

**PLANNING DIVISION**

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**DATE:** June 4, 2020

**TO:** Planning Commission

**APPLICANT:** Arvind Aurora  
10250 Lockwood Drive  
Cupertino, CA 95014

**CASE NO:** CUP-01533-2018, OAK-01534-2018

**LOCATION:** 28340 Balkins Drive  
(APN 2055-021-044)

**REQUEST:** Request for 1) approval of a Conditional Use Permit to build a 4,180 square-foot two-story residence with an attached 730 square-foot garage, 2) approval of an Oak Tree Permit to encroach into the tree canopies and protected zones of five (5) of the fifteen (15) oak trees on-site; and 3) to make a finding of exemption under the California Environmental Quality Act.

**ENVIRONMENTAL DETERMINATION:** Exempt from the California Environmental Quality Act (CEQA) per Section 15303 of the CEQA Guidelines.

**RECOMMENDATION:** Staff recommends the Planning Commission approve Conditional Use Permit Case No. CUP-01533-2018 and Oak Tree Permit Case No. OAK-01534-2018, subject to conditions, based on the findings of the attached Draft Resolution.

**ZONING DESIGNATION:** Residential Very Low Density – Old Agoura Design and Equestrian Overlay Districts (RV-OA-EQ).

**GENERAL PLAN DESIGNATION:** Residential Very Low Density (RV)

## I. PROJECT BACKGROUND AND DESCRIPTION

Arvind Aurora, the applicant and owner, is requesting approval of a Conditional Use Permit (CUP) to construct a 4,180 square-foot (sq. ft.) two-story residence with an attached 730 sq. ft. garage located on a 1.01-acre (44,186 sq. ft.) vacant hillside lot. The lot is located on 28340 Balkins Drive with existing hillside single-family residences similar in size located to the east, west, and to the north, across from the project site. To the south is a vacant lot. The residence is proposed at the bottom of the hill to prevent significant disturbance of the existing oak trees and minimize the amount of grading. An Oak Tree Permit is required for this project because the proposed development would encroach into the tree canopies and protected zones of five (5) of the fifteen (15) on-site Coast Live Oak trees.

The site is undeveloped with the exception of paved driveways on the west and east sides adjacent parcels. There is an estimated 81-foot rise with an elevation of 1,089 feet at the front property line to an elevation of 1,170 feet at the rear property line. The site has a steep, north facing slope, and an average slope of 48.9 percent.

An approval of a CUP is required due to the site's average topographical slope of 48.9 percent. A parcel is considered to be hillside and subject to the Hillside Ordinance if it has an average slope of 10 percent or more.

The following table summarizes how the proposed project compares with the relevant lot and development standards.

	Existing	Proposed	Allowed/Required
<b>Lot Dimensions</b>			
Size	1.01 acres	1.01 acres	1 acre min.
Size in square feet	44,186 sq. ft.	44,186 sq. ft.	43,560 sq. ft. min.
Lot Width	193 ft. avg.	193 ft. avg.	n/a
Lot Depth	229 ft. avg.	229 ft. avg.	n/a
<b>Building Height</b>			
	n/a	28 ft.-8.75 in. (two stories)	35 ft. or two stories max.
<b>Building Square Footage</b>			
Residence (1 <sup>st</sup> Floor)	n/a	1,985 sq. ft.	n/a
Residence (2 <sup>nd</sup> Floor)	n/a	2,195 sq. ft.	n/a
<b>TOTAL RESIDENCE</b>	<b>n/a</b>	<b>4,180 sq. ft.</b>	<b>n/a</b>
Attached Garage	n/a	730 sq. ft.	n/a
Covered Front Porch	n/a	45 sq. ft.	n/a
<b>TOTAL OTHER STRUCTURES</b>	<b>n/a</b>	<b>775 sq. ft.</b>	<b>n/a</b>

	Existing	Proposed	Allowed/Required
<b>Lot Coverage</b>			
Residence	n/a	1,985 sq. ft. / 4.49%	n/a
Garage	n/a	730 sq. ft. / 1.65%	n/a
Covered Porch	n/a	45 sq.ft. / .1%	n/a
<b>TOTAL LOT COVERAGE</b>	<b>n/a</b>	<b>6.24%</b>	<b>25% max.</b>
<b>Building Setbacks</b>			
Front Yard (to ROW line – North)	n/a	26 ft.	25 ft. min.
Rear Yard (South)	n/a	134 ft.	25 ft. min.
Side Yard (East)	n/a	26 ft.	12 ft. min.
Side Yard (West)	n/a	61 ft.	12. ft. min.

## II. STAFF ANALYSIS

### A. Site Plan and Buildings

The project site is located on the southern side of Balkins Drive, west of Lapworth Drive in the Old Agoura residential neighborhood. Balkins Drive is a private road that runs east-west. The average size of the seven (7) parcels serviced by Balkins Drive is 1.4 acres or 62,529 sq. ft. The proposed home is on a 1.01-acre parcel (44,186 sq. ft.). The minimum allowed lot size in the RV zone is one (1) acre. Of the houses in the site vicinity, eight (8) range from 2,078 sq. ft. to 5,470 sq. ft. excluding the garage, with building heights that range from 14.5 feet to 34.5 feet. The proposed residence is not the largest in the immediate neighborhood. West of the subject lot, on Balkins Drive, is a 5,470 sq. ft., two-story (26 feet), single-family residence (excluding the garage) on a 0.99-acre parcel that was constructed in 2008. On the southeast corner of Balkins Drive and Lapworth Drive is a 5,319 sq. ft., two-story (31.5 feet), single-family residence (excluding the garage) on a 1.17-acre parcel that was constructed in 2007.

The proposed home would be positioned at the bottom of the hill, at the northern edge of the property, due to the significant slope and cluster of fifteen (15) Coast Live Oak trees further south on the property right-of-way line. Further detail on the slope and hillside are provided under Item C, Hillside.

Access to the residence and attached three-car garage would be provided from Balkins Drive via a 23-foot wide, 26-foot long driveway of permeable pavers (598 sq. ft.). Additional surface area around the driveway has been provided for fire department access and turnaround. The Los Angeles County Fire Department has provided preliminary approval of the site plan for the required emergency access.

The proposed home is a two-story, single-family residence with 1,985 sq. ft. on the first floor and 2,195 sq. ft. on the second floor, an attached 730 sq. ft. garage, a 45 sq. ft. covered front porch, and a combined 265 sq. ft. for balconies. The backyard would have a 1,411 sq. ft. permeable patio and two (2) stacked retaining walls approximately ten (10) feet apart from each other running east-west. The height of the retaining walls would range from one (1) to six (6) feet, consistent with the maximum height allowed in the Zoning Ordinance. Portions of the retaining walls would encroach into the subject Coast Live Oak trees. See Item H, Oak Trees.

The house would be setback 41 feet from the front property line, but due to the 15-foot easement for public utilities along the road, the subject set back line is measured from the right-of-way edge, which is 26 feet from the front of the house. The house is set back from the rear property line by 134 feet, and on the sides by 61 feet on the west and 26 feet on the east, which are all consistent with the Residential Very High Density (RV) zone and the Old Agoura Design Overlay minimum setback. The proposed building height is 28 feet and 8  $\frac{3}{4}$  inches, whereas the maximum allowed in the district is 35 feet.

The overall coverage of the house with the garage and porch is 6.24 percent of the lot and under the maximum allowable 25 percent per the RV zone. In conjunction with the allowable lot coverage within the RV zone, the Old Agoura Design Guidelines within the City's Architectural Design Standards and Guidelines (ADS&G) also recommends a maximum total square footage for a dwelling unit, garage and other habitable structures relative to the lot size. The calculated maximum allowable square footage based on the ADS&G (Section VI Old Agoura Design Guidelines) is 5,283.7 sq. ft.; however, because the lot is on a hillside, a slope factor of .20 for an average slope greater than 45 percent should be accounted for, as recommended by the ADS&G. In calculating the slope factor, the allowable structure size is reduced from 5,284 sq. ft. to 4,227 sq. ft. The proposed building square footage is 4,220 (excluding 690 square feet of the 730 square-foot garage and the 45 square-foot front porch, as allowed by the ADS&G)<sup>1</sup>; therefore, the amount of development would be below the recommended standards set by the ADS&G and, specifically, the Old Agoura Design Guidelines.

## B. Architectural Design

The proposed residence features a tan/muted gold ("harvest gold") colored stucco as the primary exterior wall cover. "Honey Gold" stone veneer panels are used as trim around the entry posts, garage arches, chimney, and the bottom portion of the first floor exterior ranging from 2 to 5 feet above grade. The home also features white aluminum framed windows. The second story is set back from

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<sup>1</sup> The Old Agoura Design Guidelines exclude space for a three car garage from the square footage limit, provided that 230 square feet is allotted per space up to a total of 690 square feet for a single-family residence.

the first story. Balconies with metal railings break up the house's massing. Just below the roof line are faux rafter tails that add an additional rustic architectural feature. The proposed hip roof is composed of concrete tiles with hues of terracotta. The entry walkway, driveway access to the garage and patio at the rear of the residence would consist of permeable concrete pavers. The combination of the hip roof, natural material accents and earth-tone colors make the home compatible with the existing neighborhood. Minimal lighting fixtures are proposed on the north side of the home by the garage doors and front entrance. Lighting is also proposed on the south side of the home to illuminate the rear patio and balconies. The project was reviewed by the Architectural Review Panel (ARP) which provided input on the design of the home, including lowering the arch at the entry; widening the columns at the entry; adding stone on the corners of the building columns and chimney; and decorative retaining walls. The applicant responded by lowering the arched entry, changing the columns for a more craftsman style, adding stone veneer around the columns, chimney, and first floor of the house, and adding a decorative retaining wall.

The home was designed in accordance with Zoning Ordinance sections 9555.B.2 and 9555.C.1 which require projects proposed in Old Agoura to embrace an eclectic, rural style, and a design that is in character with the existing development within the Old Agoura Overlay District. The ADS&G also provides general recommendations on how to maximize architectural compatibility of new dwelling units with existing residential development, including the height of the structure, the use of natural materials like wood and stone, warm and rich colors, roof pitch, roof eaves, and the preservation of privacy. See Item C Hillside for a discussion on privacy. The guidelines also recommend porches and balconies, and front door visibility from the street. As demonstrated by the proposed design, the project complies with the Zoning Ordinance and design guidelines.

### C. Hillside

The parcel is subject to the hillside development standards of the Zoning Ordinance (Hillside Ordinance) because its slope is in excess of ten (10) percent. The Hillside Ordinance establishes special regulations in hillside areas to protect them from incompatible development, and to preserve the natural terrain, quality environment, and aesthetic character while encouraging creative, innovative and safe residential development.

The Hillside Ordinance advocates minimizing grading, protecting viewsheds, minimizing erosion, providing adequate fire protection, providing adequate drainage, using native or other plant species that blend naturally with the environment, and building design standards. The building design standards include variation in roof massing, low roof pitches that follow the hillside slope, avoiding large expanses of a single material on walls, creating interesting and small-scale patterns by breaking up building masses and varying building materials, providing architectural treatment to all sides of a building, and using

materials and colors that blend with the natural landscape. The project is consistent with these criteria as discussed in Item B Architectural Design and Item I Landscaping. The site layout preserves views and privacy from existing adjacent residences as the proposed house is set at the lower elevation of the lot and in front of the homes on the adjacent lots. The proposed residence would preserve privacy as it maintains the allowed required setbacks on the front, rear, and sides. The preservation of all the existing Coast Live Oak trees would also ensure privacy for the surrounding homes and the proposed home.

The property consists of a steep slope down toward Balkins Drive (average slope is 48.9%) in the northern portion of the lot. In order to reduce grading quantities necessary to create a building pad and to preserve as much of the existing natural hillside as possible, the applicant chose to utilize the flat area on the north end of the property, along Balkins Drive. Consistent with the Hillside Ordinance, the project minimizes grading through innovative site planning and contour grading methods to preserve scenic viewsheds and the hillside. The applicant's proposal demonstrates compliance with this ordinance.

The Hillside Ordinance, Section 9652.13.B, requires that at least 97.5 percent of the parcel remain undisturbed open space for a parcel that has an average slope greater than 35 percent, unless a CUP for a single-family home is approved by the Planning Commission. The open space area of the subject lot includes fifteen (15) oak trees and totals approximately 38,874 sq. ft. or 88 percent of the overall lot. The developed area includes a permeable driveway with the required County Fire Department access, permeable backyard patio, retaining walls, and building footprint which totals approximately 5,312 sq. ft. or 12 percent of the overall lot. Therefore, the amount of open space is less than what the ordinance requires. In such situations, the open space standard may be exceeded by way of a CUP for the development of one (1) single-family home provided certain findings can be made. The required findings stipulate that, in the event the open space requirement would prohibit development of the parcel for residential use, a residential dwelling unit shall be permitted as long as: 1) the parcel was legally created; 2) a change in ownership occurring after the adoption of this section has not resulted in such parcel no longer being considered part of a larger parcel of land; 3) a private septic system will not be installed for any dwelling unit located on parcel of land consisting of less than one (1) acre in area; 4) a CUP is granted. The project meets these necessary criteria because the parcel was legally created prior to adoption of this ordinance; after the change in ownership, the parcel size has remained the same; the proposed septic system is allowed because the parcel is 1.01 acres; and after the granting of the applicant's CUP, it will have fully met all of the aforementioned criteria to allow development of a residence in spite of the open space requirement. The proposed driveway, garage, retaining walls, and patio are all necessary to support the allowed residence and meet the Zoning Code, as well as County Fire Department access requirements. As previously noted, the County Fire Department has provided preliminary approval of the project.

In the RV zone, a residence may be 35 feet high; however, Zoning Ordinance section 9607.1.A requires that residentially-zoned properties are subject to the City's hillside development standards. Section 9607.1 Height Standards of the Zoning Ordinance addresses building height in hillside areas. It states that where the average elevation of the rear lot line is above the average elevation of the front lot line, the building may not exceed 15 feet above the average finished grade of the rear yard setback line. In this case, the average elevation of the rear lot line is 1,144 feet and the proposed building height rises to an elevation of 1,124 feet. Therefore, the proposed building height is below the average finished grade of the rear yard by 20 feet and meets the height standard.

#### D. Equestrian Overlay District

The project site is within the Equestrian Overlay District (EQ), which requires that a horse-keeping area of at least 1,500 sq. ft. be identified on the property for equestrian purposes. The EQ also requires that for lots with an average slope over 25 percent, such as the subject parcel, the minimum horse-keeping area shall be optional, at the discretion of the Planning Commission. Although the applicant is not interested in keeping horses on the property at this time, an equestrian area is included on the plans. A 1,610 square-foot horse keeping area has been designated on the rear east side of the property with a potential future barn area identified. The proposed project could support horses and other farm animals and would comply with the minimum required 35-foot separation to on and off-site habitable structures. The equestrian area has vehicular access via the private driveway from Balkins Drive to support emergency services to the animals.

#### E. Old Agoura Overlay District

The intent of the Old Agoura (OA) Overlay District is to preserve Old Agoura's unique semi-rural character through the establishment of special standards and design guidelines. The District calls for residential development to embrace an eclectic, rural style that preserves the equestrian nature of the area. The project is consistent with the District and other neighboring Old Agoura residences through the incorporation of stone elements, exposed rafter tails, a hip roof, primarily earth-tone colors, permeable pavement, and the preservation of open space and oak trees.

#### F. Homeowners Association

The Old Agoura Home Owners Planning and Zoning Committee has reviewed project and concludes their review by stating, "Assuming the project complies with local codes, we suggest approval of the project as presented." A copy of its

letter, date May 12, 2020, is included as an attachment. Letters from the public has also been included as an attachment.

#### G. Public Works/Engineering Division

The Public Works/Engineering Division has reviewed the civil engineering plans and requires that Balkins Drive, which is a private street, be improved along the property street frontage. The required street improvements includes construction of a 20 foot wide minimum of surface, a permeable pavers driveway approach, and all water appurtenances per Las Virgenes Municipal Water District's standards. A new driveway approach of permeable pavers extending twenty-three (23) feet wide along the property frontage is proposed. Southern California Edison lines would be relocated just north of the septic tank. A recorded ingress and egress easement on the east side of the property (County Recorder's Instrument No. 05-2063156) allows access to the rear and proposed horse-keeping area.

The hillside drainage would be intercepted by a concrete swale behind the retaining walls and would direct stormwater around the house to discharge on the west and east sides of the site. Geotechnical, geological, and drainage studies have been reviewed by the City Geotechnical Consultant from a geotechnical perspective, and were found to be in compliance with applicable codes, guidelines, and standards of practice. The applicant must submit a Final Grading Plan, Encroachment Permit, Erosion and Sediment Control Plan, and Standard Urban Stormwater Mitigation Plan to the City Engineer for review and approval prior to construction, and would comply with the requirements of Low Impact Development (LID).

A proposed private septic system located on the front west side of the property would serve the residence. The location and feasibility of the septic system has been tentatively approved by the Los Angeles County Health Department.

#### H. Oak Trees

The applicant has applied for an Oak Tree Permit and has submitted an Oak Tree Report. The Oak Tree Report prepared by L. Newman Design Group, Inc., was reviewed by the City Oak Tree Consultant who concurs with the findings. Based on the information provided in the Oak Tree Report and review of the Site Plan, (5) of the fifteen (15) on-site Coast Live Oak Trees (numbers 1, 2, 11, 12, 13) will be encroached upon during the construction of the proposed building pad, permeable surface, and retaining wall.

The northeast portion of the retaining wall in the rear yard would be no closer than eight (8) feet from the trunk of Tree No. 1. A catch-basin would be installed at the end of this retaining wall that would encroach into 33 percent of the Tree Protected Zone (TPZ) of Tree No. 1. Minor encroachment of the TPZ of Trees No. 2, 11, 12, and 13 would occur. Overall, the project maintains an acceptable



distance from the trees such that none would need to be removed or damaged. The project has been conditioned to protect the life of the oak trees by taking precautionary measures. A certified arborist is required to monitor the project during trenching to minimize the impacts to the tree roots. Other measures include fencing the oak trees during the construction phase, and restricting further development under the tree canopies and TPZs.

#### I. Landscaping

One of Old Agoura's design goals is to promote a natural environment and maintain the rural character of the area. In addition to the existing fifteen (15) Coast Live Oak trees, the proposed landscape plan also includes a combination of native and non-native but compatible, species including trees, shrubs, and ground cover. Landscaping was designed in consideration of the oak trees to ensure their health and survival. To soften the appearance of the retaining walls, planting of various shrubs and ground cover are proposed in between the two stacked retaining walls. Los Angeles County Fire Department's Fuel Modification Unit, which addresses wild fire hazards based on vegetation and location, has reviewed the landscaping plans and has provided preliminary acceptance.

#### J. General Plan Consistency

Staff finds the project will be consistent with the following applicable General Plan goals and policies:

*Goal LU-7: Livable and Quality Neighborhoods.* Neighborhoods that provide a variety of housing types, densities, and design, and mix of uses and services that support needs of their residents.

- Policy LU-7.1 Neighborhood Conservation. Maintain the uses, densities, character, amenities, and quality of Agoura Hills' residential neighborhoods, recognizing their contribution to the City's identity, economic value, and quality of life for residents.
- Policy LU-7.2 Housing Character and Design. Require that new and renovated housing within existing single- and multi-family neighborhoods be located and designed to maintain their distinguishing characteristics and qualities, including prevailing lot sizes; building form, scale, massing, and relationship to street frontages; architectural design; landscape; property setbacks; and comparable elements. Continue to implement the City's Architectural Design Standards and Guidelines to ensure that residential units are designed to sustain the high level of architectural design quality and the character of the existing land forms that characterize the Agoura Hills neighborhoods, in consideration of the following principles as identified in the City Architectural Design Standards and Guidelines:

- Harmony with the natural land forms and native vegetation
- Response to the local climate (through proper building orientation, appropriate glazing, use of overhangs, shading devices, native vegetation, etc.)
- Reflection of the highest standards of adjacent buildings and the neighborhood style[s], proportions, colors, and materials.

*Goal LU-8 Residential Very Low– and Residential Low-Density Neighborhoods (Old Agoura).* Residential neighborhoods containing very low–and low-density housing reflecting Agoura Hills’ history and designed to respect their environmental setting.

- Policy LU-8.1 Neighborhood Identity. Promote and maintain the integrity of Old Agoura residential neighborhoods for their low-density large estates, rustic character, non-urban infrastructure, and keeping of horses and other farm animals.
- Policy LU-8.2 Development Compatibility with Community Character. Require that renovation of existing and construction of new housing and property improvements respect the characteristics that distinguish Old Agoura, including its topography, parcel sizes, housing scale and form, nonurban infrastructure and some streetscapes (no sidewalks, curbs and gutters, and street lighting), and equestrian trails.
- Policy LU-8.3 Integration of Development with Natural Setting. Require that buildings be located, scaled, and designed to reflect the existing terrain and minimize grading to the maximum extent possible. Structures shall be integrated into the hillsides, taking care to preserve the viewsheds and natural ridgelines.
- Policy LU-8.4 Property Setbacks. Encourage variable setbacks to enhance streetscape character and increase building separation.
- Policy LU-8.5 Building Materials and Colors. Limit exterior building materials to those that have the appearance of materials that are characteristic of rural environments.
- Policy LU-8.6 Landscaping. Require that on-site landscapes transition smoothly to the natural undeveloped open areas.
- Policy LU-8.7 Open Spaces. Encourage the provision of open space areas suitable for horses or other farm animals, thereby enhancing the equestrian and rural character of the area.

*Goal LU-9 Single Family Neighborhoods.* Maintenance of the identity, scale and character of the City’s distinct residential neighborhoods.

- Policy LU-9.1 Neighborhood Identity. Maintain the distinguishing characteristics that differentiate by topography, parcel size, housing scale and form, and public streetscapes in Agoura Hills' single-family neighborhoods.

The project's site and building design are consistent with Goals LU-7, LU-8, and LU-9 and their policies. The project would maintain open space and preserve the oak trees at the steepest parts of the parcel on the south and would maintain privacy for neighbors to the east and west of the residence by providing more than the required setbacks for the District. Site grading would be minimal due to the building pad being constructed on the flatter portion of the site. A combination of native and non-native, but compatible vegetation species have been incorporated into the landscape plan, including in the rear yard, adjacent to the hillside open space.

The project integrates Old Agoura's design guidelines by using natural and earth-tone colors to maintain the neighborhood's natural setting. The building also incorporates stucco and stones harmoniously without one being dominant over the other. The combination of the façade materials, and architectural features (balconies and porch) articulated at various locations around the house, as well as the second level stepped back from the first, helps minimize the appearance of building mass. An adequate area for horse-keeping has been dedicated at the rear of the house.

The project would be consistent with other single-family homes in the neighborhood, as discussed in Item A, Site Plan and Buildings.

#### K. Environmental Review

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorical Exempt from the CEQA Guidelines per Section 15303. This exemption includes new construction of a single-family residence. No significant environmental impacts are expected from development of this project. No exception to this categorical exemption applies as set forth in Section 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

### III. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Conditional Use Permit Case No. CUP-01533-2018; and Oak Tree Permit Case No. OAK-01534-2018, subject to the conditions, and based on the findings of the attached Draft Resolution.

#### **IV. ATTACHMENTS**

1. Draft Resolution for the Conditional Use Permit and Oak Tree Permit with Exhibit A, Conditions of Approval
2. Project Plans
3. Project Renderings
4. Color and Material Board
5. Vicinity Map
6. Letter from Old Agoura Home Owners Planning and Zoning Committee
7. Letters from the Public

Case Planner: Katrina Garcia, Assistant Planner

## ATTACHMENT 1

Draft Resolution for the Conditional Use Permit and Oak Tree Permit with  
Exhibit A, Conditions of Approval

DRAFT RESOLUTION NO. \_\_\_\_

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-01533-2018 FOR THE CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE LOCATED AT 28340 BALKINS DRIVE; AN OAK TREE PERMIT CASE NO. OAK-01534-2018 TO ENCROACH INTO THE PROTECTED ZONE OF FIVE (5) OAK TREES; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Arvind Aurora with respect to the real property located at 28340 Balkins Drive, Assessor's Parcel Number 2055-021-044, requesting approval of Conditional Use Permit (CUP) Case No. CUP-01533-2018 to allow the construction of a new 4,180 square-foot, two (2) story, single family residence and a 730 square-foot, attached three (3) car garage on a vacant parcel, and an Oak Tree Permit Case No. OAK-01534-2018 to encroach into the protected zone of five (5) on-site oak trees.

Section II. The project is a request for construction of a new single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303 (New Construction or Conversions of Small Structures). The new single-family residence and related structures would not result in significant impacts to the environment, as oak trees would be protected and development would avoid steeper site slopes. No exception to this categorical exemption applies, as set forth in Section 15300.2 of the CEQA Guidelines, including but not limited to, Subsection (c), which relates to unusual circumstances.

Section III. The Planning Commission of the City of Agoura Hills considered the project and application at a public hearing held on June 4, at 6:30 p.m. The public hearing was held in accordance with the Governor's Executive Order N-29-20 on an electronic platform that allowed for the applicant and members of the public to present statements and provide materials to the Commission. Notice of the time, date, means of participation in and purpose of the aforementioned hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforementioned public hearing.

Section V. Conditional Use Permit. Based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Zoning Ordinance Section 9673.2.E of the Agoura Hills Municipal Code, that:

A. The proposed use is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located. The proposed project is located within the Very Low Density Residential and Old Agoura Design Overlay and Equestrian Overlay (RV-OA-EQ) districts, which allow for the development of single-family residences. The project meets the City's minimum development standards for the zoning district with regard to lot coverage, lot size, building height, building setbacks, and all other applicable development standards. The project accommodates an equestrian area large enough to build a corral and a barn in compliance with the Equestrian Overlay District.

B. The proposed use is compatible with the surrounding properties. The proposed style of architecture and building materials of the residence, includes muted gold/tan colored stucco exterior walls, white trim, terra cotta color tile hip roof, natural stone cladding in gold/tan tones, metal post and cable railing, and white aluminum framed windows with cement window molding. The project is in compliance with the City's Architectural Design Standards and Guidelines and standards of the Old Agoura Design and Equestrian Overlay Districts by providing for structures compatible with the natural environment in terms of colors and materials, providing a front porch and hip roof, and an area for horse-keeping. The proposed single-family home is similar in size to many surrounding houses, and consistent with the maximum recommended building square footage of the Old Agoura Design Guidelines, in the City's Architectural Design Standards and Guidelines. The house maintains a large percentage of open space representative of Old Agoura.

C. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or general welfare. The design of the residence will ensure adequate light, air, privacy and open space to surrounding properties, as the project complies with the RV zone height, setbacks, lot size and coverage requirements. The proposed residence is situated in the lower, flatter portion of the on-site hillside lot, which will preserve the views and privacy of the surrounding properties. The project complies with the maximum allowable building height of hillside properties. Vehicular access to the property will be provided via Balkins Drive, and the driveway is designed in accordance with City and Fire Department standards. Geological, geotechnical, and drainage studies have been reviewed by the City Geotechnical Consultant from a geotechnical perspective, and found to be in compliance with applicable codes, guidelines, and standards of practice. The project will be in full compliance with the City's Building Code. The site will be served by a private septic system, which has received preliminary approval from the Los Angeles County Department of Environmental Health.

D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance, except for approved Variances or Modifications. The project is consistent

with the zoning district's requirements for setbacks, building height, building site coverage, lot size and retaining wall heights, and all other applicable development standards. The project is also consistent with the Old Agoura Design and Equestrian Overlay districts relative to the style of architecture with natural materials and colors, native and drought-tolerant landscaping, minimization of grading, and sufficient area allotted for equestrian use. The 48.9 percent slope of the lot requires compliance with the Hillside Ordinance. Findings for Hillside standards are detailed on Section VII Hillside Area. No variances or modifications are required.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community. The project site is set within an existing single-family residential neighborhood. The project meets the minimum yard setback requirements, building height, lot coverage and lot size requirements of the Very Low Density Residential zone and will be placed a distance of 200 feet to the residence to the east and the residence to the west of the site. The project is designed to provide sufficient space on the property to accommodate accessory structures and amenities in addition to the main residence, including a horse-keeping area.

