



**SITE PLAN/ARCHITECTURAL REVIEW – CASE NO. 05-SPR-015,  
OAK TREE PERMIT – CASE NO. 05-OTP-023 &  
SIGN PERMIT - CASE NO. 05-SP-024**

**Exhibit E**

**Letters Received in Response to the Application**

**SUPPORT**

**pasadenaautowash1@sbcglobal.net**

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**From:** <HakianP@aol.com>  
**To:** <pasadenaautowash1@sbcglobal.net>  
**Sent:** Wednesday, March 07, 2007 5:31 PM  
**Subject:** car wash in Agoura

Hi,

I received your flyer about the car wash. I have lived in Agoura for 7 years and finally a great car wash. I love the park like look...go ahead and build it. I strongly support the project for a well needed service.

Thank you,  
Penny & Josh Hakian  
3737 Patrick Henry Pl.  
Agoura Hills, CA 91301

AOL now offers free email to everyone. Find out more about what's free from AOL at AOL.com.

3/9/2007

**pasadenaautowash1@sbcglobal.net**

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**From:** <GoldStrnd@aol.com>  
**To:** <pasadenaautowash1@sbcglobal.net>  
**Sent:** Wednesday, February 14, 2007 4:39 PM  
**Subject:** ok w/me

Though I do not know these men, I admire the entrepreneurial spirit of the Hillels. I think they are showing great care to protect the beautiful area while they provide a service and revenue to the local area.

**Rob Gold**  
Oak Park

3/9/2007

**pasadenaautowash1@sbcglobal.net**

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**From:** "moty ginsburg" <motyginsburg@yahoo.com>  
**To:** <pasadenaautowash1@sbcglobal.net>  
**Sent:** Friday, March 09, 2007 4:49 AM  
**Subject:** Car Wash

Hi,

I am writing you in order to give you my support in opening the new car wash at Old Agoura. We will be happy to use your service and to see a positive change in the landscaping of that empty corner. Good Luck !!!

Moty & Margo Ginsburg  
5643 Colodny Dr.  
Agoura Hills, CA 91301

Looking for earth-friendly autos?  
[Browse Top Cars by "Green Rating"](#) at Yahoo! Autos' Green Center.

3/9/2007

**pasadenaautowash1@sbcglobal.net**

**From:** "Emily Levy" <fregondi@hotmail.com>  
**To:** <pasadenaautowash1@sbcglobal.net>  
**Sent:** Thursday, March 08, 2007 8:57 AM  
**Subject:** new car wash

Hi,  
I would like to give you my support in opening the new car wash at Old Agoura,  
We will be happy to use your service and to see a positive change in the landscaping of that empty corner.

Good Luck,

Emily Levy  
28306 Driver Ave. - Old Agoura

3/9/2007  
I would like to give you my support in opening the new car wash, I love the park like look...go ahead and build it.  
~~From: "Emily Levy" <fregondi@hotmail.com>  
To: <pasadenaautowash1@sbcglobal.net>  
Sent: Thursday, March 08, 2007 8:57 AM  
Subject: new car wash~~  
I would like to give you my support in opening the new car wash, I love the park like look...go ahead and build it.  
We will be happy to use your service and to see a positive change in the landscaping of that empty corner.  
Good Luck,  
Emily Levy  
28306 Driver Ave. - Old Agoura

[pasadenaautowash1@sbcglobal.net](mailto:pasadenaautowash1@sbcglobal.net)

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**From:** "Shirel Golan" <[sgolan@pacifcpayments.com](mailto:sgolan@pacifcpayments.com)>  
**To:** <[PASADENAUTOWASH1@SBCGLOBAL.NET](mailto:PASADENAUTOWASH1@SBCGLOBAL.NET)>  
**Sent:** Wednesday, March 07, 2007 3:51 PM  
**Subject:** GOLAN FAMILY

TO WHOM IT MAY CONCERN.  
MY NAME IS SHIREL GOLAN AND I HEARD THAT YOU ARE  
PLANNING TO OPEN A CAR WASH.  
WE ARE VERY EXITED ABOUT THE IDEA TO HAVE  
ANOTHER GOOD CAR WASH IN OUR NEIGHBORHOOD.(WE  
LIVE ON JANLOR DR AGOURA HILLS)

THANK YOU  
GOLAN FAMILY

3/9/2007

[pasadenaautowash1@sbcglobal.net](mailto:pasadenaautowash1@sbcglobal.net)

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**From:** "Bob Mazzola" <lbmaz@dslextrreme.com>  
**To:** <pasadenaautowash1@sbcglobal.net>  
**Sent:** Thursday, February 22, 2007 9:08 PM

**To Whom it May Concern,**

I am in favor of the proposed car wash (Palo Camado Road) in Agoura Hills.

**Bob Mazzola**

3/9/2007



[pasadenaautowash1@sbcglobal.net](mailto:pasadenaautowash1@sbcglobal.net)

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**From:** "Mario Luppi" <mario.luppi@sbcglobal.net>  
**To:** <pasadenaautowash1@sbcglobal.net>  
**Sent:** Friday, February 16, 2007 12:57 PM  
**Subject:** Car Wash In Agoura

Dear Pasadena Auto Wash:

I am a resident of Old Agoura, although not a member of the OAHHA, and I received your mailer regarding the proposed Car Wash.

I would like to express my support to your business proposal.

I believe a Car Wash in that site would fulfill the need of many residents that currently (like myself) have to drive almost across town for a Car Wash.

Additionally the Car Wash would expand the variety of business on this particular part of Agoura, as currently there are only gas stations and furniture stores.

I do not believe that the increase in traffic would be detrimental to Old Agoura, in fact I think the Car Wash could help generate mutual benefits (revenues) with the other businesses already in the area.

Sincerely,

Mario Luppi  
5250 Colodny Dr. # 15  
Agoura CA 91301

3/9/2007

**OPPOSITION**

December 5, 2006

CITY OF AGOURA HILLS

2006 DEC -7 PM 6:44

CITY CLERK

The Honorable Mayor Dan Kuperberg  
City of Agoura Hills  
30001 Ladyface Ct.  
Agoura Hills, CA 91301

Re: Car wash proposal at Driver Avenue and Chesebro Road

Dear Mayor Kuperberg,

I was horrified to learn of the proposal for a car wash at the intersection of Driver Avenue and Chesebro Road. This property borders a rural neighborhood and is adjacent to the Old Agoura horse arena and across from a preschool and homes in Old Agoura.

We have worked hard over the years to maintain this rural neighborhood, you and the other members of the City Council included, which is why I am so surprised to hear that a project like this is being considered. This project is totally incompatible with its surrounding area. There are also FIVE car washes within a 2 mile radius of this site. PLEASE, consider the impact this project will have on our community and vote not to approve it.

Thanks for all your efforts on our behalf over the years. We truly have a unique community.

Sincerely,



Dave & Julie Thornbury

January 5, 2007

Dear mayor Kuiperberg:

I wanted to voice my opposition to the car wash on the site in old agoura. I have lived here since 1978. I have horses and small children. The last Agoura needs is another car wash or office building.

Sincerely,

Becky Cariste

Allison Cook

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From: PALELLAA@aol.com  
Sent: Wednesday, December 06, 2006 7:30 PM  
To: Allison Cook  
Subject: Car wash,lube ,office proposal Palo Comado Cyn&Chesebro Rd

Dear Ms Cook,

My husband and I have owned 5245 Chesebro Road since 1990, the 24 unit apartment building across the street from the proposed project. This is in a LLC and we are the only members.

We are writing this letter to express our feeling about the proposed carwash, lube office project. We are strongly against this project.

Our apartment building has 24 families living in it including many children. The hours of business for this carwash and lube include all day Saturday and Sunday. We all understand that the success of such a business requires a very high volume of steady customers which translates into added noise and traffic. This most certainly will negatively effect the quality of life for the 24 families living in our building as well as those in the retirement home and children in school.

Regarding our parcel: in 1991 we REQUESTED from the City of Agoura Hills (case no 90-GPA-002 AND 90-ZC-003) A General Plan Amendment from CG (retail service) to RH and a ZONE change from CRS-OA-FC to RH-(25)-OA-FC. This was granted and found to be consistent with the neighborhood.

It seems to us that the parcel in consideration may need a modification in order to also be consistent with its neighbors for at this time their proposal could not be more inconsistent with the neighborhood of a retirement home, 24 families, 2 schools, beautiful parks and riding ring.

We will use every effort to fight the building of this carwash and lube.

Please keep us informed.

