



Agoura Village Specific Plan (AVSP) Citizens Advisory Group
Meeting X



Agenda

1. Planning Principles
2. Land Use Allocation

Next Steps

- a) Next Meeting: January 2022



Review of Meetings to Date

1. 2/23/21 CAG Orientation
2. 3/16/21 AVSP Natural Features and Environmental Concerns
3. 4/20/21 AVSP Market Assessment, Housing Element/HCD Update
4. 5/4/21 Walking Tour
5. 6/15/21 Objective Design Standards
6. 7/6/21 Objective Design Standards
7. 8/17/21 Objective Design Standards
8. 10/5/21 Land Use Allocation
9. 11/16/21 Land Use Allocation



Introduction

➤ Purpose

- Provide recommendations on Land Use allocation

➤ Desired Outcomes

- Review conceptual revised site plans for Zones G and K (Theater and Whizin's)
- Confirm conceptual site plan for mini storage site
- Look at massing on Agoura Road south
- Gain consensus on massing and recommended development standard adjustments.
- Review parking standards
- Review percentage of ground floor retail

➤ Next Steps

- January meeting, TBD



Planning Principles

- Planning Principles associated with this discussion:
 - Principle 1 – Ensure the AVSP vision provides a village concept with complementary uses
 - Principle 2 – Use the market demand to help guide the AVSP process
 - Principle 3 – Adjust the land use allocations to create a mixed-use plan
 - Principle 4 – Re-allocate mixed-use to the north side of Agoura Road
 - Principle 5 – Ensure the AVSP meets Housing Element allocation
 - Principle 10 – Allocate uses per parcel as opposed to per zone



Demand Projections Summary for Agoura Village

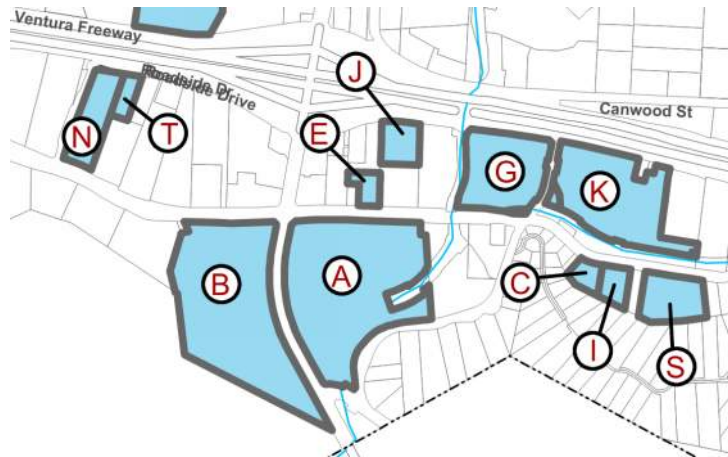
Land Use	2008 Specific Plan	TNDG Demand Projection	Comments
Retail (square feet)	506,548	150,000 – 250,000	Focus on “lifestyle” tenants
Office/industrial (SF)		75,000 – 125,000	Any industrial will occur in a “business park” format
Hotel (SF)	70,000	60,000 – 120,000	Assumes up to two hotels, in phases
Non-residential total	576,548	310,000 – 570,000	
Residential (units)	293	500+	Market demand assumed to be strong

Square footages and dwelling unit counts are “new” (do not include existing development)



Housing Element Projections for AVSP

- Re-designate the AVSP Sites
- Dwelling Units per Acre: Max. 25 du/ac, Min. 20 du/ac
- Affordable Units: 7% VL, 4% L, 4% M (15% per IPO)
- Objective Design and Development Standards



Site	Base 20 du/ac	Overlay 25 du/ac
A	165.8	309.25
B	98.8	182.5
C	11.60	21.75
E	12	22.5
<u>G</u>	<u>83</u>	<u>156</u>
I	20	30
J	23.4	44
<u>K</u>	<u>133.4</u>	<u>250</u>
Total	548	1,016

Draft Land Use Allocation

ZONES K & G, J AND E





Massing Studies


- Whizins and Regency Site Updates
 - Concept Plan
 - Birdseye
 - Example outdoor and gathering spaces
 - View from across 101
- Mini Storage Site Plan Concept
 - Example of naturalizing the drainage channels
- Agoura Rd. South View – 2 views

Draft Land Use Allocation Comparisons



- Existing AVSP
- Market Demand
- Housing Element Sites

Land Use	Existing AVSP	Market Demand (New)	Housing Element (20-25 du/ac)
Commercial	576,458 s.f.	310,000-570,000 s.f.	--
Residential	293 du	500+	548 -1,016 units

