHANGE ON RESIDENTIAL FLOOR AREA  
= 2,238 SQ.FT.

### LOT COVERAGE PERCENTAGE

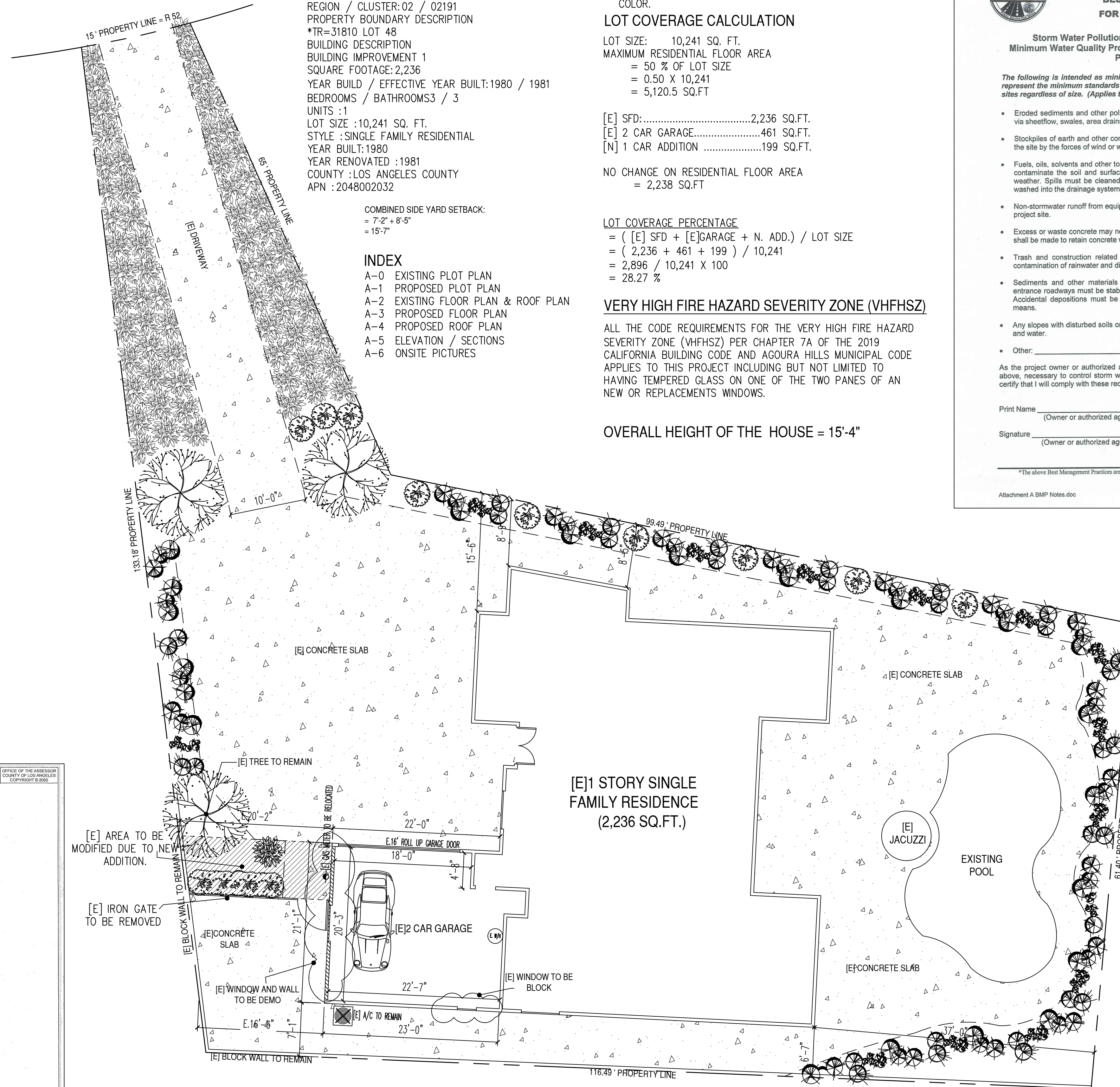
= ( [E] SFD + [E] GARAGE + N. ADD. ) / LOT SIZE  
= ( 2,236 + 461 + 199 ) / 10,241  
= 2,896 / 10,241 X 100  
= 28.27 %

### VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ)

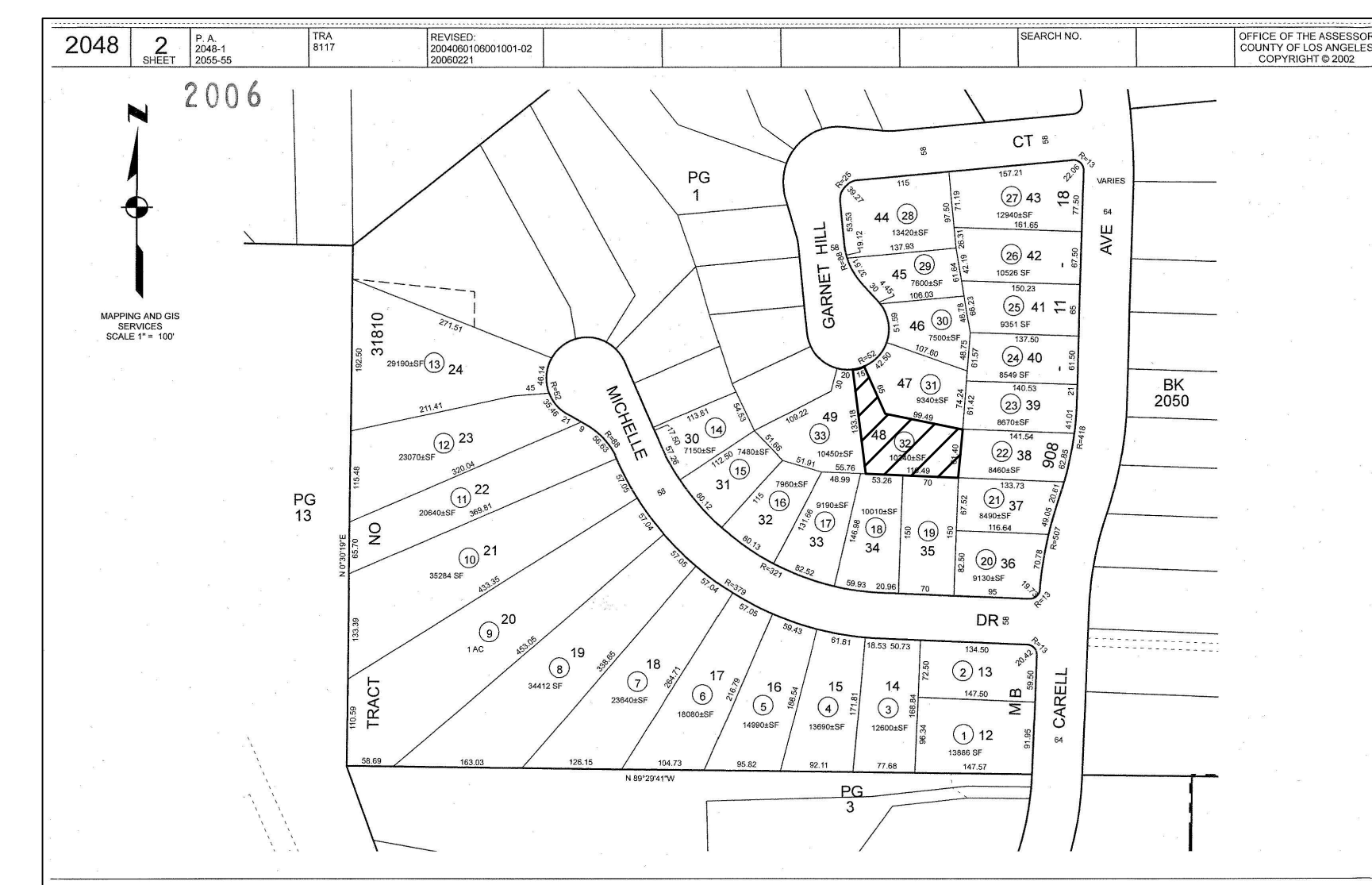
ALL THE CODE REQUIREMENTS FOR THE VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ) PER CHAPTER 7A OF THE 2019 CALIFORNIA BUILDING CODE AND AGOURA HILLS MUNICIPAL CODE APPLIES TO THIS PROJECT INCLUDING BUT NOT LIMITED TO HAVING TEMPERED GLASS ON ONE OF THE TWO PANES OF AN NEW OR REPLACEMENTS WINDOWS.

