



## **Appendix L**

Assembly Bill 52 Communications



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*"Gateway to the Santa Monica Mountains National Recreation Area"*

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February 16, 2022

Julie Tumamait-Stenslie  
Barbareno/Ventureno Band of Mission Indians  
365 North Poli Avenue  
Ojai, CA 93023

SUBJECT: AB 52 CONSULTATION WITH NATIVE AMERICAN TRIBES

Dear Ms. Temamai-Stenslie:

I am writing to you pursuant to AB 52's requirement for consultation with Native American tribes. Please let us know within 30 days of the receipt of this letter if you wish to initiate consultation pursuant to AB 52 and California Public Resource Code Section 21080.3.1(a) and 65352.4 regarding the following project. If so, please let me know if you would be your tribe's lead contact person, or provide the name and contact information for another lead tribal representative with whom we can coordinate.

Project Name: Ladyface Vista Professional Office Complex  
Project Case Nos.: CUP-2021-004, SPR-2021-007, OAK-2021-0012, TRM-2021-0001, and SIGN-2021-0013

The project consists of five, one-story office buildings in a campus like setting on a vacant parcel located on the north side of Canwood Street, west of Kanan Road. The hillside lot is approximately 3.23 acres, 2.32 acres of which will be developed and the remaining 0.91 acres left in a natural state. The site is bordered by the Los Angeles County Fire Station 89 to its west and an office building to its east. The buildings will vary from 3,526 square feet to 5,767 square feet in size and will be clustered in the center of the parcel with surface parking all around. The hillside will be retained with soil nails walls in the rear and conventional walls on the sides of the property. The oak trees will remain in place with minor encroachment on five of the seven surveyed oak trees.

The City of Agoura Hills has determined that a mitigated negative declaration is the appropriate document to be prepared, pursuant to the California Environmental Quality Act (CEQA). I attached a vicinity map and project plans to assist you in your review.

If you have any questions, or need further information, please let me know. I can be reached at (818) 597-7328 or at [vdarbouze@agourahillscity.org](mailto:vdarbouze@agourahillscity.org). Thank you for your time.

Ms. Julie Tumamait-Stenslie  
February 16, 2022  
Page 2

Sincerely,

A handwritten signature in black ink, reading "Valerie Darbouze". The signature is written in a cursive style with a long, sweeping tail that extends to the right.

Valerie Darbouze, Associate Planner  
Community Development Department  
Planning Division

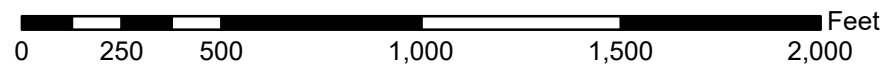
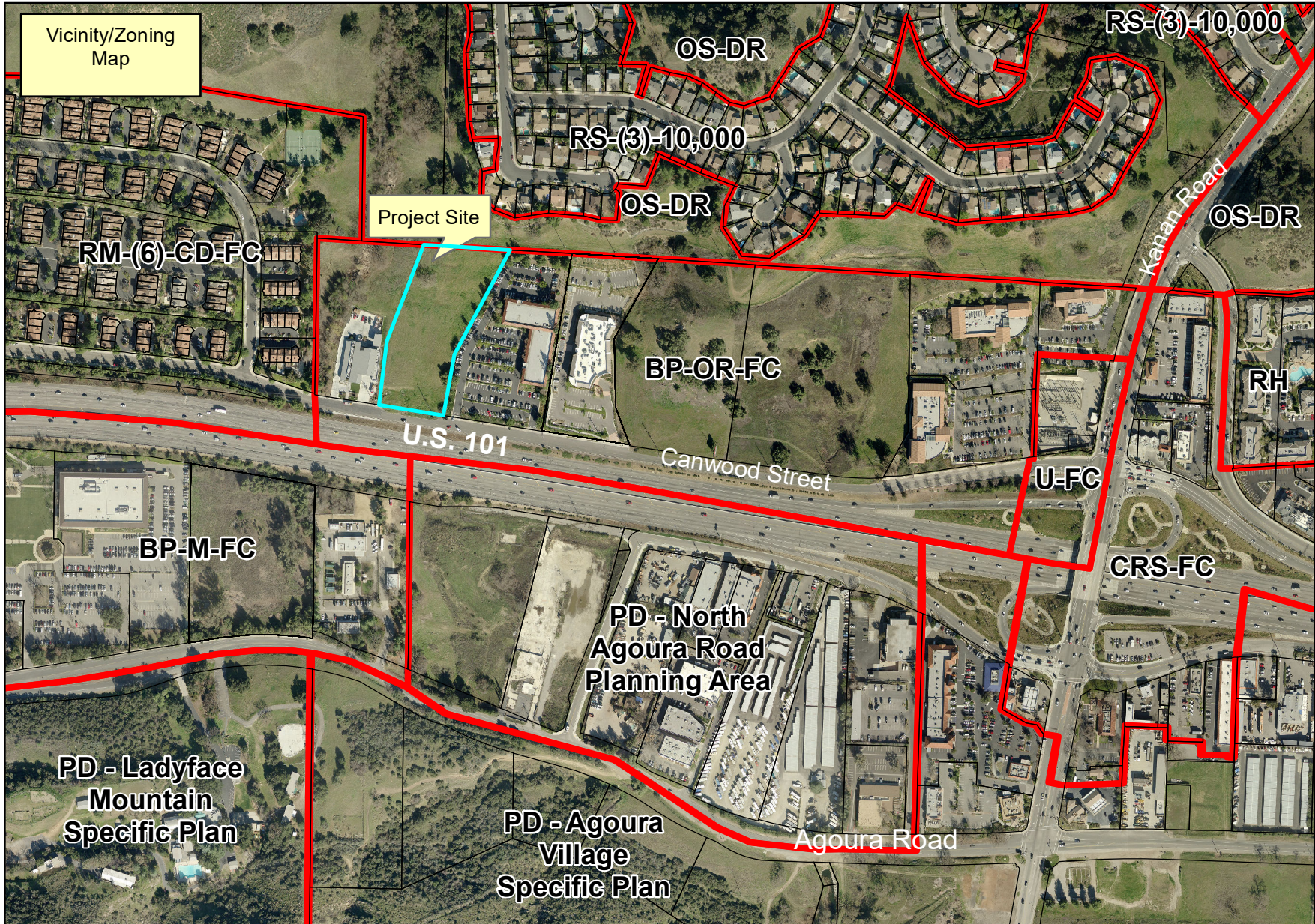
Attachments

- Vicinity Map
- Project Plans



# City of Agoura Hills

Case Nos. CUP-2021-0004, SPR-2021-0007, OAK-2021-0012, TTM-2021-0001, & SIGN-2021-0013







PROJECT DIRECTORY

NO.	DESCRIPTION	DATE
001	CONCEPT DEVELOPMENT	08/20/20
002	PRELIMINARY DESIGN	08/20/20
003	SCHEMATIC DESIGN	08/20/20
004	DESIGN DEVELOPMENT	08/20/20
005	PERMITTING	08/20/20
006	CONSTRUCTION ADMINISTRATION	08/20/20
007	POST-OCCUPANCY EVALUATION	08/20/20
008	ARCHITECTURAL RECORDS	08/20/20
009	LANDSCAPE ARCHITECTURE	08/20/20
010	MECHANICAL, ELECTRICAL, PLUMBING (MEP)	08/20/20
011	STRUCTURAL	08/20/20
012	ENVIRONMENTAL	08/20/20
013	TRAVEL AND TRANSPORTATION	08/20/20
014	UTILITY	08/20/20
015	CONSTRUCTION MANAGEMENT	08/20/20

VICINITY MAP



PROJECT SITE



PROJECT SUMMARY

**PROJECT ADDRESS:** 29541-29555 CRANWOOD STREET, AGOURA HILLS, CA 91301

**PROJECT ZONE:** SP-100-100

**PROJECT TYPE:** OFFICE AND RETAIL

**PROJECT AREA:** 42,379 S.F.

**LANDSCAPE AREA:** 4,238 S.F.

**PARKING:** 179 BICYCLE STALLS, 470 CAR STALLS

**TRAVEL AND TRANSPORTATION:** 179 BICYCLE STALLS, 470 CAR STALLS

**UTILITY:** 179 BICYCLE STALLS, 470 CAR STALLS

**CONSTRUCTION MANAGEMENT:** 179 BICYCLE STALLS, 470 CAR STALLS

GENERAL NOTES

- ALL EXTERIOR MATERIALS USED FOR EXTERIOR FINISHES, PATIO DECKS, HIGH FIRE HAZARD MATERIALS SHALL BE VERIFIED AND LISTED IN COMPLIANCE WITH ARTICLE VII IN THE AGOURA HILLS MUNICIPAL CODE.
- THIS PROJECT SHALL BE SUBJECT TO THE 2014 CALIFORNIA BUILDING, MECHANICAL, ELECTRICAL, PLUMBING, AND GREEN BUILDING CODES AND AGOURA HILLS MUNICIPAL CODE.
- THE SPECIFICATIONS FOR ALL NON STRUCTURED SHALL BE REQUIRED PER AGOURA HILLS MUNICIPAL CODE 202.