 Residential currently allowed

What We've Heard



- Preserve Views of the mountains
- Preserve existing oak trees
- Provide 50' setback from riparian vegetation
- Increase land use intensity on north side of Agoura Road and add residential
- Reduce land use intensity and heights south of Agoura Road
- Enhance building frontage and pedestrian character along Agoura Road, Roadside Drive, and Cornell Road
- Utilize draft Housing Element and sites inventory for proposed housing sites

Draft Land Use Allocation

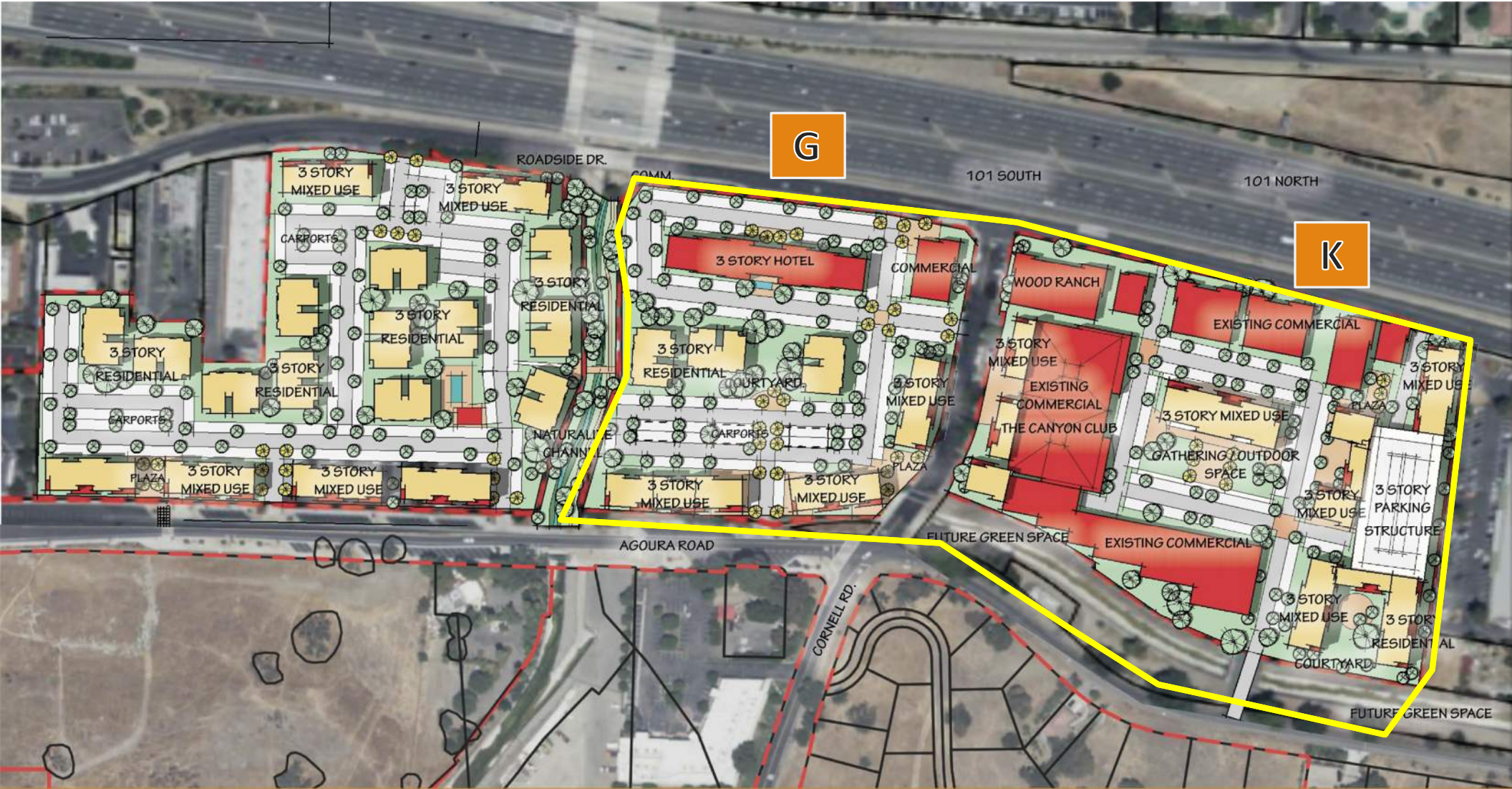


Mixed-Use (.35 FAR) Commercial ground floor with res/office above * Allows 70,000 sq. ft. hotel
 Residential (25 du/acre)

