



PLANNING DIVISION

DATE: June 17, 2020

TO: Planning Commission

APPLICANT: KDDesign Ltd for Ron Glantz
31568 Agoura Road, Suite 3
Westlake Village, CA 91361

CASE NO.: SPR-01742-2020

LOCATION: 28613 Bamfield Drive (AIN: 2050-014-011)

REQUEST: Request for an approval of a new 525-square-foot, second-story addition, a new 81-square-foot balcony, and minor modifications to the first floor of an existing 2,165-square-foot single-story residence and 466-square-foot attached garage; and to make a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL DETERMINATION: Exempt from the California Environmental Quality Act (CEQA) per §15301(a) and (e) of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Site Plan/Architectural Review – Case No. SPR-01742-2020, subject to conditions, based on the findings of the attached Draft Resolution.

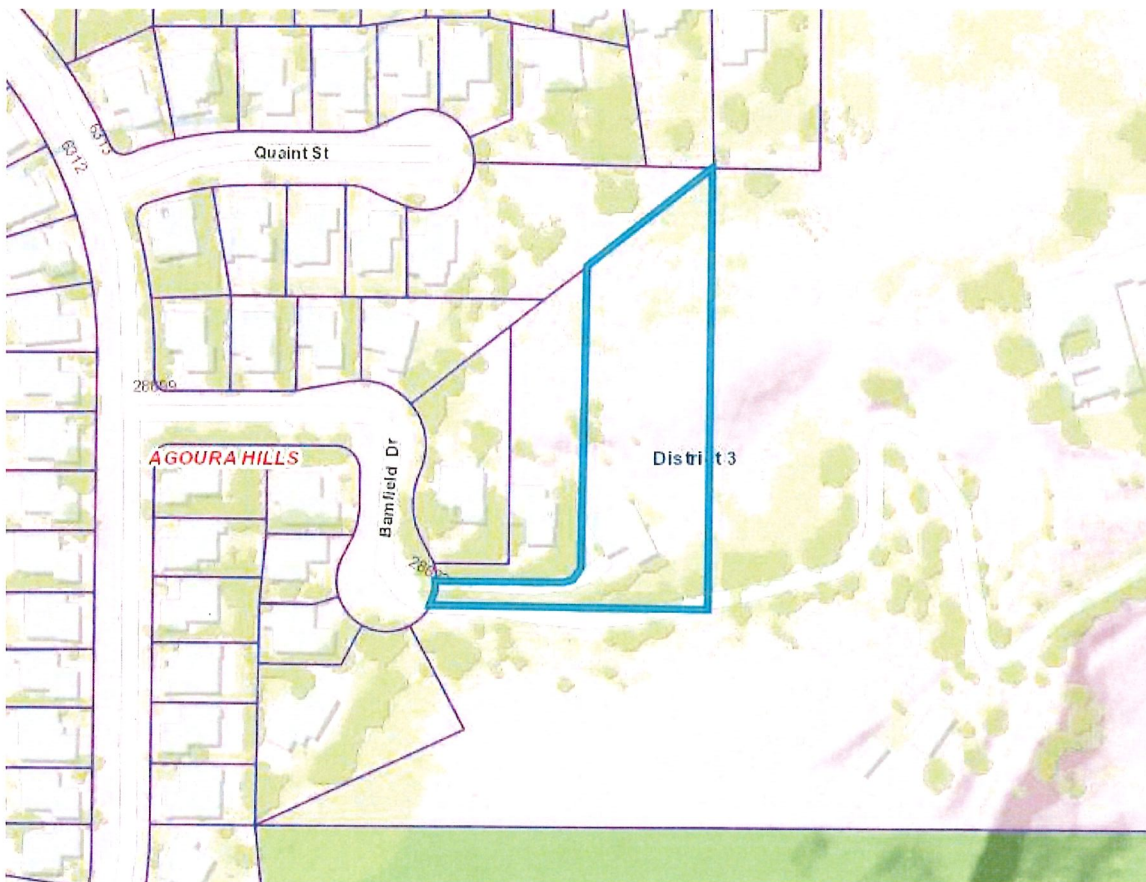
ZONING DESIGNATION: Single-Family Residential – (RS-(5)-7,000)

GENERAL PLAN DESIGNATION: Residential Single-Family (RS)

I. PROJECT BACKGROUND AND DESCRIPTION

The property owner, Mr. Glantz, represented by Kevin Diez from KDDesign Ltd (“the Applicant”), has submitted a Site Plan/Architectural Review application to construct a 525-square-foot, second-story addition with an 81-square-foot balcony and minor modifications to the first floor to accommodate a new stair case (“the Project”) on an existing one-story, single-family residence located at 28613 Bamfield Drive in the Fountainwood residential neighborhood. The property is a flag lot, and the third lot at the end of a 161-foot long driveway connected to Bamfield Drive (Figure 1 – Vicinity Map).

Figure 1 (Vicinity Map)



Source: LA County Assessor Portal

The lot is located adjacent to open space hillsides and the house was damaged during the 2018 Woolsey fire. The City Building Official designated the property as a fire-damaged property. City staff recommended that the Property Owner submit plans for the remodeling of the entire first story, along with an unpermitted attic conversion, and also to determine what would be subject to the Planning Commission’s review versus an administrative approval. Following these discussions, but before the property owner submitted building plans for staff’s review and approval for building permits issuance, the property owner started

remodeling the first floor and started building the second story addition, which required the City Building Official issue a stop-work order on February 27, 2020 to halt construction activities. Subsequently, KDD Design Ltd, Applicant for the project, submitted a Site Plan/Architectural Review application, which was accepted by the City on April 10, 2020, for the second story addition. While the Planning Division was processing the application and while visiting the site, staff discovered that the property owner had continued the remodeling of the first story and the construction of the second story without approvals. Photographs of the completed work are attached to this report as Attachment 4. A second stop-work order was issued on May 21, 2021, requiring the property owner to cease all work and submit construction plans to evaluate the safety of the Project site. Since the stop work order was issued, the applicant submitted construction plans to the Building and Safety Division. Staff is currently reviewing the plans to determine if the documents submitted demonstrate compliance with the Building Code, and whether the already completed work can remain or if additional structural modifications will be required. A Building Permit has not been issued as of yet.

Legislative Review

Although the fire-damaged repairs to the first-story could have been approved administratively, the addition of a second-story fell outside of the scope of the Urgency Ordinance (No. 19-442U) for structures damaged by the Woolsey Fire, and required the approval of the Planning Commission pursuant to Agoura Hills Municipal Code (AHMC) §9243.9¹. Additionally, the house is located on a hillside lot, which requires that the Project comply with the Hillside Development Standards (AHMC §9652). Since the addition is less than 700 square feet (sq. ft.), an SPR is required². The Applicant has submitted documents to satisfy the requirements of the Hillside requirements and the SPR application.

Project Description

The proposed scope of work is as follows:

Construction

- a. New 525 sq. ft., second-story addition to an existing single-family residence;
- b. New 81 sq. ft., second-story balcony; and
- c. Minor modifications to existing first-story related to the second story addition.

Proposed Building Area (Sq. Ft.)

¹ AHMC §9243.9.B.2.d – Site Plan Review

² AHMC §9652.5.5 – Hillside Policy

- Existing First Story 2,165 sq. ft.
 - Existing Attached Garage 466 sq. ft.
 - New Second-Story Addition 525 sq. ft.
- Total: 3,156 sq. ft.**

II. STAFF ANALYSIS

A. Site Plan and Buildings

The property is located in the Single-Family Residential (RS-5-7,000) zoning designation within the Fountainwood residential neighborhood and is approximately 62,290 sq. ft. (1.42 acres) in size. Most lots are 7,000 sq. ft. in size, with the exception of a few larger lots outlying the hillsides that separate the Fountainwood neighborhood from the Old Agoura neighborhood. Out of a possible 57,600 sq. ft. of developable area, an 11,800-square-foot pad was built supported by retaining walls and was improved with the 2,165-square-foot, one-story, single-family residence with a 466-square-foot attached garage, swimming pool and spa. The existing structure and proposed addition are subject to the design and development standards set forth under the AHMC §9241 (RS-Zoning). Table 1 provides a summary and indicates the Project, according to the plans, meets those standards.