PROJECT DIRECTORY

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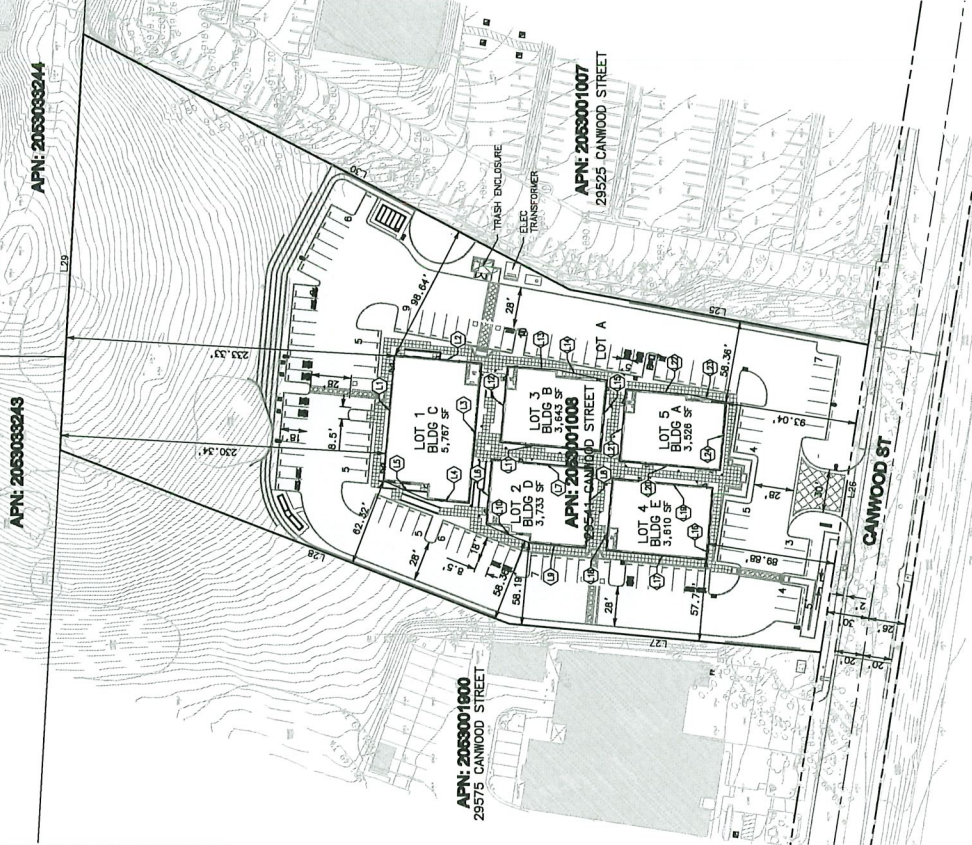






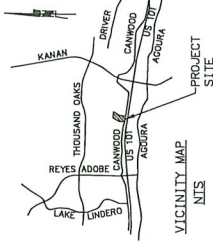
# CANWOOD OFFICE CAMPUS

TRACT MAP 083518  
 29541 CANWOOD STREET, AGOURA HILLS, CA 91301



Line #	Length	Direction
L1	88.36	S85°00'00.00"E
L2	82.42	S4°46'00.00"W
L3	99.00	N85°00'00.00"W
L4	30.58	N5°00'00.00"E
L5	33.68	N53°04'09.95"E
L6	46.10	S88°00'00.00"E
L7	72.00	S8°00'00.00"W
L8	56.29	N85°00'00.00"W
L9	40.87	N5°00'00.00"E
L10	15.70	N21°00'35.88"E
L11	71.25	N5°00'00.00"E
L12	53.77	S69°00'00.00"E
L13	35.53	S7°46'10.72"W
L14	35.98	S11°52'28.24"W
L15	50.19	N85°00'00.00"W
L16	51.00	N85°17'11.92"W
L17	72.00	N5°00'00.00"E
L18	51.25	S85°00'00.00"E
L19	71.75	S5°12'08.85"W
L20	71.74	N47°47'51.03"E

Line #	Length	Direction
L21	91.25	S85°10'39.20"E
L22	43.52	S4°47'00.00"W
L23	26.87	S11°37'14.75"W
L24	47.94	N84°41'12.85"W
L25	274.55	S69°14'58.00"W
L26	278.43	S8°17'43.13"E
L27	221.28	N5°00'20.00"E
L28	340.84	N29°48'36.02"E
L29	292.47	S84°37'15.00"E
L30	388.77	S27°18'26.00"W



VICINITY MAP

### EASEMENT SCHEDULE

EASEMENT DESCRIPTION	STATUS
AN EASEMENT FOR UTILITY, SEWER, DRAINAGE, ACCESS, PARKING, WATER AND LANDSCAPE PURPOSES OVER LOT A OF LOT 1 TRACT 083518.	PROPOSED

### PROPOSED LOTTING

LOT	AREA (AC)	AREA (SQ FT)	LAND USE
LOT 1	2.706	120,482	COMMON
LOT 2	0.379	16,608	INDUSTRIAL
LOT 3	0.665	28,986	INDUSTRIAL
LOT 4	0.601	26,370	INDUSTRIAL
LOT 5	0.663	28,954	INDUSTRIAL

### UTILITIES

DESCRIPTION	UNITS
STANDARD PARKING STALLS	106
ACCESSIBLE PARKING STALLS	5
TOTAL PARKING STALLS	110

### LAND USE DATA

GROSS AREA	141,508 SF (3.25 AC)
NET AREA	141,508 SF (3.25 AC)
EXISTING ZONING	INDUSTRIAL PLANNED DEVELOPMENT
PROPOSED ZONING	INDUSTRIAL PLANNED DEVELOPMENT
EXISTING LAND USE	INDUSTRIAL
PROPOSED LAND USE	INDUSTRIAL
BUILDING FOOTPRINT	20,275 SF
BUILDING A	3,558 SF
BUILDING B	3,143 SF
BUILDING C	5,787 SF
BUILDING D	3,733 SF
BUILDING E	3,810 SF
LANDSCAPE AREA	55,189 SF
LANDSCAPE AREA	21,007 SF

### UTILITIES

WATER	LAS VIRGENES MUNICIPAL WATER DISTRICT 4233 LAS VIRGENES ROAD AGOURA HILLS, CA 91302 (916) 251-2200
ELECTRICAL	SOUTHERN CALIFORNIA EDISON 3588 FOOTHILL DRIVE AGOURA HILLS, CA 91301 (800) 811-8121
TELEPHONE	AT&T (916) 845-2929
GAS	SOUTHERN CALIFORNIA GAS 8400 DOWLE AVENUE AGOURA HILLS, CA 91301 (916) 701-3300
SEWER	LA COUNTY DEPT. OF PUBLIC WORKS SEWER MAINTENANCE DIVISION 1001 S. STATE ST., SUITE 200, AGOURA HILLS, CA 91303 (916) 300-3308
CABLE	SPECTRUM CABLE LOS ANGELES, CA 90045 (310) 218-3345
CALTRANS	CALTRANS BULLYWOOD TRAZANA, CA 91356 (662) 388-1426



## VESTING TENTATIVE TRACT MAP FOR CANWOOD OFFICE CAMPUS



DATE	03/31/2023
DATE	03/31/2023
DATE	03/31/2023

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	DATE	APPROVED

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	DATE	APPROVED

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PREPARED BY  
**DELANE**  
 ENGINEERING & ARCHITECTURE



REVIEWED BY  
 JESSICA FORTE, PE  
 CITY ENGINEER

CITY OF AGOURA HILLS APPROVAL

DATE: 03/31/23  
 SCALE: 1"=40'