- Preserve Views of the mountains
- Preserve existing oak trees
- Provide 50' setback from riparian vegetation
- Reduce land use intensity south of Agoura Road
- Increase land use intensity on north side of Agoura Road
- Enhance character along Agoura Road, Roadside Drive, and Cornell Road
- Utilize draft Housing Element and sites inventory for proposed housing sites



Site Plans G & K



G

K

3 STORY MIXED USE

3 STORY MIXED USE

ROADSIDE DR.

COMM.

101 SOUTH

101 NORTH

CARRPORTS

3 STORY RESIDENTIAL

3 STORY RESIDENTIAL

3 STORY HOTEL

COMMERCIAL

WOOD RANCH

EXISTING COMMERCIAL

3 STORY RESIDENTIAL

3 STORY RESIDENTIAL

3 STORY RESIDENTIAL

3 STORY MIXED USE

3 STORY MIXED USE

EXISTING COMMERCIAL

3 STORY MIXED USE

CARRPORTS

3 STORY RESIDENTIAL

NATURAL CHANNEL

COURTYARD

3 STORY MIXED USE

EXISTING COMMERCIAL

THE CANYON CLUB

3 STORY MIXED USE

GATHERING OUTDOOR SPACE

PLAZA

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

PLAZA

3 STORY MIXED USE

3 STORY MIXED USE

AGOURA ROAD

FUTURE GREEN SPACE

EXISTING COMMERCIAL

3 STORY PARKING STRUCTURE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

3 STORY MIXED USE

CORNELL RD.

FUTURE GREEN SPACE

Site Plans G & K

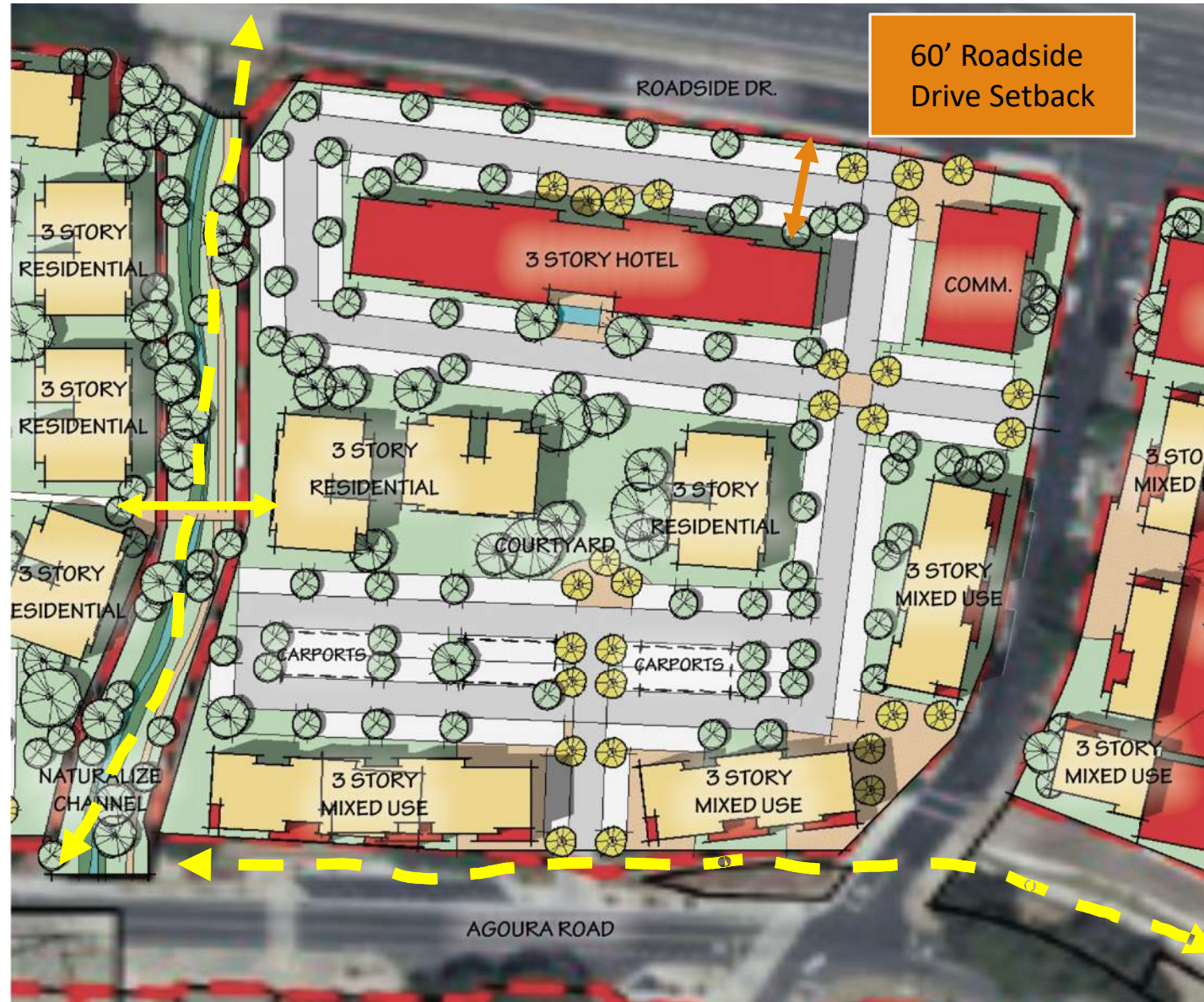
- Revised per CAG recommendations:
 - 3 Story Hotel
 - Maintain existing Whizin's commercial buildings and Canyon Club
 - Add Mixed Use and Parking Structure if possible



