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**PLANNING DIVISION**

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DATE: August 19, 2021

TO: Planning Commission

APPLICANT: Southwest Sign Company for Agoura Meadows  
Investors, LP c/o Newmark Merrill  
1852 Pomona Road  
Pomona, CA 92878

CASE NO.: SIGN-2021-0016

LOCATION: 5601-5687 Kanan Road and 29054–29058 Thousand  
Oaks Boulevard - (Assessor Identification Numbers  
2053-007-024, -025, -026, -027, -028, and -030)

REQUEST: Request for approval of a sign program; and to make  
a finding of exemption under the California  
Environmental Quality Act.

ENVIRONMENTAL  
DETERMINATION: Exempt from the California Environmental Quality Act  
(CEQA) per §15311 of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve  
Sign Permit – Case No. SIGN-2021-0016, subject to  
conditions, based on the findings of the attached Draft  
Resolution.

ZONING DESIGNATION: Commercial Shopping Center – Mixed-Use Zoning  
District (CS-MU)

GENERAL PLAN  
DESIGNATION: Commercial Shopping Center – Mixed-Use (CS-MU)

**I. PROJECT BACKGROUND AND DESCRIPTION**

The applicant, Southwest Sign Company on behalf of the Agoura Meadows Shopping Center, has applied for a sign permit to update the signage serving the

center and tenants. The 10.08-acre property is located at the southwest corner of Kanan Road and Thousand Oaks Boulevard. It is the first in line with three other shopping centers on the west side of Kanan Road. The shopping center is adjacent to a residential development on the west and south sides, but separated by a flood control channel. To the east, across from Kanan Road, are additional residential developments. Access into the center is through multiple driveways both from Kanan Road and Thousand Oaks Boulevard. The tenants' addresses range from 5601-5687 Kanan Road to 29054–29058 Thousand Oaks Boulevard. Agoura Meadows Investors LP, care of Newmark Merrill, manages buildings and grounds on the six parcels that make up the shopping center including the parcel that CVS Pharmacy owns and occupies. The free-stranding building occupied by the Taco Bell Restaurant to the south is not part of the shopping center nor is it included in this proposal as it is owned and managed by a different entity. The main buildings house a variety of retail uses including Vons Supermarket and CVS Pharmacy. The free-standing buildings are occupied by the Bank of America, Chase Bank, and Baskin Robbins. The Applicant proposes a comprehensive design change of the signage by updating the design criteria of the tenants' signage with a sign addition. If the new Sign Program is approved, the sign modification will no longer apply since the new sign program will supersede the standards of the existing sign program.

### Project Description

- Replacement of building-mounted signs to be internally illuminated;
- Replacement of ground-mounted monument/directory sign to be internally illuminated;
- Addition of one (1) ground-mounted monument/directory sign to be internally illuminated; and
- Replacement of blade signs.

### Project Location (Figure 1)



## II. STAFF ANALYSIS

### A. Site Plan, Building and Use

The shopping center is zoned Commercial Shopping Center-Mixed Use (CS-MU). The zone provides for shopping centers and the option for a mixed-use development with multi-family residential units. The shopping center is approximately 122,000 square feet in size and consists of 30 tenant spaces, including four (4) restaurants, a deli store, a supermarket and other retail spaces. Two (2) freestanding buildings in the same shopping center house office and retail spaces.

The shopping center was built in 1978 and was repainted over the years without major modifications. Currently, the parcel is developed with one-story commercial buildings (Buildings A through D on Attachment 3) oriented onto two (2) primary arterials with over 600 feet of street frontage on Thousand Oaks and over 800 feet on Kanan Road with multiple access driveways on both frontages. The primary building backs up to a flood control channel that borders the parcel along its western side and acts as a buffer between the shopping center and the residential development to the west. The driveways provide the necessary access on and off of the property. The main building is setback between 60 and 420 feet from the Kanan roadway and five (5) feet from Thousand Oaks roadway. The free-standing buildings vary between six (6) and ten (10) feet from the Kanan and Thousand Oaks roadways.

### B. Architectural Design

The request to upgrade the signage is in part to attract tenants to fill vacancies caused by the pandemic. Currently, the building facades (Buildings A through D) are stuccoed and painted with various brown color tones. The main building (Building B) is occupied by Vons Supermarket and is enhanced with dry-stacked stone veneered column bases, planter walls and shopping cart screen wall. Other planters in the center are built with slump stone blocks and painted to match the building colors. The hip and parapet roofs are clad with clay tiles. With the exception of Vons, CVS Pharmacy, and the banks in the free-standing buildings, the retail tenants' signs are built as internally-illuminated cabinet signs and are painted brown. The letters are made out of beige Plexiglas with brass trim caps and attached to rust-colored Plexiglas faces. The cabinet signs are attached to a two-foot tall fascia band at the end of the roof overhang and internally illuminated. The major tenants and bank tenants' signs were built as individually mounted, internally-illuminated channel letter signs in their corporate colors. A three-foot tall by 15-foot long monument sign is currently erected along the Kanan Road frontage approximately 150 feet from the intersection, placed parallel to the roadway and contains the name of the center.

The Sign Ordinance regulates signage for commercial projects and promotes signage as an integral part of the building design. It also provides sign requirements for different types of tenants in the case of a shopping center with multiple tenants. The proposed sign program includes building-mounted tenant identification signs, two (2) ground-mounted, or monuments signs, vinyl letters on the front and rear doors of each tenant's suite, and under-canopy signs. Tenants' signage is identified by color-coded zones that reflect the location and distance from the right-of-way and types of tenants (Major A and Major B). The ground-mounted, or monument signs, are identified as M1.1 and M1.2 depending on their location and the under-canopy signs are identified as blade signs. The proposed design is a result of sign design and business identity trends as the current signs no longer serve the need of the tenants.

## **AHMC §9655 (Sign Regulations)**

### **1. *Building Signs***

AHMC §9655 (Sign Ordinance) allows one (1) square-foot for each lineal foot of frontage up to a 50 square-foot sign on the primary elevation of a regular tenant. If the building is located over 100 feet from the front property line, a maximum of 70 square feet is allowed. Additionally, one-half (1/2) of the primary frontage maximum allowed square footage (up to a maximum of 25, or 35 square-feet) is allowed on a secondary frontage. Buildings with an entrance on another elevation are allowed an additional ten (10) square-foot sign to indicate the access into the building. Major tenants are allowed up to 200 square feet. Other than the free-standing buildings, signage is proposed on the front of the building because no public entrance is provided in the rear of the main building (Buildings A and B). Additionally, the AHMC §9655 allows a maximum length of 65 percent of the tenant's space width to maintain legibility between adjacent tenants' names.

The Sign program incorporates the same requirements and, in addition, it establishes size and placement criteria, in compliance with the Sign Ordinance, for major versus minor tenants, and for the free-standing buildings in order to address each tenant situation, particularly the corner tenants with reduced frontages. As a result, the size of the signs will be dependent upon four (4) variables: (1) the lineal length of each tenant space (1:1 ratio); (2) the maximum length of the sign as a percentage of the tenant frontage (65 percent); (3) the distance of the tenant space from the front property line (+/- 100 feet); (4) the maximum size for each category of sign; and (5) the sign program restricts the width of the sign to between 80 and 90 percent of the area allocated for the sign.

Per the submitted plans, the signs will be built out of five (5)-inch deep aluminum channel letters for the inline tenants and eight (8)-inch deep letters for the major tenants mounted to the wall with a plexiglas face to allow the 4,000 Kelvin white LED light internal illumination to show through the face. On the scale of



brightness, the selected Kelvin is on the low end of the scale, which reduces the brightness of the letters at night. Business owners will be able to choose from a five (5) color palette Black, White, Blue, Red and Orange. The returns or sides of the letters and trim caps are to be painted to match the face of the letter color. Unlike the existing sign program, no font is specified to allow for individual business identification style. The maximum height of the letter for the retail tenants will be 21.5 inches, but the sign program does allow for one or two lines for inline tenants and multiple lines for the major tenants as long as the sign copy does not exceed the dimensions of the area designated by the plans. Although the sign program notes that the major tenants are designated as such by the Landlord, the Sign Ordinance defines major tenants as tenants having a frontage in excess of 100 feet. Logos and trademarks are also permitted and will be internally illuminated as well and can be placed on either end. Special support for the inline tenants facing Thousand Oaks Boulevard will be built behind the letters to support the new sign given that the architectural elements do not allow for the same installation as the rest of the center.

The signs will be centered vertically and horizontally in the designated sign area above the tenant space, and will occupy a maximum 80 percent of the height of the designated space for the blue zone signs and 90 percent for the other zones to maintain legibility per the sign program criteria.

The Planning Commission may consider a color palette of up to five (5) colors as part of a sign program. In this case, the sign program uses five (5) colors, with logos and trademark colors being exempt, which complies with the Sign Ordinance criteria. The installation of tenant signs will be subject to the center management's approval, and must be consistent with the approved sign program. Sheets 2 and 3 of the sign program detail the compliance requirements of each sign and the responsibility of the tenants and the shopping center's ownership or management company to enforce well maintained signage.

## **2. Monument Signs**

The existing, single-sided, three (3)-foot tall by 15-foot long monument sign, on the Kanan Road frontage will be removed and replaced with one (1) double-sided ground-mounted, monument/directory sign. This sign is proposed to be six (6) feet tall with a 41.5 square-foot face, placed perpendicular to the street. Another monument/directory sign with the same dimensions is also proposed on the Thousand Oaks Boulevard frontage near the main driveway in a 55-inch wide finger planter. Both signs will be set back a minimum of five (5) feet from the property lines as required by the Sign Ordinance. The signs will be built out of an aluminum box, painted using the same new colors as the building (Midnight Haze and Hamilton Blue). The sign face includes the name of the shopping center at the top on a natural wood background plate, and designed with "Brandon Grotesque" font, with enough space below to accommodate ten (10) tenants' names, two (2) larger name plates for the major tenants and eight (8) smaller name plates for the remaining tenants. These name plates will be made out of

aluminum and painted with the same proposed colors for the building. The letters will be pushed-thru white acrylic to allow the white lighting during the nighttime, but the background will not be illuminated. The main tenants' name font will be "Brandon Grotesque" and the smaller tenants' names font will "Gotham Bold." The monument/directory signs will be placed in a landscape planter, and the landscaping will be maintained around the base of the sign in perpetuity.

The proposed size and design complies with the Sign Ordinance and Architectural Standards and Design Guidelines in that the sign complements the architectural theme and design used on the buildings. Each side of the sign provides the name of the center so that the center is recognizable by its local features rather than by a major tenant's name. The name plates' background will be opaque and the light will only show through the letters at night to avoid flooding the surrounding areas with light. Landscaping will be provided at the base.

### **3. Blade Signs**

The center currently includes under-canopy signs that are attached to the building façade at a 90-degree angle, directed at pedestrians walking under the roofed walkways who may not see the sign on the fascia. The blade sign will be oval and made out of wood with a steel trim to match the bracket that connects it to the façade. The sign will be 96 inches above the ground as required by the Sign Ordinance and extend 50 inches from the wall. The tenant names will be constructed out of aluminum letters attached to the double-faced sign.

### **4. Directional Signs**

The sign program includes requirements for directional signs but the program does not propose any directional signs.