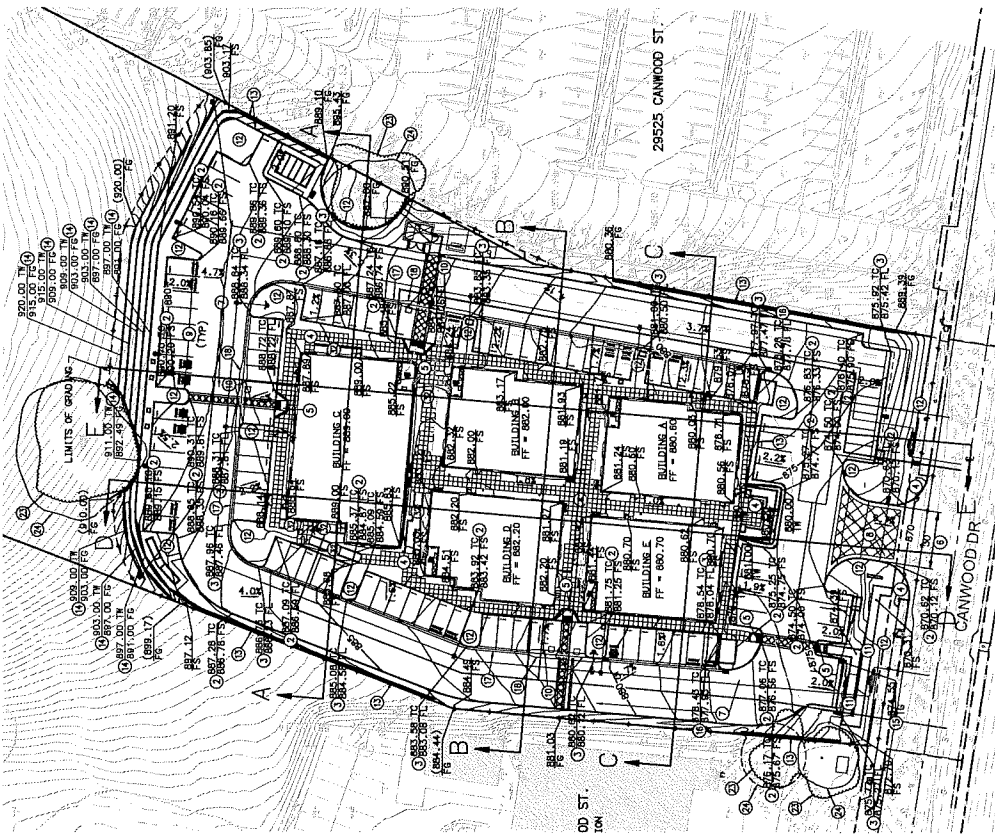
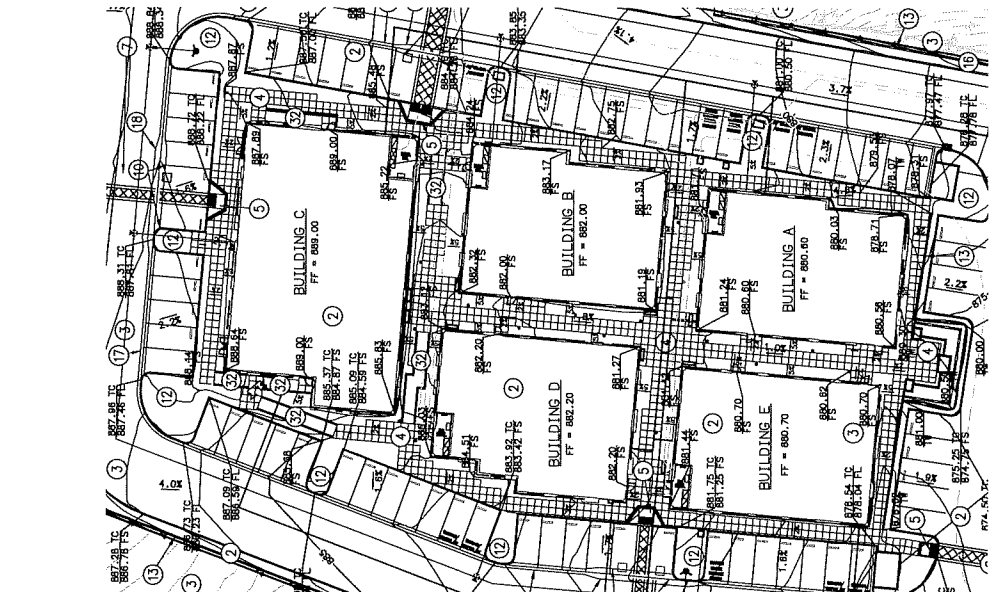
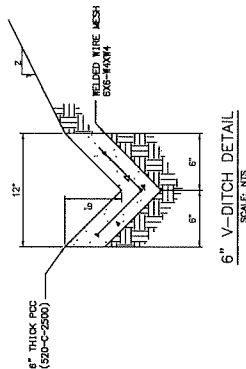
DATE: 03/31/23



- GENERAL NOTES**
1. MINIMUM 2% SLOPE FOR PERVIOUS SURFACES WITHIN 10' OF BUILDING.
  2. MINIMUM 2% SLOPE FOR IMPERVIOUS SURFACES WITHIN 10' OF BUILDING.

**CONSTRUCTION NOTES**

1. CONCRETE CURB ONLY
2. CONCRETE CURB AND GUTTER
3. CONCRETE SIDEWALK
4. CONCRETE CURB RAMP
5. CONCRETE DRIVEWAY
6. ASPHALT DRIVEWAY
7. ASPHALT DRIVEWAY WITH STALL STRIPINGS
8. ASPHALT DRIVEWAY WITH STALL STRIPINGS AND PARKING STALL STRIPINGS
9. ASPHALT DRIVEWAY WITH STALL STRIPINGS AND PARKING STALL STRIPINGS AND LANDSCAPING
10. MASONRY RETAINING WALL 6" MAX HEIGHT, WITH CONCRETE V-PITCH WITH 0.5% MIN LONGITUDINAL SLOPE. SEE DETAIL HEREIN.
11. 6" THICK FRC (520-C-2500) CONCRETE PAVEMENT WITH 0.5% MIN LONGITUDINAL SLOPE. SEE DETAIL HEREIN.
12. CATCH BASIN TRAP INLET FOR STORM WATER
13. LONGITUDINAL GUTTER
14. LONGITUDINAL GUTTER WITH STALL STRIPINGS
15. LONGITUDINAL GUTTER WITH STALL STRIPINGS AND PARKING STALL STRIPINGS
16. LONGITUDINAL GUTTER WITH STALL STRIPINGS AND PARKING STALL STRIPINGS AND LANDSCAPING
17. LONGITUDINAL GUTTER WITH STALL STRIPINGS AND PARKING STALL STRIPINGS AND LANDSCAPING AND TREE PROTECTED ZONE OUTLINE
18. STAIRS



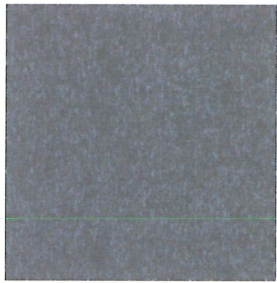
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	DATE	APPROVED	DATE	REVIEWED BY	DATE	PREPARED BY	DATE	ISSUE NO.	EXP. DATE

PREPARED BY **DELANE** ENGINEERING, INC.  
 1000 N. WINDY HILLS DR. SUITE 100  
 BOCA RATON, FL 33433  
 (561) 995-3333  
 www.delane.com

CITY OF ACQUORA HILLS APPROVAL

REVIEWED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_ DATE: \_\_\_\_\_  
 ISSUE NO.: \_\_\_\_\_ EXP. DATE: \_\_\_\_\_

CITY OF ACQUORA HILLS  
 ACCQUORA HILLS  
 PRECISE GRADING AND DRAINAGE PLAN  
 FOR  
 CANWOOD OFFICE CAMPUS  
 SHEET 3 OF 6

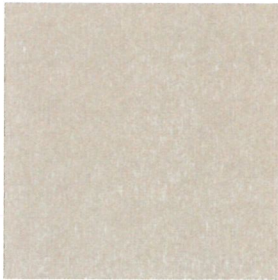


1 HARD TROWEL FINISH WITH ELASTOMERIC PAINT TO MATCH DUNN EDWARDS DE6214 COAL MINER

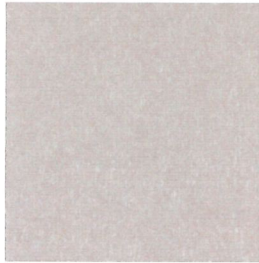


25619 agoura road  
agoura hills , california , 91301  
t: 818.594.0057 f: 866.800.1289  
w: pkarchitecture.net

