

PLANNING DIVISION

DATE: December 16, 2021

APPLICANT: Clive Dawson
28925 Pacific Coast Highway
Malibu, CA 90265

CASE NO: CUP-01878-2021, SPR-01879-2021, OAK-01880-2021

LOCATION: 5856 Fairview Place
(AIN 2055-027-072)

REQUEST: Request for 1) approval of a Conditional Use Permit and Site Plan/Architectural Review Permit to add 1,382 square feet to an existing single-family residence, convert the existing 438-square-foot garage into habitable space, and add 789 square feet for a new attached three-car garage located on a hillside lot, 2) approval of an Oak Tree Permit to encroach into the dripline of two oak trees, and 3) to make a finding of exemption under the California Environmental Quality Act.

ENVIRONMENTAL DETERMINATION: Exempt from the California Environmental Quality Act (CEQA) per §15301 (Existing Facilities) of the CEQA Guidelines.

RECOMMENDATION: Staff recommends the Planning Commission approve Conditional Use Permit Case No. 01878-2021, Site Plan/Architectural Review Case No. SPR-01879-2021, and Oak Tree Permit Case No. OAK-01880-2021 subject to conditions, based on the findings of the attached Draft Resolution.

ZONING DESIGNATION: Residential Very Low Density – Old Agoura Design Overlay – Equestrian Overlay Districts (RV-OA-EQ)

GENERAL PLAN DESIGNATION: Residential Very Low Density (RV)

including the subject lot that is set below street level (Fairview Place) and slopes downward towards the east (rear) property line at an average slope of 17.8 percent. As the lot consists of an average slope of ten percent or steeper, the application is subject to the Hillside Ordinance and design standards.

The lot is irregularly-shaped and has been previously developed with a single-family residence sited midway at the base of the hill from the street, an accessory building at the rear yard closest to the east property line, and a concrete-horseshoe-shaped driveway with two points of access. The lot also contains a 25-foot-wide easement parallel to the front (west) property line for Southern California Gas Company. Additionally, parallel to the north property line, five feet of the 25-foot-wide Southern California Gas Company easement encroaches into the property. A flood hazard area was recorded with Los Angeles County (PM 187-023) which begins on the northwest corner of the lot and undulates downward toward the southeast corner.

Project Description

The proposed scope of work is as follows:

Building Construction

• Existing residence (excluding garage)	2,477 sq. ft.
• Proposed additions: Master Bedroom/Bathroom	73 sq. ft.
▪ Utility/Storage	233 sq. ft.
▪ Entry	136 sq. ft.
▪ Den/Library/Studio	940 sq. ft.
• Proposed conversion of existing garage	<u>438 sq. ft.</u>
	Total Residence: 4,297 sq. ft.
• New three-car garage (attached)	789 sq. ft.

Site Improvements

- New front patio and rear decks;
- New 5-foot-wide cart path;
- New pedestrian walkway from street;
- New split-rail fencing;
- New retaining walls; and
- Landscaping.

Legislative Review

In the Agoura Hills Municipal Code (AHMC) §9223.8, a threshold¹ is provided that subjects Site Plan Reviews to administrative or Director-level review, however, the scope of the Project exceeds the thresholds and is, therefore, considered a substantial remodel. Substantial remodels, as stated in §9223.9, are subject to review and approval by the Planning Commission.

¹ AHMC §9223.8 - Where the gross floor area of the residence as originally constructed exceeds thirty-six hundred (3,600) square feet: additions that do not exceed thirty (30) percent of the original gross floor area of the residence.

II. STAFF ANALYSIS

The proposed structure is subject to the design and development standards set forth under the AHMC §9221 (RV - Zoning) and §9652 (Hillside Development). Table 1 provides a summary and indicates the proposed Project meets those standards.

Table 1 – Zoning Conformance				
Development Requirement	Allowed/Req'd	Existing	Proposed	Comments
LOT DIMENSIONS (sq. ft.)				
Size	43,560 sq. ft. min.	65,759 sq. ft.	65,759 sq. ft.	Complies
Lot Width		205 ft. avg.	205 ft. avg.	Complies
Lot Depth		379 ft. avg.	379 ft. avg.	Complies
BUILDING AREA (sq. ft.)				
First Floor		2,277 sq. ft.	4,297 sq. ft.	Complies
Attached Garage ²		438 sq. ft.	789 sq. ft.	Complies
Accessory Building		1,047 sq. ft.	1,047 sq. ft.	Complies
Total Building		3,962 sq. ft.	6,133 sq. ft.	Complies
SETBACKS (ft.)				
Front Yard (west) to Easement	25 ft. min.	62.71 ft.	25 ft.	Complies
<i>To Property Line</i>		82.71 ft.	50 ft.	Complies
Rear Yard (east)	25 ft. min.	172 ft.	172 ft.	No Change
Side Yard (north) to Easement	12 ft. min.	66.92 ft.	46.92 ft.	Complies
<i>To Property Line</i>		71.92 ft.	51.92 ft.	Complies
Side Yard (south)	12 ft. min.	40.42 ft.	23.58 ft.	Complies
LOT COVERAGE (%)	25% max.	18%	22%	Complies
Main Structure			4,297 sq. ft. / 6.5%	
Garage			789 sq. ft. / 1.1%	
Accessory Building			1,047 sq. ft. / 1.5%	
Patios/Decks			2,090 sq. ft. / 3.1%	
Driveways			3,680 sq. ft. / 5.5%	
Hardscape ³			2,549 sq. ft. / 3.8%	
OPEN SPACE (%)	47.5% min.	82%	78%	Complies
HEIGHT	2 stories or 35 ft. whichever is less	14 ft.	14 ft. ⁴	Complies

² AHMC §9654.6 – All single-family dwellings are required to provide a minimum of two covered parking spaces within a garage and minimum interior clearance of 10 ft. by 20 ft. for each space provided (§9654.3(C)).

³ Hardscape calculation includes stairs/steps, retaining walls, and paved areas exclusive of patios.

⁴ AHMC §9607.1(B) limits the heights of structures located on a hillside.

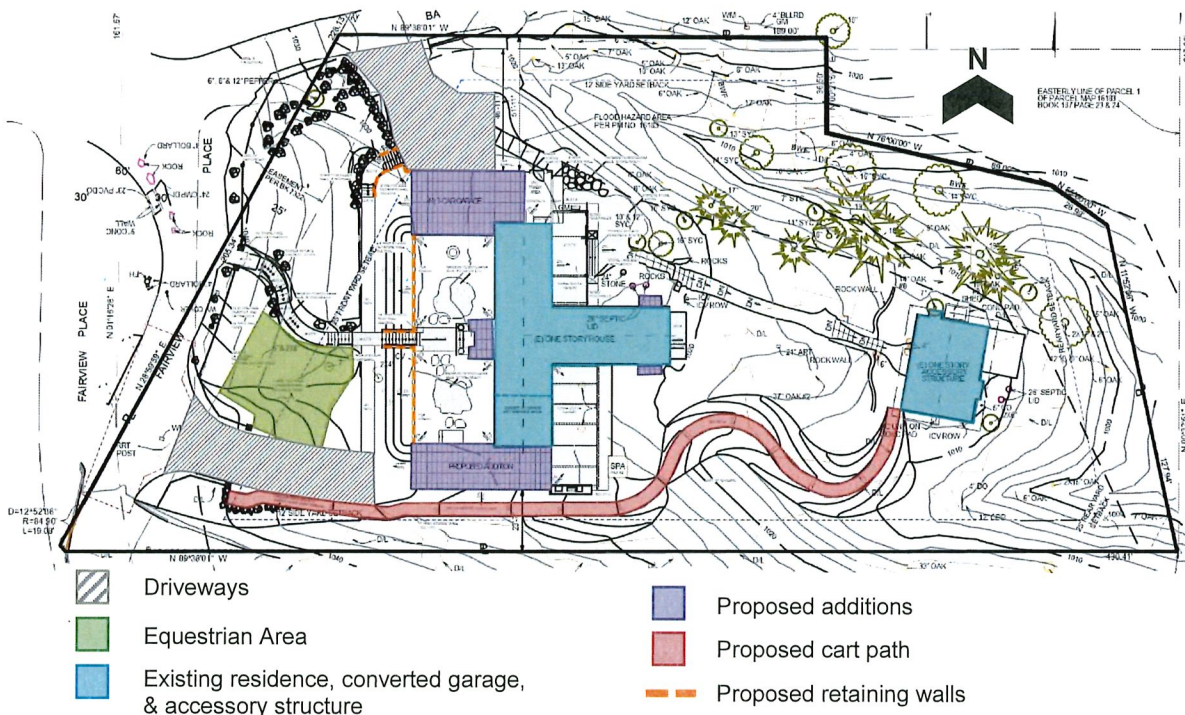
A. Site Plan and Buildings

The existing one-story, single-family residence is located at the base of a hill that slopes down towards the east. The bulk of the proposed additions will be located at the front of the house and extend the structure towards the front property line, while still maintaining the required setbacks. The additions will form wing-like structures on the north and south ends of the existing "T" shaped residence.

On the north side of the residence, the proposed addition will consist of the new 789-square-foot, attached three-car garage. The proposed garage doors will face north, towards the existing 25-foot-wide driveway apron and motor court. As such, the driveway will also be improved and resurfaced with concrete to accommodate vehicles. On the south side of the residence, the existing 438-square-foot attached two-car garage will be converted into habitable space for additional living room area. The subject application also includes a proposed addition of 940 sq. ft. for a den/library, and studio, forming the new south wing of the residence. The new size of the single-family residence, excluding the proposed garage, will be 4,297 sq. ft.

While the rear yard setback will remain unchanged, the front yard setback will be reduced. The front yard setback was analyzed using the distance from both the easement line and the property line to the structure, resulting in 25 feet (ft.) and 50 ft., respectively. Both are consistent with the requirements of the zoning district. The north side yard setback was

Figure 2 (Annotated Site Plan)



Source: Project Plans, August 2021

also analyzed against the easement line and the property line, and as a result, the setback was reduced to 46.9 ft. and 51.9 ft., respectively. Lastly, the south yard setback will be reduced to 53.5 ft. Although most of the setbacks will be reduced, they will all still be consistent with the requirements of the zoning district, as seen in Table I.

To promote a consistent and compatible design with the neighborhood, the Project was also analyzed against the Old Agoura Design Guidelines (OADG), within the Architectural Design Standards and Guidelines (ADS&G). The ADS&G consists of recommended maximum floor areas on residential lots within the Old Agoura (OA) Overlay District. The main residence, accessory structures, and other roofed structures are all accounted for when calculating the maximum floor area. For a 65,759-square-foot-lot, the maximum recommended floor area of all structures is 5,715 sq. ft. Due to the approximate 18-percent-slope on the lot, a slope factor of 0.97 is applied to the original calculation as dictated by Table 2 of the OADG. Applying the slope factor thereby reduces the maximum floor area to 5,544 sq. ft. The total floor area provided, as it pertains to this project, is 5,443 sq. ft. and accounts for the allowed exemptions⁵ listed in the ADS&G.

The purpose of the RV district is to “minimize grading and visual impacts of developments...” As such, the Zoning Ordinance, in the City’s municipal code, has prescribed a maximum of 25 percent lot coverage for the district. The lot coverage or building site coverage includes the footprints of all structures, including the single-family residence and its additions, the proposed garage addition, and the accessory building. The lot coverage calculation also includes the uncovered decks and patios, stairs/steps, retaining walls, driveways, and walkways with a non-permeable surface (e.g. concrete, asphalt, etc.). The Project provides a 22 percent lot coverage; therefore, it is consistent with the requirement.

B. Architectural Design

The existing one-story-single-family residence is low-profile in design. In keeping with the ADS&G (specifically the OADG), the proposed additions and exterior modifications will continue the low-profile design and incorporate Spanish-style architecture. The proposed additions will feature a low-pitched-gable-terra cotta-concrete roof (3:12), with brown-faux rafter tails. The front door and garage door will be a natural dark oak color, while all other windows and doors will be an aluminum-clad Mediterranean/turquoise-colored frame. The entire exterior of the building, including other exterior walls (i.e.: retaining walls and trash enclosure) will be resurfaced and painted to a smooth white stucco.

The single-family residence will also feature new barbeque amenities on the new terra cotta tiled decks and incorporate the existing spa with the deck design. To conceal unsightly uses, a new trash enclosure is also proposed on the west side of the residence, adjacent to the new garage. The additions will wrap the sides of the uncovered front patio and will feature a pea gravel surface with a mix of stone pavers. The front patio is the terminus of the proposed walkway that undulates upwards to the street. It is composed of concrete steps and stone pavers. The use of natural materials, such as wood and

⁵ The OA Design Guidelines exempts garages up to 690 sq. ft. from the maximum floor area calculation.

stone, and earth-toned colors, such as terra cotta, are in line with the recommendations of the OADG and the ADS&G.

C. Hillside

The Hillside Ordinance and its design standards are applied to properties with average slopes that exceed 10 percent. The purpose of the hillside standards is to encourage minimal grading, protect residents from geologic hazards, and preserve scenic viewsheds. The Project is subject to the hillside design standards as the lot's average slope is approximately 18 percent. As such, the development is subject to an open space requirement of at least 47.5 percent, of which they have provided approximately 78 percent. In addition to open space, the structure and its additions are restricted from exceeding height limitations dictated by AHMC §9607.1(B) which states that properties with a higher average elevation at the front lot line than rear lot line cannot exceed 15 ft. above the average elevation of the front lot line. Though the RV district allows structures up to 35 ft. in height, the Hillside Ordinance adds more restrictions to the heights of buildings. In connection to the proposed project, the average elevation of the site's front lot line is 1,035 ft. and the height of the structure rises to an elevation of 1,041 ft. Therefore, the structure exceeds the elevation of the front lot line by only 6 ft., which is below the 15-foot maximum allowed by the Zoning Ordinance. The overall height of the residence with the proposed additions is approximately 14 ft. from the finished grade to the ridge of the roof.