## **III. Findings**

### **A. Sign Permit Review: AHMC §9655.5.D**

*Finding 1. The proposed signage is consistent with the General Plan and the provisions of the Zoning Ordinance in that the wall-mounted signs are integrated with the building's architecture, and provide clear, meaningful identification.*

The signs are to be placed on a continuous eave fascia board, at the base of the roof overhang and spread evenly above the tenant spaces. The signage includes a maximum of five (5) colors compatible with the building colors and outdoor furniture provided on-site. The signs are of high quality and internally-illuminated in order to be legible at night. The signs provide meaningful identification for the tenant businesses, without distracting from the architecture as called for in Policy LU-13.2 of the General Plan, especially as viewed from Kanan Road and Thousand Oaks Boulevard. The signs comply with the maximum permitted size for primary and secondary frontages. The monument signs are consistent with

the required dimensions, style, and location in the Zoning Ordinance, and are located a sufficient distance from Kanan Road and Thousand Oaks Boulevard to provide adequate line-of-sight for traffic traveling on these arterials, and in-and-out of the project site. **The Project complies with the finding.**

*Finding 2. The location and design of the proposed signs for the buildings' front elevation, and their size, shape, illumination, and color are compatible with the visual characteristics of the surrounding area so as not to cause depreciation of the value or quality of adjacent properties.*

The signs will be centered on the building fascia overhanging the walkways along tenants' frontages, and will not block architectural features. The sign program will allow future signs to be installed without changing the building design. The signs will comply with the maximum coverage percentage allotted by the Sign Ordinance. Most signage will face inward, toward the site's center, limiting light spillover to adjacent properties. In addition, by providing internally-illuminated letters, each tenant will benefit from the same recognition. The high quality design, including materials and colors, of the signs will complement and not overwhelm the surrounding area. **The Project complies with the finding.**

*Finding 3. The signs are consistent with the sign standards of the Sign Ordinance Sections 9655.6 and 9655.7 pertaining to the signs' size, location, materials and lighting and more specifically for wall-mounted signs, their integration with the building design, their projections from the wall and screening, for the monument signs, their height and landscape around their base.*

The purpose of the sign program is to coordinate the signage of all the tenants within the commercial development while weighing individual business identification requirements and integration into the building architecture. The signs comply with size, the number of colors permitted, and the signage is integrated with the building, so as to not compete with the design of the building and each tenant's sign allocated space. In addition, the sign programs regulates the intensity of the illumination, the construction method and proportions of the letters in relation to their backgrounds. The monument sign is consistent with the maximum size allowed, and is located at a sufficient distance from the right-of-way to protect the line-of-site of the traffic at the intersection and provides a unique name to the center. **The Project complies with the finding.**

*Finding 4. The signs are consistent with the adopted Sign Design Guidelines.*

The signs are within the allowed dimensions and are in good proportion with the building. The signs do not interfere with the architectural features and do not exceed the height of the roofline. **The Project complies with the finding.**

**B. Sign Program Review: AHMC §9655.9.E**

*Finding 1. The sign program shall comply with the purpose and overall intent of the Sign Ordinance.*

The proposed individual signs will comply with the minimum and maximum development standards. The building signs, including the monument sign, use a color scheme that blends with the buildings' proposed colors. Internal lighting allows business names to be legible at nighttime. The signs are placed in an area reserved for signage and at the same height as previously installed. **The Project complies with the finding.**

*Finding 2. The sign program shall accommodate future revisions that may be required because of changes in use or tenants.*

The proposed design will allow for changes in business names without impacting the architectural features of the building and the materials used on the facades since a flat, continuous area was reserved on the face above the tenant space. The flexibility in selecting a font style will allow latitude to the tenants in defining their identification, and fitting their business name within the allocated space. **The Project complies with the finding.**

*Finding 3. The sign program shall comply with the standards of the Sign Ordinance except that a variance or modification is allowed with regard to sign area, number, location or height to the extent that the comprehensive sign program will enhance the overall development and will more fully accomplish the purpose of Section 9655.9 of the Sign Ordinance.*

The number of signs, aesthetics, and the location and height of the signs will comply with the Sign Ordinance requirements for wall- and ground-mounted signs and will be consistent throughout the site. Owner and tenant compliance requirements and maintenance responsibilities are incorporated in the sign program. The design parameters permitted for the proposed building signs, including the colors and the internal lighting method with low Kelvin, provide reasonable design limitations for a well-designed sign program while allowing additional flexibility and choice of identification to the tenants of the shopping center. This sign program enhances the aesthetics of the project by coordinating placement, construction and attachment methods which increases the quality of the signage for both the building-mounted signs, and monument sign. **The Project complies with the finding.**

### ***C. General Plan Consistency***

**Staff finds the project will be consistent with the following applicable General Plan goals and policies:**

Goal LU-13. Well-Designed and Attractive Districts. Retail centers and corridors that are well-designed and attractive, providing a positive experience for visitors and community residents, and fostering business activity.



- *Policy LU-13.1. Enhanced Design Character. Encourage renovation, infill, and redevelopment of existing commercial centers and corridors to improve architectural design (e.g. facade improvements (reduce the visual prominence of parking lots, make centers more pedestrian friendly, reduce visual clutter associated with signage, and enhance the definition and the character of the street frontage and associated streetscape.*
- *Policy LU-13.2 Architecture and Site Design. Ensure that new development and the renovation, addition, or remodel of existing buildings in existing commercial centers and corridors complement existing uses and exhibit a high level of architectural and site design quality in consideration of the following principles:*
  - *Seamless connections and transitions with existing buildings, in terms of building scale, elevations, and materials*
  - *Incorporation of signage that is integrated with the buildings' architectural character and provides meaningful identification*
  - *Landscaping contributing to the appearance and quality, and reducing the heat-island effect, of development*
  - *Clearly delineated pedestrian connections between business areas, parking areas, and to adjoining neighborhoods and districts by such elements as paving treatment, pedestrian paths through parking lots, landscape way-finding signage*
  - *Incorporation of plazas and expanded sidewalks to accommodate pedestrian, outdoor dining, and other activities*

The project will beautify the center, and attract new tenants. The new signs type and colors will help tie all the buildings into one homogenous development. The signs provide meaningful identification for the business, without distracting from the architecture especially as viewed from Kanan Road and Thousand Oaks Boulevard. The signs will be internally-illuminated to maintain legibility at night-time. The monument signs are consistent with the required dimensions, style, and location, and are located a sufficient distance from Kanan Road and Thousand Oaks Boulevard to provide adequate line-of-sight for the traffic traveling on these arterials, and on-and-off of the project site.

#### **IV. ENVIRONMENTAL REVIEW**

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), and has been determined to be Categorical Exempt from the CEQA Guidelines per §15311. This exemption includes construction, or placement of minor structures accessory to (appurtenant to) existing commercial, industrial, or institutional facilities, including but not limited to on-premise signs. No significant environmental impacts are expected from development of this

project. No exception to this categorical exemption applies as set forth in §15300.2 of the CEQA Guidelines including, but not limited to subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

## **V. RECOMMENDATION**

Based on the foregoing analysis, staff recommends that the Planning Commission approve Sign Permit Case No. SIGN-2021-0016 subject to the conditions of approval.

## **VI. ATTACHMENTS**

- Attachment 1: Draft Sign Resolution with Exhibit A Conditions of Approval
- Attachment 2: Vicinity Map
- Attachment 3: Reduced copies of the Sign Program
- Attachment 4: Photographs of the Site

Case Planner: Valerie Darbouze, Associate Planner

**ATTACHMENT 1**  
**Draft Resolution with Exhibit A**  
**Conditions of Approval**

## RESOLUTION NO. 21-1259

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SIGN PERMIT CASE NO. SIGN-2021-0016 FOR A SIGN PROGRAM TO ESTABLISH SIGNAGE AT THE AGOURA MEADOWS SHOPPING CENTER LOCATED AT 5601-5687 KANAN AND AT 29054-29058 THOUSAND OAKS BOULEVARD AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Southwest Sign Company for Agoura Meadows LP, on behalf of Newmark Merrill, with respect to the real property located at 5601-5687 Kanan Road and 29054-29058 Thousand Oaks Boulevard (Assessor Identification Numbers 2053-007-024, -025, -026, -027, -028, and -030), requesting approval of a Sign Permit (Case No. SIGN-2021-0016) to establish a sign program including wall- and ground-mounted signage at an existing shopping center (“the Project”).

Section II. The Project includes the installation of new signs at an industrial park and is exempt from the California Environmental Quality Act (CEQA) Guidelines §15311 (the construction or the placement of minor structures accessory to a commercial facility) particularly subsection (a). The project, which involves the installation of building- and ground-mounted signs on a commercial property, would not result in significant impacts to the environment. No exception to this categorical exemption applies as set forth in §15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c), which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission considered the application for a Sign Permit (Case No. SIGN-2021-0016) at a public meeting held on August 19, 2021, at 6:30 p.m. The public hearing was held in accordance with the Governor’s Executive Order N-29-20 on an electronic platform that allowed for the applicant and members of the public to present statements and provide materials to the Commission. Notice of the time, date, and means of participation in, and purpose of the aforementioned hearing, was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforesaid public meeting.

Section V. Sign Permit Review. Based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning



Commission finds, pursuant to the Agoura Hills Municipal Code (AHMC) §9655.5.D, that:

1. The proposed signage is consistent with the General Plan and the provisions of the Zoning Ordinance in that the wall-mounted signs are integrated with the building's architecture and provide clear, meaningful identification. The signs will be placed on a continuous eave fascia board, at the base of the roof overhang, and spread evenly above the tenant spaces. The signage includes a maximum of five (5) colors compatible with the building colors and outdoor furniture provided on-site. The signs are of high quality and internally illuminated in order to be legible at night. The signs provide meaningful identification for the tenant businesses, without distracting from the architecture as called for in Policy LU-13.2 of the General Plan as viewed from Kanan Road and Thousand Oaks Boulevard. The signs comply with the maximum permitted size for primary and secondary frontages. The ground-mounted/monument signs are consistent with the required dimensions, style, and location in the Zoning Ordinance, and are located a sufficient distance from Kanan Road and Thousand Oaks Boulevard to provide adequate line-of-sight for traffic traveling on these arterials, and on-and-off of the project site.

2. The location and design of the proposed signs for the buildings' front elevation, and their size, shape, illumination, and color are compatible with the visual characteristics of the surrounding area so as not to cause depreciation of the value or quality of adjacent properties. The signs will be centered on the building fascia overhanging the walkways along tenants' frontages, and will not block architectural features. The sign program will allow future signs to be installed without changing the building design. The signs will comply with the maximum coverage percentage allotted by the Sign Ordinance. Most signage will face inward, toward the site's center, limiting light spillover onto adjacent properties. The high-quality design, including materials and colors, of the signs, will complement and not overwhelm, the surrounding area.

3. The signs are consistent with the sign standards of AHMC §9655.6 and §9655.7 (Sign Ordinance) with regards to the size, location, materials, lighting, and number of colors permitted. The wall-signs are consistent with the building design, projections from the wall, and screening. The monument signs are consistent with height and the landscaping at the base. The purpose of the sign program is to coordinate the signage of all the tenants within the commercial development while weighing individual business identification requirements and integration into the building architecture. The signs will not compete with the design of the building or each tenant's allocated sign space. In addition, the sign programs regulate the intensity of the illumination, the construction method, and proportions of the letters in relation to their backgrounds. The monument sign is consistent with the maximum size allowed and is located at a sufficient distance from the right-of-way to protect the line-of-site of the traffic at the intersection and provides a unique name to the center.

4. The signs are consistent with the adopted Sign Design Guidelines. The signs are within the allowed dimensions and are in good proportion with the building; do not interfere with the architectural features, and; do not exceed the height of the roofline.

Section VI. Sign Program. Based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to AHMC §9655.9.E, that:

1. The sign program shall comply with the purpose and overall intent of the Sign Ordinance. The proposed individual signs will comply with the minimum and maximum development standards. The building signs, including the monument sign, use a color scheme that blends in with the buildings' proposed colors. Internal lighting allows business names to be legible at nighttime. The signs are placed in an area reserved for signage, and at the same height as previously installed.

2. The sign program shall accommodate future revisions that may be required because of changes in use or tenants. The proposed design will allow for changes in business names without impacting the architectural features of the building and the materials used. The flexibility in selecting a font style will allow latitude to the tenants in defining their identification and fitting their business name within the allocated space.

3. The sign program shall comply with the standards of the Sign Ordinance except that a variance or modification is allowed with regard to sign area, number, location, or height to the extent that the comprehensive sign program will enhance the overall development and will more fully accomplish the purpose of AHMC §9655.9 of the Sign Ordinance.

Section VII. Based on the aforementioned findings, the Planning Commission hereby approves Sign Permit Case No. SIGN-2021-0016, subject to the conditions of approval, attached herein as Exhibit A, with respect to the property described in Section I hereof.