Sincerely,

**Andrea Palella**  
**Dieter Bruehl**  
310.455.2746 phone  
818.807.8320 cell  
818.301.2702 fax  
palella@aol.com  
21385 Summit Road  
Topanga CA 90290

12/7/2006

Honorable Mayor Dan Kuperberg  
City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, California 91301

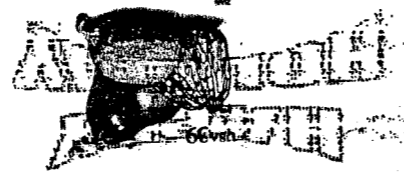
Re: Proposed usage of corner of Driver Avenue and Chesebro Road

Dear Sir;

We are writing this letter in great disbelief of a proposed car wash, detail shop, and lube facility being even CONSIDERED for the entrance to Old Agoura, an equestrian and family oriented neighborhood. I cannot believe that horses and children could be at the SAME small stop sign intersection without peril. The constant ins and outs of this facility and the autos is a horrible accident waiting to happen. The facts are that this type of usage is DESPICABLE! I am sure that any THINKING PERSON would agree. Stop this before it goes any further!

See you at the hearing.....

Tim and Carol Heffin  
Colodny Drive residents



SANTA CLARITA  
CA 913  
12 DEC 2008 PM 3 L

Jim & Carol Weller  
3026 Catalina Drive  
Agoura Hills Calif. 91301

att:

Mayor Dan Keppelberg  
City of Agoura Hills  
30001 Highway Court  
Agoura Hills Calif.  
91301

91301+3383

TRANSMITTAL VIA US MAIL

December 12, 2006

City of Agoura Hills  
Planning and Community Development Department  
30001 Lady Face Ct.  
Agoura Hills, CA 91301

Attn: The Honorable Mayor Dan Kuperberg, Esq.

Subj: Hillel Auro Wash

Dear Mayor Kuperberg,

I was born and raised in Old Agoura. I went to Agoura High School, and was a member of the Agoura 4H, and local Boy Scout Troops. My family has lived at our current residence, 27848 Plytheedale Road, for nearly 25 years. We have grown accustomed to the "Old Agoura" way of life. My parents have been members of the Old Agoura Homeowners Association since its beginnings.

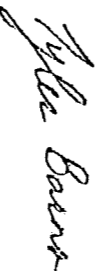
I am now 24 years old, a recent graduate from the Environmental Science program at Humboldt State University, and a current environmental analyst for Envicom Corporation. From my classes at Humboldt, and working at Envicom, a local business at the intersection of Agoura Road and Laura La Plante, I have had the opportunity to review and write several CEQA documents. These documents include Mitigated Negative Declarations (MNDs), and Environmental Impact Reports (EIRs), as well as involvement in the permitting process for various regional and local requirements.

I feel the proposed Hillel Brothers project at the intersection of Chesbro Road and Driver Avenue is not consistent with community views nor does the MND adequately represent impacts associated with the proposed project. Specifically, Transportation/Traffic, section XV of the MND. The traffic study by Rain Associates, Inc. does not take into account all traffic at the intersection. As a graduate of Agoura High School, and resident in the area, I know traffic volume can be much greater than presented in the findings. I agree with Peak Mid-day Volume from 2:00 to 4:00 as reported in the study, but that does not take into account off-campus lunch hour between 12:25 and 1:15. With the additional traffic generated by this project, along with cumulative impacts as stated in the report, I feel a finding of less than significant impacts is not supported. The intersection is currently operating as a LOS C, and this project would decrease the LOS to level D.

I am not against a project at this specific location. I understand the project is a light-industrial use and as such should be afforded this location. However, this project is best suited for the west side of the freeway in the established auto mall area. The proposed project does not "fit in" with the character of the Old Agoura Neighborhood.

Thank you for your time in reading this letter. My family and I appreciate it greatly.

Sincerely,



Tyler Barns and Family





wayne kennan a.s.c.  
director of photography

December 13, 2006

The Honorable Mayor Dan Kuperberg, Esq.  
City of Agoura Hills  
30001 Ladyface Ct.  
Agoura Hills, CA 91301

Dear Mayor Kuperberg,

As a longtime resident of Old Agoura, I can't believe anyone would ever consider putting a carwash at the main entrance and exit of our neighborhood. Besides being completely antithetical to our rural ambience, it adds one more obstacle to our already compromised neighborhood gateway. The morning and afternoon Agoura High School traffic is already more than Driver Avenue can presently handle. This corner is also much too close to our community horse ring, where many children and adult beginners come to ride. The noise and added traffic a carwash would add would make this an unsafe situation.

Please reject the proposed carwash in Old Agoura. Our quality of life should extend beyond the ends of our driveways.

Respectfully,



Wayne Kennan

28241 foothill drive

agoura hills, california 91301

818 889-1023

fax 818 889-1041

*Copied to see  
Council, Mike K., Mayor Mate  
12/15/06*

December 16, 2006

Mayor Dan Kuperberg  
City of Agoura Hills  
30001 Ladyface Ct.  
Agoura Hills, CA 91301

Honorable Mayor Kuperberg:

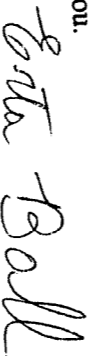
As a 40-year resident of Agoura Hills, I have seen and heard many proposals appear before our city. While I have personally not agreed with many of them, I have tried to be tolerant, putting the best interests of the many other Agoura Hills residents and small business owners before my own. However, one does not need to be an "Agoura Old Timer" to see that the Hillel Car Wash Proposal facing your Planning Commission in February DOES NOT MAKE SENSE FOR OUR COMMUNITY AND SHOULD NOT BE APPROVED. Consider the interests of these very important community members who would be negatively impacted, and possibly put in harm's way, if the car wash is approved and built:

1. SMALL CHILDREN and their parents of the pre-school and Montessori across the street. The car wash's noisy machinery, honking horns, and dramatic increase in traffic would put them at risk.
2. AGING RESIDENTS and their visitors and caregivers from the elder care facility, also across the street. These important members of our community deserve a safe, quiet place to spend their time. The car wash's noisy machinery, honking horns, and dramatic increase in traffic would put them at risk.
3. EQUESTRIAN RIDERS pulling in and out of, and using, the horse facility directly diagonal across the street. Skittish horses, young riders, and trailer-pulling vehicles will all be put at risk by the car wash's noise and traffic.
4. HIGH SCHOOL STUDENTS, COMMUTERS & OTHER DRIVERS who already find the traffic situation near the intersection of Driver and Chesebro dangerous and unbearable.

Mayor Kuperberg, as you know there are already three full service car washes and two drive thru varieties (5 TOTAL) within minutes of the proposed location. No one will be deprived the convenience of a clean car if the Hillel proposal is defeated.

PLEASE... DO THE RIGHT THING FOR YOUR COMMUNITY AND USE YOUR INFLUENCE TO SAY "NO" TO THE HILLEL CAR WASH IN FEBRUARY.

Thank you.



Erta Ball  
5733 Colodny Drive  
Agoura Hills

Erta Ball  
5733 Colodny Dr.  
Agoura Hills, CA  
91301

SANTA CLARITA  
CA 913  
22 DEC 2006 PM 4 T



Mayor Dan Kuperberg  
City of Agoura Hills  
30001 Ladyface Ct.  
Agoura Hills, CA 91301

91301+4335



Mr. Gary F. Gallinot  
Dr. Debbie J. Gallinot  
6014 Fairview Place  
Agoura Hills, California 91301  
(818) 597-0921  
(818) 707-2784 fax

December 20, 2006

The Honorable Mayor Dan Kuperberg, Esq.  
City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, California 91301

Dear Mayor Kuperberg:

As long time residents of Agoura Hills (1987), I want to voice our displeasure at the Hillel Brothers proposed project for a car wash at the corner of Driver Ave and Chesebro Road, in Old Agoura.

This intersection has an equestrian center, a day school, and residences on the adjacent corners. There is a park adjacent to the equestrian center. The intersection is controlled by a stop sign. This is the entrance to Old Agoura. A car wash is not in keeping with the rural environment associated with Old Agoura. That intersection is a nightmare during certain times of the day with traffic from Agoura High School, the day school and the surrounding community. A car wash will add to an already overburdened roadway. Additionally, the safety our children and the equestrian community comes into play with the additional vehicular traffic associated with a car wash.

I hope that you, the City Council, and the planning commission will work to find an alternative location for this project. Please vote to oppose this project due to what is an acceptable use to the community. A car wash is not an acceptable use.

Thank you for your time,

Sincerely,



Gary F. Gallinot



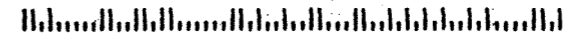
Gary Gallinot  
6014 Fairview Pl.  
Agoura Hills, CA 91301

SANTA CLARITA  
CA 91352  
23 DEC 2006 PM 7:1



The Honorable Mayor Dan Kuperberg, Esq.  
City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, CA 91301

91301+4335



CC: Council  
GREG RAMIREZ  
MIKE RAMIRO

December 26, 2006

The Honorable Mayor Dan Kuperberg, Esq.  
City of Agoura Hills  
30001 LadyFace Ct.  
Agoura Hills, CA 91301

RE: proposed CARWASH at Driver and Chesebro

Dear Mayor Kuperberg,

This letter is to inform you of our complete opposition of the proposed CARWASH at Chesebro and Driver.

I am HORRIFIED to think that such a business would be even considered to be allowed at the gateway to our beautiful – peaceful – RURAL HORSE Community!