F. The proposed use is consistent with the goals, objectives, and policies of the City's General Plan. The project is consistent with Land Use and Community Form Goal LU-7, LU-8 and their applicable policies including Policy LU-7.1 Neighborhood Conservation, Policy LU-7.2 Housing Character and Design, Policy LU-8.1 Neighborhood Identity, Policy LU-8.2 Development Compatibility with Community Character, Policy LU-8.3 Integration of Development with Natural Setting, Policy LU-8.4 Property Setbacks, Policy LU-8.5 Building Materials and Colors, Policy LU-8.6 Landscaping, and Policy LU-8.7 Open Spaces. The project is consistent with neighboring properties in terms of height and density and protection of the slope. The proposed single-family residence conforms to the required height and setbacks of the RV zone. The lot size is similar to others in the neighborhood. Site grading will be minimized by creating the building pad on the site's flatter portion. The architectural design is of high quality, as are the materials, which are natural and earth-toned colors that integrate the project with the Old Agoura area natural setting. The residence is adequately articulated with varying architectural features and planes. The different building façade materials (stucco and stone) and features, including porch, balconies, and decks, minimize the building mass. The plant palette incorporates native as well non-native but natural-looking trees and plant species. The oak trees will remain preserving the harmony of the natural native vegetation. The proposed plans include a 1,610 square-foot equestrian area that is accessible from Balkins Drive. Therefore, the proposed project could support horses and other farm animals. The project complies with Goal LU-9 and Policy LU-9.1 Neighborhood Identity by remaining in scale with the other residences in the neighborhood in terms of the lot size, and complies with the recommended maximum square footage in the Old Agoura Design Guidelines section of the City Architectural Design Standards and Guidelines.

Section VI. Hillside Area. Based on the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Section 9652.15.A of the Zoning Ordinance, that:



A. The proposed project, as conditioned, is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood, mud flow, erosion hazards, or other hazards. The project development is sited away from steep slopes on the lot, which minimizes grading and the potential for geotechnical hazards. The project is conditioned to comply with the Low Impact Development (LID) requirements of the Municipal Code to protect storm water quality and drainage. A preliminary geotechnical report has been approved by the City Geotechnical Consultant. Both studies and plans have demonstrated that the project will not create threats to life and property due to geologic, slope instability, fire and flood erosion hazards based on accepted grading practices and slope retention systems by way of retaining walls, drainage, and landscaping. Final geotechnical reports are required for review by the City prior to grading permit issuance. The Engineering/Public Works Division and Building and Safety Division have reviewed the project and imposed conditions to ensure the project would be consistent with safety requirements and would not pose a threat to life or property.

B. The proposed project is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project does not protrude above any ridgelines, but is set on the flatter site area. There are no General Plan designated ridgelines on or adjacent to the lot. No known sensitive or protected natural resource exists on the site and therefore no resource is expected to be impacted. Conditions to protect cultural resources, if encountered during construction, have been incorporated into the project conditions of approval.

C. The project can be provided with essential public services and is consistent with the objectives and policies of the City General Plan. All utility services will be brought to the parcel without interference to the existing infrastructure. The site will be served by a private septic system, acceptable to the County Environmental Health Department.

D. The development will complement the community character and benefit current and future community residents. The project is consistent with the maximum recommended building square footage of the Architectural Design Standards & Guidelines. By providing amenities similar to other neighboring properties, such as space for equestrian activities, and utilizing materials, colors, and an architectural design compatible with Old Agoura, this development will blend in with the community and will serve the current and future property owners.

E. The development, as conditioned, is consistent with the general design and construction standards set forth in the Hillside Ordinance, including standards for density, open space, view preservation, fire protection, erosion control, drainage control, ridgelines, building design and landscaping. Due to the significant slope on the lot (48.9 percent), the project is subject to the Hillside Ordinance. It does not meet the open space requirements of 97.5 percent of undisturbed open space on a lot with a slope greater than 35 percent. In such situations, the open space standard may be exceeded by way of a CUP for the development of one (1) single-family home provided certain findings can be

made. The required findings stipulate that, in the event the open space requirement would prohibit development of the parcel for residential use, a residential dwelling unit shall be permitted as long as: 1) the parcel was legally created; 2) a change in ownership occurring after the adoption of this section has not resulted in such parcel no longer being considered part of a larger parcel of land; 3) a private septic system will not be installed for any dwelling unit located on parcel of land consisting of less than one (1) acre in area; 4) a CUP is granted. The project meets these necessary criteria because the parcel was legally created prior to the adoption of this ordinance; after the change in ownership, the parcel size has remained the same; the proposed septic system is allowed because the parcel is 1.01 acres; and after the granting of the applicant's CUP, it will have fully met all of the aforementioned criteria. The County Fire Department Land Development Division and Fuel Modification Unit has provided preliminary acceptance of the project plans. No ridgeline is identified in the General Plan in the vicinity of the project, and development will not occur on the steep hillside, therefore, no visual impact will result from the project. The project will not block views from the adjacent residences because it maintains the required setback prescribed by the District within the Zoning Ordinance. The project will be required to comply with LID standards for erosion and drainage control. The building design will be consistent with the neighborhood and Old Agoura through use of natural colors and materials, hip roof, and minimizing grading. The landscape plan includes native and non-native, but compatible species.

Section VII. Oak Tree Permit. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds for the Oak Tree Permit, pursuant to Section 9657.5(C) of the Zoning Ordinance that:

A. It is necessary to remove, relocate, prune, cut, or encroach into the protected zone of an oak tree when because the continued existence totally prevents the development of the subject property. All oak trees on-site will be retained, but encroachment into five (5) oaks is necessary for proper and safe development of the property. To ensure stability of the slope, retaining walls will be constructed per the required Building Codes and will encroach into the subject oak trees. Encroachment into the protected zones of the five (5) oak trees is necessary because it would otherwise prevent planned improvements or development.

B. The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees on the subject property. The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees on the subject property. The proposed use will require encroachment in the protected zones of five (5) on-site Coast Live Oak trees due to the construction of stacked retaining walls to help support and maintain the slope and ensure a safe development. However, no oaks would be removed. As conditioned, the health of encroached oaks will be maintained. The City's Oak Tree consultant reviewed the plans and confirmed that the encroached trees will not be harmed and the project will not endanger the health of the other oak trees on the property based on the project plans because the development maintains a reasonable distance from these trees. The project is conditioned to protect the life of the oak trees on the subject property by taking

precautionary measures when grading in proximity of the oak trees, by using hand tools when ground disturbances occur by the protected zones, fencing the oak trees during construction phase, and restricting further development from under the tree canopies.

C. The removal or relocation of the oak tree(s) proposed will not result in soil erosion through the diversion of increased flow of surface waters which cannot be satisfactorily mitigated. This finding does not apply to this project as all oak trees will remain on-site and none will be relocated.

D. The removal or relocation of the oak tree(s) proposed is necessary because the continued existence at present location(s) prevents the planned improvement or proposed use of the subject property to such an extent that alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive; or that the placement of such tree(s) precludes the reasonable and efficient use of such property for a use otherwise authorized; or that the oak tree(s) proposed for the removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the tree(s). This finding does not apply to this project as all oak trees will remain on-site and none will be relocated.

Section VIII. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. CUP-01533-2018 and Oak Tree Case No. OAK-01534-2018, subject to the conditions attached hereto as Exhibit A, with respect to the property described in Section I hereof.

Section IX. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 4<sup>th</sup> day of June 2020, by the following vote to wit:

AYES: (0)  
NOES: (0)  
ABSTAIN: (0)  
ABSENT: (0)

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John Asuncion, Chairperson

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Doug Hooper, Secretary

EXHIBIT A  
CONDITIONS OF APPROVAL  
(Case Nos. CUP-01533-2018 and OAK-01534-2018)

PLANNING DIVISION

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of the Planning Commission's action, subject to filing the appropriate forms and related fees.
2. The approval of these permits shall not be effective for any purpose until the applicant has agreed in writing that they are aware of, and accept, all conditions of this of these permits with the Planning Division.
3. Except as modified herein, the approval of this action is limited to, and requires complete conformation to, the final labeled exhibits: Site Plan, Building Elevation Plans, Floor Plans, Roof Plan, Grading Plan, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of these permits is held or declared invalid, the permits shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permits shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in these conditions or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Director of Planning.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.

11. A construction chain link fence with green mesh fabric screening no higher than six (6) feet in height shall be installed on-site along the perimeter of the site prior to construction, no closer than five (5) feet from the property line. The fence shall allow for vehicle access to the site, and be installed such that the line-of-sight for vehicles entering or exiting the site is clear and unobstructed. The fence and screening shall be installed prior to construction and shall remain in good working condition and free from disrepair and vandalism for the duration of the construction period. The fence shall be removed upon construction completion.
12. Unless these permits are used within two (2) years from the date of City approval, Conditional Use Permit Case No. CUP-01533-2018 and Oak Tree Permit Case No. OAK-01534-2018 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District prior to issuance of a Building Permit. The current fee is \$3.79 per square foot for residential construction.
15. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
16. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
17. All exterior lights shall be focused downward and shielded to minimize glare and light spillover onto the open space area on the south end of the site and the adjacent lots.
18. Retaining walls shall not be built with an exposed face greater than six (6) feet tall.
19. The retaining wall design shall be shown on the final grading plans and be of decorative, rustic material, consistent with the surrounding natural area, to the satisfaction of the Planning Division.
20. In the event archaeological resources are encountered during ground-disturbing activities, the City Planning Division shall be notified immediately, and work shall stop within a 100-foot radius until a qualified archaeologist approved by the City Planning Division, and retained and paid for by the developer/applicant, has assessed the nature, extent, and potential significance of any remains. In the event such resources are determined to be significant, appropriate actions are to be determined by the archaeologist consistent with the City General Plan, in consultation with the City Planning Division.

21. If human remains are unearthed during ground disturbing activities, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the developer/contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) though to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assessed the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City.
22. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
23. A pre-construction conference shall be held prior to the issuance of a Grading Permit, with all construction personnel involved with the grading operations.
24. No construction work or repair shall be performed outside the hours of 7:00 a.m. to 7:00 p.m. or any Sunday or Holiday.
25. The Applicant, and property owner(s), and their successors in interest, shall indemnify, defend and hold harmless the City, its officials, officers, agents and employees (collectively "Indemnitees") from and against any and all claims, actions, lawsuits, damages, losses and liabilities arising or resulting from the granting of this approval by the City or the exercise of the rights granted by this approval. This indemnification obligation shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the Indemnitees in connection with any such claims, actions or lawsuits, any expert fees, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such claim, action or lawsuit. The City shall promptly notify Applicant and property owners of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. In the event such a legal action is filed, the City shall estimate its expenses for litigation. Applicant or property owners shall deposit such amount with the City or enter into an agreement with the City to pay such expenses as they become due. Applicant and property owners shall reimburse the City, and each of the Indemnitees for any and all legal expenses and costs incurred by it in enforcing the indemnity herein provided. Although the Applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.

#### BUILDING AND SAFETY DIVISION

26. All the code requirements for the Very High Fire Hazard Severity Zone (VHFHSZ) per Chapter 7A of the 2019 California Building Code and Agoura Hills Municipal Code applies to this project.
27. A two percent (2%) slope away from the structure for drainage (on the first five (5) feet) all around the new structure(s) shall be provided.
28. The applicant shall note on the plans that all new or replaced windows will be tempered on at least one side of the dual pane, or a 20 minute rated window or glass blocks per Section 704A.3 of the 2019 California Building Code.
29. This project shall be subject to the 2019 California Residential, Building, Mechanical, Plumbing, Electrical, Energy, Fire, Green Building Codes, and Agoura Hills Municipal Code.
30. Fire Sprinklers will be required for all new structures per 2019 California Building and Fire Codes as well as Article VIII of the Agoura Hills Municipal Code.
31. Prior to issuance of a building permit, a soils report is required to be submitted to the Building and Safety Department for this project.
32. Los Angeles County Fire Department review and approval will be required prior to issuance of a building permit for all new structures.
33. Current Los Angeles County Health Department approval is required prior to a building or grading permit, whichever comes first, for the installation of any septic tanks, leach fields or seepage pits and future leach fields and seepage pits.
34. Las Virgenes Municipal Water District approval for water and sewer will be required prior to issuance of a building permit.
35. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Mechanical, Electrical, Plumbing, Energy Plans, plans will need to be submitted to Building and Safety Department for plan review and approval. Please be advised that this is a preliminary review and does not constitute a final Building and Safety approval.

#### PUBLIC WORKS/ENGINEERING DIVISION

36. Prior to issuance of a grading permit, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.

37. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of a grading permit, all improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc. shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at [www.ci.agoura-hills.ca.us](http://www.ci.agoura-hills.ca.us).
38. Prior to issuance of a grading permit, the applicant shall pay all applicable Transportation Impact Fee (TIF) to the Building and Safety Department in the amount of \$3,094.
39. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
40. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
41. The grading plan shall show location(s) of all Oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
42. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
43. Prior to issuance of a grading permit, the project shall obtain a permit from the Los Angeles County Fire & Health Departments, and from Las Virgenes Municipal Water District.
44. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at 818.597.7322 for approved City certification forms.
45. Grading and Building Permits shall not be issued until applicant has obtained septic system approval from Los Angeles County Health Department.



46. Prior to issuance of a grading permit, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. **This project shall provide 20 feet minimum of paved surface, grind and repave Balkins Drive along the property frontage, construct a permeable pavers driveway approach, and construct all water appurtenances per Las Virgenes Municipal Water District' standards.**
47. The following existing street being cut for new services will require an asphalt concrete overlay: Balkins Drive along property frontage.
48. This property is within the LVMWD service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
49. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
50. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
51. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
  - Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
  - Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
  - Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
  - Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
52. Prior to the approval of the Grading Plan and issuance of Grading Permit, a completed Low Impact Development (LID) Plan shall be submitted to and approved

by the Engineering Department. The LID Plan shall comply with the requirements of the LID Ordinance and Los Angeles County LID Standards Manual. The LID Plan shall include the following information:

- Identification of whether the proposed project is a Designated or Non-Designated Project.
  - If the proposed project is a Designated Project, identification of the project category.
  - Feasibility of infiltration including a percolation report as part of a geotechnical report prepared by a geotechnical engineer.
  - Source control measure(s) proposed to be implemented
  - Calculation of the SWQDv.
  - Discussion on whether stormwater runoff harvest and use is feasible.
  - Stormwater quality control measure(s) proposed to be implemented.
  - Discussion of how the applicable water quality standards and total maximum daily loads (TMDLs) will be addressed (off-site mitigation projects only).
  - Proposed hydromodification controls and calculations (if necessary).
  - Proposed maintenance plan (if necessary).
53. Prior to issuance of Certificate of Occupancy, all remaining fees/ deposits required by the Engineering Department must be paid in full.
54. Prior to issuance of Certificate of Occupancy, all construction improvements covered in condition number 46 must be completed to the satisfaction of the City Engineer.
55. Prior to issuance of Certificate of Occupancy, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. *No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.*
56. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County.
57. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
58. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be

complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

## GEOTECHNICAL

59. The applicant shall comply with all recommendations of the addendum geotechnical engineering report prepared by Calwest Geotechnical Consulting Engineers dated May 8, 2019, the addendum geologic report prepared by Landphases, Inc. dated April 29, 2019, and the City Geological/Geotechnical Consultant's (GeoDynamics, Inc.) recommendation and comments dated May 23, 2019.

## OAK TREES

60. If during construction activities it is determined that any City-protected oak trees on the property is encroached by more than indicated in the Oak Tree Report dated February 19, 2020 or as depicted on the Site Plan received on February 19, 2020, four (4) mitigation trees shall be planted on-site. In accordance with the City of Agoura Hills Municipal Code (AHMC), mitigation trees shall consist of the same species that was impacted, using one 36-inch box oak tree, two 24-inch box oak trees, and a fourth oak tree from a minimum 15-gallon container. In addition, the cumulative caliper of Tree 1 (40 inches) shall be replaced at 1:1; therefore, additional oak trees will need to be planted to meet the 1:1 caliper requirement. Refer to the average oak tree container sizes provided in AHMC Section 9657, V., C.1, 4.2 (page 1057) to determine the quantity of oak tree caliper that will be mitigated. Mitigation trees shall be derived from a local nursery and be certified as disease- and pest-free. All mitigation tree shall be in excellent-to-good health and shall be inspected by the City Oak Tree Consultant within 72-hours prior to planting. If it is not feasible to plant the mitigation trees on-site, the Planning Director may consider payment of an in-lieu fee based on the cost to plant four mitigation trees, including maintenance over a five (5)-year period.
61. A three-inch layer of chipped bark mulch shall be applied throughout the soil ring surrounding the mitigation trees at the time of planting. Under no circumstances shall eucalyptus mulch be used or mulch derived from diseased plant material. The mulch shall be maintained so that it remains slightly away from the trunk of the tree to avoid excess moisture at the root crown. The mulch shall be replenished as necessary throughout the life span of the tree.
62. All subsurface ground disturbances that will occur within the tree protected zone (TPZ) of an oak tree shall be performed using hand tools under the direct observation of a Certified Arborist. If work within the TPZ is not feasible with the use of hand tools, mechanical equipment may be allowed so long as a Certified Arborist is present to directly observe activities and to ensure that no impacts occur to the oak tree. The Applicant's Certified Arborist shall be responsible for prescribing measures for minimizing impacts to roots.

63. The Applicant shall retain a Certified Arborist to monitor trenching for the retaining wall that would occur within the TPZ to minimize impacts to the tree's roots to the greatest extent feasible. The Certified Arborist shall provide recommendations for minimizing and avoiding roots during trenching activities within the TPZ.
64. In accordance with the Oak Tree Preservation Guidelines (B. Tree maintenance and pruning operations, 8. Roots [page 1051]), where structural footings are required, and roots will be impacted, the footings shall be bridged and the roots protected. All such roots shall be covered with a layer of plastic cloth and 2-4 inches of Styrofoam matting prior to pouring the footing. The City Oak Tree Consultant shall be notified within no less than 5 business days to visually inspect implementation of this method prior to backfilling the trench. The trench shall not be backfilled until the City Oak Tree Consultant conducts a visual inspection.
65. If any roots less than two-inches in diameter need to be cut, do not apply any tree/root sealers to the cut. It is best to cut roots with a sharp pruning saw so that cuts are clean (i.e., not jagged). This will allow lateral roots to grow and supplement water/nutrient uptake from the loss of the cut root. However, rooting hormone may be applied to the cut root, so long as it is applied properly according to the product label. No roots greater than two-inches in diameter may be cut without prior written approval from the City Oak Tree Consultant.
66. Prior to the start of any work or mobilization at the site, protective fencing shall be installed at the limits of encroachment within the TPZ. An oak tree protective fencing plan shall be submitted to the City Oak Tree Consultant prior to initiation of construction activities, and fence installation shall also be verified by the City Oak Tree Consultant prior to initiating construction.
67. Prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the oak trees at that time.
68. The applicant shall provide a minimum of 72 hour notice to the City Oak Tree Consultant prior to the start of approved work within the TPZ of any oak tree.
69. No grading, scarifying or other soil disturbance shall be permitted within the portion of a protected zone of any oak tree, except as specifically indicated on the project plans and as approved in accordance with this oak tree permit.
70. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.

71. No irrigation or planting shall be installed within the dripline of any existing oak tree unless specifically approved by the City Oak Tree Consultant and the Planning Director.
72. No pruning of live wood of an oak tree (including branches and roots) shall be permitted unless specifically authorized by the City Oak Tree Consultant and/or following an approved Minor Oak Tree Permit. Any authorized pruning shall be performed by a qualified arborist under the direct observation of a Certified Arborist. All pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.
73. No herbicides shall be used within 100 feet of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
74. The applicant's Certified Arborist shall submit a certification letter for all work completed within the TPZ of an oak tree within five (5) working days following the completion of said work. The letter(s) shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.
75. Any encroached oak tree that dies within one-year following the completion of construction shall be mitigated in accordance with the City of Agoura Hills Municipal Code (AHMC) at a ratio of 4:1. The City reserves the right to request an inspection of the oak trees on the property at any time to verify their health condition within one-year following the completion of construction. If mitigation trees are required, they shall consist of the requirements stated in Oak Tree Condition of Approval #60.
76. All oak trees located on the property, including mitigation oaks (if applicable), shall be preserved in perpetuity.

## LANDSCAPING

77. Final Landscape Plans shall substantially conform to the Landscape Preliminary Plan prepared by Wynn Landscape Architects, Inc. dated February 19, 2020, as approved by the City of Agoura Hills Planning Commission.
78. Location and material of paved surfaces, accessory structures, walls and fences, landscape features and other site improvements shown approved plans shall conform to approved plans.
79. Prior to the approval of a grading permit, the applicant shall submit three (3) sets of Final Landscape Plans for review by the City Landscape Consultant and approval by the Planning Director. A California Landscape Architect with current license shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and

Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans. The Planting and Irrigation Plans shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code.

80. At the time of the Final Landscape Plans submittal, the project Landscape Architect shall provide the City with written confirmation that the civil engineering drawings have been reviewed and that the Landscape Plan is not in conflict with the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID).
81. Planting Plans shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees shall be fifteen (15) gallon. The minimum size of shrubs shall be five (5) gallon except shrubs planted as groundcovers and or as accent planting, which may be one (1) gallon size. Plant sizes may be increased on some projects at the discretion of the Planning Director. *(If necessary specify required plant sizes)*. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
82. The Final Landscape Plans shall include the following:
  - a. A note stating, that the project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans prior to final city inspection.
  - b. A table indicating the total square footage of the landscape area within the project.
83. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
84. With the Final Landscape Plans, three (3) copies of plans, details, and specifications shall be provided, addressing but not limited to, layout, planting, soil preparation, tree staking, guying, installation details and post installation maintenance.
85. The approved landscape shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
86. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.

87. All planting areas shall receive a three (3) inch layer of coniferous bark mulch. Mulch to be kept away from tree and shrub crowns. Mulch areas to be dressed to present a clean uniform appearance when complete.
88. The Final Landscape Plan shall be approved by the Fuel Modification Unit of the County of Los Angeles Fire Department prior to the issuance of a building permit.
89. Landscape improvements, planting, and irrigation installation shall be subject to inspection and approval by the Planning Department prior to final building permit inspection.

#### SOLID WASTE MANAGEMENT

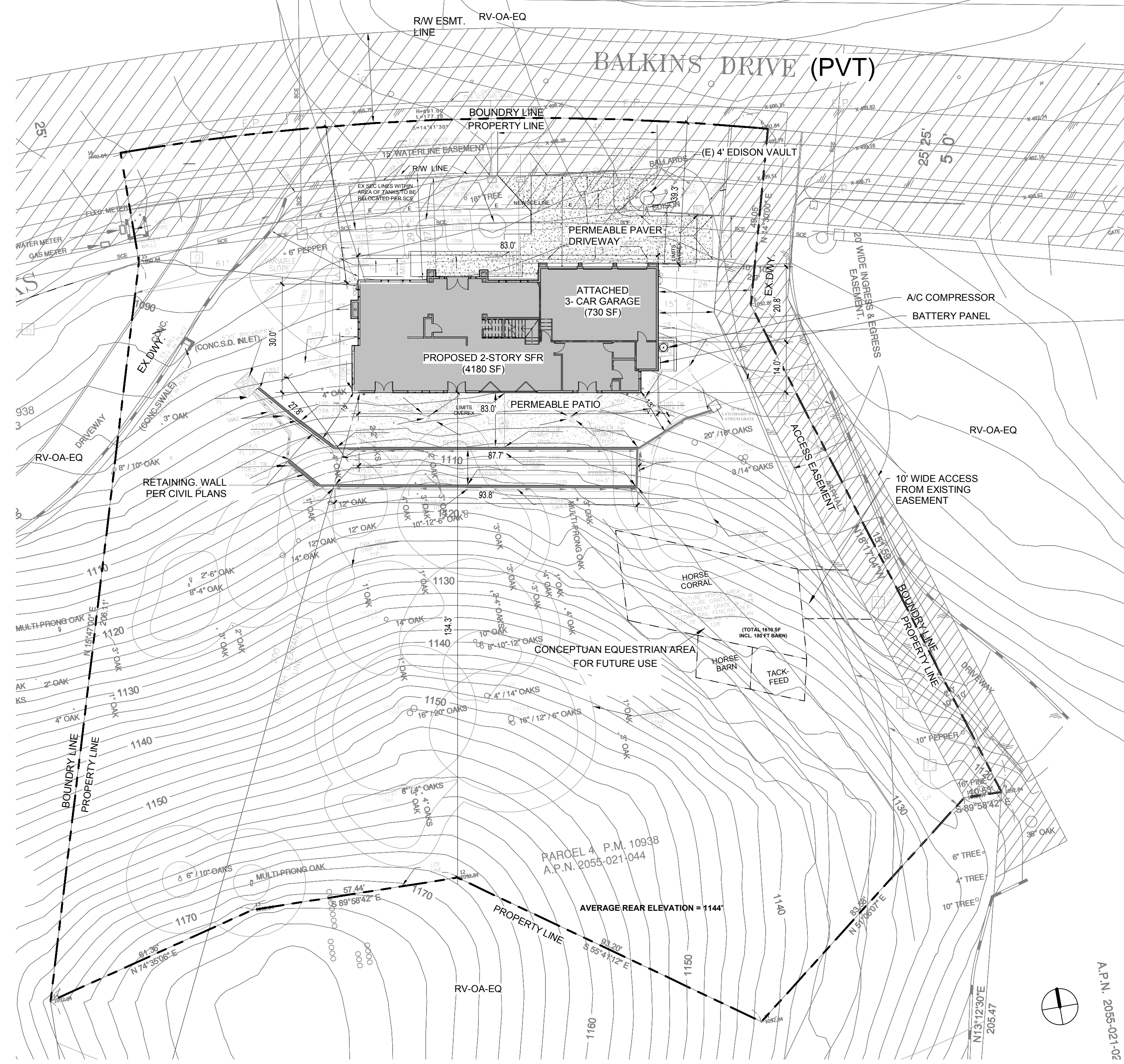
90. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for a percent of the waste generated on the project to be diverted from the landfill, at the rate currently required by California Department of Resources Recycling and Recovery. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
91. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
92. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

## ATTACHMENT 2

Project Plans





1 Site Plan  
1" = 20'-0"

### PROJECT DATA

PROJECT ADDRESS: 28340 BALKINS DR. (PRIVATE)  
AGOURA HILLS, CA 91301

PROPERTY OWNER: ARVIND AURORA  
10250 LOCKWOOD DRIVE,  
CUPERTINO, CA 95014  
(650) 281-9853

GENERAL DESCRIPTION: NEW SINGLE FAMILY HOME WITH ATTACHED 3-CAR GARAGE

CONSTRUCTION TYPE: V-B

FIRE SPRINKLERS: YES (UNDER SEPARATE PERMIT)

STORIES: 2

BUILDING HEIGHT: 1ST FLOOR TO ROOF RIDGE = 28'-8.75"  
2ND FLOOR TOP OF SHT'G = +11'-3"; 2ND FLOOR TOP PLATE = +21'-3"

OCCUPANCY: R3

ZONING: RV-OA-EQ

APN: 2055-021-044

PROPERTY DESCRIPTION: TR=PARCEL MAP AS PER BK 157 P 27 OF P M LOT 4

LOT AREA: 44,186 SF OR 1.01 AC (AVG. WIDTH 193', AVG. DEPTH 229')  
40,710 SF OR 0.935 AC - NET OF EASEMENTS AND ROADWAY

LOT COVERAGE:	HOUSE:	1985 SF or	4.48%	4.87%
	GARAGE:	730 SF or	1.65%	1.79%
	ENTRY PORCH:	45 SF or	0.10%	0.10%
	TOTAL LOT COVERAGE:	2760 SF or	6.24%	6.76%

FUTURE HORSE FACILITY: (ALLOCATED) TOTAL HORSE FACILITY: 1610 SF (INCL. 180 SF BARN)

YARDS SETBACKS: FRONT 26 FT to EP/RW  
WEST SIDE 61 FT  
REAR 134 FT  
EAST SIDE 28 FT

AVERAGE TOPOGRAPHIC SLOPE: 48.9%

AVG ELEVATION AT REAR SETBACK: 1144'

AVG ELEVATION AT FRONT SETBACK: 1091'