Section VIII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 19<sup>th</sup> day of August, 2021, by the following vote to wit:

AYES: (0)  
NOES: (0)  
ABSTAIN: (0)  
ABSENT: (0)

\_\_\_\_\_  
Murtaza Mogri, Chairperson

ATTEST

\_\_\_\_\_  
Denice Thomas, Secretary

## Exhibit A

### CONDITIONS OF APPROVAL (Case No. SIGN-2021-0016)

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all conditions of this action with the Planning Department.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved project plans and conditions of approval reviewed and approved by the Planning Commission on August 19, 2021.
4. It is hereby declared to be the intent that if any provision of this action is held or declared to be invalid, the approval shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a condition of this action that if any condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. Unless the approval is used within two (2) years from the date of City approval, Case No. SIGN-2021-0016 will expire.
7. The Applicant, and property owner(s), and their successors in interest, shall indemnify, defend and hold harmless the City, its officials, officers, agents and employees (collectively "Indemnitees") from and against any and all claims, actions, lawsuits, damages, losses and liabilities arising or resulting from the granting of this approval by the City or the exercise of the rights granted by this approval. This indemnification obligation shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the Indemnitees in connection with any such claims, actions or lawsuits, any expert fees, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such claim, action or lawsuit. The City shall promptly notify Applicant and property owners of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. In the event such a legal action is filed, the City shall estimate its expenses for litigation. Applicant or property owners shall deposit such amount with the City or enter into an agreement with the City to pay such expenses as they become due. Applicant and property owners shall reimburse the City, and



each of the Indemnitees for any and all legal expenses and costs incurred by it in enforcing the indemnity herein provided. Although the Applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the Applicant of any obligation under this condition.

8. No lights on or within any sign shall be illuminated after 11:30 p.m. or close of business each day, whichever occurs last.
9. The signs shall be maintained in a neat and attractive, well-maintained condition. The display surface of the signs shall be kept clean, neatly painted and free from rust, cracking, peeling, corrosion or other states of disrepair.
10. The new sign lighting shall comply with the requirement of a maximum of one-foot candle of illumination measured at all property lines.
11. The existing monument sign shall be removed and replaced by the approved monument/directory signs.

END

## **ATTACHMENT 2**

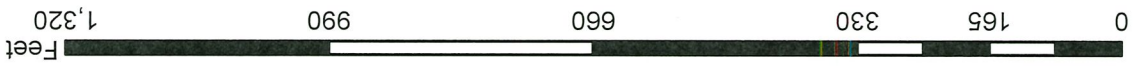
### **Vicinity Map**



# City of Agoura Hills

SIGN PERMIT - CASE NO. SIGN-2021-0016

Vicinity/Zoning  
Map





# **ATTACHMENT 3**

## **Project Plans**



# AGOURA MEADOWS

## SHOPPING CENTER

MASTER SIGN PROGRAM

5/28/2021

**RECEIVED**

By VDarbouze at 2:20 pm, Aug 04, 2021

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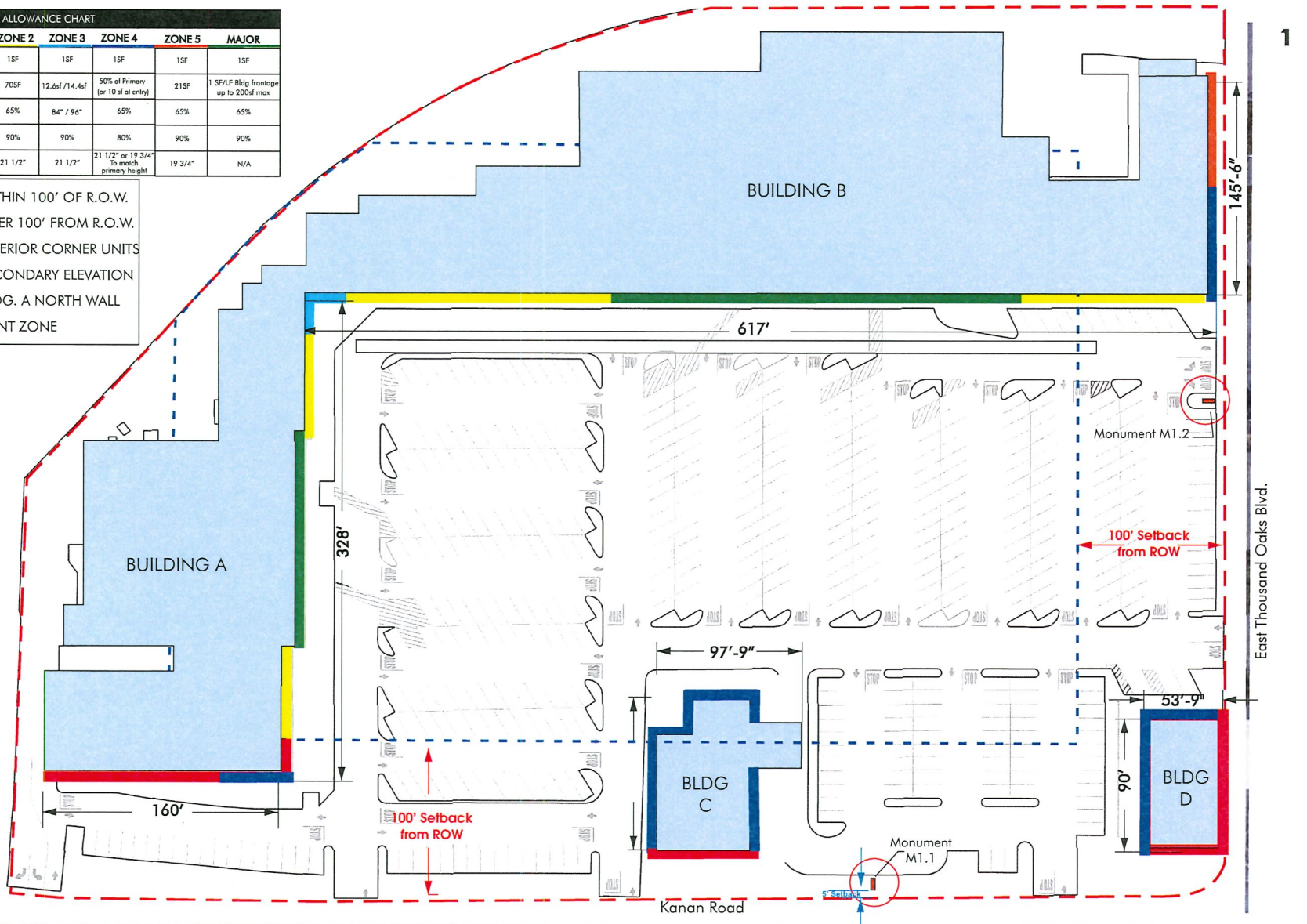
SOUTHWEST SIGN CO.

TABLE OF CONTENTS

A	SITE PLAN	1
B	SIGN CRITERIA	2 - 3
C	IN-LINE TENANT SIGN ELEVATIONS - BLDG A	4
D	IN-LINE & MAJOR SIGN ELEVATIONS - BLDG B	5
E	IN-LINE & NORTH SIGN ELEVATIONS - BLDG B	6
F	PAD TENANT SIGN ELEVATION - BLDG C	7
G	PAD TENANT SIGN ELEVATION - BLDG D	8
H	ENLARGED ELEVATION - IN-LINE TENANT	9
I	ENLARGED ELEVATION - CORNER TENANT (5637 & 5639)	10
J	ENLARGED ELEVATION - SECONDARY SIGNAGE	11
K	ENLARGED ELEVATION - BLDG A NORTH WALL	12
L	ENLARGED ELEVATION - MAJOR TENANT	13
M	WALL SIGN DETAIL	14
N	WINDOW & SERVICE DOOR SIGNAGE	15
O	M1 MONUMENT SIGN EXHIBIT	16
P	M1 MONUMENT SIGN STREET VIEW	17
Q	BLADE SIGN	18

SIGNAGE ALLOWANCE CHART						
	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	MAJOR
MAX SF SIGNAGE ALLOWED/ FOOT OF STOREFRONT WIDTH PER TENANT	15F	15F	15F	15F	15F	15F
MAX ALLOWED SIGN AREA IN AGGREGATE PER TENANT	505F	705F	12,6sf / 14,4sf	50% of Primary (or 10 sf at entry)	215F	1 SF/LF Bldg frontage up to 200sf max
MAX WIDTH OF A SIGN AS % OF STOREFRONT WIDTH	65%	65%	84" / 96"	65%	65%	65%
MAX HEIGHT OF A SIGN AS A % OF VERTICAL FASCIA HEIGHT	90%	90%	90%	80%	90%	90%
MAX LETTER HEIGHT	21 1/2"	21 1/2"	21 1/2"	21 1/2" or 19 3/4" To match primary height	19 3/4"	N/A

- ZONE 1 - WITHIN 100' OF R.O.W.
- ZONE 2 - OVER 100' FROM R.O.W.
- ZONE 3 - INTERIOR CORNER UNITS
- ZONE 4 - SECONDARY ELEVATION
- ZONE 5 - BLDG. A NORTH WALL
- MAJOR TENANT ZONE



Site Plan  
Scale 3/16" = 1'-0"

SITE PLAN

SOUTHWEST SIGN CO.

## SIGN CRITERIA

### DESIGN INTENT

Signage in the Agoura Meadows Shopping Center is intended to be in scale with adjacent buildings and surrounding development. The message should be easily read and direct. Signage shall be creative and imaginative with emphasis on well-developed theme graphics consistent with high legibility and effectiveness, with sign construction details that support the overall design theme of each sign. Individuality of styles and identity of tenant are encouraged.

### SUBMITTALS AND APPROVALS

Prior to commencing sign fabrication, Tenant shall submit to Landlord for approval three (3) sets of complete, fully dimensioned, and detailed shop drawings including:

- Photo illustration of storefront with graphics in scale and in full color.
- Elevation of sign location showing design, location, size, and layout of sign, drawn to scale, indicating dimensions, attachment devices, and construction detail.
- Section through sign showing the dimensioned thickness of the letters
- Due to varying architectural conditions plans must include accurate (survey) dimensioned section through the tenant storefront specifying penetration locations, accessible area behind the sign and wire path to transformer
- Scaled letter patterns for all graphics.
- Site plan, indicating location of sign on property. All sign submittals shall be reviewed by Landlord for conformance with the provisions of these criteria. All submittals are subject to Landlord's approval. Fabrication and installation of all signs shall be performed in accordance with the standards and specifications outlined in these criteria and in the final approved plans and shop drawings.

### SIGN CONTRACTOR RESPONSIBILITIES

The Tenant's sign contractor, prior to commencing sign fabrication, shall:

- Submit to Landlord for approval complete and fully-dimensioned shop drawings.
- Obtain approved sign permits from the City of Agoura Hills and deliver copies of same to Landlord.
- Provide to Landlord an original certificate of insurance naming the Landlord as an additional insured for liability coverage in the amount of \$2,000,000.00.

### TENANT SIGN REQUIREMENTS

Only the types and numbers of signs listed herein are permitted. No deviation from these requirements will be permitted without written Landlord and City approval. Tenants are designated as Major Tenants at Landlord's discretion.

### Tenant Storefront Signs

- The basic sign entitlement for wall sign area shall be one (1) square foot area per lineal foot of lease frontage.
- Primary signage shall be designed as internally lit channel letters, but non-lit graphics shall be also be allowed as one of the components within the overall design concept.
- Inline tenants shall be allowed signage using their logo, font, colors and name and/or business category, other verbiage subject to landlord approval. A maximum height of 21 1/2" is allowed as one or two lines of copy.
- Major tenants with over 100 feet of store frontage may have up to 200sf of aggregate signage including all primary and secondary verbiage. Max letter height is 72" for major tenants. Multiple lines are allowed with no restriction to encourage a creative and diverse design concept.
- Frontage on two (2) or more streets. A business having frontage on more than one (1) public right-of-way may use the basic sign entitlement on one (1) frontage and one-half of the allowance on the second public frontage. Said allowance shall only be utilized on the frontage on which the allowance is based.
- Maximum width of any sign is 65% of tenant lease width and 80% of width of the sign fascia on which sign is affixed.
- Number of colors. All permanent signs, except as hereinafter provided, shall contain no more than three (3) different colors. Different shades shall be considered separate colors. The planning commission may consider a sign program with a multi-color sign palette utilizing a maximum of five (5) colors. For the purposes of this section, black and white shall be considered colors. Logos with trademarked colors are exempt from this provision. Logos shall not exceed twenty (20) percent of the total combined permitted sign area. Allowable non-trademarked letter and logo colors are:

- Black
- #2119 Orange
- #2050 Blue
- #2108 Green
- #2793 Red

**\*\* Tenants with registered trademarks are allowed to use their registered branding, colors and fonts without limitation.**

- Sign copy. Not more than twenty-five (25) percent of the total area of any sign shall include descriptive wording which is not a part of the name of the business.