OVERALL HEIGHT OF THE HOUSE = 15'-0"

## GARNET HILL CT.



### VICINITY MAP



ATTACHMENT A

### BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES\*

Storm Water Pollution Control Requirements for Construction Activities  
Minimum Water Quality Protection Requirements for All Development Construction Projects/Certification Statement

The following is intended as minimum notes or as an attachment for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
- Other: \_\_\_\_\_

As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

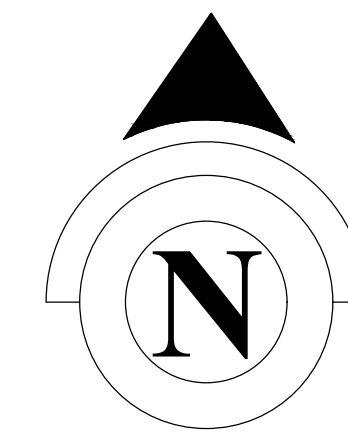
Print Name \_\_\_\_\_  
(Owner or authorized agent of the owner)

Signature \_\_\_\_\_ Date \_\_\_\_\_  
(Owner or authorized agent of the owner)

\*The above Best Management Practices are detailed in the California Storm Water Best Management Practices Handbook, January 2003. www.calbphandbooks.com

Attachment A BMP Notes.doc

EXISTING PLOT PLAN  
SCALE 1/8" = 1'-0"



PREPARED BY:  
**INNOVA** CREATIVE SOLUTION Inc.  
15500 ERWIN ST., STE 2669  
VAN NUYS, CA 91411  
CELL : 818 - 4023906

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK REPORT DISCREPANCIES TO THE DESIGNER PREPARING THE DRAWINGS. ALL CONSTRUCTION SHALL CONFORM TO THE C.B.C

PROPOSED : NEW 1 CAR GARAGE ADDITION  
PROPERTY OWNER : JEFF COHEN PHONE : (818) 517-2021  
LOCATED AT: 28889 GARNET HILL CT. AGOURA HILLS, CA 91301

SHEET:  
**A-0**  
EXISTING PLOT PLAN

# 28889 GARNET HILL CT., AGOURA HILLS CA 91301

## NEW 1 CAR GARAGE ADDITION



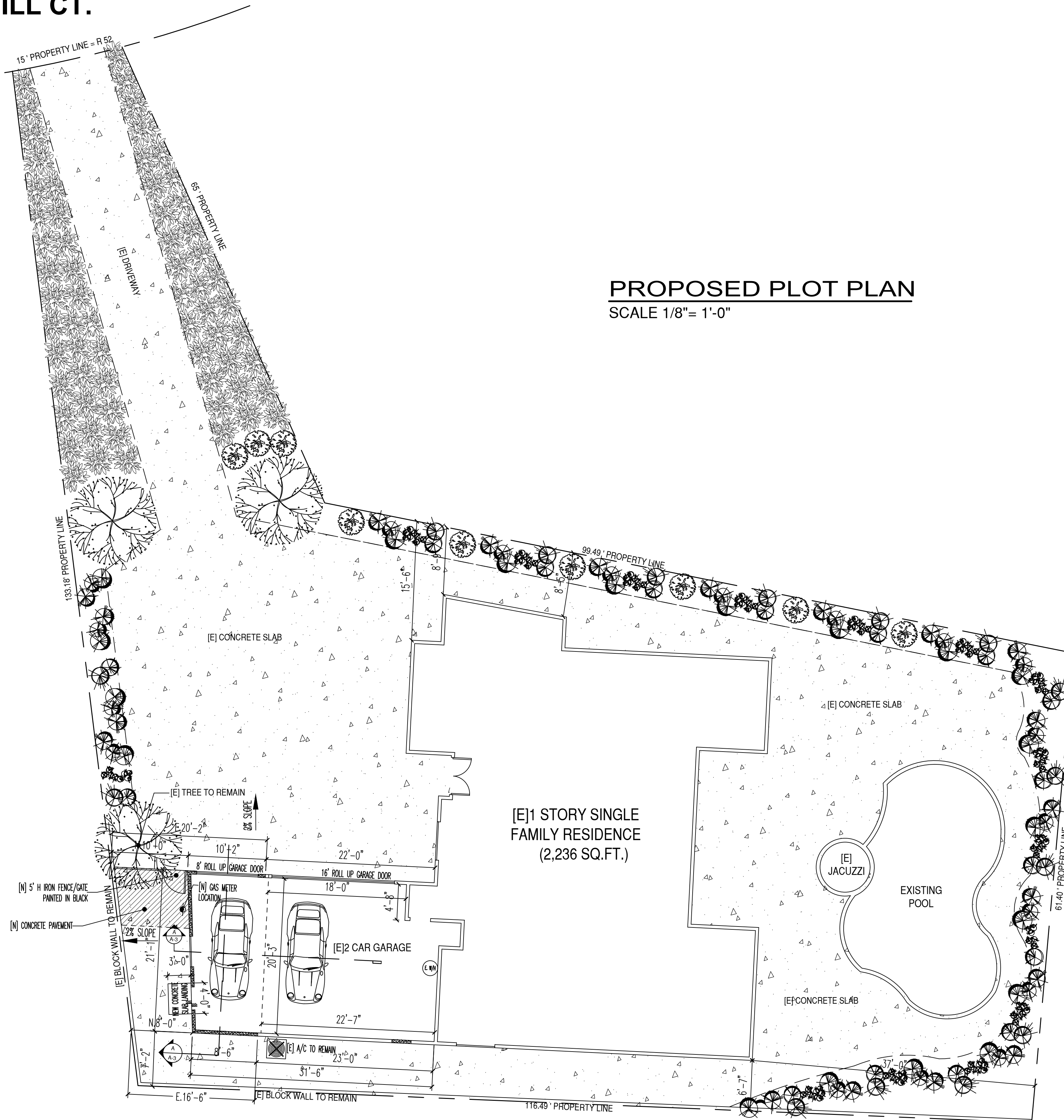
PREPARED BY:  
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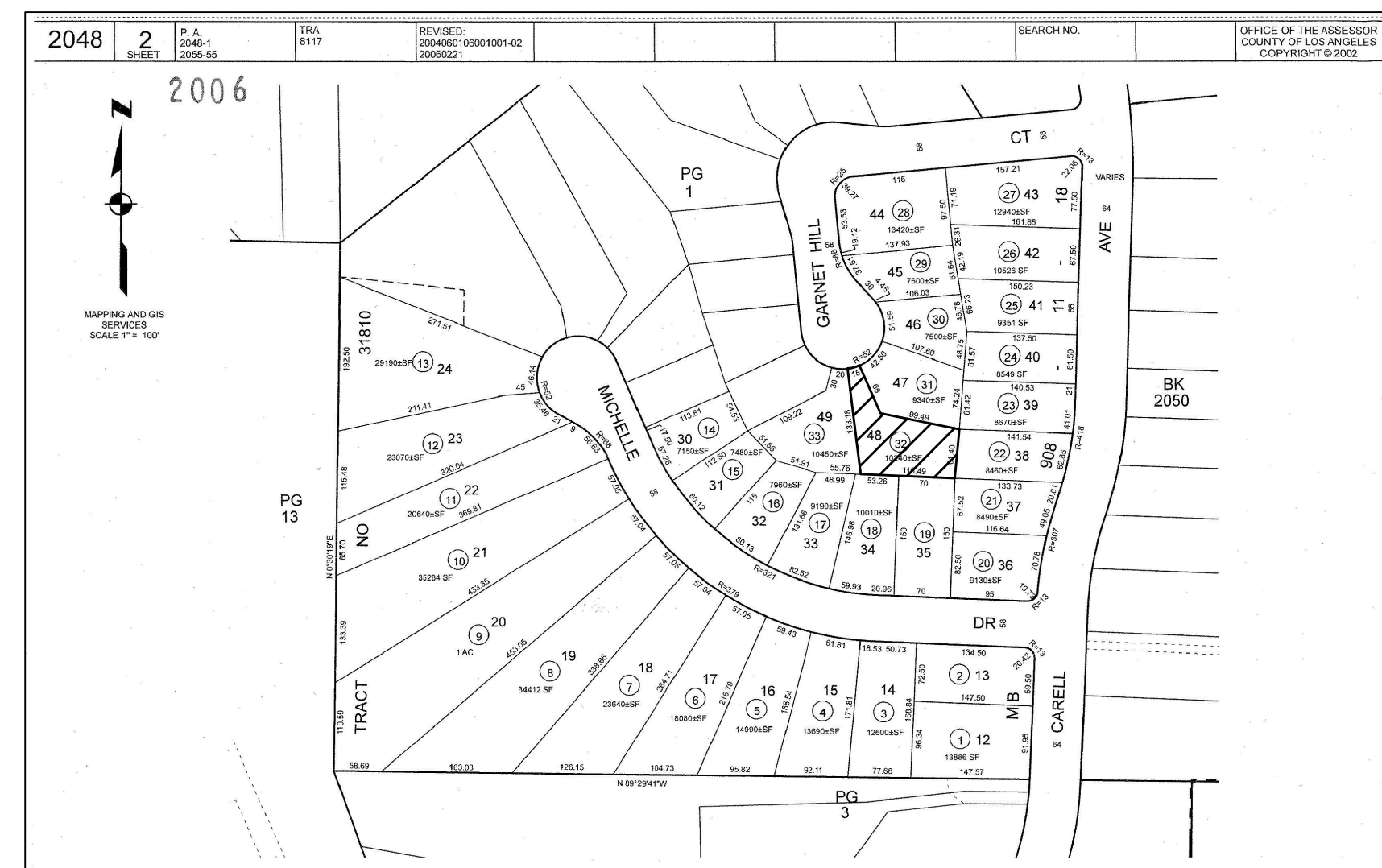
GARNET HILL CT.