As a resident of Old Agoura for nearly 30 years, I beg you and the City Planning Commission to NOT allow this to happen. This would completely destroy the entrance of our community and all that it stands for. Doesn't anyone in our City care about why we live here?

I don't know about you, but I chose to live in Agoura because it is a very special community. I'm here because of the horses, the open spaces, the trees, the hills. The last thing I want to see once I get off that dreadful 101 FWY is a CAR WASH SIGN! - And right next to our Old Western style "Welcome to OLD AGOURA" sign.....???

**This is insanity!!!**


I also do not see how the intersecion can even support a business and more cars! Not only would such a business be unsightly – but what about the NOISE generated from a CAR WASH???

**PLEASE DO NOT LET THIS HAPPEN!** I'm counting on you to do the right thing! I voted for you and now I need you to come through on this not only for me, but for all of my fellow Old Agoura Neighbors.

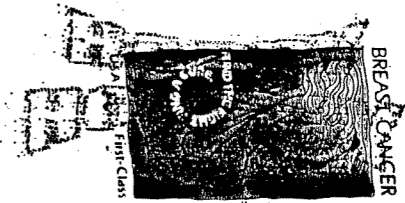
Respectfully,



Darin and Michael Millett  
(818) 889-6174

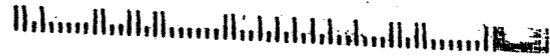
 Mr. Darin Millett  
PO Box 758  
Agoura Hills, CA 91376

SANTA CLARITA  
CA 913  
27 DEC 2006 PM 6 1



The Honorable Mayor Dan Kuperberg, Esq.  
City of Agoura Hills  
30001 LadyFace Ct.  
Agoura Hills, CA 91301

91301+2583



# FAX TOP SHEET

TO: Members of the Planning Commission  
City of Agoura Hills  
Fax: (818) 597-7337  
Attention: Sally, Planning Department

FROM: Robyn Britton  
Tel: (818) 889-0431

DATE: January 4, 2007

RE: FOR THE PLANNING COMMISSIONERS

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Thanks for distributing this to the commissioners.

All the best in the new year,  
Robyn

No. of pages (including top sheet): 2



January 4, 2007

To the Members of the Agoura Hills Planning Commission,

Re: Hillel Carwash Application

I join my neighbors on Blythedale, other residents of Old Agoura, residents and families of the Agoura Senior Retreat, parents of students at Agoura High School, Montessori and the preschool at the corner of Chasebro and Driver, equestrians and bicycle riders in urging the City of Agoura Hills to deny the Hillel application to construct a car wash and oil lube facility in Old Agoura.

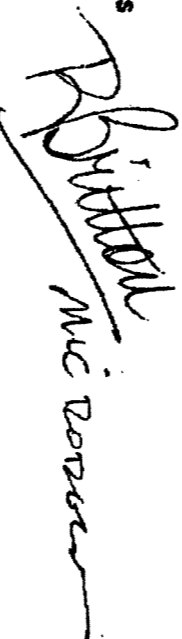
Increasingly low impact developments near the site (a preschool, a senior home, a horse park) make perfect sense in a semi-rural, residential neighborhood. It seems ludicrous, not to mention beyond the pale, to add a heavily trafficked, quasi-industrial commercial development at a corner where moms with baby strollers, horses and their riders, and the wheelchair ridden elderly and their caretakers make slow and careful progress all day long.

The city's codes clearly state that any site must not only be zoned for a proposed development but also be appropriate for the proposed development. As any mom will tell you - just because you can do something, it doesn't mean you should. Given the dangers involved, the stress on a semi-rural residential neighborhood, and the overwhelming opposition to this project from the residents of the city, business owners on all sides, equestrians who come to our area to use the horse park kitty corner, bicycle riders who come to use the park trails, and the parents of schools close by, I do not see how the Planning Commission or the City Council could possibly consider the Hillel carwash an appropriate use of the site.

I would also mention that at the recent General Plan Update meeting, the citizens of the city made it very clear that they want "attractive gateways" to our city. The corner in question is one of those gateways, and I can't imagine dozens of carwash workers twirling blue charnois cloths as the welcome envisioned.

Thank you for your service to our city and best wishes to you and your families in this new year.

Robyn Britton and Mic Rodgers  
27918 Blythedale Road  
Agoura Hills, CA 91301

Handwritten signatures of Robyn Britton and Mic Rodgers. The signature for Robyn Britton is written in a cursive style, and the signature for Mic Rodgers is written in a more stylized, flowing cursive style.

Allison Cook

Mike Kamino  
Monday, January 08, 2007 7:17 AM  
Sent: Valerie Darbouze; Allison Cook  
To: FW: Proposed Car Wash in Old Agoura  
Subject:

another comment .

-----Original Message-----  
From: Daniel Kuperberg [mailto:dkuperberg@jacpubdef.org]  
Sent: Friday, January 05, 2007 2:00 PM  
To: Nathan Hamburger; Mike Kamino  
Subject: Fw: Proposed Car Wash in Old Agoura

fyi  
add to your list  
dan

----- Original Message -----  
From: "Robyn Britton" <bar99@earthlink.net>  
To: "Dan Kuperberg" <dkuperberg@ci.agoura-hills.ca.us>; "John Edelman"  
<jedelman@ci.agoura-hills.ca.us>; "William Koehler"  
<wkoehler@ci.agoura-hills.ca.us>; "Harry Schwarz"  
<hschwarz@ci.agoura-hills.ca.us>; "Denis Weber"  
<dweber@ci.agoura-hills.ca.us>  
Sent: Thursday, January 04, 2007 11:31 AM  
Subject: Proposed Car Wash in Old Agoura

> Happy New Year, Your Honor and Members of City Council.

> I join my neighbors on Blytheedale, other residents of Old Agoura,  
> residents and families of the Agoura Senior Retreat, parents of the  
> students at Agoura High School, Montessori and the preschool at the  
> corner of Chesebro and Driver, equestrians and bicycle riders in  
> urging the City of Agoura Hills to deny the Hillel application to  
> construct a car wash and oil lube facility in Old Agoura.

> Increasingly low impact developments near the site (a preschool, a  
> senior home, a horse park) make perfect sense in a semi-rural,  
> residential neighborhood. It seems ludicrous, not to mention commercial  
> the pale, to add a heavily trafficked, quasi-industrial commercial  
> development at a corner where moms with baby strollers, horses and  
> their riders, and the wheelchair ridden elderly and their caretakers  
> make slow and careful progress all day long.

> The city's codes clearly state that any site must not only be zoned  
> for a proposed development but also be appropriate for the proposed  
> development. As any mom will tell you - just because you can do  
> something, it doesn't mean you should. Given the dangers involved,  
> the stress on a semi-rural residential neighborhood, and the  
> overwhelming opposition to this project from the residents of the  
> city, business owners on all sides, equestrians who come to our area  
> to use the horse park kitty corner, bicycle riders who come to see  
> the park trails, and the parents of schools close by, I do not see  
> how the Planning Commission or the City Council could possibly  
> consider the Hillel carwash an appropriate use of the site.

> I would also mention that at the recent General Plan Update meeting,  
> the citizens of the city made it very clear that they want  
> "attractive gateways" to our city. The corner in question is one of  
> those gateways, and I can't imagine dozens of carwash workers

> twirling blue chambric cloths as the welcome envisioned.  
>  
> Thank you for your service to our city and best wishes to you and  
> your families in the coming year.  
>  
> Robyn Britton  
> 27918 Blythedale Road  
> Agoura Hills, CA 91301

December 15, 2006

The Honorable Mayor Dan Kuperberg  
City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, CA 91301

Dear Mr Kuperberg:

This is to provide you with my input regarding the proposed carwash in Old Agoura.

I have been a resident here on Driver Avenue for over 33 years and was disappointed to hear of the proposed carwash just down the street from me. My neighbors and I are opposed to the proposal. If allowed, it would create added traffic on streets that are not designed to accommodate the extra vehicles. We are concerned about the safety of our children as the proposed location is directly across from a pre-school and community park where children are present. Additionally, we are opposed to any development (schools/business) in order to prevent overcrowding and adversely impacting the beauty of this area. We simply want to keep Old Agoura as the rural setting that it has always been.

Please let me know how we might be of assistance in this matter.

Sincerely,

Mike Cohen  
28336 Driver Avenue  
Agoura Hills, CA 91301

Rec'd 1/8/2007

Jan 10 2009

Honorable Mayor Dan Luperberg:

a car wash at the corner of Chesbro  
and Olive Avenue. This is unbelievable  
I can't imagine a less compatible business  
for this particular location. a horse/  
equestrian facility a pre-school and a  
private residence are some of the  
properties that border this piece  
of property and all will be directly  
and almost certainly adversely affected  
by this proposed development.