### ACCEPTABLE SIGN TYPES

- Tenant signs in landlord-designated areas shall be comprised of letters and/or logoboxes fabricated as plex faced individual channel with internal LED illumination. Design components may include non-illuminated dimensional or backing elements to enhance the lit signage to encourage a creative design approach.
- Logos and/or tag lines may be proposed as logo shapes with aluminum face and push thru plex letters and can be

- located to left or right of text. All logos, trademarked or not, and sign text to be approved by landlord.
- Window vinyl graphics, max 1sf in area, are allowed for store hours, emergency numbers, etc. may be placed on front windows adjacent to entry. Project font of Avante Garde Medium BT shall be used. See exhibit for location and dimension allowances.
- Rear door signage is required for all service doors. Max area of 1sf. See exhibit for dimension allowances.

### GENERAL SIGN PARAMETERS

- All signage is subject to the approval of Landlord and the local authorities.
- Signage is allowed only within the boundaries of the Tenant's space unless exception is granted the the City and the Landlord, and shall be symmetrically placed in the localized area where it will be installed. Except for approved blade signs, signs shall not extend more than 6" beyond the face of the surface to which the sign is mounted.
- One tenant/occupant identification sign per storefront elevation is allowed. Tenant with two frontages are allows one sign per elevation.
- All signs must be illuminated and shall derive light from a concealed source. No exposed lamps, globes, tubes, etc. will be permitted.
- Tenants are responsible for maintenance of wall signage. Landlord is responsible for maintenance of project monument signage.
- Sign illumination hours are per City Code and shall be regulated by time controls to comply with Title 24 requirements..

### SIGN CONSTRUCTION REQUIREMENTS

- All sign fabrication work shall be of excellent quality.
- Seams shall be concealed at tops of letters for returns. No light leaks at seams or edges of letters are permitted.
- Signs must be made of durable rust-inhibited materials that are appropriate and complementary to the building.
- Finished surfaces of metal shall be free from oil-canning and warping.
- Paints must be high-quality acrylic polyurethane, Matthews Paint or equivalent. All sign finishes shall be free of dust, orange peel, drips, and runs, and shall have a uniform surface conforming to the highest standards of the industry.
- All lighting must match the exact specifications of the approved shop drawings. Wiring and assembly details must match provided specifications.
- Surface brightness of all illuminated materials shall be consistent in all letters and components of the sign. Light leaks or hot spots will not be permitted.
- Penetrations into building walls, where required, shall be made waterproof.
- All signs and their installation must comply with applicable building and electrical codes.
- Underwriters Laboratory-approved labels shall be affixed to

## SIGN CRITERIA

all letters in discrete locations not visible from normal viewing angles.

11. In no case shall any manufacturer's label, stamp, or decal be visible from normal viewing angles. Only that portion of a permit sticker that is legally required to be visible shall be exposed.

12. Exposed equipment, such as junction boxes, transformers, lamps, tubing, conduits, etc., is prohibited.

13. Tenant is responsible for removing the signage upon vacating the space as well as repainting/patching the façade to restore the color and condition.

### SIGN TYPE SPECIFICATIONS

#### Plex faced channel letter specifications:

a. Letters shall be 5" deep aluminum channels. Major tenants may have up to 8" deep letters.

b. Neutral white 4000K LED illumination when used with white acrylic.

c. Face colors shall conform to project ID color specifications, however trademarked brands may use their branding colors without exception.

d. Return colors shall match the face color.

e. Trim caps shall match the face colors

f. Channel letter shall be mounted with lags and 1/2" spacers painted to match the fascia band color. Angle clips attached to letter sides will not be permitted. All mounting attachments and wiring connections shall be sleeved and painted to match surface behind.

#### Rear Service Door Sign specifications:

a. Letters shall be 3M black vinyl.

b. Letters shall be computer cut and spaced.

c. Max area is 1sf

d. Copy may include store name only and may be in tenant logotype if it conforms to be size allowance.

#### Hours of Operation specifications:

a. Letters shall be 3M white vinyl

b. Letters shall be computer cut and spaced.

c. Max area is 1 sf

d. Copy may include store name only and may be in tenant logotype if it conforms to size allowance.

e. Letters shall be positioned on side glass and spaced according to the exhibit.

#### Address Sign specification:

Landlord shall install 5" white vinyl address numerals at each storefront entry door as required by the local fire marshal.

Address signs are not included in the wall sign calculation.

#### Monument Signs:

Two monument signs of 48sf maximum area each may be

installed, one per street frontage. Internally illuminated sign cabinet with opaque faces and illuminated push through plex project ID and tenant names. See Monument Sign Exhibit.

#### Vehicle directional signs:

0 On-site directional signs shall be limited in number to four (4) signs per frontage for any property that has more than one (1) frontage. The maximum area for such signs shall be three (3) square feet, and such signs shall not exceed three (3) feet in height. A directional sign may display a logo of a business located on the subject property as well as an arrow or other directional symbol and/or words, including but not limited to "parking," "enter," "exit," "do not enter," "drive-thru," "welcome" and other similar messages. Tenant designs to be reviewed and approved by landlord and city.

### SIGNS NOT PERMITTED

A. Outdoor advertising displays, structures or signs.

B. Portable signs.

C. Exposed neon, flashing, or scintillating signs.

D. Revolving signs.

E. Any placard, bill, card, poster, sticker, banner, flag, sign, or other device affixed or attached to or located upon any public right-of-way area including street, walkway, crosswalk, curb, lamppost, hydrant, tree, telephone booth or pole, lighting system or any fixture of the police or fire alarm system. This prohibition does not apply to required government signs.

F. Devices projecting or otherwise producing the image of a sign, as defined in section 9655.2 CC., on any surface or object.

G. Signs that project or encroach into any existing or future public right-of-way.

H. Automatic changing signs or electronic message signs.

I. Streamers, banners, balloons, flares, flags, pennants, propellers, twirlers, and similar attention-getting displays or devices except as allowed by section 9655.10 (temporary signs).

J. Pole signs, except for on-site directional signs.

K. Signs or sign structures which by colors, wording, or location resemble or conflict with traffic control signs or devices.

L. Signs that create a safety hazard by obstructing the view of pedestrian or vehicular traffic.

M. Sign structures and supports no longer in use, for a period of sixty (60) days, by the owner, tenant, or lessee.

N. Signs painted directly on an exterior wall, fence, fascia or parapet.

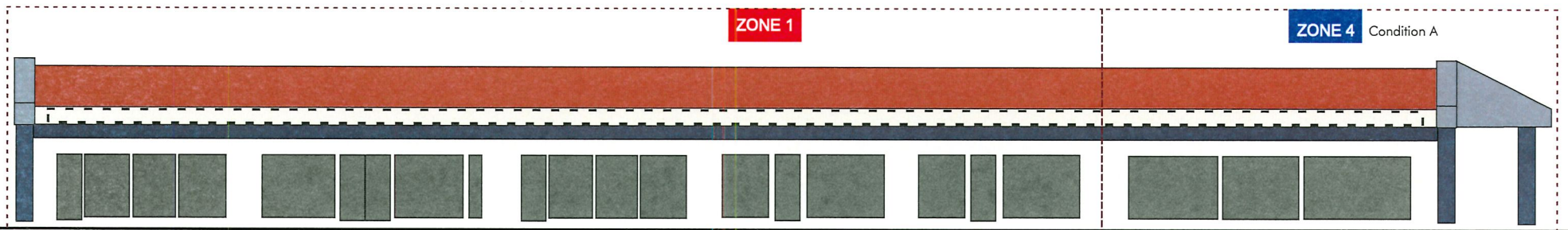
O. Signs that display an obscene message or graphic representation of nudity or sexual acts.

P. Roof signs.

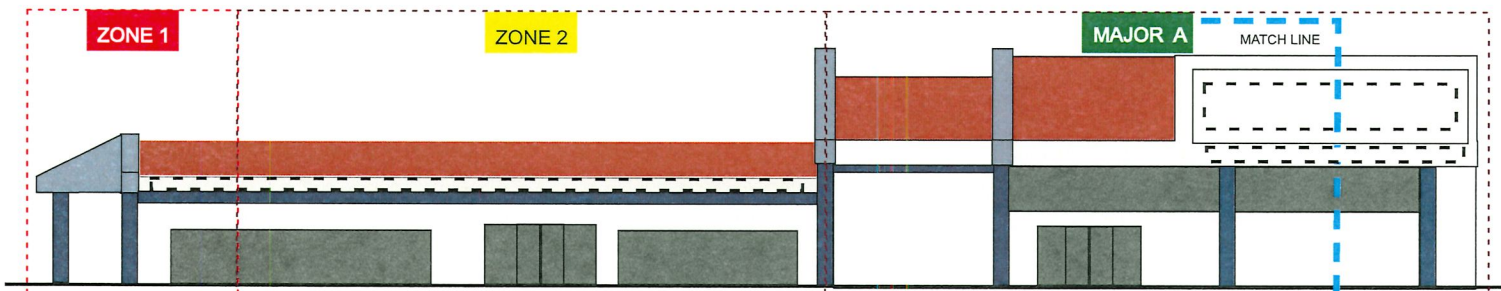
Q. Awnings that are internally illuminated.