### PROPOSED PLOT PLAN

SCALE 1/8" = 1'-0"



#### VICINITY MAP



PROPOSED : NEW 1 CAR GARAGE ADDITION

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SHEET:


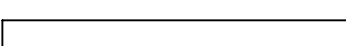
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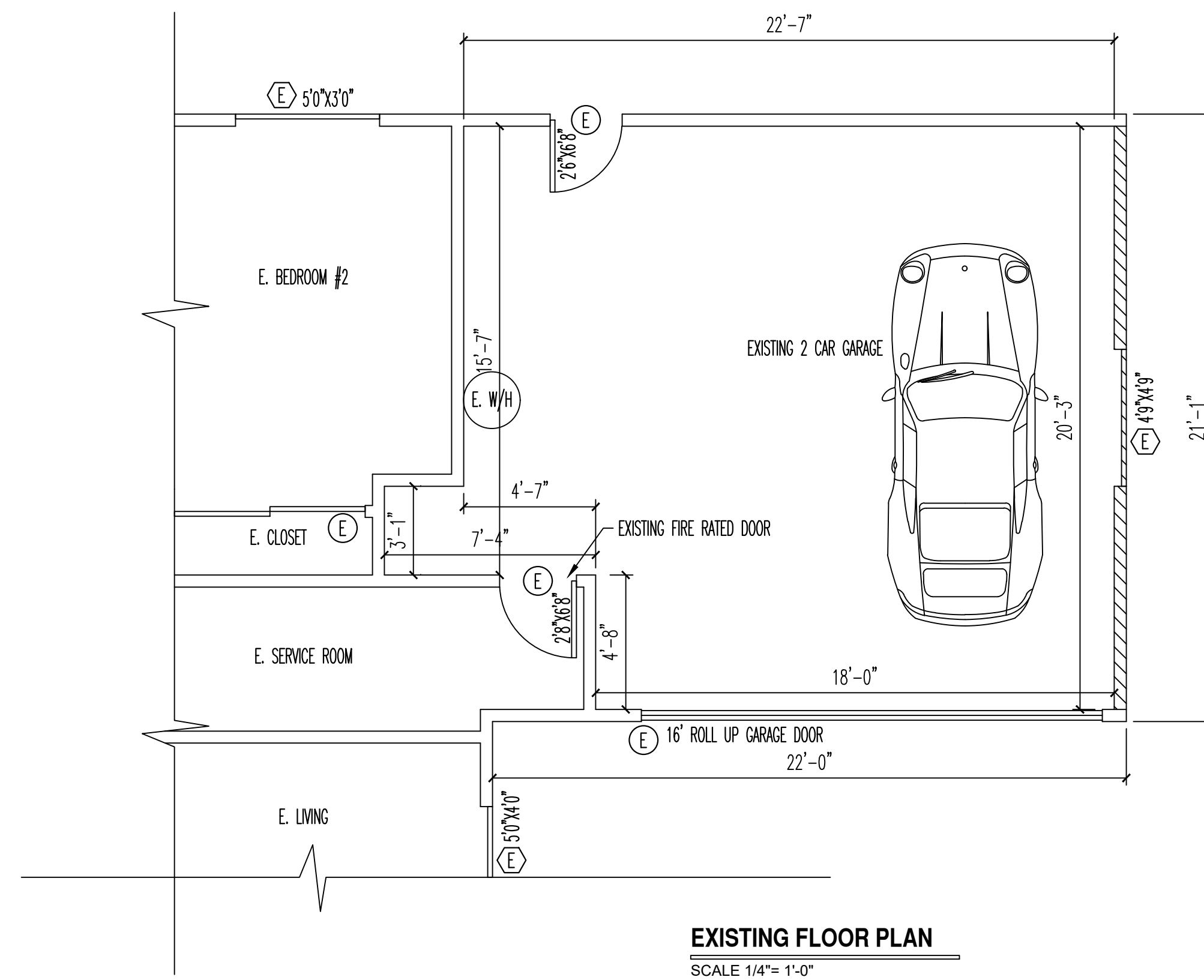
PROPOSED PLOT PLAN

**GENERAL NOTES**

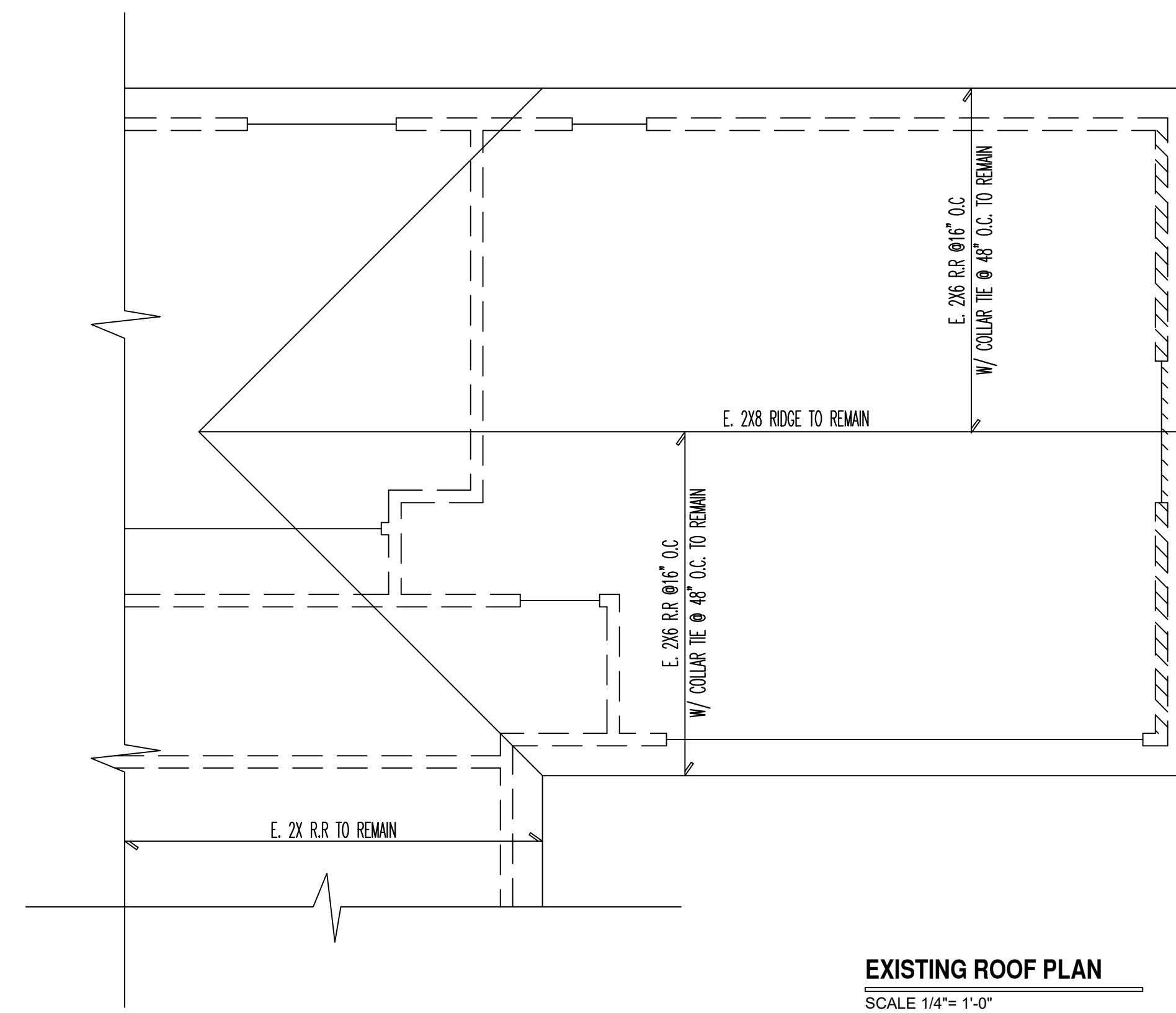
1. PROVIDE 72" HIGH NON ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
2. SIZE OF SHOWER STALL TO COMPLY WITH CPC 412.7, 1024 SQ. IN. MINIMUM INTERIOR AND ENCOMPASSING 30" CIRCLE. DOOR SHALL SWING TO THE OUTSIDE.
3. LOW FLOW TOILETS (1.28 GALLON/FLUSH) – SHOWERHEADS (2.0 GPM @ 80 PSI) – FAUCETS (2.0 GPM @ 60 PSI)
4. PROVIDE INDIVIDUAL CONTROL VALVES ON THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE FOR SHOWERS AND TUB SHOWERS.
5. PROVIDE WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE A MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS.
6. DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE MECHANICAL CODE.
7. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MY CAUSE CONSTRUCTION DELAYS AND OR ADDITIONAL EXPENSES.
8. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
9. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
10. KITCHEN SINK LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY(R306.4).
11. BATHTUB AND SHOWER FLOORS, WALL ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6' ABOVE THE FLOOR (R307.2).
12. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
13. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
14. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)
16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)
17. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
18. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
19. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.)
20. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
21. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE
22. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE.PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
23. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306).