Old Agoura is a semi rural community  
We as residents are trying to preserve  
that rural character & qualities. Old  
Agoura benefits & attracts people from  
all surrounding communities. Why come  
to enjoy the area's recreational diversity  
ie: hiking biking, horse facilities, riding  
trails, a national recreation area, open

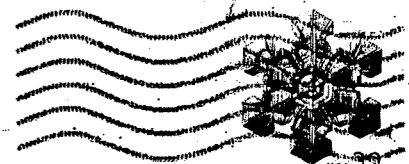
Natural terrain, wildlife diversity  
etc. I am strongly against the  
entrance to all these recreational  
areas being a car wash/kube facility.

Now to touch on another major  
impact to this particular location  
- the traffic. I am sure you are  
aware this particular intersection  
already has significant traffic  
congestion problems. I personally am  
often caught in this traffic when going to  
or coming from work. I absolutely  
feel I should not have this interest-  
ion's problems worsened by more  
added traffic - by a business that allows  
to adding more cars to this intersection.

Sincerely,  
All Janzore  
30 yr + resident  
of Agman

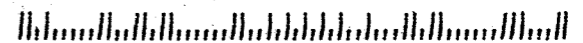
L. SANTORO  
5570 N. COLADNY DR.  
AGOURA, CA 91301

SANTA CLARITA  
CA 91311 T  
12 JAN 2007 PM



The Honorable Mayor Dan Kuperberg Esq.  
City of Agoura Hills  
3001 Ladyface Ct.  
Agoura Hills, CA 91301

91301+2383



5676 Colodny Drive  
Old Agoura, CA 91307

January 11, 2007

Hon Mayor Dan Kuperburg, Esq.  
City of Agoura Hills  
30001 Ladyface Ct.  
Agoura Hills, CA 91301

Re: Proposed Hillel Car Wash, Auto Lube and Car Detail

Dear Mayor Kuperburg,

As a resident of Agoura Hills, I would like to advise you of my strong objection to the proposed car wash at the corner of Driver Ave and Chesebro Road. I cannot think of a more inappropriate use for that corner. This is the corner that serves as the gateway to the community of Old Agoura. To place such a commercial enterprise next to an equestrian facility, a quiet residential street, a preschool and an assisted living facility would be completely incompatible with the quiet semi-rural neighborhood in which it would be located.

The proposed business would be an extreme nuisance on many levels, with traffic and noise being the most obvious. The negative impacts from a car wash, auto lube and detail shop adjacent to a quiet residential neighborhood and directly across from a preschool are substantial.

I urge you to recognize that this is a totally unacceptable use for this land.

Thank you for your consideration of the foregoing.

Very truly yours,

  
George Colman

P.S. - it is our other car wash deal,  
our part are clearest need!  
even worse if Hesse bel  
sets back!



5676 Colodny Drive  
Old Agoura, CA 91301

---

January 13, 2007

Hon Mayor Dan Kuperburg, Esq.  
City of Agoura Hills  
30001 Ladyface Ct.  
Agoura Hills, CA 91301

Re: Proposed Hillel Car Wash, Auto Lube and Car Detail

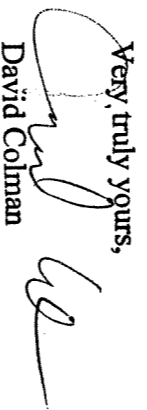
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The proposed business would be an extreme nuisance on many levels, with traffic and noise being the most obvious. The negative impacts from a car wash, auto lube and detail shop adjacent to a quiet residential neighborhood and directly across from a preschool are substantial.

I urge you to recognize that this is a totally unacceptable use for this land.

Thank you for your consideration of the foregoing.

Very, truly yours,  
  
David Colman

Dominia Steine  
28318 Baldwin Dr; Agoura Hills 91301 1/16/07

To Whom it may concern, 1-818-706-3908

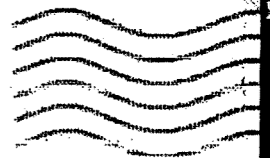
Please be aware that as a  
resident of "Old Agoura" and  
part of the greater community  
of Agoura Hills, I am opposed  
to the "Hillside Conserv. Project"  
~~and the school district project.~~  
Our Neighborhood is truly being  
over developed, and under-  
evaluated, legally this should  
not be happening.

Yet, somehow Potentially it is.

Please help. We need the legalities  
and practicalities of our City to  
be honestly evaluated, will you  
please champion this cause?  
Big dollars in Hillside pockets  
shouldn't let an opposed project  
through. Thank you

Laine F.  
2800 Baikins Dr  
Agoura Hills 91301

SANTA CLARITA  
CA 91397  
16 JAN 2007 PM



Hill  
Carwash  
Project

Mayor Dan Kuperberg  
City of Agoura Hills  
3001 Ladyface Ct  
Agoura Hills, CA 91301

91301/9339

January 17, 2007

The Honorable Mayor Dan Kuperberg, Esq.  
City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, CA 91301

Re: The car wash

Dear Sir:

You have got to be kidding. Now someone wants to put a ~~car wash~~ car wash on the corner of Chesebro Road and Driver Avenue? What is happening to our little piece of rural living?

First, the nightmare of Heschel School traffic problems, and now a car wash. What next?

Please don't let this happen. It is unacceptable for our community. Put it across the freeway where all of the other car repair and service stations are. This is our neighborhood not some commercial area. And we don't need anything that will bring more congestion to that particular place. Plus, I would hate to see stop signals starting to pop up.

I have had it with those who want to see so-called progress to help keep the coffers of Agoura Hills filled. There is a reason we live here: the rural ambience. Everyone I have ever voted for has promised to keep those values. We need to depend on you to keep your promises.

Please reject the Hillels' proposal. It really isn't compatible with our neighborhood. I am not able to attend meetings as I am disabled, but I can write letters voicing my opinion.

Thank you for your concern,

Richard G. Valesko  
5934 Colodny Drive  
Agoura Hills, CA 91301

1-17-07

Dear Mayos,

My husband and I both are opposed to the proposed car wash on the corner of Driver & Chesebro Rd. That kind of a business has no place in a rural community, especially across the street from a horse arena. My daughter and I ride all the time and it is very dangerous being in that arena, because of all the loud and fast cars, trucks, motorcycles etc. that go by. Horses are spooking all the time and that is the last thing we need is more traffic. What we do need is a neighborhood General Store, outside eating, horse parking, equestrian friendly Country store that ties our rural community together.

Thank you,

Jettie & Jack Cunningham  
12110 Chesebro Rd.  
Agoura Hills, CA 91301

January 18, 2007

Mayor Dan Kuperberg  
City of Agoura Hills  
30001 Layface Court  
Agoura Hills, CA 91301

RE: Hillel Car Wash Project

Dear Mr. Dan Kuperberg,  
Please consider the following regarding the above referenced subject.

The substance of this letter to you centers around we seniors of this community who are seventy-five (75) plus years of age, living in a single residence and those living in the "assisted living" environment. Many of us do NOT drive. We walk!

Intersections for pedestrian walking have become more and more difficult for us. We walk fine - but - auto drivers are in-attentive and we cannot run to get out of their way, and path of driving.

Having been a crossing guard for the school children at both Willow and Sumac Elementary, we, (as Seniors), face the same problem as those children did - and do face - moving vehicles,

Query: Would the City of Agoura consider hiring a crossing guard to monitor the traffic at Chesebro/Driver Ave/ Pala Canada Intersection on a daily basis?

A "car wash" business at this mentioned intersection creates a tremendous amount of moving vehicles - North - South - East - West.

January 18, 2007

Page 2 of 2

re: Hillel Car Wash Project

It is questionable if we aging Seniors (who reside in close proximity to this named project) can continue to safely walk across Pala (made past the service station and over the bridge to get to the doctors we use in those near-by facilities because these professionals are within our walking range,

I am an owner of property in the 'Old Agoura' section and my acquaintances are living on the condo-assisted-living side.

We all would very much appreciate your consideration and forethought toward our 'older' senior aging safety.

— Remember —

You and your constituents will one day be in our age group,

Most Respectfully,

*Dr. Joanne DuBarr*

Dr. Joanne DuBarr

(telephone number: 818-707-2240)

cc: Old Agoura Homeowners Assoc.

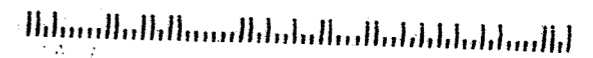
5737 KANAH RD-#412  
AGOURA HILLS, CA 91301

SANTA CLARITA  
CA 9139 T  
18 JAN 2007 PM



MAYOR Dan Kuperberg  
City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills  
CA 91301

91301+4335





Board of Supervisors, County of Los Angeles  
500 W. Temple Ave.  
Los Angeles, CA 90012

Re: Heschel West Day School: Proposal 98-062

Honorable Members of the Board of Supervisors of Los Angeles County:

I'm writing to request that you reject the Heschel School's project as currently proposed and instruct them to return to the Planning Commission until the defects in the EIR are corrected. After eight years of review, the addition of more detail and some minor changes, the final EIR for the Heschel West School is still a flawed document with respect to the California Environmental Quality Act (CEQA) requirements. Having worked as an Environmental Health Specialist for the City of Los Angeles it is clear to me that the EIR should not have been approved by the Los Angeles County Regional Planning Commission.