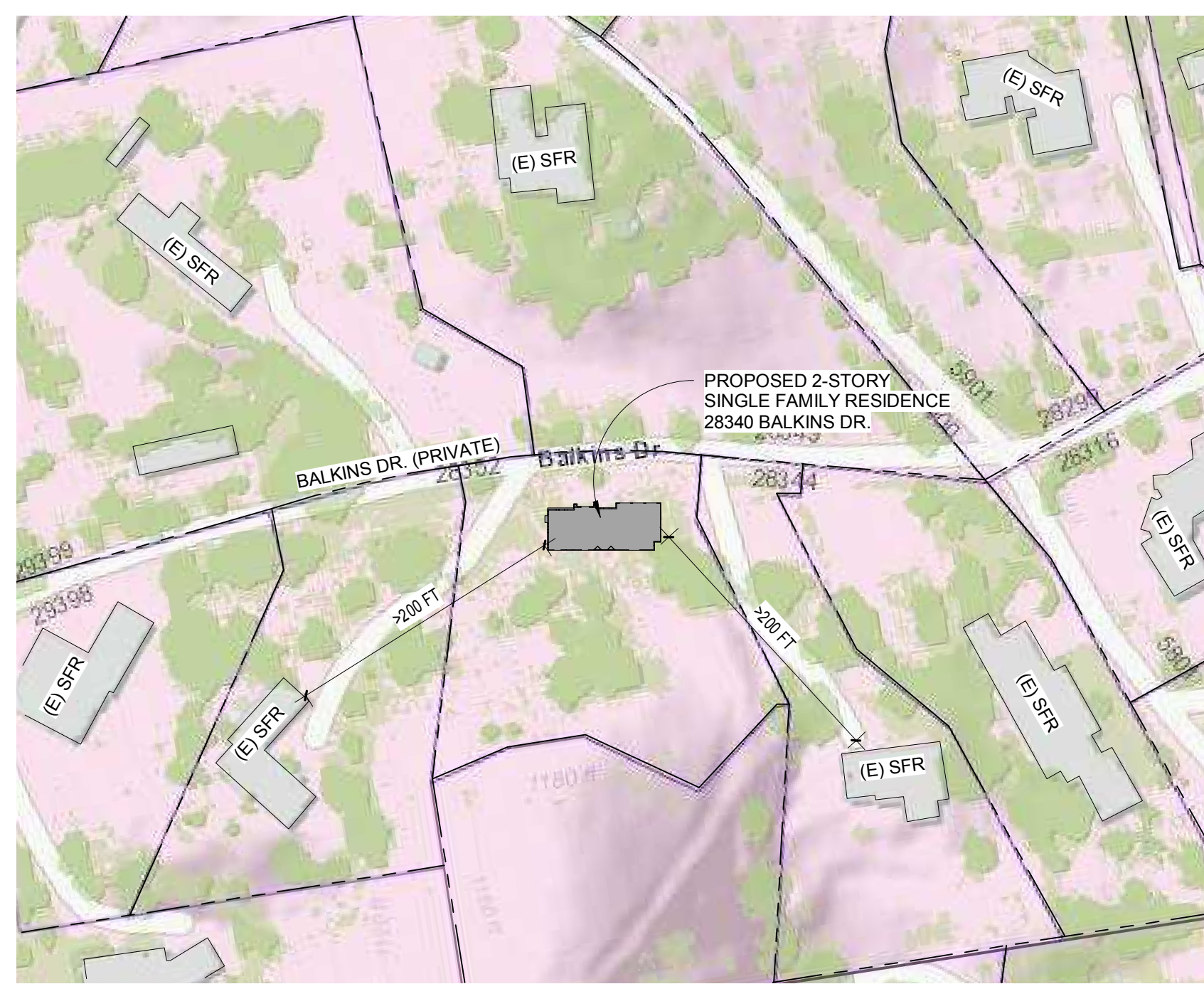
ELEVATION AT PAD SITE: 1097'

FLOOR AREAS: 1ST FLOOR 1985 SF  
2ND FLOOR 2195 SF  
TOTAL BLDG 4180 SF  
GARAGE 730 SF

EXCAVATION AREA / VOLUME: OVER-EXCAVATION (BUILDING REMOVE/REPLACE) = 773 CY  
DIRT QUANTITY: CUT VOLUME = 281 CY; FILL VOLUME = 110 CY  
TOTAL CUT = 281 CY; TOTAL FILL = 110 CY; DIFFERENCE (EXPORT) = 171 CY

### DRAWING LIST

Sheet Number	Sheet Title	Sheet Number	Sheet Title
A100	Cover Sheet & Site Plan	A500	Door, Window and Finish Schedules
A100.1	Site Plan	A501	Residential Green Building Features and Measures
A100.2	Fire Dept. Requirements	A502	Residential Green Building Features and Measures
A600	General Notes	T24-1	Title 24 Energy Analysis
A201	1st Floor Plan	T24-2	Title 24 Energy Analysis
A202	2nd Floor Plan	D-1	DETAILS
A203	Roof Plan	D-2	DETAILS
A204	Reflected Ceiling Plans	D-3	DETAILS
A205	Electrical Outlet & Lighting Plans	S-1	STRUCTURAL NOTES
A301	Exterior Elevations	S-2	FOUNDATION PLAN
A302	Exterior Elevations	S-3	1ST FLOOR FRAMING PLAN
A303	Building Sections	S-4	ROOF FRAMING PLAN
A304	Building Sections	S-5	NAILING DETAILS
A401	Details	SSW1.1	STEEL STRONG-WALL
A402	Details	SSW2	STEEL STRONG-WALL
A403	Roofing Details		
A404	Roofing Details		



2 ADJACENT PROPERTIES MAP  
1" = 100'-0"

**Shahbazi Design & Consulting**  
6736 Cowboy St., Simi Valley, CA 93063  
phone: 805-520-0391 email: sam@samshahbazidesign.com  
www.samshahbazidesign.com

**Consultants**

### Revisions

No.	Description	Date

## Single Family Residence for Arvind Aurora

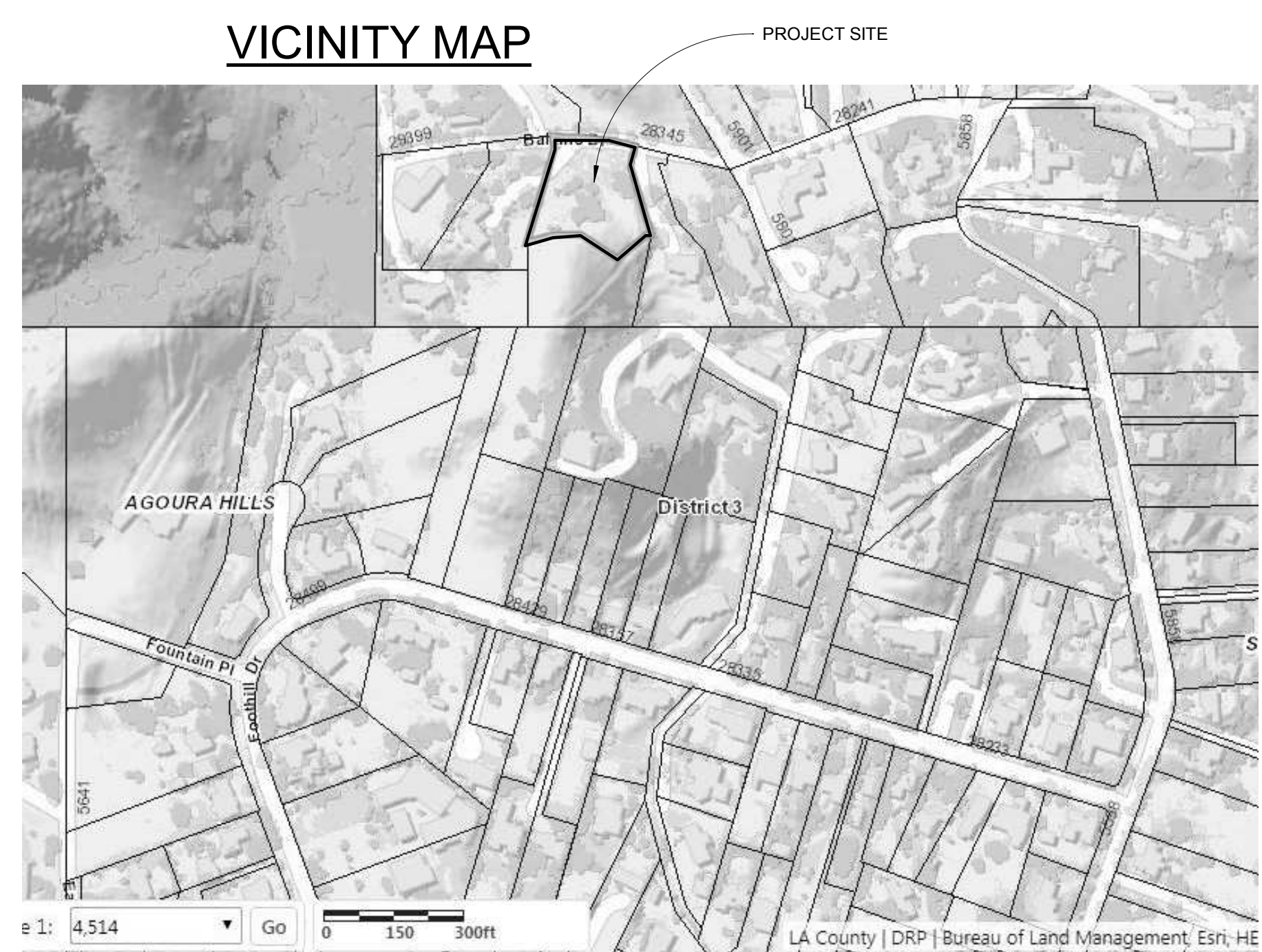
28340 Balkins Dr. (Private)  
Agoura Hills, CA 91301

Applicant: Arvind Aurora  
10250 Lockwood Dr.  
Cupertino, CA 95014  
(650) 281-9853

## Cover Sheet & Site Plan

Project Number	Aurora
Date	04/17/2020
Drawn By	Author
Checked By	Checker

**A100**  
Scale 1"=20'



### APPLICABLE CODES

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ENERGY CODE
- AGOURA HILLS MUNICIPAL CODE
- 2017 LOS ANGELES COUNTY FIRE CODE

### EASEMENT LEGENDS

- EASEMENT NUMBERS ARE PER TITLE REPORT, PREPARED BY CALIFORNIA TITLE, ORDER # 410-1943397-64
- LEGEND # EASEMENT DETAILS**
- 7 10' WIDE EASEMENT FOR INGRESS AND EGRESS AS DEDICATED AND DELINEATED PER PARCEL MAP NO. 10938 BK. 157 PG 27
  - 8 15' WIDE EASEMENT FOR WATER LINE PURPOSES TO LVMWD PER INSTRUMENT NO. 86-1408841 O.R.
  - 9 VARIABLE WIDTH EASEMENT FOR INGRESS AND EGRESS PER INSTRUMENT NO. 87-140751 O.R.
  - 10 8' WIDE EASEMENT FOR UTILITY LINE PURPOSES TO SCE PER INSTRUMENT NO. 87-1546352 O.R.
  - 12 INGRESS AND EGRESS EASEMENT FOR PARCELS 1, 2 & 3 PER INSTRUMENT NO. 05-2083158 O.R.
  - 13 EASEMENT FOR CONSTRUCTION PURPOSES OVER PARCEL 1, 2 & 3 PER INSTRUMENT NO. 05-3237175

### EASEMENT NOTES

THE RIGHT-OF-WAY FOR THOUSAND OAKS BLVD. AS SHOWN ON PARCEL MAP 10938 BK 157 PG 27 WAS VACATED BY THE CITY OF AGOURA HILLS PER RESOLUTION NO. 537 ADOPTED 7-12-89.

THE 20' WIDE EASEMENT FOR SLOPE PURPOSES AS SHOWN ON PARCEL MAP 10938 BK 157 PG 27 AND IN THE TITLE REPORT AS EASEMENT NO. 6, PREPARED BY CALIFORNIA TITLE AS ORDER NO. 410-1943397-64 WAS VACATED BY THE CITY OF AGOURA HILLS PER RESOLUTION NO. 08-1487, ADOPTED 7-9-2008

Consultants

Revisions

No.	Description	Date

Single Family Residence for Arvind Aurora

28340 Balkins Dr. (Private)  
 Agoura Hills, CA 91301

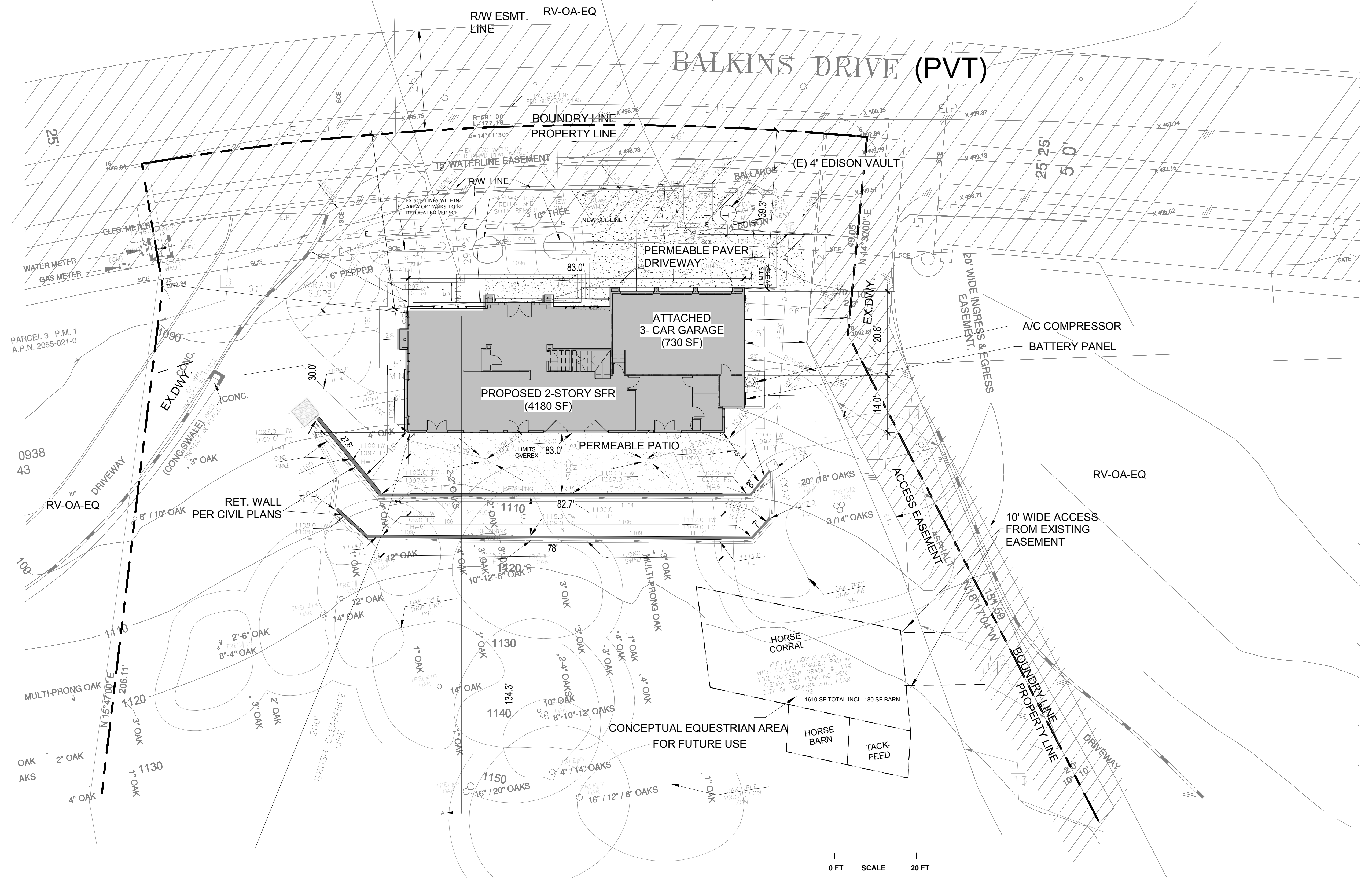
Applicant: Arvind Aurora  
 10250 Lockwood Dr.  
 Cupertino, CA 95014  
 (650) 281-9853

Site Plan

Project Number	Aurora
Date	04/17/2020
Drawn By	Author
Checked By	Checker

A100.1

Scale SEE SCALE ON SITE PLAN



EASEMENT LEGEND

EASEMENT LNUMBERS ARE PER TITLE REPORT, PREPARED BY CALIFORNIA TITLE, ORDER #410-1943397-64.

LEGEND #

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- 8 15' WIDE EASEMENT FOR WATER LINE PURPOSES TO LVMWD, PER INSTRUMENT NO. 86-1408841 O.R.
- 9 VARIABLE WIDTH EASMENT FOR INGRESS AND EGRESS, PER INSTRUMENT NO. 87-140751 O.R.
- 10 8' WIDE EASEMENT FOR UTILITY LINE PURPOSES TO SCE, PER INSTRUMENT NO. 87-1545352 O.R.
- 12 INGRESS AND EGRESS EASEMENT FOR PARCELS 1, 2 AND 3, PER INSTRUMENT NO. 0502083156 O.R.
- 13 EASEMENT FOR CONSTRUCTION PURPOSES OVER PARCEL 1, 2 AND 3, PER INSTRUMENT NO. 3237175

PROJECT DATA

PROJECT ADDRESS: 28340 BALKINS DR. (PRIVATE)  
 AGOURA HILLS, CA 91301

PROPERTY OWNER: ARVIND AURORA  
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 (650) 281-9853

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 BUILDING HEIGHT: 1ST FLOOR TO ROOF RIDGE = 28'-8.75"  
 2ND FLOOR TOP OF SHTG = +11'-3"; 2ND FLOOR TOP PLATE = +21'-3"  
 HEIGHT OF EACH FLOOR 10'

OCCUPANCY: R3

ZONING: RV-OA-EQ

APN: 2055-021-044

PROPERTY DESCRIPTION: TR=PARCEL MAP AS PER BK 157 P 27 OF P.M LOT 4

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	ENTRY PORCH: 45 SF or 0.01% 0.01%	TOTAL LOT COVERAGE: 2760 SF or 6.15% 6.67%
FUTURE HORSE FACILITY: (ALLOCATED)	TOTAL HORSE FACILITY:	1610 SF (INCL. 180 SF BARN)
YARDS SETBACKS:	FRONT: 26 FT to EP/RW	WEST SIDE: 61 FT
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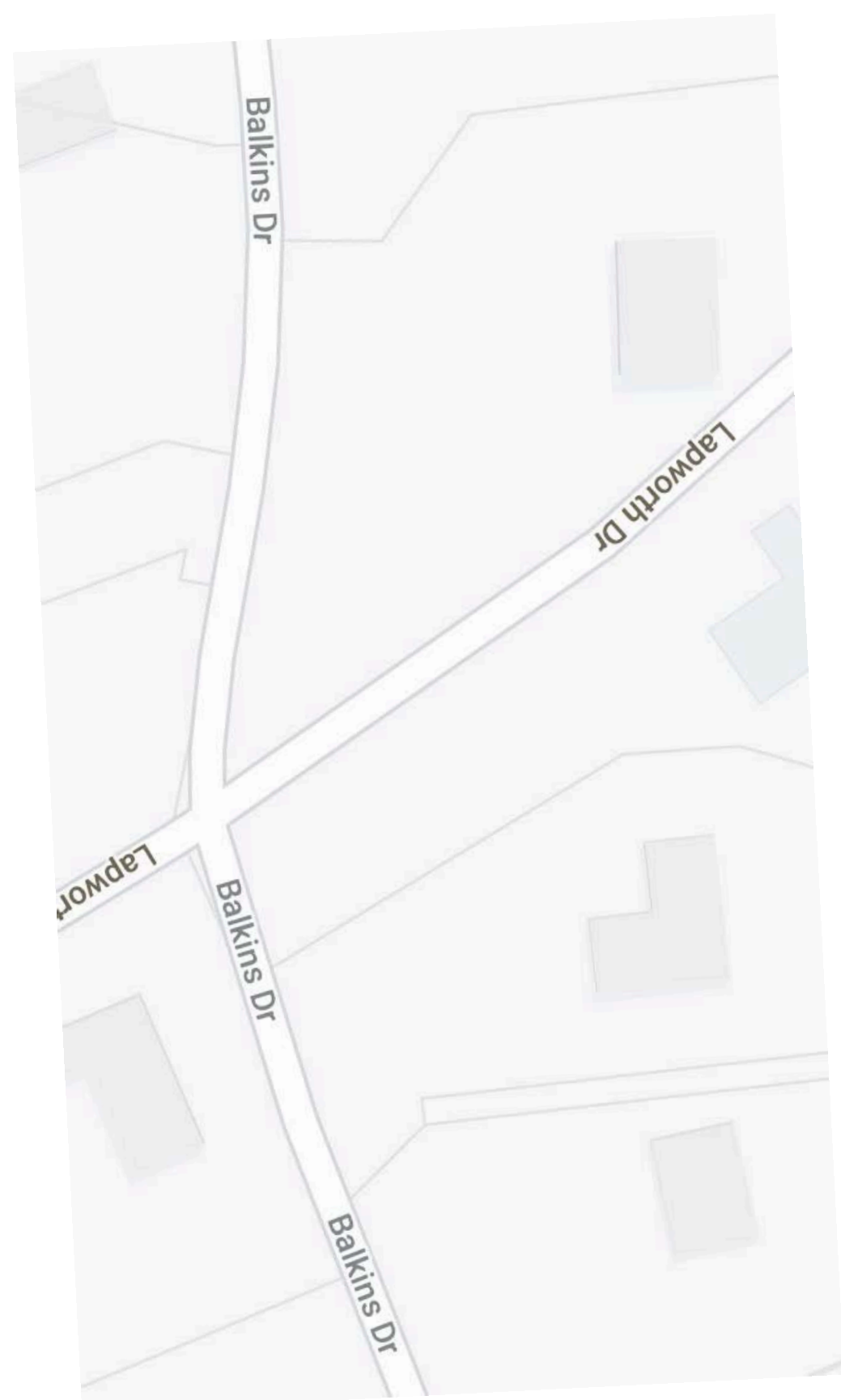
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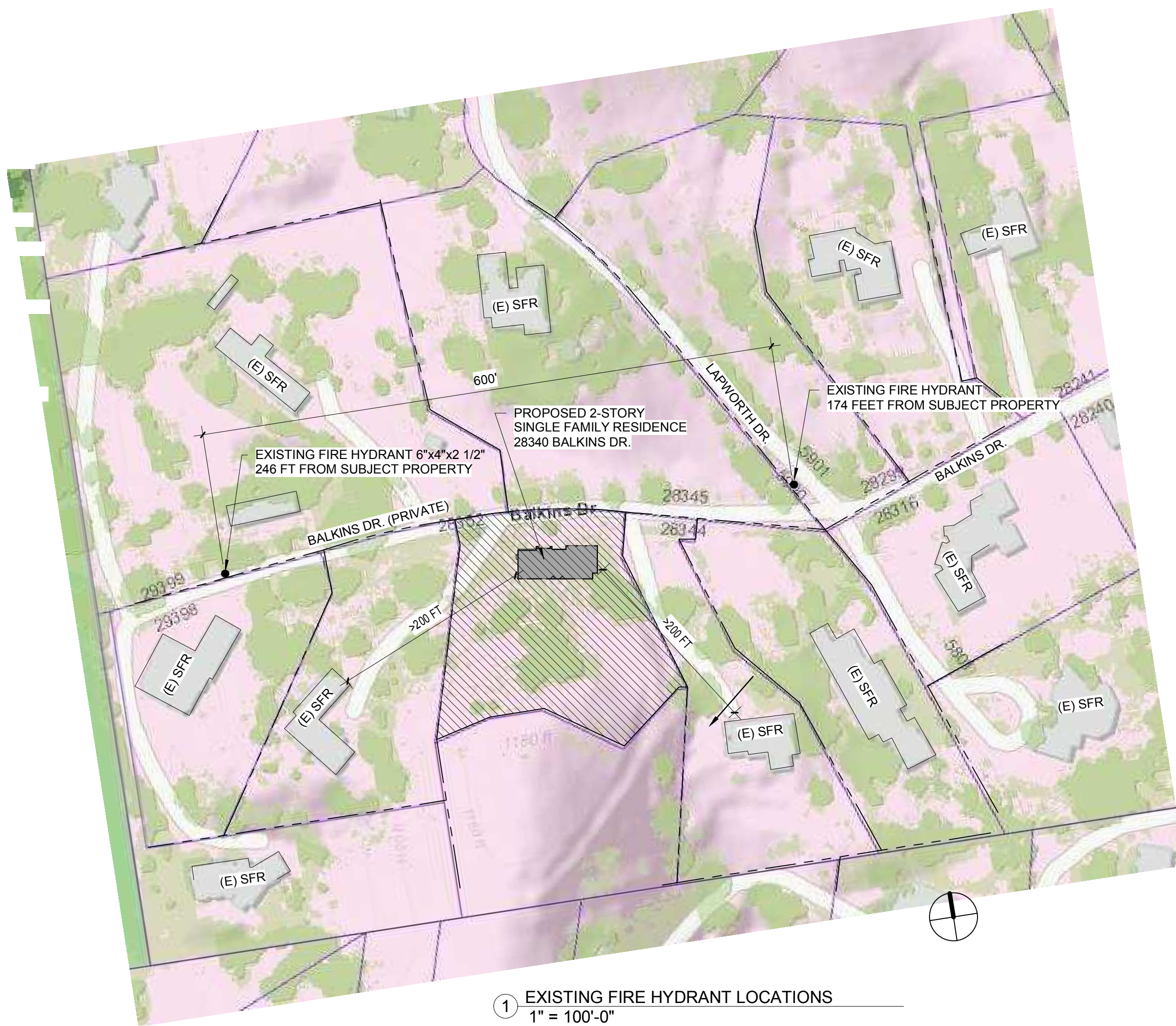
**FIRE DEPARTMENT REQUIREMENTS**

- PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.6, AND AN UNOBSTRUCTED VERTICAL CLEARANCE "CLEAR TO SKY" FIRE DEPARTMENT VEHICULAR ACCESS TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING. FIRE CODE 503.1.1 & 503.2.1.
- FIRE APPARATUS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 25 TONS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. FIRE APPARATUS ACCESS ROADS HAVING A GRADE OF 10 PERCENT OR GREATER SHALL HAVE A PAVED OR CONCRETE SURFACE. FIRE CODE 503.2.3.
- FIRE DEPARTMENT VEHICULAR ACCESS ROADS SHALL BE PROVIDED WITH A 32 FOOT CENTERLINE TURNING RADIUS. FIRE CODE 503.2.4.
- DEAD-END FIRE APPARATUS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED FIRE DEPARTMENT TURNAROUND. FIRE CODE 503.2.5.
- THE GRADIENT OF FIRE DEPARTMENT VEHICLE ACCESS ROADS SHALL NOT EXCEED 15 PERCENT UNLESS APPROVED BY THE FIRE CODE OFFICIAL. FIRE CODE 503.2.7.
- ABRUPT CHANGES IN IN GRADE SHALL NOT EXCEED THE MAXIMUM ANGLES OF APPROACH AND DEPARTURE FOR FIRE APPARATUS. THE FIRST 10 FEET OF ANY ANGLE OF APPROACH OR DEPARTURE OR BREAK-OVER SHALL NOT EXCEED A 10 PERCENT CHANGE OR 5.7 DEGREES. FIRE CODE 503.2.8.
- WHEN SECURITY GATES ARE PROVIDED, MAINTAIN A MINIMUM ACCESS WIDTH OF 20 FEET. THE SECURITY GATE SHALL BE PROVIDED WITH AN APPROVED MEANS OF EMERGENCY OPERATION, AND SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES AND REPLACED OR REPAIRED WHEN DEFECTIVE. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F220. GATES SHALL BE OF SWINGING OR SLIDING TYPE. CONSTRUCTION GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON. FIRE CODE 503.6.
- A MINIMUM 5 FOOT WIDE APPROVED FIREFIGHTER ACCESS WALKWAY LEADING FROM THE FIRE DEPARTMENT ACCESS ROAD TO ALL REQUIRED OPENINGS IN THE BUILDING'S EXTERIOR WALLS SHALL BE PROVIDED FOR FIREFIGHTING AND RESCUE PURPOSES. WALKING SURFACE MUST BE UNOBSTRUCTED AND CLEAR TO THE SKY. ANY SLOPE THAT EXCEEDS 10% SLOPE MUST BE A PAVED SURFACE.
- AN APPROVED KEY BOX, LISTED IN ACCORDANCE WITH UL 1037 SHALL BE PROVIDED AS REQUIRED BY FIRE CODE 506. THE LOCATION OF EACH KEY BOX SHALL BE DETERMINED BY THE FIRE INSPECTOR.
- EVERY APPLICATION FOR A BUILDING PERMIT SHALL BE ACCOMPANIED BY EVIDENCE INDICATING THAT THE PROPOSED STRUCTURE IS PROVIDED WITH A RELIABLE WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW AS REQUIRED BY FIRE CODE 507.1.1.
- THE REQUIRED FIRE FLOW IS 1250 GPM, AT 20 PSI RESIDUAL PRESSURE FOR A DURATION OF 2 HOURS OVER AND ABOVE THE MAXIMUM DAILY DOMESTIC DEMAND. FIRE CODE 507.3 AND APPENDIX B105.1 APPENDIX B.
- SPACING OF FIRE HYDRANTS SHALL NOT EXCEED THE DISTANCES SPECIFIED IN FIRE CODE C105.2 & C106.
- ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 501.4
- PROVIDE AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM AS SET FORTH BY BUILDING CODE 903 AND FIRE CODE 903. PLANS SHALL BE SUBMITTED TO THE SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. REASON: (VHFHSZ) REQUIREMENT. TYPE OF FIRE SPRINKLER SYSTEM: 903.3.1.1, 903.3.1.2, 903.3.1.3
- SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOMS. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. RESIDENTIAL CODE 314.3.
- SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. RESIDENTIAL CODE R314.4
- WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. RESIDENTIAL CODE R314.5.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING UNIT OR WITHIN A SLEEPING UNIT THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. RESIDENTIAL CODE R315.1.2, BUILDING CODE 420.4.1.
- SINGLE AND MULTI-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075. CARBON MONOXIDE ALARMS REQUIRED BY (SECTIONS R315.1 AND R315.2) OR (SECTIONS 420.4.1 AND 420.4.2) SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S). 2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. 3. FOR R-1 ONLY a. ON THE CEILING OF SLEEPING UNITS WITH PERMANENTLY INSTALLED FUEL-BURNING APPLIANCES. RESIDENTIAL CODE R315.3, BUILDING CODE 420.3.
- APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1
- ALL ROOF COVERINGS SHALL BE CLASS "A" AS SPECIFIED IN BUILDING CODE 1505.1.1 (RESIDENTIAL CODE R327.5.2 & R902)
- VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT MATERIAL INSTALLED OVER A MINIMUM 36-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET MEETING RUNNING THE FULL LENGTH OF THE VALLEY. (RESIDENTIAL CODE R327.5.3 AND BUILDING CODE 705A.3)
- ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (RESIDENTIAL CODE R327.5.34 AND BUILDING CODE 705A.4).
- VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS. VENT OPENINGS SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH MINIMUM 1/16TH INCH OPENINGS AND SHALL NOT EXCEED 18TH INCH. VENTS SHALL NOT BE INSTALLED IN EAVES OR CORNICES. (RESIDENTIAL CODE R327.6.1 AND BUILDING CODE 708A.1)
- ANCILLARY BUILDINGS AND STRUCTURES AND DETACHED ACCESSORY STRUCTURES SHALL COMPLY WITH THE PROVISIONS OF RESIDENTIAL CODE R327.10.1 AND BUILDING CODE 710A.1.
- CLEARANCE OF BRUSH AND VEGETATIVE GROWTH SHALL BE MAINTAINED PER FIRE CODE 325.
- WIDEN FAIRVIEW AT BALKINS TO 20 FEET WIDE PAVEMENT FOR FIRE DEPARTMENT.