Site Plan G (6.7 ac)

- Max 3 story / 45' buildings
- Residential entrances / lobbies, gyms, and/or admin office allowable in min. ground floor percentage
- 60' min. Roadside Drive hotel setback; 25' retail
- Ground floor residential to accommodate variety of retail space sizes (liner shops & larger retail spaces)
- Site Plan Stats / Yield
 - Density achieved: 25 du/ac = 168 units; reduced to 120 units to allow separate hotel use) HE Allocation = 156 @ 25 DU/AC
 - Total commercial: 35,000 sf
 - Required Parking: approx. 125 hotel, 120 commercial, 270 residential with 20% reduction = 461 spaces
 - Existing Parking: approx. 450

 Linear Park Connection



Site Plan K (10 ac)

- Residential entrances / lobbies, gyms, and/or admin office allowable in min. ground floor percentage
- Min. 25' Roadside Drive mixed use setback
- Ground floor residential to accommodate variety of retail space sizes (liner shops & larger retail spaces)
- Site Plan Stats / Yield
 - Density achieved: 25 du/ac = 252 units; HE Allocation = 252 @ 25 DU/AC
 - Total commercial: 32,000 sf
 - Required Parking: approx. 120 commercial, 567 residential with 20% reduction = 550 spaces
 - Existing Parking: approx. 500

 Linear Park Connection



Site Plan K (10 ac)

- Residential entrances / lobbies, gyms, and/or admin office allowable in min. ground floor percentage
- Min. 25' Roadside Drive mixed use setback
- Ground floor residential to accommodate variety of retail space sizes (liner shops & larger retail spaces)
- Site Plan Stats / Yield
 - Density achieved: 25 du/ac = 100 units; HE Allocation = 252 @ 25 DU/AC
 - Total commercial (existing): 115,000 sf
 - Total commercial (new): 30,000 sf
 - Required Parking: approx. 485 commercial, 225 residential with 20% reduction (141) = 569 spaces
 - Parking provided: approx. 175 surface parking and a 4 story structure with 400 spaces = 575 spaces
 - Existing parking: approx. 500