**WALL SCHEDULE**

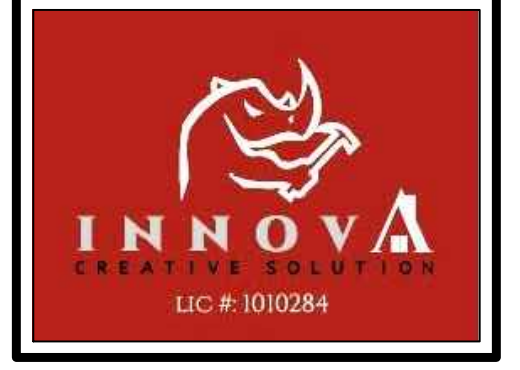
	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN



**EXISTING FLOOR PLAN**  
SCALE 1/4"= 1'-0"



**EXISTING ROOF PLAN**  
SCALE 1/4"= 1'-0"

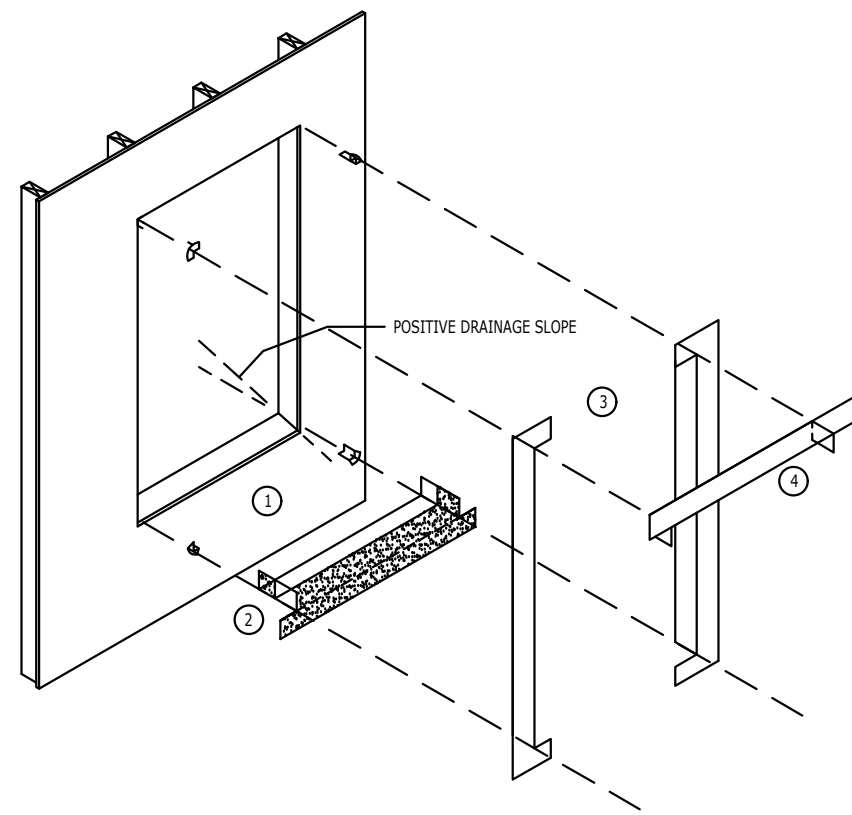


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SHEET:  
**A-2**  
EXISTING FLOOR PLAN  
EXISTING ROOF PLAN

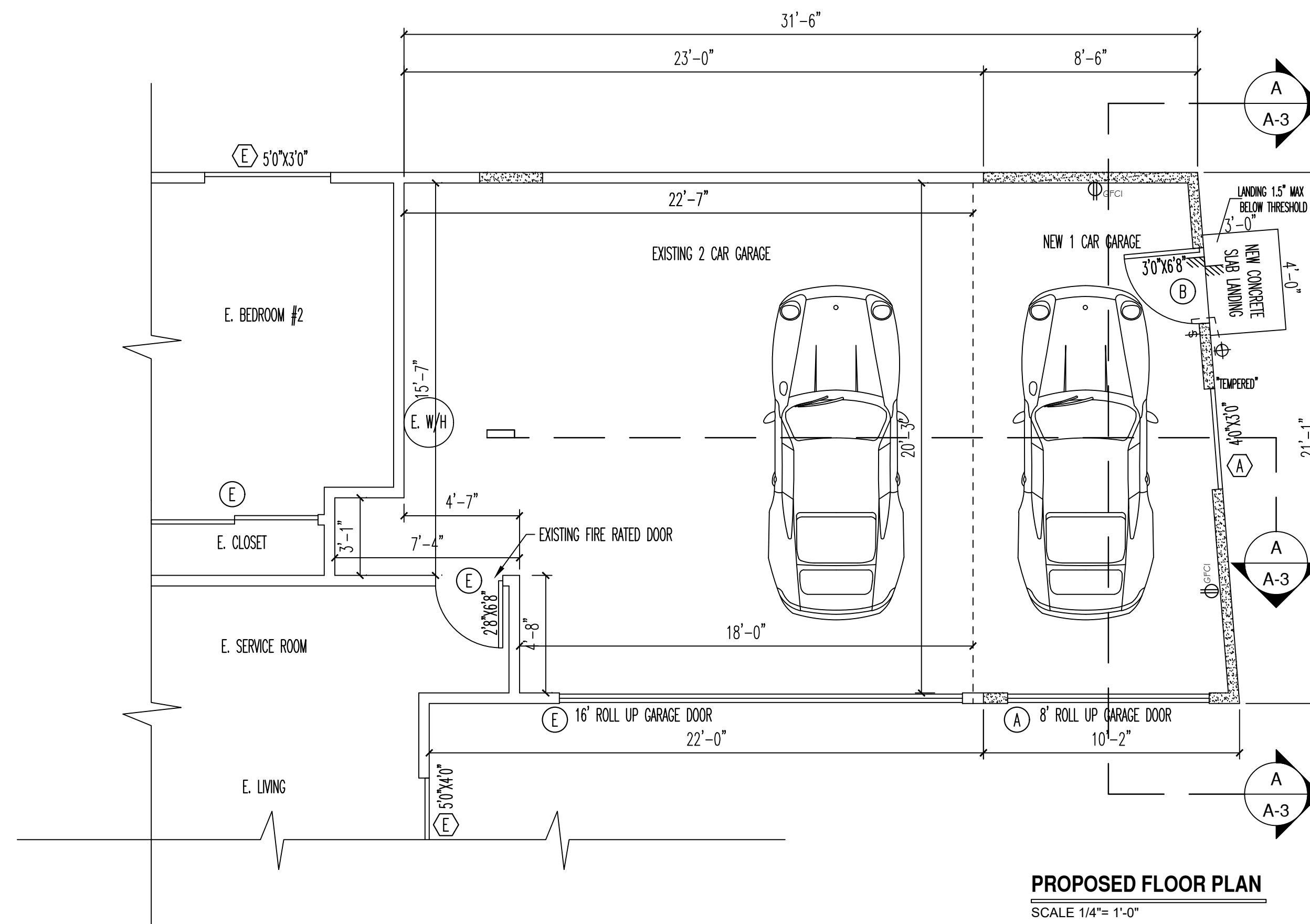


**FLASHING DETAIL**  
SCALE: NONE

INSTALLATION SEQUENCE FOR PAN FLASHING A ROUGH OPENING SILL / THRESHOLD AND STRIP FLASHING THE JAMBS AND HEAD TO RECEIVE A NON-FLANGED WINDOW, DOOR, OR FIXTURE:

1. INSTALL 2-INCH BY 3-INCH STRIPS OF POLYGUARD 606 TAPE ONTO EACH ROUGH OPENING CORNER.
2. INSTALL POLYGUARD FLEXIBLE PAN FLASHING TO COVER THE SLOPED SILL / THRESHOLD, 3-INCHES OF THE WALL FACE, AND 3-INCHES OF EACH JAMB.
3. INSTALL POLYGUARD JT-40 TO COVER THE OPENING SIDE OF EACH JAMB, AND 3-INCHES OF THE WALL FACE AT THE SILL, JAMB, AND HEAD.
4. INSTALL POLYGUARD JT-40 TO COVER THE OPENING SIDE OF THE HEAD, AND A MINIMUM OF 3-INCHES OF THE WALL FACE AT THE HEAD AND JAMBS. (WHEN A TWF WILL BE INSTALLED AT THE HEAD WITH A MASONRY FINISH, EXTEND THE WALL FACE FLASHING COVERAGE TO INTERFACE WITH 2-INCHES OF THE TWF MEMBRANE.)
5. INSTALL THE WINDOW, DOOR, OR FIXTURE, NOT SHOWN.
6. INSTALL, ON THE INTERIOR AND EXTERIOR SIDES OF THE WINDOW, DOOR, OR FIXTURE FRAME, A BACKER ROD AND SEALANT IN THE SPACE BETWEEN THE ROUGH OPENING AND FRAME, NOT SHOWN.
7. FOLD AND ADHERE THE SILL / THRESHOLD PAN LEG ONTO THE INTERIOR FACE OF THE FRAME, NOT SHOWN. PROTECT THE LEG FROM DAMAGE UNTIL THE INTERIOR TRIM OR FINISH IS INSTALLED.

