

ABBREVIATIONS

AB	Anchor Bolt	FA	Fire Alarm	R	Riser
ACOUS	Acoustical	FD	Floor Drain	RAD	Radius
AD	Area Drain	FDN	Foundallon	RCP	Reflected Ceiling Plan
ADD	Addendum	FE	Fire Extinguisher	RD	Roof Drain
ADJUST	Adjustable	FEC	Fire Extinguisher Cabinet	RECP	Receptacle
AFF	Above Finished Floor	FF	Finish Floor	REF	Refer or Reference
AGGR	Aggregate	FIN	Finish	REFR	Refrigerator
ALUM	Aluminum	FIN FLR	Finish Floor	REGTR	Register
ALT	Alternate	FL, FLR	Floor	REINF	Reinforced
ANOD	Anodized	FLASH	Flashing	RELOC	Relocate/Relocated
APPROX	Approximate	FLUO	Fluorescent	REQ'D	Required
ARCH	Architectural	FOC	Face of Concrete	RESIL	Resilient
		FOF	Face of Finish	RM	Room
B.M.	Bench Mark	FOS	Face of Studs	RO	Rough Opening
BD	Board	FS	Full Size	RWD	Redwood
BET	Between	FT	Foot or Feet		
BF	Backface	FTG	Footing	SBC	Standard Building Code
BITUM	Bituminous	FURR	Furring	SC	Solid Core
BL	Building Line	FUT	Future	SCHED	Schedule
BLDG	Building	FVC	Fire Valve Cabinet	SECT	Section
BLK	Block			SH	Shelf
BLKG	Blocking	GA	Gauge	SHR	Shower
BM	Beam	GALV	Galvanized	SHT	Sheet
BOTT	Bottom	GB	Grab Bar	SIM	Similar
BSMT	Basement	GC	General	SOG	Slab on Grade
BUR	Built-Up Roof			SP	Stand Pipe
BUS	Built-Up Slab	GI	Galvanized Iron	SPEC	Specification
		GL	Grid Line	SQ	Square
C/C	Center to Center	GL	Glass	SS	Stainless Steel
CAB	Cabinet	GRND	Ground	STA	Station
CB	Catch Basin	GR	Grade	STD	Standard
CEM	Cement	GR BM	Grade Beam	STL	Steel
CER	Ceramic	GYP BD	Gypsum Board	STOR	Storage
CG	Corner Guard			SUSP	Suspended
CI	Cast Iron	HB	Hose Bib	STIFF	Stiffener
CIP	Cast in Place	HC	Hollow Core	STIR	Stirrup
CJ	Control Joint	HDWD	Hardwood	SYM	Symmetrical
CJ	Construction Joint	HDWE	Hardware	SYS	System
CL	Center Line	HK	Hook		
CLG	Ceiling	HM	Hollow Metal	T&B	Top and Bottom
CLR	Clear	HOR	Horizontal	T&G	Tongue and Groove
CMU	Concrete Masonry Unit	HP	High Point	TC	Top of Curb
		HR	Hour	TEL	Telephone
CO	Cased Opening	HT	Height	TEMP	Temperature
COL	Column			TER	Terrazzo
COMM	Communications	ID	Inside Diameter	THK	Thick
CONC	Concrete	INSUL	Insulation	TOB	Top of Beam
CONN	Connection	INT	Interior	TOC	Top of Concrete
CONST	Construction	ISF	Inside Face	TOF	Top of Footing
CONT	Continuous			TOP	Top of Parapet
COORD	Coordinate	JAN	Janitor	TOS	Top of Slab
CORR	Corridor	JT	Joint	TOSTL	Top of Steel
CNTR	Counter			TOW	Top of Wall
CR	Cold Rolled	KIT	Kitchen	TPD	Toilet Paper Dispenser
CSK	Countersunk	KP	Kickplate	TV	Television
CT	Ceramic Tile			TYP	Typical
CTD	Centered	L	Angle	UNF	Unfinished
CTR	Center	LAM	Laminate	UNO	Unless Noted Otherwise
CW	Curtain Wall	LAV	Lavatory	VAR	Varies
		LG	Long	VCT	Vinyl Composition Tile
D	Depth	LL	Live Load	VERT	Vertical
DBL	Double	LOC	Locallon	VEST	Vestibule
DEPT	Department	LP	Low Point	VWC	Vinyl Wall Covering
DET	Detail	LT	Light		
DF	Drinking Fountain	LWC	Lightweight Concrete	W/	With
DIA	Diameter	MAS	Masonry	W/O	Without
DIAPH	Diaphragm	MAT'L	Material	WC	Water Closet
DIM	Dimension	MAX	Maximum	WD	Wood
DISP	Dispenser	MECH	Mechanical	WF	Wide Flange
DL	Dead Load	MEMB	Membrane	WF	Wall Footing
DLO	Daylight Opening	MFG	Manufacturing	WL	Wind Load
DN	Down	MFR	Manufacturer	WP	Waterproof
DO	Door Opening	MIN	Minimum	WSCT	Wainscot
DR	Door	MISC	Miscellaneous	WT	Weight
DS	Down Spout	MO	Masonry Opening		
DSP	Dry Standpipe	MOD	Modified		
DWGS	Drawings	MTD	Mounted		
DWLS	Dowels	MTL	Metal		
		MUL	Mullion		
(E)	Existing	NIC	Not in Contract		
EA	Each	NUM	Number		
EB	Expansion Bolt	NTS	Not To Scale		
EF	Each Face				
EIFS	Exterior Insulation & Finish System	OA	Over All		
		OBS	Obscure		
EJ	Expansion Joint	OC	On Center		
EL	Elevation	OD	Outside Diameter		
ELEC	Electric	OD	Overflow Drain		
ELEV	Elevator	OFCI	Owner Furnished, Contractor Installed		
ENCL	Enclosure	OFOI	Owner Furnished, Owner Installed		
EQ	Equal	OH	Over Head		
EQUIP	Equipment	OPNG	Opening		
EW	Each Way	OPP	Opposite		
EWC	Electric Water Cooler	OSF	Outside Face		
EXIST	Existing				
EXPO	Exposed	QT	Quarry Tile		
EXT	Exterior				

CODE INFORMATION

PROJECT DESCRIPTION:
ADD SECOND STORY WITH SINGLE BEDROOM AND BATHROOM TO EXISTING SINGLE STORY HOME

THESE PLANS AND SPECIFICATIONS CONFORM WITH 2019

USE _____ RESIDENTIAL

OCCUPANCY _____ R-3

CONSTRUCTION TYPE _____ V-B

MAIN INTERIOR SQUARE FOOTAGE _____ 2,165 SQ.FT.

2ND STORY SQUARE FOOTAGE _____ 525 SQ.FT.

GARAGE SQUARE FOOTAGE _____ 466 SQ.FT.

TOTAL LIVING AREA SQUARE FOOTAGE _____ 2,690 SQ.FT.

MAX HEIGHT OF SECOND STORY _____ 21'-0"

TOTAL LOT SQUARE FOOTAGE _____ 62,290 SQ.FT.

ASSESSOR'S PARCEL NUMBER _____ 2050-014-011

TRACT _____ TR 31502

LOT _____ 26

RESIDENTIAL SINGLE FAMILY (RS-5-70000 STANDARDS)

MAX HEIGHT: ALLOWABLE = 35'-0"; PROPOSED = 21'-0"

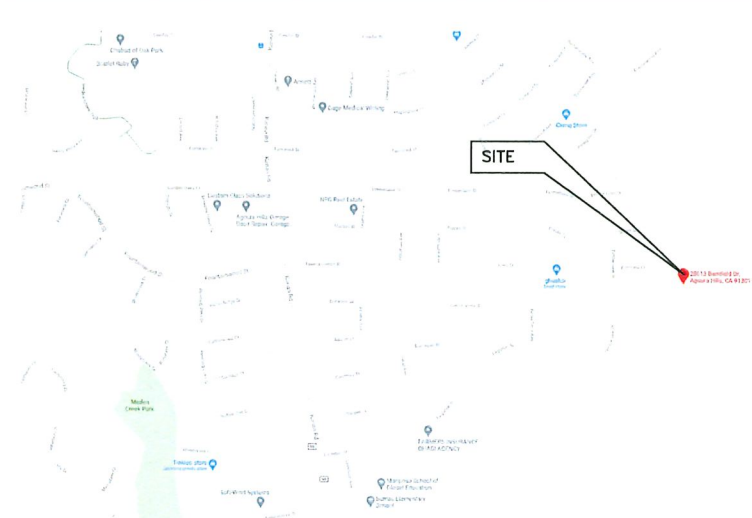
LOT COVERAGE: ALLOWABLE = 50% MAX; PROPOSED = 4.3%

FRONT YARD SETBACK: ALLOWABLE = 20 FT. MIN; PROPOSED = 43 FT.