The additions would result in minimal site grading with an estimated cut of 500 cubic yards (CY) and an import of 180 CY for an estimated fill of 680 CY, primarily along the new pedestrian walkway at the front yard, the new cart path to the rear yard, and along the driveway area for the new garage. The plans and geotechnical report have also been reviewed by the City's Geotechnical Engineering Consultant and found the Project to be acceptable.

D. Equestrian (EQ) Overlay District

The Project site is within the EQ Overlay District, which requires that a horse-keeping area of at least 1,500 sq. ft. be identified on the property for equestrian purposes. Although horse-keeping-related structures and fencing are not required as part of the development of the site, 1,540 sq. ft. of contiguous open space dedicated for future horse-keeping is identified on the southwest corner of the property, adjacent to the new pedestrian walkway.

E. Old Agoura (OA) Design Overlay District

The intent of the OA Design Overlay District is to preserve Old Agoura's unique semi-rural character through the establishment of special standards and design guidelines. The District calls for residential development to embrace an eclectic, rural style that preserves the equestrian nature of the area. The Project is consistent with the District and other neighboring Old Agoura residences through the incorporation of natural materials such

as wood and wood-like materials, stones, permeable pavement, horse-keeping, and preserved open and natural space. The proposed additions and exterior remodel of the residence also meet the OADG in the ADS&G with regard to the maximum recommended square feet.

F. Public Works/Engineering Department

The Public Works/Engineering Department reviewed the civil engineering plans. The applicant has incorporated equestrian fencing along the public right-of-way as requested. Several catch basins for stormwater runoff are proposed along the new retaining wall abutting the front patio, which drains onto a new riprap outfall within the flood hazard area. An erosion control plan was also reviewed and will be implemented along with additional conditions as specified by the City's Public Works Engineer.

G. Landscaping

One of Old Agoura's design goals is to promote a natural environment and maintain the rural character of the area. The existing lot contains heavy natural landscaping on the sides (north and south) and the rear (east). It is composed of mature oak trees and various pines and sycamore trees—all of which are to remain. New landscaping is primarily located within the front yard. As a result, four trees are proposed to be removed to accommodate the new features of the site such as a decomposed granite walkway that crosses the front yard from the south to the north, and new steps with a retaining wall on the north side leading to the driveway. The proposed landscape plan includes a combination of native and non-native, but compatible species, including trees, shrubs, and ground cover that range from low to medium water use. Several of the plants such as the lemon trees and various succulents will be potted within the front patio. West of the front patio's retaining wall, will be two Swan Hill olive trees.

Boulders are proposed in several areas within the front yard and path lights along the new walkways, cart path, and driveway are also proposed. All areas that are disturbed will be hydroseeded. The proposed lighting will not result in exceeding one-foot-candle at the property lines and all are proposed to be below 3000 kelvin. The Los Angeles County Fire Department's Fuel Modification Unit, which addresses wildfire hazards based on vegetation and location, has reviewed the landscaping plans and has provided approval.

H. Oak Trees

The property contains, and is surrounded by, a total of 37 protected oak trees and 28 of the trees are out of range from the proposed additions and site disturbances. All trees will remain and none are proposed to be removed. Minor encroachments into two of the outer driplines of the oak trees are needed specifically for two to four-foot fills for the new cart path. These disturbances are at least 12 ft. from the trunks of the two trees. Additionally, three of the southern bordering oaks' protected zones and outer driplines will be encroached by the cart path and a one-foot wall, but will not require any fill. The encroachments will not require the removal of more than 10 percent of the canopy or root

system of the total oak trees on and off-site. The City's Oak Tree Consultant has reviewed the report and has issued conditions of approval with mitigation measures. Certification from the property owner's Oak Tree Arborist will be required prior to the final inspection.

I. General Plan Consistency

Staff finds the Project will be consistent with the following applicable General Plan goals and policies:

Goal LU-7: Livable and Quality Neighborhoods. Neighborhoods that provide a variety of housing types, densities, and design, and mix of uses and services that support the needs of their residents.

- Policy LU-7.1 Neighborhood Conservation. Maintain the uses, densities, character, amenities, and quality of Agoura Hills' residential neighborhoods, recognizing their contribution to the City's identity, economic value, and quality of life for residents.
- Policy LU-7.2 Housing Character and Design. Require that new and renovated housing within existing single- and multi-family neighborhoods be located and designed to maintain their distinguishing characteristics and qualities, including prevailing lot sizes; building form, scale, massing, and relationship to street frontages; architectural design; landscape; property setbacks; and comparable elements. Continue to implement the City's Architectural Design Standards and Guidelines to ensure that residential units are designed to sustain the high level of architectural design quality and the character of the existing landforms that characterize the Agoura Hills neighborhoods, in consideration of the following principles as identified in the City Architectural Design Standards and Guidelines:
 - Harmony with the natural landforms and native vegetation
 - Response to the local climate (through proper building orientation, appropriate glazing, use of overhangs, shading devices, native vegetation, etc.)
 - Reflection of the highest standards of adjacent buildings and the neighborhood style[s], proportions, colors, and materials.

Goal LU-8 Residential Very Low- and Residential Low-Density Neighborhoods (Old Agoura). Residential neighborhoods containing very low-and low-density housing reflecting Agoura Hills' history and designed to respect their environmental setting.

- Policy LU-8.1 Neighborhood Identity. Promote and maintain the integrity of Old Agoura residential neighborhoods for their low-density large estates, rustic character, non-urban infrastructure, and keeping of horses and other farm animals.
- Policy LU-8.2 Development Compatibility with Community Character. Require that renovation of existing and construction of new housing and property improvements respect the characteristics that distinguish Old Agoura, including its topography,

parcel sizes, housing scale and form, non-urban infrastructure, and some streetscapes (no sidewalks, curbs and gutters, and street lighting), and equestrian trails.

- Policy LU-8.3 Integration of Development with Natural Setting. Require that buildings be located, scaled, and designed to reflect the existing terrain and minimize grading to the maximum extent possible. Structures shall be integrated into the hillsides, taking care to preserve the viewsheds and natural ridgelines.
- Policy LU-8.4 Property Setbacks. Encourage variable setbacks to enhance streetscape character and increase building separation.
- Policy LU-8.5 Building Materials and Colors. Limit exterior building materials to those that have the appearance of materials that are characteristic of rural environments.
- Policy LU-8.6 Landscaping. Require that on-site landscapes transition smoothly to the natural undeveloped open areas.
- Policy LU-8.7 Open Spaces. Encourage the provision of open space areas suitable for horses or other farm animals, thereby enhancing the equestrian and rural character of the area.

Goal LU-9 Single-Family Neighborhoods. Maintenance of the identity, scale, and character of the City's distinct residential neighborhoods.

- Policy LU-9.1 Neighborhood Identity. Maintain the distinguishing characteristics that differentiate by topography, parcel size, housing scale and form, and public streetscapes in Agoura Hills' single-family neighborhoods.

Analysis: The Project's additions and exterior remodel are consistent with Goals LU-7, LU-8 and LU-9, and their policies. The Project will maintain the neighborhood's diverse architectural design. The design will maintain privacy for all adjacent neighbors of the residence by providing more than the required minimum setbacks for the zoning district. Site grading will be minimal with minimal fill as it aims to mimic the natural grade and slope all while incorporating features such as a pedestrian walkway from the right-of-way and a permeable cart path for ease of access to the rear. A combination of native and non-native, but compatible vegetation species will be incorporated into the landscape.

The Project incorporates OADG by using natural and natural-appearing materials. The exterior remodel of the existing residence features an open patio and decks, Spanish-style architecture and materials, and an overall low-profile structure to minimize mass and visual disturbance for the hillside. The development is designed to maintain the identity of the neighborhood by also incorporating and designating a horse-keeping area.

III. FINDINGS

A. Site Plan Review: AHMC §9677.5

Finding A. The proposed use is consistent with the objectives and provisions of Article IX (Zoning) of the Agoura Hills Municipal Code and the purposes of the land use district in which the use is located.

Analysis: The RV zoning district allows for the development and modification of single-family residences. The Project meets the City's minimum development standards for the zoning district concerning lot coverage, lot size, building height as it applies to the zoning district and hillside areas, and the number of stories, setbacks, and all other applicable development standards, including other Hillside requirements. The Project proposes to convert the two-car garage into habitable space and replace it with a three-car garage that is still consistent with the parking requirements for single-family residences. It meets the architectural design standards as described in the OA Design Overlay District and designates horse-keeping space as required by the EQ Overlay District. **The Project complies with the finding.**

Finding B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare.

Analysis: The proposed use is and will remain a single-family residence. The existing residence is on a legally created lot. Existing access on and off the lot is through two driveways off Fairview Place and Balkins Drive; both will be maintained and improved to meet Fire Department access standards. No construction is proposed within the designated flood hazard area and the adjacent driveway will be resurfaced as concrete to accommodate vehicles. The proposed fencing along the street is open to ensure visibility of traffic while exiting from the lot. The additions to the residence will not encroach into the required setbacks and will allow adjacent properties to have a clear visual of the street from their driveways. The proposed landscaping and its location were reviewed and approved by the Los Angeles County Fire Department's Fuel Modification Unit and will not be detrimental to public health. Geological and geotechnical studies have been reviewed by the City Geotechnical consultant and found to comply with applicable codes, guidelines, and standards of practice. **The Project complies with the finding.**

Finding C. The proposed use shall not conflict with the character and design of the buildings and open space in the surrounding area.

Analysis: The existing single-family residence and its additions and the accessory building is an allowed use within the zoning district. It meets the lot coverage, height, and setbacks prescribed by the zone. Many of the residences in the neighborhood are independently designed and unique in that the floor plans and architectural styles vary. The existing residence and additions, though independently designed, are compatible with the character of the existing neighborhood as most have been designed based on the OADG in the City's ADS&G. The Project will maintain more than the required amount of open space as required by the Hillside design standards. The Project would also

preserve all on-site oak trees. Therefore, the use will not conflict with the character, design, and open space in the surrounding area. **The Project complies with the finding.**

Finding D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance, except for approved variances or modifications.

Analysis: The Project is consistent with the RV zoning district's requirements for building height, lot coverage, lot size, and fence and wall heights as described in *Table 1 – Zoning Conformance*. It will also meet the Hillside area building height requirements as it will not exceed 15 feet above the average elevation of the front lot line. The residence and its proposed additions will also meet the minimum required side, rear, and front yard setbacks. The Project is also consistent with the OA Design Overlay with respect to the maximum recommended floor area and aesthetics. A future horse-keeping area is also designated making the project consistent with the EQ Overlay. The Project does not require any variances or modifications. **The Project complies with the finding.**

Finding E. The proposed use is consistent with the city's general plan.

Analysis: As discussed in Section II. Staff Analysis of the *General Plan Consistency* section of this report, the Project is consistent with Goal LU-7, LU-8, and LU-9 which dictate that house types, densities and design be diversified and which recognizes the contribution of the Project to the City's identity and quality of life for residents. Additionally, the Project complies with the neighborhood identity as the use as a single-family residence would be maintained in a way that will meet the district's development standards. **The Project complies with the finding.**

Finding F. The proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development.

Analysis: The addition to the existing single-family residence is consistent with the existing neighborhood and character as most of the lots have been developed as single-family residences. In conformance with the existing neighborhood, the addition and modifications to the existing single-family residence will contribute to the preservation of the classic and historic styles of rural neighborhoods, by incorporating untouched open space, an adequate horse-keeping area, minimizing visual impacts on hillside lots, and using Spanish-style architecture and materials that are tailored to the current trend. The lot coverage also has not been maximized which allows potential accessory structures, such as barns, to be constructed in the future. **The Project complies with the finding.**

B. Architectural Review. AHMC §9677.7(G)

Finding 1. The proposed development is consistent with the general plan, any specific plans, and any design standards adopted by the city council.

Analysis: As discussed in Section II. Staff Analysis of the *General Plan Consistency* section of this report, the Project is consistent with Goal LU-7, LU-8, and LU-9 which dictate that house types, densities and design be diversified and which recognizes the

contribution of the Project to the City's identity and quality of life for residents. Additionally, the Project is consistent with the OADG within the City's ADS&G, as it pertains to recommended maximum structure size (area), height, roof pitch, eaves, roof textures, site design, color and materials, hardscape design, and fences. The Project also incorporates equestrian fencing within the front yard to promote openness and visibility from the road. **The Project complies with the finding.**

Finding 2. The design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood; and it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and it will not create traffic hazards or congestion.

Analysis: As described in *Section B. Architectural Design* of this report, the existing single-family residence and the proposed additions are below street level and will conform to the required front yard, rear yard, and side yard setbacks. The proposed steps and pathway from the street level down towards the residence will enhance and ensure the lot is properly accessible both by vehicles and pedestrians. The Project will maintain the existing driveways and improve their visibility by repairing the ground cover. The fencing for the driveway along Fairview Place will be setback from the street and right-of-way to allow a safe approach for vehicles entering and exiting, which will also prevent congestion along Fairview. The areas that do not contain a structure will be treated with permitted ground covering and landscaping consistent with the City's design guidelines and zoning ordinance. The majority of the rear yard will be existing-to-remain with the exception of a new cart path to the accessory building. The design and location of the residence and its accessory uses will not interfere with the neighboring properties as all zoning standards, concerning height, setback, and lot coverage will be met. The modifications to the existing residence and lot will not create traffic hazards or congestion and access will meet the Los Angeles County Fire Department's requirements for driveway widths and turnarounds. **The Project complies with the finding.**

Finding 3. The design of the proposed development is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by this ordinance and the general plan of the city.