NOTE: THIS ROUGH OPENING WALL IS SHOWN AS FRAME BUT COULD BE MASONRY. THE INSTALLATION SEQUENCE FOR FLASHING IS THE SAME FOR EITHER MATERIAL OF CONSTRUCTION. FREE THE SURFACES THAT WILL RECEIVE THE FLASHING FROM IRREGULARITIES THAT WOULD INTERFERE WITH A FLAT INTERFACE WITH THE FLASHING, OR POSE A FLASHING PUNCTURE HAZARD. APPLY A COATING OF POLYGUARD 650LT, CALIFORNIA SEALANT, GREEN CALIFORNIA SEALANT OR SHUR-TAC WATER-BASED LIQUID ADHESIVE TO CLEAN AND DRY SURFACES THAT WILL BE RECEIVING THE FLASHINGS. BASE SELECTION OF LIQUID ADHESIVE ON SUBSTRATE COMPATIBILITY AND VOC REQUIREMENTS. WIPE SURFACES COATED WITH A POLY WALL AIR BARRIER WITH A 30% SOLUTION OF ISOPROPYL ALCOHOL AND WATER.



**WALL SCHEDULE**

	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	NEW WALL 2x STUDS @16" O.C

**WINDOW SCHEDULE**

MARK		FRAME	SCREEN	U-VALUE	SHGC
(A)	4'-0"W x 3'-0"H SLIDING WINDOW ( TO MATCH EXISTING WINDOWS ) -TEMPERED	VINY.	YES		
(E)	EXISTING WINDOWS TO REMAIN THE SAME	VINY.	YES		

NOTE: 1. BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 SF. ABOVE THE GRADE FLOOR AND 5 SQ.FT. ON THE GRADE FLOOR, A MIN. NET HEIGHT OF 24" AND MIN. NET WIDTH OF 20", AND SILL HEIGHT NOT MORE THAN 44" MAX. ABOVE FINISH FLOOR.  
2. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

**DOOR SCHEDULE**

NO.	OPENING SIZE	THICK	DOOR TYPE	TYPE	FRAME	COLOR	REMARKS	U-VALUE	SHGC
(A)	8'-0" W X 7'-0" H	1 3/8"	ROLL UP DOOR	ALUM.	ALUM.	WHITE			
(B)	3'-0" W X 8'-0" H	1 3/8"	EXT. SOLID CORE DOOR	WOOD	WOOD	WHITE			
(E)	EXISTING DOORS TO REMAIN THE SAME								

**ELECTRICAL NOTES**

- \* KITCHEN MIN. 50% LUMINARIES TO BE HIGH EFFICACY ON SEPARATE SWITCH.
- \* BATHROOMS & LAUNDRY ROOM ALL LUMINARIES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR.
- \* OTHER ROOMS ALL LUMINARIES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQ ARE EXEMPT FROM THIS REQUIREMENT.
- \* OUTDOOR LIGHTING ALL LUMINARIES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES OR SHALL BE CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMBINATION.
- \* OCCUPANCY SENSORS MUST HAVE NO MANUAL OVERRIDE, 30 MINUTE MAXIMUM TIMER AND BE MICROWAVE/ULTRASONIC OR PASSIVE INFRA-RED TYPE.
- \* OCCUPANCY SENSOR LAYOUT MUST BE SHOWN ON PLANS.
- \* HIGH EFFICACY LUMINARIES MUST BE PIN BASED.
- \* RECEPTACLES IN ALL ROOMS SHALL BE AFCI PROTECTED.
- \* ALL RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE PER CEC 406.11.
- \* RECESSED LIGHT FIXTURES INSTALLED IN A RATED CEILING SHALL BE RATED(IC), (AT) AIR TIGHT, AND GASKETED OR CAULKED BETWEEN THE HOUSING AND CEILING.

	FAN SHALL BE ENERGY STAR COMPLIANT & MUST BE HUMIDITY CONTROLLED W/500CFM
	LIGHT FIXTURE RECESSED CAN IC/AT RATED HIGH EFFICACY
	LIGHT SWITCH
	JUNCTION BOX
	DIMMER SWITCH
	WATERPROOF DUPLEX
	DOUBLE RECEPTACLE GFI OR ARC OUTLET
	LIGHT FIXTURE WALL MOUNTED

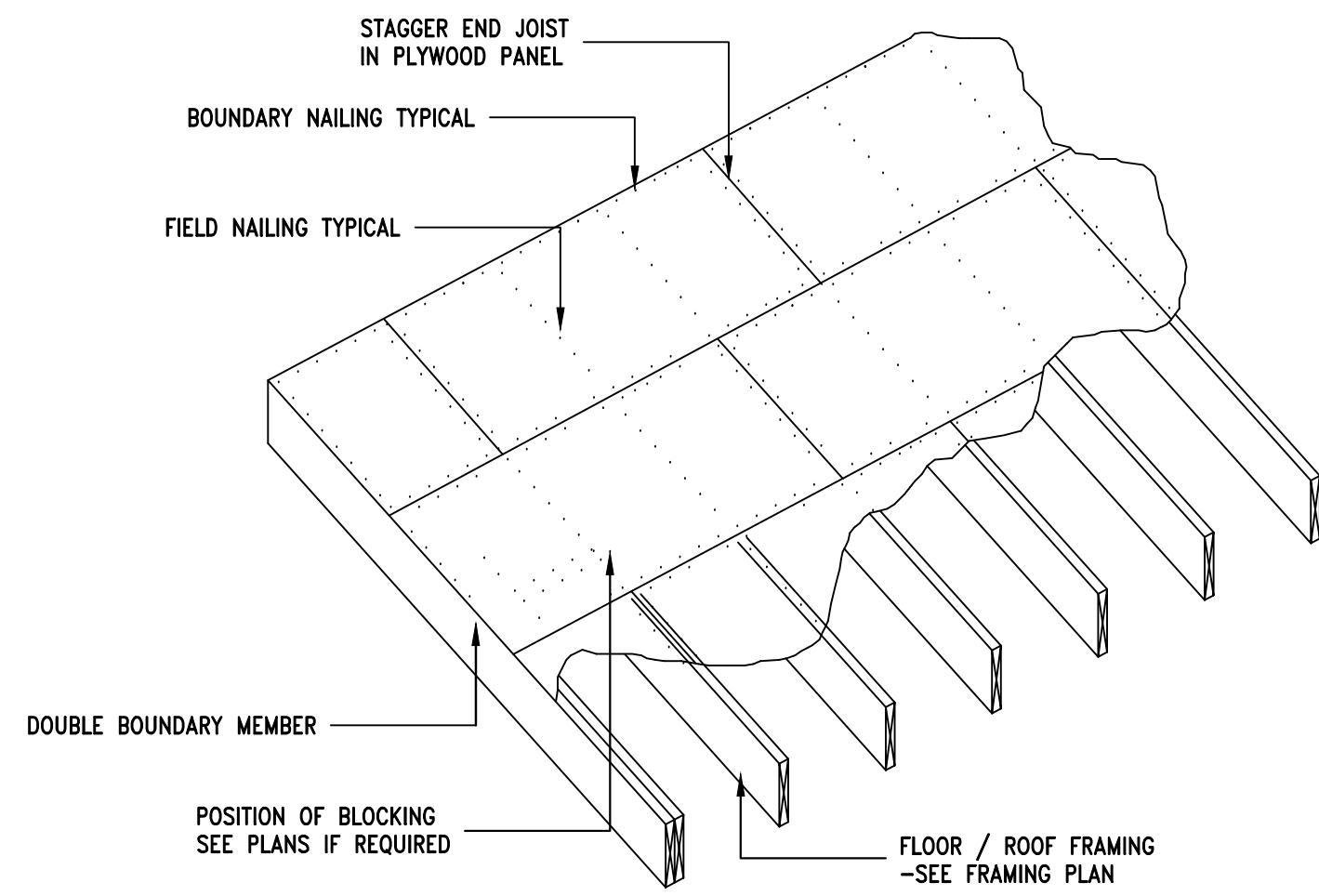


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PROPOSED : NEW 1 CAR GARAGE ADDITION  
PROPERTY OWNER : JEFF COHEN PHONE : (818) 517-2021  
LOCATED AT: 28889 GARNET HILL CT. AGOURA HILLS, CA 91301

SHEET:  
**A-3**  
PROPOSED FLOOR PLAN



**NOTE:**

1. USE CONSTRUCTION GLUE BETWEEN ALL JOISTS & ALL T & G AT ALL FLOORS.
2. SCREW ALL FLOORS AFTER NAILING.

DIAPHRAGM SCHEDULE								
LEVEL	MATERIAL		NAILING (COMMON WIRE NAIL)				SPAN RATING	SHEAR TRANSFER
	KIND	THK	SIZE	BRY	EDGE	FIELD		
ROOF*	CD-X-PLYWD	1/2"	8d	6"	6"	12"	24/0	A35 @ 24" O.C.