R. Inflatable signs.

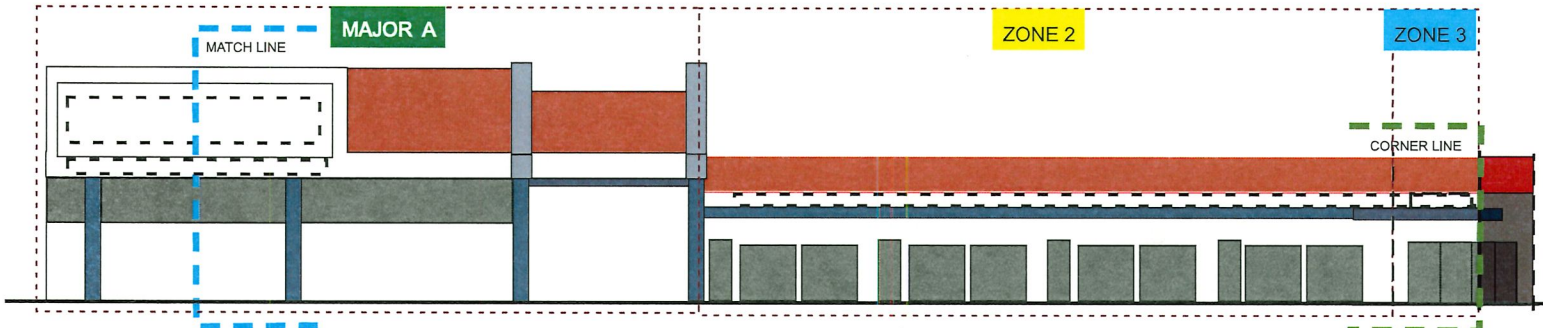




East Elevation - Building A  
 Scale 3/32" = 1' 0

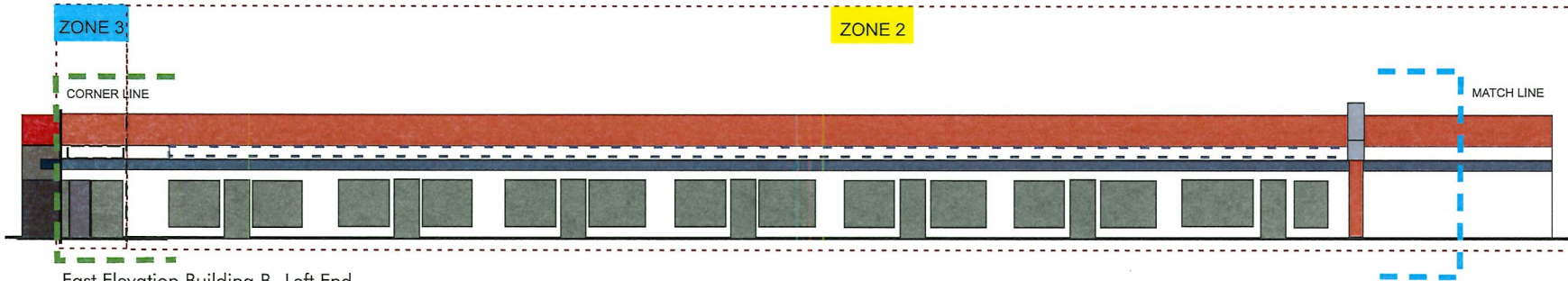


North Elevation Building A - Left End  
 Scale 1/16" = 1' 0

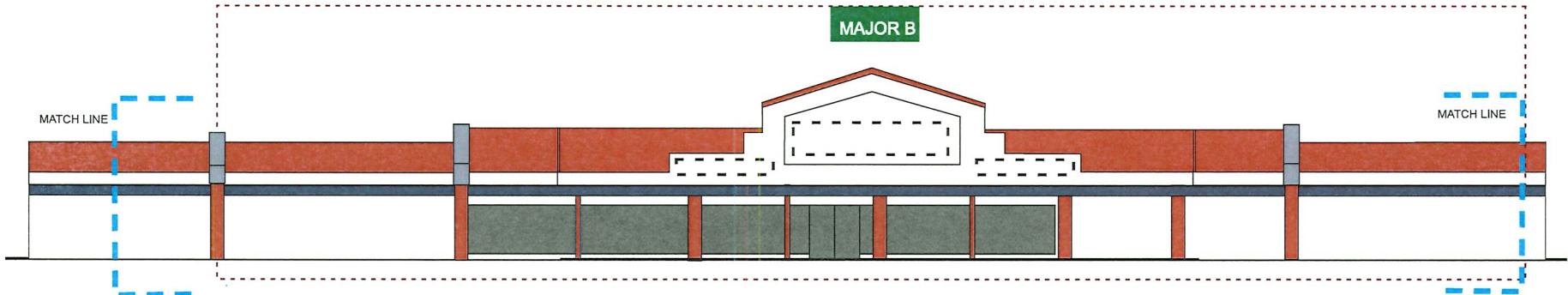


North Elevation Building A - Right End  
 Scale 1/16" = 1' 0

DENOTES SIGNABLE AREAS

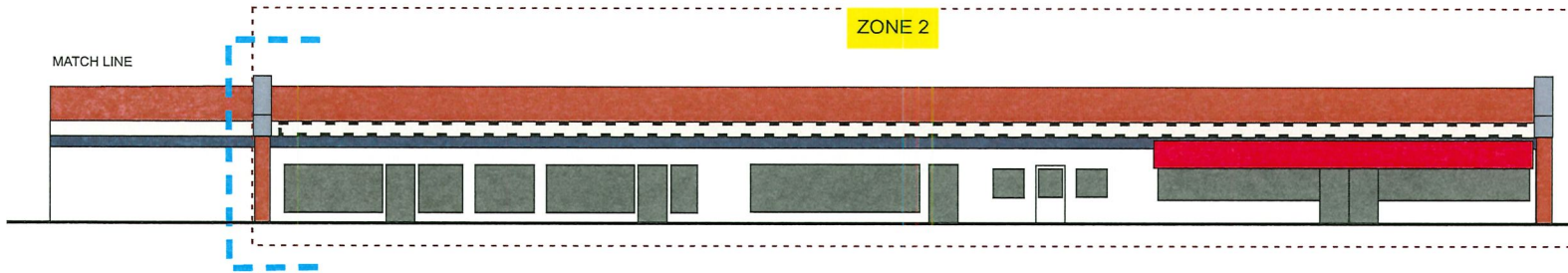


East Elevation Building B - Left End  
Scale 1/16" = 1'0

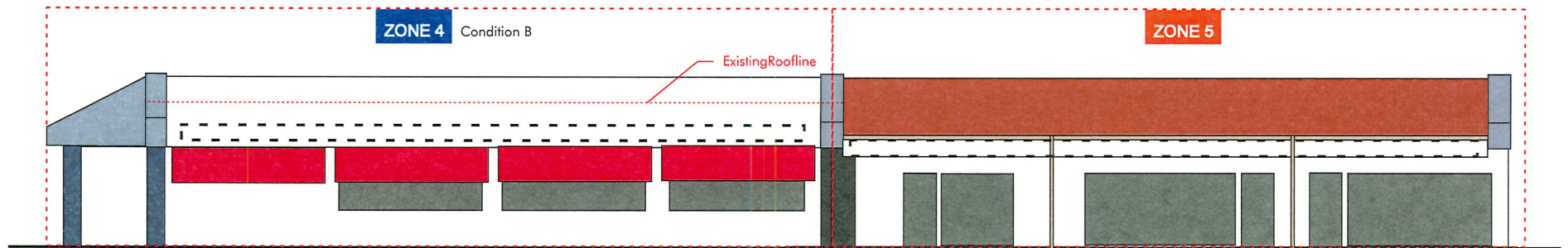


East Elevation Building B - Center  
Scale 1/16" = 1'0

 DENOTES SIGNABLE AREAS



East Elevation Building B - Right End  
Scale 1/16" = 1'0

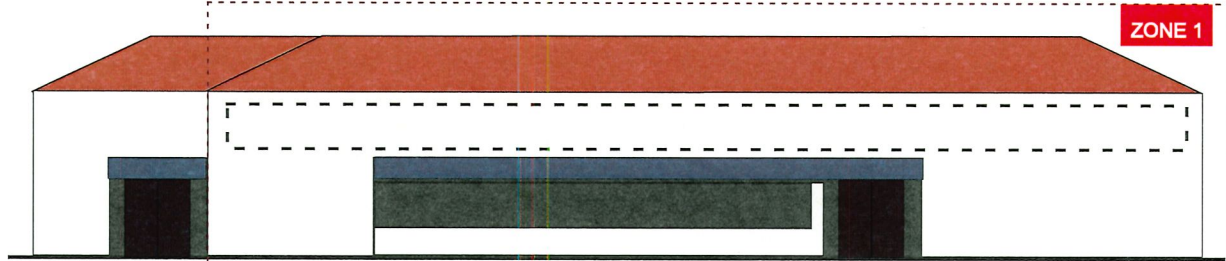


North Elevation - Building B  
Scale 3/32" = 1'0

 DENOTES SIGNABLE AREAS



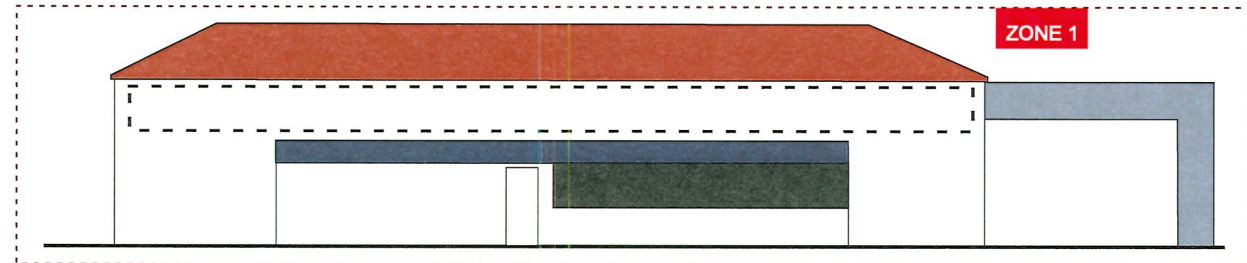
South Elevation - Building C  
Scale 3/32" = 1'0



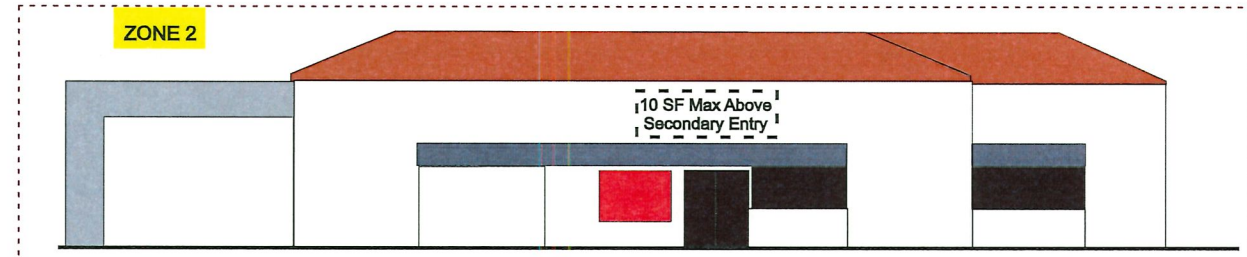
North Elevation - Building C  
Scale 3/32" = 1'0



East Elevation - Building C  
Scale 3/32" = 1'0

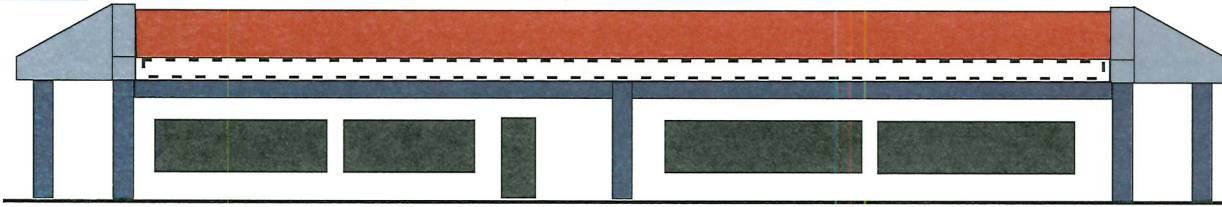


West Elevation - Building C  
Scale 3/32" = 1'0



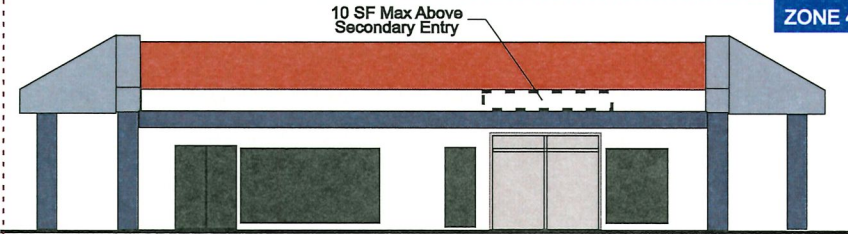
DENOTES SIGNABLE AREAS

**ZONE 4** Condition A



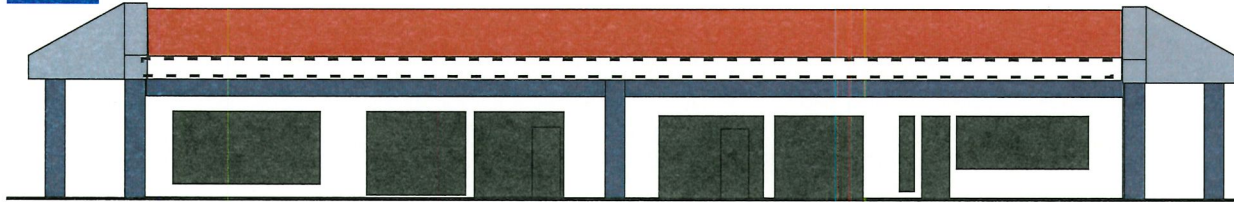
North Elevation - Building D  
Scale 3/32" = 1' 0"

**ZONE 4**



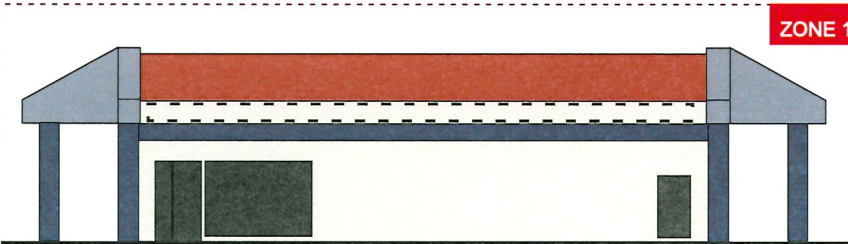
West Elevation - Building D  
Scale 3/32" = 1' 0"