Table 1 – Zoning Conformance				
Development Requirement	Allowed	Existing	Proposed	Comments
LOT DIMENSIONS				
Size	7,000 sq. ft.	62,290 sq. ft.	62,290 sq. ft.	Complies
Lot Width	90 ft.	140 ft.	140 ft.	Complies
Lot Depth	100 ft.	420 ft.	420 ft.	Complies
TOTAL BUILDING AREA (sq. ft.)		2,631 sq. ft.	3,156 sq. ft.	Complies
First Story (Residence)		2,165 sq. ft.	2,165 sq. ft.	Complies
Second Story (Residence)		NA	525 sq. ft.	Complies
Attached Garage		466 sq. ft.	466 sq. ft.	Complies
SETBACKS (ft.)				
Front Yard (S)	20 ft.	21 ft.	21 ft.	Complies
Rear Yard (N)	20 ft.	39 ft. 1 in.	39 ft. 1 in.	Complies
Side Yard (E)	10 or 8 ft.	49 ft. 1 in.	49 ft. 1 in.	Complies
Side Yard (W)	10 or 8 ft.	305 ft. 10 in.	305 ft. 10 in.	Complies
BUILDING SITE COVERAGE (%)	50%	5%	5%	Complies
HEIGHT (ft.)	35 ft.	15 ft.	21 ft.	Complies

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TOTAL BUILDING AREA (sq. ft.)		2,631 sq. ft.	3,156 sq. ft.	Complies
First Story (Residence)		2,165 sq. ft.	2,165 sq. ft.	Complies
Second Story (Residence)		NA	525 sq. ft.	Complies
Attached Garage		466 sq. ft.	466 sq. ft.	Complies
Hillside Height (ft.)	15 ft.	NA	6 ft.	Complies

The Project also includes a minor modification to the first floor to build a stair case, a 525 sq. ft. second-story addition (20 percent of the first-floor area), and a new 81 sq. ft. balcony over an existing one-story, 2,631 sq. ft. building footprint. The fire mitigation of the remaining first floor, although included in the construction, is not subject to the Planning Commission’s review. The addition, located at the northwest corner of the existing single-family residence, accommodates a bedroom, bathroom, and closet. The volume added to the structure is less than the existing first story and, due to the size, shape, and location of the addition, it does not create negative visual impacts to the adjacent neighboring properties or hillsides beyond. As such, the Project complies with the development standards of the RS zone.

B. Architectural Design

The residence was constructed in the early 1970’s with stucco walls and concrete tile-clad roof. The exterior colors (before the fire-damaged the residence) were blue stucco and light brown concrete tiles with trims around the windows and the doors painted white. The remodeling includes installing horizontal Khaki Brown hardy planks on the second story and repainting the stucco on the first story to a Bison Beige. The roof is clad with slate color concrete tiles. The Project is consistent with the City Architectural Design Standards and Guidelines in that even though the addition adds height to the structure, the proposed height is within range of the adjacent neighboring two-story structures. Additionally, the second story is only 20 percent of the first story and is recessed from the first-floor envelope to minimize the apparent bulk. The residence provides three roof heights: one 10.5-foot height for the garage, one 15-foot height for the common living areas, and one 21-foot height for the second story, which add interest to the architectural style with a medium roof pitch of 2.5:12.

City's Architectural Design Standards and Guidelines to ensure that residential units are designed to sustain the high level of architectural design quality and the character of the existing land forms that characterize the Agoura Hills neighborhoods, in consideration of the following principles as identified in the Standards and Guidelines:

- Harmony with the natural land forms and native vegetation
- Response to the local climate (through proper building orientation, appropriate glazing, use of overhangs, shading devices, native vegetation, etc.)
- Reflection of the highest standards of adjacent buildings and the neighborhood style[s], proportions, colors, and materials

The Project complies with the General Plan Land Use Policy 7 in that the addition is relatively small (20 percent of the first-floor area) and is setback from the front of the residence which maintains compatibility with the existing adjacent structures. The Project expansion and does not block views of the hillsides beyond as the total height of the house is 16 feet shorter than what is permitted in the RS zone, and the hillsides rise 150 feet above the building pad.

Goal LU-9: Single-Family Neighborhoods. Maintenance of the identity, scale, and character of the City's distinct residential neighborhoods.

- *Policy LU-9.1: Neighborhood Identity.* Maintain the distinguishing characteristics that differentiate by topography, parcel size, housing scale, and form, and public streetscapes Agoura Hills' single-family neighborhoods.

The Project complies with the General Plan Land Use Policy 9 in that the overall Project size is in scale with the sizes of the houses in the neighborhood and the lot size. The Project does not change the surrounding hillside topography.

III. FINDINGS

A. *Site Plan Review: AHMC §9677.5*

Finding A. The proposed use is consistent with the objectives and provisions of this article and the purposes of the land use district in which the use is located.

The design modifications to the residence are permitted in the RS zoning designation and the Fountainwood Residential Neighborhood. The Project remains consistent with the Hillside Development Standards as the single-family residence does not unreasonably impact views of the hillsides and a primary ridgeline. **The Project complies with the finding.**

Finding B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare.

The addition does not reduce the existing lot coverage and/or does not modify the existing retaining walls on the property. Both the remodeling of the first story and the addition to the second-story will be completed in compliance with the most current Building Code. The addition is built entirely over the existing first story and covers only 20 percent of the first-story square footage. The Project must demonstrate that the foundation can support the new second-story addition. The addition is located at the northwest corner of the house away from the edge of the closest neighboring property, thereby protecting the privacy of the adjacent developed properties. **The Project complies with the finding.**

Finding C. The proposed use shall not conflict with the character and design of the buildings and open space in the surrounding area.

The new second-story addition provides adequate light, air, privacy, and open space to surrounding properties by maintaining less floor area on the second story than on the first story, maintaining a lower building height, and protecting the mature landscaping that separates the properties. The design of the addition provides a desirable environment for its occupants and does not conflict with the neighborhood character or conflict with open space areas in the neighborhood. The existing residence is aesthetically of good composition, materials, textures, and colors and the addition does not modify these conditions. The addition is located above the existing first-story, and will not expand the footprint. **The Project complies with the finding.**

Finding D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance, except for approved variances or modifications.

The Project complies with the requirement of the underlying zone (RS-5-7,000) relative to the front, side, and rear yard setbacks, building coverage, height, and all hillside development standards without exceptions. **The Project complies with the finding.**

Finding E. The proposed use is consistent with the city's General Plan.

The Project complies with the Goal LU-9 and Policy LU-9.1 in that it maintains the identity, scale, and character of the Fountainwood residential neighborhood by providing a design similar to other residences and using earth tone colors. The second-story addition is smaller than the existing building footprint. The Project uses concrete tiles, which is a requirement of the Fountainwood residential neighborhood association. **The Project complies with the finding.**

Finding F. The proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development.

The house is the third parcel of a three-flag lot development and is not visible from the Bamfield cul-de-sac as it is screened by mature landscaping and two

houses in front of it; nevertheless, the architectural style of the residence matches that of the residences on the same street. The orientation of the residence and the shape and size of the lot create ample distance between structures on- and off-site. **The Project complies with the finding.**

B. Architectural Review: AHMC §9677.7.G.

Finding 1: The proposed development is consistent with the General Plan, any Specific Plans, and any design standards adopted by the City Council.

The Project complies with the General Plan goals and policies, specifically Goal LU-9 and Policy LU-9.1, which seeks to implement good architecture and integration of the Project in its surroundings. The second story is smaller than the existing building footprint. The Project complies with the maximum allowed height and the architecture remains in keeping with the adjacent structures by the use of stucco walls and concrete tiles, which is a requirement of the Fountainwood residential neighborhood association. **The Project complies with the finding.**

Finding 2: The design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood, it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and that it will not create traffic hazards or congestion.

The Project requires minor modifications to the first story to accommodate a new staircase leading to a new second story, and a balcony, which will have to demonstrate compliance with the latest Building Code's requirements. The addition appears to not interfere with the use and enjoyment of existing development in the vicinity. The addition is setback from the edges of the front of the residence, and will not affect the aesthetics or desirability of the neighborhood. The Project is not expected to create traffic hazards or congestion. The Applicant requests to increase the square footage of the residence without changing the use of the property. The additional square footage would be for the use of the residents and is not expected to result in the generation of traffic trips. **The Project complies with the finding.**

Finding 3: The design of the proposed development is in keeping with the character of the surrounding neighborhood, is not detrimental to the harmonious, orderly, and attractive development contemplated by this ordinance and the general plan of the city.

The design of the second story is in keeping with the architectural styles of the residences on the same street and represents one-fifth of the existing building footprint, limiting the visual impact of the mass. The Project uses earth tone

colors for the walls and roof to integrate the structure into its surroundings. **The Project complies with the finding.**

Finding 4: The design of the proposed development will provide a desirable environment for its occupants, as well as for its neighbors, and is aesthetically of good composition, materials, textures, and colors.

The remodeling of and addition to the existing single-family residence does not depart from the original design of the house and remains consistent with the design of the homes in the neighborhood. **The Project complies with the finding.**

Finding 5: The proposed use complies with all applicable requirements of the district in which it is in and all other applicable requirements.

The building site coverage, building setbacks, and height will comply with the RS zone development standards, and the addition is designed to minimize impacts on surrounding properties. **The Project complies with the finding.**

Finding 6: The overall development of the subject property is designed to ensure the protections of the public health, safety, and general welfare.

The structure remains a single-family residential unit and does not impact adjacent properties' privacy based on the placement of the second story over the footprint and the separation between structures on- and off-site. **The Project complies with the finding.**

C. Hillside Development: AHMC §9652.15.A

Finding 1. The Project is located and designed so as to protect the safety of current and future community residents and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood mud flow, erosion hazards or other hazards.

The Project does not require grading of the parcel or adjacent hillsides, nor does it require new retaining walls because the addition is placed above an existing structure on a level pad and is smaller than the footprint of the structure. The City Building Official must demonstrate that the project is built in compliance with the latest Building Code's requirements in order to demonstrate that it will not threaten life and property. **The Project complies with the finding.**

Finding 2: The Project is compatible with the natural, biotic, cultural, scenic and open space resources of the area.