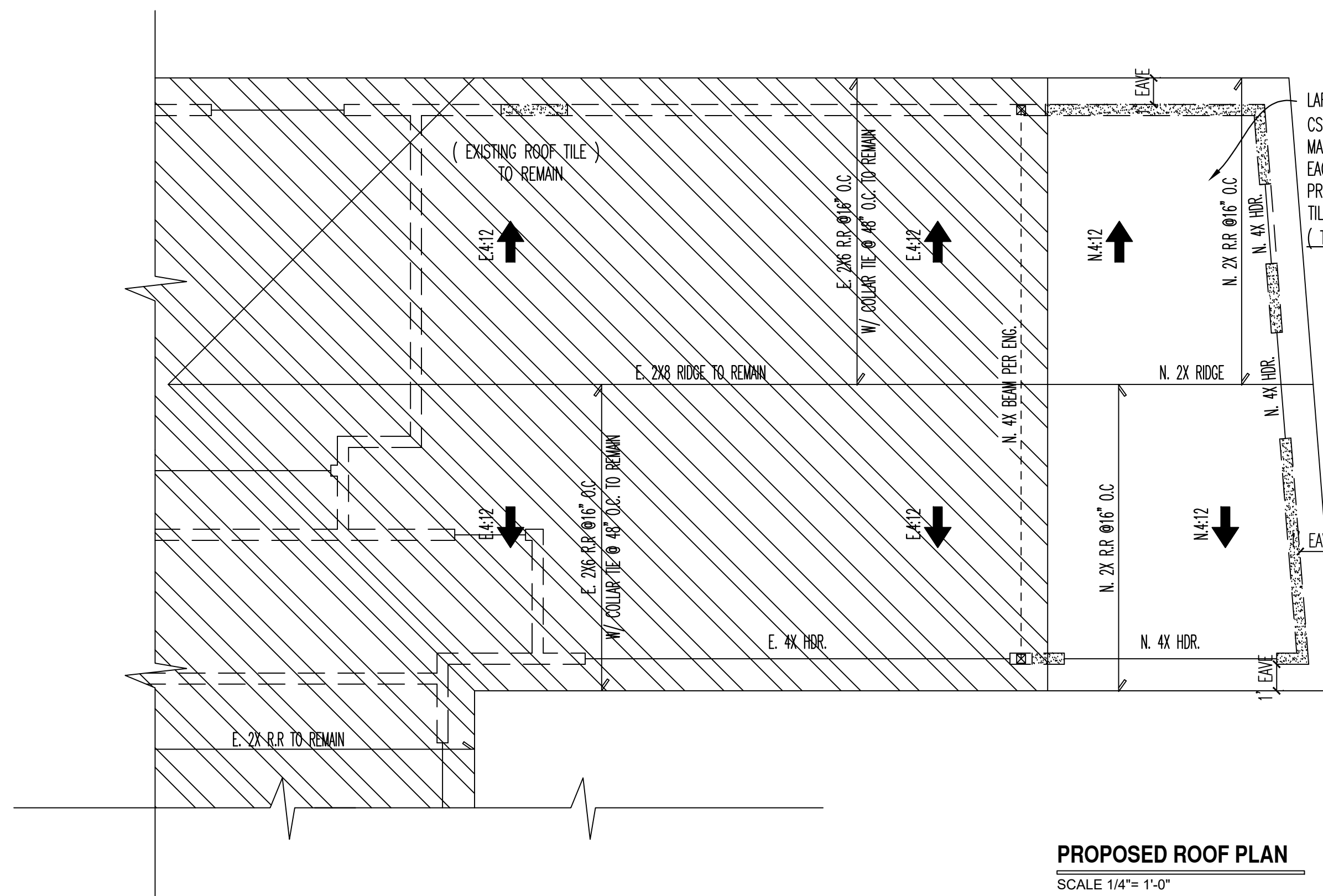
\*NOTE: ROOF DIAPHRAGM TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS.

**TYPICAL HORIZONTAL DIAPHRGM** 1

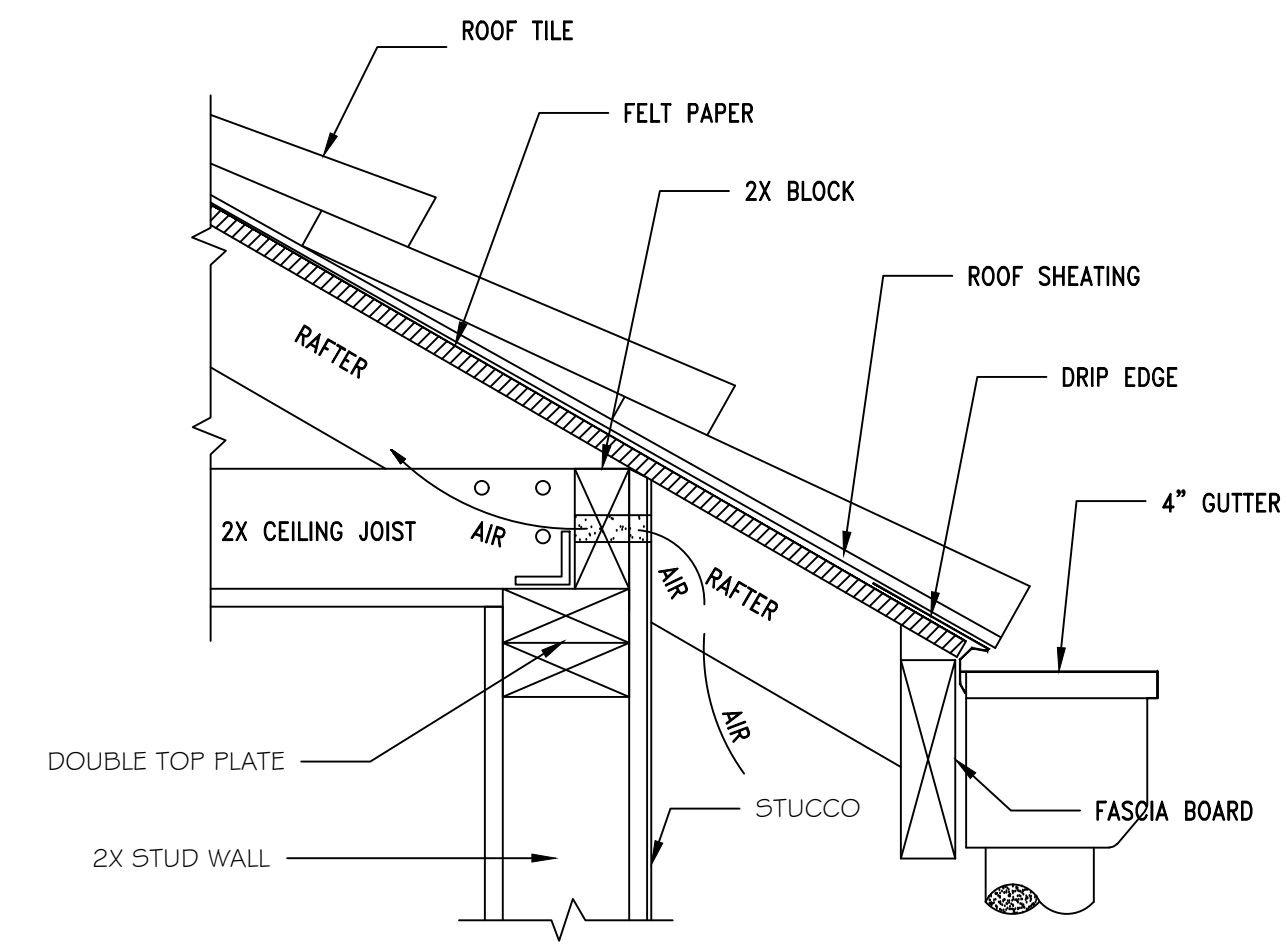
**NOTES:**

1. ALL PLYWOOD SHALL BEAR STAMP DOUGLAS FIR STR. 2 PLYWOOD BY APPROVED GRADING AGENCY. GLUE SHALL BE EXTERIOR TYPE. PLYWOOD SHALL CONFORM TO PRODUCT STANDARD PS-1-95.
2. LAY PLYWOOD SHEETS W/LONG DIMENSIONS PERPENDICULAR TO JOIST AS SHOWN. (FACE GRAINS PERPENDICULAR TO JOISTS)
3. NEW ROOFING MATERIAL TO BE INSTALLED ( LARR#25021 ESR-ICC# 1787 CSI / MODEL NUMBER: 07320 MANUFACTURER: EAGLE ROOFING PRODUCTS COMPANY PRODUCTS: EAGLE AND EAGLELITE CONCRETE ROOFING TILES: CAPISTRANO, )
4. MINIMUM 1/4" PER 1'-0" SLOPE
5. INSULATION AND GYPSUM PRODUCTS SHALL NOT BE INSTALL UNTIL THE EXTERIOR OF THE BUILDING HAS BEEN WEATHERPROOFED.
6. DRILL ALL AND USE EAVE VENTS FOR VENTILATION. [VENT OPENING SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER APPROVED WITH 1/8" MIN. AND 1/4" MAX. OPENING.