REAR YARD SETBACK: ALLOWABLE = 20 FT. MIN; PROPOSED = 299 FT.

SIDE YARD SETBACK: ALLOWABLE = 5 FT. MIN; PROPOSED = 20 FT.

VICINITY MAP



28613 BAMFIELD DR.
AGOURA HILLS, CA 91301

CONTACT INFORMATION

OWNER _____ STRUCTURAL ENGINEER

28613 BAMFIELD DR.
AGOURA HILLS CA 91301

CONTACT: RON GLANTZ

DESIGNER _____ GENERAL CONTRACTOR

KKDESIGN
805.732.4612
CONTACT: KEVIN DIEZ

SYMBOLS LEGEND

	FINISH REFERENCE		WALL TYPE: SEE SHEET A6.0
	BUYOUT / FIXTURE REFERENCE		ACCESSORY REFERENCE
	ANNOTATION REFERENCE		DOOR REFERENCE
	ELEVATION REFERENCE		WINDOW REFERENCE
	DETAIL REFERENCE		REVISION
	CEILING HEIGHT		ROOM NAME AND NUMBER
	SECTION REFERENCE		

SHEET INDEX

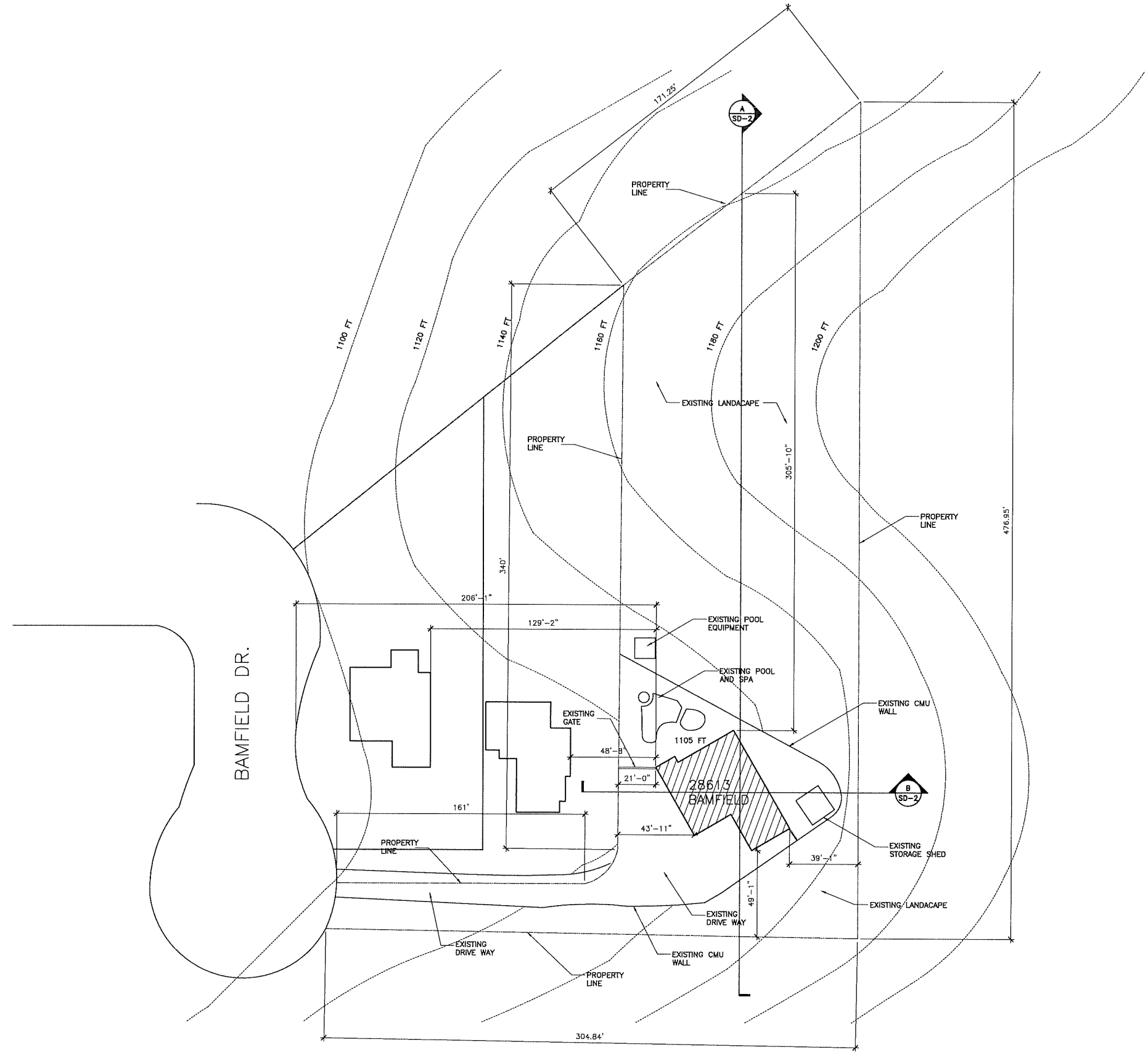
SHEET	DESCRIPTION	REVISION / DATE
ARCHITECTURAL		
CS-1	COVER SHEET	
SD-1	SITE PLAN	
A2.0	GROUND FLOOR PLAN (EXISTING)	
A2.1	2ND STORY FLOOR & CEILING PLAN	
A4.0	EXISTING ROOF PLAN	
A4.0	ROOF PLAN	
A5.0	EXISTING EXTERIOR ELEVATIONS	
A5.1	EXISTING EXTERIOR ELEVATIONS	
A5.2	EXTERIOR ELEVATIONS	
A5.3	EXTERIOR ELEVATIONS	
STRUCTURAL		

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REVISIONS

DATE: 12-19-2019
SCALE: NA

SHEET 1 OF 1
CS-1



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REVISIONS

DATE: 12-19-2019
 SCALE: 1/16" = 1'-0"