CANWOOD OFFICE CAMPUS  
29541-29555 CANWOOD STREET  
AGOURA HILLS, CALIFORNIA



2 HARD TROWEL FINISH WITH ELASTOMERIC PAINT TO MATCH DUNN EDWARDS DE6214 PIGEON GRAY



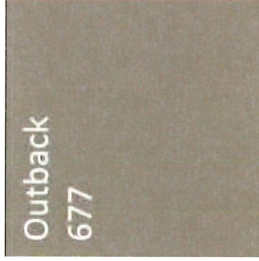
3 HARD TROWEL FINISH WITH ELASTOMERIC PAINT TO MATCH DUNN EDWARDS DET625 RECLAIMED WOOD



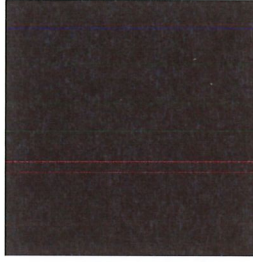
4 TILE - BY DALTILE SLIMLITE ALLOY EFFECTS RECTANGULAR SIZE: 20"x39" COLOR: DISTRESSED COPP - TP48 FINISH: SATIN



5 STONE VENEER: MATCH "CORONADO STONE PRODUCTS" ITALIAN VILLA - CHABLIS



6 STAMPED CONCRETE: MATCH "DAVIS COLOR" OUTBACK - 677



7 STANDING SEAM METAL ROOF AND METAL FASCIA PAINTED BLACK

date: 04/14/2021

job number: 20-5720





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*"Gateway to the Santa Monica Mountains National Recreation Area"*

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February 23, 2022

Jairo Avila  
Tribal Historic and Cultural Preservation Officer  
Fernandeno Tataviam Band of Mission Indians  
1019 Second Street  
San Fernando, CA 91340

SUBJECT: AB 52 CONSULTATION WITH NATIVE AMERICAN TRIBES

Mr. Avila:

I am writing to you pursuant to AB 52's requirement for consultation with Native American tribes. Please let us know within 30 days of the receipt of this letter if you wish to initiate consultation pursuant to AB 52 and California Public Resource Code Section 21080.3.1(a) and 65352.4 regarding the following project. If so, please let me know if you would be your tribe's lead contact person, or provide the name and contact information for another lead tribal representative with whom we can coordinate.

Project Name: Ladyface Vista Professional Office Complex  
Project Case Nos.: CUP-2021-004, SPR-2021-007, OAK-2021-0012, TRM-2021-0001, and SIGN-2021-0013

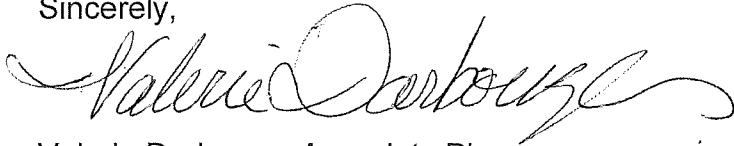
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If you have any questions, or need further information, please let me know. I can be reached at (818) 597-7328 or at [vdarbouze@agourahillscity.org](mailto:vdarbouze@agourahillscity.org). Thank you for your time.

Mr. Avila  
February 23, 2022  
Page 2

Sincerely,

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Valerie Darbouze, Associate Planner  
Community Development Department  
Planning Division

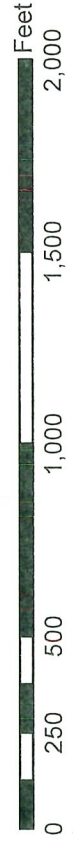
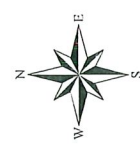
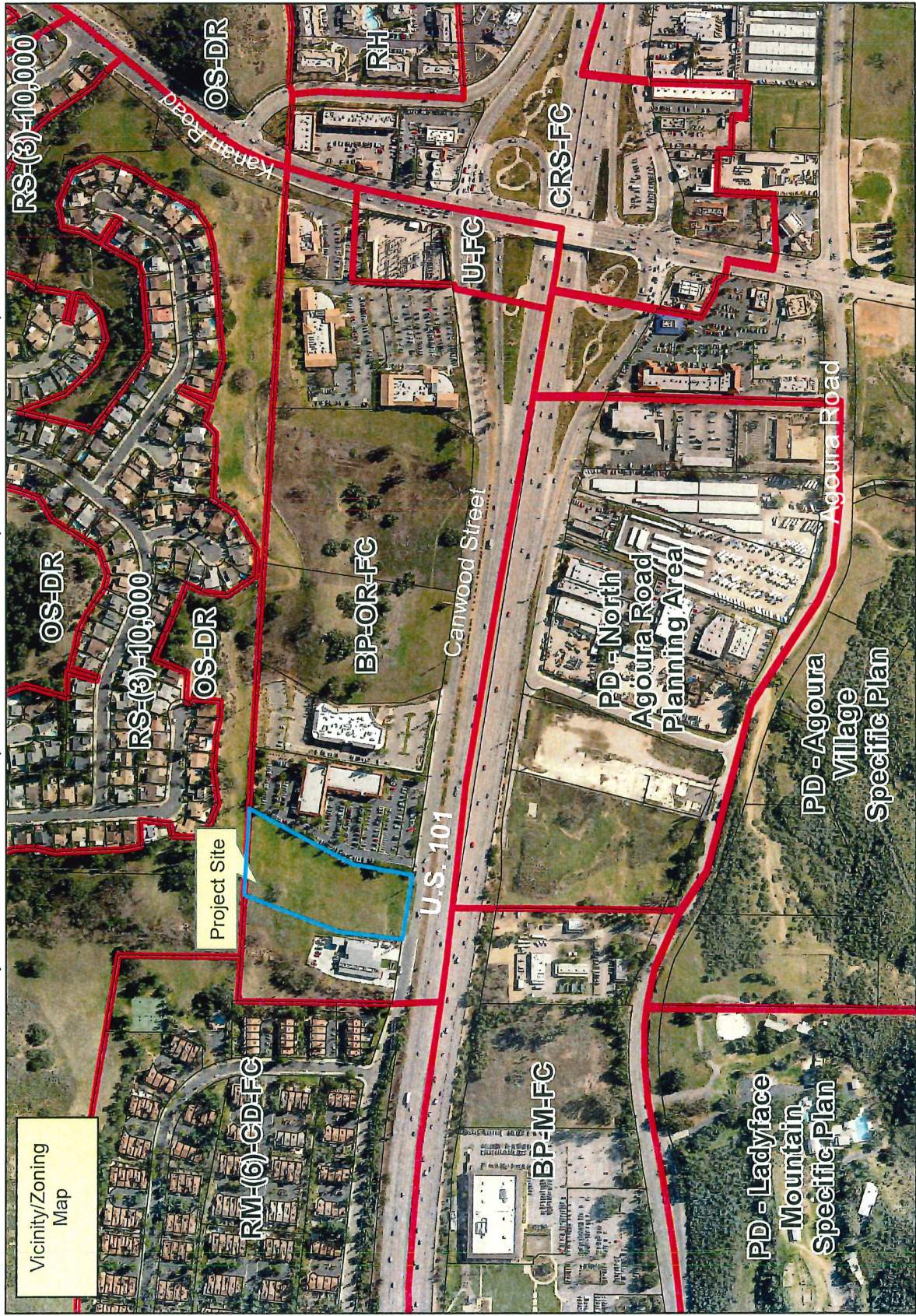
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- Project Plans



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**PROJECT DIRECTORY**

NO.	PROJECT INFORMATION
01-1	SITE PLAN
01-2	CONCEPTUAL SITE PLAN
02-1	EXTERIOR FINISH ELEVATION
02-2	EXTERIOR LIGHTING ELEVATION
03-1	FLOOR NOOT PLAN & ELEVATION
03-2	FLOOR NOOT PLAN & ELEVATION
04-1	TRUCK TRAILER ELEVATION
04-2	TRUCK TRAILER ELEVATION
05-1	LINE OF SIGHT
05-2	LINE OF SIGHT
06-1	TRUCK TRAILER
06-2	TRUCK TRAILER
07-1	TRUCK TRAILER
07-2	TRUCK TRAILER
08-1	TRUCK TRAILER
08-2	TRUCK TRAILER
09-1	TRUCK TRAILER
09-2	TRUCK TRAILER
10-1	TRUCK TRAILER
10-2	TRUCK TRAILER

**VICINITY MAP**



**PROJECT SUMMARY**

**PROJECT ADDRESS:** 29541-29555 CRAWWOOD STREET, AGOURA HILLS, CA 91301

**PROXIMATE ZONING:** APN: 4005-020-005

**REQUIREMENTS:** LOT AREA: 52,500 SQ. FT. LANDSCAPE AREA: 85,500 SQ. FT. TRUCK TRAILER: 1700 SQ. FT. HARDWARE STORAGE: 3,400 SQ. FT. PARKING: 400 STALLS (200 STALLS ON SITE, 200 STALLS OFF-SITE)

**DESCRIPTION:** THIS PROJECT WILL CONSIST OF ONE (1) INDUSTRY/RESEARCH OFFICE BUILDING, THE BUILDING IS CONTAINED TO BE A CAMPUS LIKE BUILDING. THE TOTAL GROUND AREA IS 52,500 SQ. FT. ALL FIVE BUILDINGS WILL BE PROVIDED WITH TRUCK TRAILERS, HARDWARE STORAGE, ACCOMMODATIONS, AND MULTIPLE OFFICE BUILDINGS.