**ZONE 4** Condition A



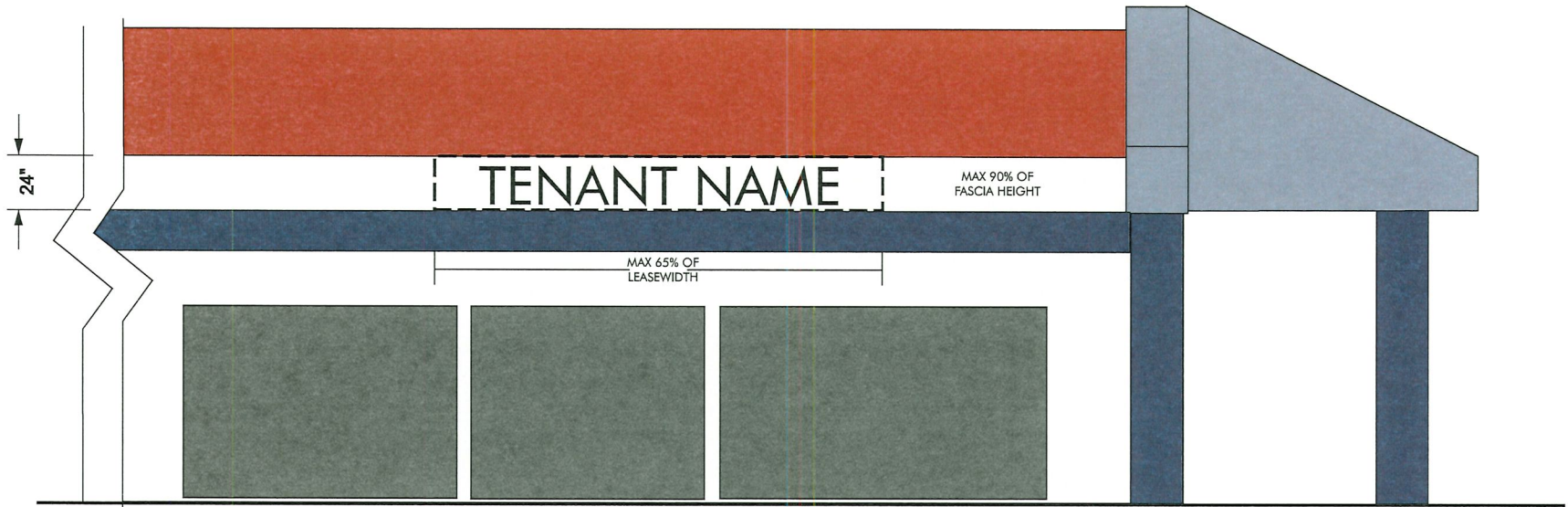
South Elevation - Building D  
Scale 3/32" = 1' 0"

**ZONE 1**



East Elevation - Building D  
Scale 3/32" = 1' 0"

 DENOTES SIGNABLE AREAS

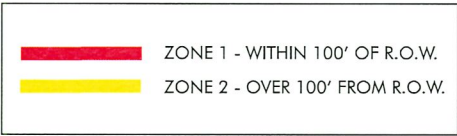


Enlarged Elevation - Zones 1 & 2 - Typical In-Line Tenant  
Scale 1/4" = 1'0

Type 1 Facelit Channel letters - See table for size restrictions.

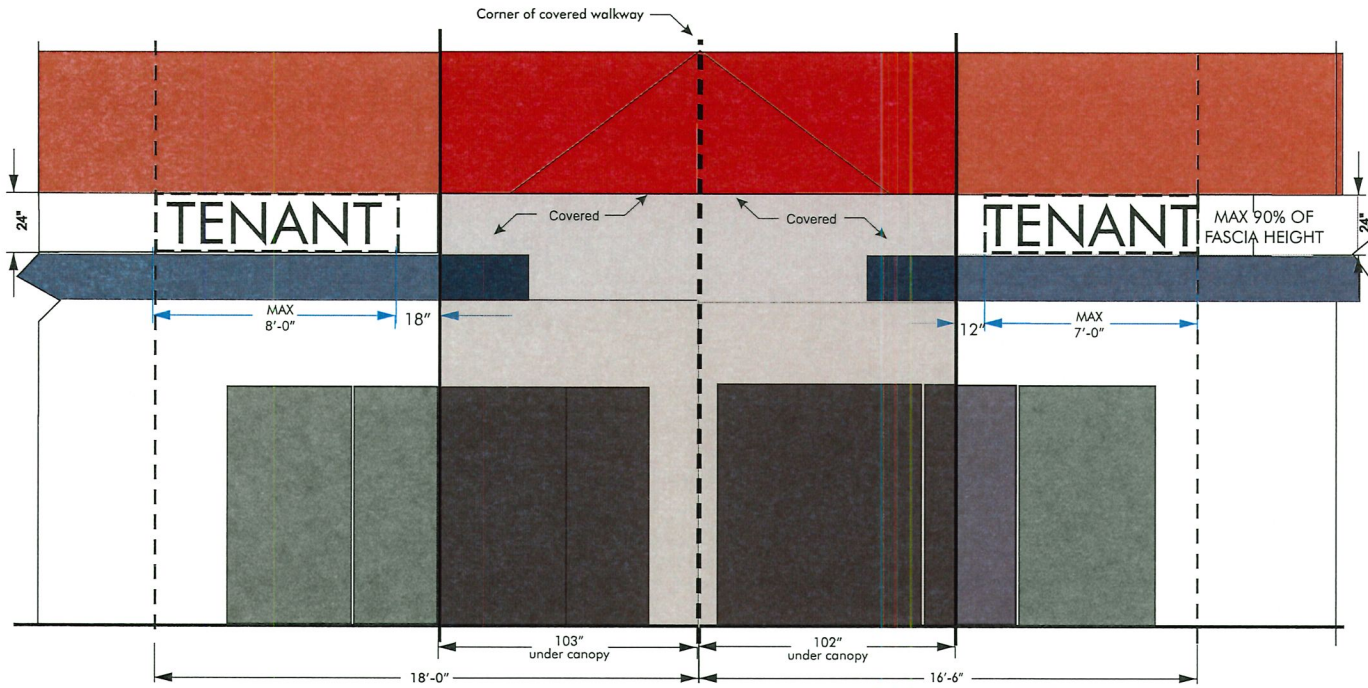


Existing Condition



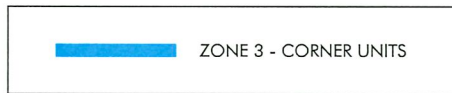
SIGNAGE ALLOWANCE CHART						
	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	MAJOR
MAX SF SIGNAGE ALLOWED/ FOOT OF STOREFRONT WIDTH PER TENANT	1SF	1SF	1SF	1SF	1SF	1SF
MAX ALLOWED SIGN AREA IN AGGREGATE PER TENANT	50SF	70SF	12.6sf /14.4sf	50% of Primary (or 10 sf at entry)	21SF	1 SF/LF Bldg frontage up to 200sf max
MAX WIDTH OF A SIGN AS % OF STOREFRONT WIDTH	65%	65%	84" / 96"	65%	65%	65%
MAX HEIGHT OF A SIGN AS A % OF VERTICAL FASCIA HEIGHT	90%	90%	90%	80%	90%	90%
MAX LETTER HEIGHT	21 1/2"	21 1/2"	21 1/2"	21 1/2" or 19 3/4" To match primary height	19 3/4"	N/A



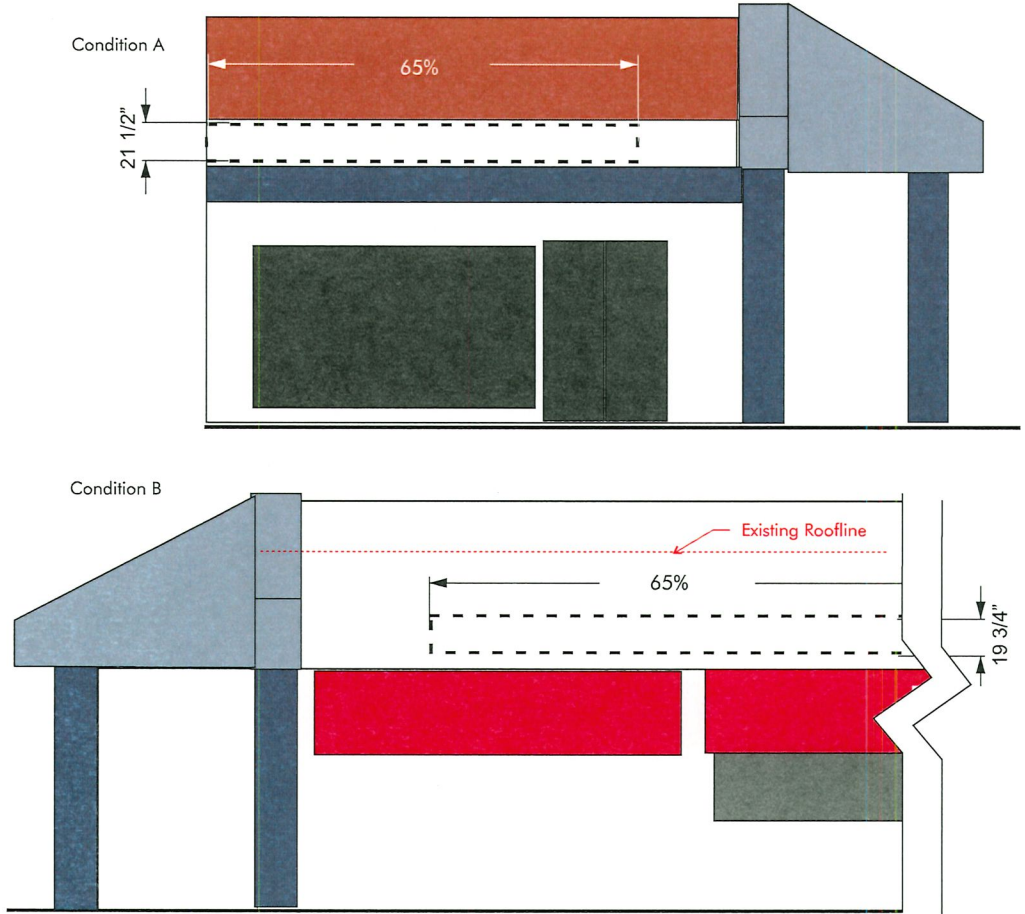


Enlarged Elevation - Zone 3 - Corner Tenant Units 5637 & 5639 (Typical)  
Scale 1/4" = 1' 0

Type 1 Facelit Channel letters.  
See table for size restrictions.



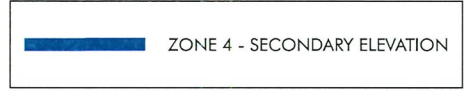
SIGNAGE ALLOWANCE CHART						
	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	MAJOR
MAX SF SIGNAGE ALLOWED/ FOOT OF STOREFRONT WIDTH PER TENANT	15F	15F	15F	15F	15F	15F
MAX ALLOWED SIGN AREA IN AGGREGATE PER TENANT	50SF	70SF	12.6sf /14.4sf	50% of Primary (or 10 sf of all signs)	21SF	1 SF/LP Bldg frontage up to 200sf max
MAX WIDTH OF A SIGN AS % OF STOREFRONT WIDTH	65%	65%	84" / 96"	65%	65%	65%
MAX HEIGHT OF A SIGN AS A % OF VERTICAL FASCIA HEIGHT	90%	90%	90%	80%	90%	90%
MAX LETTER HEIGHT	21 1/2"	21 1/2"	21 1/2"	21 1/2" or 19 3/4" To match primary height	19 3/4"	N/A



Enlarged Elevation - Zone 4 -Secondary Elevation (Typical)  
Scale 1/4 = 1' 0

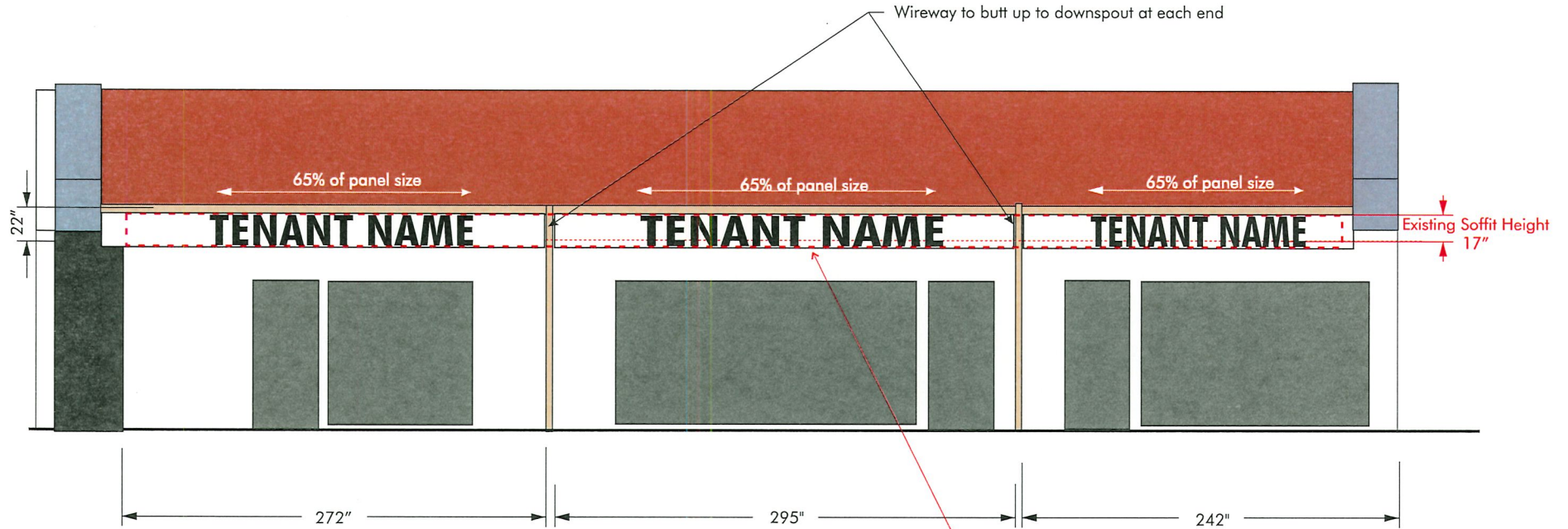
Type 1 Facelit Channel letters.  
Maximum area cannot exceed 50% of primary elevation entitlement.