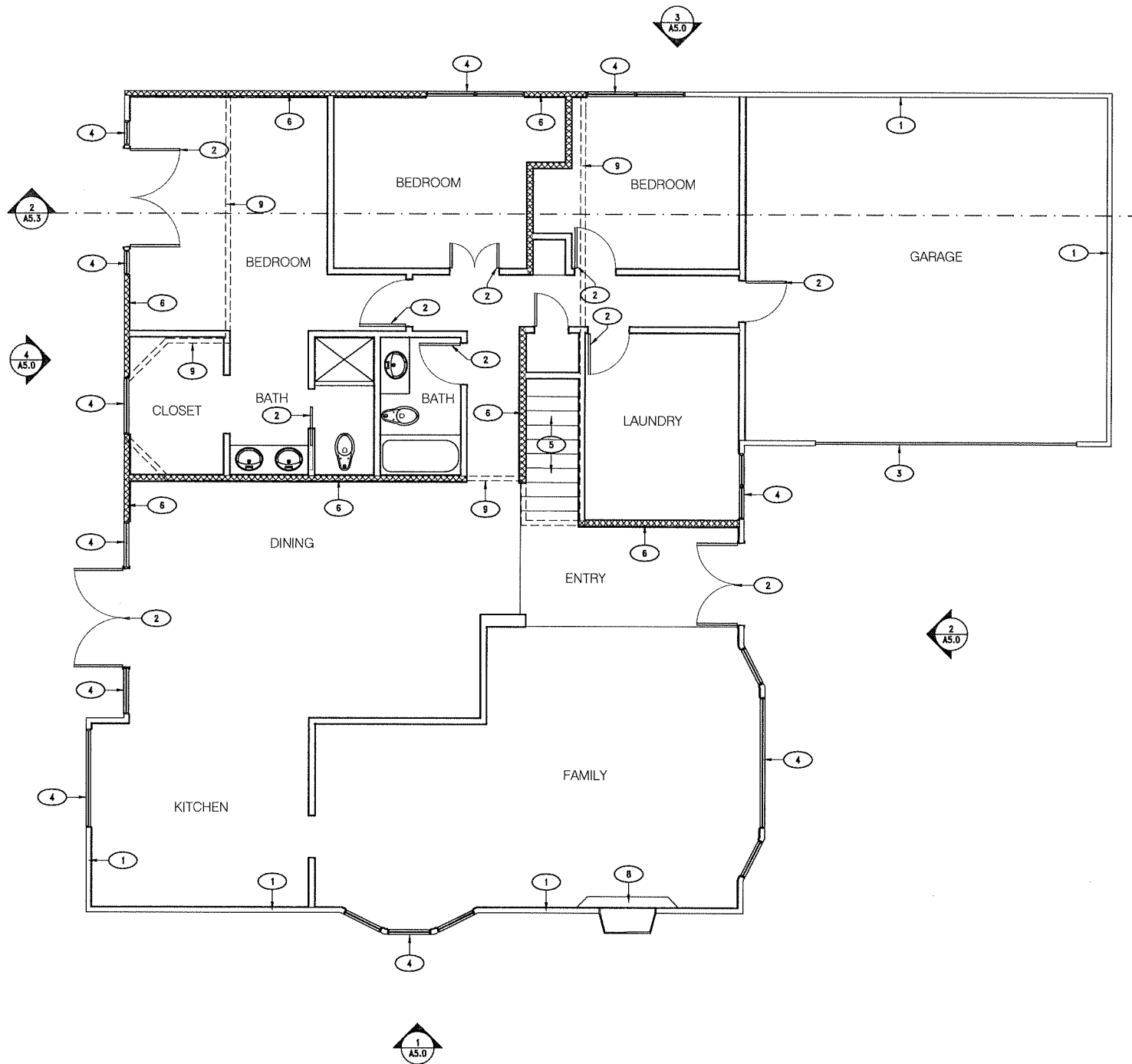
SHEET 2 OF 1'
SD-1

SITE PLAN



1" = 30'-0"

1



General Notes

ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. CEC 210.12(B).

½" DIAMETER ANCHOR BOLTS @ 48" O.C. TYP. ANCHOR BOLTS, INCLUDING NUTS AND WASHERS, IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.

RECTANGULAR 3"x3" PLATE WASHERS .229" THICK ARE REQUIRED BETWEEN THE NUT AND SILL PLATE ON ALL ANCHOR BOLTS. THE PLATE WASHER MAY HAVE SLOTTED HOLES PROVIDED THERE IS A CUT WASHER PLACED BETWEEN THE PLATE WASHER AND THE NUT ON THE ANCHOR BOLT. THE WIDTH OF THE SLOT MAY BE A MAXIMUM OF ½" LARGER THAN THE DIAMETER OF THE ANCHOR BOLT AND SLOT LENGTH MAY NOT EXCEED 1½".

DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC (VOLATILE ORGANIC COMPOUND) LIMIT FINISH MATERIALS HAVE BEEN USED.

80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC (VOLATILE ORGANIC COMPOUND) LIMITS. SEE CAL GREEN BUILDING STANDARDS CODE, SECTION 4.504.4

PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

SAFETY GLAZING MUST BE IDENTIFIED WITH A PERMANENT MARK AS INDICATED IN CRC R308.1

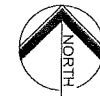
EXHAUST FANS TO TERMINATE OUTSIDE THE BUILDING. EXHAUST FANS PROVIDED FOR HUMIDITY CONTROL SHALL MEET THE FOLLOWING:

- A. ENERGY STAR COMPLIANT, AND
- I. CONTROLLED BY A HUMIDITY CONTROL UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. HUMIDITY CONTROL SHALL OPERATE AS FOLLOWS.
- II. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF A GREATER THAN OR EQUAL TO 50% TO A MAX OF 80% THE HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT AND,
- III. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.
- IV. LIGHTING INTEGRAL TO BATHROOM EXHAUST FANS SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE.

Existing Floor Plan Notes

- 1 EXISTING EXTERIOR WALLS TO REMAIN
- 2 EXISTING DOORS TO REMAIN
- 3 EXISTING GARAGE DOOR AND ALL DOOR ACCESSORIES, RAILS, OPENER ETC. TO REMAIN
- 4 EXISTING WINDOWS TO REMAIN
- 5 NEW STAIRS PER STRUCTURAL
- 6 NEW SHEAR WALL PER STRUCTURAL
- 7 EXISTING NON-LOAD BEARING PARTITION WALL
- 8 EXISTING FIREPLACE TO REMAIN
- 9 LINE OF PROPOSED SECOND STORY

1 EXISTING 1ST FLOOR PLAN
Scale: 1/4" = 1'-0"



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NO.	DESCRIPTION

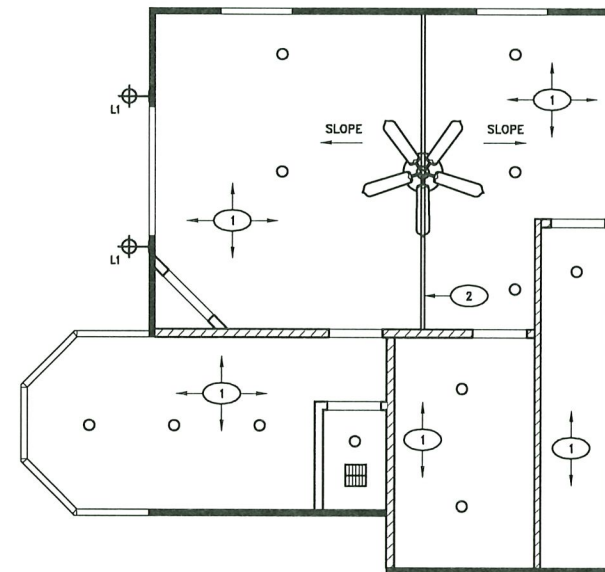
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SCALE: 1/4" = 1'-0"

SHEET 3 OF 1'

A-2.0

Ceiling Plan Notes

- 1 NEW 5/8" GYP BOARD CEILING OVER ROOF FRAMING WITH R30 INSULATION
- 2 NEW 2x16 RIDGE BEAM PER STRUCTURAL WITH PAINT FINISH
- NEW RECESSED LED DOWN LIGHT. PHILIPS CRL4K-G1-6-27K
- ⊕ EXTERIOR WALL SCONCE
- ▣ RESTROOM EXHAUST FAN 50 CFM MIN
- ★ NEW FAN



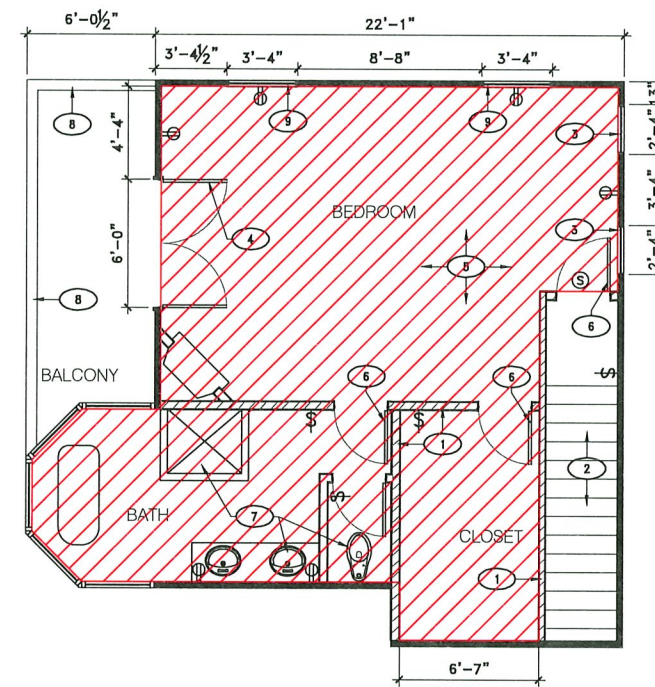
2 CEILING PLAN 2ND FLOOR
Scale: 1/4" = 1'-0"

Floor Plan Notes

- 1 NEW 2x4 STUD PARTITION WALL
- 2 NEW STAIR CASE PER STRUCTURAL
- 3 NEW MILGUARD STYLE LINE XO WINDOW 24"x48"
- 4 NEW MILGUARD STYLE LINE XO FRENCH DOORS 84"x72"
- 5 NEW WOOD FLOOR FLOOR FINISH OVER FLOOR JOISTS PER STRUCTURAL DWGS.
- 6 NEW 84"x 30" WOOD DOOR
- 7 PLUMBING FIXTURES BY OWNER
- 8 +48 BALCONY LOW WALL WITH STUCCO FINISH
- 9 NEW MILGUARD STYLE LINE XO WINDOW 36"x48"