**TRUCK TRAILER:** 1700 SQ. FT. HARDWARE STORAGE: 3,400 SQ. FT. PARKING: 400 STALLS (200 STALLS ON SITE, 200 STALLS OFF-SITE)

**GENERAL NOTES**

- ALL EXTERIOR MATERIALS USED FOR CONCRETE, TERRAZZO, PAVING, TERRAZZO, AND OTHER MATERIALS SHALL BE PERMITTED TO BE USED AS SET FORTH IN ARTICLE VII OF THE AGOURA HILLS MUNICIPAL CODE.
- THIS PROJECT SHALL BE SUBJECT TO THE CITY OF CALIFORNIA, BUILDING DEPARTMENT. THE CITY OF CALIFORNIA, BUILDING DEPARTMENT, SHALL REVIEW AND APPROVE ALL PERMITS AND OTHER NECESSARY DOCUMENTS FOR THE PROJECT.
- FIVE SPALLS FOR ALL TEN STRUCTURES WILL BE REQUIRED PER AGOURA HILLS MUNICIPAL CODE 90512.

**PROJECT DIRECTORY**

NO.	PROJECT INFORMATION
01-1	SITE PLAN
01-2	CONCEPTUAL SITE PLAN
02-1	EXTERIOR FINISH ELEVATION
02-2	EXTERIOR LIGHTING ELEVATION
03-1	FLOOR NOOT PLAN & ELEVATION
03-2	FLOOR NOOT PLAN & ELEVATION
04-1	TRUCK TRAILER ELEVATION
04-2	TRUCK TRAILER ELEVATION
05-1	LINE OF SIGHT
05-2	LINE OF SIGHT
06-1	TRUCK TRAILER
06-2	TRUCK TRAILER
07-1	TRUCK TRAILER
07-2	TRUCK TRAILER
08-1	TRUCK TRAILER
08-2	TRUCK TRAILER
09-1	TRUCK TRAILER
09-2	TRUCK TRAILER
10-1	TRUCK TRAILER
10-2	TRUCK TRAILER

**DEVELOPMENT STANDARDS**

**MINIMUM SIDE YARD WALL:** MINIMUM SIDE YARD WALL 3'-0" HIGHER THAN THE BUILDING FINISH FLOOR LEVEL.

**MINIMUM FRONT YARD WALL:** MINIMUM FRONT YARD WALL 3'-0" HIGHER THAN THE BUILDING FINISH FLOOR LEVEL.

**MINIMUM REAR YARD WALL:** MINIMUM REAR YARD WALL 3'-0" HIGHER THAN THE BUILDING FINISH FLOOR LEVEL.

**MINIMUM LANDSCAPE AREA:** MINIMUM LANDSCAPE AREA 50% OF THE TOTAL GROUND AREA.

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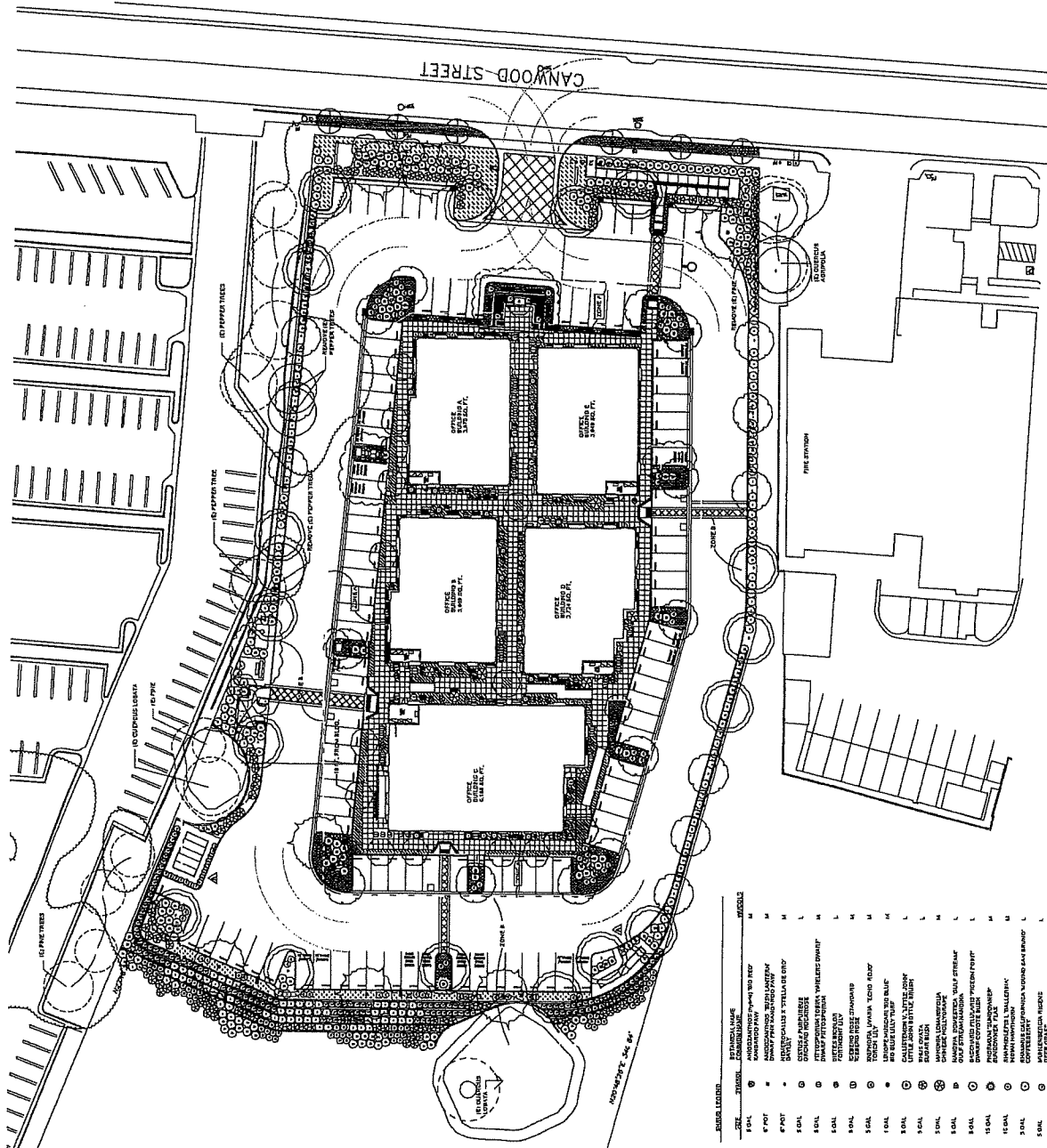
NO. DATE BY DESCRIPTION	REVISIONS
A/1/27/22 PJ STRUB SCREEN ADDED	

PROJECT  
 Canwood Office Campus  
 29555 Canwood Street  
 Agoura Hills, CA 91301

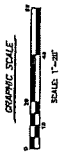
CLIENT  
 Martin Telebauem  
 569 Constitution Ave., Suite H  
 Camarillo, CA 93012