**BALKINS DRIVE INSIDE AND OUTSIDE RADIUS AT LAPWORTH:**



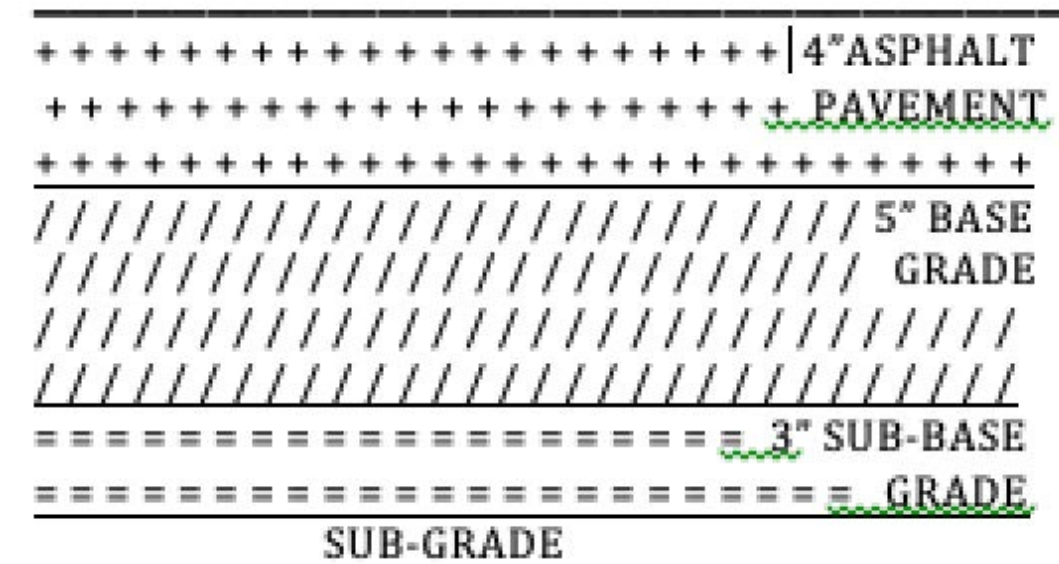
**EXISTING FIRE HYDRANT LOCATIONS**



**REQUIRED FIRE FLOW**

TYPE OF CONSTRUCTION PER BUILDING CODE TYPE VB  
 VHFHSZ YES  
 SIZE OF LOT 1.01 ACRES  
 FIRE FLOW BASED ON THE FIRE FLOW CALCULATION AREA 2000 GPM  
 REDUCTION FOR FIRE SPRINKLERS (MAX. 50%) 750 GPM  
 TOTAL FIRE FLOW REQUIRED 1250 GPM

**ROAWAY CROSS SECTION IN FRONT OF SUBJECT LOT:**

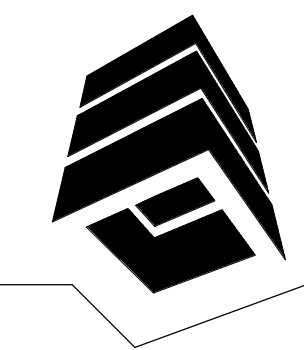


**FIRE DEPARTMENT ACCESS ROUTE - ROAD WIDTH AND BALKINS DR. SLOPE**



**Shahbazi Design & Consulting**

6736 Cowboy St., Simi Valley, CA 93063  
 phone: 805-520-0391 email: sam@samshahbazidesign.com



www.samshahbazidesign.com

**Consultants**

**Revisions**

No.	Description	Date

**Single Family Residence for Arvind Aurora**

28340 Balkins Dr. (Private)  
 Agoura Hills, CA 91301

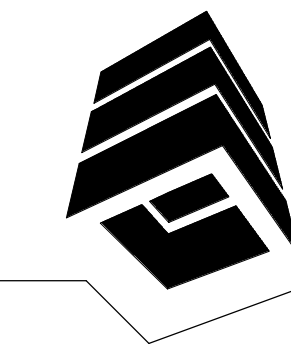
Applicant: Arvind Aurora  
 10250 Lockwood Dr.  
 Cupertino, CA 95014  
 (650) 281-9853

**FIRE DEPT. REQUIREMENTS**

Project Number	Aurora
Date	04/17/2020
Drawn By	Author
Checked By	Checker

**A101**

Scale 1" = 100'-0"



Consultants

Revisions

No.	Description	Date

# Single Family Residence for Arvind Aurora

28340 Balkins Dr. (Private)  
 Agoura Hills, CA 91301

Applicant: Arvind Aurora  
 10250 Lockwood Dr.  
 Cupertino, CA 95014  
 (650) 281-9853

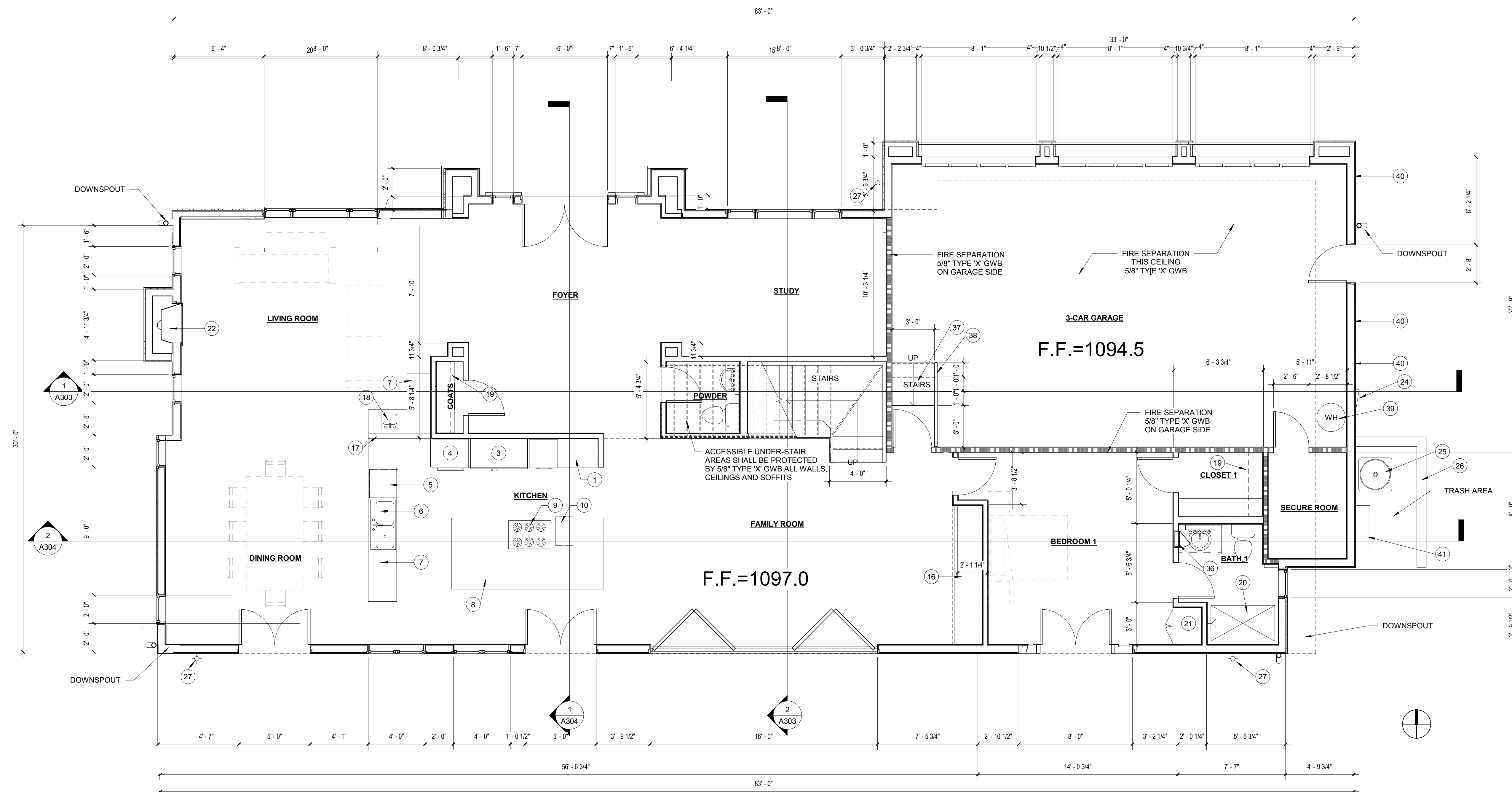
## 1st Floor Plan

Project Number	Aurora
Date	04/17/2020
Drawn By	Author
Checked By	Checker

# A201

Scale	1/4" = 1'-0"
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4/17/2020 8:37:48 PM



### Floor Plan Key Notes

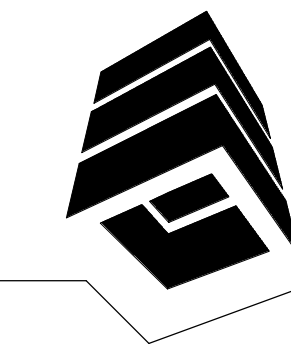
- 1 PANTRY CABINET
- 3 48" REFRIGERATOR - PROVIDE WATER SUPPLY
- 4 DOUBLE WALL OVEN
- 5 DISHWASHER
- 6 KITCHEN SINK WITH GARBAGE DISPOSAL
- 7 36" HIGH COUNTERTOP OVER BASE CABINETS
- 8 36" HIGH ISLAND COUNTER OVER BASE CABINETS
- 9 36" COOKTOP
- 10 15" TRASH COMPACTOR
- 16 BUILT-IN MEDIA CABINET
- 17 42" HIGH POBY WALL WITH WALL CAP
- 18 15" BAR SINK
- 19 CLOSET SHELF & POLE
- 20 SHOWER
- 21 LINEN CABINET
- 22 GAS FUELED FIREPLACE. WOOD BURNING FIREPLACE NOT PERMITTED.
- 24 ELECTRIC PANEL
- 25 A/C CONDENSER - PROVIDE CONCRETE PAD
- 26 5' HIGH MAX BLOCK SCREEN WALL FOR A/C COMPRESSOR AND TRASH. VERIFY CLEARANCE REQUIRED FOR EQUIPMENT ACCESS.
- 27 HOSE BIB
- 28 SPA BATH TUB
- 29 HVAC DUCT CHASE
- 30 42" HIGH GUARDRAIL CAPABLE OF RESISTING LIVE LOAD OF 200 LBS IN ANY DIRECTION
- 32 LAUNDRY WASHER
- 33 CLOTHES DRYER. PROVIDE VENT DUCT TO OUTSIDE
- 34 CLASS 'A' FIRE RESISTANT DECK COATING. LIFE DECK SPECIALTY COATINGS AL WATERPROOF DECKING SYSTEM. CA STATE FIRE MARSHALL # CSFM #4175-1220-0100 INSTALL PER MFR'S INSTRUCTIONS

### Floor Plan Key Notes

- 35 DRYER VENT TO OUTSIDE WITH DAMPER. VENT SHALL BE MINIMUM 4" AND SHALL NOT EXCEED A TOTAL LENGTH OF 14 FEET INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO.
- 36 RECESSED MEDICINE CABINET
- 37 CAST-IN-PLACE CONCRETE STEPS AND LANDING - MATCH GARAGE SLAB RE-BAR.
- 38 METAL HANDRAIL 34"-38" ABOVE NOSING
- 39 WATER HEATER. GAS FUELED EQUIPMENT SHALL BE PLACED ON PLATFORM 18" ABOVE GARAGE FLOOR AND SHALL BE STRAPPED TO THE WALL.
- 40 8"X14" FRESH AIR VENT W/ SCREEN AND LOUVERS AT BASE OF STUD WALL
- 41 WALL MOUNTED BATTERY PANEL

### WALL TYPE LEGEND

- A Exterior wall - 2x6 studs at 16" O.C. 5/8" Gyp. Bd. - interior finish 7/8" Portland Cement over Metal Lath over Moisture Barrier - exterior finish. With R-19 insulation. See structural for wall sheathing.
- B Exterior wall - 2x4 studs at 16" O.C. 7/8" Portland Cement over Metal Lath over Moisture Barrier - one side only. See structural for wall sheathing.
- C Exterior wall - 2x6 studs at 16" O.C. 7/8" Portland Cement over Metal Lath over Moisture Barrier - one side only. With R-19 insulation. See structural for wall sheathing.
- D 1-Hour fire rated wall - 2x4 studs at 16" O.C. 5/8" Type 'X' Gyp. Bd. both sides
- E Interior wall - 2x6 studs at 16" O.C. 5/8" Gyp. Bd. both sides
- F Interior wall - 2x4 studs at 16" O.C. 5/8" Gyp. Bd. both sides
- G Interior wall - 2x4 studs at 16" O.C. 5/8" Gyp. Bd. one side only



Consultants

Revisions

No.	Description	Date

# Single Family Residence for Arvind Aurora

28340 Balkins Dr. (Private)  
Agoura Hills, CA 91301

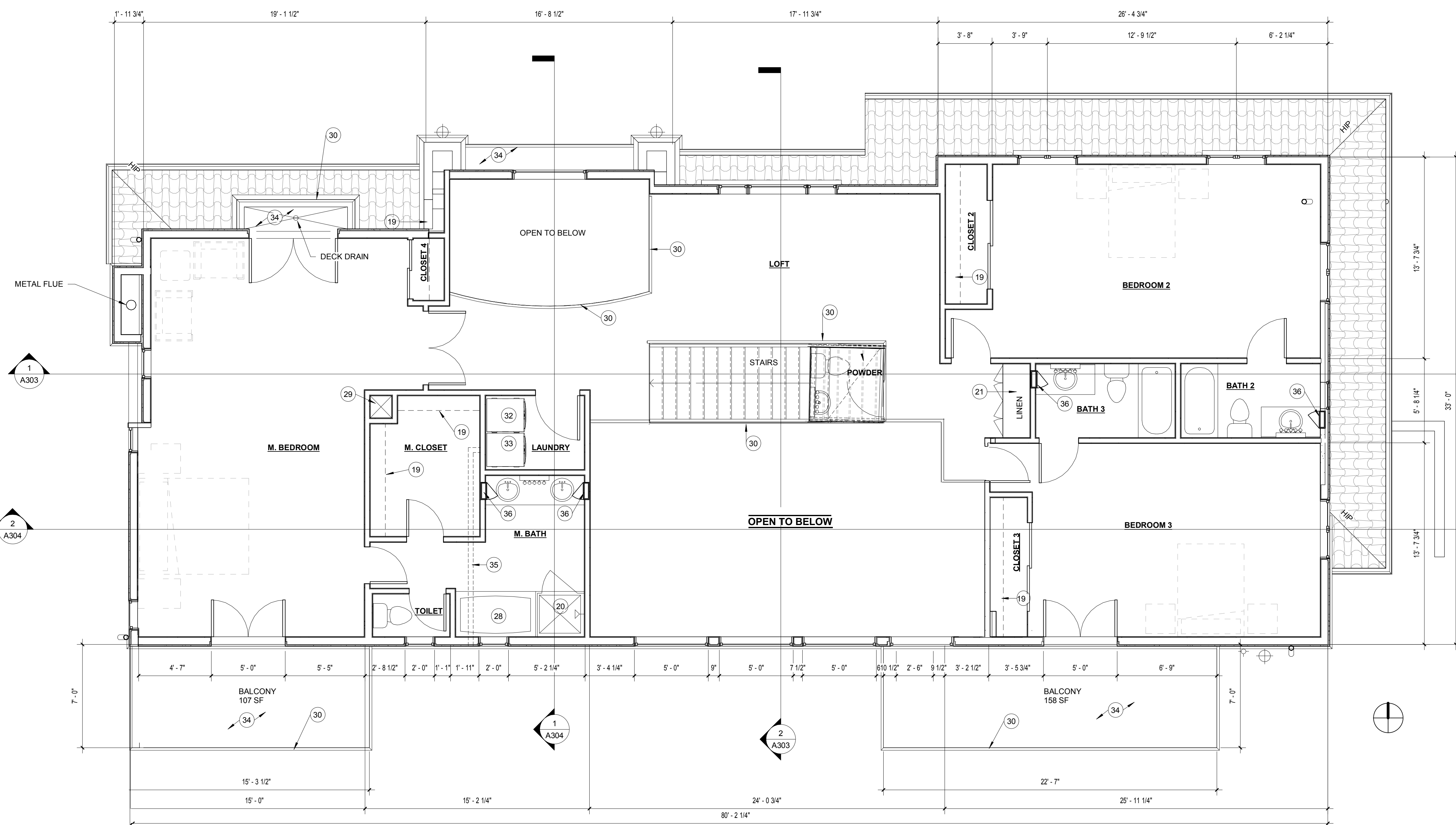
Applicant: Arvind Aurora  
10250 Lockwood Dr.  
Cupertino, CA 95014  
(650) 281-9853

## 2nd Floor Plan

Project Number	Aurora
Date	04/17/2020
Drawn By	Author
Checked By	Checker

# A202

Scale 1/4" = 1'-0"

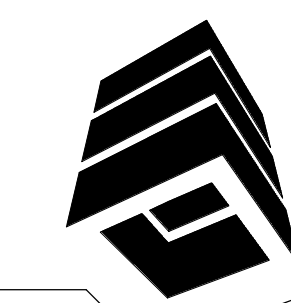


Floor Plan Key Notes	
1	PANTRY CABINET
3	48" REFRIGERATOR - PROVIDE WATER SUPPLY
4	DOUBLE WALL OVEN
5	DISHWASHER
6	KITCHEN SINK WITH GARBAGE DISPOSAL
7	36" HIGH COUNTERTOP OVER BASE CABINETS
8	36" HIGH ISLAND COUNTER OVER BASE CABINETS
9	36" COOKTOP
10	15" TRASH COMPACTOR
16	BUILT-IN MEDIA CABINET
17	42" HIGH POBY WALL WITH WALL CAP
18	15" BAR SINK
19	CLOSET SHELF & POLE
20	SHOWER
21	LINEN CABINET
22	GAS FUELED FIREPLACE. WOOD BURNING FIREPLACE NOT PERMITTED.
24	ELECTRIC PANEL
25	A/C CONDENSER - PROVIDE CONCRETE PAD
26	5' HIGH MAX BLOCK SCREEN WALL FOR A/C COMPRESSOR AND TRASH. VERIFY CLEARANCE REQUIRED FOR EQUIPMENT ACCESS.
27	HOSE BIB
28	SPA BATH TUB
29	HVAC DUCT CHASE
30	42" HIGH GUARDRAIL CAPABLE OF RESISTING LIVE LOAD OF 200 LBS IN ANY DIRECTION
32	LAUNDRY WASHER
33	CLOTHES DRYER. PROVIDE VENT DUCT TO OUTSIDE
34	CLASS 'A' FIRE RESISTANT DECK COATING. LIFE DECK SPECIALTY COATINGS AL WATERPROOF DECKING SYSTEM. CA STATE FIRE MARSHALL # CSFM #4175-1220-0100 INSTALL PER MFR'S INSTRUCTIONS

Floor Plan Key Notes	
35	DRYER VENT TO OUTSIDE WITH DAMPER. VENT SHALL BE MINIMUM 4" AND SHALL NOT EXCEED A TOTAL LENGTH OF 14 FEET INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO.
36	RECESSED MEDICINE CABINET
37	CAST-IN-PLACE CONCRETE STEPS AND LANDING - MATCH GARAGE SLAB RE-BAR.
38	METAL HANDRAIL 34"-38" ABOVE NOSING
39	WATER HEATER. GAS FUELED EQUIPMENT SHALL BE PLACED ON PLATFORM 18" ABOVE GARAGE FLOOR AND SHALL BE STRAPPED TO THE WALL.
40	8"X14" FRESH AIR VENT W/ SCREEN AND LOUVERS AT BASE OF STUD WALL
41	WALL MOUNTED BATTERY PANEL

WALL TYPE LEGEND

A		Exterior wall - 2x6 studs at 16" O.C. 5/8" Gyp. Bd. - interior finish 7/8" Portland Cement over Metal Lath over Moisture Barrier - exterior finish. With R-19 insulation. See structural for wall sheathing.
B		Exterior wall - 2x4 studs at 16" O.C. 7/8" Portland Cement over Metal Lath over Moisture Barrier - one side only. See structural for wall sheathing.
C		Exterior wall - 2x6 studs at 16" O.C. 7/8" Portland Cement over Metal Lath over Moisture Barrier - one side only. With R-19 insulation. See structural for wall sheathing.
D		1-Hour fire rated wall - 2x4 studs at 16" O.C. 5/8" Type 'X' Gyp. Bd. both sides
E		Interior wall - 2x6 studs at 16" O.C. 5/8" Gyp. Bd. both sides
F		Interior wall - 2x4 studs at 16" O.C. 5/8" Gyp. Bd. both sides
G		Interior wall - 2x4 studs at 16" O.C. 5/8" Gyp. Bd. one side only



Consultants

Revisions

No.	Description	Date

**Single Family Residence for Arvind Aurora**

28340 Balkins Dr. (Private)  
 Agoura Hills, CA 91301

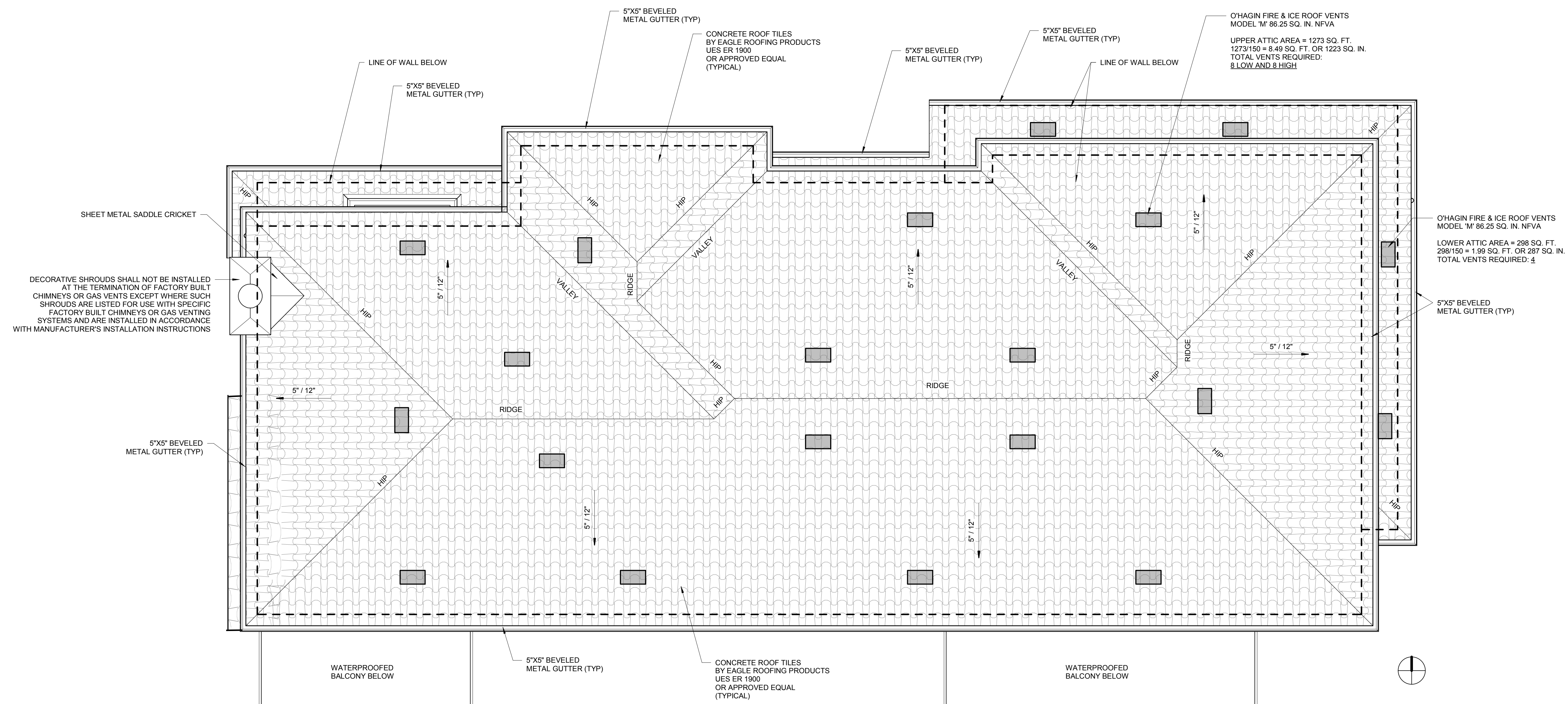
Applicant: Arvind Aurora  
 10250 Lockwood Dr.  
 Cupertino, CA 95014  
 (650) 281-9853

**Roof Plan**

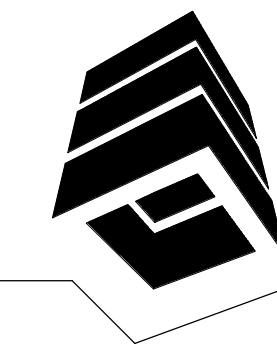
Project Number	Aurora
Date	04/17/2020
Drawn By	Author
Checked By	Checker

**A203**

Scale 1/4" = 1'-0"