The North Area Plan is designed to prevent negative impacts in environmentally sensitive areas and in existing communities like Old Agoura yet the final EIR mis-characterizes my community as one that is typically suburban. Nothing could be further from the truth as we have unusually large lot sizes, equestrian properties, and a variety of livestock. Old Agoura is described as a semi-rural community in the City of Agoura Hills' General Plan. The EIR seemingly violates both the letter and the spirit of the North Area Plan, which places the highest value on preservation of semi-rural communities like Old Agoura. Additionally the EIR repeatedly and mistakenly describes this project as a "local School", allowable under the North Area Plan, whereas it is in fact and expected to become a super-regional private school serving students with commutes and equal in size to the largest private schools in the state. As stated in the Acorn, our local newspaper, on January 11, Heschel West and Kadima Hebrew Academy in West Hills have announced the formation of a joint community school. It is unrealistic to assume that once Heschel builds a campus in Old Agoura, students will not commute from West Hills and beyond. West Hills is not even adjacent to Agoura Hills and therefore by serving students of that community I find the description of Heschel's project as a local school inappropriate.

The North Area Plan is again ignored in terms of density as the North Area Plan only permits 1 single family home per 5 acre site, that is no more than 14 homes. Heschel estimates enrollment at 750 students for preschool through ninth grade, evening activities approximately every other week for 150 people and special events approximately four times a year up to 1500 people. How would the number of events and people be controlled? It has been suggested that their campus would be highly supervised and entry restricted with all vehicles being checked for proper identification. I can only imagine the traffic jam that would ensue. When you consider that Old Agoura is home to a high school and two preschools, we have already 2300 students utilizing these campuses bringing with them the consequences of traffic delays and back ups.

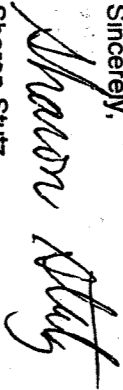
The EIR must also show that alternative uses are unacceptable but the use analysis was designed to fail. It rules out single family lots by noting that the County requires clustering and then asserts with no analysis that clustering presents unacceptable visual impacts. How can homes have more of a visual impact than a \$50,000, 000 project that will include a nine building complex, and a high school size athletic field and swimming pool? Additionally how could the EIR ascertain single family lots are unacceptable when, in the North Area Plan, it permits no more than 14 single family homes; one home per 5 acre site. When you consider building a school such as Heschel West at this location rather than single family homes there will be an excess of 2600 vehicle trips per day, not to mention added pollution and traffic congestion.

Finally, the school site is in the middle of a Zone 4 fire area. The school's "shelter in place" fire emergency plan is unrealistic. As a teacher for the past 12 years for the Oak Park Unified School District I can guarantee that parents will not sit idly by and wait to be reunited with their children. Parking restrictions as well as drop-off and pick-up procedures are violated on a daily basis under the best of circumstances. In the event of a fire parents WILL rush to school to evacuate their children,

creating bottleneck at the sole exit for livestock and residents as well as delaying response times by emergency vehicles - a dire situation for all.

In conclusion, the increased traffic along with the delays and congestion as well as the increased noise and pollution from the proposed twelve years of construction are all substantial negative impacts that WILL change the quality of life and character of our rural community. The project raises too many doubts about safety and is supported by a document that has too many flaws to be the basis for a proper planning decision. Please honor the North Area Plan, reject the Heschel's School's project as currently proposed and instruct them to return to the Planning Commission until the defects of the EIR are corrected.

Sincerely,



Sharon Stutz  
28364 W. Balkins Dr.  
Agoura Hills, CA 91301

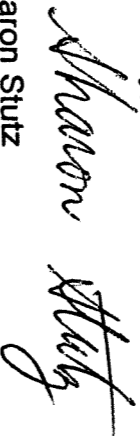
cc: OAHA  
cc: City of Agoura Hills

The Honorable Mayor Dan Kuperburg, Esq.  
City of Agoura Hills  
3001 Ladyface Ct.  
Agoura Hills, CA 91301

Dear Mayor Kuperberg,

Please find the attached letter regarding the proposed Heschel West Day School.  
It is a significant project that will change the quality of life and character in our  
rural community. I hope that as citizens of Agoura Hills we can depend on your  
continued support in rejecting this project.

Sincerely,



Sharon Stutz  
28364 W. Balkins Dr.  
Agoura Hills, CA 91301

rec'd 1/18/07 /pat

Mike R.  
Telmer  
Belean

Joan and Jeff Beal  
5713 Colodny Drive  
Agoura, CA 91301  
jeff@JeffBeal.com  
joan@JoanBeal.net

The Honorable Mayor Dan Kuperberg, Esq.  
City of Agoura Hills  
30001 Ladyface Ct.  
Agoura Hills, CA 91301

January 29, 2007

Dear Mayor Kuperberg-

We are writing to you in response to the proposed Hillel Brothers' carwash/lube shop at the entryway to Old Agoura. As nine year residents of Old Agoura, we cannot imagine a more illogical and inappropriate usage for that lot. The parcel abuts an office building, two wonderful preschools, and a retirement center- all appropriate low impact buildings.

Our concerns are multiple (traffic, aesthetics, impact on an equestrian neighborhood), but we will focus on one area where perhaps we have the most expertise and knowledge, that of noise pollution and high decibel damage to hearing. As classically trained professional musicians, with a musical son who attended the Montessori preschool at that very same corner, we understand the importance of protecting one's hearing. We cannot imagine the negative impact from the daily whine and whir of engines, motors, vacuums and dryers on the developing hearing of young children.

At 20 feet, a car wash drying tunnel emits decibel levels in excess of 90db. The noise emitted from a modern car wash is unrelenting. This is why you will see most car wash employees wearing earplugs- Cal/Osha requires this from employers because they know that exposure to noise pollution is a real danger. Preschoolers, with developing auditory and neural systems, would be exposed to noise that could impact their hearing for life. Noise pollution from a car wash will adversely affect the residents of the retirement center as well as surrounding apartment dwellers and home owners.

From the research of the Association to Prevent Hearing Loss- Dangerous Decibels.org

"Of the roughly 40 million Americans suffering from hearing loss, 10 million can be attributed to noise-induced hearing loss (NIHL). NIHL can be caused by a one-time exposure to loud sound as well as by repeated exposure to sounds at various loudness levels over an extended period of time. Damage happens to the microscopic hair cells found inside the cochlea. These cells respond to mechanical sound vibrations by sending an electrical signal to the auditory nerve. Different groups of hair cells are responsible for different frequencies

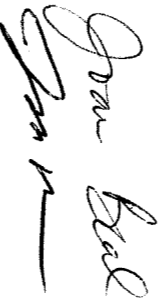
(rate of vibrations). The healthy human ear can hear frequencies ranging from 20Hz to 20,000 Hz. Over time, the hair cell's hair-like stereocilia may get damaged or broken. If enough of them are damaged, hearing loss results. The high frequency area of the cochlea is often damaged by loud sound.

The average person can hear sounds down to about 0 dB, the level of rustling leaves. Some people with very good hearing can hear sounds down to -15 dB. If a sound reaches 85 dB or stronger, it can cause permanent damage to your hearing. The amount of time you listen to a sound affects how much damage it will cause. The quieter the sound, the longer you can listen to it safely. If the sound is very quiet, it will not cause damage even if you listen to it for a very long time; however, exposure to some common sounds can cause permanent damage. **With extended exposure, noises that reach a decibel level of 85 can cause permanent damage to the hair cells in the inner ear, leading to hearing loss."**

We think that it would be wise for the city of Agoura Hills to stop any further progression on the car wash for this lot, and to advise the Hillel Brothers to find another, more appropriate use or to sell this very valuable piece of property. Help us to keep Old Agoura a relatively peaceful and bucolic haven for residents, children, the elderly, equestrians, nature lovers and community members.

Thank you for your consideration.

Most Sincerely,



Joan and Jeff Beal

February 6, 2007

The Honorable Mayor Dan Kuperberg, Esq.  
City of Agoura Hills  
30001 Ladyface Ct.  
Agoura Hills, CA 91301

Dear Sir:

This letter is in reference to Project: Car Wash on Corner of Chesebro and Driver.

I am writing this letter to express my opposition to a Car Wash at the site of Driver and Chesebro. This site is too close to a proposed 750 student school, a pre-school, a Montessori school and about six blocks from Agoura High School. Driver is a small two-lane road that cannot handle the traffic it now has from the three existing schools. To add more traffic at that intersection and on that road would not be good planning.

The Car Wash would also be across the street from an existing Equestrian Center where riders and their horses would be in danger from any added traffic. These horses and their riders are seen every day utilizing the Equestrian facility. Horses and traffic do not mix.

A Car Wash would not be the proper usage for that piece of land. Please consider the neighborhood and the neighbors when making your decision.