NOTE: Alternate placement allowed on upper fascia band if signband is not available.



SIGNAGE ALLOWANCE CHART						
	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	MAJOR
MAX SF SIGNAGE ALLOWED/ FOOT OF STOREFRONT WIDTH PER TENANT	15F	15F	15F	15F	15F	15F
MAX ALLOWED SIGN AREA IN AGGREGATE PER TENANT	50SF	70SF	12.6sf / 14.4sf	50% of Primary (or 10 sf at entry)	215F	1 SF/LF Bldg frontage up to 200sf max
MAX WIDTH OF A SIGN AS % OF STOREFRONT WIDTH	65%	65%	84" / 96"	65%	65%	65%
MAX HEIGHT OF A SIGN AS A % OF VERTICAL FASCIA HEIGHT	90%	90%	90%	80%	90%	90%
MAX LETTER HEIGHT	21 1/2"	21 1/2"	21 1/2"	21 1/2" or 19 3/4" To match primary height	19 3/4"	N/A

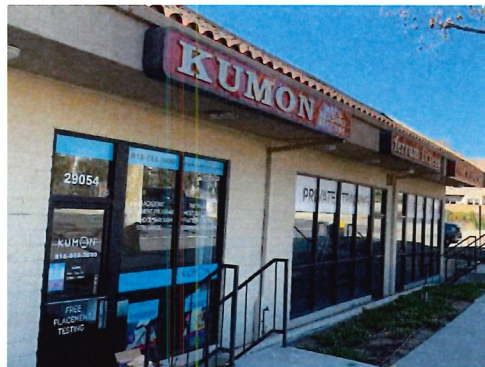
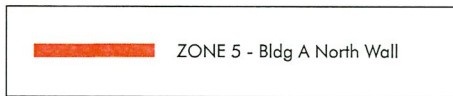




Enlarged Elevation - Zone 5 - Building A North Wall (Typical)  
Scale 3/16" = 1' 0"

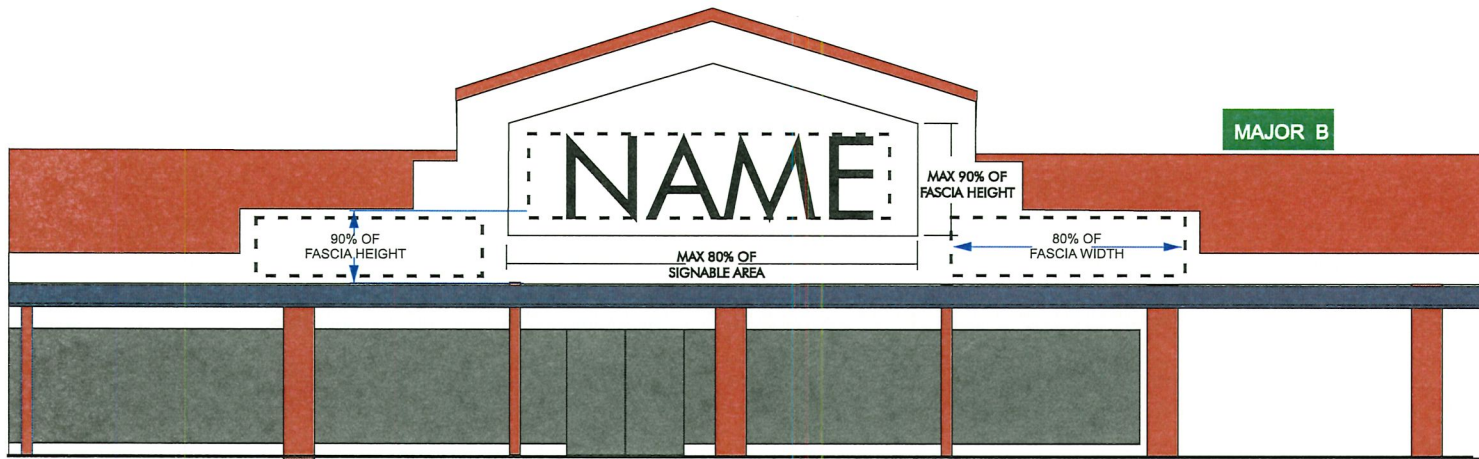
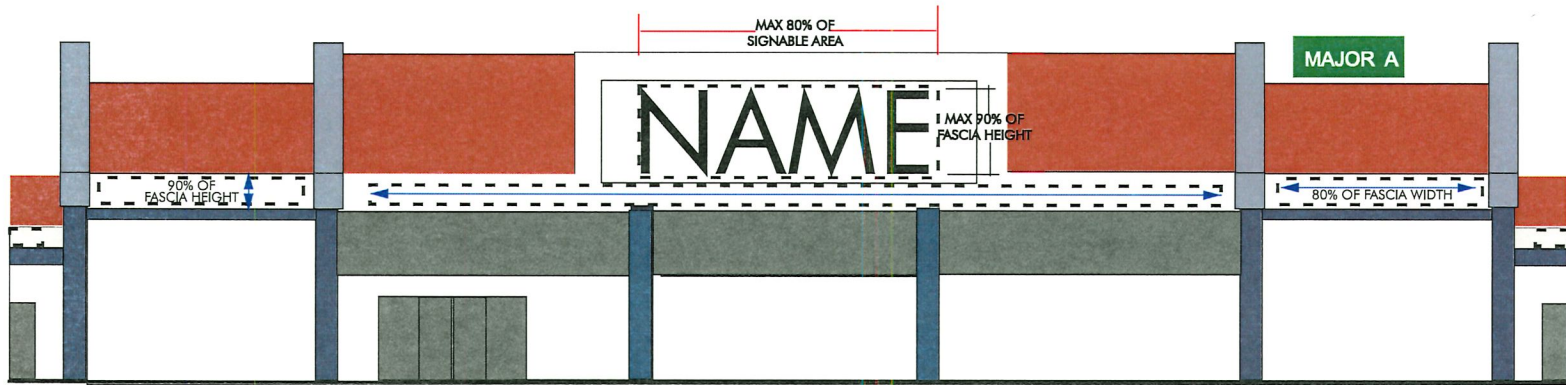
Extended 22" Tall Soffit Wireway Panel to butt up end to end with existing downspouts with Type 2 Facelit Channel letters.

Maximum copy area: Letter/Logo height 19 3/4", length not to exceed 65% of panel length



NOTE: If tenant occupies more than one suite, sign is to appear in center panel position

	SIGNAGE ALLOWANCE CHART					
	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	MAJOR
MAX SF SIGNAGE ALLOWED/ FOOT OF STOREFRONT WIDTH PER TENANT	15F	15F	15F	15F	15F	15F
MAX ALLOWED SIGN AREA IN AGGREGATE PER TENANT	50SF	70SF	12.6sf / 14.4sf	50% of Primary (or 10 sf at entry)	21SF	1 SF/LF Bldg frontage up to 200sf max
MAX WIDTH OF A SIGN AS % OF STOREFRONT WIDTH	65%	65%	84" / 96"	65%	65%	65%
MAX HEIGHT OF A SIGN AS A % OF VERTICAL FASCIA HEIGHT	90%	90%	90%	80%	90%	90%
MAX LETTER HEIGHT	21 1/2"	21 1/2"	21 1/2"	21 1/2" or 19 3/4" To match primary height	19 3/4"	N/A



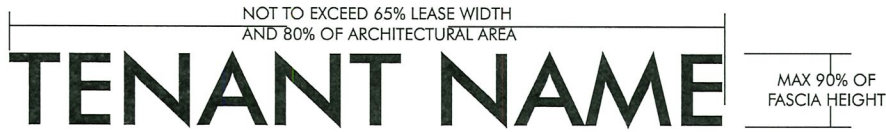
Enlarged Elevation - Major Tenant Zone (Typical)  
Scale 1/8" = 1'0"

Type 1 Facelit Channel letters, cannot exceed 90% of fascia height or 80% of fascia width.



SIGNAGE ALLOWANCE CHART						
	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	MAJOR
MAX SF SIGNAGE ALLOWED/ FOOT OF STOREFRONT WIDTH PER TENANT	15F	15F	15F	15F	15F	15F
MAX ALLOWED SIGN AREA IN AGGREGATE PER TENANT	50SF	70SF	12.6sf / 14.4sf	50% of Primary (or 10 sf of entry)	21SF	1 SF/LF Bldg frontage up to 200sf max
MAX WIDTH OF A SIGN AS % OF STOREFRONT WIDTH	65%	65%	84" / 96"	65%	65%	65%
MAX HEIGHT OF A SIGN AS A % OF VERTICAL FASCIA HEIGHT	90%	90%	90%	80%	90%	90%
MAX LETTER HEIGHT	21 1/2"	21 1/2"	21 1/2"	21 1/2" or 19 3/4" to match primary height	19 3/4"	N/A

WALL SIGN DETAIL



Typical Sign Detail  
Scale 1/4" = 1' 0"

5" deep fabricated aluminum plex faced channel letters with LED internal illumination.  
Max sign area is 1 sf per lineal foot of store frontage. Font styles shall be subject to landlord approval.

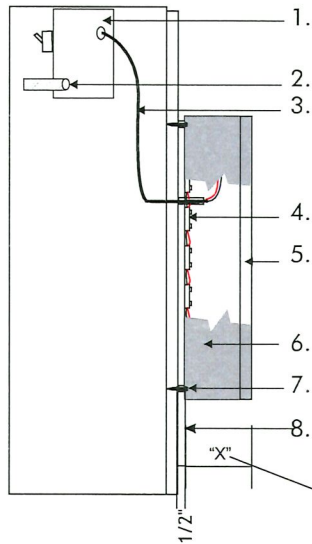
See site plan and enlarged elevations for zone locations and size entitlements

APPROVED PROJECT COLORS	
1	Black
2	#2108 Green
3	#2050 Blue
4	#7328 White
5	#2793 Red



Signs to have uniform face, return and trimcap colors

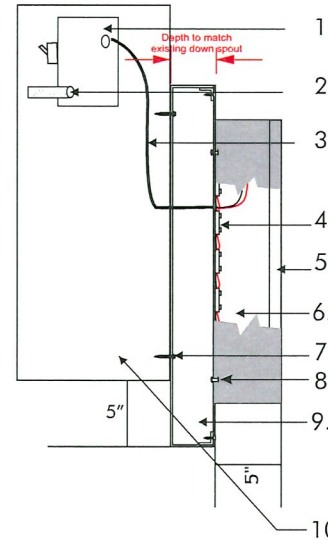
ALL PAINT TO BE :  
MATTHEWS SATIN ACRYLIC POLYURETHANE  
(or equivalent)



Sign Type 1 - Wall-Mounted Channel Letters Section  
Not to Scale

1. Remote Transformer With Disconnect Switch
2. Incoming Dedicated Primary Circuit (By Others)
3. 14g Low Voltage cable
4. LED Modules (NOTE: neutral white 4000K)
5. 3/16" Plexiglas face with 3/4" trim cap and screws (painted to match letter face)
6. 5" Max. Deep Aluminum Channel Letter painted to match letter face
7. #10 Screws and shields with 1/2" spacers painted to match storefront (TYP 3 Per Letter)
8. Existing Storefront

NOTE: Max letter depth for in-line tenants shall be 5"  
Max letter depth for major tenants shall be 8"