- NOTES:**
- ALL ROOF COVERINGS SHALL BE CLASS "A" AS SPECIFIED IN CBC 1505.1.1
  - ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (RESIDENTIAL CODE R327.534 AND CBC 705A.4)
  - VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT MATERIAL INSTALLED OVER A MINIMUM 36-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET MEETING RUNNING THE FULL LENGTH OF THE VALLEY. (RESIDENTIAL CODE R327.5.3 AND BUILDING CODE 706A.3)
  - ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (RESIDENTIAL CODE R327.534 AND BUILDING CODE 705A.4).
  - VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS. VENT OPENINGS SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH MINIMUM 1/16TH INCH OPENINGS AND SHALL NOT EXCEED 1/8TH INCH. VENTS SHALL NOT BE INSTALLED IN EAVES OR CORNICES. (RESIDENTIAL CODE R327.6.1 AND BUILDING CODE 706A.1)



Consultants

Revisions

No.	Description	Date

**Single Family Residence for Arvind Aurora**

28340 Balkins Dr. (Private)  
 Agoura Hills, CA 91301

Applicant: Arvind Aurora  
 10250 Lockwood Dr.  
 Cupertino, CA 95014  
 (650) 281-9853

**Exterior Elevations**

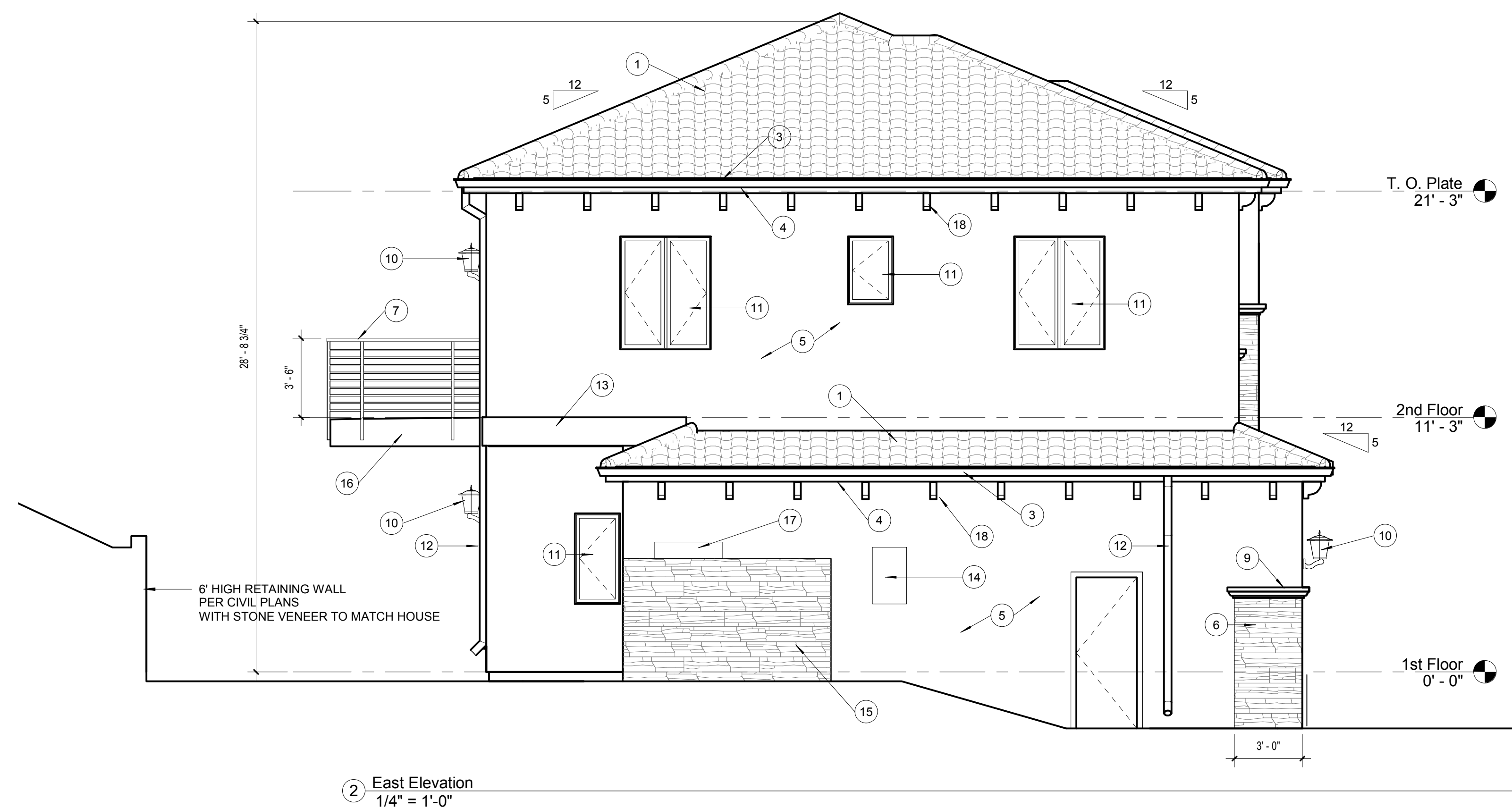
Project Number	Aurora
Date	04/17/2020
Drawn By	Author
Checked By	Checker

**A301**

Scale 1/4" = 1'-0"



1 North Elevation  
 1/4" = 1'-0"



2 East Elevation  
 1/4" = 1'-0"

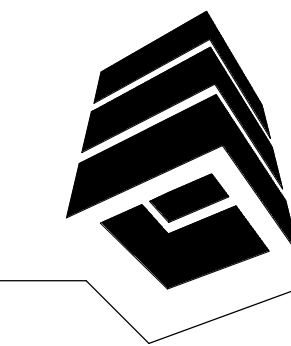


ELEVATION KEY NOTES

- 1 CLASS 'A' ROOF: CONCRETE ROOF TILE OVER APPROVED UNDERLAYMENT; EAGLE ROOFING "CAPISTRANO" 3125 TERRACOTTA, OR EQUAL
- 2 SHEET METAL CHIMNEY CAP AND SPARK ARRESTOR. PAINT TO MATCH STUCCO
- 3 5"x5" BEVELED METAL RAIN GUTTER. PAINT TO MATCH CORNICE.
- 4 PLASTER FASCIA - SEE TYPICAL ROOFVEAVE DETAIL
- 5 THREE COAT PORTLAND CEMENT PLASTER AND LATH OVER APPROVED MOISTURE BARRIER; COLORTEK 221 "HARVEST GOLD", SAND 30/30 TEXTURE
- 6 ADHERED CULTURED STONE VENEER. EAST WEST STONE VENEER PANELS, QUARTZITE "HONEY GOLD".
- 7 FEENEY DESIGN RAIL 42" HIGH HORIZONTAL CABLE RAILING SYSTEM - MATTE BLACK FRAME
- 8 SECTIONAL GARAGE DOOR, WHITE COLOR
- 9 PRE-CAST OR CEMENT PLASTER TRIM MOLDING. ADVANCED ARCHITECTURAL STONE "SAND DRIFT" OR EQUAL

ELEVATION KEY NOTES

- 10 EXTERIOR WALL MOUNTED LIGHT FIXTURE; SELECTED BY OWNER
- 11 WHITE ALUMINUM FRAME WINDOWS WITH CLEAR DUAL PANE GLASS
- 12 METAL DOWNSPOUT; DRAIN TO APPROVED DRAINAGE COARSE VIA NON-ERROSIVE DEVICE. PAINT TO MATCH ADJACENT SURFACE
- 13 CEMENT PLASTER TRIM OVER 2X12; COLORTEK 221 "HARVEST GOLD"
- 14 ELECTRICAL PANEL / METER
- 15 CMU SCREEN WALL WITH STONE VENEER TO MATCH
- 16 CANTEVERED BALCONY WITH STUCCO EDGES AND UNDERSIDE TO MATCH
- 17 WALL MOUNTED BATTERY PANEL
- 18 4X10 SHAPED FAUX RAFTER TAIL
- 19 STUCCO PLANT-ON TRIM
- 20 STUCCO TRIM



Consultants

Revisions

No.	Description	Date

Single Family Residence for Arvind Aurora

28340 Balkins Dr. (Private)  
 Agoura Hills, CA 91301

Applicant: Arvind Aurora  
 10250 Lockwood Dr.  
 Cupertino, CA 95014  
 (650) 281-9853

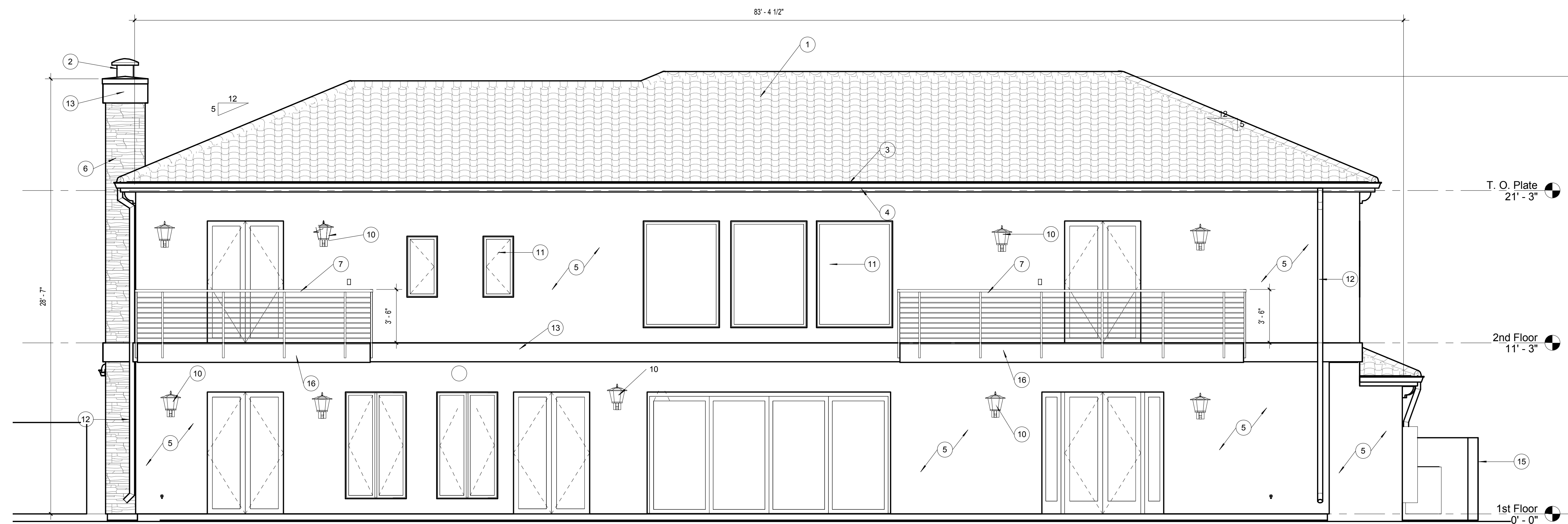
Exterior Elevations

Project Number	Aurora
Date	04/17/2020
Drawn By	Author
Checked By	Checker

A302

Scale 1/4" = 1'-0"

04/17/2020



1 South Elevation  
 1/4" = 1'-0"



2 West Elevation  
 1/4" = 1'-0"

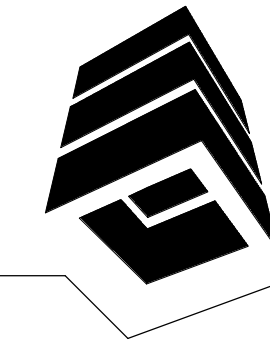
ELEVATION KEY NOTES

- 1 CLASS 'A' ROOF: CONCRETE ROOF TILE OVER APPROVED UNDERLAYMENT; EAGLE ROOFING "CAPISTRANO" 3125 TERRACOTTA, OR EQUAL
- 2 SHEET METAL CHIMNEY CAP AND SPARK ARRESTOR. PAINT TO MATCH STUCCO
- 3 5"x5" BEVELED METAL RAIN GUTTER. PAINT TO MATCH CORNICE.
- 4 PLASTER FASCIA - SEE TYPICAL ROOFVEAVE DETAIL
- 5 THREE COAT PORTLAND CEMENT PLASTER AND LATH OVER APPROVED MOISTURE BARRIER; COLORTEK 221 "HARVEST GOLD"; SAND 30/30 TEXTURE
- 6 ADHERED CULTURED STONE VENEER. EAST WEST STONE VENEER PANELS, QUARTZITE "HONEY GOLD".
- 7 FEENEY DESIGN RAIL 42" HIGH HORIZONTAL CABLE RAILING SYSTEM - MATTE BLACK FRAME
- 8 SECTIONAL GARAGE DOOR. WHITE COLOR

ELEVATION KEY NOTES

- 9 PRE-CAST OR CEMENT PLASTER TRIM MOLDING. ADVANCED ARCHITECTURAL STONE "SAND DRIFT" OR EQUAL
- 10 EXTERIOR WALL MOUNTED LIGHT FIXTURE. SELECTED BY OWNER
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- 17 WALL MOUNTED BATTERY PANEL
- 18 4X10 SHAPED FAUX RAFTER TAIL





Consultants

Revisions

No.	Description	Date

### Single Family Residence for Arvind Aurora

28340 Balkins Dr. (Private)  
 Agoura Hills, CA 91301

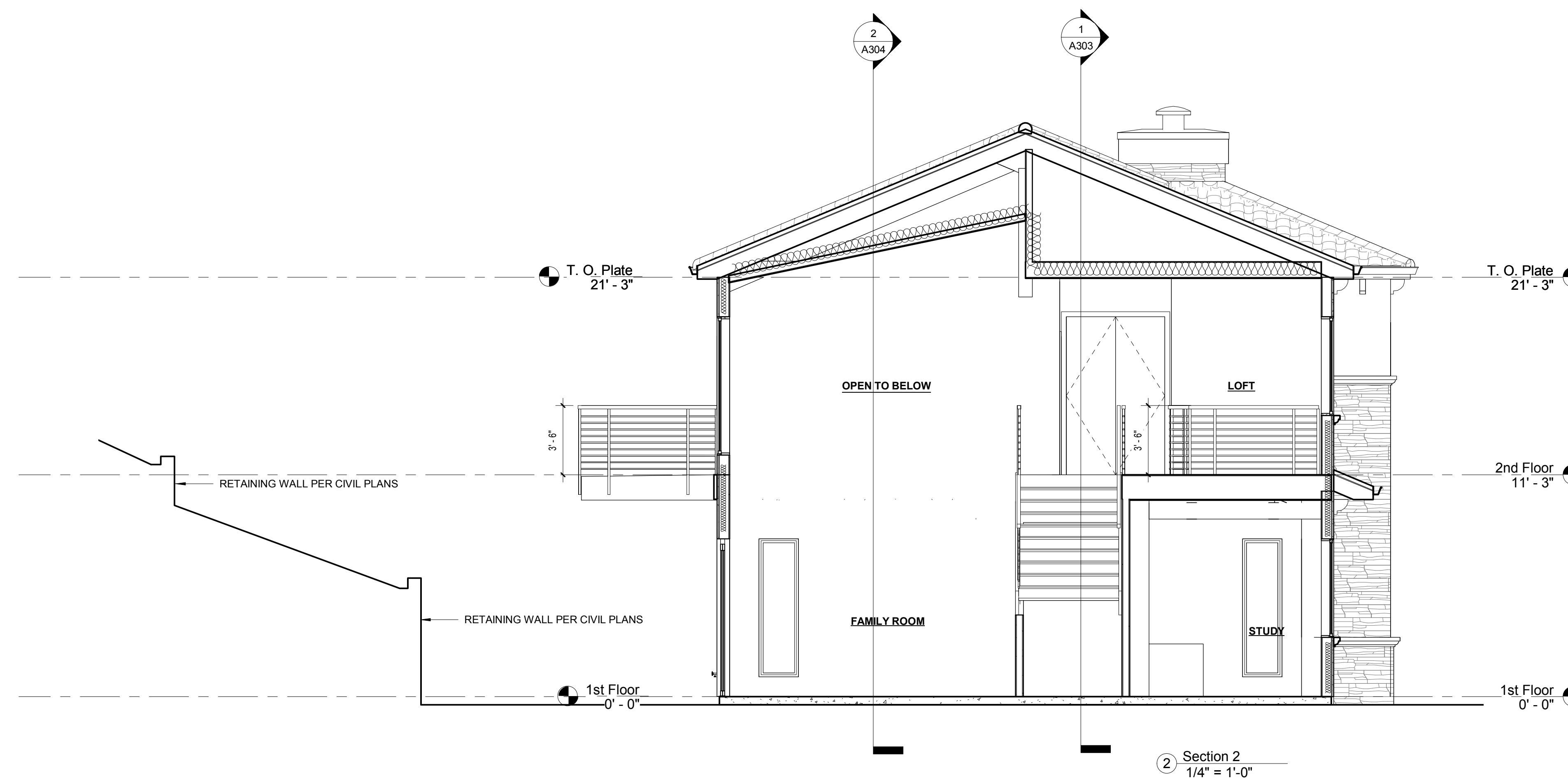
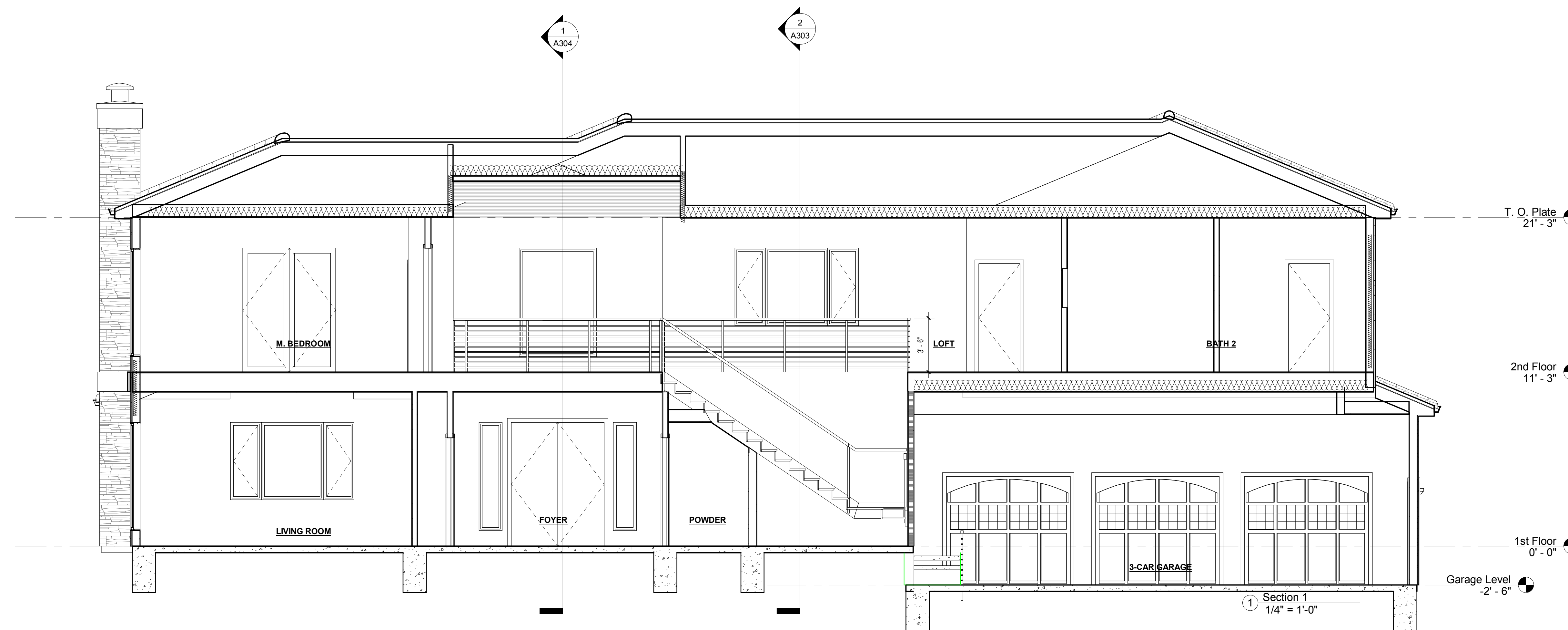
Applicant: Arvind Aurora  
 10250 Lockwood Dr.  
 Cupertino, CA 95014  
 (650) 281-9853

### Building Sections

Project Number	Aurora
Date	02/13/2020
Drawn By	Author
Checked By	Checker

# A303

Scale 1/4" = 1'-0"



Consultants

Revisions

No.	Description	Date

Single Family Residence for Arvind Aurora

28340 Balkins Dr. (Private)  
 Agoura Hills, CA 91301

Applicant: Arvind Aurora  
 10250 Lockwood Dr.  
 Cupertino, CA 95014  
 (650) 281-9853

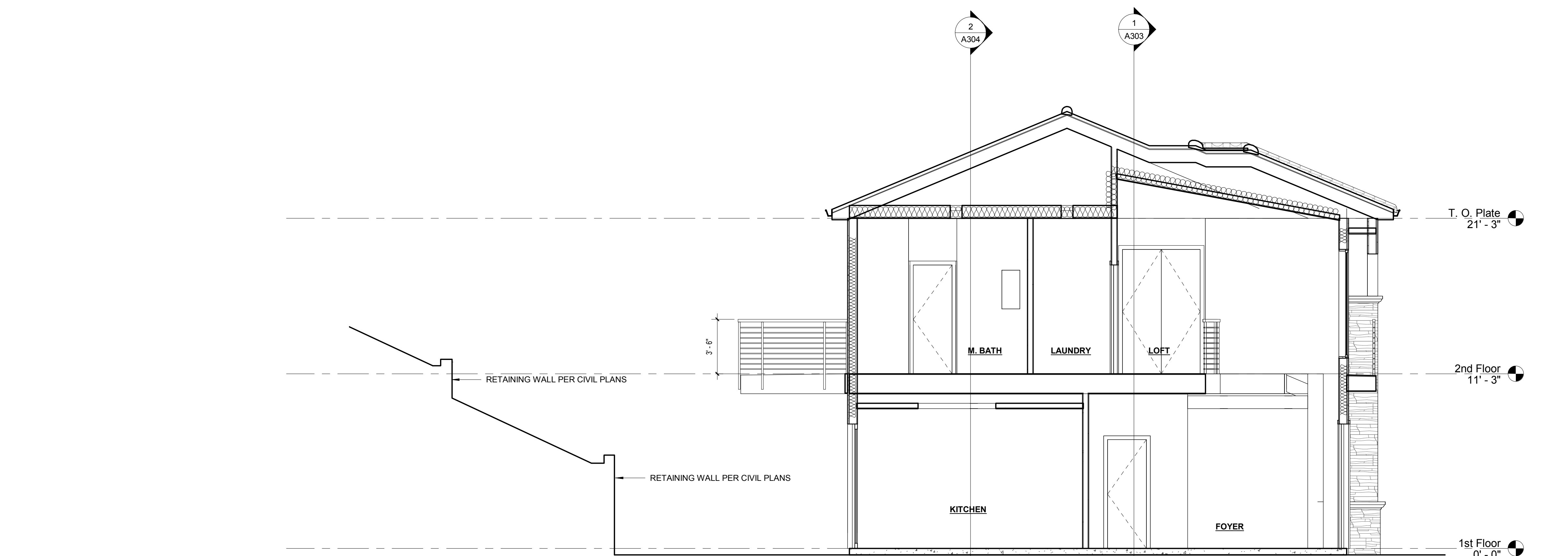
Building Sections

Project Number	Aurora
Date	04/30/2018
Drawn By	Author
Checked By	Checker

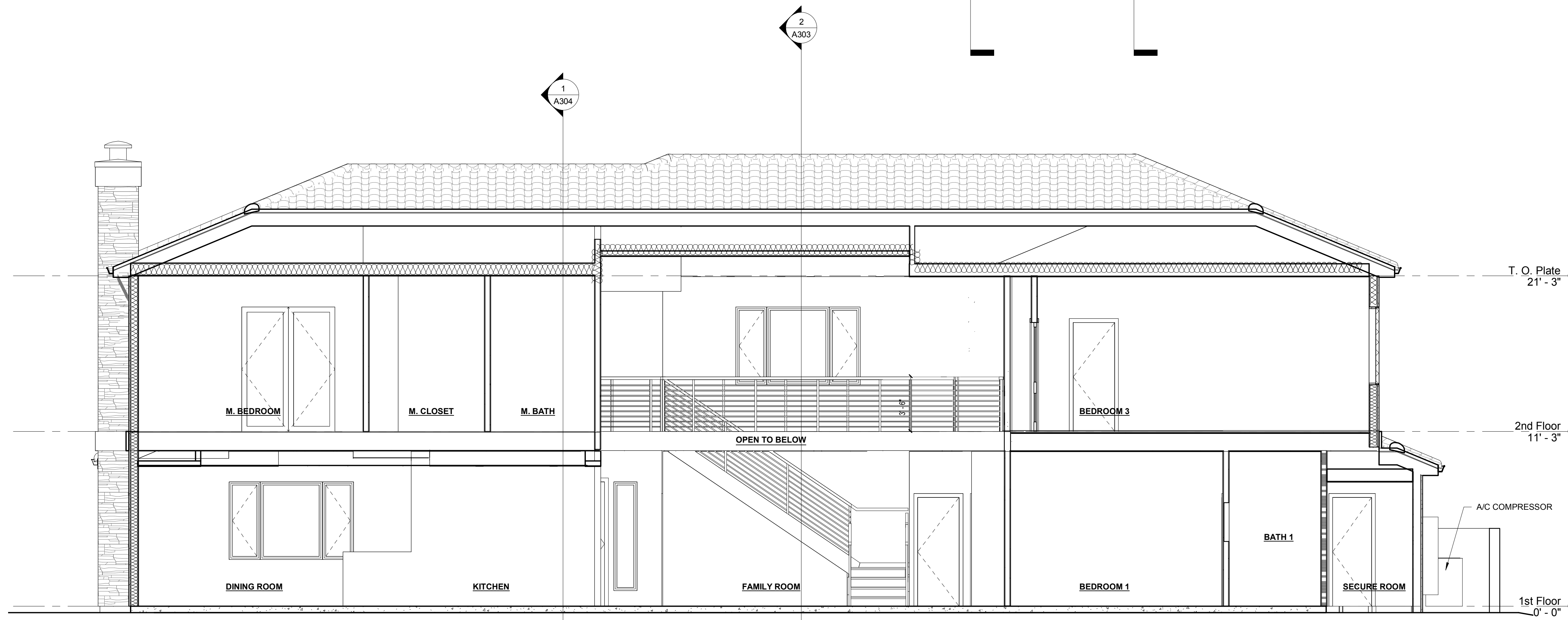
**A304**

Scale 1/4" = 1'-0"

7/29/2019 9:38:29 AM



① Section 3  
 1/4" = 1'-0"



② Section 4  
 1/4" = 1'-0"



**GRADING NOTES**

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
  - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
  - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
  - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
  - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 130, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
  - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
  - A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
  - ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

**INSPECTION NOTES**

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

**ABBREVIATIONS**

- |                         |                            |
|-------------------------|----------------------------|
| AC - ASPHALTIC CONCRETE | NG - NATURAL GROUND        |
| BF - BOTTOM OF FOOTING  | NTS - NOT TO SCALE         |
| CB - CATCH BASIN        | PL - PROPERTY LINE         |
| CF - CURB FACE          | POB - POINT OF BEGINNING   |
| CL - CENTERLINE         | SDMH - STORM DRAIN MANHOLE |
| CLF - CHAIN LINK FENCE  | SMH - SEWER MANHOLE        |
| CO - CLEAN OUT          | SS - SANITARY SEWER        |
| DB - DEBRIS BASIN       | TB - TOP OF BERM           |
| DL - DAYLIGHT           | TC - TOP OF CURB           |
| EG - EDGE OF GUTTER     | TF - TOP OF FOOTING        |
| EP - EDGE OF PAVEMENT   | TG - TOP OF GRATE          |
| FF - FINISHED FLOOR     | TW - TOP OF WALL           |
| FG - FINISHED GRADE     | TYP - TYPICAL              |
| FH - FIRE HYDRANT       | WM - WATER METER           |
| FL - FLOWLINE           | WV - WATER VALVE           |
| FS - FINISH SURFACE     |                            |
| HC RMP - HANDICAP RAMP  |                            |
| HP - HIGH POINT         |                            |
| INV - INVERT            |                            |

**LEGEND AND SYMBOLS**

- |                           |  |
|---------------------------|--|
| PROJECT BOUNDARY          |  |
| EXISTING GRADE CONTOUR    |  |
| PROPOSED GRADE CONTOUR    |  |
| SPOT ELEVATION            |  |
| PROPOSED SLOPE PER PLAN   |  |
| RETAINING WALL            |  |
| DAYLIGHT CUT/FILL LINE    |  |
| DIRECTION OF FLOW (SLOPE) |  |
| CONSTRUCTION NOTE NUMBER  |  |

**PUBLIC UTILITIES / SERVICES**

- WATER:** LAS VIRGENES MUNICIPAL WATER DISTRICT  
4232 LAS VIRGENES ROAD  
CALABASAS, CA 91302  
(818) 880-4110
- ELECTRICAL:** SOUTHERN CALIFORNIA EDISON  
3589 FOOTHILL DRIVE  
THOUSAND OAKS, CA 91361  
(805) 494-7016
- TELEPHONE:** SBC (PAC BELL)  
16201 RAYMER STREET, #115  
VAN NUYS, CA 91406  
(818) 373-6889
- GAS:** SOUTHERN CALIFORNIA GAS  
9400 OAKDALE AVENUE  
CHATSWORTH, CA 91313  
(818) 701-3324
- SEWER:** LA COUNTY, DEPT. OF PUBLIC WORKS  
SEWER MAINTENANCE DIVISION  
1000 S. FREMONT AVENUE, BLDG A9 EAST  
ALHAMBRA, CA 91803  
(626) 300-3308
- CABLE:** ADELPHIA  
2323 TELLER ROAD  
NEWBURY PARK, CA 91320  
(805) 375-5213
- CABLE:** CHARTER COMMUNICATIONS  
3806 CROSSCREEK ROAD  
MALIBU, CA 90265  
(310) 456-9010
- CALTRANS:** CALTRANS  
5660 RESEDA BOULEVARD  
TARZANA, CA 91356  
(805) 388-1426



**ENGINEERING NOTES**

- The pavement on Balkins Drive will be widened to 20 feet, and Balkins Drive shall be repaved full width along the entire parcel frontage.