UNDEREAVE VENTS REQUIRED 50% CROSS VENTILATION:  
 16"x4" EAVE VENT = 63.36 SQ.IN. EACH VENT  
 INSTALL EAVE VENT @ 32" O.C.



LARR#25021 ESR-ICC# 1787  
 CSI / MODEL NUMBER: 07320  
 MANUFACTURER:  
 EAGLE ROOFING PRODUCTS COMPANY  
 PRODUCTS: EAGLE AND EAGLELITE CONCRETE ROOFING  
 TILES: CAPISTRANO,  
 ( TO MATCH EXISTING ROOF TILE IN TYPE & COLOR. )



**EAVE CONNECTION DETAIL**

NOT TO SCALE

3



PREPARED BY:  
**INNOVA** CREATIVE SOLUTION Inc.  
 15500 ERWIN ST., STE 2669  
 VAN NUYS, CA 91411  
 CELL : 818 - 4023906

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK REPORT DISCREPANCIES TO THE DESIGNER PREPARING THE DRAWINGS. ALL CONSTRUCTION SHALL CONFORM TO THE C.B.C.

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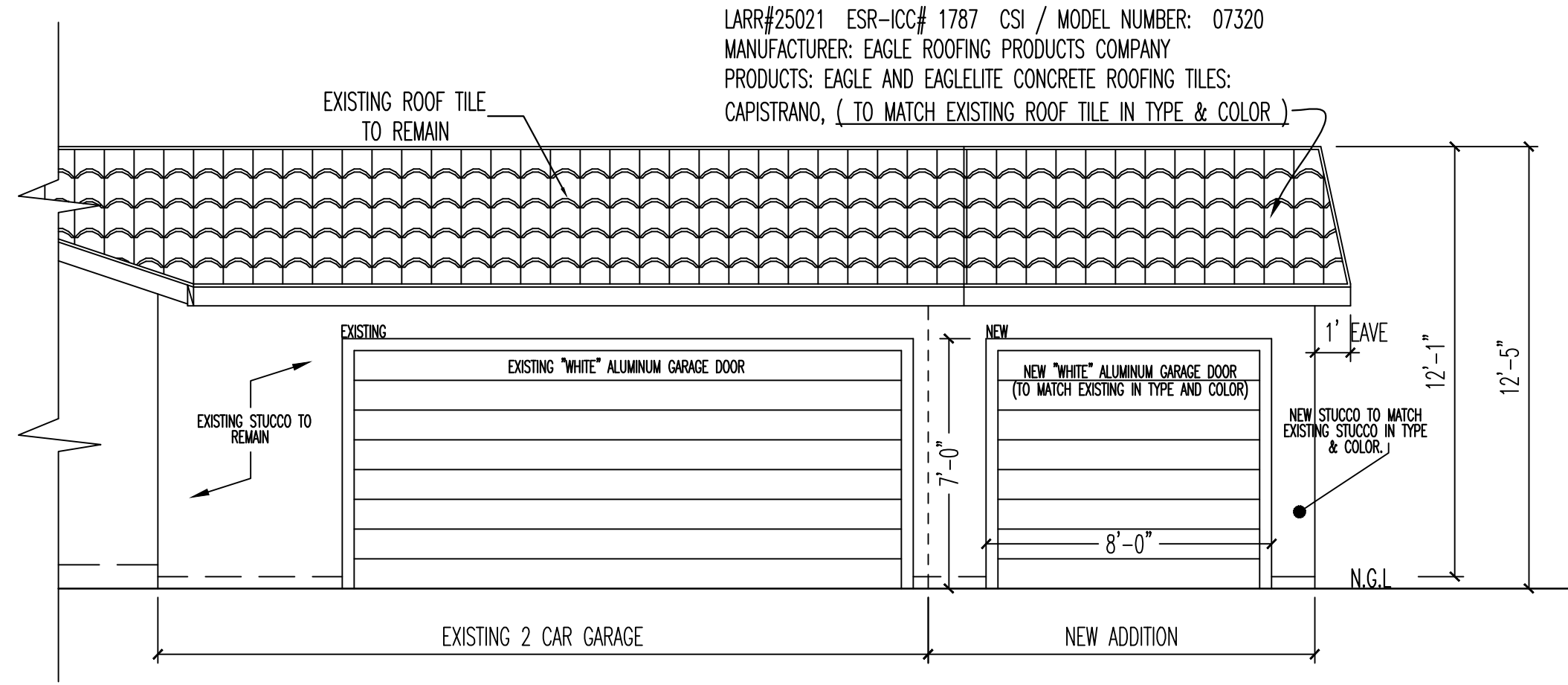
**A-4**