Sincerely,

*William + Carol Foster  
5601 N. Football Drive  
Agoura Hills, CA 91301*

**Valerie Darbouze**

---

**From:** Allison Cook  
**Sent:** Monday, February 12, 2007 10:33 AM  
**To:** 'PALELLAA@aol.com'  
**Cc:** Valerie Darbouze  
**Subject:** RE: Hillel Auto Wash

Hi – That would be fine to have her come and speak.

**Allison Cook**  
*Senior Planner*  
City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, CA 91301  
(818) 597-7310 TEL  
(818) 597-7337 FAX

---

**From:** PALELLAA@aol.com [mailto:PALELLAA@aol.com]  
**Sent:** Monday, February 12, 2007 10:18 AM  
**To:** Allison Cook  
**Subject:** Re: Hillel Auto Wash

Dear Ms Cook,

Being we will be out of town March 1, is it possible to have our management company, MBIA INC, representative Laurie Edgerton , come and speak and or read something on our behalf. We are the owners of the management company

Please advise,

Andrea Palella

**Andrea Palella**  
*Broker Associate*  
MBIA INC.  
310 455 2746 phone  
818 807 8320 cell  
818 301 2702 fax  
palellaa@aol.com

2/12/2007

**Valerie Darbouze**

---

**From:** Mike Kamino  
**Sent:** Wednesday, March 07, 2007 7:16 AM  
**To:** Valerie Darbouze  
**Subject:** FW: no to Hillel Car Wash Proposal

-----Original Message-----  
From: Steve Casey [mailto:steve.casey@earthlink.net]

Sent: Tuesday, March 06, 2007 7:38 PM  
To: Dan Kuperberg; Greg Ramirez; Mike Kamino  
Subject: no to Hillel Car Wash Proposal

March 6, 2007  
Hillel Car Wash Proposal

The Honorable Mayor Dan Kuperberg, Esq.: dkuperberg@ci.agoura-hills.ca.us  
Greg Ramirez, City Manager: Greg@ci.agoura-hills.ca.us  
Mike Kamino, Director of Planning & Community Development: mkamino@ci.agoura-hills.ca.us

Mayor Dan , Mr. Ramirez, Mr Kamino,

I am sending you this email to let you know my family and my position as adamantly opposed to the Hillel proposed car wash project. It is another absurd and inappropriate project for Old Agoura. Besides all the obvious good reasons that a commercial project of this type should not be allowed on this parcel there are also other valid reasons to deny the application. Until the Heschel School project is resolved it makes no sense to allow a car wash on that lot only to condemn it and tear it down later for forced traffic mitigation. How much would that cost the City? It has crossed my mind that this proposal may even be just a ploy to increase the value of the lot as it is public knowledge that the applicants parcel would most likely be involved if the County and Heschel are successful in ramming that mess down our throat.

No to that project and the insensitive bullying developer bringing it forward!

Thank You,

Steve , Janet , Bryce and Perry Casey



**Valerie Darbouze**

---

**From:** Mike Kamino  
**Sent:** Wednesday, March 07, 2007 7:16 AM  
**To:** Valerie Darbouze  
**Subject:** FW: proposed carwash

-----Original Message-----

**From:** Greg Ramirez  
**Sent:** Tuesday, March 06, 2007 8:28 PM  
**To:** Mike Kamino; Kimberly Rodrigues  
**Subject:** FW: proposed carwash

Fyi

-----Original Message-----

**From:** Jill Royal [mailto:jillroyal@gmail.com]  
**Sent:** Tue Mar 06 18:12:20 2007  
**To:** Greg Ramirez  
**Subject:** proposed carwash

please don't let a car wash go in right at the entrance to our beautiful rustic neighborhood. I just bought my home, partly because of the way it felt when I first entered old agoura. please don't change that!!!

that last one was from my work e-mail.

same message though.

please don't let this happen!!!

Jill

Jill Nadlman  
28347 West Balkins Drive  
Agoura Hills, CA 91301

home 818 707•1771  
cell 310 775•7050

**Valerie Darbouze**

---

**From:** Mike Kamino  
**Sent:** Wednesday, March 07, 2007 7:15 AM  
**To:** Valerie Darbouze  
**Subject:** FW: Response to Hillel Brothers proposed Car Wash/Lube Center for Old Agoura

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**From:** Joan Beal [mailto:joan3262@aol.com]  
**Sent:** Tuesday, March 06, 2007 6:36 PM  
**To:** Mike Kamino  
**Subject:** Response to Hillel Brothers proposed Car Wash/Lube Center for Old Agoura

Dear Mike-  
We cannot attend the March 15th meeting regarding this project, but we wanted you to have our input.  
The following is a letter we sent to Dan Kuperberg-  
Most Respectfully,  
The Beals

Joan and Jeff Beal  
5713 Colodny Drive  
Agoura, CA 91301  
[jeff@JeffBeal.com](mailto:jeff@JeffBeal.com)  
[joan@JoanBeal.net](mailto:joan@JoanBeal.net)

The Honorable Mayor Dan Kuperberg, Esq.

City of Agoura Hills  
30001 Ladyface Ct.  
Agoura Hills, CA 91301

January 29, 2007

Dear Mayor Kuperberg-

We are writing to you in response to the proposed Hillel Brothers' carwash/lube shop at the entryway to Old Agoura. As nine year residents of Old Agoura, we cannot imagine a more illogical and inappropriate usage for that lot. The parcel abuts an office building, two wonderful preschools, and a retirement center- all appropriate low impact buildings.

Our concerns are multiple (traffic, aesthetics, impact on an equestrian neighborhood), but we will focus on one area where perhaps we have the most expertise and knowledge, that of noise pollution and high decibel damage to hearing. As classically trained professional musicians, with a musical son who attended the Montessori preschool at that very same corner, we understand the importance of protecting one's hearing. We cannot imagine the negative impact from the daily whine and whir of engines, motors, vacuums and dryers on the developing hearing of young children.

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Preschoolers, with developing auditory and neural systems, would be exposed to noise that could impact their hearing for life. Noise pollution from a car wash will adversely affect the residents of the retirement center as well as surrounding apartment dwellers and home owners.

3/7/2007

From the research of the Association to Prevent Hearing Loss- Dangerous Decibels.org

“Of the roughly 40 million Americans suffering from hearing loss, 10 million can be attributed to noise-induced hearing loss (NIHL). NIHL can be caused by a one-time exposure to loud sound as well as by **repeated exposure to sounds at various loudness levels over an extended period of time.** Damage happens to the microscopic hair cells found inside the cochlea. These cells respond to mechanical sound vibrations by sending an electrical signal to the auditory nerve. Different groups of hair cells are responsible for different frequencies (rate of vibrations). The healthy human ear can hear frequencies ranging from 20Hz to 20,000 Hz. Over time, the hair cell's hair-like stereocilia may get damaged or broken. If enough of them are damaged, hearing loss results. The high frequency area of the cochlea is often damaged by loud sound.

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We think that it would be wise for the city of Agoura Hills to stop any further progression on the car wash for this lot, and to advise the Hillel Brothers to find another, more appropriate use or to sell this very valuable piece of property. Help us to keep Old Agoura a relatively peaceful and bucolic haven for residents, children, the elderly, equestrians, nature lovers and community members.

Thank you for your consideration.

Most Sincerely,

Joan and Jeff Beal

=

3/7/2007

**Valerie Darbouze**

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**From:** Mike Kamino  
**Sent:** Wednesday, March 07, 2007 7:15 AM  
**To:** Valerie Darbouze  
**Subject:** FW: proposed carwash

---

**From:** Jill Royal [mailto:jillroyal@gmail.com]  
**Sent:** Tuesday, March 06, 2007 6:15 PM  
**To:** Mike Kamino  
**Subject:** proposed carwash

please don't let a car wash go in right at the entrance to our beautiful rustic neighborhood. I just bought my home, partly because of the way it felt when I first entered old agoura. please don't change that!!!

Jill Nashman  
23347 West Balkins Drive  
Agoura Hills, CA 91301  
home 818 707•1771  
cell 310 775•7050

3/7/2007

**Valerie Darbouze**

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**From:** Allison Cook  
**Sent:** Monday, February 12, 2007 10:33 AM  
**To:** 'PALELLAA@aol.com'  
**Cc:** Valerie Darbouze  
**Subject:** RE: Hillel Auto Wash

Hi – That would be fine to have her come and speak.