**GEOTECHNICAL NOTES**

- The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
- All retaining wall excavations shall be reviewed by the project engineering geologist for the presence of adversely oriented joint surfaces. Adverse surfaces shall be evaluated and supported in accordance with recommendations of the project geotechnical engineer.
- All setbacks shall in accordance with City of Agoura Hills Ordinance 10-836, Chapter 2 Construction Codes, Section 8200 (g) amendments to California Building Code Section 1808.7 - Footings on or adjacent to slopes, 1808.7.1 - Building clearance from ascending slope and 1808.7.2 - Footing setback from descending slope.
- The grading plan should include the limits and depths of over-excavation of the road and flatwork areas as recommended by the Consultant.
- The consultant should verify the adequacy of the capdown depth during construction of the future seepage pits.
- Tests shall be performed to determine the Expansion Index of the finished building pad grade and R-value of finish grade materials within the proposed road pavement areas.
- Excavations shall be made in compliance with CAL/OSHA Regulations.
- All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel.
- Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
- The Project Geotechnical Consultant shall prepare an as-built report documenting the installation of the pile foundation elements for the City's files. The report shall include total depths of the piles, depth into the recommended bearing material, minimum depths into the recommended bearing material, and a map depicting the locations of the piles.
- Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
- Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
- An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map.

**STORMWATER POLLUTION NOTES**

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ONSITE POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC, "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ONSITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

**OAK TREE NOTES**

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 597-7350, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."

**LEGAL DESCRIPTION**

LOT 4 OF PARCEL MAP NO. 10938 RECORDED IN BOOK 157, PAGE 27 OF MAPS IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

PREPARED FOR  
**ARVIND AURORA**  
10250 LOCKWOOD DRIVE,  
CUPERTINO, CA. 95014  
(650) 281-9853

ENGINEER'S SEAL

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	GRADING COVER SHEET
2	GRADING AND DRAINAGE PLAN
3	GRADING AND DRAINAGE PLAN SECTIONS AND DETAILS
4	EROSION SEDIMENT CONTROL PLAN NOTES AND DETAILS
5	EROSION SEDIMENT CONTROL PLAN

**ESTIMATED EARTHWORK QUANTITIES**

ESTIMATED CUT: 281 CY ESTIMATED EXPORT: 172 CY  
ESTIMATED FILL: 110 CY ESTIMATED IMPORT:      CY  
ESTIMATED OVER-EXCAVATION: 733 CY

**BENCHMARK:**

DESCRIPTION: BM NO. Y 9984 ELEVATION: 1096.938', 334.348 M SURVEY DATE: MALIBU QUAD 2008  
RDBM TAG IN S'LY EDGE CONC. BASE OF WATER LN VENT @ N END DRWY HSE #5747 FAIRVIEW PL 6M (20') W/O CL & 8.5M (27') S/O BALKINS DR

**RECORD DRAWING STATEMENT**

I, \_\_\_\_\_, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. \_\_\_\_\_ THROUGH \_\_\_\_\_, MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

REGISTERED CIVIL ENGINEER DATE RCE NO. EXP. DATE

**SOILS APPROVAL**

THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED \_\_\_\_\_

ROBI KAHN 9-26-18 70510  
REGISTERED GEOLOGIST DATE RCE NO. EXP DATE  
REGISTERED GEOTECHNICAL ENGINEER DATE RCE NO. EXP DATE

**OWNER**

NAME: ARVIND AURORA  
ADDRESS: 10250 LOCKWOOD DRIVE., CUPERTINO, CA. 95014  
REPRESENTATIVE: ARVIND AURORA  
TELEPHONE: (650) 281-9853

**CIVIL ENGINEER**

NAME: WESTLAND CIVIL INC.  
ADDRESS: 101 HODENCAMP ROAD SUITE 216, THOUSAND OAKS CA. 91360  
REPRESENTATIVE: DON WAITE  
TELEPHONE: 805-495-1330

**GEOTECHNICAL ENGINEER**

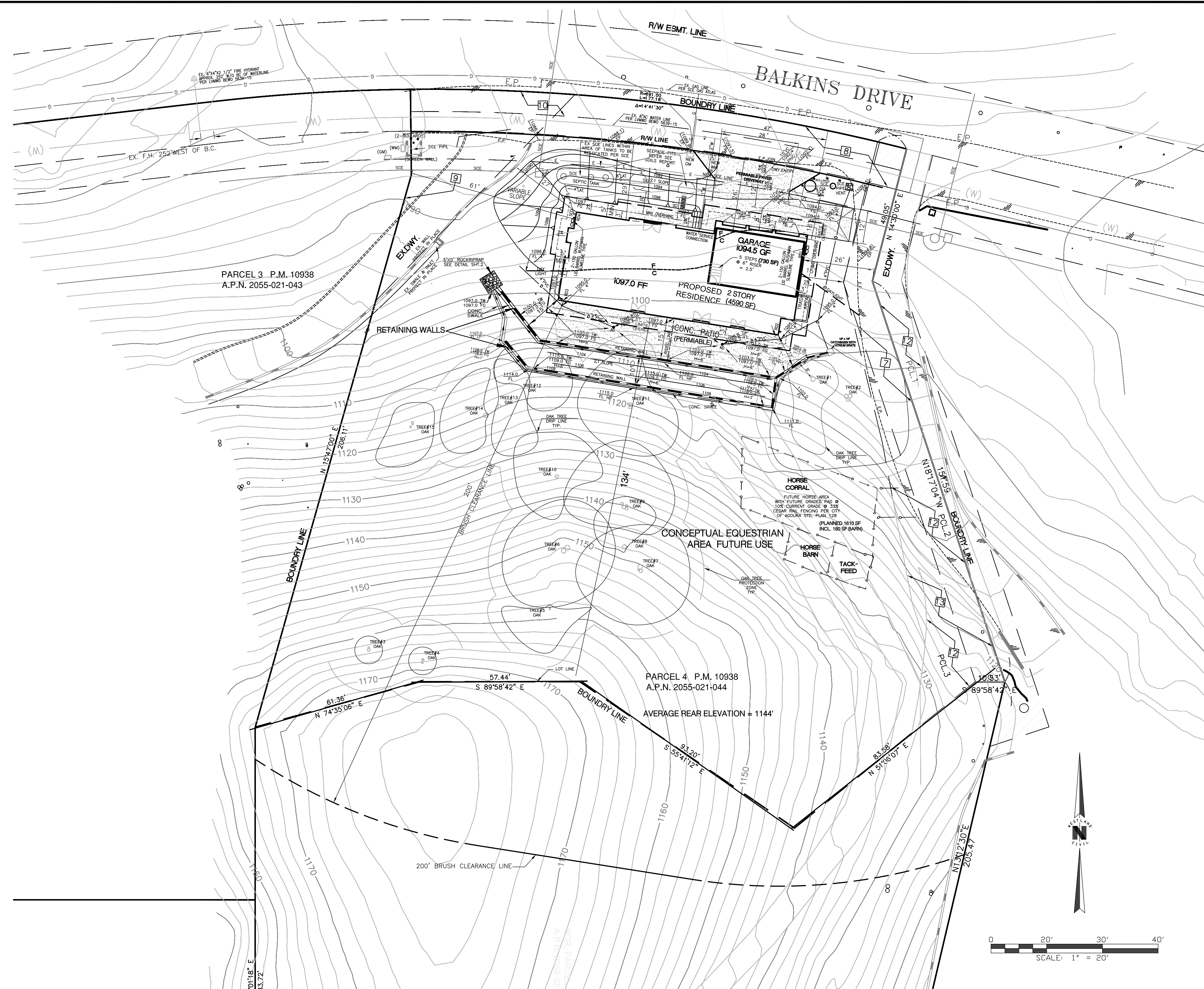
NAME: CALWEST GEOTECHNICAL CONSULTING ENGINEERS  
ADDRESS: 889 PIERCE COURT, SUITE 101, THOUSAND OAKS, CA. 91360  
REPRESENTATIVE: LEONARD LISTON  
TELEPHONE: 818-991-5942

**VICINITY MAP**

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY	ID#: AURORA-BALKINS	CITY OF AGOURA HILLS APPROVAL

**GRADING PLAN COVER SHEET**  
**ARVIND AURORA RESIDENCE**  
28340 BALKINS DRIVE  
AGOURA HILLS, CA, 91301 SHEET 1 OF 5

CITY OF AGOURA HILLS DWG. NO. \_\_\_\_\_



**GENERAL NOTES**

ARCHITECTURE, AND LANDSCAPE INFORMATION PROVIDED AS REFERENCE ONLY. REFER TO ARCHITECT AND LANDSCAPE PLANS FOR BUILDING CONSTRUCTION

CONTRACTOR TO VERIFY THE PRESENCE OF ANY/ALL UTILITIES IN AREAS OF EXCAVATION BEFORE BEGINNING WORK. ANY SUCH UTILITIES OF OBSTRUCTION ARE TO BE RELOCATED PER CONTRACTOR DIRECTION.

PROTECT ALL OAK TREE TRUNK AND ROOTS PER LANDSCAPE ARCHITECT PLANS, AND/OR OAK TREE REPORT

ANY GRADING, WALL CONSTRUCTION, DRIVEWAY CONSTRUCTION, FOUNDATION WORK, SHALL BE PER SOILS ENGINEERS, AND LANDSCAPE ARCHITECT RECOMMENDATION

**L.I.D. NOTES**

OWNER SHALL INSTALL MINIMUM OF TWO - 150 GALLON TREES WHICH MUST BE PLANTED A MINIMUM OF 10 FEET FROM IMPERVIOUS SURFACES

INSTALL IRRIGATION SYSTEM THAT UTILIZES A WEATHER BASED SMART IRRIGATION (RANCHO SMART) SPRINKLER CONTROLLER, 16 ZONE, 2ND GENERATION OR EQUAL) CONTROLLER IN THE GARAGE. TO MINIMIZE WATER USAGE AND REDUCES DRY WEATHER URBAN RUNOFF

ROOF DOWNSPOUTS TO CONNECT TO RAIN-BARRELS OR UNDERGROUND CISTERN (WITH SUMP PUMP) TO BE USED FOR IRRIGATION OR NON POTABLE USES PER L.A. COUNTY/CITY OF AGOURA HILLS BUILDING CODE

**PROJECT DATA**

OWNER: ARVIND AURORA  
 ASSESSORS = 2055-021-040  
 LAND USE = RESIDENTIAL  
 ZONING = RV-OA-EQ  
 ZIP CODE = 91303

**AREA/VOLUME CALCULATIONS**

OVEREXCAVATION BUILDING REMOVE & REPLACE DIRT QUANTITIES	773 C.Y.
CUT VOLUME BLDG, PLANTER, & GARAGE	281 C.Y.
FILL VOLUME BLDG, DRIVEWAY & GARAGE	110 C.Y.
<b>TOTAL CUT=</b>	<b>281 C.Y.</b>
<b>TOTAL FILL=</b>	<b>110 C.Y.</b>
<b>DIFFERENCE = EXPORT</b>	<b>171 C.Y.</b>

- EASEMENT LEGEND:**  
 EASEMENT NUMBERS ARE PER TITLE REPORT; PREPARED BY CALIFORNIA TITLE, ORDER # 410-1943397-64
- 7 10' WIDE ESMT. FOR INGRESS AND EGRESSES AS DEDICATED AND DELINEATED PER PARCEL MAP NO. 10938 BK.157,PG.27
  - 8 15' WIDE ESMT. FOR WATER LINE PURPOSES TO LVMWD PER INSTRUMENT NO. 86-1408841 O.R.
  - 9 VARIABLE WIDTH ESMT. FOR INGRESS AND EGRESSES PER INSTRUMENT NO. 87-140751 O.R.
  - 10 8' WIDE ESMT. FOR UTILITY LINE PURPOSES TO SCE PER INSTRUMENT NO. 87-1545352 O.R.
  - 12 INGRESS AN EGRESSES ESMT. PARCELS 1 PER INSTRUMENT NO. 05-2063156 O.R.
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  - 12 INGRESS AN EGRESSES ESMT. PARCELS 3 PER INSTRUMENT NO. 05-2063156 O.R.
  - 13 ESMT. FOR CONSTRUCTION PURPOSES OVER PARCELS 1,2,3 PER INSTRUMENT NO. 05-3237175

- LEGEND**
- D DRAIN LINE
  - E SCE CONDUIT
  - R RIDGE LINE
  - G EXIST. GAS LINE
  - S NEW SEWER LINE
  - RETAINING WALL
  - EDGE OF PAVEMENT
  - CUT/FILL LINE
  - CONC. PAVEMENT
  - 2:1 FILL SLOPE

- ABBREVIATIONS**
- A.C. ASPHALTIC CONCRETE
  - AD AREA DRAIN
  - APN ASSESSORS PARCEL NUMBER
  - A.S. AGGREGATE SUBBASE
  - B.M. BENCH MARK
  - C.B. CATCH BASIN
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**LEGEND AND SYMBOLS**

- PROJECT BOUNDARY
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- PROPOSED GRADE CONTOUR
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- PROPOSED SLOPE PER PLAN
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AVERAGE ELEVATION @ 25' REAR SETBACK  
 EL.1172+EL.1116 = 2288/2 =  
 EL. 1144 AVG. ELEVATION

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 AT LEAST TWO DAYS  
 BEFORE YOU DIG  
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

PREPARED FOR  
**ARVIND AURORA**  
 10250 LOCKWOOD DRIVE.  
 CUPERTINO, CA. 95014  
 (650) 281-9853

REGISTERED PROFESSIONAL ENGINEER  
**DONALD G. WAITE**  
 No. 27364  
 Exp. 31 MAR 2019  
 CIVIL  
 STATE OF CALIFORNIA

PREPARED BY: ID#: AURORA-BALKINS  
**WESTLAND CIVIL, INC.**  
 CIVIL ENGINEERS PLANNING / DESIGN LAND SURVEYORS  
 101 HODGENCAMP RD., SUITE 216, THOUSAND OAKS, CA. 91320  
 (805) 495-1330 FAX: (805) 444-9125

CITY OF AGOURA HILLS APPROVAL

REVIEWED BY: DATE: RAMIRO S. ADEVA 111 CITY ENGINEER DATE: C66865 RCE NO. 9/30/20 EXP DATE



**GRADING AND DRAINAGE PLAN**

**ARVIND AURORA RESIDENCE**  
 28340 BALKINS DRIVE  
 AGOURA HILLS, CA, 91301  
**APN 2055-021-044**

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

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**PROJECT DATA**

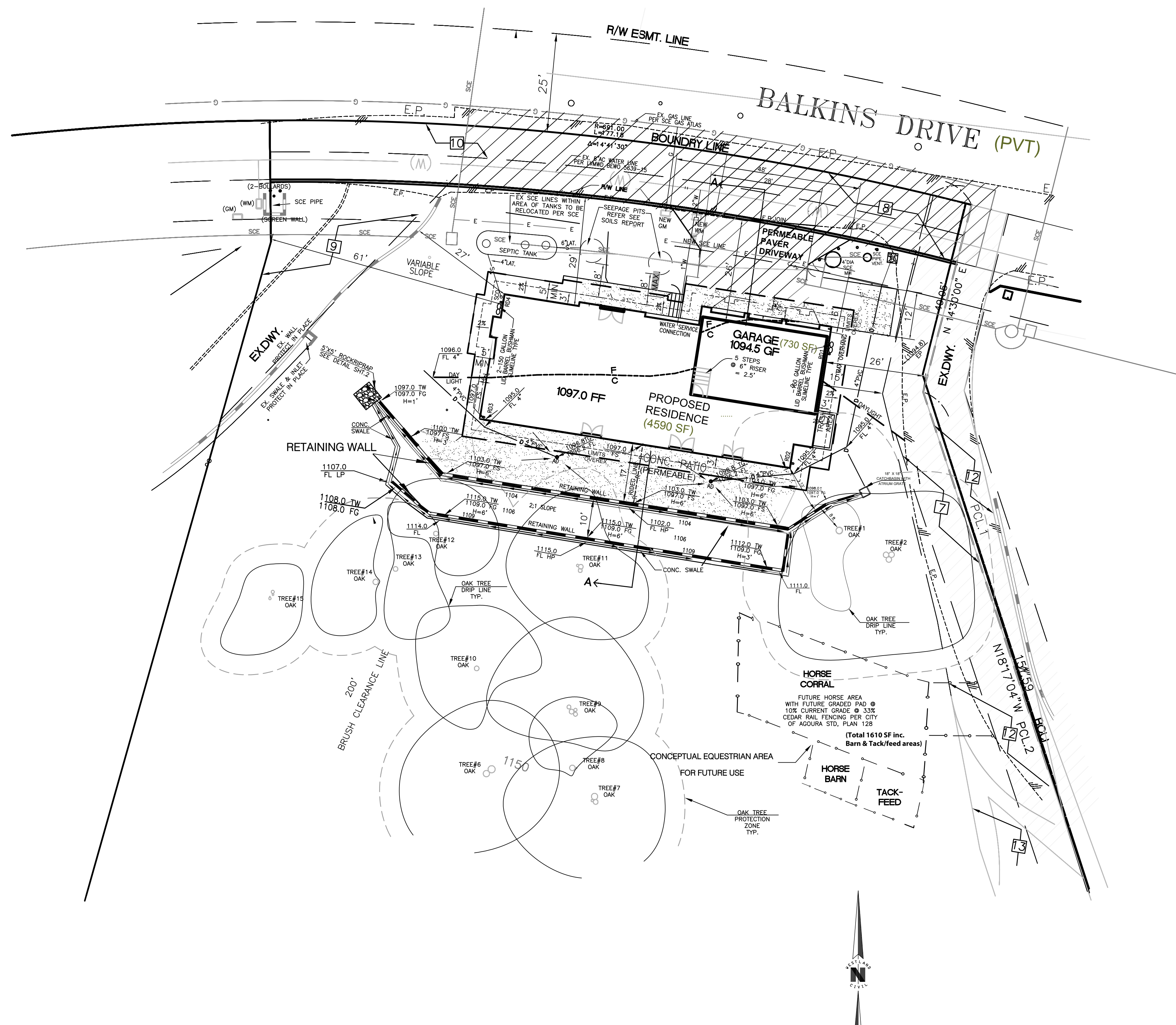
OWNER: ARVIND AURORA  
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 ZONING = RV-OA-EQ  
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**AREA/VOLUME CALCULATIONS**

OVEREXCAVATION BUILDING REMOVE & REPLACE	773 C.Y.
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**LEGEND**

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- E SCE CONDUIT
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- EDGE OF PAVEMENT
- CUT/FILL LINE
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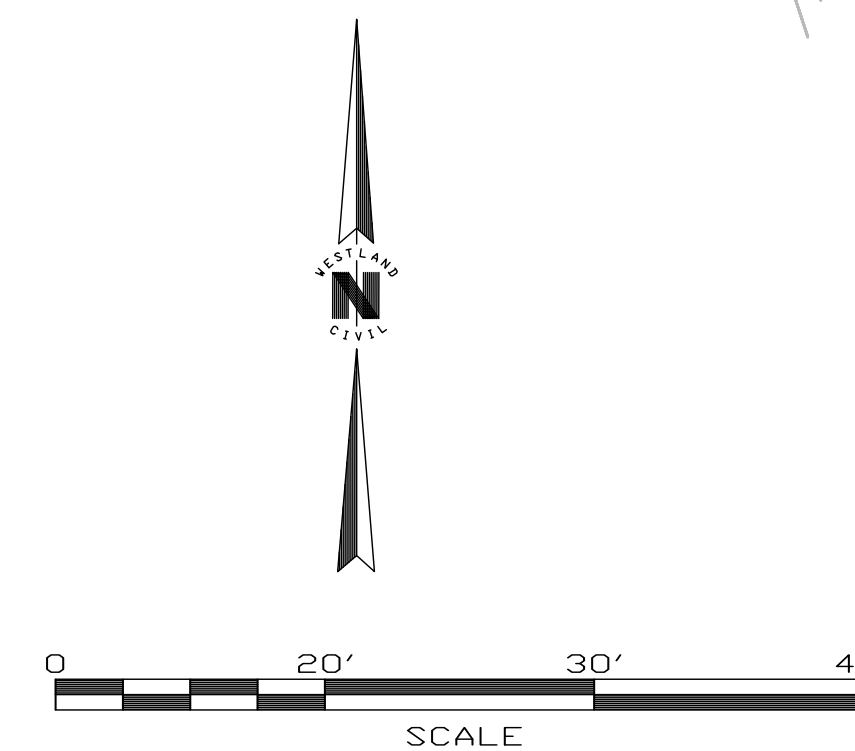
**ABBREVIATIONS**

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PREPARED BY: ID#: AURORA-BALKINS  
**WESTLAND CIVIL, INC.**  
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 101 HODGENCAMP RD., SUITE 216, THOUSAND OAKS, CA, 91320  
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CITY OF AGOURA HILLS APPROVAL  
 REVIEWED BY: DATE: RAMIRO S. ADEVA 111 DATE: C66865 9/30/20 RCE NO. EXP DATE CITY ENGINEER

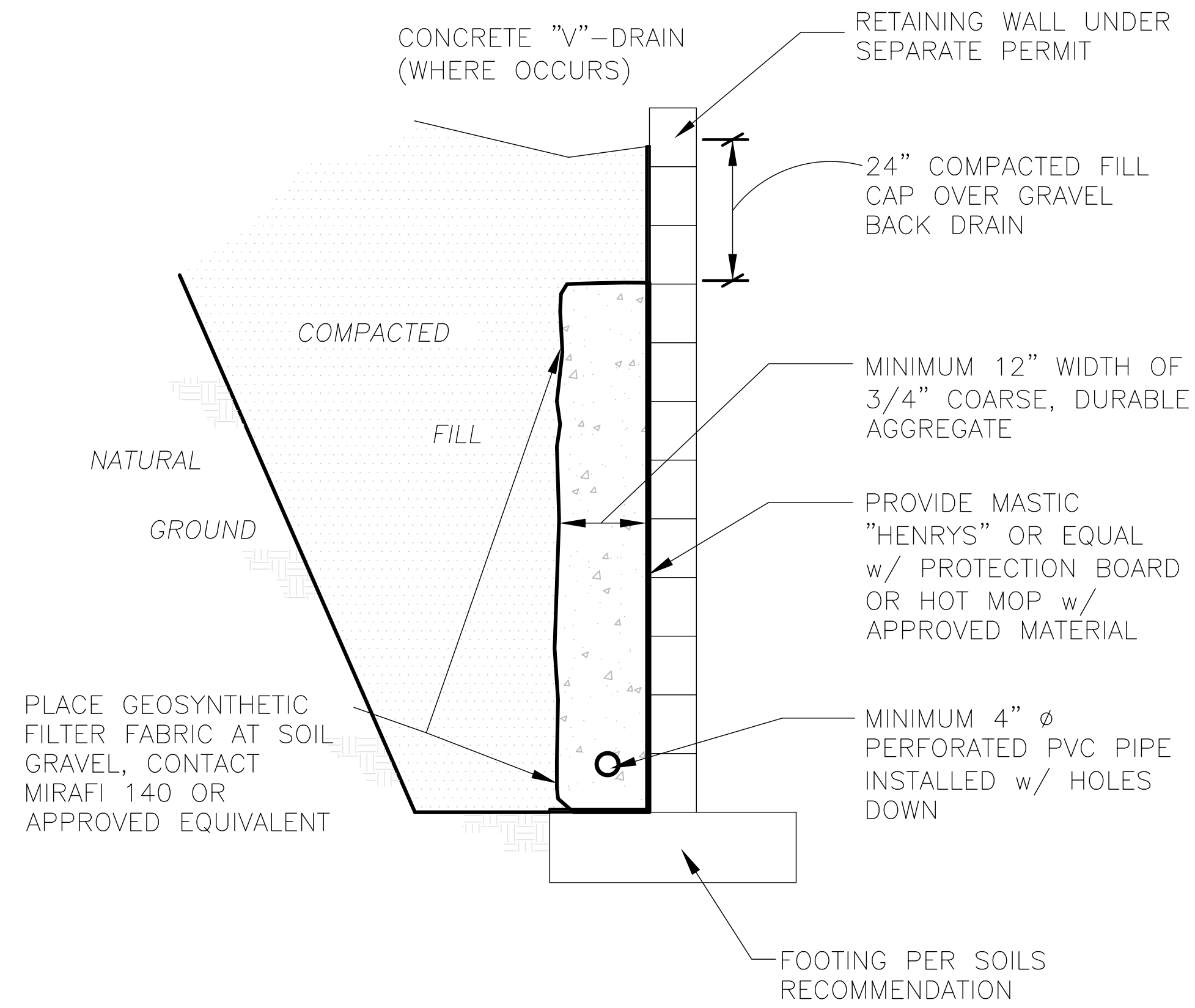


**GRADING AND DRAINAGE PLAN**

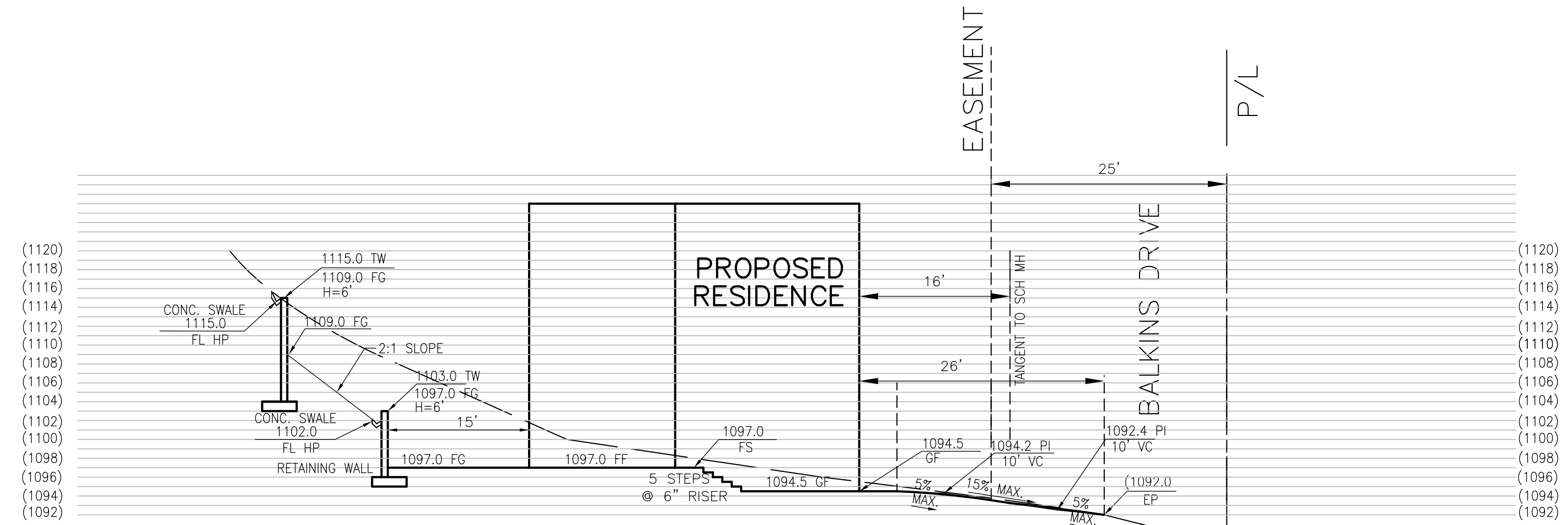
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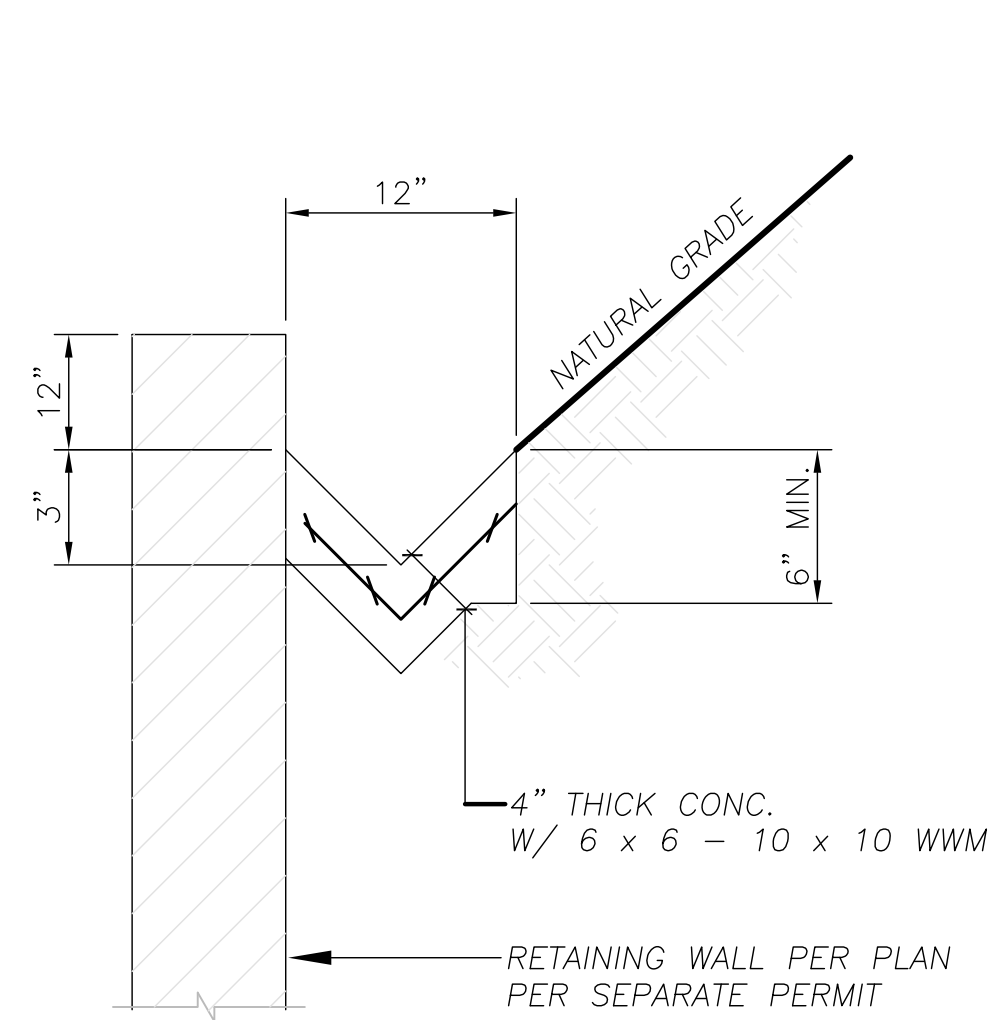
SUBJECT PROPERTY  
AIN 2055-021-044