The Project is not located in a significant biotic area, preserved open space area, or known cultural resource area. The addition does not protrude above protected ridges and complies with the minimum front, side, and rear yard setbacks to

minimize view shed impacts as well as building coverage on the lot. The Project uses earth tone colors to blend in with its surroundings. **The Project complies with the finding.**

Finding 3: The Project will not prevent the delivery of essential public services and is consistent with the objectives and policies of the general plan.

All utility services currently exist on the lot and the addition will not require additional utility services, nor would it block the future installation of services as the addition is placed above the existing first-story and its height is less than the maximum allowed height in that zone. Access to the residence through the existing driveway will be maintained. **The Project complies with the finding.**

Finding 4: The Project helps the residence complement the community character and benefit current and future community residents.

The approved architectural style maintains the residence's integrity with the modifications. Two-story residences are allowed in the zone, and additional square footage will benefit the current property and future property owners. The height of the proposed second story is below the maximum height for the zone as well as that of the hillside maximum allowed height. **The Project complies with the finding.**

IV. Environmental Review

The Project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorical Exempt from the CEQA Guidelines per §15301 (Existing Facilities). This exemption includes alterations of, and small additions to, existing structures. No significant environmental impacts are expected from the development of this Project as the proposed addition is minor and will be developed on the second story of an existing structure. No exception to this categorical exemption applies as set forth in §15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

V. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Site Plan/Architectural Review, Case No. SPR-01742-2020, subject to the attached conditions of approval.

VI. ATTACHMENTS

1. Draft Resolution of the Site Plan/Architectural Review with Exhibit A Conditions of Approval
2. Vicinity Map

3. Architectural Plans
4. Photographs of the Site
5. HOA approval

Case Planner: Valerie Darbouze, Associate Planner

ATTACHMENT 1

Draft Resolution with Exhibit A

Conditions of Approval

DRAFT RESOLUTION NO. 21-____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN/ARCHITECTURAL REVIEW CASE NO. SPR-01742-2020 FOR THE PROJECT LOCATED AT 28613 BAMFIELD COURT; AND MAKING THE FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by KDDesign Ltd. for Ron Glantz with respect to the real property located at 28613 Bamfield Court (Assessor's Identification No. 2050-014-011) requesting an Site Plan/Architectural Review approval from the Planning Commission for the construction of a new 525-square-foot second-story addition and an 81-square-foot balcony, and minor modifications to the first floor ("the Project") of an existing one-story, single-family residence pursuant to Zoning Code Section 9243.5.B.2.d., which pertains to new second-story additions to existing one-story, single-family dwelling units and pursuant to Section 9652.15, which pertains to small modifications to conforming properties on hillside lots (Case No. SPR-01742-2020).

Section II. The Project is a request for a small addition to a single-family residence and is exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines §15301(a) and (e). The Project would not have a significant effect on the environment because it involves negligible interior modifications and a minor expansion of an existing use. No exception to this categorical exemption applies as set forth in §15300.2 of the CEQA Guidelines, including but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the application at a public hearing held on June 17, 2021, at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place, and purpose of the aforesaid hearing was duly given.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was presented to and considered by the Planning Commission at the aforesaid public hearing.

Section V. Site Plan/Architectural Review. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to §9677.5 of the Agoura Hills Zoning Ordinance, that:

A. The Project is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located. The

property designation allows for the development of a room addition and the Project meets the development standards for the Residential Single-Family (RS) zone relative to use, height, and building site coverage, and would not affect the existing conforming building setbacks. The Project remains consistent with the Hillside Development standards as the single-family residence does not unreasonably block views of the hillsides and a primary ridgeline.

B. The Project, and the manner in which it will be operated or maintained, will not be detrimental to the public health, safety, or general welfare. The addition does not reduce the existing lot coverage and does not modify the existing retaining walls on the property. Both the remodeling of the first story and addition to the second story will have to demonstrate compliance with the most current Building Code. The addition is built entirely over the existing first story and covers 20 percent of the first story square footage, the foundation is reinforced to support the new second story. The addition is built at the northwest corner of the house, away from the edge of the nearest neighboring property, thereby protecting the privacy of the adjacent developed properties. The use of the additional space is that of a residential use permitted in that zone.

C. The Project does not conflict with the character and design of the buildings and surrounding area and is compatible with the surrounding properties and open spaces. The new second story ensures adequate light, air, open space to surrounding properties, and privacy by maintaining less floor area on the second story than on the first story, and lower building height, and by protecting the mature landscaping that separates the properties. The design of the proposed addition provides a desirable environment for its occupants and is not conflict with the neighborhood character or conflict with open space areas in the neighborhood. The existing residence is aesthetically of good composition, materials, textures, and colors and the addition does not modify these conditions. The room addition is located above the existing first story and does not expand the footprint.

D. The Project complies with each of the applicable provisions of the development standards of the Zoning Ordinance, except for approved variances or modifications. No modification or variance is required as part of the request and the additional square footage is permitted in the RS zone. The Project complies with the development standards of the zone inclusive of the setback, height, and lot coverage.

E. The Project is consistent with the City's General Plan. The Project conforms to Goal LU-9 Single-Family Neighborhoods, and specifically Policy LU-9.1, in that it maintains the identity, scale, and character of the Fountainwood residential neighborhood by providing a design similar to other residences and using earth tone colors. The second story is smaller than the existing building footprint and protects views and privacy. The Project uses concrete tiles or similar quality material, which is a requirement of the Fountainwood residential neighborhood association.

F. The Project preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The residence is the third parcel of a three-flag-lot development and is not visible from the Bamfield cul-de-sac as it is screened

by mature landscaping and two houses in front of it. Nevertheless, the architectural style of the residence matches that of the existing development on the same street. The orientation of the residence and the shape and size of the lot create ample distance between structures on- and off-site.

Section VI. Architectural Review. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to §9677.7.G. of the Agoura Hills Zoning Ordinance, that:

A. The Project is consistent with the General Plan, any specific plans, and any design standards adopted by the City Council. The Project complies with Goal LU-9 and Policy LU-9.1, which seeks to implement good architecture and integration of the project in its surroundings. The second story is smaller than the footprint to protect views and privacy. The Project complies with the zone maximum allowed height and the architecture remains in keeping with the adjacent structures by the use of stucco walls and concrete tiles or equivalent quality material, which is a requirement of the Fountainwood residential neighborhood association.

B. The design and location of the Project and its relationship to existing developments and traffic in the vicinity will not impair the desirability of investment or occupation in the neighborhood and will not unreasonably interfere with the use and enjoyment of existing development or create traffic hazards or congestion. The Project includes a remodel of the existing first story and the addition of a second story, which will have to demonstrate compliance with the most current Building Code's requirements. The expansion does not interfere with the use and enjoyment of existing development in the vicinity. The addition is setback from the edges of the front of the house, and so does not affect the aesthetics or desirability of the neighborhood. The applicant requests to increase the square footage of the residence without changing the use of the property. The additional square footage is for the use of the residents and is not expected to result in the generation of significantly more traffic trips.

C. The Project is in keeping with the character of the surrounding neighborhood and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan. The design of the second story is in keeping with the architectural styles of the homes on the same street and represents only one-fifth of the existing footprint limiting the visual impact of the mass. The Project uses earth tone colors for the walls and roof to integrate the structure into its surroundings.

D. The Project design provides a desirable environment for its occupants, as well as for the Project's neighbors, as the original architectural design of the building exterior is not changed and remains of good composition, materials, textures, and colors. The remodeling of the existing single-family residence and its addition does not depart from the original design of the structure, thereby staying consistent with the design of the homes in the neighborhood.

E. The Project complies with all applicable requirements of the district in which it is located and all other applicable requirements. The building site coverage, building setbacks, and height complies with the RS zone development standards and the addition is designed to minimize impacts on surrounding properties, by its placement over the first story, its overall height, and the strategic placement of windows.

F. The overall development of the subject property is designed to ensure the protection of public health, safety, and general welfare. The interior improvements will have to demonstrate that they are constructed to comply with the most recent Building Code requirements. The structure remains a single-family residential unit built to current building code standards and does not impact adjacent properties' privacy based on the placement of the second story over the footprint and the separation between structures on- and off-site.

Section VII. Hillside Development Standards

1. The Project, is located and designed so as to protect the safety of current and future community residents and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood mud flow, erosion hazards or other hazards. The Project does not require grading of the parcel or adjacent hillsides, nor does it require new retaining walls as the addition is placed above an existing structure on a level pad and is smaller than the footprint of the structure. The City Building Official will review the Project to ensure that it complies with applicable codes and does not threaten life and property as part of his review of the Project's plans during the plan check.

2. The Project is compatible with the natural, biotic, cultural, scenic, and open space resources of the area. The Project is not located in a significant biotic area, preserved open space area, or known cultural resource area. The Project is not new construction, the addition does not protrude above protected ridges and complies with the minimum front, side, and rear yards' setbacks to minimize view shed impacts as well as building coverage on this 1.42-acre oversized lot. The Project uses earth tone colors to blend in with its surroundings.