DATE	1/27/22
PROJECT NO.	22-01
SHEET NO.	1 OF 3
DRAWING	LANDSCAPE

PLANTING PLAN



SYMBOL	PLANTING NAME	QUANTITY	NOTES
1	10' PINE TREES	10	PLANTING ZONE 1
2	10' OBTUSE LIMBS	10	PLANTING ZONE 2
3	10' PINE TREES	10	PLANTING ZONE 3
4	10' PINE TREES	10	PLANTING ZONE 4
5	10' PINE TREES	10	PLANTING ZONE 5
6	10' PINE TREES	10	PLANTING ZONE 6
7	10' PINE TREES	10	PLANTING ZONE 7
8	10' PINE TREES	10	PLANTING ZONE 8
9	10' PINE TREES	10	PLANTING ZONE 9
10	10' PINE TREES	10	PLANTING ZONE 10
11	10' PINE TREES	10	PLANTING ZONE 11
12	10' PINE TREES	10	PLANTING ZONE 12
13	10' PINE TREES	10	PLANTING ZONE 13
14	10' PINE TREES	10	PLANTING ZONE 14
15	10' PINE TREES	10	PLANTING ZONE 15
16	10' PINE TREES	10	PLANTING ZONE 16
17	10' PINE TREES	10	PLANTING ZONE 17
18	10' PINE TREES	10	PLANTING ZONE 18
19	10' PINE TREES	10	PLANTING ZONE 19
20	10' PINE TREES	10	PLANTING ZONE 20



SYMBOL	PLANTING NAME	QUANTITY	NOTES
1	10' PINE TREES	10	PLANTING ZONE 1
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3	10' PINE TREES	10	PLANTING ZONE 3
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8	10' PINE TREES	10	PLANTING ZONE 8
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10	10' PINE TREES	10	PLANTING ZONE 10
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16	10' PINE TREES	10	PLANTING ZONE 16
17	10' PINE TREES	10	PLANTING ZONE 17
18	10' PINE TREES	10	PLANTING ZONE 18
19	10' PINE TREES	10	PLANTING ZONE 19
20	10' PINE TREES	10	PLANTING ZONE 20

SYMBOL	PLANTING NAME	QUANTITY	NOTES
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19	10' PINE TREES	10	PLANTING ZONE 19
20	10' PINE TREES	10	PLANTING ZONE 20

THESE PLANTINGS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S PLAN AND SPECIFICATIONS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE LANDSCAPE ARCHITECT'S FIRM SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PLANTINGS OR STRUCTURES DURING THE CONSTRUCTION OF THE PROJECT.



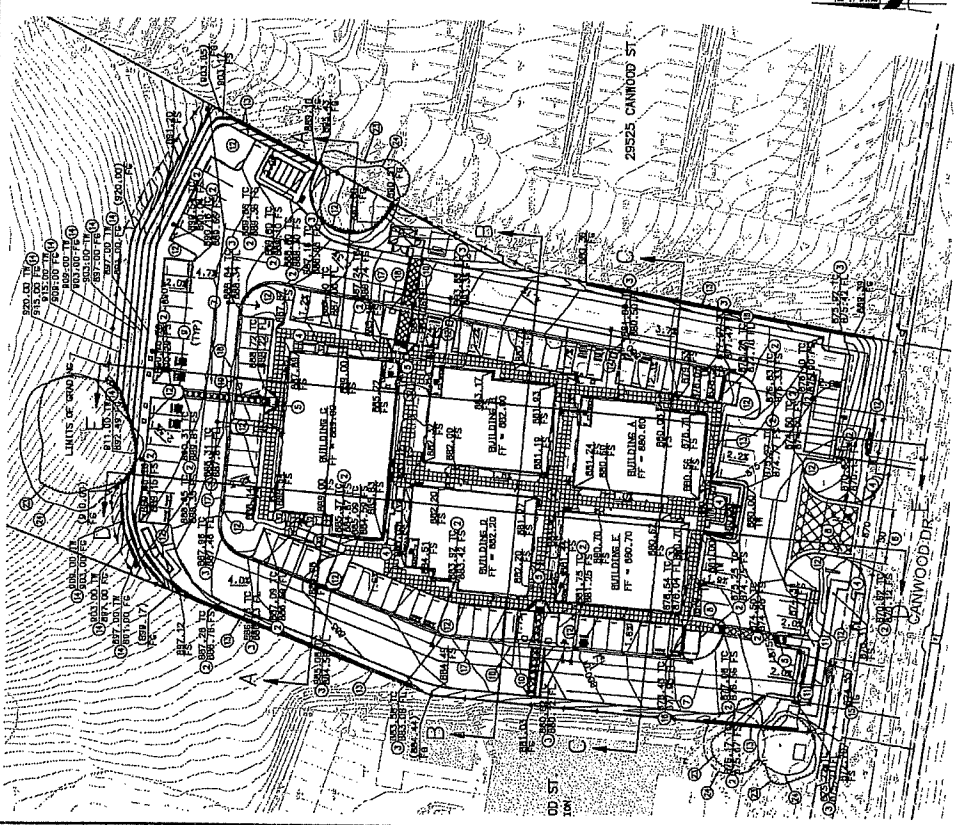
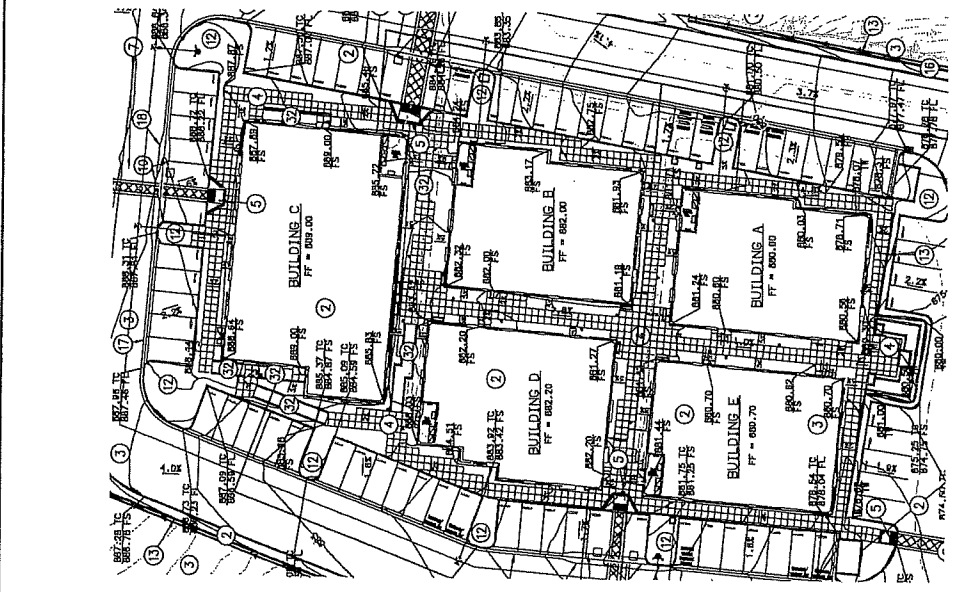
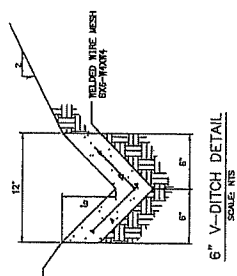


**GENERAL NOTES**

1. MINIMUM 2% SLOPE FOR PAVED SURFACES WITHIN 10' OF BUILDING.
2. MINIMUM 2% SLOPE FOR IMPAVED SURFACES WITHIN 10' OF BUILDING.

**CONSTRUCTION NOTES**

1. CONCRETE CURB ONLY
2. CONCRETE CURB AND GUTTER
3. CONCRETE DRIVEWAY
4. CONCRETE DRIVEWAY
5. 4" F. F. DRIVEWAY
6. CONCRETE DRIVEWAY
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99. CONCRETE DRIVEWAY
100. CONCRETE DRIVEWAY



SCALE 1"=20'



**DELANE**  
ENGINEERING  
P.L.L.C.

REVISION #	DATE	DESCRIPTION OF CHANGE

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

REVIEWED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

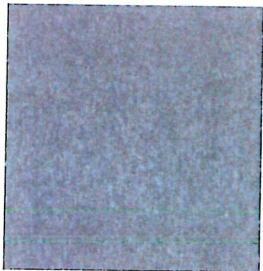


**PRECISE GRADING AND DRAINAGE PLAN**  
FOR  
**CANWOOD OFFICE CAMPUS**

SHEET 3 OF 6

CITY OF ACOURA HILLS, FLA.