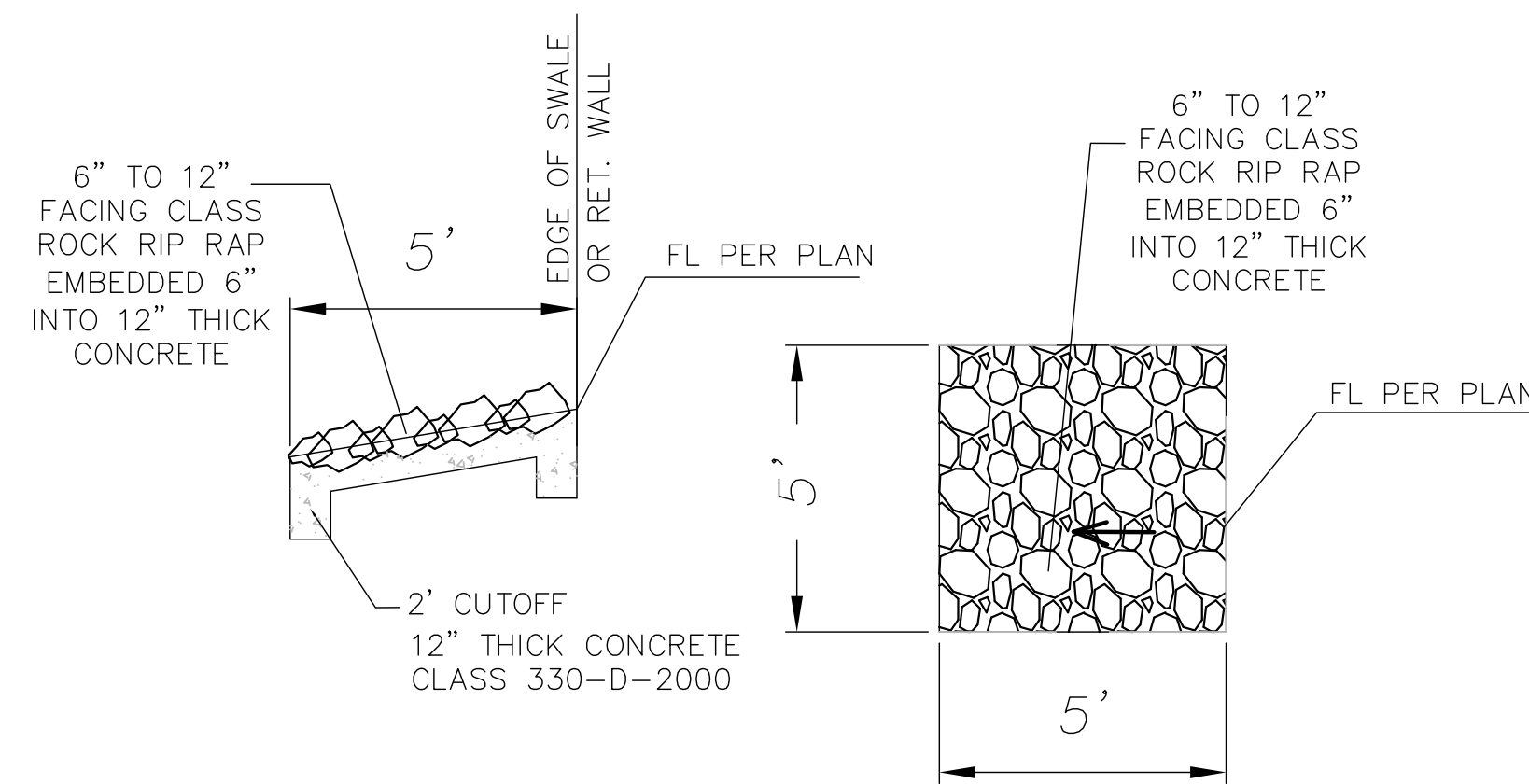
**RET. WALL BACKFILL DETAIL**  
N.T.S.



**SECTION 'A'**  
SCALE 1"=10' HORIZ.  
SCALE 1"=1' VERT.



**CONC. SWALE DETAIL**  
N.T.S.

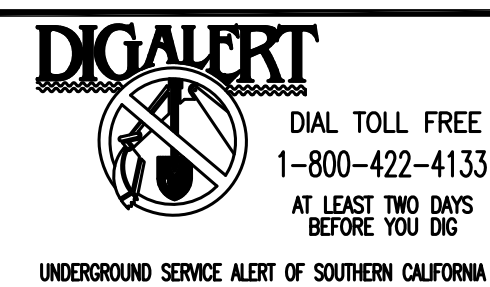
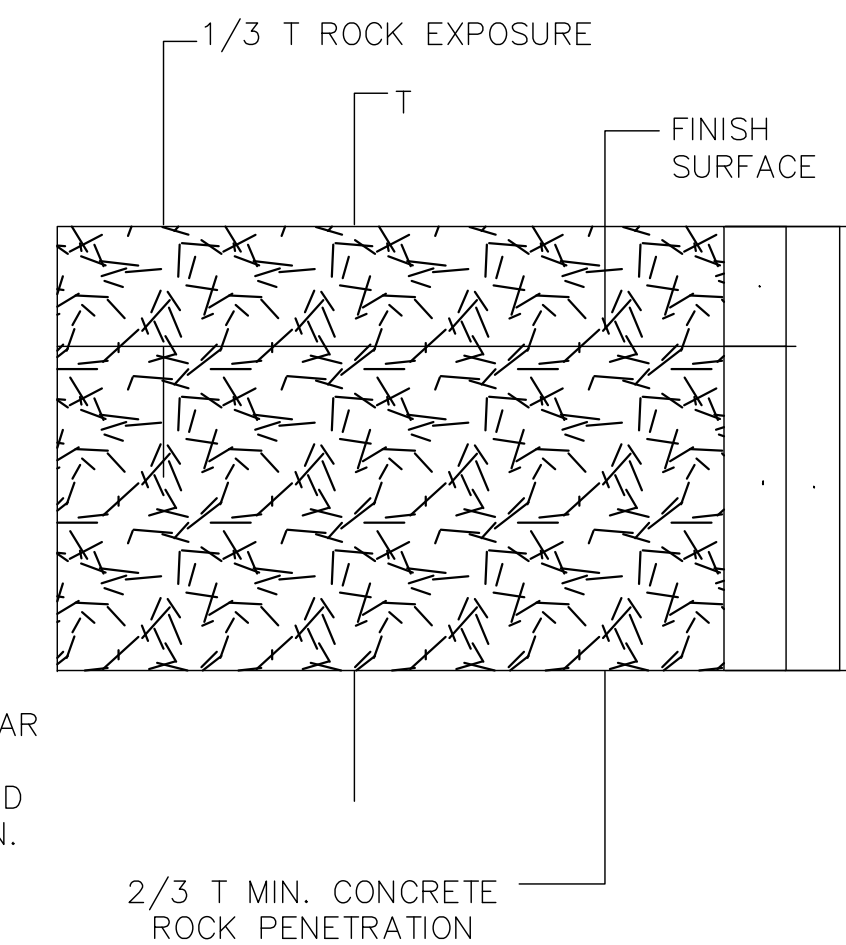


**ROCK RIP-RAP DETAIL**  
N.T.S.

CLASSES  
CONCRETED ROCK RIP-RAP  
PERCENTAGE LARGER THAN

ROCK SIZES	1/2 TON	1/4 TON	USE	FACING
1 TON	0-50			
1/2 TON	50-100	0-50		
1/4 TON	1/4 TON	50-100	0-50	
200 LB.	100		50-100	0-50
75 LB.		100	100	50-100
5 LB.				100
LAYER THICKNESS	30"	30"	24"	18"

ROCK QUALITY:  
ROCK SHALL MEET THE REQUIREMENTS OF SUBSECTION 200-1.6 OR SECTION 400 (ALTERNATE ROCK MATERIALS), EXCEPT THAT ALL ROCK MATERIAL SHALL BE ANGULAR FOR ROCK CONSTRUCTION. FOR CONCRETED ROCK RIP-RAP CONSTRUCTION THE ROCK MAY BE SUBANGULAR. ANGULAR SHALL BE DEFINED AS HAVING SHARP CORNERS AND ON ALL FACES, WITH NO EVIDENCE OF WEAR CAUSED BY WIND, WATER AND ABRASION. DETERMINATION OF ANGULARITY SHALL BE DETERMINED BY ENGINEER



PREPARED FOR  
**ARVIND AURORA**  
10250 LOCKWOOD DRIVE  
CUPERTINO, CA. 95014  
(650) 281-9853

PREPARED BY: **WESTLAND CIVIL, INC.** ID#: AURORA-BALKINS  
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CITY OF AGOURA HILLS APPROVAL

REVIEWED BY \_\_\_\_\_ DATE \_\_\_\_\_

RAMIRO S. ADEVA 111 CITY ENGINEER DATE \_\_\_\_\_

C66865 9/30/20  
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**GRADING AND DRAINAGE PLAN**  
**ARVIND AURORA RESIDENCE**  
28340 BALKINS DRIVE  
AGOURA HILLS, CA, 91301  
APN 2055-021-044

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

**GENERAL NOTES**

EROSION AND SEDIMENT CONTROL PLAN (ESCP) GENERAL NOTES:

1. IN CASE OF EMERGENCY, CALL ARVIND AURORA AT 650-281-9583
2. TOTAL DISTURBED AREA WOULD # N.A.
3. A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
4. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
5. GRADED AREAS ADJACENT TO HILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
6. ALL SILL AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY
7. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
8. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
9. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
10. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES, THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
11. EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITES AT ALL TIMES.
12. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
13. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
14. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
15. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
16. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 50% OR GREATER PROBABILITY OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
17. TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
18. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
19. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
20. AS THE ENGINEER/OSD OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS.

CIVIL ENGINEER/OSD SIGNATURE DATE

**ATTACHMENT "B" NOTES**

23. THE FOLLOWING BMPs FROM THE "CASQA CONSTRUCTION BMP ONLINE HANDBOOK" MUST BE IMPLEMENTED FOR ALL CONSTRUCTION ACTIVITIES AS APPLICABLE. AS AN ALTERNATIVE, DETAILS FROM "CALTRANS STORMWATER QUALITY HANDBOOKS, CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP) MANUAL" MAY BE USED. ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE BUILDING OFFICIAL.

**EROSION CONTROL**

- EC1 - SCHEDULING
- EC2 - PRESERVATION OF EXISTING VEGETATION
- EC3 - HYDRAULIC MULCH
- EC4 - HYDROSEEDING
- EC5 - SOIL BINDERS
- EC6 - STRAW MULCH
- EC7 - GEOTEXTILES & MATS
- EC8 - WOOD MULCHING
- EC9 - EARTH DIKES AND DRAINAGE SWALES
- EC10 - VELOCITY DISSIPATION DEVICES
- EC11 - SLOPE DRAINS
- EC12 - STREAMBANK STABILIZATION
- EC13 - RESERVED
- EC14 - COMPOST BLANKETS
- EC15 - SOIL PREPARATION/ROUGHENING
- EC16 - NON-VEGETATED STABILIZATION

**TEMPORARY SEDIMENT CONTROL**

- SE1 - SILT FENCE
- SE2 - SEDIMENT BASIN
- SE3 - SEDIMENT TRAP
- SE4 - CHECK DAM
- SE5 - FIBER ROLLS
- SE6 - GRAVEL BAG BERM
- SE7 - STREET SWEEPING AND VACUUMING
- SE8 - SANDBAG BARRIER
- SE9 - STRAW BALE BARRIER
- SE10 - STORM DRAIN INLET PROTECTION
- SE11 - ACTIVE TREATMENT SYSTEMS
- SE12 - TEMPORARY SILT DIKE
- SE13 - COMPOST SOCKS & BERMS
- SE14 - BIOFILTER BAGS

**WIND EROSION CONTROL**

- WE1 - WIND EROSION CONTROL
- TC1 - STABILIZED CONSTRUCTION ENTRANCE
- TC2 - STABILIZED CONSTRUCTION ROADWAY
- TC3 - ENTRANCE/OUTLET TIRE WASH

**NON-STORMWATER MANAGEMENT**

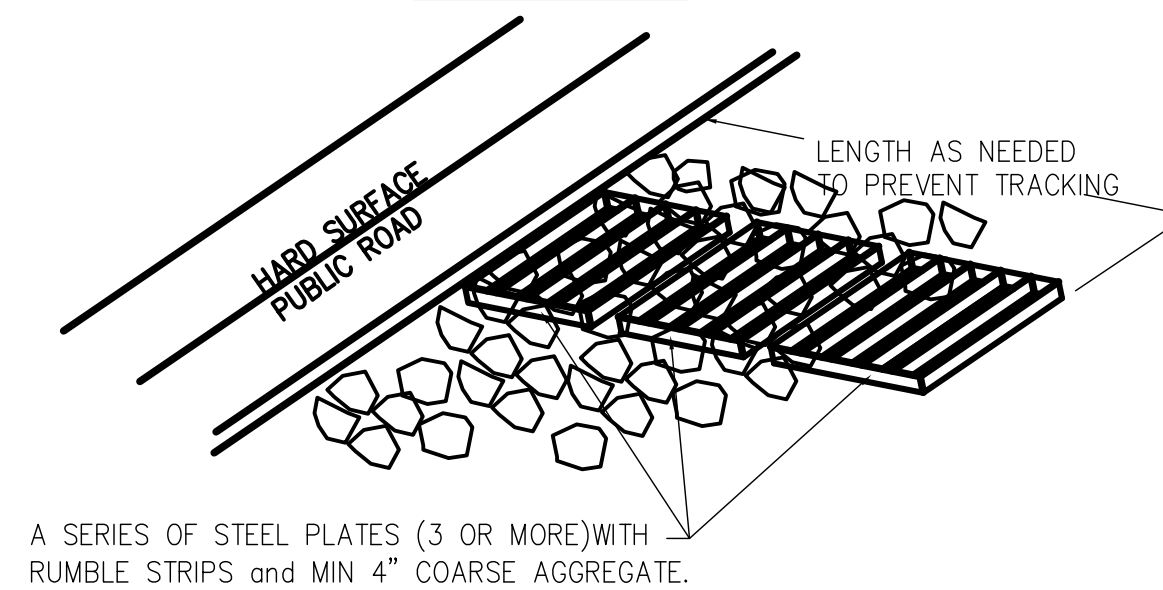
- NS1 - WATER CONSERVATION PRACTICES
- NS2 - DEWATERING OPERATIONS
- NS3 - PAVING AND GRINDING OPERATIONS
- NS4 - TEMPORARY STREAM CROSSING
- NS5 - CLEAR WATER DIVERSION
- NS6 - ILLUOT CONNECTION/DISCHARGE
- NS7 - POTABLE WATER/IRRIGATION
- NS8 - VEHICLE AND EQUIPMENT CLEANING
- NS9 - VEHICLE AND EQUIPMENT FUELING
- NS10 - VEHICLE AND EQUIPMENT MAINTENANCE
- NS11 - PILE DRIVING OPERATIONS
- NS12 - CONCRETE CURING
- NS13 - CONCRETE FINISHING
- NS14 - MATERIAL AND EQUIPMENT USE
- NS15 - DEMOLITION ADJACENT TO WATER
- NS16 - TEMPORARY BATCH PLANTS

**WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL**

- WM1 - MATERIAL DELIVERY AND STORAGE
- WM2 - MATERIAL USE
- WM3 - STOCKPILE MANAGEMENT
- WM4 - SPILL PREVENTION AND CONTROL
- WM5 - SOLID WASTE MANAGEMENT
- WM6 - HAZARDOUS WASTE MANAGEMENT

- WM7 - CONTAMINATION SOIL MANAGEMENT
- WM8 - CONCRETE WASTE MANAGEMENT
- WM9 - SANITARY/SEPTIC WASTE MANAGEMENT
- WM10 - LIQUID WASTE MANAGEMENT

**C STABILIZED CONSTRUCTION ENTRANCE**



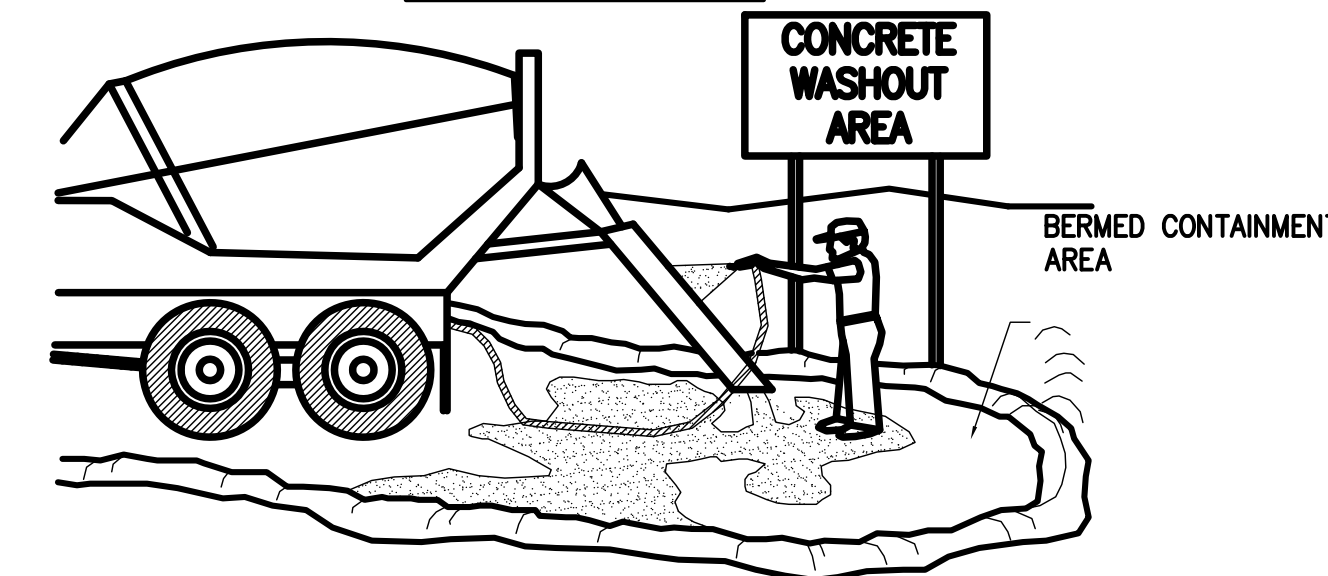
**NOTES:**

1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC ROADS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
  - A. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT OF WAY, STREET, ALLEY, AND SIDEWALK OR PARKING AREA.
  - B. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN 4" COARSE AGGREGATE WITH LENGTH, WIDTH & THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

**STREET MAINTENANCE**

1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

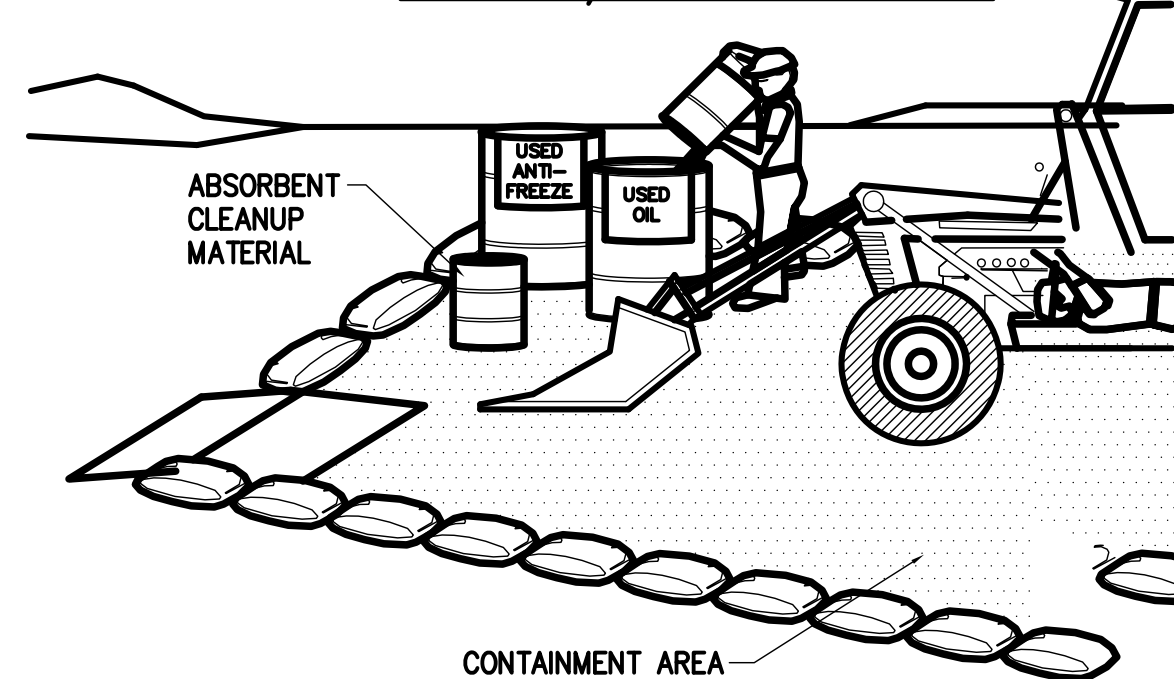
**D CONCRETE WASTE MANAGEMENT**



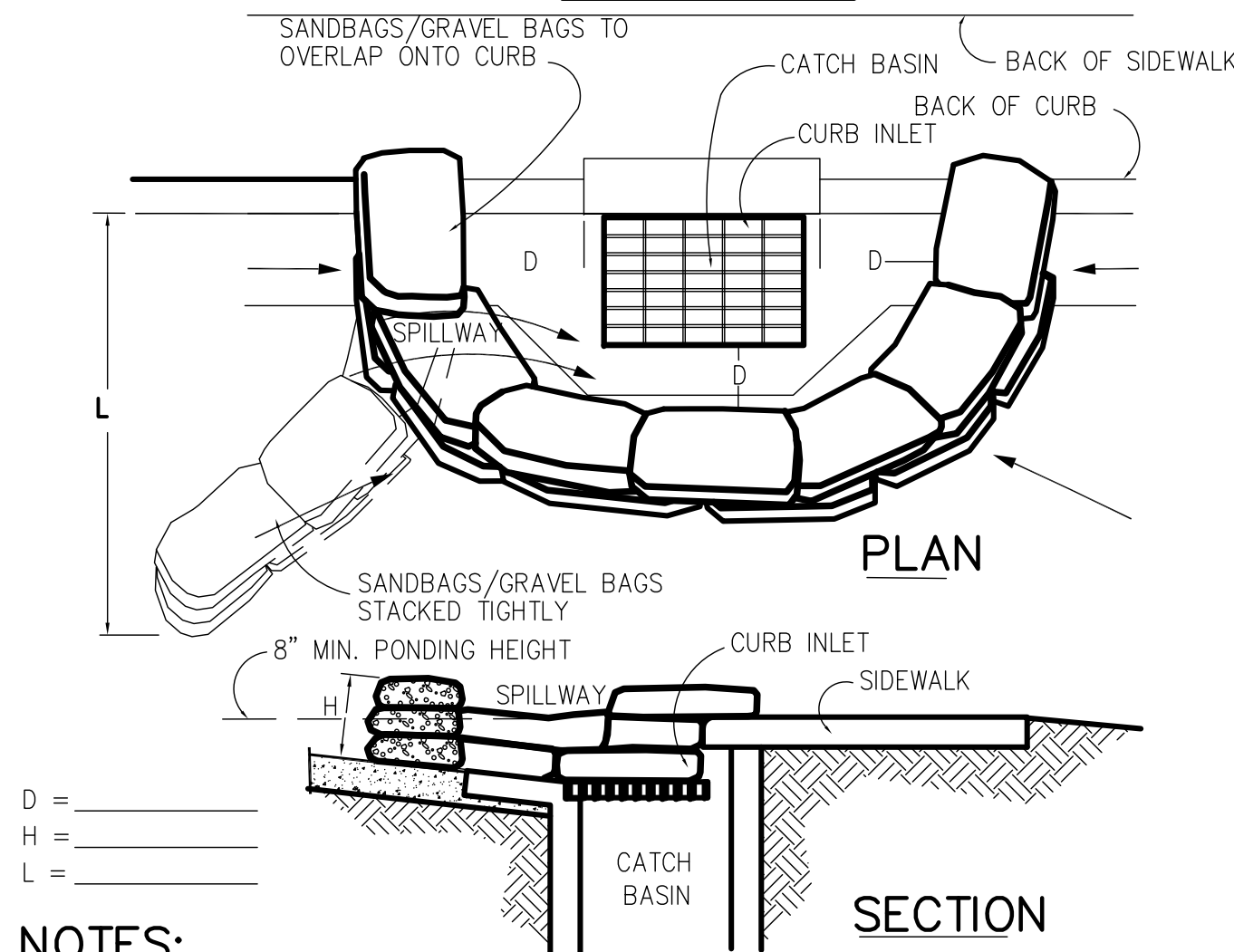
**NOTES:**

1. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
2. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
3. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.