3. The Project will not prevent the delivery of essential public services and is consistent with the objectives and policies of the general plan. All utility services currently exist on the flag lot and the addition does not require additional utility services nor does it block the future installation of above and underground services since the addition is placed above the house and its height is less than the maximum allowed height in that zone. Access to the residence through the existing driveway is maintained.

4. The Project helps the residence complement the community character and benefit current and future community residents. The approved architectural style maintains the house's integrity inclusive of the modifications. Two-story homes are allowed in that zone and will benefit the current and future occupants in need of additional

square footage. The height of the proposed second story is below the maximum height for the zone as well as that of the hillside maximum allowed height.

Section VIII. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. SPR-01742-2020, subject to the attached conditions, with respect to the property described in Section I hereof.

Section IX. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 17th day of June 2021, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Murtaza Mogri, Chairperson

ATTEST

Denice Thomas, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case No. SPR-01742-2020)

PLANNING DIVISION

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of this permit shall not be effective for any purpose until the applicants have agreed in writing that they are aware of, and accept, all conditions of this permit with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits: Site Plan, Building Elevation Plans, Floor Plan, and Roof Plan.
4. All exterior materials used in this project shall be in conformance with the materials sample submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in this permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Director of Planning.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. Unless this permit is used within two (2) years from the date of City approval, Site Plan Architectural Review Case No. SPR-01742-2020 will expire.

12. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
13. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$4.08 per square foot for residential construction.
14. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
15. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
16. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
17. The Applicant, and property owner(s), and their successors in interest, shall indemnify, defend and hold harmless the City, its officials, officers, agents and employees (collectively "Indemnitees") from and against any and all claims, actions, lawsuits, damages, losses and liabilities arising or resulting from the granting of this approval by the City or the exercise of the rights granted by this approval. This indemnification obligation shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the Indemnitees in connection with any such claims, actions or lawsuits, any expert fees, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such claim, action or lawsuit. The City shall promptly notify Applicant and property owners of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. In the event such a legal action is filed, the City shall estimate its expenses for litigation. Applicant or property owners shall deposit such amount with the City or enter into an agreement with the City to pay such expenses as they become due. Applicant and property owners shall reimburse the City, and each of the Indemnitees for any and all legal expenses and costs incurred by it in enforcing the indemnity herein provided. Although the Applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition

BUILDING AND SAFETY DIVISION

18. All exterior materials used for eaves, sidings, porch, patio, decks, canopies, carport and other similar structures need to meet the Very High Fire Hazard Severity Zone as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code.

19. The applicant shall note on the plans that all new or replaced windows will be tempered on at least one side of the dual pane, or a 20 minute rated window or glass blocks per Section 704A.3.2.2 of the 2019 California Building.
20. This project shall be subject to the 2019 California Residential, Building, Mechanical, Plumbing, Electrical, Energy, Green Building Codes and Agoura Hills Municipal Code.
21. Las Virgenes School District fees will be required (livable sq. ft. x \$4.08).
22. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Mechanical, Electrical, Plumbing, Energy Plans, plans will need to be submitted to Building and Safety Department for plan review and approval. Please be advised that this is a preliminary review and does not constitute a final Building and Safety approval.
23. The engineer of record must provide adequate structural information for the framing and footing of the second story addition.
24. If the existing home has fire sprinkler, the addition must be provided with fire sprinkler as well. Please identify this information on plan.
25. The first floor remodel is made part of this project and is subject to the same review requirement as the second story addition.
26. Los Angeles County Fire Department review and approval will be required for all new structures and additions.

SOLID WASTE MANAGEMENT

27. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for a percent of the waste generated on the project to be diverted from the landfill, at the rate currently required by California Department of Resources Recycling and Recovery. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
28. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or

construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

29. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

ATTACHMENT 2

Vicinity Map

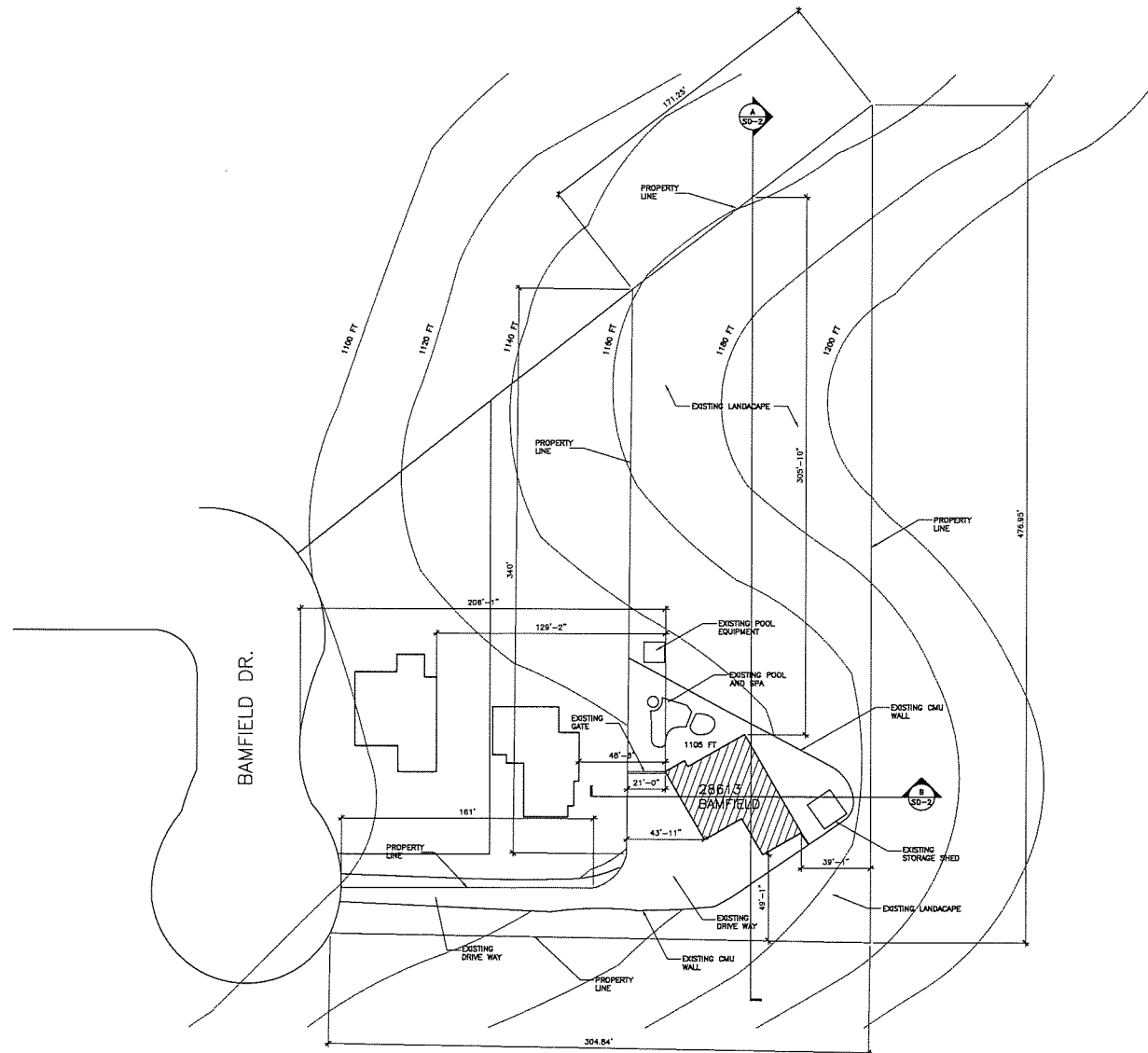
City of Agoura Hills

Site Plan/Architectural Review Case No. SPR-01742-2020

Vicinity & Zoning
Map



ATTACHMENT 3
Architectural Plans



28613 N BAMFIELD DR.
 AGOURA HILLS, CA 91301

REVISIONS

DATE: 12-19-2019
 SCALE: 1/16" = 1'-0"