Analysis: The addition to the existing single-family residence is designed in accordance with the City's Zoning Ordinance and the ADS&G, specifically, the OADG, as described in Section III. Findings *Site Plan Review: AHMC §9677.5* section of this report, Findings C and E. The Project meets all development standards and guidelines and does not require any variances or modifications. The residence and its additions are sited below street level and conform to the hillside requirements for building height such that it will not interfere with the existing views. **The Project complies with the finding.**

Finding 4. The design of the proposed development would provide a desirable environment for its occupants, as well as for its neighbors, and that it is aesthetically of good composition, materials, textures, and colors.

Analysis: As previously described in Section II. Staff Analysis of the *Architectural Design* section of this report and Finding 1 of this section, *B. Architectural Review. AHMC §9677.7(G)*, the architectural design and the proposed colors and materials, as seen in Attachment No. 4 (*Color and Material Board*), are based on the City's ADS&G, specifically the OADG. Spanish-style residences in the OA Overlay District are common, therefore, the remodel of the existing single-family residence would ensure the continuity of a desirable environment. **The Project complies with the finding.**

Finding 5. The proposed use complies with all applicable requirements of the district in which it is located and all other applicable requirements.

Analysis: The addition to the existing single-family residence is consistent with the RV zone requirements, as well as, the OA and EQ Overlay Districts, as described in Finding A and D of section A. *Site Plan Review §9677.5 and Table 1 – Zoning Conformance*. The Project also does not require any variances or modifications. **The Project complies with the finding.**

Finding 6. The overall development of the subject property is designed to ensure the protection of public health, safety, and general welfare.

Analysis: The addition to the existing single-family residence and its exterior modifications are designed per the zoning district's development standards as reviewed by the City's Planning Division. The site modification includes improved access for vehicles and a separate pedestrian entrance from the public right-of-way. In addition to meeting the front yard setbacks, split-rail fencing is proposed around the front yard and the Fairview Place driveway entrance to ensure visibility of traffic from the exiting vehicles. The Project was reviewed by the City's Public Works Department, the City's Building Division, and the City's Geotechnical Consultant, all of whom have provided recommendations and conditions to ensure the protection of the public health, safety, and general welfare. The Project has also received approval from the Los Angeles County Fire Department to develop the lot as proposed. **The Project complies with the finding.**

C. Hillside Areas. AHMC §9652.18(A)

Finding 1. That the burden of proof set forth in section 9652.15(A) has been met by the applicant.

Analysis: The applicant and homeowners have demonstrated that the proposed addition to the existing single-family residence and exterior remodel will not negatively impact the hillside. It is designed to be compatible with the existing flood hazard area and surrounding natural landscaping. The Project aims to continue the minimal visual impact of the residence on the hillside by maintaining a structure height of 14 ft. from the finished grade and not exceeding the height limitations set forth by the hillside ordinance. The applicant has also provided a geotechnical report authored by a licensed geotechnical engineer to evaluate geological features that may affect the safety of the residents and future residents. The proposed design incorporates the geotechnical engineer's findings and recommendations to prevent any threat to life or property. The existing residence is

connected to the needed public services and will continue the use of the onsite septic tank. Lastly, the addition and remodel, as designed, complements the community and neighborhood as it contributes to the community's eclecticism while maintaining the values of open space, rural, and equine-friendly living. **The Project complies with the finding.**

Finding 2. That the proposed development is consistent with the general design and construction standards provided in this section.

Analysis: The proposed addition to the existing residence and new site features are consistent with the Hillside Ordinance and construction standards. The Project will incorporate approximately 78 percent of open space—more than the minimum required for lots sloped at 18 percent. It meets the dwelling density requirements as it is a single-family dwelling on a 1.5-acre lot where the minimum required is 0.66 acres for a single dwelling unit on a 16 to 20 percent slope. The addition will continue the existing height of the residence at approximately 14 feet and will be consistent with the height restrictions of the hillside as it relates to the average elevation of the front lot line. The proposed additions will maintain all required setbacks from the property lines and the easement lines. Drainage and erosion control are also provided as it applies to the proposed site improvements (i.e., retaining wall, cart path, and walkway). Drainage is provided to a proposed riprap located within a natural drainage course on the lot. Minimal fill is proposed and mainly around site improvement areas for stability and safety, while incorporating the natural slope of the lot. Landscaping plans incorporate native and non-native species and maintain the natural landscaping on the lot that includes mature pines, sycamores, and oaks. The building is designed in a way that minimizes massing from a single plane by siting the additions perpendicular to the main portion of the residence, forming wings and creating an overall spur-shaped structure. **The Project complies with the finding.**

D. Conditional Use Permit. AHMC §9673.2(E)

Finding 1. That the proposed use is consistent with the objectives of this article and the purposes of the district in which the use is located.

Analysis: The existing single-family residence and its proposed additions are permitted within the RV district. The additions and the resulting structure will remain consistent with the required setbacks, lot coverage, and building height. It incorporates hillside design standards as described in the hillside findings above (*C. Hillside Areas. AHMC §9652.18(A)*). The Project also designates 1,540 sq. ft. of horse-keeping within the front yard which is consistent with the EQ and OA Design Overlay. **The Project complies with the finding.**

Finding 2. That the proposed use is compatible with the surrounding properties.

Analysis: The Old Agoura neighborhood in which the existing residence is located is composed of large, very-low density residential developments. In keeping with the surrounding properties, the existing residence, additions, and site improvements will

remain a residential use, while contributing to the eclecticism of the surrounding properties by incorporating Spanish-style architectural features and materials (i.e., terra cotta-colored accents, smooth-white stucco, and wrought-iron fencing). Custom-designed homes are prevalent in the hillside community and the surrounding properties. **The Project complies with the finding.**

Finding 3. That the proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare.

Analysis: The proposed additions, exterior remodel, and site improvements to the existing single-family residence are designed to incorporate the natural grade of the lot with the guidance of a licensed Civil Engineering and Geotechnical Engineer. No extensive construction is proposed in the natural drainage course. Fill is needed for the proposed walkway and cart path for stability and safety. It will cause minimal encroachment into two oak trees and will not cause harm to the trees, nor will it be detrimental to the safety of the residents and surrounding properties. The Project's Geotechnical Report was reviewed by the City's Geotechnical Engineering Consultant and has been accepted. The Project will be designed per the California Building Code and the AHMC. Plans have also been reviewed and approved by the Los Angeles County Fire Department for Fuel Modification and water and access. **The Project complies with the finding.**

Finding 4. That the proposed use will comply with each of the applicable provisions of this article, except for approved variances or modifications.

Analysis: The use as a single-family residence with an accessory structure will remain, as it is a permitted use in the RV district. Additionally, the additions will not result in the residence exceeding more than the allowed height for hillside developments. The height of the residence will be six feet higher than the average elevation of the front lot line, which is below the 15-foot maximum allowed, it maintains more than the required amount of open space – 78 percent – dictated by the hillside standards for lots with an average slope of 18 percent, and it meets the minimum acreage per dwelling density. Therefore, no variances or modifications are required for this project. **The Project complies with the finding.**

Finding 5. That the distance from other similar and like uses is sufficient to maintain the diversity of the community.

Analysis: Most of the lots in the vicinity are located on hilly terrain with varying slopes and dense natural landscaping. All of which are developed with single-family residences. The proposed project will maintain its use as a single-family residence, preserve the hillside slope with minimal grading, and preserve the natural open space and landscaping. All the residences in the surrounding vicinity are custom designed, as will the proposed addition and remodel to the existing residence, thereby contributing to and maintaining the diversity that is notable in this area of Old Agoura. **The Project complies with the finding.**

Finding 6. That the proposed use is consistent with the goals, objectives and policies of the general plan.

Analysis: As discussed in Section II. Staff Analysis of the *General Plan Consistency* section of this report, the Project is consistent with Goal LU-7, LU-8, and LU-9 which dictate that house types, densities and design be diversified and which recognizes the contribution of the Project to the City's identity and quality of life for residents. **The Project complies with the finding.**

E. Oak Tree Preservation Guidelines. AHMC §9657.5(C)(3)

Finding a. That the proposed construction or proposed use will be accomplished without endangering the health of the remaining trees on the subject property.

Analysis: As described in the Oak Tree Report provided by the applicant's licensed arborist, which was reviewed and conditioned by the City's Oak Tree Consultant, only five of the 37 oak trees on and adjacent to the property will be encroached upon. The proposed encroachment includes fill to stabilize the proposed cart path and will encroach into the outer driplines of two oak trees. The proposed fill will be at least 12 ft. from the trunk and minor root intrusion will be encountered. A one-foot wall is proposed beneath the protected zone and outer dripline of three oak trees, but will not require filling. Mitigation measures to hand excavate within these areas during construction are proposed. **The Project complies with the finding.**

Finding b. That the removal or relocation of the oak tree(s) proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated.

Analysis: All oak trees on- and off-site will be preserved. The scope of the Project does not propose the removal or relocation of oak trees. **The finding does not apply.**

Finding c. That the removal or relocation of the oak tree(s) proposed is necessary because the continued existence at present location(s) prevents the planned improvement or proposed use of the subject property to such an extent that alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive; or that the placement of such tree(s) precludes the reasonable and efficient use of such property for a use otherwise authorized; or that the oak tree(s) proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the tree(s).

Analysis: All oak trees on- and off-site will be preserved. The scope of the Project does not propose the removal or relocation of oak trees. None of the built structures will encroach or cause the removal or relocation of any of the on- and off-site oak trees. Minor encroachment for the new cart path is proposed and mitigation measures will be implemented during construction. **The finding does not apply.**

Finding (a). Not more than 10 percent of the total estimated tree canopy or root structure of all trees on the subject property has been requested to be removed.

Analysis: The Project will not require the removal of more than 10 percent of the total estimated oak tree canopies or root structure on the property. All on- and off-site oaks will remain and none will be relocated as a result of the proposed encroachments. As it relates to the limitations in this subsection (AHMC §9657.5(C)(3)(c)), the project also will not necessitate the removal of 20 percent of any of the tree's canopy or root system. Since no oaks are proposed to be removed, nor will any percentage of pruning deem the oak a removal, mitigation oak trees are not required. Therefore, the project meets the foregoing limitations. **The Project complies with the findings.**

IV. ENVIRONMENTAL REVIEW

The Project has been reviewed pursuant to the California Environmental Quality Act (CEQA) and has been determined to be Categorical Exempt from the CEQA Guidelines per §15301 (Existing Facilities). This exemption includes alterations of, and small additions to, existing structures. No significant environmental impacts are expected from the development of this project as it is an addition to an existing single-family residence. No exception to this categorical exemption applies as set forth in §15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

V. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Conditional Use Permit Case No. CUP-01878-202, Site Plan/Architectural Review Case No. SPR-01769-2020, and Oak Tree Permit Case No. OAK-01880-2021, subject to the conditions and based on the findings of the attached draft resolution.

VI. ATTACHMENTS

1. Draft Resolution for the Conditional Use Permit, Site Plan/Architectural Review Permit & Oak Tree Permit with Exhibit A, Conditions of Approval
2. Project Plans
3. Project Renderings
4. Color and Material Board
5. Letter from Old Agoura Homeowner's Planning and Zoning Committee

Case Planner: Katrina Garcia, Assistant Planner

ATTACHMENT 1

Draft Resolution for the Conditional Use Permit, Site
Plan/Architectural Review Permit & Oak Tree Permit with
Exhibit A, Conditions of Approval

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RESOLUTION NO. 21-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-01878-2021, SITE PLAN AND ARCHITECTURAL REVIEW PERMIT CASE NO. SPR-01879-2021, AND OAK TREE PERMIT CASE NO. OAK-01880-2021 FOR THE CONSTRUCTION OF ADDITIONS TO AN EXISTING SINGLE-FAMILY RESIDENCE LOCATED AT 5856 FAIRVIEW PLACE; AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Clive Dawson with respect to the real property located at 5856 Fairview Place, Assessor's Identification Number (AIN) 2055-027-072, requesting approval of Conditional Use Permit (CUP) Case No. CUP-01878-2021, Site Plan and Architectural Review Permit (SPR) Case No. SPR-01879-2021, Oak Tree Permit Case No. OAK-01880-2021 to allow the construction of a 1,382 square-foot addition, to an existing one-story, single-family residence, convert the existing 438 square-foot garage into habitable space, and add 789 square feet (sq. ft.) for a new attached three-car garage located on a hillside lot, and allow for minor encroachments into two (2) of the 37 oak trees.

Section II. The Project is a request for the construction of additions to an existing single-family residence and is exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines §15301 (Existing Facilities). The addition to the single-family residence will not result in significant impacts to the environment, as the Project is within an existing developed area and there are no significant environmental resources on or adjacent to the site. No exception to this categorical exemption applies, as set forth in §15300.2 of the CEQA Guidelines, including but not limited to, Subsection (c), which relates to unusual circumstances.

Section III. The Planning Commission of the City of Agoura Hills considered the Project and application at a public hearing held on December 16, 2021 at 6:30 p.m. The public hearing was held in accordance with Assembly Bill 361 on an electronic platform that allowed for the applicant and members of the public to present statements and provide materials to the Commission. Notice of the time, date, means of participation in and purpose of the aforementioned hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to and considered by the Planning Commission at the aforementioned public hearing.

Section V. Site Plan Review. Based upon the evidence presented at the public hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to Zoning Ordinance §9677.5 of the Agoura Hills Municipal Code (AHMC), that:

A. The proposed use is consistent with the objectives and provisions of AHMC Article IX (Zoning) and the purposes of the land use district in which the use is located. The Residential Very Low Density (RV) zoning district allows for the development and modification of single-family residences. The Project meets the City's minimum development standards for the zoning district, parking requirements, and hillside requirements. It meets the architectural design standards as described in the Old Agoura (OA) Design Overlay District and meets the standards of the Equestrian (EQ) Overlay District.