1 HARD TROWEL FINISH WITH ELASTOMERIC PAINT TO MATCH DUNN EDWARDS DET613 COAL MINER



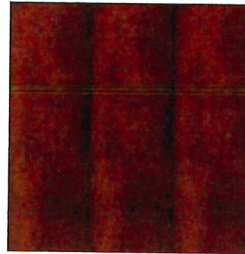
28619 agoura road  
agoura hills : california : 91301  
t 818.584.0057 f 866.600.1289  
w: pkarchitecture.net



2 HARD TROWEL FINISH WITH ELASTOMERIC PAINT TO MATCH DUNN EDWARDS DE6214 PIGEON GRAY



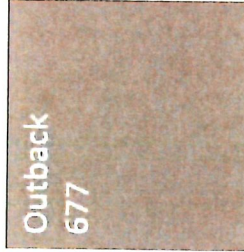
3 HARD TROWEL FINISH WITH ELASTOMERIC PAINT TO MATCH DUNN EDWARDS DET625 RECLAIMED WOOD



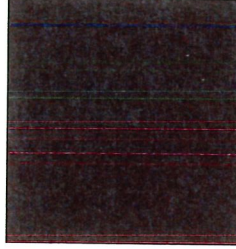
4 TILE-BY-DAL TILE SLIMLITE ALLOY EFFECTS RECTANGULAR SIZE: 20"x39" COLOR: DISTRESSED COPP - TP48 FINISH: SATIN



5 STONE VENEER: MATCH "COLORADO STONE PRODUCTS" ITALIAN VILLA - CHABLIS



6 STAMPED CONCRETE: MATCH DAVIS COLOR "OUTBACK-877"



7 STANDING SEAM METAL ROOF AND METAL FASCIA PAINTED BLACK

CRANWOOD OFFICE CAMPUS  
28541-29555 CRANWOOD STREET  
AGOURA HILLS, CALIFORNIA

date: 04/14/2021

job number: 20-5720



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*"Gateway to the Santa Monica Mountains National Recreation Area"*

---

February 23, 2022

Anthony Morales, Chief  
Gabrieleno Tongva  
San Gabriel Band of Mission Indians  
Post Office Box 693  
San Gabriel, CA 91778

SUBJECT: AB 52 CONSULTATION WITH NATIVE AMERICAN TRIBES

Mr. Morales:

I am writing to you pursuant to AB 52's requirement for consultation with Native American tribes. Please let us know within 30 days of the receipt of this letter if you wish to initiate consultation pursuant to AB 52 and California Public Resource Code Section 21080.3.1(a) and 65352.4 regarding the following project. If so, please let me know if you would be your tribe's lead contact person, or provide the name and contact information for another lead tribal representative with whom we can coordinate.

Project Name: Ladyface Vista Professional Office Complex  
Project Case Nos.: CUP-2021-004, SPR-2021-007, OAK-2021-0012, TRM-2021-0001, and SIGN-2021-0013

The project consists of five, one-story office buildings in a campus like setting on a vacant parcel located on the north side of Canwood Street, west of Kanan Road. The hillside lot is approximately 3.23 acres, 2.32 acres of which will be developed and the remaining 0.91 acres left in a natural state. The site is bordered by the Los Angeles County Fire Station 89 to its west and an office building to its east. The buildings will vary from 3,526 square feet to 5,767 square feet in size and will be clustered in the center of the parcel with surface parking all around. The hillside will be retained with soil nails walls in the rear and conventional walls on the sides of the property. The oak trees will remain in place with minor encroachment on five of the seven surveyed oak trees.

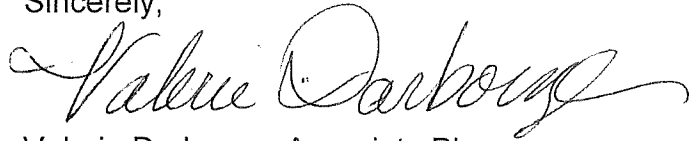
The City of Agoura Hills has determined that a mitigated negative declaration is the appropriate document to be prepared, pursuant to the California Environmental Quality Act (CEQA). I attached a vicinity map and project plans to assist you in your review.

If you have any questions, or need further information, please let me know. I can be reached at (818) 597-7328 or at [vdarbouze@agourahillscity.org](mailto:vdarbouze@agourahillscity.org). Thank you for your time.



Mr. Morales  
February 23, 2022  
Page 2

Sincerely,

A handwritten signature in black ink, reading "Valerie Darbouze". The signature is written in a cursive, flowing style with a long horizontal flourish extending to the right.

Valerie Darbouze, Associate Planner  
Community Development Department  
Planning Division

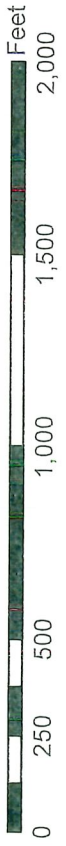
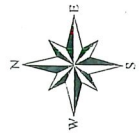
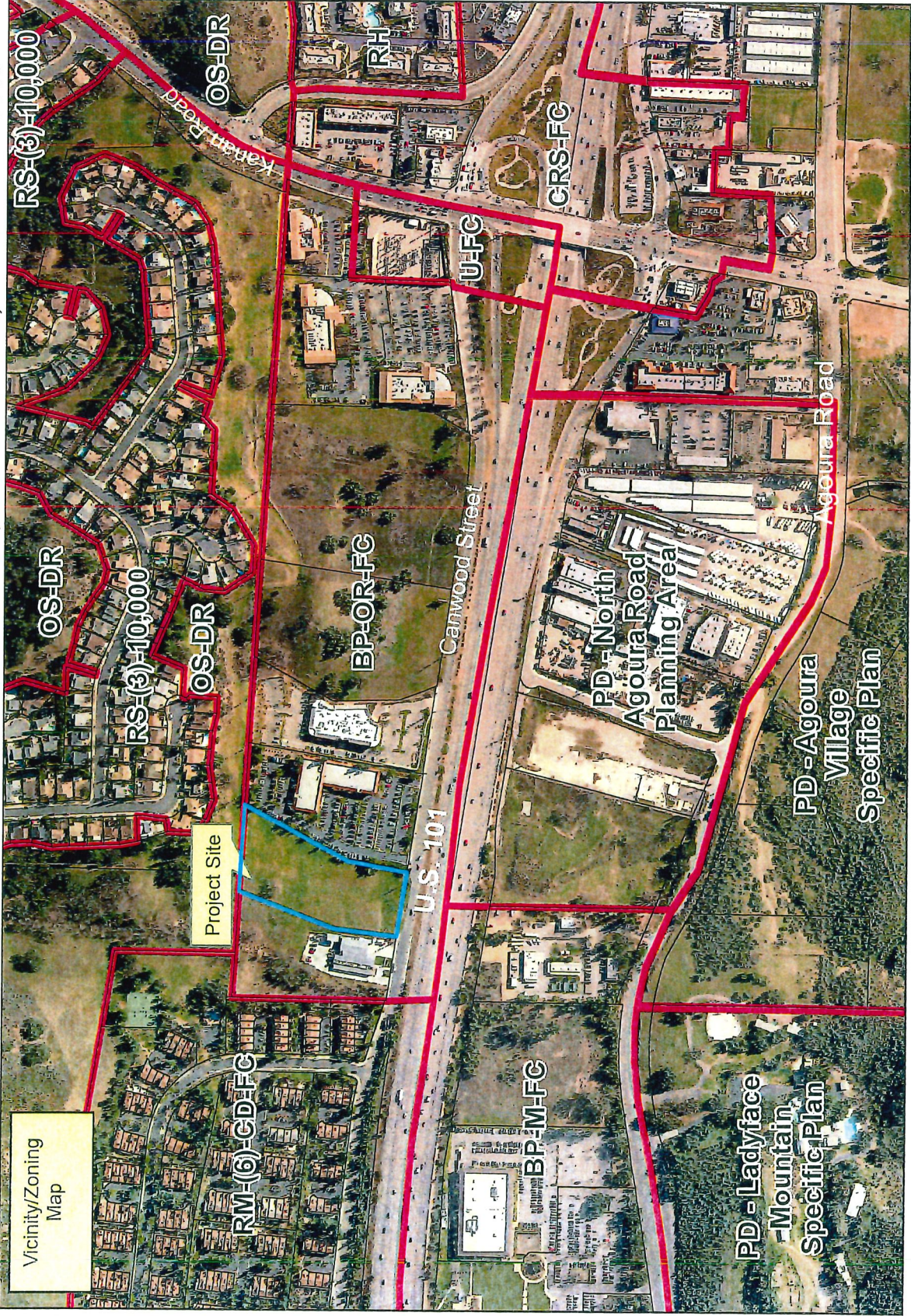
Attachments