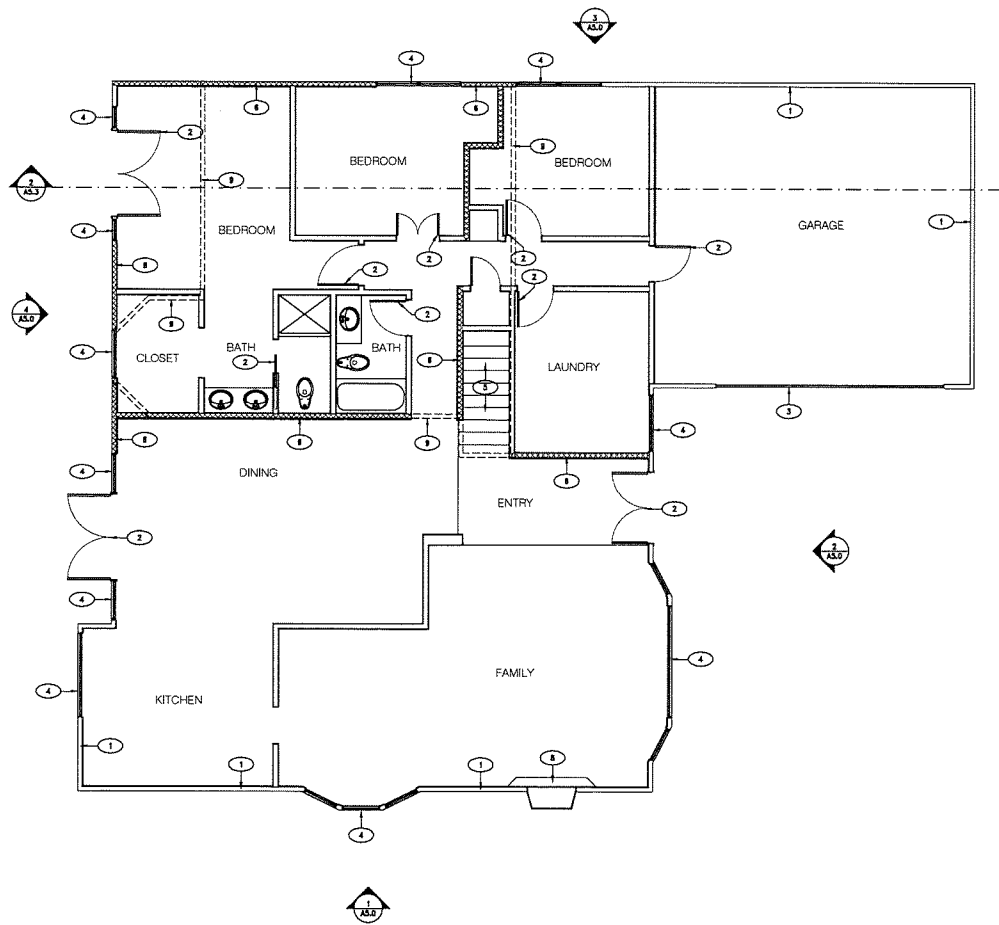
SHEET 2 of 1'

SD-1

SITE PLAN

1" = 30'-0"

1



General Notes

ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DECKS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. CEC 210.12(E).

1" DIAMETER ANCHOR BOLTS @ 48" O.C. TYP. ANCHOR BOLTS, INCLUDING NUTS AND WASHERS, IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.

RECTANGULAR 3"x3" PLATE WASHERS .230" THICK ARE REQUIRED BETWEEN THE NUT AND SILL PLATE ON ALL ANCHOR BOLTS. THE PLATE WASHER MAY HAVE SLOTTED HOLES PROVIDED THERE IS A CUT WASHER PLACED BETWEEN THE PLATE WASHER AND THE NUT ON THE ANCHOR BOLT. THE WIDTH OF THE SLOT MAY BE A MAXIMUM OF 1" LARGER THAN THE DIAMETER OF THE ANCHOR BOLT AND SLOT LENGTH MAY NOT EXCEED 12".

DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC (VOLATILE ORGANIC COMPOUND) LIMIT FINISH MATERIALS HAVE BEEN USED.

BOX OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC (VOLATILE ORGANIC COMPOUND) LIMITS. SEE CAL. GREEN BUILDING STANDARDS CODE, SECTION 4.504.4.

PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

SAFETY GLAZING MUST BE IDENTIFIED WITH A PERMANENT MARK AS INDICATED IN CRC R508.1

EXHAUST FANS TO TERMINATE OUTSIDE THE BUILDING. EXHAUST FANS PROVIDED FOR HUMIDITY CONTROL SHALL MEET THE FOLLOWING:

- ENERGY STAR COMPLIANT, AND
- CONTROLLED BY A HUMIDITY CONTROL UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. HUMIDITY CONTROL SHALL OPERATE AS FOLLOWS:
 - HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF A GREATER THAN OR EQUAL TO 50% TO A MAX OF 80% THE HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT AND,
 - A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.
- LIGHTING INTEGRAL TO BATHROOM EXHAUST FANS SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE.

Existing Floor Plan Notes

- 1 EXISTING EXTERIOR WALLS TO REMAIN
- 2 EXISTING DOORS TO REMAIN
- 3 EXISTING GARAGE DOOR AND ALL DOOR ACCESSORIES, RAILS, OPENER ETC. TO REMAIN
- 4 EXISTING WINDOWS TO REMAIN
- 5 NEW STAIRS PER STRUCTURAL
- 6 NEW SHEAR WALL PER STRUCTURAL
- 7 EXISTING NON-LOAD BEARING PARTITION WALL
- 8 EXISTING FIREPLACE TO REMAIN
- 9 LINE OF PROPOSED SECOND STORY

1 EXISTING 1ST FLOOR PLAN
Scale: 1/4" = 1'-0"



28613 N BAMFIELD DR.
AGOURA HILLS, CA 91301

REVISIONS

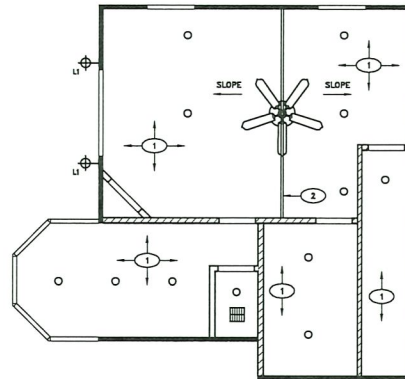
DATE: 12-19-2019
SCALE: 1/4" = 1'-0"

SHEET 3 OF 1

A-2.0

Ceiling Plan Notes

- 1 NEW 5/8" GYP BOARD CEILING OVER ROOF FRAMING WITH R30 INSULATION
- 2 NEW 2x16 RIDGE BEAM PER STRUCTURAL WITH PAINT FINISH
- NEW RECESSED LED DOWN LIGHT, PHILIPS CRL4K-01-6-27K
- ⊕ EXTERIOR WALL SCONCE
- ⊞ RESTROOM EXHAUST FAN 50 CFM MIN
- ★ NEW FAN



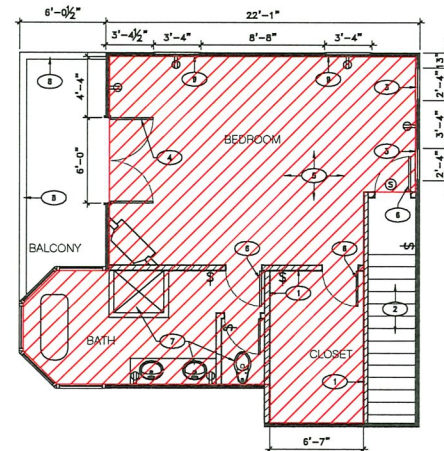
2 CEILING PLAN 2ND FLOOR
Scale: 1/4" = 1'-0"

Floor Plan Notes

- 1 NEW 2x4 STUD PARTITION WALL
- 2 NEW STAIR CASE PER STRUCTURAL
- 3 NEW MILGUARD STYLE LINE XIX WINDOW 24"x48"
- 4 NEW MILGUARD STYLE LINE XIX FRENCH DOORS 84"x72"
- 5 NEW WOOD FLOOR FLOOR FINISH OVER FLOOR JOISTS PER STRUCTURAL DWGS.
- 6 NEW 84"x 30" WOOD DOOR
- 7 PLUMBING FIXTURES BY OWNER
- 8 +48 BALCONY LOW WALL WITH STUCCO FINISH
- 9 NEW MILGUARD STYLE LINE XIX WINDOW 38"x48"

Floor Key Notes

- Ⓢ LOCATION OF SWITCHES
- Ⓞ NEW OUTLET
- Ⓢ LOCATION OF SMOKE/ CARBON MONOXIDE DETECTOR
- ▨ NEW PARTITION WALL
- ▬ NEW EXTERIOR WALL WITH R19 INSULATION



1 FLOOR PLAN 2ND FLOOR
Scale: 1/4" = 1'-0"

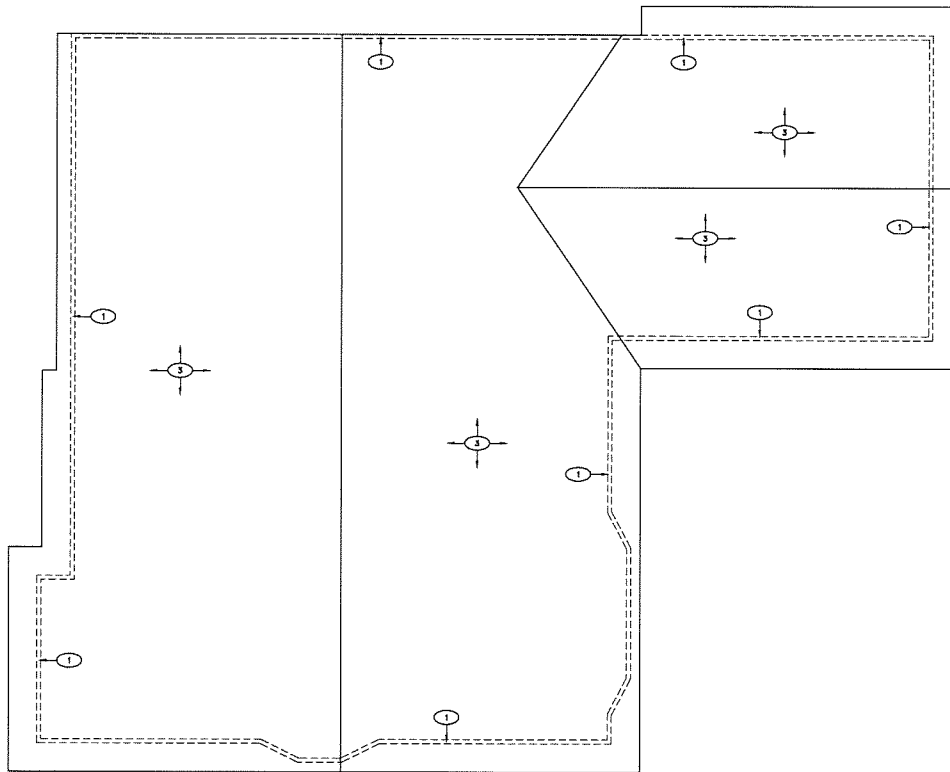
28613 N BAMFIELD DR.
AGOURA HILLS, CA 91301