— — — — — Linear Park Connection




Outdoor Gathering Areas

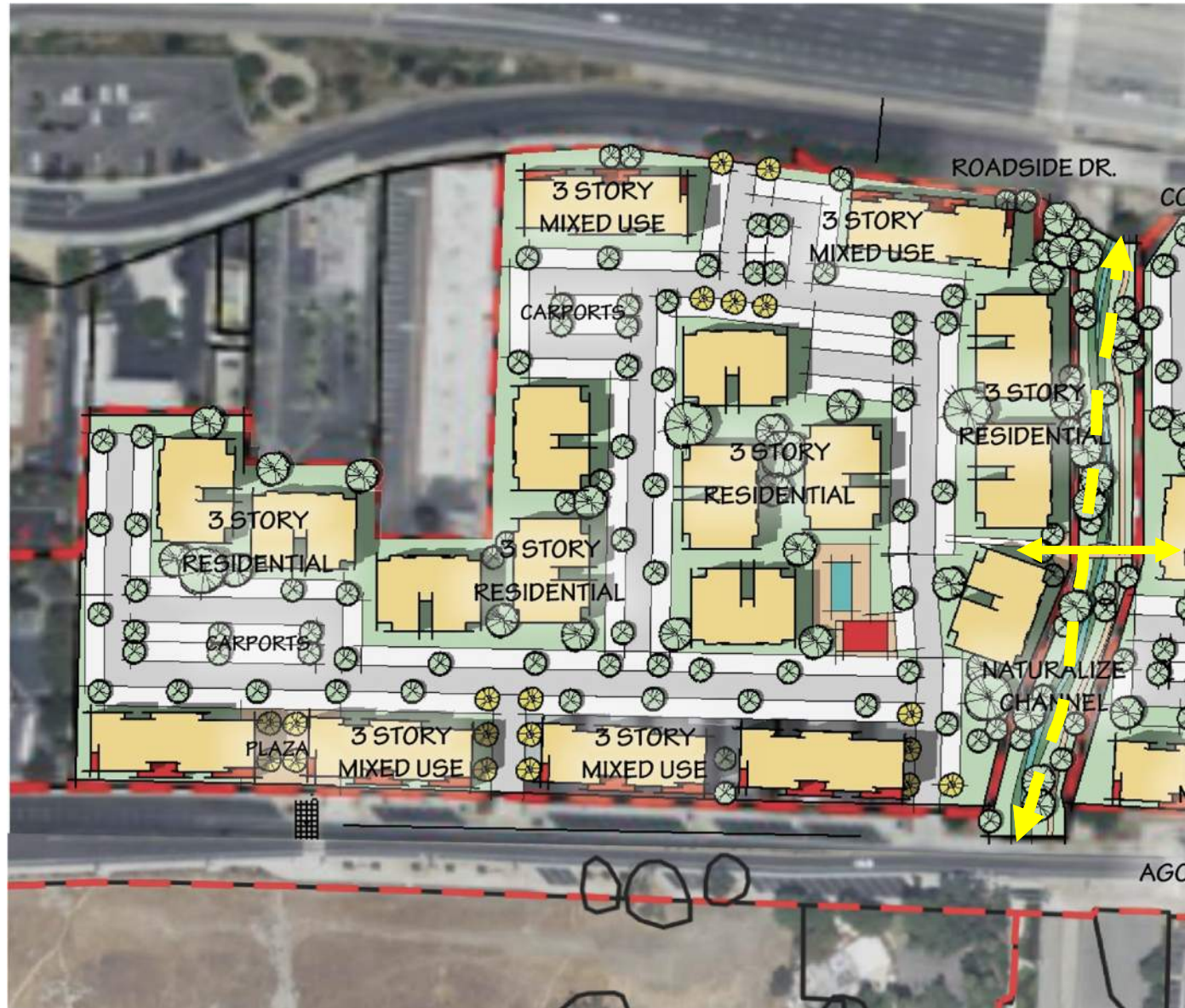
- Public Art
- Gathering spaces/Activity areas
- Plazas
- Dining



Site Plan E/J and beyond (9.3 ac)

- Max 3 story / 45' buildings
 - Single story... add Scott's info
- Ground floor residential to accommodate variety of retail space sizes (liner shops & larger retail spaces)
- Site Plan Stats / Yield
 - Density achieved: 25 du/ac = 216 units. (156 apartments, 60 units in Mixed-Use) HE Allocation = 233 @ 25 DU/AC
 - Total commercial: 40,000 sf
 - Required Parking: approx. 133 commercial, 486 residential with 20% reduction = 495 spaces
 - Parking provided: approx. 500 surface spaces (216 with carports).

 Linear Park Connection





Naturalize
the
drainage
channel





Before

- Aerial view of Regency Theater and Whizin's sites G and K.



After

- Aerial view of Regency Theater and Whizin's sites G and K.