Floor Key Notes

- ⌘ LOCATION OF SWITCHES
- ⊖ NEW OUTLET
- Ⓢ LOCATION OF SMOKE/ CARBON MONOXIDE DETECTOR
- ▨ NEW PARTITION WALL
- ▬ NEW EXTERIOR WALL WITH R19 INSULATION



1 FLOOR PLAN 2ND FLOOR
Scale: 1/4" = 1'-0"



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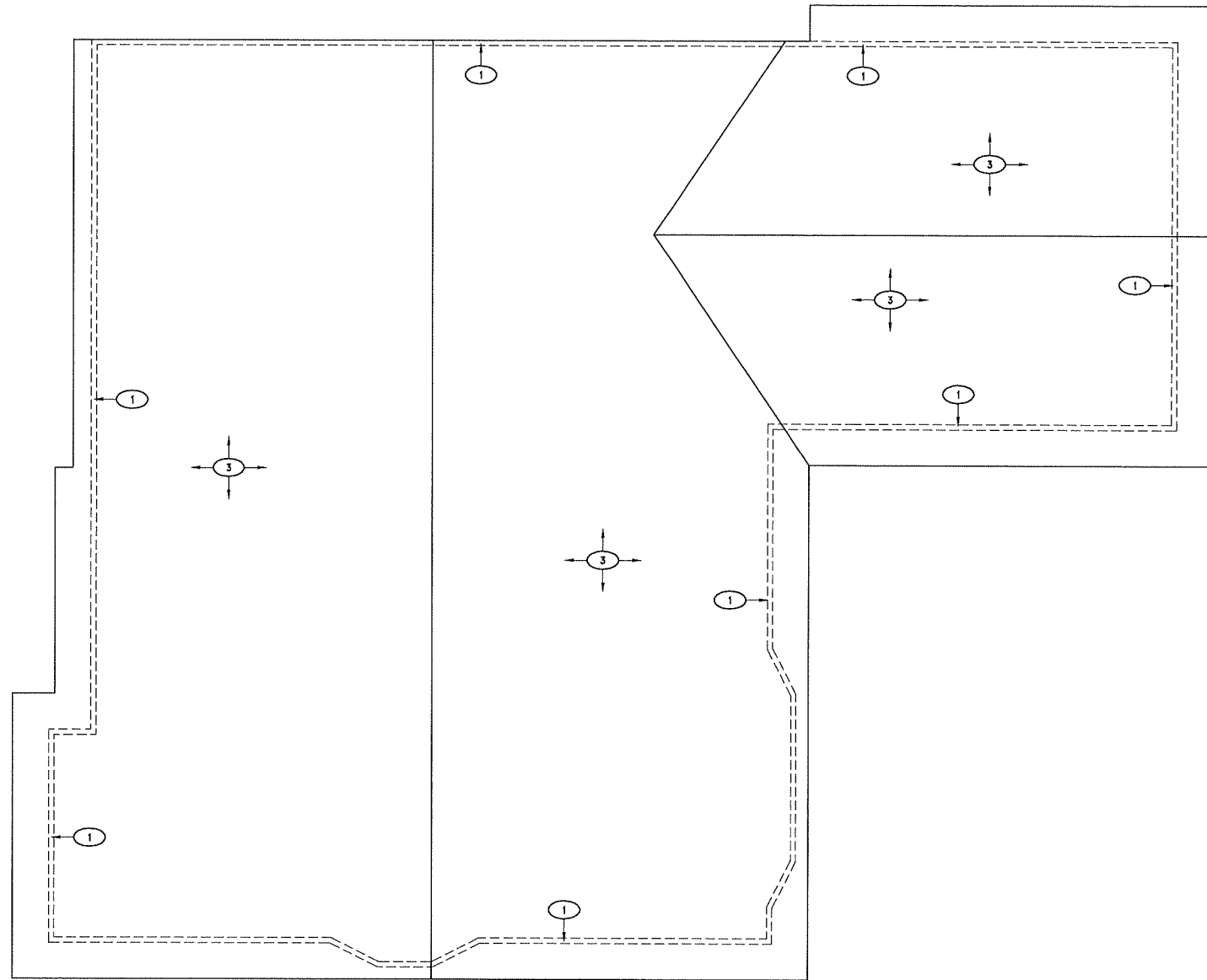
REVISIONS

NO.	DESCRIPTION

DATE: 12-19-2019
SCALE: 1/4" = 1'-0"

SHEET 4 OF 11

A-2.1



Existing Roof Plan Notes

- ① BUILDING WALL BELOW
- ② EXISTING ROOF TO REMAIN

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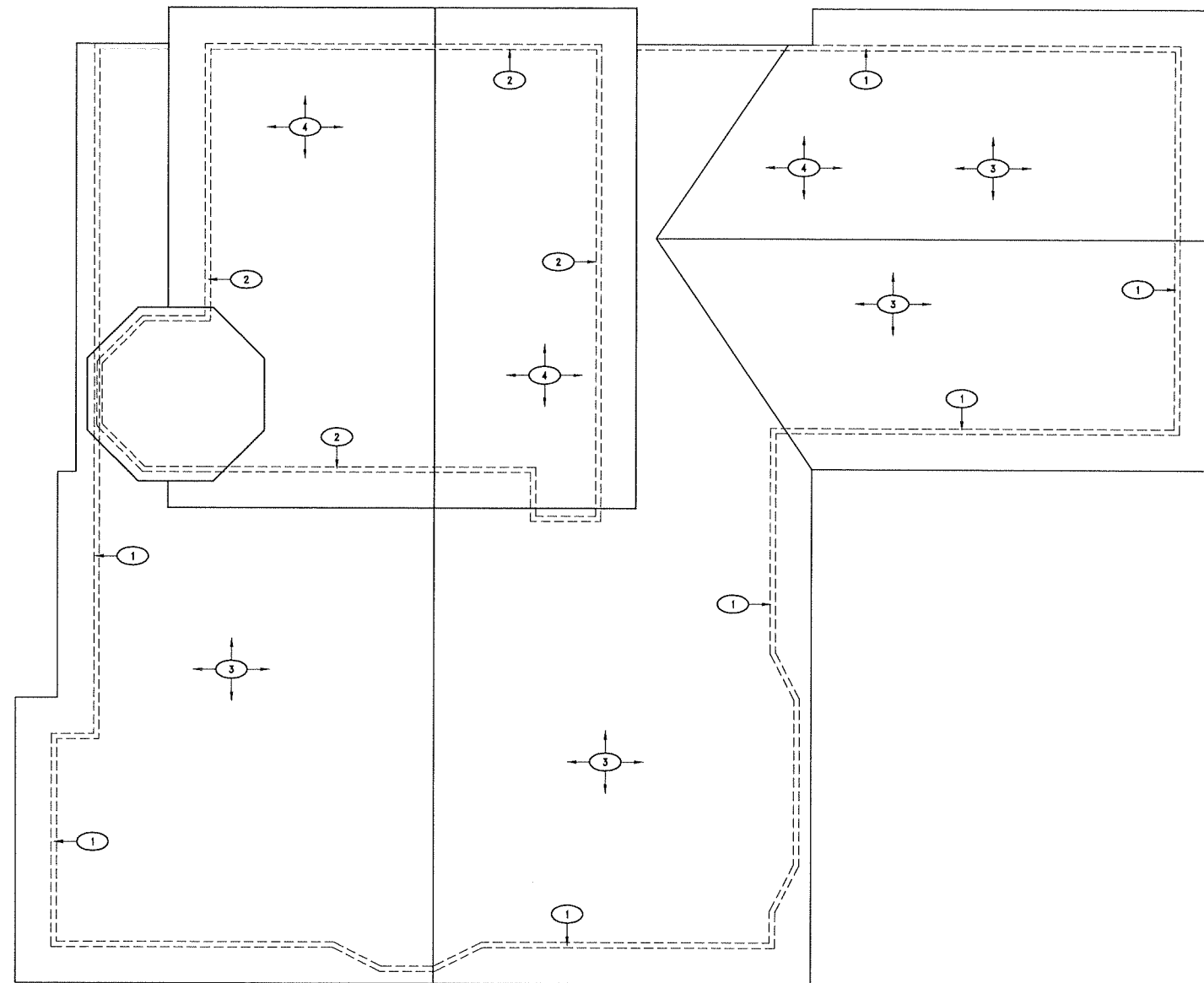
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SHEET 5 OF 1