REVISIONS

DATE: 12-19-2019
SCALE: 1/4" = 1'-0"

SHEET 4 OF 11

A-2.1



Existing Roof Plan Notes

- ① BUILDING WALL BELOW
- ② EXISTING ROOF TO REMAIN

28613 N BAMFIELD DR.
 AGOURA HILLS, CA 91301

REVISIONS

NO.	DESCRIPTION



DATE: 12-19-2019
 SCALE: 1/4" = 1'-0"

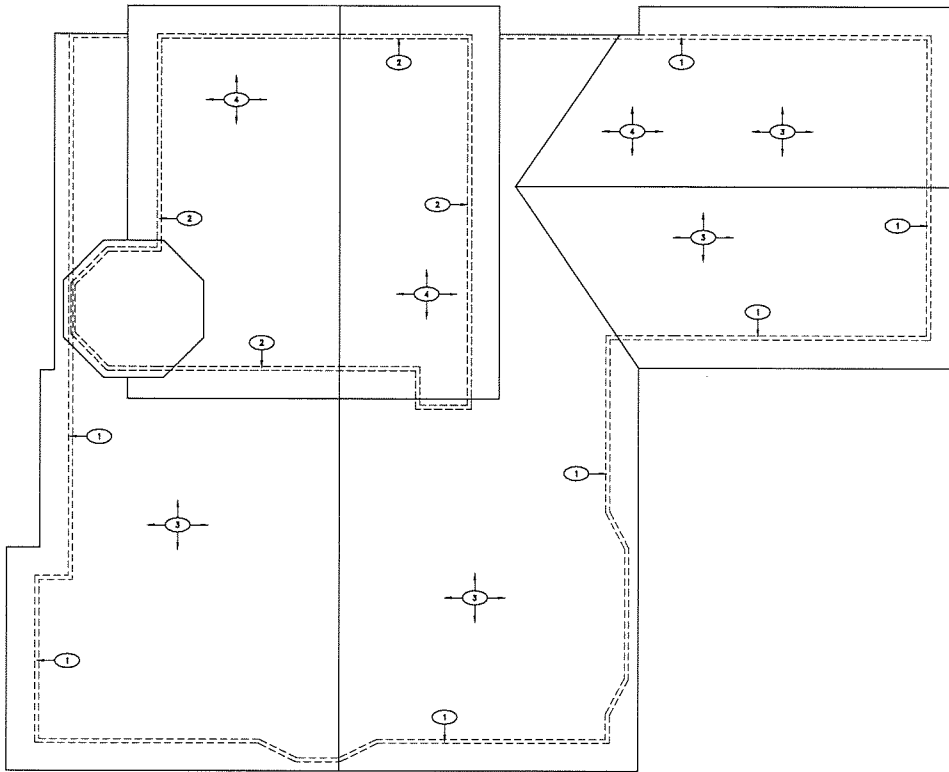
SHEET 5 OF 1

EXISTING ROOF PLAN

1/4" = 1'-0"

1

A-4.0



Roof Plan Notes

- ① 1ST FLOOR BUILDING WALL BELOW
- ② 2ND FLOOR BUILDING WALL BELOW
- ③ EXISTING ROOF TO REMAIN
- ④ NEW ROOFING TO MATCH EXISTING; SEE STRUCTURAL PLANS FOR ROOF FRAMING AND DETAILS

28613 N BAMFIELD DR.
 AGOURA HILLS, CA 91301

REVISIONS

DATE: 12-19-2019
 SCALE: 1/4" = 1'-0"

SHEET 5 OF 1

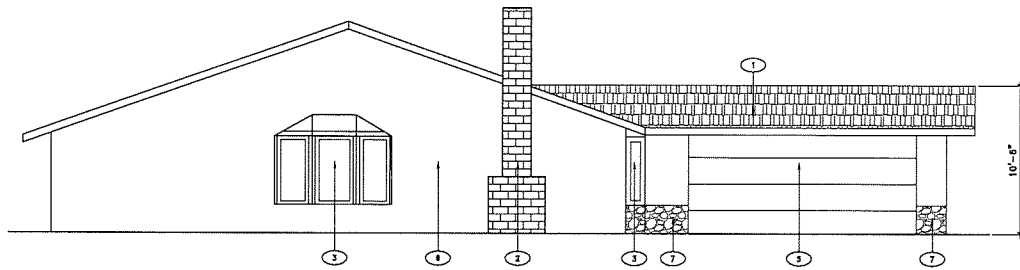
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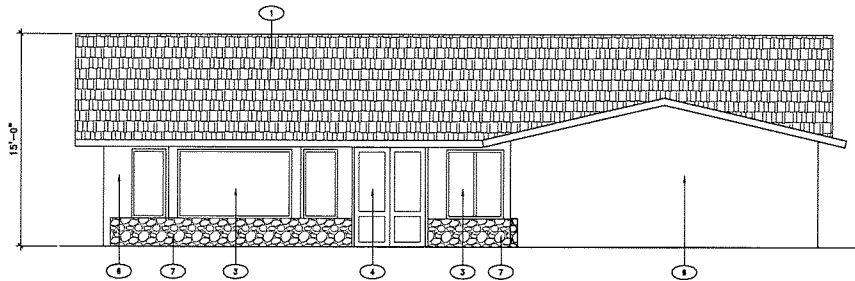
ROOF PLAN

1/4" = 1'-0"

1



1 North Elevation
Scale: 1/4" = 1'-0"



2 South Elevation
Scale: 1/4" = 1'-0"

Exterior Elevation Notes

- 1 EXISTING ROOFING TO REMAIN
- 2 EXISTING BRICK FIREPLACE
- 3 EXISTING WINDOW TO REMAIN
- 4 EXISTING ENTRY DOOR TO REMAIN
- 5 EXISTING GARAGE DOOR TO REMAIN
- 6 EXISTING STUCCO TO REMAIN
- 7 EXISTING STONE WAINSCOT AND LEDGE

28613 N BAMFIELD DR.
AGOURA HILLS, CA 91301

REVISIONS

DATE: 12-19-2019
SCALE: 1/4" = 1'-0"

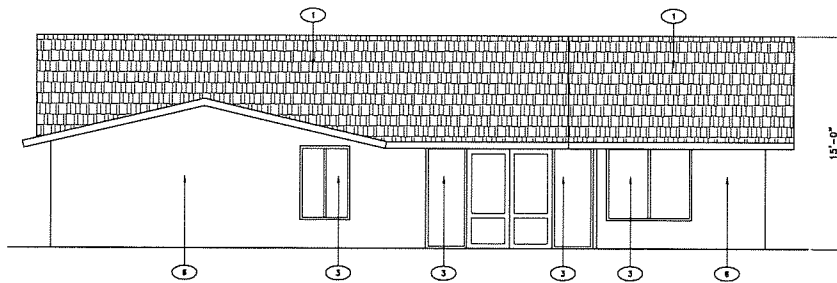
SHEET 7 of 11

EXISTING EXTERIOR ELEVATIONS

1/4" = 1'-0"

1

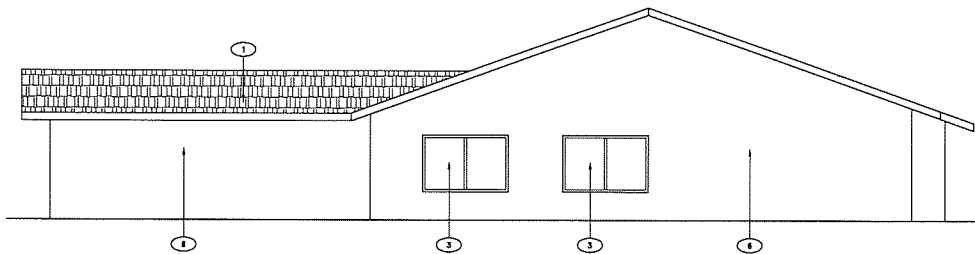
A-5.0



1 East Elevation
Scale: 1/4" = 1'-0"

Exterior Elevation Notes

- 1 EXISTING ROOFING TO REMAIN
- 2 NEW ROOFING TO MATCH EXISTING
- 3 EXISTING WINDOW TO REMAIN
- 4 EXISTING ENTRY DOOR TO REMAIN
- 5 EXISTING GARAGE DOOR TO REMAIN
- 6 EXISTING STUCCO TO REMAIN
- 7 EXISTING STONE WAINSCOT AND LEDGE
- 8 NEW HARDI SIDING KHAKI BROWN
- 9 NEW WINDOWS PER PLAN
- 10 NEW FRENCH DOOR/WINDOW SYSTEM PER PLAN
- 11 EXISTING BRICK FIREPLACE