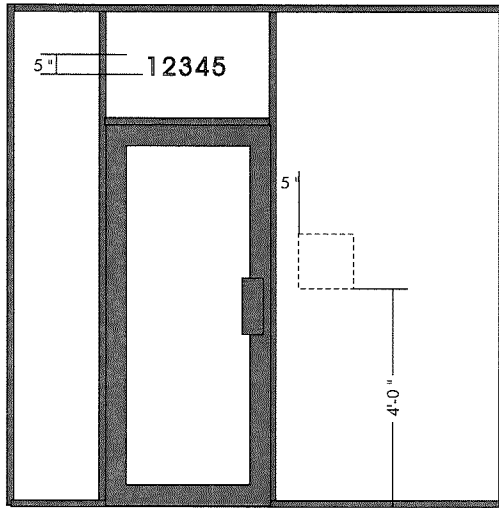


Sign Type 2 - Channel Letters on Wireway Section  
Not to Scale

1. Remote Transformer With Disconnect Switch
2. Incoming Dedicated Primary Circuit (By Others)
3. 14g Low Voltage cable
4. LED Modules (NOTE: neutral white 4000K)
5. 3/16" Plexiglas face with 3/4" trim cap and screws (painted to match letter face).
6. 5" Max. Deep Aluminum Channel Letter painted to match letter face.
7. #10 Screws and shields, flush mount to wall
8. Pop rivet attachment to wireway (Typ (3) per letter)
9. Fabricated aluminum backboard wireway with removeable face panel, paint to match soffit
10. Existing soffit wall



WINDOW & SERVICE DOOR SIGNAGE

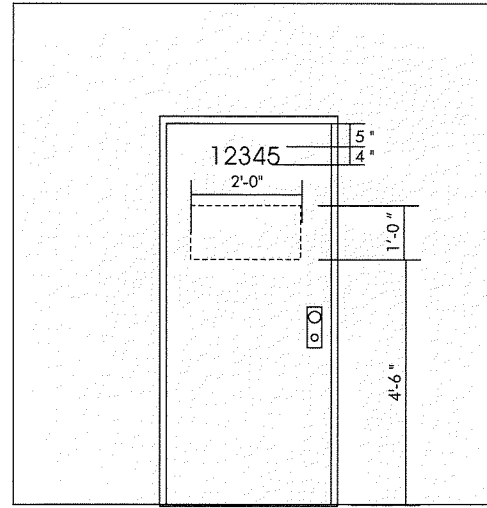


SUITE ENTRY SIGNAGE

Addresses to be first surface 3M white vinyl letters on glass entry door.

Tenant information signage shall be placed on front of glass and conform to the following requirements:

- a. Letters shall be 3M white vinyl.
- b. Letters shall be computer cut and spaced.
- c. Max area is 1 S.F.
- d. Copy may include hours, emergency phone number, etc
- e. Location on side glass 5" from nearest mullion, 48" AFF



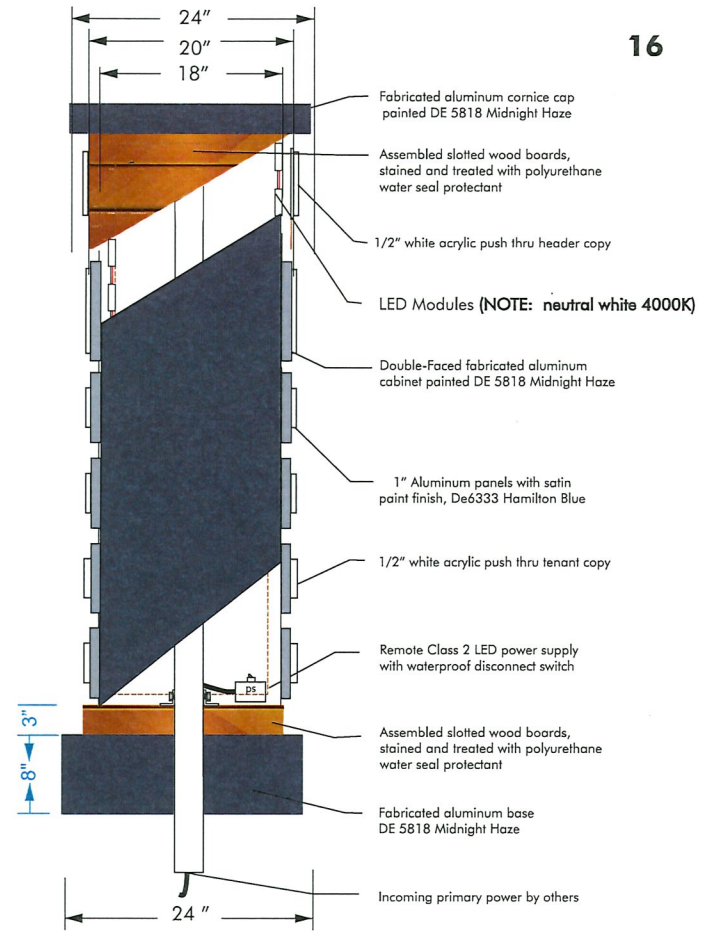
SERVICE DOOR SIGNAGE

- a. Letters shall be 3M black vinyl.
- b. Letters shall be computer cut and spaced.
- c. Max area is 2 S.F.
- d. Copy may include store name only and may be in tenant logotype if it conforms to be size allowance.

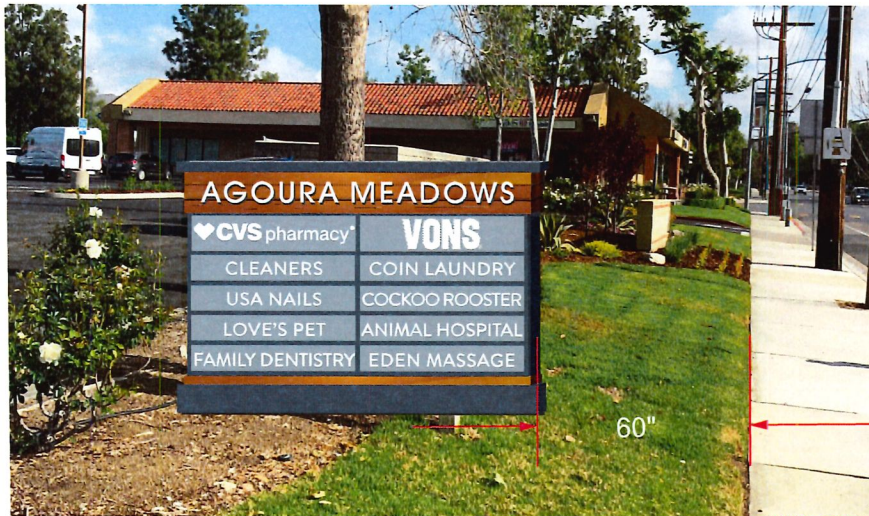


Monument Sign M1  
Scale 1" = 1' 0"

NOTE: Header font - Brandon Grotesque  
 Tenant font: Gotham Bold  
 Trademark logo/workmarks shall be allowed



Section Detail  
Scale 1" = 1' 0"

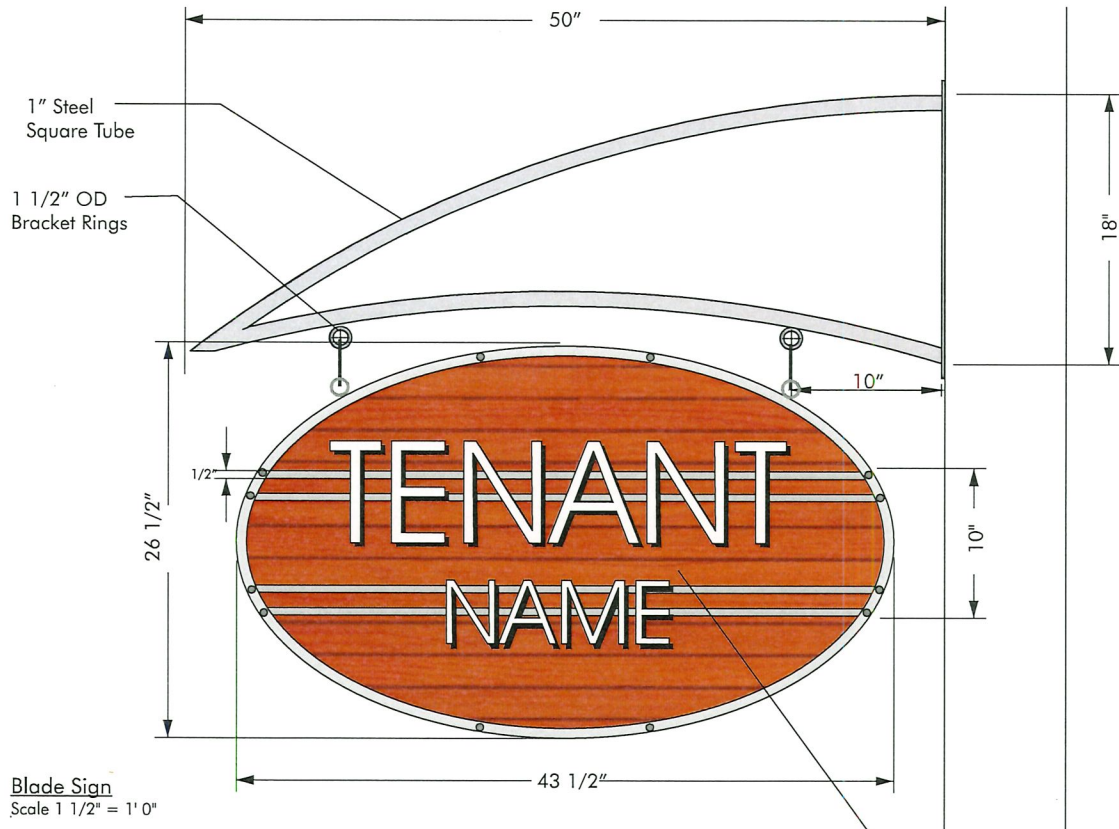


Monument Sign M1.1 Kanan Road - Street View  
Not To Scale

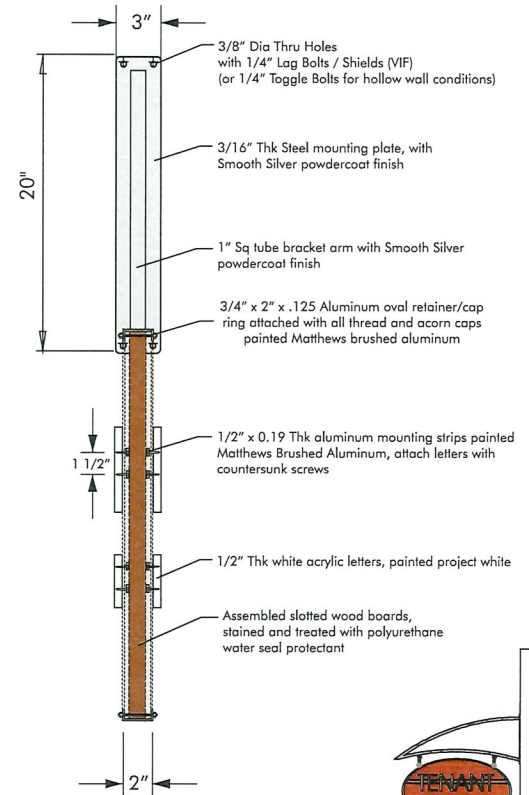


Monument Sign M1.2 Thousand Oaks Blvd - Street View  
Not To Scale

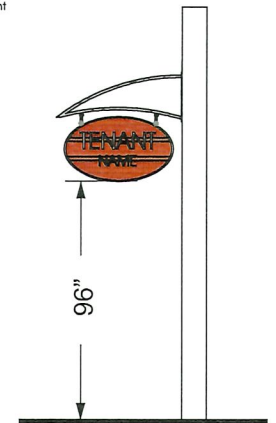




**Blade Sign**  
Scale 1 1/2" = 1' 0"



**Elevation Detail**  
Scale 1/4" = 1' 0"



NOTE:  
Graphic area not to exceed 75% of panel

Doublesided 2" thk slatted wood blade sign with interchangeable copy

- Aluminum mounting strips and oval retainer ring painted Matthews brushed aluminum
- 1/2" thick pin mount acrylic letters painted DE W340 Whisper, stud mounted to strips with countersunk screws.
- All-thread bolt thru rods with acorn nut finish caps painted Matthews brushed aluminum. (12 typ)
- Fabricated steel cross arm bracket with smooth silver powdercoat finish,

Tenant panels to be fabricated and installed by landlord's designated vendor at tenant expense.

## **ATTACHMENT 4**

### **Photographs of the Shopping Center**

**SIGN PROGRAM CASE NO. SIGN-2021-0016  
AGOURA MEADOWS**

