A-4.0





Roof Plan Notes

- ① 1ST FLOOR BUILDING WALL BELOW
- ② 2ND FLOOR BUILDING WALL BELOW
- ③ EXISTING ROOF TO REMAIN
- ④ NEW ROOFING TO MATCH EXISTING; SEE STRUCTURAL PLANS FOR ROOF FRAMING AND DETAILS

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 SCALE: 1/4" = 1'-0"

SHEET 5 OF 1

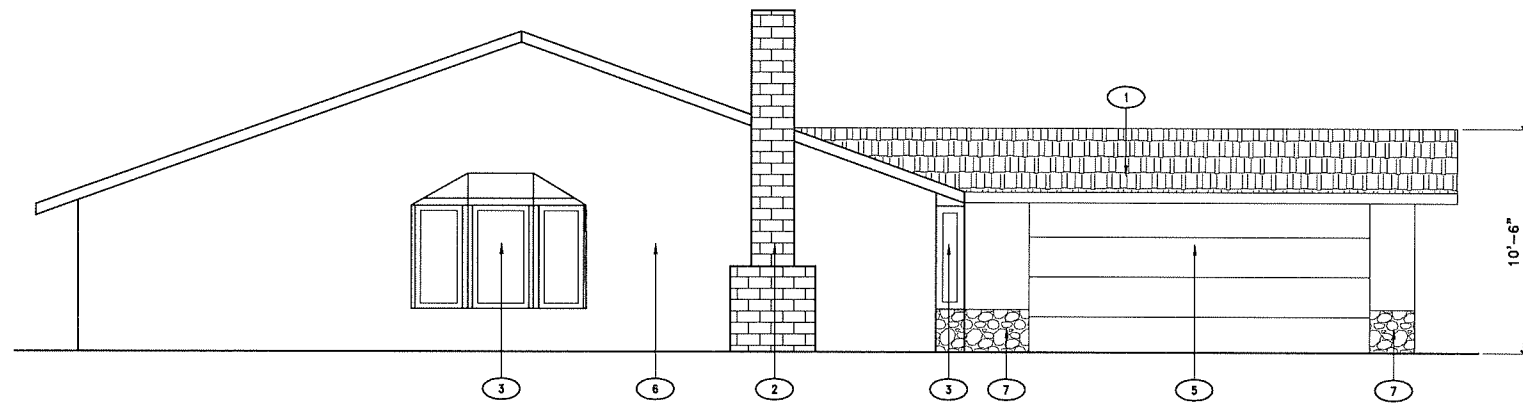
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ROOF PLAN

1/4" = 1'-0"

1

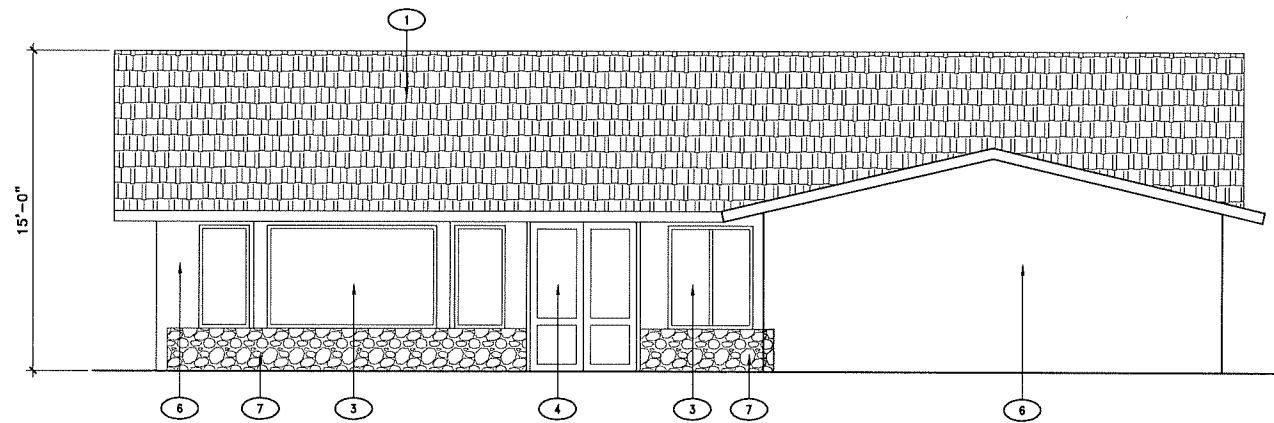




1 North Elevation
Scale: 1/4" = 1'-0"

Exterior Elevation Notes

- 1 EXISTING ROOFING TO REMAIN
- 2 EXISTING BRICK FIREPLACE
- 3 EXISTING WINDOW TO REMAIN
- 4 EXISTING ENTRY DOOR TO REMAIN
- 5 EXISTING GARAGE DOOR TO REMAIN
- 6 EXISTING STUCCO TO REMAIN
- 7 EXISTING STONE WAINSCOT AND LEDGE



2 South Elevation
Scale: 1/4" = 1'-0"

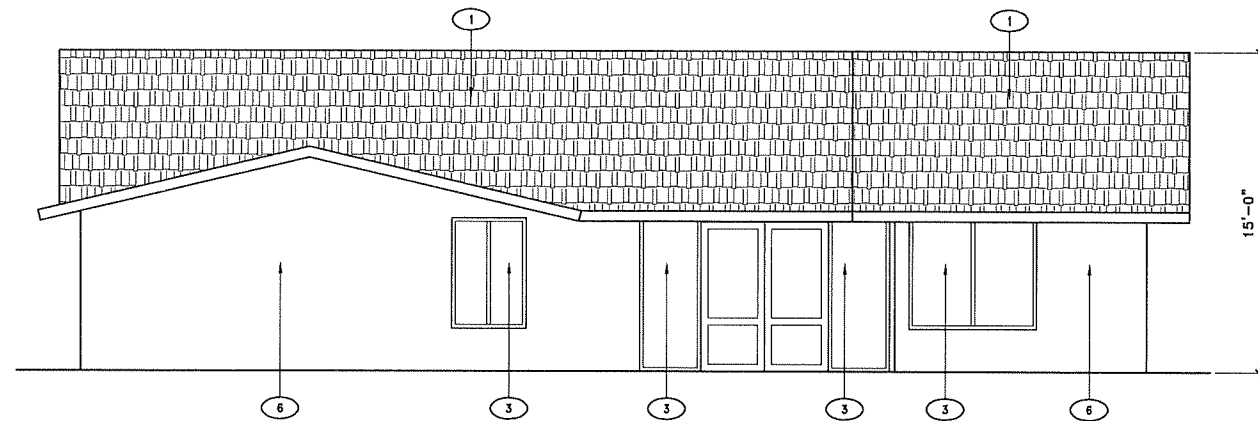
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SCALE: 1/4" = 1'-0'

SHEET 7 OF 1'

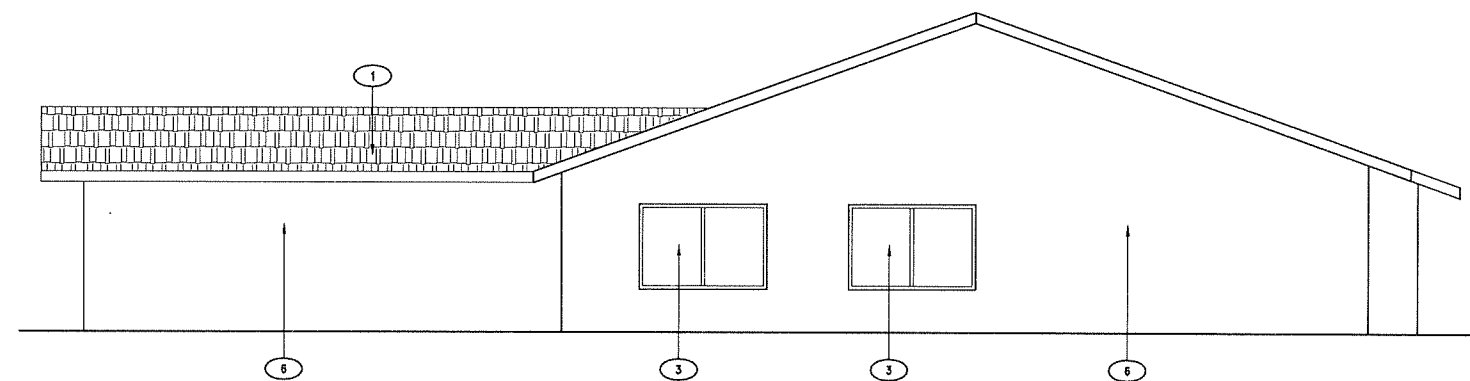
A-5.0



1 East Elevation
Scale: 1/4" = 1'-0"

Exterior Elevation Notes

- ① EXISTING ROOFING TO REMAIN
- ② NEW ROOFING TO MATCH EXISTING
- ③ EXISTING WINDOW TO REMAIN
- ④ EXISTING ENTRY DOOR TO REMAIN
- ⑤ EXISTING GARAGE DOOR TO REMAIN
- ⑥ EXISTING STUCCO TO REMAIN
- ⑦ EXISTING STONE WAINSCOT AND LEDGE
- ⑧ NEW HARDI SIDING KHAKI BROWN
- ⑨ NEW WINDOWS PER PLAN
- ⑩ NEW FRENCH DOOR/WINDOW SYSTEM PER PLAN
- ⑪ EXISTING BRICK FIREPLACE