2 West Elevation
Scale: 1/4" = 1'-0"

28613 N BAMFIELD DR.
AGOURA HILLS, CA 91301

REVISIONS

DATE: 12-19-2019
SCALE: 1/4" = 1'-0"

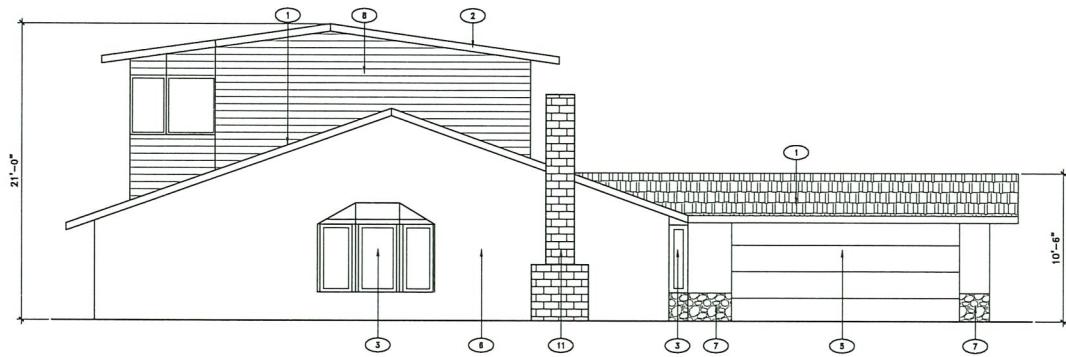
SHEET 8 of 1'

EXISTING EXTERIOR ELEVATIONS

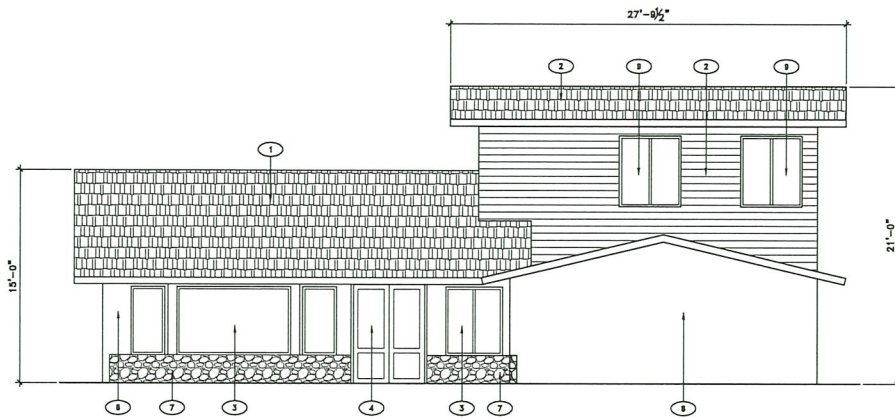
1/4" = 1'-0"

1

A-5.1



1 North Elevation
Scale: 1/4" = 1'-0"



2 South Elevation
Scale: 1/4" = 1'-0"

Exterior Elevation Notes

- 1 EXISTING ROOFING TO REMAIN
- 2 NEW ROOFING TO MATCH EXISTING
- 3 EXISTING WINDOW TO REMAIN
- 4 EXISTING ENTRY DOOR TO REMAIN
- 5 EXISTING GARAGE DOOR TO REMAIN
- 6 EXISTING STUCCO TO REMAIN
- 7 EXISTING STONE WAINSCOT AND LEDGE
- 8 NEW HARDI SIDING KHAKI BROWN
- 9 NEW WINDOWS PER PLAN
- 10 NEW FRENCH DOOR/WINDOW SYSTEM PER PLAN
- 11 EXISTING BRICK FIREPLACE



CONCRETE TILE ROOFING
CHARCOAL SLATE



HARDI SIDING KHAKI BROWN



STUCCO PAINT
DUNN EDWARDS DEC 750
BISON BEIGE

28613 N BAMFIELD DR.
AGOURA HILLS, CA 91301

REVISIONS

DATE: 12-19-2019
SCALE: 1/4" = 1'-0"

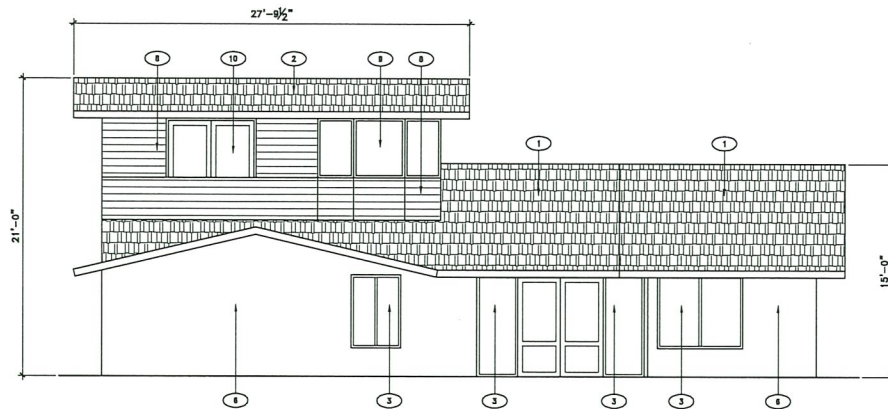
SHEET 9 of 1'

A-5.2

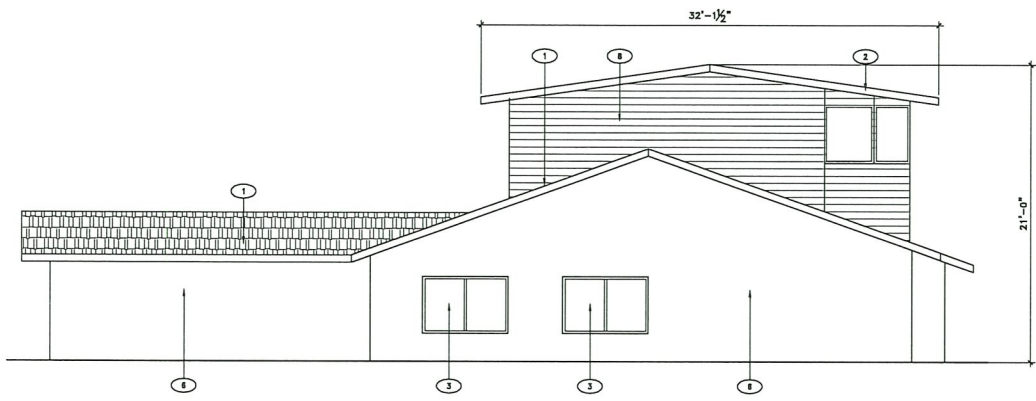
EXTERIOR ELEVATIONS

1/4" = 1'-0"

1



1 East Elevation
Scale: 1/4" = 1'-0"



2 West Elevation
Scale: 1/4" = 1'-0"

Exterior Elevation Notes

- ① EXISTING ROOFING TO REMAIN
- ② NEW ROOFING TO MATCH EXISTING
- ③ EXISTING WINDOW TO REMAIN
- ④ EXISTING ENTRY DOOR TO REMAIN
- ⑤ EXISTING GARAGE DOOR TO REMAIN
- ⑥ EXISTING STUCCO TO REMAIN
- ⑦ EXISTING STONE WAINSCOT AND LEDGE
- ⑧ NEW HARDI SIDING KHAKI BROWN
- ⑨ NEW WINDOWS PER PLAN
- ⑩ NEW FRENCH DOOR/WINDOW SYSTEM PER PLAN
- ⑪ EXISTING BRICK FIREPLACE



CONCRETE TILE ROOFING
CHARCOAL SLATE



HARDI SIDING KHAKI BROWN



STUCCO PAINT
DUNN EDWARDS DEC 750
BISON BEIGE

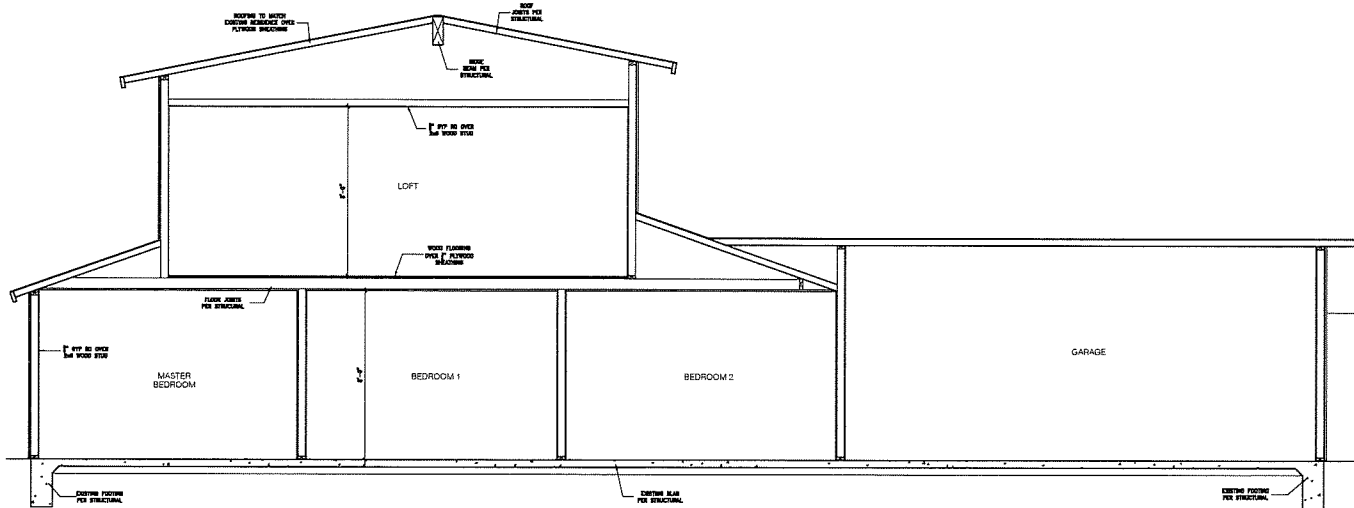
28613 N BAMFIELD DR.
AGOURA HILLS, CA 91301