B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare. The proposed use is and will remain a single-family residence. The existing residence is on a legally created lot with adequate access that has been reviewed and approved by the Los Angeles County Fire Department. The natural drainage course will be preserved. The proposed landscaping and its location were reviewed and approved by the Los Angeles County Fire Department's Fuel Modification Unit and will not be detrimental to public health. Geological and geotechnical studies have been reviewed by the City Geotechnical consultant and found to comply with applicable codes, guidelines, and standards of practice.

C. The proposed use shall not conflict with the character and design of the buildings and open space in the surrounding area. The existing single-family residence and its additions and the accessory building is an allowed use within the zoning district. It meets the development standards prescribed by the district. The existing residence and additions are compatible with the character of the existing neighborhood as most have been designed based on the OA Design Guidelines in the City's Architectural Design Standards and Guidelines (ADS&G). The Project will maintain the existing hillside design and maintain the hillside standards with the proposed additions. The Project will also preserve all on-site oak trees. Therefore, the use will not conflict with the character, design, and open space in the surrounding area.

D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance, except for approved variances or modifications. The Project is consistent with the RV zoning district's requirements for building height, lot coverage, lot size, and fence and wall heights. It will also meet the Hillside area's specific building height requirements. The residence and its proposed additions will also meet the minimum required side, rear, and front yard setbacks. The physical design and aesthetics of the project meet the OA

Design Overlay District and the EQ Overlay District. The Project does not require any variances or modifications.

E. The proposed use is consistent with the City's General Plan. The Project is consistent with Land Use and Community Form Goals LU-7, LU-8, and LU-9 and the applicable policies including Policy LU-7.1 Neighborhood Conservation, Policy LU-7.2 Housing Character and Design, Policy LU-8.1 Neighborhood Identify, Policy LU-8.2 Development Compatibility with Community Character, Policy LU-8.3 Integration of Development with Natural Setting, Policy LU-8.4 Property Setbacks, Policy LU-8.5 Building Materials and Colors, Policy LU-8.6 Landscaping, Policy LU-8.7 Open Spaces, and Policy LU-9.1 Neighborhood Identity, as noted in the staff report.

F. The proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The addition to the existing single-family residence is consistent with the existing neighborhood and character. In conformance with the existing neighborhood, the addition and modifications to the existing single-family residence will contribute to the preservation of the classic and historic styles of rural neighborhoods.

Section VI. Architectural Review. Based on the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to §9677.7(G) of the Zoning Ordinance, that:

A. The proposed development is consistent with the General Plan, any specific plans, and any design standards adopted by the city council. The Project is consistent with Land Use and Community Form Goals of the General Plan as described in finding E of Section V of this Resolution. The Project is also consistent with the City's ADS&G, specifically the OA Design Guidelines.

B. The design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood, and it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and it will not create traffic hazards or congestion. The proposed addition to the existing residence and the site improvements will conform to the required front, rear, and side yard setbacks. The large lot and significant amount of preserved open space, and mature oak trees ensure adjacent lots maintain their privacy. The proposed site improvements that cater to the sloped lot ensure the lot is properly accessible by both vehicles and pedestrians. The design and location of the residence and its accessory uses will not interfere with the neighboring properties as all zoning development standards will be met. The modifications to the existing residence and lot will not create traffic hazards or congestion and access will meet the Los Angeles County Fire Department's requirements for driveway widths and turnarounds.

C. The design of the proposed development is in keeping with the character of the surrounding neighborhood and is not detrimental to the harmonious, orderly, and

attractive development contemplated by this ordinance and the General Plan of the city. The existing single-family residence and proposed additions are designed in accordance with the City's Zoning Ordinance and the ADS&G, specifically the OA Design Guidelines, and consistent with the General Plan Land Use Goals described in Finding E, Section V of this Resolution. It meets all development standards and guidelines, and, in particular, exceeds the minimum required setbacks, providing additional privacy to adjacent lots. The residence and its additions are sited below street level and conform to the hillside requirements for building height such that it will not interfere with the existing views. It is designed to be compatible with the rustic and rural neighborhood character.

D. The design of the proposed development would provide a desirable environment for its occupants, as well as for its neighbors, and is aesthetically of good composition, materials, textures, and colors. The Project is designed with high-quality materials of good composition, including wood, terra cotta ceramic tiles, faux rafter tails, smooth stucco, and stones. It is designed in accordance with the OA Design Guidelines in the ADS&G. It maintains privacy for the occupants, as well as, for the adjacent properties. The proposed Spanish-style architecture of the remodeled residence is in keeping with the current trend while maintaining a sense of a historic and classic environment.

E. The proposed use complies with all applicable requirements of the district in which it is in and all other applicable requirements. The proposed addition and residence are consistent with RV zone requirements regarding lot coverage, building height, and setbacks. It is also consistent with the OA Design Overlay and Guidelines concerning the architectural quality of materials, colors, and features, as well as the maximum recommended structure size. It is also consistent with the EQ Overlay as it will dedicate space for horse-keeping. It is consistent with state and city standards for landscaping. It meets the Los Angeles County Fire Department's requirements for access and fuel modification.

F. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare, as conditioned. The addition to the existing single-family residence and its exterior modifications are designed per the zoning district's development standards, as reviewed by the City's Planning Division. The site modifications are designed such that they will ensure the safety of the residents and the public. The Project was reviewed by the City's Public Works Department, the City's Building Division, and the City's Geotechnical Consultant, all of whom have provided recommendations and conditions to ensure the protection of the public health, safety, and general welfare. The Project has also received approval from the Los Angeles County Fire Department for access and fuel modification.

Section VII. Hillside Area. Based on the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to §9652.18(A) of the Zoning Ordinance, that:

A. The burden of proof set forth in §9652.15(A) has been met by the applicant. The Project is designed to ensure the safety of residents, future residents, and the community and protects them from geologic, seismic, slope instability, fire, flood, mudflow, and erosion hazards. The Project maintains the open space required for hillside developments and incorporates the natural slope and landscaping of the lot. It is also compatible with the cultural biotic and scenic resources of the area. The existing property and residence can and will be provided with essential public services such as Los Angeles County Fire Department and other utilities (i.e., power, waste, and water). The Project is also consistent with the objectives and policies of the general plan and it complements the community character.

B. The proposed development is consistent with the general design and construction standards provided in this section. The Project is designed in accordance with the hillside development standards. It accounts for the hillside's open space requirements, dwelling density, erosion control, drainage, building design, and building height. The Project was reviewed by the City's Public Works Department, the City's Building Division, and the City's Geotechnical Consultant, all of whom have provided recommendations and conditions to ensure the protection of the public health, safety, and general welfare. The Project has also received approval from the Los Angeles County Fire Department for access and fuel modification.

Section VIII. Conditional Use Permit. Based on the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to §9673.2(E) of the Zoning Ordinance, that:

A. The proposed use is consistent with the objectives of this article and the purposes of the district in which the use is located. The additions to the existing residence and site improvements are permitted uses within the RV district. They are designed to meet the objectives and standards within the designated zoning district (RV), the OA Design Overlay, EQ Overlay, and the Hillside Development Standards.

B. The proposed use is compatible with the surrounding properties. Other custom-designed single-family residences with expansive open space and natural landscaping are located within the vicinity as the general zoning for the area is for residential. The additions and existing residence are, therefore, compatible with the surrounding properties, as it is also a custom-designed, single-family residence with expansive open space and natural landscaping.

C. The proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare. The additions to the existing residence and site improvements associated with the Project are designed with considerations of the existing hillside slope. The Project was reviewed by the City's Public Works Department, the City's Building Division, and the City's Geotechnical Consultant, all of whom have provided recommendations and conditions to ensure the protection of the public health, safety, and general welfare. The Project has also received approval from the Los Angeles County Fire Department for access and fuel modification.

D. The proposed use will comply with each of the applicable provisions of this article, except for approved variances or modifications. The single-family residential use is an existing use to remain and the additions and site improvements associated with the Project are designed to meet the RV zoning standards, hillside standards, OA Design, and EQ overlay standards, such that it does not require variances or modifications.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community. All uses in the surrounding vicinity are single-family residences located on varying slopes with dense natural landscaping. The existing single-family residential use will remain as a custom-designed residence with its additions and site improvements designed to be compatible with the existing and natural grade. Therefore, the remodel and addition will contribute to the diversity of the community.

F. The proposed use is consistent with the goals, objectives and policies of the general plan. The Project is consistent with Land Use and Community Form Goals LU-7, LU-8, and LU-9 and the applicable policies including Policy LU-7.1 Neighborhood Conservation, Policy LU-7.2 Housing Character and Design, Policy LU-8.1 Neighborhood Identify, Policy LU-8.2 Development Compatibility with Community Character, Policy LU-8.3 Integration of Development with Natural Setting, Policy LU-8.4 Property Setbacks, Policy LU-8.5 Building Materials and Colors, Policy LU-8.6 Landscaping, Policy LU-8.7 Open Spaces, and Policy LU-9.1 Neighborhood Identity.

Section IX. Oak Tree Permit. Based on the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to §9657.5(C)(3) of the Zoning Ordinance, that:

A. The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees on the subject property. The structural additions to the existing single-family residence will not impact or encroach into any oak tree's root system, canopy, drip line, and protected zone. The site improvements, specifically for the cart path meant to provide safe access to the septic tank and accessory building, will encroach into the outer drip line of two oak trees. Excavation in and around the area of the oaks will be done by hand to mitigate any negative impacts to the root system.

B. The removal or relocation of the oak tree(s) proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated. The Project does not require the removal or relocation of any of the on-site and off-site oak trees. Therefore, no soil erosion or increased flow of surface water is expected.

C. The removal or relocation of the oak tree(s) proposed is necessary because the continued existence at present location(s) prevents the planned improvement or proposed use of the subject property to such an extent that alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be

prohibitive; or that the placement of such tree(s) precludes the reasonable and efficient use of such property for a use otherwise authorized; or that the oak tree(s) proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the tree(s). The Project does not require the removal or relocation of any of the on-site and off-site oak trees. The proposed additions and site improvements can be completed in a way that will be consistent with all development standards of the RV zoning district, OA Design and EQ Overlays, ADS&G, and the Hillside Ordinance without the need to remove or relocate any on-site and off-site oak trees.

D. The Project will not require the removal of more than 10 percent of the total estimated oak tree canopies or root structure on the property. All on and off-site oaks will remain and none will be relocated as a result of the proposed encroachments. As it relates to the limitations in this subsection (§9657.5(C)(3)(c)), the project also will not necessitate the removal of 20 percent of any of the tree's canopy or root system. Since no oaks are proposed to be removed, nor will any percentage of pruning deem the oak a removal, mitigation oak trees are not required.

Section X. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. CUP-01878-2021, Site Plan and Architectural Review Permit, Case No. SPR-01879-2021, and Oak Tree Permit Case No. OAK-01880-2021, subject to the conditions attached hereto as Exhibit A, with respect to the property described in Section I hereof.

Section XI. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this Resolution, and shall cause this Resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 16th day of December 2021, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Murtaza Mogri, Chairperson

Attest:

Denice Thomas, Secretary

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EXHIBIT A
CONDITIONS OF APPROVAL
(Case Nos. CUP-01878-2021, SPR-01879-2021 & OAK-01880-2021)

PLANNING DIVISION

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of the Planning Commission's action, subject to filing the appropriate forms and related fees.
2. The approval of these permits shall not be effective for any purpose until the applicant has agreed in writing that they are aware of, and accept, all conditions of this of these permits with the Planning Division.
3. Except as modified herein, the approval of this action is limited to, and requires complete conformation to the final labeled exhibits: Site Plan, Building Elevation Plans, Floor Plans, Roof Plan, Grading and Drainage Plan, and Landscape Plan.
4. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permits shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in these conditions or on the approved Site Plan.
8. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of twenty (20) feet by twenty (20) feet must be maintained within the garage.
9. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
10. A construction chain link fence with green mesh fabric screening no higher than six (6) feet in height shall be installed on-site along the perimeter of the site prior to construction, no closer than five (5) feet from the property line. The fence shall

allow for vehicle access to the site, and be installed such that the line-of-sight for vehicles entering or exiting the site is clear and unobstructed. The fence and screening shall be installed prior to construction and shall remain in good working condition and free from disrepair and vandalism for the duration of the construction period. The fence shall be removed upon construction completion.

11. Unless this permit is used within two (2) years from the date of City approval, Conditional Use Permit Case No. CUP-01878-2021, Site Plan and Architectural Review Permit Case No. SPR-01879-2021, and Oak Tree Permit Case No. OAK-01880-2021 will expire. A written request for a one (1) year extension may be considered before the expiration date.
12. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
13. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District prior to issuance of a Building Permit. The current fee is \$3.79 per square foot for residential construction.
14. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
15. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
16. All exterior lights shall be focused downward and shielded to minimize glare and light spillover onto adjacent lots.
17. Retaining walls shall not be built with an exposed face greater than six (6) feet tall.
18. The retaining wall design shall be shown on the final grading plans and be of decorative, rustic material, consistent with the surrounding natural area, to the satisfaction of the Planning Division.
19. In the event archaeological resources are encountered during ground-disturbing activities, the City Planning Division shall be notified immediately, and work shall stop within a 100-foot radius until a qualified archaeologist approved by the City Planning Division, and retained and paid for by the developer/applicant, has assessed the nature, extent, and potential significance of any remains. In the event such resources are determined to be significant, appropriate actions are to be determined by the archaeologist consistent with the City General Plan, in consultation with the City Planning Division.
20. If human remains are unearthed during ground-disturbing activities, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and

disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the developer/contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) thought to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assess the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City.

21. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
22. A pre-construction conference shall be held prior to the issuance of a Grading Permit, with all construction personnel involved with the grading and building operations.
23. No construction work or repair shall be performed outside the hours of 7:00 a.m. to 7:00 p.m. or any Sunday or Holiday.
24. The Applicant, and property owner(s), and their successors in interest, shall indemnify, defend and hold harmless the City, its officials, officers, agents, and employees (collectively "Indemnitees") from and against any and all claims, actions, lawsuits, damages, losses, and liabilities arising or resulting from the granting of this approval by the City or the exercise of the rights granted by this approval. This indemnification obligation shall include, but not be limited to, paying all fees and costs incurred by legal counsel of the City's choice in representing the Indemnitees in connection with any such claims, actions or lawsuits, any expert fees, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such claim, action or lawsuit. The City shall promptly notify Applicant and property owners of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. In the event such a legal action is filed, the City shall estimate its expenses for litigation. Applicant or property owners shall deposit such amount with the City or enter into an agreement with the City to pay such expenses as they become due. Applicant and property owners shall reimburse the City, and each of the Indemnitees for any and all legal expenses and costs incurred by it in enforcing the indemnity herein provided. Although the Applicant is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of the action, but such participation shall not relieve the applicant of any obligation under this condition.

BUILDING AND SAFETY DIVISION

25. All exterior materials used for eaves, sidings, porch, patio, decks, canopies, carport, and other similar structures need to meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code.
26. This project shall be subject to the 2019 California Residential, Building, Mechanical, Plumbing, Electrical, Energy, Fire, Green Building Codes, and Agoura Hills Municipal Code.
27. The applicant shall note on the plans that all new or replaced windows will be tempered on at least one side of the dual pane, or a 20-minute rated window or glass blocks per §704A.3.2.2 of the 2019 California Building Code and 2020 Los Angeles County Fire Code.
28. A two (2) percent slope away from the structure for drainage (on the first 5 feet) all around the new structure(s) shall be provided.
29. Handrails will be required for exterior stairs with four (4) or more risers per 2019 California Residential Code §311.7.7.
30. Fire Sprinklers will be required for all new structures per 2019 California Building and Fire Codes as well as Article VIII of the Agoura Hills Municipal Code 903.2.
31. Prior to the issuance of a building permit, a soils report is required to be submitted to the Building and Safety Department for this project.
32. Los Angeles County Fire Department review and approval will be required prior to issuance of a building permit for all new structures.
33. Los Angeles County Health Department Approval will be required for septic system.
34. Payment of school fees to the Las Virgenes School District will be required prior to the issuance of building permits.
35. As part of the permitting process and prior to permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Mechanical, Electrical, Plumbing, Energy Plans, plans will need to be submitted to Building and Safety Department for plan review and approval. Please be advised that this is a preliminary review and does not constitute a final Building and Safety approval.

PUBLIC WORKS/ENGINEERING DIVISION

36. Prior to issuance of a grading and/or building permit, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
37. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of any permits, all improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc. shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.agourahillscity.org.
38. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If, during construction of onsite or offsite improvements, monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
39. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, the exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
40. The grading plan shall show location(s) of all Oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
41. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, §66434.5 as required by the City Engineer.
42. Prior to the issuance of a grading and building permit, the project shall obtain a permit from the Los Angeles County Fire and Las Virgenes Municipal Water District.
43. Prior to issuance of any permits, the project shall obtain a permit from the Los Angeles County Health Department.
44. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at 818-597-7322 for approved City certification forms.

45. Prior to issuance of a grading permit, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. ***The applicant shall remove and replace the existing concrete driveway approach on the Fairview Place side of the parcel, and construct equestrian fencing along the Fairview Place of the parcel.***
46. The following existing street being cut for new services will require an asphalt concrete overlay: Driver Avenue.
47. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and the City.
48. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
49. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
50. Prior to final permit sign-off, all remaining fees/ deposits required by the Engineering Department must be paid in full.

51. Prior to final permit sign-off, all requirements including construction improvements covered in condition number **45** must be completed to the satisfaction of the City Engineer.
52. Prior to final permit sign-off, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction must be submitted to the City via City's inspection before the scheduling of final inspection for acceptance of the improvements. *No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.*
53. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction shall be reset to the City's satisfaction.
54. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, the applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL

55. The applicant shall comply with all recommendations of the addendum geotechnical engineering report prepared by Subsurface Design Inc. dated September 30, 2021 and the City Geological/Geotechnical Consultant's (GeoDynamics, Inc.) recommendation and comments dated October 11, 2021.

LANDSCAPING

56. Final Landscape Plans shall substantially conform to the Landscape Preliminary Plan prepared by Michelle Newman, Landscape Design Studio, dated September 1, 2021, as approved by the City of Agoura Hills Planning Commission.
57. Location and material of paved surfaces, accessory structures, walls and fences, landscape features, and other site improvements shall conform to approved plans.
58. Prior to the approval of a grading permit, the applicant shall submit three (3) sets of Final Landscape Plans for review by the City Landscape Consultant and approval by the Planning Director. A California Landscape Architect with a current license shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations, and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans.

59. The Planting and Irrigation Plans shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code. Plans shall include Compliance Statements per State MWEL, California Code of Regulations Chapter 2.7 Model Water Efficient Landscape Ordinance §492.7(b)(6)&(7).
 - a. "I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the irrigation design plan"
 - b. Signature of the licensed landscape architect, certified irrigation designer, licensed landscape contractor, or any other person authorized to design an irrigation system
 - c. Completed and approved irrigation plans to be submitted to Las Virgenes Municipal Water District.
60. At the time of the Final Landscape Plans submittal, the project Landscape Architect shall provide the City with written confirmation that the civil engineering drawings have been reviewed and that the Landscape Plan is not in conflict with the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID).
61. Planting Plans shall indicate the botanical name, the plant container sizes, and spacing. The minimum size of trees shall be fifteen (15) gallons. The minimum size of shrubs shall be five (5) gallons except shrubs planted as groundcovers and or as accent planting, which may be one (1) gallon size. Plant sizes may be increased on some projects at the discretion of the Planning Director. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
62. The Final Landscape Plans shall include the following:
 - a. A note stating, that the project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans prior to final City inspection.
 - b. A table indicating the total square footage of the landscape area within the project.
63. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
64. With the Final Landscape Plans, three (3) copies of plans, details, and specifications shall be provided, addressing but not limited to, layout, planting, soil preparation, tree staking, guying, installation details, and post-installation maintenance.

65. The approved landscape shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
66. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
67. All planting areas shall receive a three (3) inch layer of coniferous bark mulch. Mulch to be kept away from tree and shrub crowns. Mulch areas to be dressed to present a clean uniform appearance when complete.
68. The Final Landscape Plan shall be approved by the Fuel Modification Unit of the County of Los Angeles Fire Department prior to the issuance of a building permit.
69. Landscape improvements, planting, and irrigation installation shall be subject to inspection and approval by the Planning Division prior to final building permit inspection.
70. Slope stabilization and dry hydroseed area establishment shall be subject to inspection and approval by the Planning Division prior to the final building permit inspection.

OAK TREE

71. No damage shall occur within the protective zone (the area within the dripline of an oak tree and extending to a point at least 5 feet outside the dripline, or 15 feet from the trunk[s] of the tree, whichever distance is greater) of a protected oak tree without an approved permit from the City.
72. Hand excavate a 12" wide trench at the limits of the lower fill. Any roots encountered of one-quarter inch or larger shall be cut using sharp pruning saws or tree loppers.
73. Exclusionary fencings consisting of chain-link, orange snow drift mesh fencing, or other suitable material shall be placed just outside of the protective zone of preserved oak trees during construction activities to limit access within the protective zones during the construction phase of the project. Any work that will be conducted within the protective zone of an oak tree shall be accomplished under the direct supervision of a qualified arborist.
74. Care must be taken to limit grade changes near the protected zone of any oak tree. Grade changes can lead to plant stress from oxygen deprivation or oak root fungus at the root collar of oaks. Minor grade changes further from the trunk are not as critical but can negatively affect the health of the tree if not carefully monitored by a certified arborist. The grade shall not be lowered or raised around

the trunks (i.e., within the protected zone) of any oak tree without prior authorization from the City.

75. No storage of equipment, supplies, vehicles, or debris shall be permitted within the protected zone of any oak tree.
76. No dumping of construction wastewater, paint, stucco, concrete, or any other clean-up waste shall occur within the protected zone of any oak tree or uphill from the protected zone.
77. No temporary structures shall be placed within the protected zone of any oak tree not permitted for removal or encroachments.
78. If pruning is required, pruning shall be limited to the removal of dead wood, and stubs, or removal of branches 2 inches in diameter or less. Pruning methods shall be conducted in accordance with the guidelines published by the National Arborist Association. In no case shall more than 20 percent of the tree canopy of any oak tree be removed. Cuts over 2 inches in diameter shall require authorization by permit from the City.
79. A post-construction Compliance Letter shall be prepared and submitted by a qualified arborist describing the measures implemented during construction to preserve oak trees on the property.

SOLID WASTE MANAGEMENT

80. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for a percent of the waste generated on the project to be diverted from the landfill, at the rate currently required by the California Department of Resources Recycling and Recovery. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
81. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices, or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the

disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled, or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if the issuance of a certificate of occupancy is not applicable.

82. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company or shall arrange for self-hauling to an authorized facility.

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ATTACHMENT 2

Project Plans

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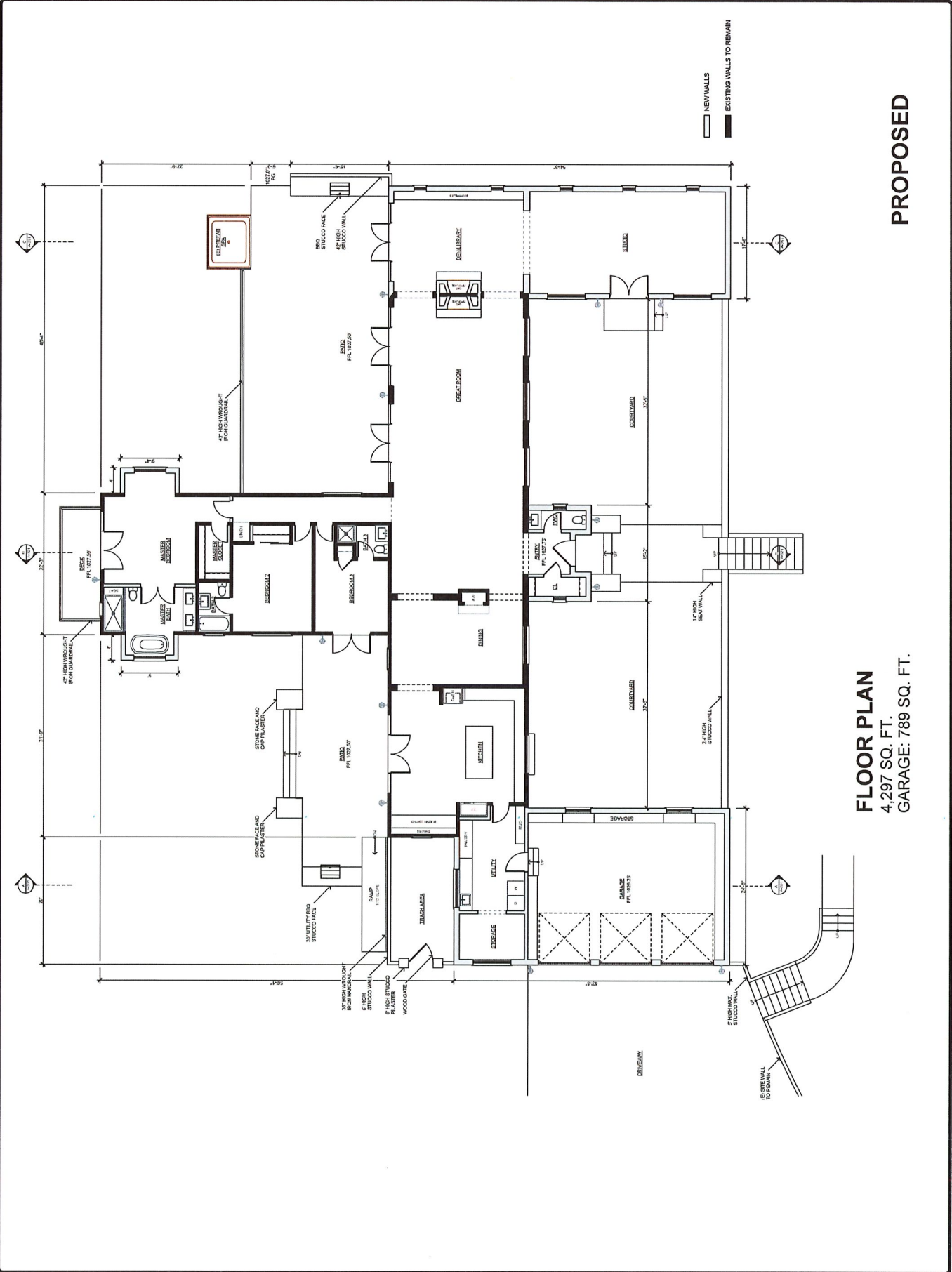
REVISION	BY
APR 2021	ZD
JULY 2021	ZD

PROPOSED REMODEL AND ADDITION FOR:
 ADAM MEHR AND JENNIFER NYE
 5856 FAIRVIEW PLACE
 AGOURA HILLS, CALIFORNIA 91301

CLIVE DAWSON A.I.A.
 architect and planning
 28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

OWNER	NOVEMBER 2020
DESIGNED	NOVEMBER 2020
PERMIT	NOVEMBER 2020
NOVEMBER 2020	
NOVEMBER 2020	
NOVEMBER 2020	
NOVEMBER 2020	
NOVEMBER 2020	
NOVEMBER 2020	

A-101



FLOOR PLAN
 4,297 SQ. FT.
 GARAGE: 789 SQ. FT.