Before

➤ View across 101 of Whizins



After

➤ View across 101 of Whizins



Before

- View from Agoura Road looking south



After – 1 story

➤ View from Agoura Road looking south

South Side Agoura Road		
Development Standards	Existing AVSP	Revised AVSP
Density	20 du/ac 25 du/ac with Density Bonus	25 du/ac
Setbacks	Front (min) 10', (max) - 15' Side (min) - 0', (max) - 10' Rear min - 0'	Front (min) 10', (max) - 15' Side (min) - 0', (max) - 10' Rear min - 0'
Building Height	15' (min. - 35' (max) and 2 stories max, unless hotel or residential provided on 3 rd floor, then 45' max.	20' max fronting Agoura Rd. and Kanan Rd., 45' max. for 3 story residential not fronting



After – 2 story

➤ View from Agoura Road looking south

South Side Agoura Road		
Development Standards	Existing AVSP	Revised AVSP
Density	20 du/ac 25 du/ac with Density Bonus	25 du/ac
Setbacks	Front (min) 10', (max) - 15' Side (min) - 0', (max) - 10' Rear min - 0'	Front (min) 10', (max) - 15' Side (min) - 0', (max) - 10' Rear min - 0'
Building Height	15' (min. - 35' (max) and 2 stories max, unless hotel or residential provided on 3 rd floor, then 45' max.	30' max fronting Agoura Rd. and Kanan Rd., 45' max. for 3 story residential not fronting



Before

- View of Agoura Rd. looking southwest



After – 1 story

➤ View from Agoura Road looking southwest to Kanan Rd.

South Side Agoura Road		
Development Standards	Existing AVSP	Revised AVSP
Density	20 du/ac 25 du/ac with Density Bonus	25 du/ac
Setbacks	Front (min) 10', (max) - 15' Side (min) - 0', (max) - 10' Rear min - 0'	Front (min) 10', (max) - 15' Side (min) - 0', (max) - 10' Rear min - 0'
Building Height	15' (min. - 35' (max) and 2 stories max, unless hotel or residential provided on 3 rd floor, then 45' max.	20' max fronting Agoura Rd. and Kanan Rd., 45' max. for 3 story residential not fronting



After – 2 story

➤ View from Agoura Road looking southwest to Kanan Rd.

South Side Agoura Road		
Development Standards	Existing AVSP	Revised AVSP
Density	20 du/ac 25 du/ac with Density Bonus	25 du/ac
Setbacks	Front (min) 10', (max) - 15' Side (min) - 0', (max) - 10' Rear min - 0'	Front (min) 10', (max) - 15' Side (min) - 0', (max) - 10' Rear min - 0'
Building Height	15' (min. - 35' (max) and 2 stories max, unless hotel or residential provided on 3 rd floor, then 45' max.	30' max fronting Agoura Rd. and Kanan Rd., 45' max. for 3 story residential not fronting



Parking Ratio Comparison

Land Use	Agoura Hills	San Luis Obispo	Camarillo	Ventura
MULTI-FAMILY				
Studio or bachelor	1 covered + 0.5 uncovered	0.75 per bedroom + 1 guest parking per 5 units	1 space	1 space + .25 additional open guest space for every unit, but no less than 1
One (1) bedroom	1.5 covered + 1.0 uncovered		1.5 spaces	1 space + .25 additional open guest space for every unit, but no less than 1
Two (2) bedrooms or more	2 covered+ 0.50 uncovered		2 spaces for each two-bdrm/ 2.5 spaces for each three-bdrm/ 3 spaces for each four-bdrm	2 spaces + .25 additional open guest space for every unit, but no less than 1
Notes	Uncovered parking spaces shall be used for guest parking	No less than 1 space per dwelling unit	See Summary above, plus 2 open guest spaces	1 resident parking space for each dwelling unit shall be within a garage or carport



Development Standards Mods

➤ Lot Coverage

- Do not require 100% commercial on ground floor street front—(financing difficulties)
- 60% min. non-residential ground floor coverage
- Residential entrances / lobbies, gyms, and/or admin office allowable in min. ground floor %

➤ Parking Standards

- Suggest change in parking requirements from 2 covered and .5 guest/Unit to; 1 covered, 1 uncovered, and .25 guest/Unit
 - City of San Luis Obispo requires 0.75 space per bedroom (no less than 1 space per unit, plus 1 guest parking space / 5 units)
- Suggest mixed-use parking reductions for projects with residential (up to 20%) with Director approval
 - City of San Luis Obispo allows for shared parking reductions where parking serves more than one use, up to 20 % with Director approval



Questions?

➤ Desired Outcomes

- Consensus on conceptual mix and massing in Zones G and K (Theater and Whizin's) and Mini Storage site
- Confirm direction on south side of Agoura Road – 1 or 2 stories
- Confirm the parking standards, mixed-use reduction, and percentage of ground floor retail
- Other CAG advice/feedback/input?



Next Steps

- CAG Meeting #11 – January 2022
 - Review all Planning Principles with what we've heard/input from CAG.



Agoura Village Specific Plan (AVSP) Citizens Advisory Group
Meeting X