2 West Elevation
Scale: 1/4" = 1'-0"

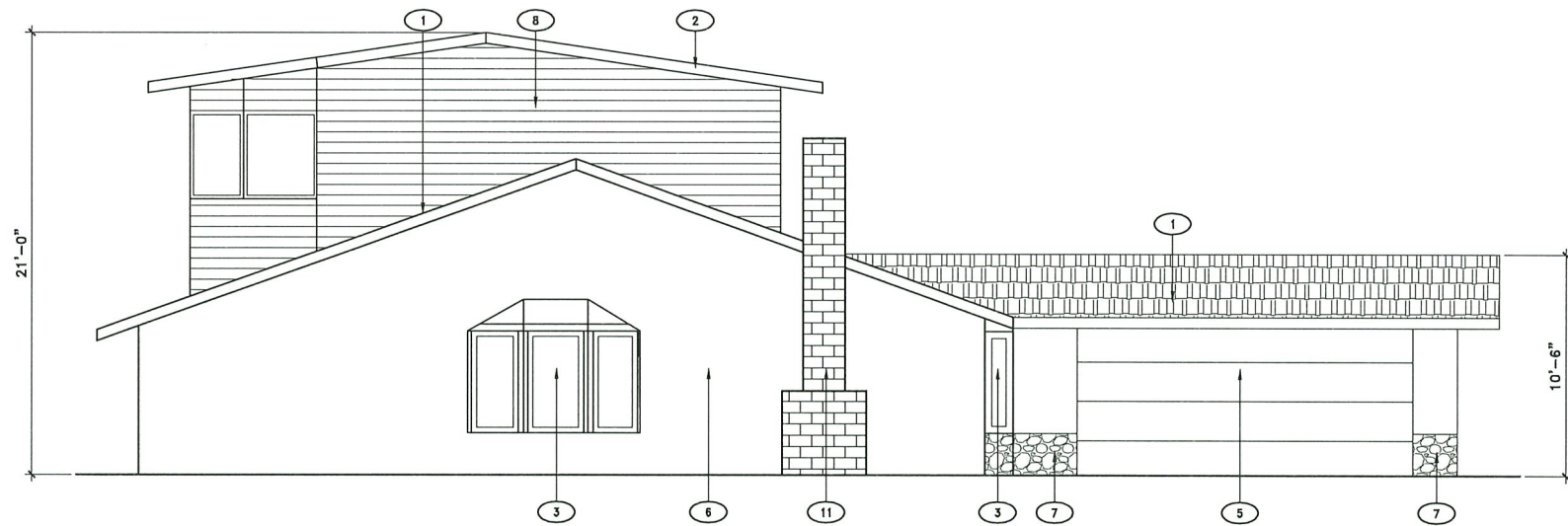
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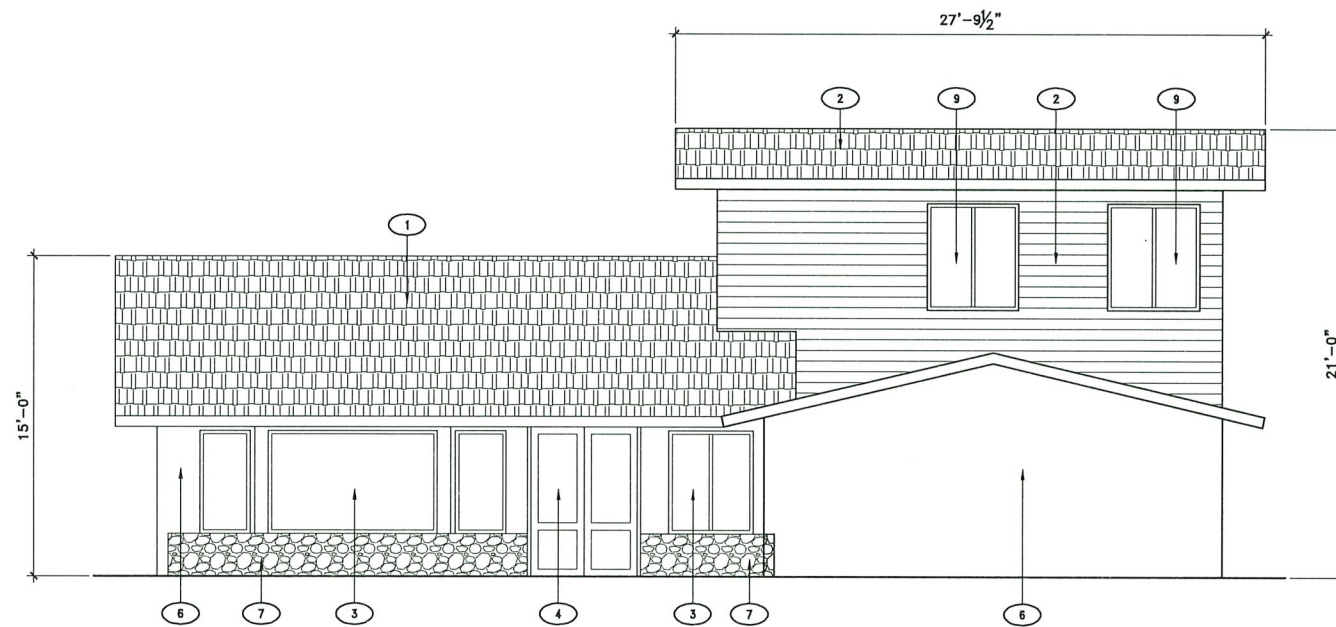
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A-5.1



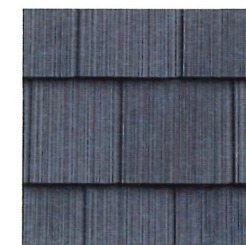
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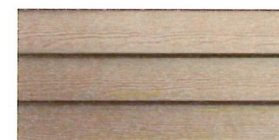
2 South Elevation
Scale: 1/4" = 1'-0"

Exterior Elevation Notes

- 1 EXISTING ROOFING TO REMAIN
- 2 NEW ROOFING TO MATCH EXISTING
- 3 EXISTING WINDOW TO REMAIN
- 4 EXISTING ENTRY DOOR TO REMAIN
- 5 EXISTING GARAGE DOOR TO REMAIN
- 6 EXISTING STUCCO TO REMAIN
- 7 EXISTING STONE WAINSCOT AND LEDGE
- 8 NEW HARDI SIDING KHAKI BROWN
- 9 NEW WINDOWS PER PLAN
- 10 NEW FRENCH DOOR/WINDOW SYSTEM PER PLAN
- 11 EXISTING BRICK FIREPLACE