**E EQUIPMENT REPAIR/MAINTENANCE**



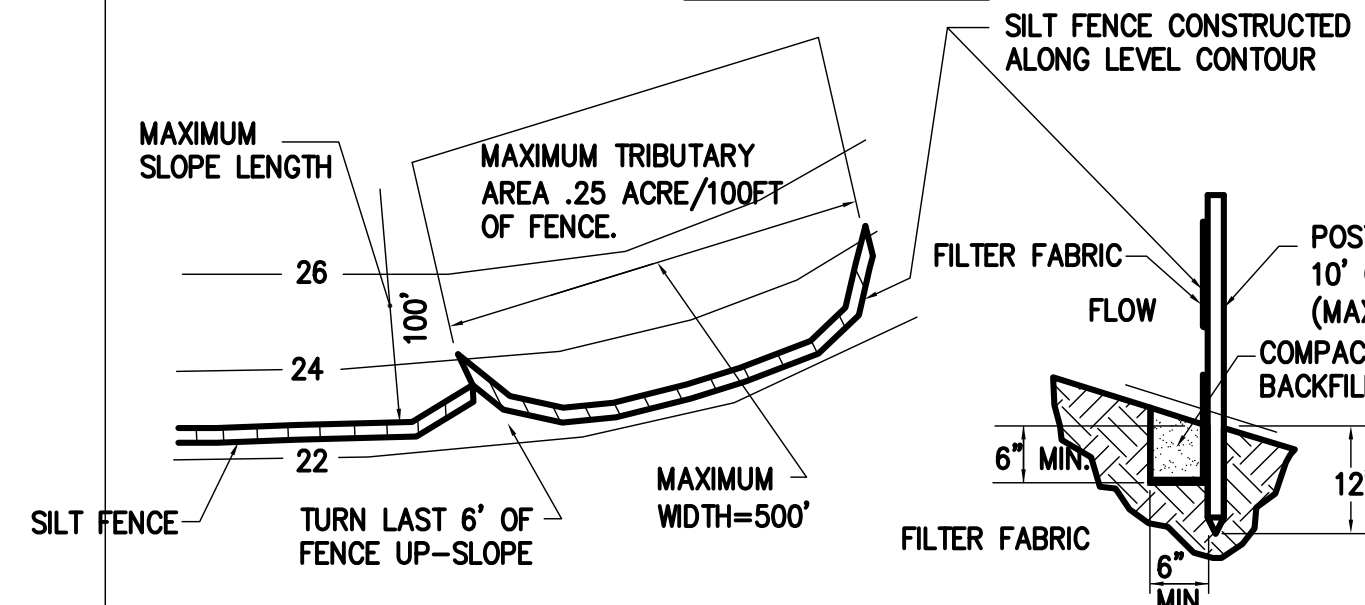
**A CATCH BASIN/INLET PROTECTION**



**NOTES:**

1. CATCH BASIN/INLET PROTECTION SHALL BE INSTALLED WHEREVER THERE IS A POTENTIAL OF STORMWATER OR NON-STORMWATER BEING DISCHARGED INTO IT.
2. INLET PROTECTION IS REQUIRED ALONG WITH OTHER POLLUTION PREVENTION MEASURES SUCH AS, EROSION CONTROL, SOIL STABILIZATION, AND MEASURES TO PREVENT TRACKING ONTO PAVED SURFACES.
3. MODIFY INLET PROTECTION AS NEEDED TO AVOID CREATING TRAFFIC HAZARDS.
4. INCLUDE INLET PROTECTION MEASURES AT HILLSIDE V-DITCHES AND MISC. DRAINAGE SWALES.
5. INLET PROTECTION SHALL BE INSPECTED AND ACCUMULATED SEDIMENTS REMOVED. SEDIMENT SHALL BE DISPOSED OF PROPERLY AND IN A MANNER THAT ASSURES THAT THE SEDIMENT DOES NOT ENTER THE STORM DRAIN SYSTEM.
6. DAMAGED BAGS SHALL BE REPLACED IMMEDIATELY.
7. ADDITIONAL SANDBAG SEDIMENT TRAPS SHALL BE PLACED AT INTERVALS AS INDICATED ON SITE PLAN.

**B SILT FENCE**



**NOTES:**

1. CONSTRUCT THE SILT FENCE ALONG A LEVEL CONTOUR.
2. SILT FENCES SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
3. PROVIDE SUFFICIENT ROOM FOR RUNOFF TO POND BEHIND THE FENCE AND ALLOW SEDIMENT REMOVAL EQUIPMENT TO PASS BETWEEN THE SILT FENCE AND TOE OF SLOPE OR OTHER OBSTRUCTIONS. ABOUT 1200 SQ. FT. OF PONDING AREA SHALL BE PROVIDED FOR EVERY ACRE DRAINING TO THE FENCE.
4. TURN THE ENDS OF THE FILTER FENCE UPHILL TO PREVENT STORMWATER FROM FLOWING AROUND THE FENCE.
5. LEAVE AN UNDISTURBED OR STABILIZED AREA IMMEDIATELY DOWNSLOPE FROM THE FENCE.
6. DO NOT PLACE IN LIVE STREAM OR INTERMITTENTLY FLOWING CHANNELS.
7. WHEN STANDARD FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG, THE WIRES OR HOG RINGS.



PREPARED FOR  
**ARVIND AURORA**  
10250 LOCKWOOD DRIVE  
CUPERTINO, CA. 95014  
(650) 281-9853

PREPARED BY: ID#: AURORA-BALKINS  
**WESTLAND CIVIL, INC.**  
CIVIL ENGINEERS PLANNING / DESIGN LAND SURVEYORS  
101 HODGENCAMP RD., SUITE 216, THOUSAND OAKS, CA. 91320  
(805) 495-1330 FAX: (805) 444-9125

CITY OF AGOURA HILLS APPROVAL

REVIEWED BY \_\_\_\_\_ DATE \_\_\_\_\_

RAMIRO S. ADEVA 111  
CITY ENGINEER

C66865  
RCE NO. 9/30/20  
EXP DATE



**GENERAL NOTES CONTINUED**

21. THE FOLLOWING NOTES MUST BE ON THE PLAN: AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH THE SYSTEM DESIGNED TO ENSURE THAT A QUALIFIED PERSONNEL PROPERTY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION SUBMITTED IS TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT SUBMITTING FALSE AND/OR INACCURATE INFORMATION, FAILING TO UPDATE THE ESCP TO REFLECT CURRENT CONDITIONS, OR FAILING TO PROPERTY AND/OR ADEQUATELY IMPLEMENT THE ESCP MAY RESULT IN REVOCATION OF GRADING AND/OR OTHER PERMITS OR OTHER SANCTIONS PROVIDED BY LAW.

OWNER OR AUTHORIZED REPRESENTATIVE (PERMITTEE) DATE \_\_\_\_\_

22. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERTY AS REQUIRED BY THE STATE CONSTRUCTION GENERAL PERMIT. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL.

SEE SHEET 2 FOR CONSTRUCTION NOTES

**NOTES:**

THE LOCATION AND DESIGN OF ALL EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE TENTATIVE ONLY, AND SUBJECT TO REVISION AS DETERMINED BY THE RESIDENT INSPECTOR OR THE CITY ENGINEER.

ACTUAL EROSION CONTROL SHALL BE INSTALLED TO THE SATISFACTION OF THE RESIDENT INSPECTOR AS CONDITIONS WARRANT. SILT, DEBRIS, AND MUD SHALL BE PROMPTLY REMOVED FROM ALL EROSION CONTROL STRUCTURES AFTER EACH RAIN TO THE SATISFACTION OF THE RESIDENT INSPECTOR. THE CITY MAY CONDUCT REGULAR SITE INSPECTIONS TO ASSESS CHANGING CONDITIONS AND DETERMINE THE NECESSITY OF ADDITIONAL EROSION CONTROL MEASURES.

ANY REVISED/ADDITIONAL B.M.P. TO BE USED THAT ARE NOT SHOWN ON THIS PLAN SHALL BE APPROVED BY ENGINEER OF RECORD PRIOR TO IMPLEMENTATION.

CALIFORNIA NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY-WATER QUALITY ORDER N/A

**EROSION SEDIMENT CONTROL PLAN (ESCP)**

**ARVIND AURORA RESIDENCE**

28340 BALKINS DRIVE  
AGOURA HILLS, CA, 91301

APN 2055-021-044

SHEET 4 OF 5





Know what's below.  
Call before you dig.

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

DIAL TOLL FREE  
8 1 1  
AT LEAST TWO DAYS  
BEFORE YOU DIG

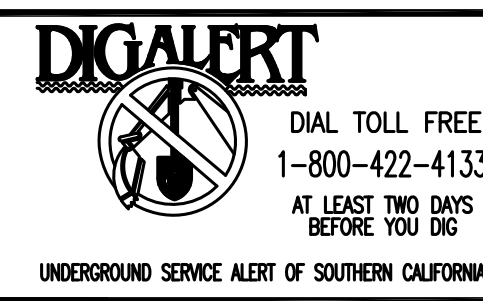
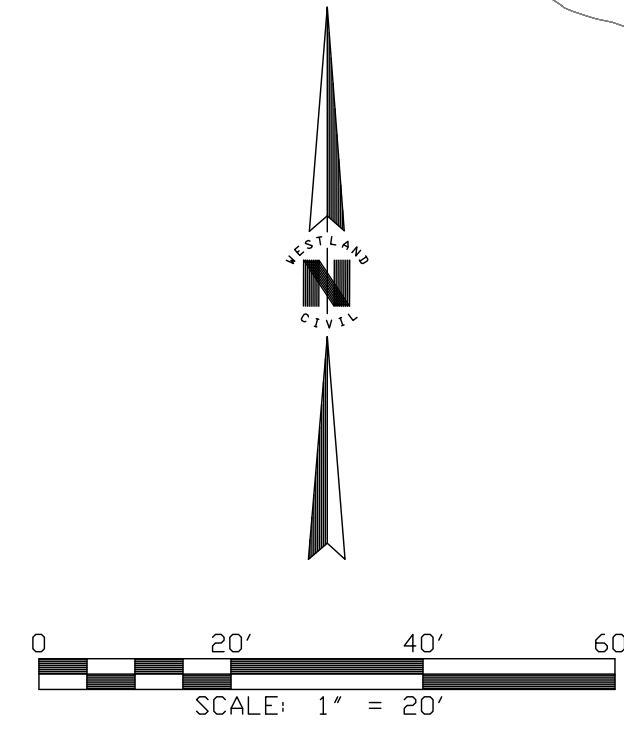


**NOTES:**

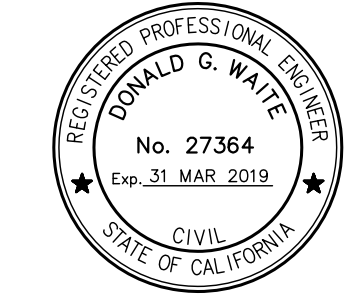
1. LEAKING VEHICLES AND EQUIPMENT SHALL NOT BE ALLOWED ON-SITE. EQUIPMENT AND VEHICLES SHALL BE INSPECTED FREQUENTLY FOR LEAKS AND SHALL BE REPAIRED IMMEDIATELY. CLEAN UP SPILLS AND LEAKS PROMPTLY WITH ABSORBENT MATERIALS; DO NOT FLUSH WITH WATER.
2. VEHICLES AND EQUIPMENT SHALL BE MAINTAINED, AND REPAIRED ON-SITE ONLY IN DESIGNATED AREAS. PREVENT RUN-ON AND RUN-OFF FROM DESIGNATED AREAS. CONTAINMENT DEVICES SHALL BE PROVIDED AND AREAS SHALL BE COVERED IF NECESSARY.
3. DESIGNATE ON-SITE VEHICLE AND EQUIPMENT MAINTENANCE AREAS, AWAY FROM STORM DRAIN INLETS AND WATERCOURSES.
4. ALWAYS USE SECONDARY CONTAINMENT, SUCH AS A DRAIN PAN OR DROP CLOTH, TO CATCH SPILLS AND LEAKS WHEN REMOVING OR CHANGING FLUIDS.
5. LEGALLY DISPOSE OF USED OILS, FLUIDS, AND LUBRICANTS.
6. PROVIDE SPILL CONTAINMENT DIKES OR SECONDARY CONTAINMENT AROUND STORED OIL, FUEL, AND CHEMICAL DRUMS.
7. MAINTAIN AN ADEQUATE SUPPLY OF ABSORBENT SPILL CLEANUP MATERIALS IN DESIGNATED AREA.
8. ANY REVISED/ADDITIONAL B.M.P. TO BE USED THAT ARE NOT SHOWN ON THIS PLAN SHALL BE APPROVED BY ENGINEER OF RECORD PRIOR TO IMPLEMENTATION

**CONSTRUCTION NOTES**


- 1] CONSTRUCT STABILIZED ENTRANCE PER BMP TC1, SEE DETAIL "C".
  - 2] MATERIAL STORAGE AREA PER BMP WM1
  - 3] BLOCK/GRAVEL SEDIMENT BARRIER, PER BMP SC10, SEE DETAIL "A" (TYP)
  - 4] INSTALL SILT FENCE PER BMP SC1, SEE DETAIL "B"
  - 5] CONCRETE WASTE MANAGEMENT AREA PER BMP WM8, SEE DETAIL "D".
  - 6] VEHICLE / EQUIPMENT REPAIR AND STORAGE AREA PER BMP NS10, SEE DETAIL "E".
- NOTES 1-6 REFER TO B.M.P.'s "A" TO "E" SHOWN HEREON.



DIAL TOLL FREE  
1-800-422-4133  
AT LEAST TWO DAYS  
BEFORE YOU DIG  
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



PREPARED FOR  
**ARVIND AURORA**  
10250 LOCKWOOD DRIVE  
CUPERTINO, CA. 95014  
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PREPARED BY:  ID#: AURORA-BALKINS  
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CITY OF AGOURA HILLS APPROVAL

REVIEWED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
RAMIRO S. ADEVA 111 \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY ENGINEER



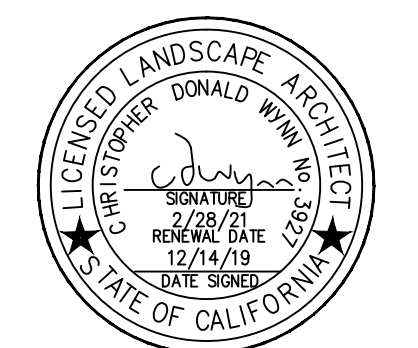
**EROSION SEDIMENT CONTROL PLAN (ESCP)**

**ARVIND AURORA RESIDENCE**  
28340 BALKINS DRIVE  
AGOURA HILLS, CA, 91301  
**APN 2055-021-044**

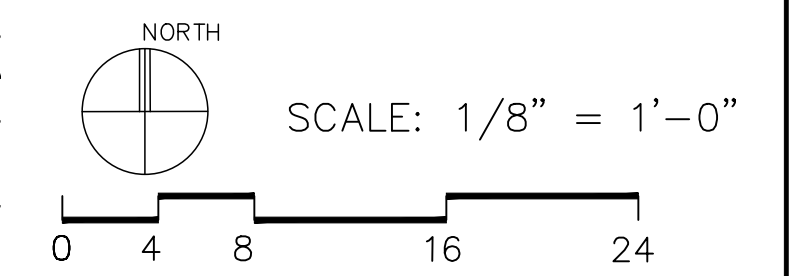
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

Client:  
 ARVIND AURORA

Project:  
 28340 BALKINS DRIVE  
 AGOURA HILLS  
 CA 91301



- LEGENDS:
- BOUGAINVILLEA GLABRA
  - PHORMIUM 'YELLOW WAVES'
  - CEANOTHUS 'YANKEE POINT'
  - ENCELIA CALIFORNICA
  - ESCALLONIA 'APPLE BLOSSOM'
  - SALVIA LEUCANTHA
  - LEPTOSPERMUM 'RUBY GLOW'
  - MUHLENBERGIA RIGENS
  - AGAPANTHUS 'STORM CLOUD'
  - DIETES BICOLOR
  - LANTANA MONTEVIDENSIS
  - ARCTOSTAPHYLOS
  - FESTUCA CALIFORNICA
  - CISTUS PURPUREUS
  - PHORMIUM 'GUARDSMAN'
  - OLEA EUROPAEA
  - CERCIIS OCCIDENTALIS



Date	Description	By

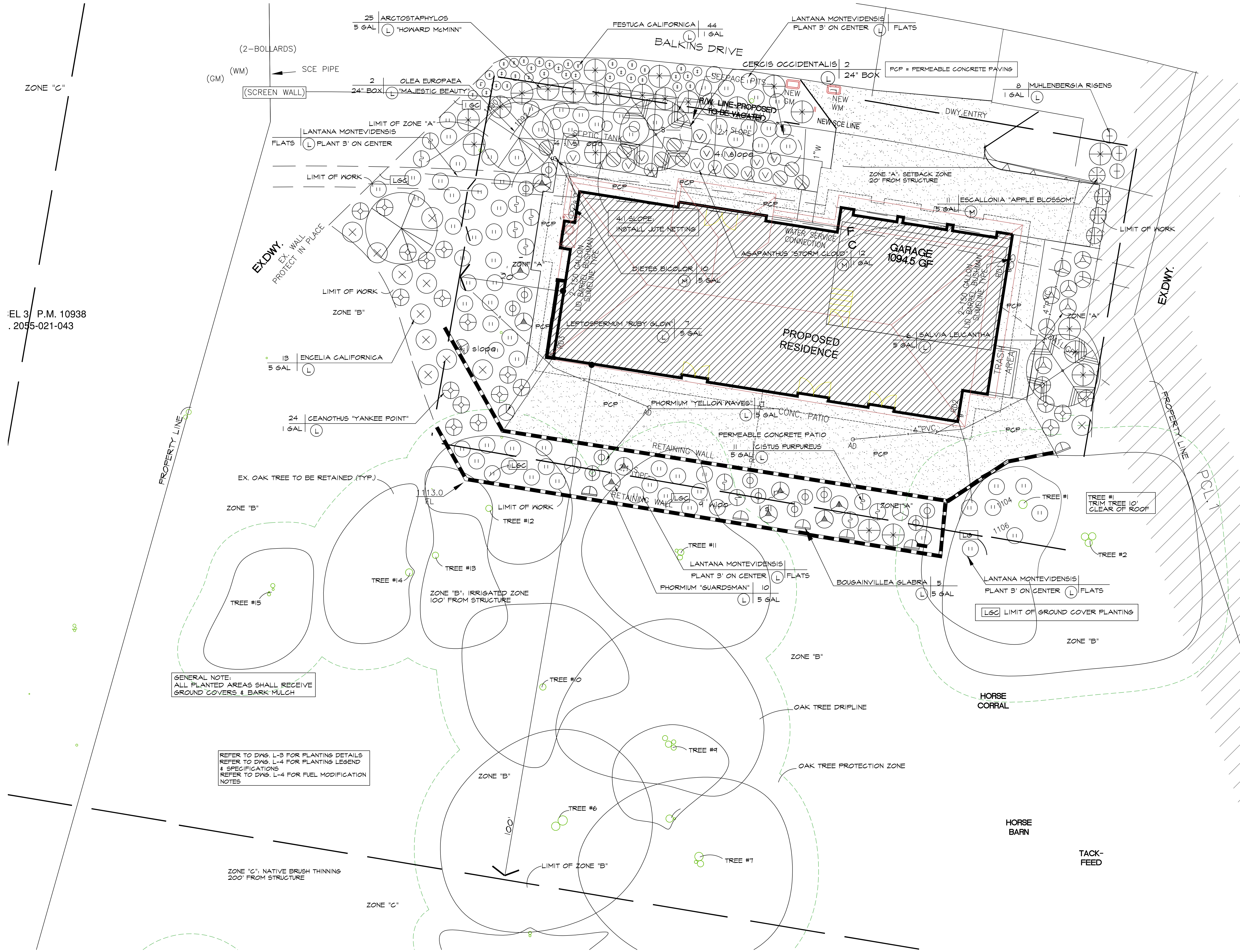
Revisions:

Date: 12/14/19

Scale:

Drawing Title:  
 PLANTING PLAN

Sheet No:  
 L-2



EL 3 P.M. 10938  
 . 2055-021-043

## ATTACHMENT 3

Project Renderings









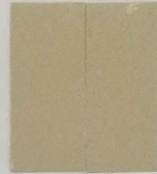
## ATTACHMENT 4

Color and Material Board





#1: Concrete Roofing Tiles - Eagle Roofing 3125 Capistrano



#5: Exterior Stucco - Colortek 221 Harvest Gold



#6: Vaneer Stone Panel - East West Stone Quartzite Honey Gold



#9: Trim - Precast Cement Architectural Molding



#7: Balcony Railing - Metal Posts and Cable



#8: Garage Door - White Sectional Insulated Metal Garage Door



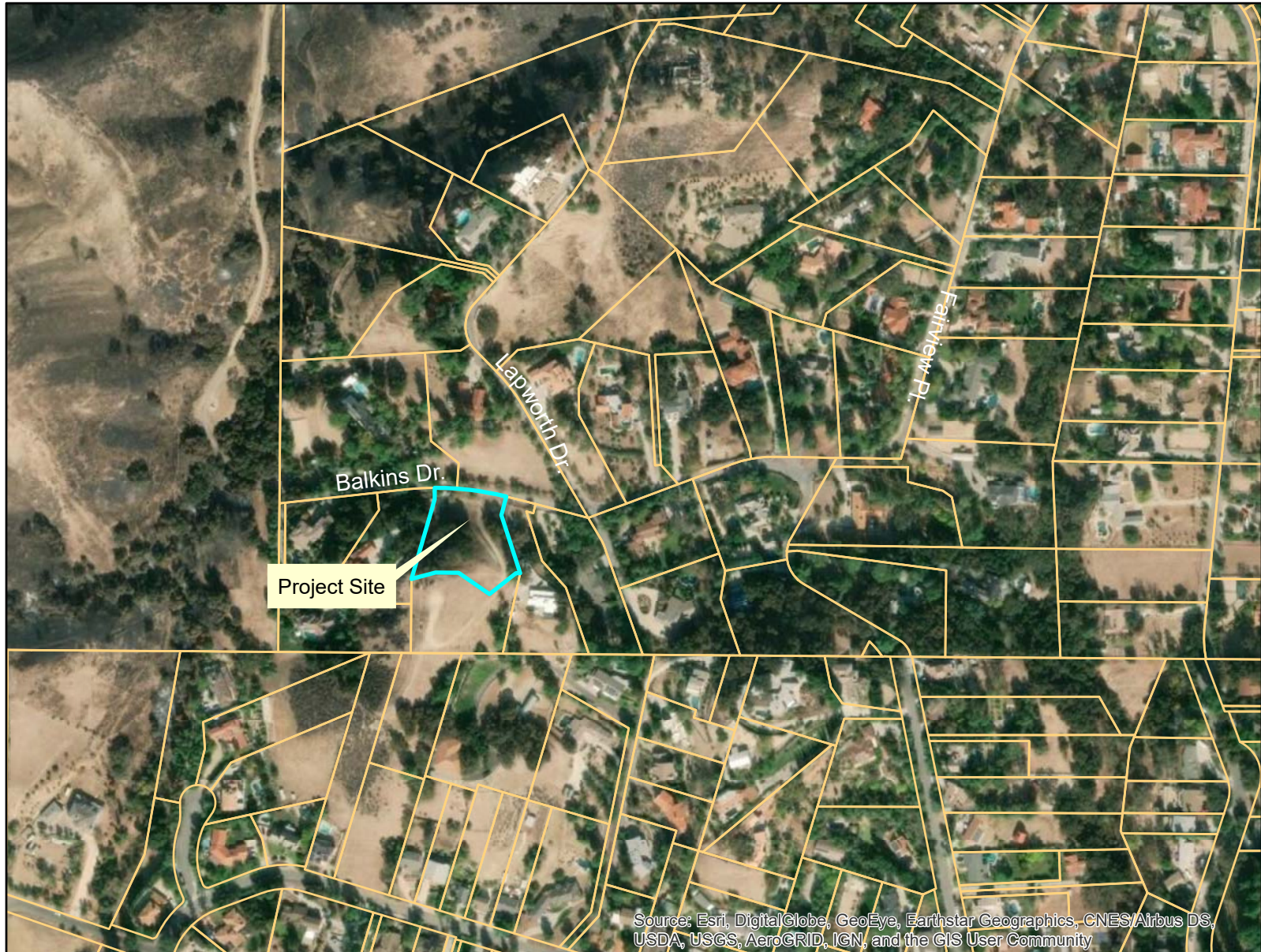
#11: Windows: White Aluminum Frame/Dual Pane

## ATTACHMENT 5

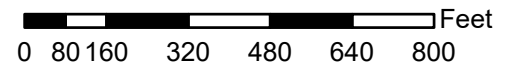
Vicinity Map

# Vicinity Map - 28340 Balkins Drive

CONDITIONAL USE PERMIT CASE NO. CUP-01533-2018 & OAK-01534-2018



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



## ATTACHMENT 6

Letter from Old Agoura Home Owners Planning and Zoning Committee

## Old Agoura Home Owners Planning and Zoning Committee

May 12, 2020

Attn: City of Agoura Hills Planning Dept.

Re: 28340 Balkins

The Planning and zoning committee, from the Old Agoura Home Owners has visited the subject site, and reviewed the plans provided by Shabazi Design and Consulting, dated 04/17/20

This new single family is situated on approximately 1 acre, which has an approximate ascending slope of 49% the house will be located toward the front of the property; adjacent to the private street.

The project as proposed, complies with coverage, F.A.R., building height, equine keeping and reasonable access to. Due respect was exercised with respect to the oak trees, unnecessary grading and exporting of dirt, on this challenging lot.

The owner met our committee, and implemented several suggestions that we believe enhanced the original design. The non-combustible trims, articulation, and the lowering of the front columns, have resulted in a house that enhances and defines Old Agoura's design standards. The stone, color roof tile work well with our design standards. We thank the owner, and their design team for a job well done.

Assuming the project complies with local codes, we suggest approval of the project as presented.

Thank you for allowing Old Agoura Homeowners Planning and Zoning to comment on the project. Feel free to call Daniel Farkash at 818-599-6842 if you have any questions.

Daniel Farkash  
Phil Ramuno  
Mike Colabella

## ATTACHMENT 7

Letters from the Public

**From:** Howard Stutz  
**To:** [Comments](#)  
**Subject:** Balkins Drive -Aurora application  
**Date:** Friday, May 22, 2020 10:48:24 AM

---

Dear Planning Commission

My name is Howard Stutz and I live at the very end of Balkins. I want to express my concerns regarding the application for the approval to permit the building of a new residence at 28340 Balkins specifically as it relates to the conditions of the roads on our street. The deterioration of the condition of road surrounding the proposed site is extreme. In fact a couple of years ago I had to personally finance \$10,000+ of my own money to fix a hazardous stretch of the street located just a few feet from the proposed new construction. I needed to fund this as the way our street is situated that hazardous stretch of street was the only access to my house and it was made very clear to me the city would not help fund this repair (even though they mandated various standards the repair had to entail). My main concern is the horrible condition of the street (from Lapworth to the very end of Balkins ending at my driveway) that I did not fund the repaving cannot withstand the heavy truck traffic that would be inevitable to build a house (it can barely withstand the current minimal traffic). Currently any large trucks that cannot turn around on our street that narrows to one thin lane end up turning around in my driveway causing it to badly deteriorate. I am sure that will be a common occurrence as the construction trucks begin arriving on our street. In addition I am concerned the area that I personally funded will likely be damaged by the heavy truck traffic and I am sure the city will once again take no financial responsibility for any damage incurred as the result of their decision to allow this construction.

I would ask the city have a solution to this very predictable occurrence should for any reason they end up approving this project. I would hope that when (not if) the street is badly damaged as a result of the heavy truck traffic this project will bring with it there will be repairs made to the road to the current residences satisfaction at NO cost to the current residences.

Regards,

Howard Stutz