REVISIONS

DATE: 12-19-2019
SCALE: 1/4" = 1'-0"

SHEET 10 OF 1'

A-5.3



1 Building Section
Scale: 1/2" = 1'-0"

28613 N BAMFIELD DR.
AGOURA HILLS, CA 91301

REVISIONS

DATE: 12-19-2019
SCALE: 1/4" = 1'-0"

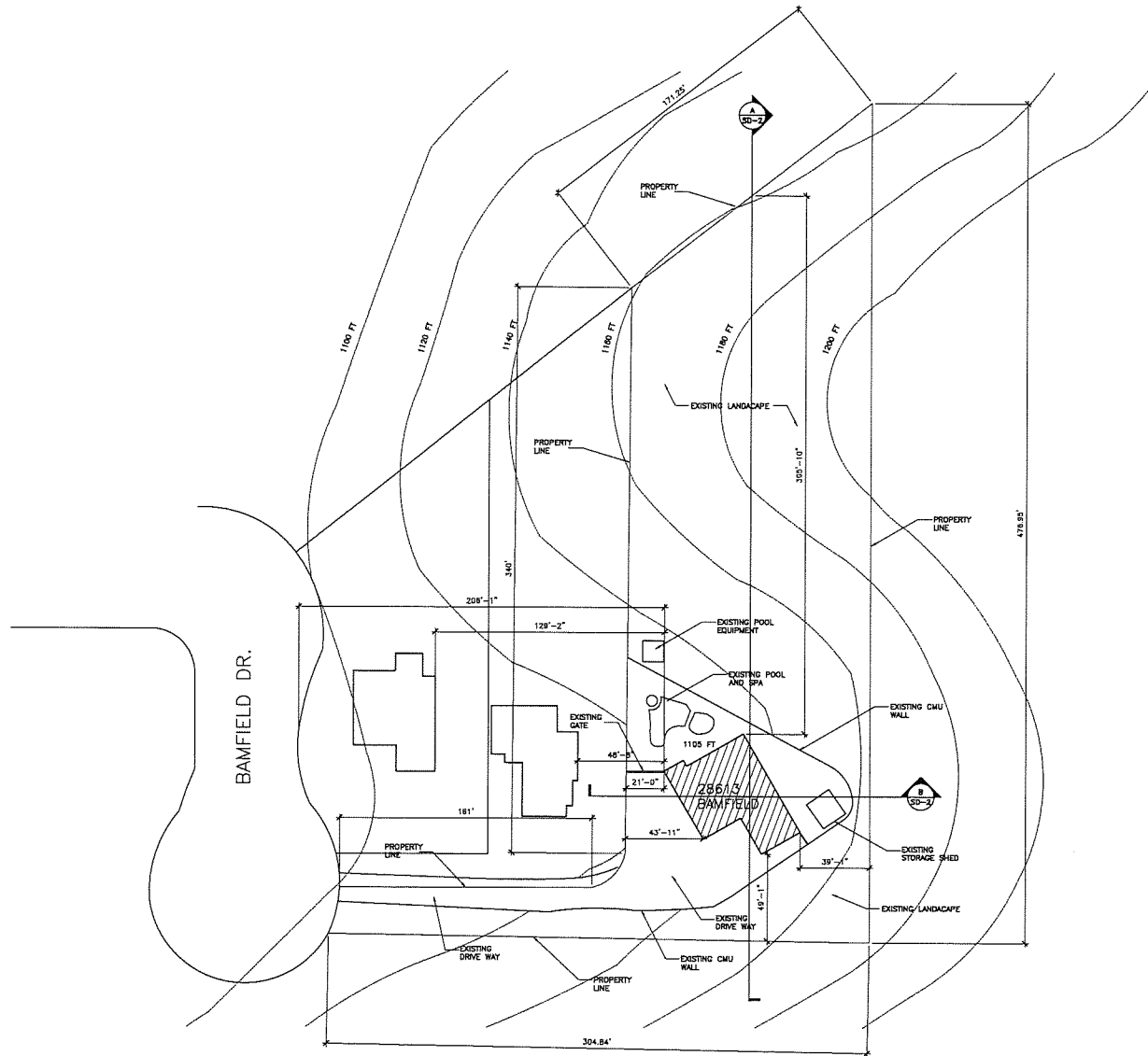
SHEET 11 OF 11

A-5.4

BUILDING SECTION

1/2" = 1'-0"

1



28613 N BAMFIELD DR.
 AGOURA HILLS, CA 91301

REVISIONS



DATE: 12-19-2019
 SCALE: 1/16" = 1'-0"

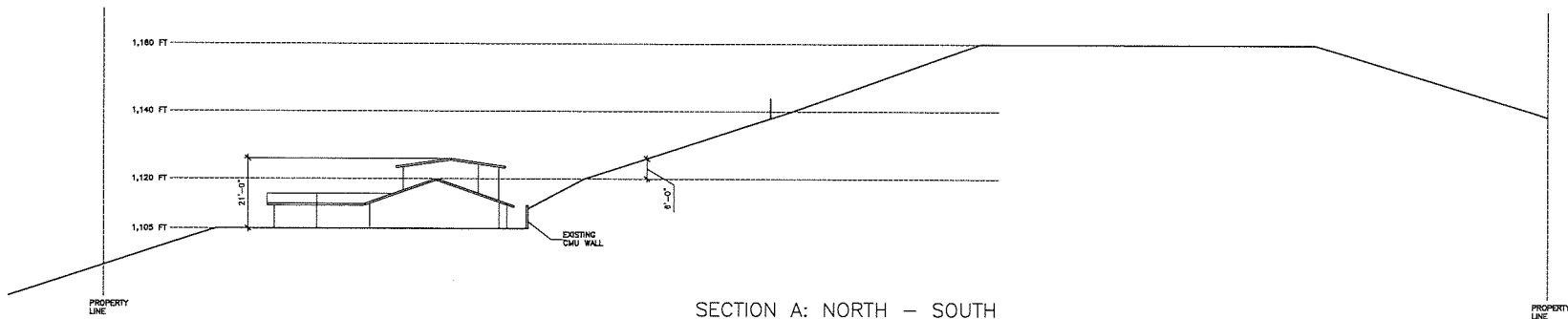
SHEET 2 OF 11

SD-1

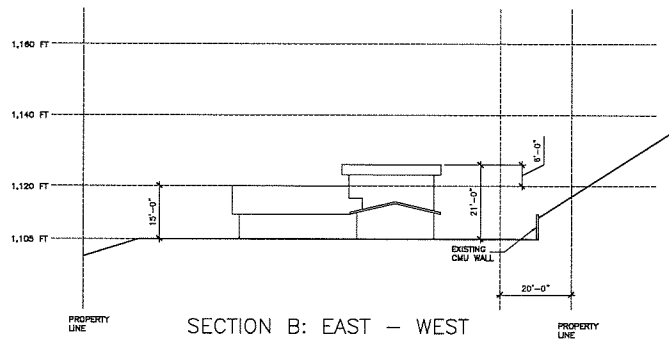
SITE PLAN

1" = 30'-0"

1



SECTION A: NORTH - SOUTH



SECTION B: EAST - WEST

28613 N BAMFIELD DR.
 AGOURA HILLS, CA 91301

REVISIONS

DATE: 12-19-2019
 SCALE: 1/16" = 1'-0"

SHEET 2 OF 11

SD-2



TOPO CROSS SECTIONS

1" = 30'-0"

1

ATTACHMENT 4

Photographs of the Residence

CASE NO. SPR-01742-2020
KDDesign Ltd for Ron Glantz



ATTACHMENT 5

**Fountainwood Homeowners Association
Letter**



May 14 2021

City of Agoura Hills:

The Architectural Committee of the Fountainwood Homeowners Association has reviewed the plans for rebuild/remodel to the home at 28613 Bamfield Drive, Agoura Hills.

We approve the plans as submitted.

Sincerely,

Rik Zelman
Fountainwood Homeowners Association
Chair, Architectural Committee

Reviewed and Approved by
FOUNTAINWOOD HOA

Signed  Date 5/14/21