CONCRETE TILE ROOFING
CHARCOAL SLATE



HARDI SIDING KHAKI BROWN



STUCCO PAINT
DUNN EDWARDS DEC 750
BISON BEIGE

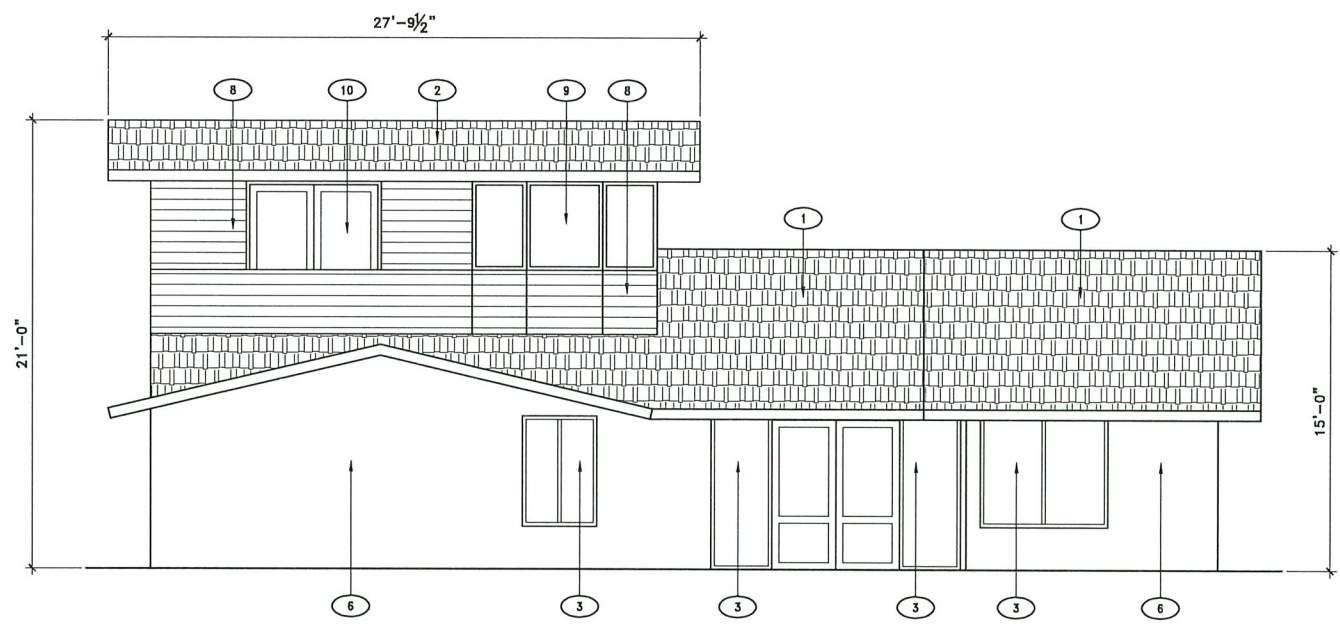
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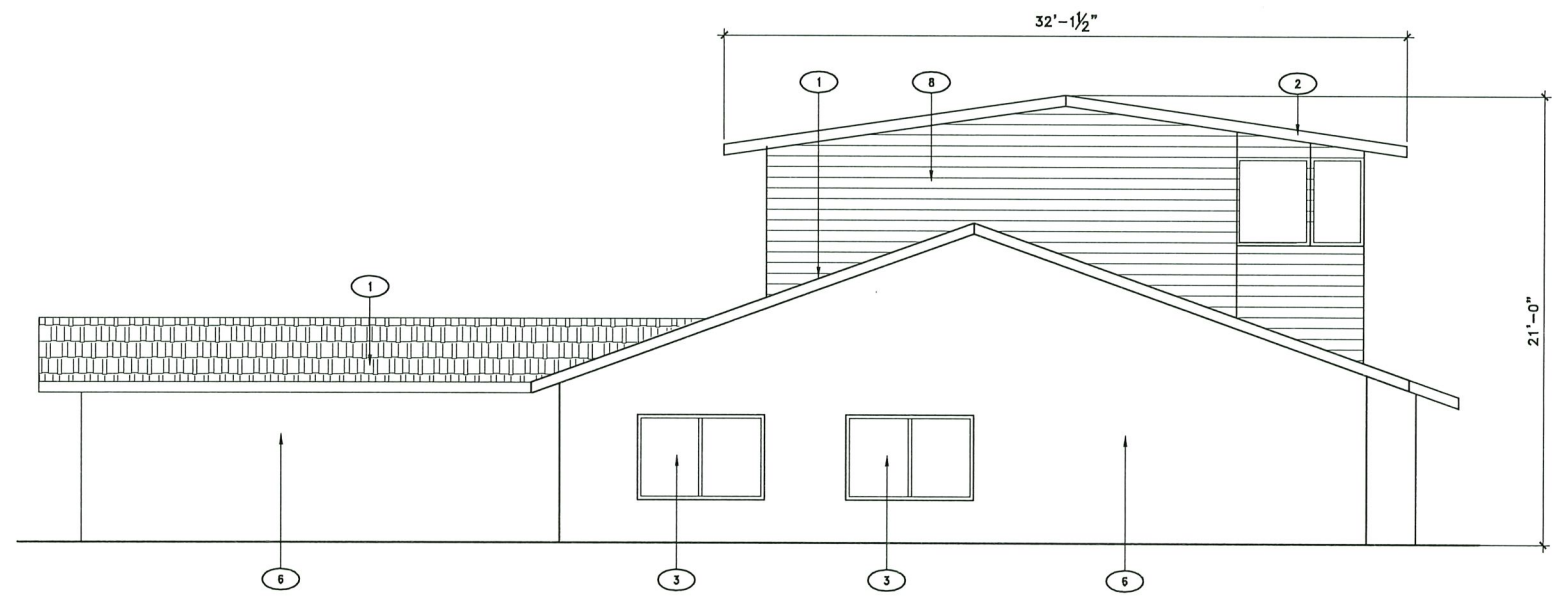
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SHEET 9 OF 1'

A-5.2



1 East Elevation
Scale: 1/4" = 1'-0"



2 West Elevation
Scale: 1/4" = 1'-0"

Exterior Elevation Notes

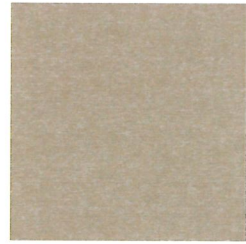
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- 2 NEW ROOFING TO MATCH EXISTING
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- 5 EXISTING GARAGE DOOR TO REMAIN
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- 7 EXISTING STONE WAINSCOT AND LEDGE
- 8 NEW HARDI SIDING KHAKI BROWN
- 9 NEW WINDOWS PER PLAN
- 10 NEW FRENCH DOOR/WINDOW SYSTEM PER PLAN
- 11 EXISTING BRICK FIREPLACE



CONCRETE TILE ROOFING
CHARCOAL SLATE



HARDI SIDING KHAKI BROWN



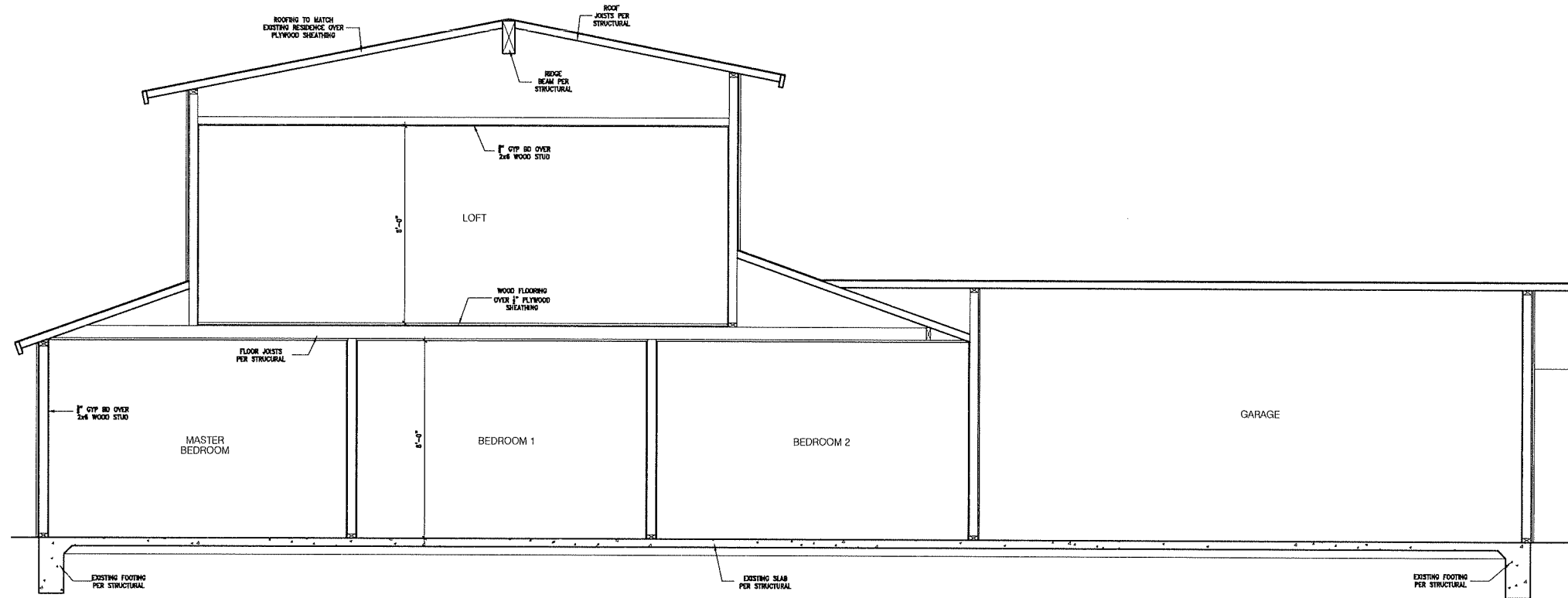
STUCCO PAINT
DUNN EDWARDS DEC 750
BISON BEIGE

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REVISIONS

DATE: 12-19-2019
SCALE: 1/4" = 1'-0"