- Vicinity Map
- Project Plans



# City of Agoura Hills

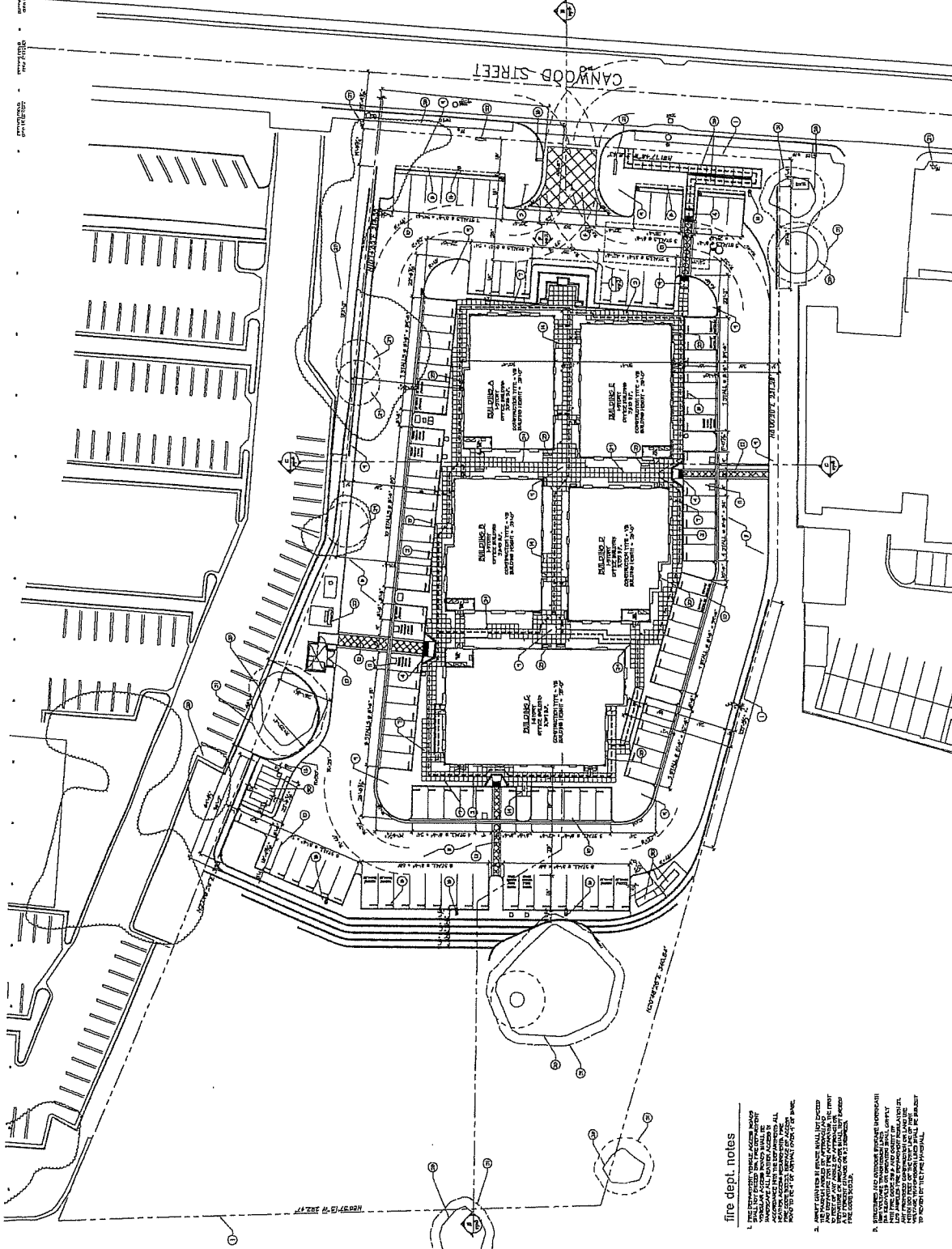
Case Nos. CUP-2021-0004, SPR-2021-0007, OAK-2021-0012, TTM-2021-0001, & SIGN-2021-0013











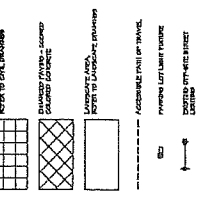
**site plan keynotes**

1. EXISTING BUILDING FOOTPRINT
2. EXISTING PARKING LOTS
3. EXISTING DRIVEWAYS
4. EXISTING LANDSCAPE
5. EXISTING UTILITIES
6. EXISTING EASEMENTS
7. EXISTING STREETS
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82. EXISTING STREETS
83. EXISTING CURBS
84. EXISTING SIDEWALKS
85. EXISTING BIKEWAYS
86. EXISTING TREES
87. EXISTING LIGHT FIXTURES
88. EXISTING SIGNAGE
89. EXISTING FENCES
90. EXISTING WALLS
91. EXISTING DOORS
92. EXISTING WINDOWS
93. EXISTING ROOFS
94. EXISTING FOUNDATIONS
95. EXISTING UTILITY TRENCHES
96. EXISTING EASEMENT TRENCHES
97. EXISTING STREETS
98. EXISTING CURBS
99. EXISTING SIDEWALKS
100. EXISTING BIKEWAYS

**site plan general notes**

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
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9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

**site plan legend**



**fire dept. notes**

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
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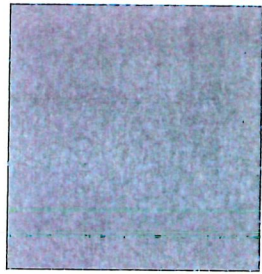
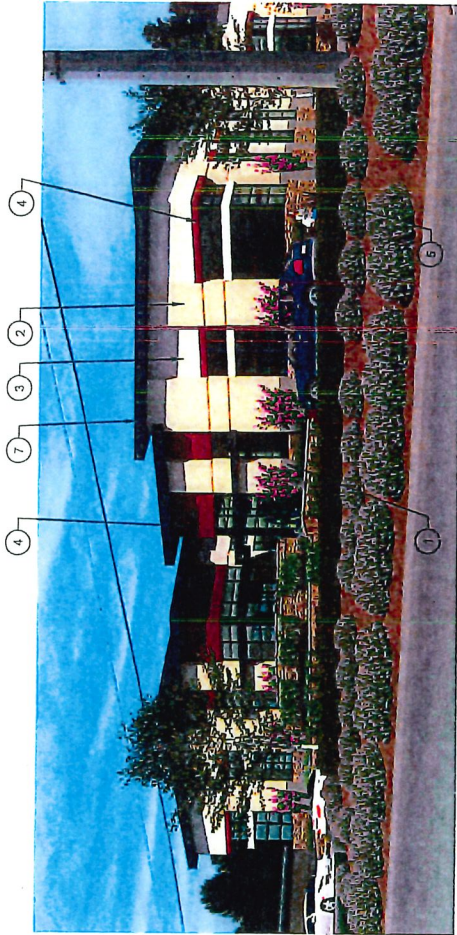










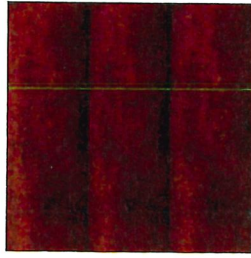


1 HARD TROWEL FINISH WITH ELASTOMERIC PAINT TO MATCH DUNN EDWARDS DET613 COAL MINER

2 HARD TROWEL FINISH WITH ELASTOMERIC PAINT TO MATCH DUNN EDWARDS DE6214 PIGEON GRAY

3 HARD TROWEL FINISH WITH ELASTOMERIC PAINT TO MATCH DUNN EDWARDS DET625 RECLAIMED WOOD

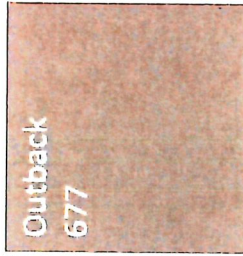
4 TILE - BY DAL TILE SLIMLITE ALLOY EFFECTS RECTANGULAR SIZE: 20"x38" COLOR: DISTRESSED COPP - TP48 FINISH: SATIN



5 STONE VENEER: MATCH "CORONADO STONE PRODUCTS" ITALIAN VILLA - CHABLIS



6 STAMPED CONCRETE: MATCH "DAVIS COLOR" OUTBACK - 677



7 STANDING SEAM METAL ROOF AND METAL FASCIA PAINTED BLACK