PROPOSED ROOF PLAN

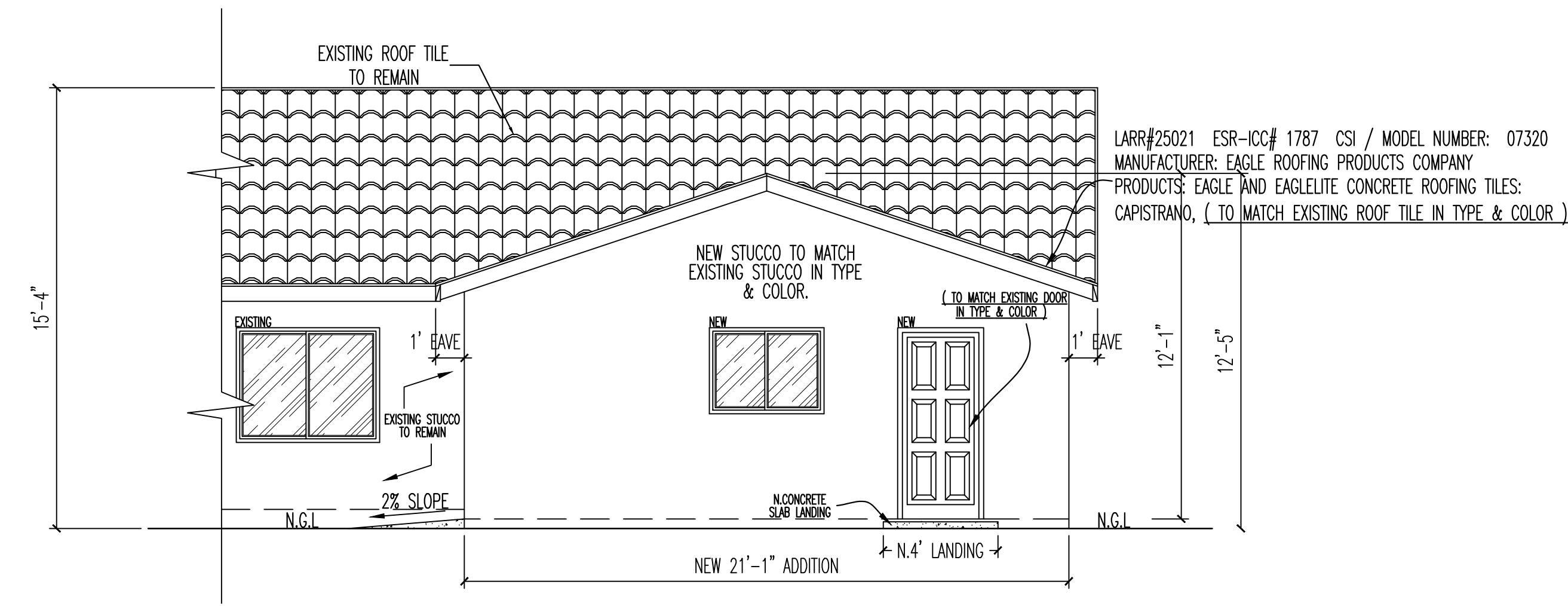


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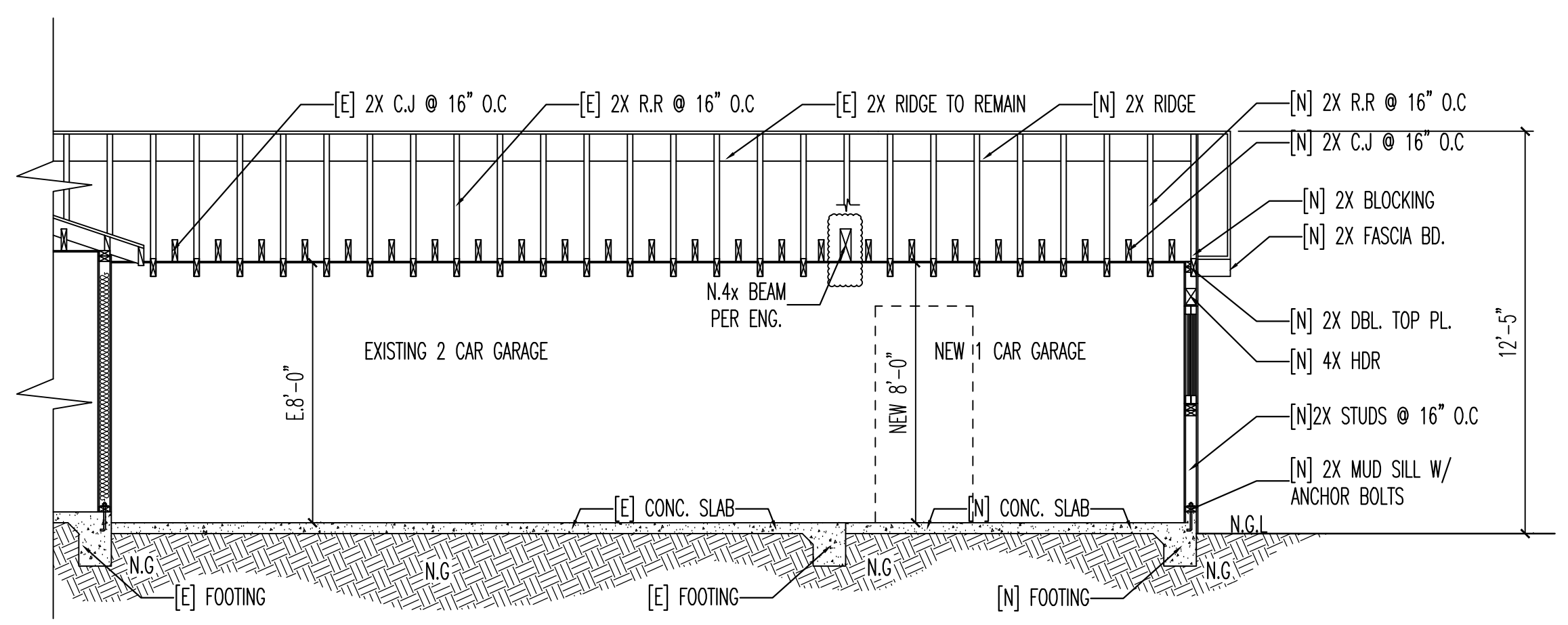
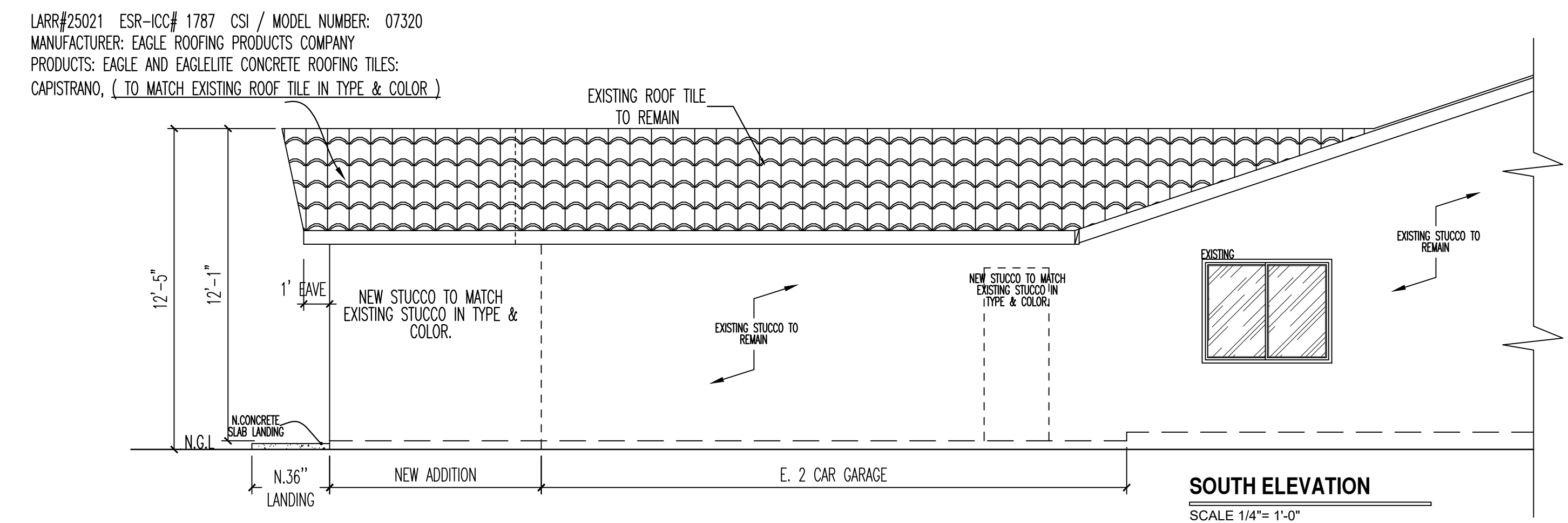
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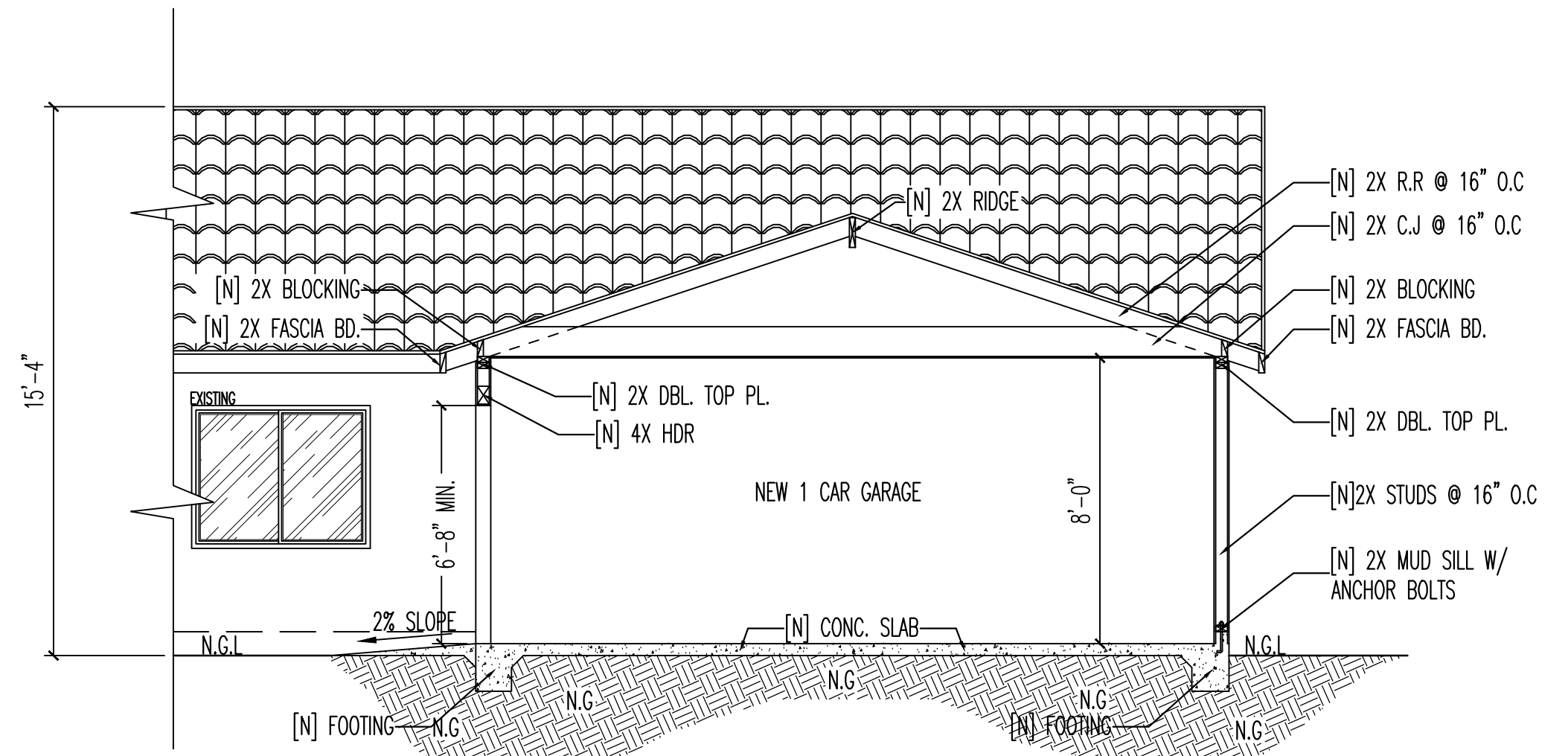
**NORTH ELEVATION**  
 SCALE 1/4"= 1'-0"



**WEST ELEVATION**  
 SCALE 1/4"= 1'-0"



**SECTION - A**  
 SCALE 1/4"= 1'-0"



**SECTION - B**  
 SCALE 1/4"= 1'-0"

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SHEET:  
**A-5**  
 ELEVATION & SECTIONS



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SHEET:  
**A-6**  
ON SITE PICTURES