PROPOSED

REVISION	DATE
1	APR 2021
2	JULY 2021
3	
4	
5	
6	
7	
8	
9	
10	

PROPOSED REMODEL AND ADDITION FOR:
 ADAM MEHR AND JENNIFER NYE
 5855 FAIRVIEW PLACE
 AGOURA HILLS, CALIFORNIA 91301

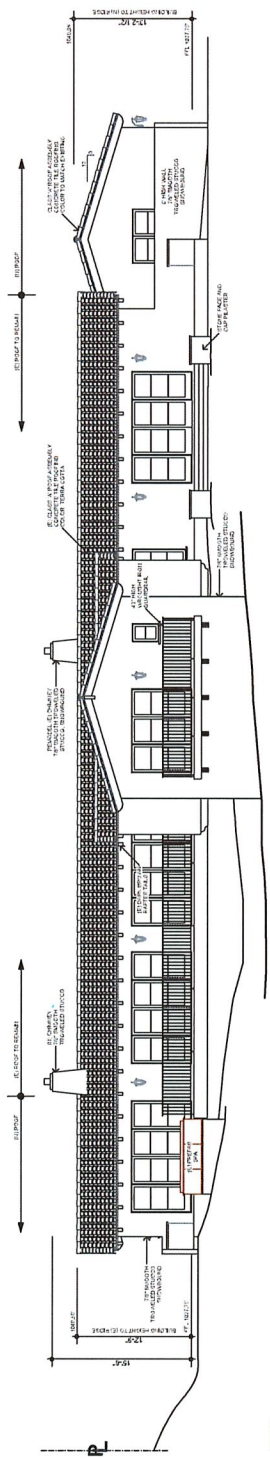
CLIVE DAWSON A.I.A.
 architecture and planning
 2825 Pacific Coast Highway, Malibu, California 90265 310.589.1921

DATE	NOVEMBER, 2020
DATE	3/14/21
DATE	05/01/21
DATE	05/01/21
DATE	05/01/21
DATE	05/01/21
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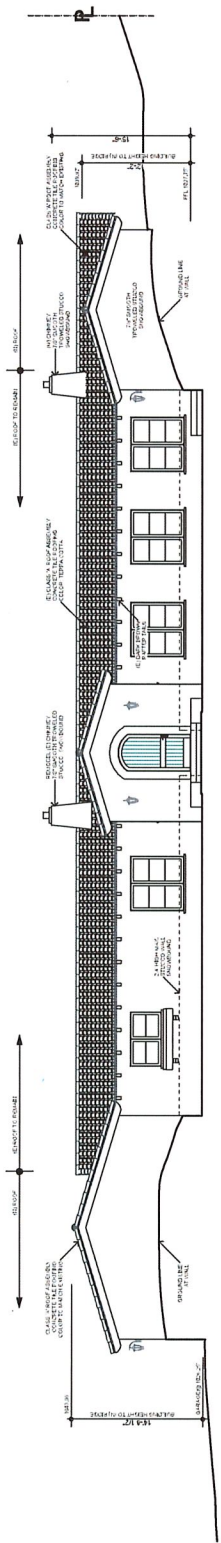
A-201

PROPOSED

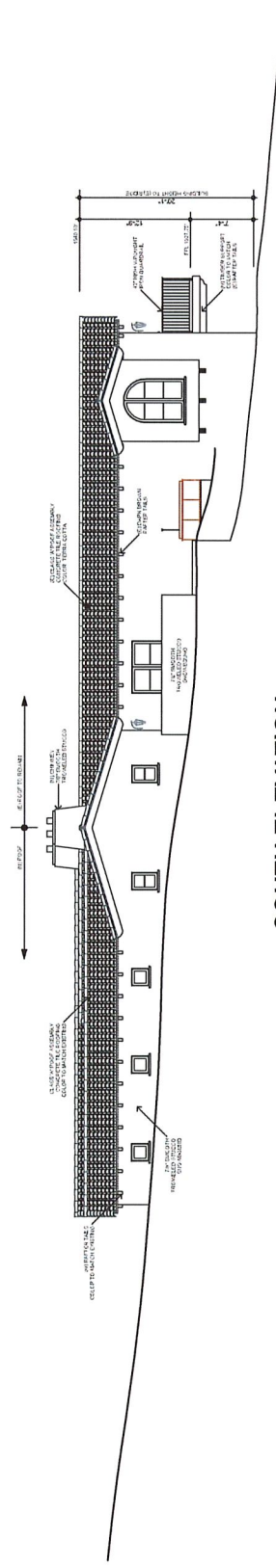
EAST ELEVATION



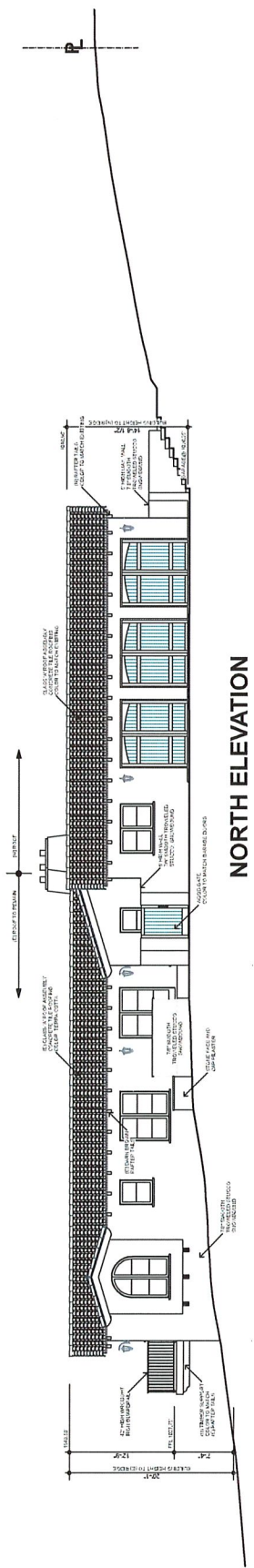
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



NOTES:
 ENTIRE EXTERIOR OF HOUSE TO BE RESURFACED TO BE SMOOTH STUCCO.
 ALL WINDOWS AND DOORS TO BE REPLACED, MOBE ULTRA SERIES, ALUMINUM CLAD EXTERIOR, COLOR-METTEREANAL.
 ALL EXTERIOR LIGHT FIXTURES TO BE REPLACED WITH LED LIGHTING.
 ALL EXTERIOR PAINT TO BE REPLACED WITH A HIGH QUALITY PAINT.
 ALL EXTERIOR DOORS TO BE REPLACED WITH ALUMINUM CLAD DOORS.
 ALL EXTERIOR WINDOWS TO BE REPLACED WITH ALUMINUM CLAD WINDOWS.
 ALL EXTERIOR ENTRY TO BE REPLACED WITH ALUMINUM CLAD ENTRY.
 ALL EXTERIOR ROOFING TO BE REPLACED WITH A HIGH QUALITY ROOFING.
 ALL EXTERIOR GUTTERS TO BE REPLACED WITH A HIGH QUALITY GUTTERS.
 ALL EXTERIOR SCAFFOLDING TO BE REMOVED.
 ALL EXTERIOR MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE.
 ALL EXTERIOR MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ENERGY CODE.
 ALL EXTERIOR MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE.
 ALL EXTERIOR MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.
 ALL EXTERIOR MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.
 ALL EXTERIOR MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE.
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 ALL EXTERIOR MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA FAIR BUSINESS PRACTICES ACT.



5856 FAIRVIEW PLACE
 AGOURA HILLS, CALIFORNIA 91301

PROPOSED REMODEL AND ADDITION
SEPTEMBER 1, 2021

5856 FAIRVIEW PLACE 9/1/2021

CLIENT:
 ADAM MEHR AND JENNIFER NYE
 5856 FAIRVIEW PLACE
 AGOURA HILLS, CA 91301



LANDSCAPE ARCHITECT:

MICHELLE NEWMAN
 31368 Via Colinas ■ Suite 111
 Westlake Village, CA 91362-3924
 Phone: (818) 889.3622
 E-mail: mjn@mjndesignstudio.com



VICINITY MAP

CONSULTANTS:

ARCHITECT OF RECORD:
 CLIVE DAWSON, AIA
 28925 PACIFIC COAST HWY
 MALIBU, CA 90265
 (310) 589-1921

CIVIL/STRUCTURAL ENG.
 LC ENGINEERING GROUP, INC.
 889 PIERCE COURT, SUITE 101
 THOUSAND OAKS, CA 91360
 (805) 497-1244

SURVEYOR:
 CLEMONS LAND SURVEYING
 3525 OLD CONEJO ROAD, SUITE 108
 NEWBURY PARK, CA 91320
 (805) 468-5332

APN # 2055-027-072

INDEX OF DRAWINGS

SHEET NO.	SHEET TITLE
LP-1	COVER SHEET
LP-2	PRELIMINARY/PLANTING PLAN
	LIGHTING PLAN

EROSION AND SEDIMENT CONTROL PLAN (ESCP)

GENERAL NOTES:

1. IN CASE OF EMERGENCY, CALL COUNTY ENGINEER AT 694-3525-3526.
2. SHALL OBTAIN APPROVED PERMITS FROM THE COUNTY ENGINEER.
3. A STAMP-OUT ORDER FOR EROSION CONTROL SHALL BE AVAILABLE AT ALL TIMES DURING THE WORK PERIOD.
4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING

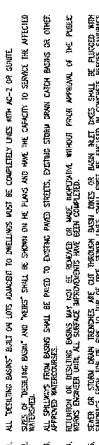
EROSION CONTROL NOTES

1. TEMPORARY EROSION CONTROL MEASURES EFFECTIVE DURING RAINY SEASON OCTOBER 1 TO MARCH 31.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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17. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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19. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
20. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1	EROSION CONTROL COVER SHEET
2	EROSION CONTROL PLAN



CITY OF AGOURA HILLS APPROVAL

REVISION	DATE	DESCRIPTION OF CHANGE

PROJECT NO. _____ SHEET _____ OF _____
 COVER SHEET
 5886 FAIRVIEW PLACE
 AGOURA HILLS, CA. 91301

CITY OF AGOURA HILLS
 PROJECT NO. _____ SHEET _____ OF _____
 COVER SHEET
 5886 FAIRVIEW PLACE
 AGOURA HILLS, CA. 91301

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 1 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD BEFORE ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPLICABLE CITY DEPARTMENTS.
- ALL EXISTING MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL EXISTING MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY. CONTAINED IN THE CONSULTANT'S SOILS AND GEOLOGIC REPORT ARE TO BE REMOVED AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING PERMIT.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE REQUIREMENTS OF THE CITY ENGINEER AND THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - A POUGH GRADING REPORT, PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, SHALL BE SUBMITTED TO THE BUILDING OFFICIAL.
 - A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT.
 - A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO BE CONSTRUCTION TESTS, AS WELL AS A MAP DEFINING THE LIMITS OF ALL SUBSARANS, ARTERY LOCATIONS AND BOTTOM ELEVATIONS. LOCATIONS OF ALL SUBSARANS, WALL BACKDRAINS AND OUTLETS, AS-BUILT GEOLOGIC MAP, GRADING MUST BE OBTAINED ON AN AS-BUILT GEOLOGIC MAP.
 - A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
 - NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HIGHWAYS.
 - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO BE CONSTRUCTION TESTS, AS WELL AS A MAP DEFINING THE LIMITS OF ALL SUBSARANS, ARTERY LOCATIONS AND BOTTOM ELEVATIONS. LOCATIONS OF ALL SUBSARANS, WALL BACKDRAINS AND OUTLETS, AS-BUILT GEOLOGIC MAP, GRADING MUST BE OBTAINED ON AN AS-BUILT GEOLOGIC MAP.
 - NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HIGHWAYS.

PUBLIC UTILITIES / SERVICES

- WATER: LAS VERDES MUNICIPAL WATER DISTRICT 422 LAS VERDES ROAD (916) 864-6115
- ELECTRICAL: SOUTHERN CALIFORNIA Edison 389 Foothill Drive (916) 444-4444
- TELEPHONE: SBC PAC BELL 1500 TAYLOR STREET #115 (916) 516-1106
- GAZ: SOUTHERN CALIFORNIA GAS 900 CAROLINE AVENUE (916) 791-4234
- SEWER: LA COUNTY DEPT. OF PUBLIC WORKS SEWER MAINTENANCE DIVISION 1500 TAYLOR STREET, BLDG #1 8457 ALHAMBRA, CA 91803 (916) 300-8338
- CABLE: ADELPHI EX ROAD NEWBURY PARK, CA 91320 (916) 751-8173
- CABLE: SHERIDAN COMMUNICATIONS 1500 TAYLOR STREET, BLDG #1 (916) 644-8911
- CALTRANS: 540 LEGISLA BOULEVARD TRACY, CA 95376 (916) 300-4245

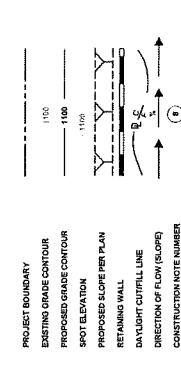
PUBLIC IMPROVEMENT NOTES

- AN ENCROACHMENT PERMIT IS REQUIRED OF ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY FROM ALL APPLICABLE FEES MUST BE PAID AND SECURITIES DEPOSITED PRIOR TO THE START OF CONSTRUCTION. IMPROVEMENTS REQUIRE APPROVAL FROM THE PUBLIC WORKS INSPECTOR. APPROVED IMPROVEMENTS SHALL BE MAINTAINED AND KEPT IMMEDIATELY AND MAY NOT BE WAIVED DOWN BY RAIL OR OTHER MEANS.
- CONTRACTORS SHALL TELEPHONE UNDERGROUND SERVICE ALERT (USA) 1-800-424-4243 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
- REQUIREMENTS FOR STREET STRUCTURAL SECTION TO BE DETERMINED BY SOILS TESTS AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF BASE MATERIALS.
- WATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH LAS VERDES MUNICIPAL WATER DISTRICT WORK MANUAL.
- SEPARATION OF WATER AND WASTEWATER LINES SHALL BE IN ACCORDANCE WITH LAS VERDES MUNICIPAL WATER DISTRICT.
- PRIOR TO CONNECTION TO WATER AND SEWER MAINS IN THE PUBLIC RIGHT-OF-WAY, WATER DISTRICT TO THE CITY STATING THAT ALL CONNECTION FEES HAVE BEEN PAID.