SHEET 10 OF 1'
A-5.3



1 Building Section
 Scale: 1/2" = 1'-0"

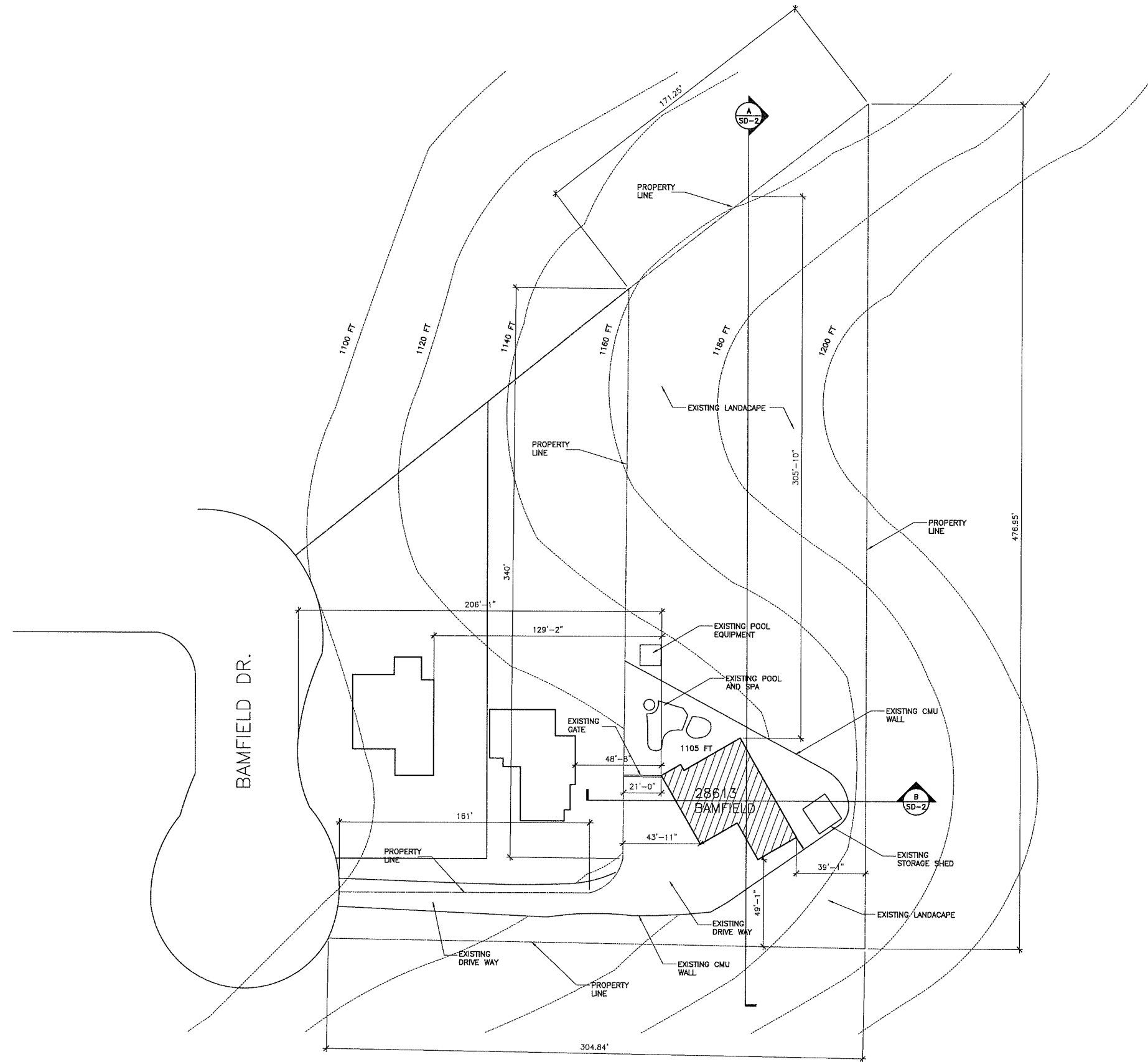
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SHEET 11 OF 11

A-5.4



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12-19-2019	1/16" = 1'-0"

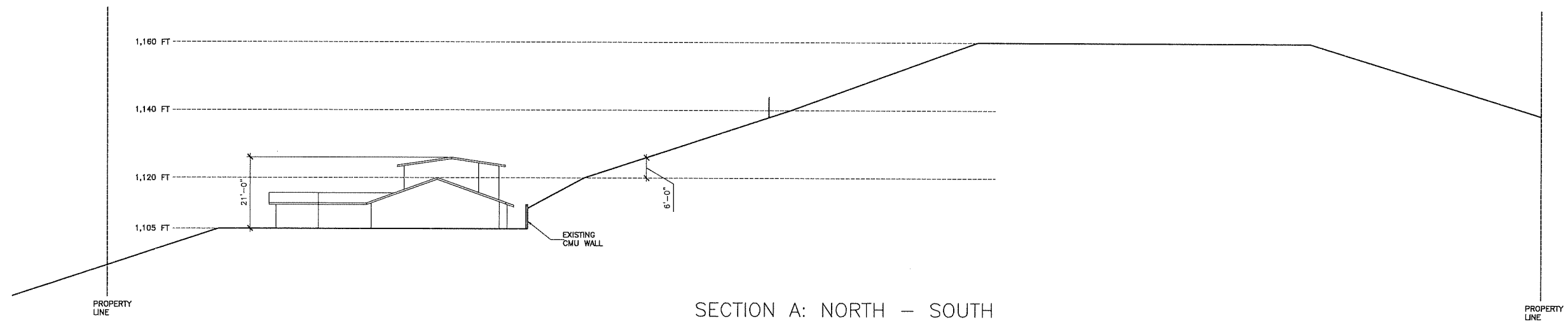
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2 OF 11	

SITE PLAN

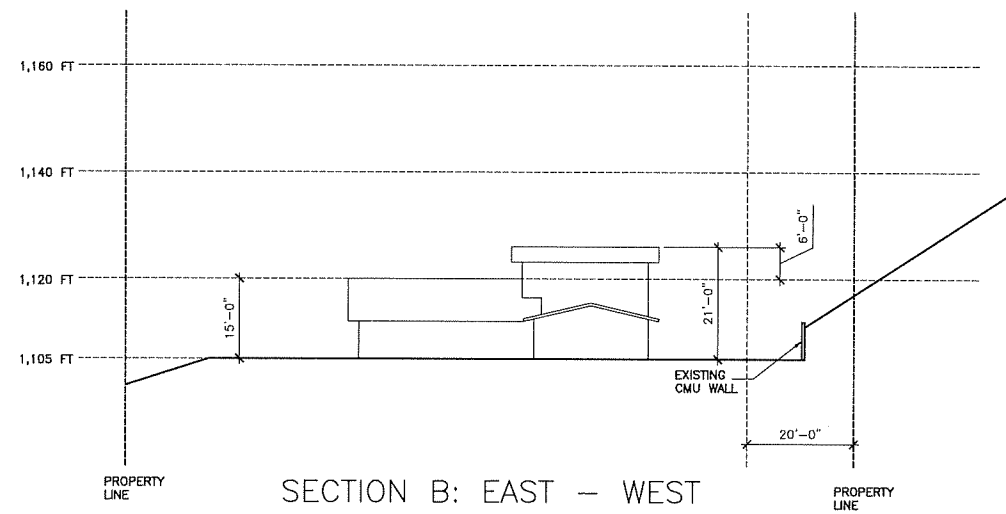


1" = 30'-0"

1



SECTION A: NORTH - SOUTH



SECTION B: EAST - WEST

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REVISIONS

NO.	DATE	DESCRIPTION

DATE: 12-19-2019
 SCALE: 1/16" = 1'-0"

SHEET 2 OF 11

SD-2