INSPECTION NOTES

- THE PERMITTEE MUST NOTIFY THE BUILDING AND SAFETY DEPARTMENT OF ALL INSPECTIONS AT THE FOLLOWING STAGES OF WORK.
 - WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNIMPROVED FILL SHALL NOT HAVE BEEN PLACED PRIOR TO THE INSPECTION.
 - ROUGH WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED, DRAINAGE STRUCTURES, SWALES AND BERMS INSTALLED AT THE TOP OF EXCAVATION, AND THE STABILIZATION REQUIRED IN THIS SECTION HAVE BEEN COMPLETED.
 - FINAL WHEN GRADING HAS BEEN COMPLETED, ALL DRAINAGE DEVICES INSTALLED, SLOPE INSTALLED AND THE RECORD DRAWINGS HAS-BUILT PLANS, REQUIRED SIGNATURES, AND TESTS TO HAVE BEEN OBTAINED.
- ALL REQUIRED REPORTS AND STATEMENTS TO THE BUILDING AND SAFETY DEPARTMENT SHALL BE PREPARED IN ACCORDANCE WITH SECTIONS 7050 AND 7020 OF THE BUILDING CODE.

LEGEND AND SYMBOLS



ABBREVIATIONS

- AC - ASPHALT CONCRETE
- AD - ASPHALT DRAINAGE
- CB - CATCH BASIN
- CC - CENTERLINE
- CF - CHAIN LINK FENCE
- DB - DEBRIS BASIN
- ED - EDGE OF DUTTER
- FP - FINISHED FLOOR
- FR - FINISHED GRADE
- FL - FLOORLINE
- HC - HUP (HANDICAP) WALK
- HP - HIGH POINT
- IN - INVERT
- MA - MATERIAL
- NO - NO MATERIAL
- PA - PROPERTY LINE
- PO - POINT OF BEGINNING
- SH - SHED
- SI - SLOPE INDICATOR
- TC - TOP OF CURB
- TO - TOP OF ORATE
- TY - TYPICAL
- WV - WATER VALVE

LEGAL DESCRIPTION

PARCEL 1 OF PARCEL MAP 1518 IN THE CITY AND COUNTY OF CALIFORNIA, AS PER RECORDS IN BOOK 19, PAGES 22 AND 23 OF PARCEL MAPS AND COUNTY OF THE COUNTY RECORDS OF SAID COUNTY.

STORMWATER POLLUTION NOTES

- APPLICABLE MUNICIPAL ORDINANCES, WATER DISTRICT POLLUTION PREVENTION PLAN (SWPPP) AS OUTLINED IN THE ABOVE PROGRAM FOR SWPPP SHALL BE OBTAINED AND REVIEWED BY THE CONSULTANT. THE SWPPP SHALL BE OBTAINED AND REVIEWED BY THE CONSULTANT. THE SWPPP SHALL BE OBTAINED AND REVIEWED BY THE CONSULTANT. THE SWPPP SHALL BE OBTAINED AND REVIEWED BY THE CONSULTANT.
- A SITE-SPECIFIC "WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION TO PREVENT EROSION AND SEDIMENTATION. THE PLAN SHALL BE OBTAINED AND REVIEWED BY THE CONSULTANT. THE PLAN SHALL BE OBTAINED AND REVIEWED BY THE CONSULTANT.
- EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. THE PLAN SHALL BE OBTAINED AND REVIEWED BY THE CONSULTANT. THE PLAN SHALL BE OBTAINED AND REVIEWED BY THE CONSULTANT.
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AVERAGE SLOPE CALCULATIONS

NET - STEEPER THAN 3% = 58.97' - 5.05' = 4.925 SQ. FT
CONTOUR LENGTH (FLATTER THAN 3% = 4.925 L.F.
4.925
58.97' x 4.925 L.F. = 290.97 SQ. FT
SAVED (NO. 12017)

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2A	OVERALL GRADING & DRAINAGE PLAN
3	SECTIONS & DETAILS
4	SECTIONS

ESTIMATED EARTHWORK QUANTITIES

ESTIMATED FILL	ESTIMATED EXPORT	ESTIMATED IMPORT
0 CY	0 CY	0 CY
0 CY	0 CY	0 CY

BENCHMARK:

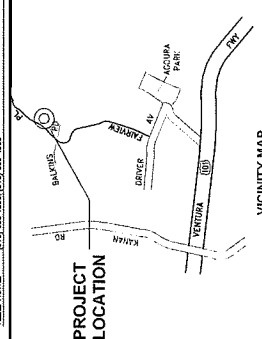
DESCRIPTION: B.M. NO. _____ SURVEY DATE: _____
ELEVATION: _____

RECORD DRAWING STATEMENT

I, MICHELLE WELMAN, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THIS DRAWING HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

SOILS APPROVAL

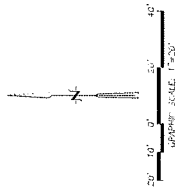
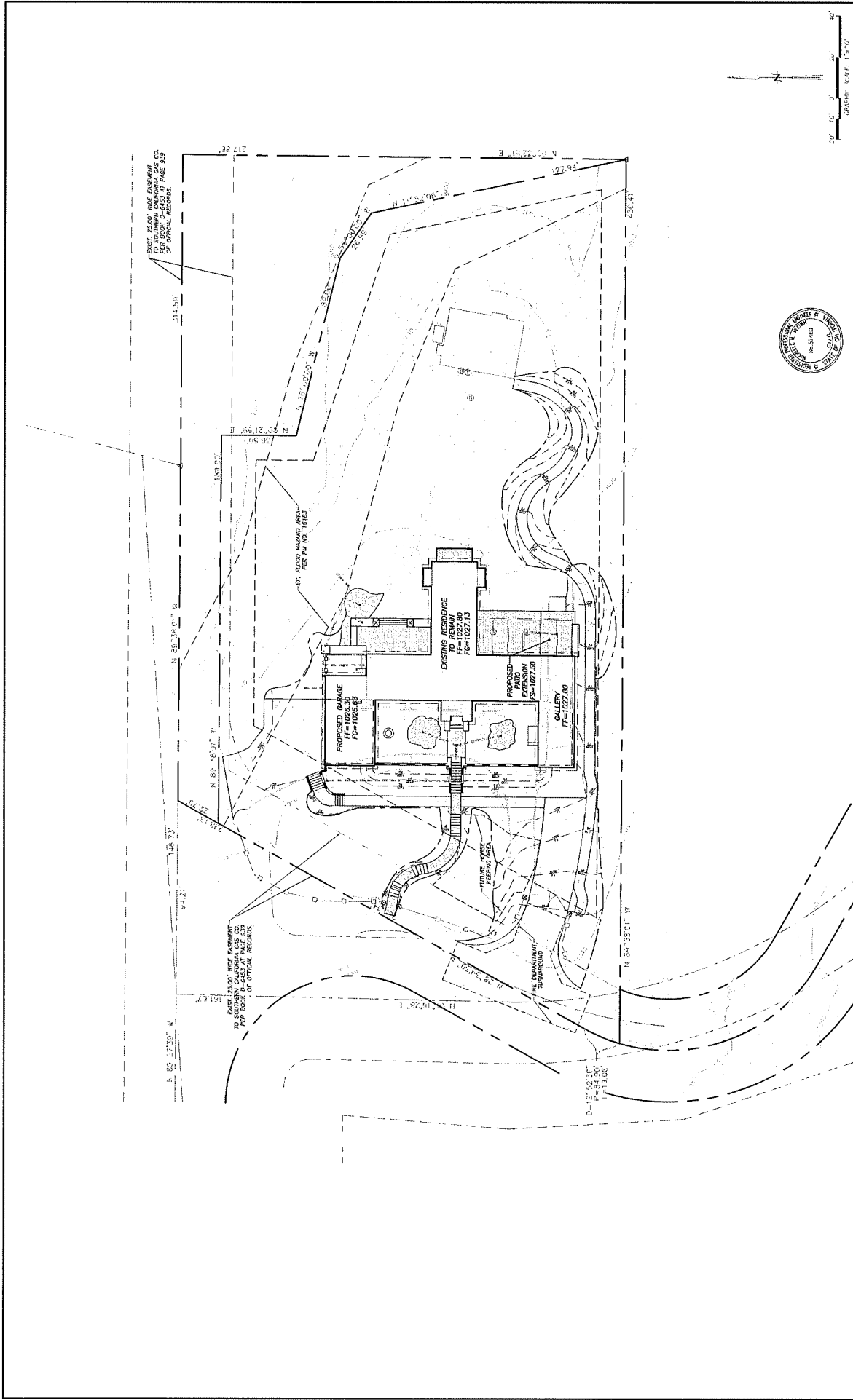
THIS PLAN HAS BEEN REVIEWED AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED: _____
REGISTERED GEOLOGIST: _____ DATE: _____
REGISTERED GEOTECHNICAL ENGINEER: _____ DATE: _____



CITY OF AGOURA HILLS

CITY OF AGOURA HILLS APPROVAL
JESSICA FORTE
CITY ENGINEER
DATE: _____
PROJECT NO.: _____
DATE: _____
REVISION NO.: _____
DATE: _____

COVER SHEET
5656 FAIRVIEW PLACE
AGOURA HILLS, CA. 91301
PROJECT NO. _____ SHEET 1 OF 4
CITY OF AGOURA HILLS, INC.

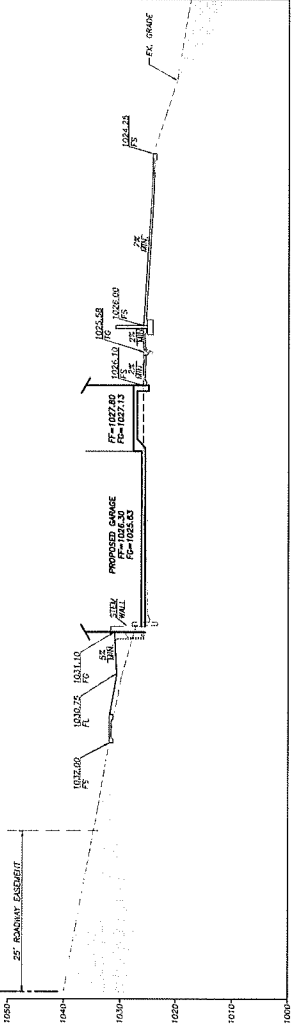


REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

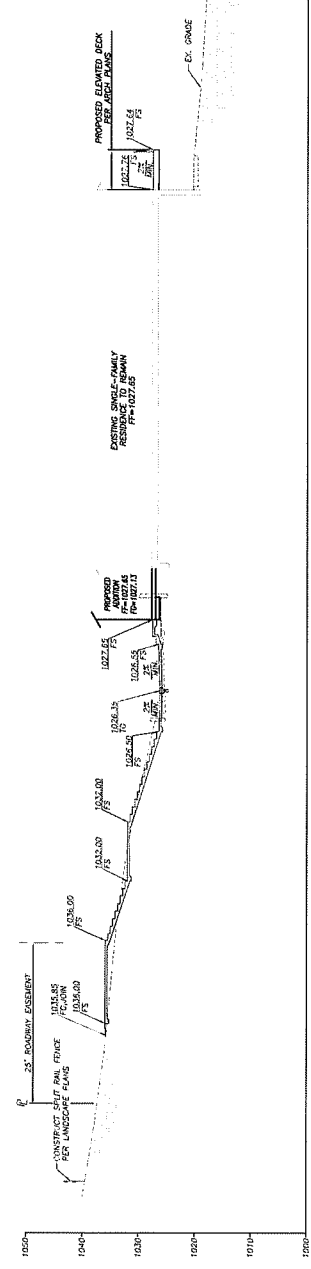
PREPARED BY: CONTRUENS GROUP, INC. 1000 WILSON AVENUE, SUITE 200 AGOURA HILLS, CA 91301 TEL: (818) 487-1111 FAX: (818) 487-1112 WWW.CONTRUENS.COM	PROJECT ENGINEER: 57468 RCE: _____ DATE: _____	REVIEWED BY: _____ DATE: _____ DESIGN/DATE: _____ CITY/ENGINEER: _____	CITY OF AGOURA HILLS APPROVAL: _____ DATE: _____	PROJECT NO.: _____ SHEET 2 OF 4
--	--	--	---	--

OVERALL GRADING & DRAINAGE PLAN
 5886 FAIRVIEW PLACE
 AGOURA HILLS, CA. 91301
 PROJECT NO. _____ SHEET **2** OF **4**

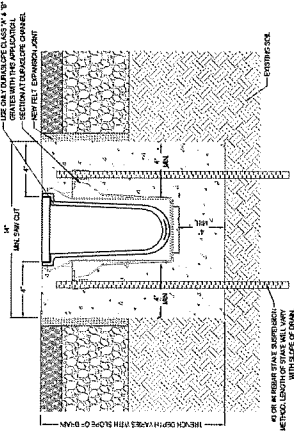
CITY OF AGOURA HILLS DRAWING NO. _____
 JOB # _____
 DATE _____



SECTION A
1"=10'

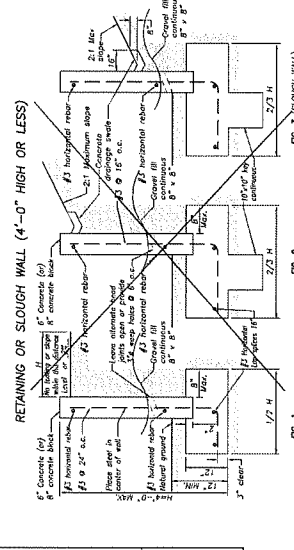


SECTION B
1"=10'



DETAIL NO. 2
NDS. DURA SLOPE TRENCH DRAIN
N.T.S.

1. ALL WALLS TO BE INSTALLED WITH BAK GRADE GRATE TO PROTECT FROM CONCRETE CURE COVERAGES WITH A PER.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTURAL ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN.
4. ALL DIMENSIONS AND MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS AND MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
6. BY THE PRODUCT MANUFACTURER TO BE COMMERCE AVAILABLE.



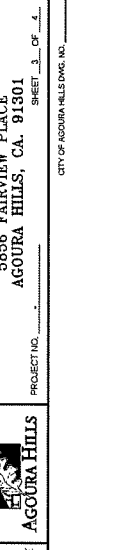
DETAIL NO. 3
4'-0" MAX. HT. GARDEN WALL
N.T.S.

1. ALL FOOTINGS TO BE 12" INTO NATURAL GRADE.
2. CONCRETE MIX FOR FOOTING AND FOR CONCRETE WALL TO BE 2500 PSI MINIMUM, OR IF SITE WATER, 1 PART PORTLAND CEMENT, 2 PARTS SAND, 3 PARTS GRAVEL, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE.
3. CONCRETE MIX FOR CONCRETE BLOCKS TO BE 2500 PSI, 1 PART PORTLAND CEMENT, 2 PARTS SAND, 3 PARTS GRAVEL, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE.
4. REINFORCING STEEL SHALL BE 1/2" DIA. PER CONCRETE WALL TO BE 2500 PSI, 1 PART PORTLAND CEMENT, 2 PARTS SAND, 3 PARTS GRAVEL, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE.
5. CONCRETE BLOCKS TO BE 16" X 16" X 16" UNITS CONFORMING TO ASTM SPECIFICATION A-415, GROUP 40, LAY ALL STEEL IN.
6. REINFORCING STEEL SHALL BE ENLARGED TO CONFORM TO ASTM SPECIFICATION A-415, GROUP 40, LAY ALL STEEL IN.
7. CONCRETE BLOCKS TO BE 16" X 16" X 16" UNITS CONFORMING TO ASTM SPECIFICATION A-415, GROUP 40, LAY ALL STEEL IN.
8. CONCRETE BLOCKS TO BE 16" X 16" X 16" UNITS CONFORMING TO ASTM SPECIFICATION A-415, GROUP 40, LAY ALL STEEL IN.

(NO PERMIT IS REQUIRED FOR FIG. 1)
(PERMIT IS REQUIRED FOR FIG. 2 AND FIG. 3)
These walls are designed for the average condition and may not be suitable in all cases. Where the proposed wall construction is extensive, a licensed civil or structural engineer should be consulted.

1. ALL FOOTINGS TO BE 12" INTO NATURAL GRADE.
2. CONCRETE MIX FOR FOOTING AND FOR CONCRETE WALL TO BE 2500 PSI MINIMUM, OR IF SITE WATER, 1 PART PORTLAND CEMENT, 2 PARTS SAND, 3 PARTS GRAVEL, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE.
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DETAIL NO. 3
4'-0" MAX. HT. GARDEN WALL
N.T.S.



DETAIL NO. 4
STAIRS ON GRADE
N.T.S.

1. ALL FOOTINGS TO BE 12" INTO NATURAL GRADE.
2. CONCRETE MIX FOR FOOTING AND FOR CONCRETE WALL TO BE 2500 PSI MINIMUM, OR IF SITE WATER, 1 PART PORTLAND CEMENT, 2 PARTS SAND, 3 PARTS GRAVEL, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE, 1 PART FINE AGGREGATE.
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8. CONCRETE BLOCKS TO BE 16" X 16" X 16" UNITS CONFORMING TO ASTM SPECIFICATION A-415, GROUP 40, LAY ALL STEEL IN.

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	BY	CHECKED BY	DATE	BY

PREPARED BY: **ENGINEERING GROUP, INC.**
CONSULTING ENGINEERS
1000 N. GARDEN AVENUE, SUITE 100
AGOURA HILLS, CALIFORNIA 91301
TEL: (818) 495-1111
FAX: (818) 495-1112

PROJECT ENGINEER: **W. RICE**
DATE: **03-22-22**
REVIEWED BY: **DATE**
CHECKED BY: **DATE**
CITY ENGINEER: **DATE**

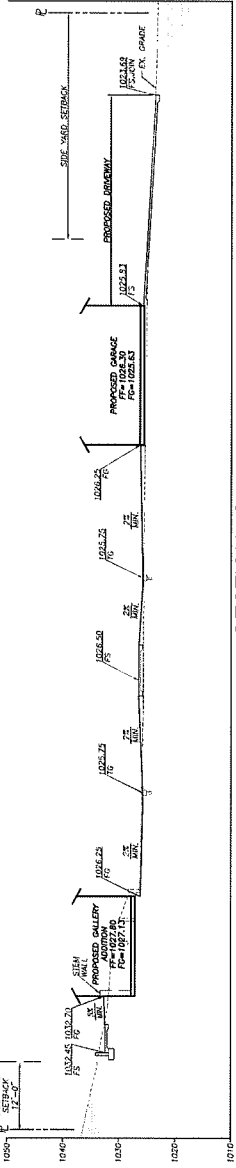
CITY OF AGOURA HILLS APPROVAL
AGOURA HILLS
PROJECT NO. **5886**
SHEET **3** OF **4**

SECTIONS & DETAILS
5886 FAIRVIEW PLACE
AGOURA HILLS, CA. 91301

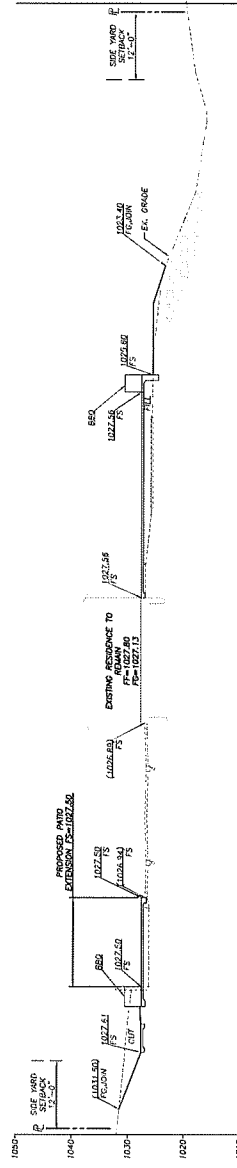
CITY OF AGOURA HILLS
AGOURA HILLS
PROJECT NO. **5886**
SHEET **3** OF **4**

CITY OF AGOURA HILLS
AGOURA HILLS
PROJECT NO. **5886**
SHEET **3** OF **4**

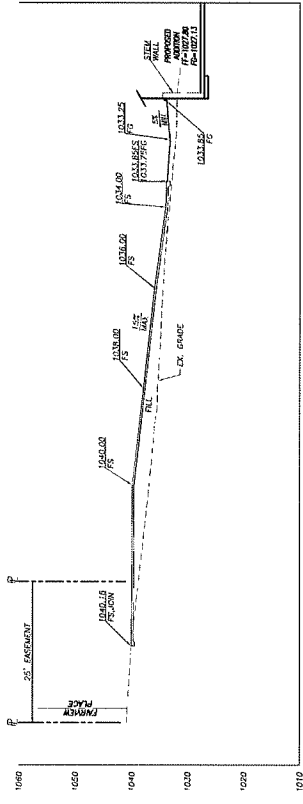
CITY OF AGOURA HILLS
AGOURA HILLS
PROJECT NO. **5886**
SHEET **3** OF **4**



SECTION C
1"=10'



SECTION D
1"=10'



FIRE ACCESS ROAD PROFILE
1"=10'



REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

PREPARED BY: **MANUJAN GUNDELL, INC.**
 57480
 PROJECT ENGINEER RCE DATE

REVIEWED BY: _____ DATE
 REVIEWED BY: _____ DATE
 REVIEWED BY: _____ DATE

CITY OF AGORA HILLS APPROVAL
 CITY OF AGORA HILLS
 PROJECT NO. _____ SHEET 4 OF 4
 5856 FAIRVIEW PLACE
 AGORA HILLS, CA. 91301

ATTACHMENT 3

Project Renderings

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SOUTHWEST VIEW

5856 FAIRVIEW PLACE, AGOURA HILLS, CALIFORNIA 91301



NORTHWEST VIEW

5856 FAIRVIEW PLACE, AGOURA HILLS, CALIFORNIA 91301

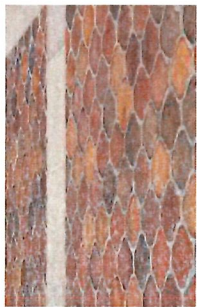
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ATTACHMENT 4
Color and Material Board

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DRIVEWAY/ACCESS ROAD
 SAND FINISH CONCRETE
 COLOR: TAN



PATIO
 TERRA COTTA PAVERS



PILASTERS
 3 RIVERS STONE



PATHWAYS
 DECOMPOSED GRANITE
 COLOR: TAN/GOLD



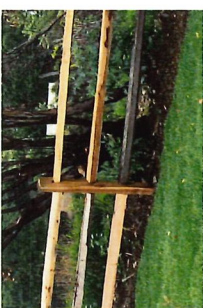
COURTYARD
 DECORATIVE PEA GRAVEL



LANDSCAPE WALL
 GRAVITY BOULDER WALL



STAIRS
 3 RIVERS STONE PAVERS
 PENNSYLVANIA BLUE STONE (ALT.)

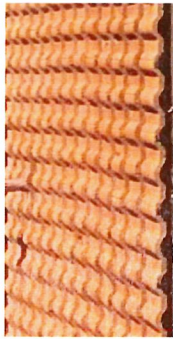


FENCING
 SPLIT RAIL FENCE/MANUAL GATE
 CEDAR



WALKWAYS
 3 RIVERS STONE PAVERS
 PENNSYLVANIA BLUE STONE (ALT.)

COLOR AND MATERIALS BOARD



ROOF TILE

EXISTING CONCRETE TILE
CLASS 'A' ROOF ASSEMBLY
COLOR: TERRA COTTA



DOORS AND WINDOWS

KOLBE, ULTRA SERIES
EXTERIOR MATERIAL: ALUM. CLAD
COLOR: MEDITERRANEAN

EXTERIOR WALLS

7/8" SMOOTH TROWELED STUCCO
COLOR: SNOWBOUND, SW7004
SHERWIN-WILLIAMS



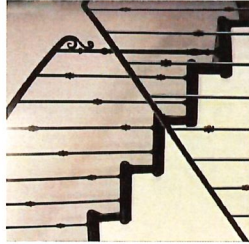
FRONT DOOR

COLOR AND STYLE



GARAGE DOORS

STYLE, COLOR TO MATCH
FRONT DOOR



IRON WORK

WROUGHT IRON GUARDRAILS



COLUMN LANTERN
MODEL: SPJ30-02B
FINISH: BRONZE/CLEAR SEEDY



WALL LANTERN
MODEL: SPJ46-04A
FINISH: BRONZE/CLEAR SEEDY



GATE

STYLE, COLOR TO MATCH
FRONT DOOR

LIGHTING FIXTURES

SPJ LIGHTING, INC.

REVISIONS	BY
AUG 2021	ZO

PROPOSED REMODEL AND ADDITION FOR:
ADAM MEHR AND JENNIFER NYE
5856 FAIRVIEW PLACE
AGOURA HILLS, CALIFORNIA, 91301

CLIVE DAWSON A.I.A.
architecture and planning
2825 Pacific Coast Highway, Malibu, California 90265 310.589.1921

JOB NO.
09410.17

SCALE

DATE
APR 2021

ATTACHMENT 5

Letter from Old Agoura Homeowner's Planning and
Zoning Committee

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**Old Agoura Homeowner
Planning and Zoning Committee**

September 30, 2021

Attn: Planning Department

Re: 5856 Fairview.

Re: Addition to the existing residence.

The Planning and zoning committee from the Old Agoura Home Owners has viewed the site and reviewed the plans by Clive Dawson Architecture and planning, dated November 2020 no revisions noted.

Property is listed as 65,759 S.F. The slope of the property is listed as 17.82%, reducing the FAR from 5,715 S.F. to 5,544 S.F. The new and existing developments are stated to be 5,443 S.F. with a 690 S.F. exemption for the garage as permitted in the Old Agoura Guidelines; below the maximum FAR. Lot coverage is stated as 14,122 S.F., 2,318 S.F. under the maximum permitted. Building height and setbacks also comply. Lot coverage is also stated to comply.

The project consist of two separate areas added to the opposite ends of the house, with a small formal entry in the middle. The applicant and or the architect have maintained the existing Spanish architecture which works well with Old Agoura. The heavy wood timber at the eaves, trim color and tile roof produce a home that is timeless in style.

The original plans have been modified, and now have gable identifying the entry. We thank the applicant and the owner for implementing our suggestions.

The site is equine friendly, with a minimum of 1,500 S.F. open space with good access, next to the fire department road in the front of the property.

Assuming the project complies with local codes and the Old Agoura Design Overlay, we suggest approval of the project as presented.

We Thank Staff for allowing Old Agoura Homeowners to be a part of the review process. Feel free to call me if you have any questions, I can be reached at 818-599-6842.

Best,

Daniel Farkash

Daniel Farkash

Old Agoura Planning and Zoning.