Allison Cook  
*Senior Planner*  
City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, CA 91301  
(818) 597-7310 TEL  
(818) 597-7337 FAX

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**From:** PALELLAA@aol.com [mailto:PALELLAA@aol.com]  
**Sent:** Monday, February 12, 2007 10:18 AM  
**To:** Allison Cook  
**Subject:** Re: Hillel Auto Wash

Dear Ms Cook,

Being we will be out of town March 1, is it possible to have our management company, MBIA INC, representative Laurie Edgerton , come and speak and or read something on our behalf. We are the owners of the management company

Please advise,

Andrea Palella

**Andrea Palella**  
*Broker Associate*  
MBIA INC.  
310 455 2746 phone  
818 807 8320 cell  
818 301 2702 fax  
palellaa@aol.com

3/2/2007



**SITE PLAN/ARCHITECTURAL REVIEW – CASE NO. 05-SPR-015,  
OAK TREE PERMIT – CASE NO. 05-OTP-023 &  
SIGN PERMIT - CASE NO. 05-SP-024**

**Exhibit F**

**City Geological/Geotechnical Consultant Memorandum**

Date: August 10, 2006  
GDI #: 05.00103.0133

**CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET**

To: Valerie Darbouze

Project Location: Portions of Lots 17 & 18, Tract 8451, SEC of Chesebro Road & Driver Avenue, Agoura Hills, California.

Planning Case #: 05-SPR-015/05-OTP-023/05-SP-024/Hillel

Building & Safety #: None

Geotechnical Report: C. Y. Geotech, Inc. (2006), "Response to City of Agoura Hills Review Letter Dated February 20, 2006, Proposed Chesebro Auto Wash Center, APN: 2052-008-017 and 2052-008-019, Portions of Lots 17 and 18, Tract 8451, Southeast Corner of Chesebro Road and Driver Avenue, Agoura Hills, California," Project No. CYG-04-3877, dated August 8, 2006.

C. Y. Geotech, Inc., Response to Review Letter dated February 3, 2006.

C. Y. Geotech, Inc. (2004), "Geotechnical Engineering Investigation, Proposed Chesebro Auto Wash, APN: 2052-008-017 and 2052-008-019, Portions of Lots 17 and 18, Tract 8451, Southeast Corner of Chesebro Road and Driver Avenue, Agoura Hills, California," Project No. CYG-04-3877, dated December 30, 2004.

Plans: Allan O'Connor AIA, "Architectural Plans, Chesebro Auto Wash," various scales, undated.

Previous Reviews: August 30, 2005 and February 20, 2006.

**FINDINGS**

- |   |   |
|---|---|
| Planning/Feasibility Issues                                 | Geotechnical Report   |
| <input checked="" type="checkbox"/> Acceptable as Presented | <input checked="" type="checkbox"/> Acceptable as Presented |
| <input type="checkbox"/> Response Required                  | <input type="checkbox"/> Response Required                  |

**REMARKS**

C. Y. Geotech, Inc. (CYG; consultant) provided via fax a response to the geotechnical review letter dated February 20, 2006 by the City of Agoura Hills regarding the Chesebro Auto Wash proposed at the site located at the southeast corner of Chesebro Road and Driver Avenue, City of Agoura Hills, California. The site constitutes portions of Lots 17 and 18 of Tract 8451. The proposed development includes the construction of an auto wash center. The auto wash center consists of retail and office buildings, a service canopy with lube and detail bays, an auto wash tunnel, and access and parking areas.

The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon the City's review, the referenced reports are acceptable as presented provided the following condition of approval is complied with when the applied lateral loads and moments on the foundation of the sign become available. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

558 Saint Charles Drive, Suite 116, Thousand Oaks, California 91360

Tel: (805) 496-1222 Fax: (805) 496-1225

Condition of Approval

1. The consultant should verify the anticipated sign foundation deformation when final sign loads and moments become available. Additional mitigation should be recommended as necessary.

Plan-Check Comments

1. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad and flatwork areas as recommended by the Consultant.
3. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly."*
4. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
5. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
6. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
7. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
8. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
9. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

If you have any questions regarding this review letter, please contact Geodynamics, Inc. at (805) 216-6160.

Respectfully Submitted,

Geodynamics, INC.



Ali Abdel-Haq  
Geotechnical Engineering Reviewer  
GE 2308 (exp. 12/31/07)



Christopher J. Sexton  
Engineering Geologic Reviewer  
CEG 1441 (exp. 11/30/06)





**SITE PLAN/ARCHITECTURAL REVIEW – CASE NO. 05-SPR-015,  
OAK TREE PERMIT – CASE NO. 05-OTP-023 &  
SIGN PERMIT - CASE NO. 05-SP-024**

**Exhibit G**

**City Oak Tree/Landscape Consultant Memorandum**

# Memo

**To:** Valerie Darbouze, City of Agoura Hills

**From:** Rebecca Latta for Kay Greeley, Landscape and Oak Tree Consultant

**Date:** August 25, 2006 (revised)

**Re:** 05-SPR-015, 05-OTP-023, 05-SP-024 and 05-LLA-007 – Aitan Hillel (Chesebro Auto Wash)

As requested, I reviewed the following documents with respect to the subject entitlement request. Plans reviewed included the following:

- Oak Tree Report prepared by Richard Campbell ASLA, dated June 6, 2006.
- Planting Concept Plan prepared by Richard Campbell ASLA revised June 30, 2006.
- Canopy Coverage Calculations prepared by Richard Campbell ASLA, undated.

Based on the information provided, the following conditions of approval are recommended should this project move forward:

Oak Tree

1. The applicant is permitted to encroach upon HOT-5 and HOT-6 per the approved plans.
2. The applicant is permitted to remove Tree Number HOT-3 as required to construct the project.
3. The removal of the oak tree shall be mitigated by the planting of at eight (8) oak trees on the site, two (2) of which shall be at least thirty-six inch (36") box-size trees and four (4) of which shall be at least twenty-four inch (24") box size trees of the same species as those removed. The total inches of trunk diameter planted must be at least equal to the twenty-four inches (24") of trunk diameter removed.
4. The applicant shall provide a forty-eight (48) hour notice to the City and the applicant's oak tree consultant prior to the start of any approved work within the protected zone of any oak tree.

5. Prior to the start of any work or mobilization at the site, each oak tree to be preserved shall be fenced with temporary chain link fencing at the edge of the protected zone or at the approved work limits, in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations.
6. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
7. Pruning of live branches is not authorized unless specifically approved by the City Oak Tree Consultant.
8. No irrigation or planting shall be installed within the drip line of any oak tree unless specifically approved by the City Oak Tree Consultant and the Director.
9. At the completion of construction, the applicant shall place three inches (3") of approved mulch throughout the dripline of each oak tree.
10. Within ten (10) days of the completion of work, the applicant's oak tree consultant shall submit written certification to the City. The certification shall describe all work performed and whether such work was performed in accordance with the above permit conditions.
11. The species, quality and planting locations and methods of all mitigation oak trees are subject to the approval of the City Oak Tree Consultant.
12. Should any of the mitigation oak trees fail, they shall be replaced in accordance with the provisions of the Oak Tree Preservation and Protection Guidelines.
13. Prior to occupancy, each new oak tree shall be mulched throughout the dripline with three inches (3") of approved organic matter.
14. The girdling ties and wires must be removed from HOT-5 and HOT-6 as recommended in the oak tree report.

There are three additional oak trees (HOT-1, HOT-2 and HOT-4) that are less than two inches (2") in diameter and are therefore not protected under the Oak Tree Ordinance. One oak tree (HOT-7) was deemed to be not impacted by the project.

#### Landscape

15. The final landscape plan shall be consistent with the approved preliminary plan.
16. One (1) twenty-four inch (24") box size native oak tree shall be included in the planting per each fifteen thousand (15,000) gross square feet of building area.

One (1) such tree is required for this project. This tree is in addition to any oak trees required to mitigate the loss of existing trees.

17. No storage or other usage is permitted within the required landscape areas.

18. Prior to the approval of building permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements:

- a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
- b. All plans shall be legible and clearly drawn.
- c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
- d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
- e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
- f. The project identification number shall be shown on each sheet.
- g. The plans shall accurately and clearly depict the following existing and proposed features:
  - Landscape trees, shrubs, ground cover and any other landscaping materials
  - Property lines
  - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
  - Buildings and structures
  - Parking areas, including lighting, striping and wheel stops
  - General contour lines
  - Grading areas, including tops and toes of slopes
  - Utilities, including street lighting and fire hydrants

- Natural features, including watercourses, rock outcroppings
  - The Planting Plan shall indicate the botanical name and size of each plant.
19. Plant symbols shall depict the size of the plants at maturity. Tree spacing specifically shall be adjusted to allow for optimum growth of each tree species. Trees should be located such that they are not directly adjacent to hardscape to prevent future conflicts.
20. The final plans shall not include any palm species.
21. Parking lot landscaping must include shade trees that are placed so as to cover fifty percent (50%) of the total parking area, including drive aisles, within fifteen (15) years of installation. The plans as submitted meet this requirement.
22. In accordance with the Freeway Corridor Overlay District, the final plant palette and arrangement along the outer borders of the project shall be revised to provide a more naturalistic and native theme.
23. All plant material must be considered compatible with Sunset Zone 18.
24. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
25. The landscape plans shall prominently display the following notes:
- a. All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
  - b. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
26. Proposed light standard locations shall be depicted on the planting plan. Any conflicts between light standard and tree locations shall be resolved to the satisfaction of the City Landscape Consultant.
27. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
28. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.

29. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
- a. Design and static pressures
  - b. Point of connection
  - c. Backflow protection
  - d. Valves, piping, controllers, heads, quick couplers
  - e. Gallon requirements for each valve
30. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
31. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
- Site Plan
  - Elevations
  - Grading Plan
  - Conditions Of Approval
32. A complete Landscape Documentation package is required at the time of initial plan check submittal, prepared in accordance with Article IX, Section 9658.6 – Water Efficient Landscaping, contained in the Zoning Code.
33. In accordance with the Freeway Corridor Overlay District, the final plant palette and arrangement along the outer borders of the project shall provide a naturalistic and native theme.
34. All plant material must be considered compatible with Sunset Zone 18.
35. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
36. Poor landscape practices such as topping, hedging and “lollipoping” shall not be permitted and may require that plant materials be replaced with like size materials at the discretion of the City Landscape consultant.

37. Landscape mounding is required within all right-of-way planters, as feasible. The proposed plans do not provide for the required mounding and should be revised to include it.

38. Any proposed light standards must be added to the landscape plan to identify possible conflicts with tree locations. Any such conflicts should be resolved.

39. The final landscape plan shall meet the intent of the Los Angeles County Fire Department fuel modification design guidelines.

Please contact me should there be any questions at this time.

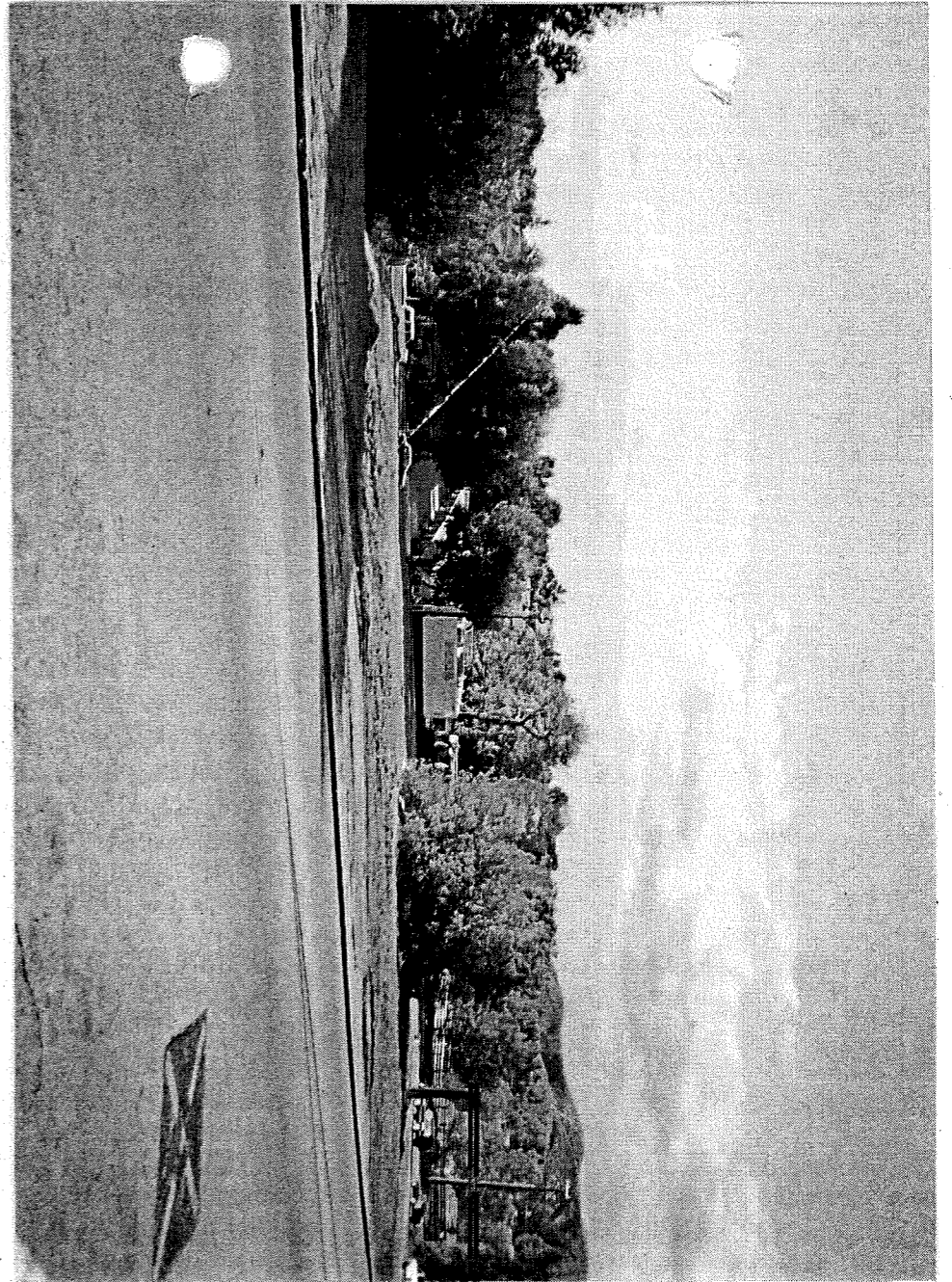
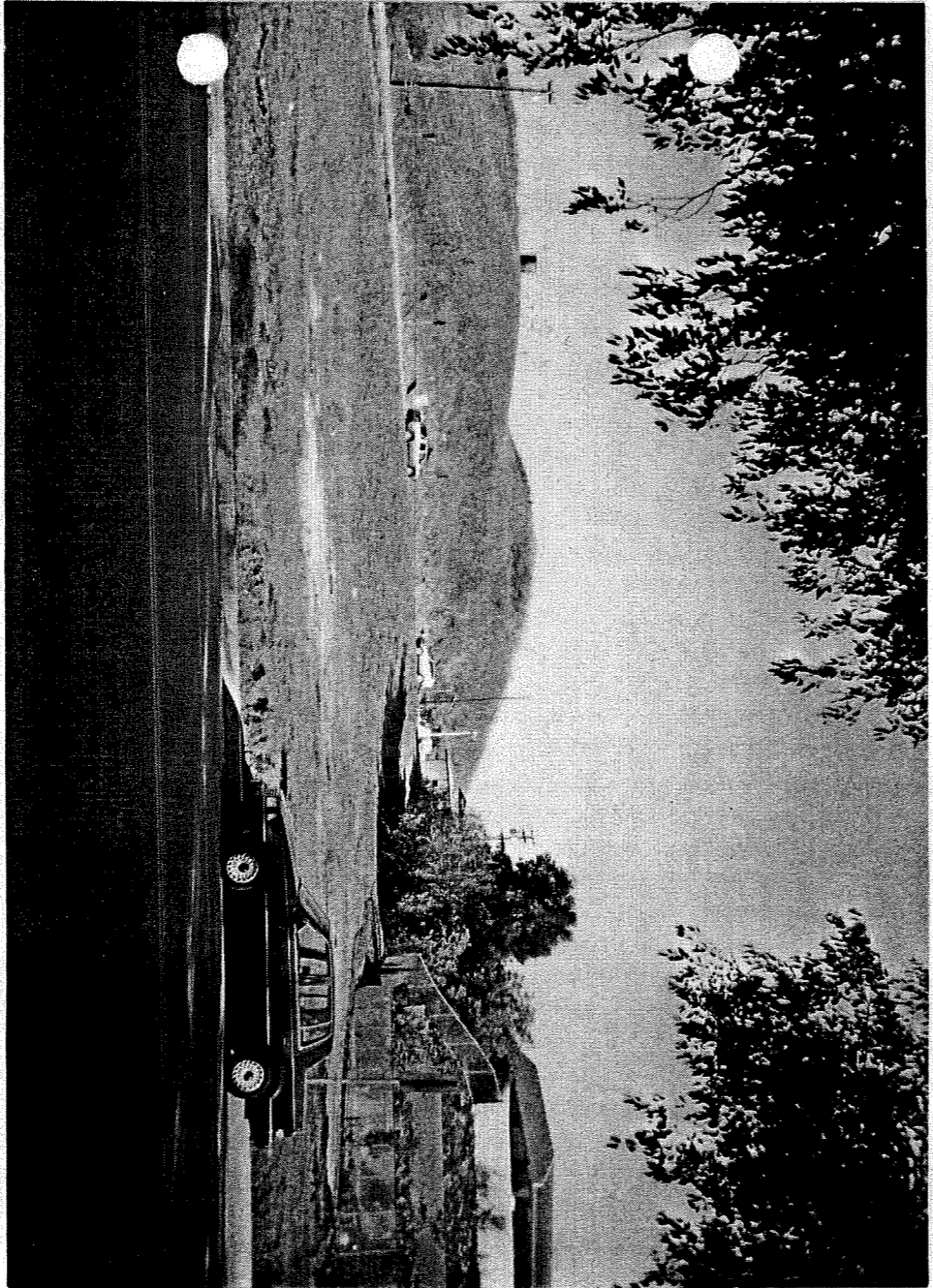


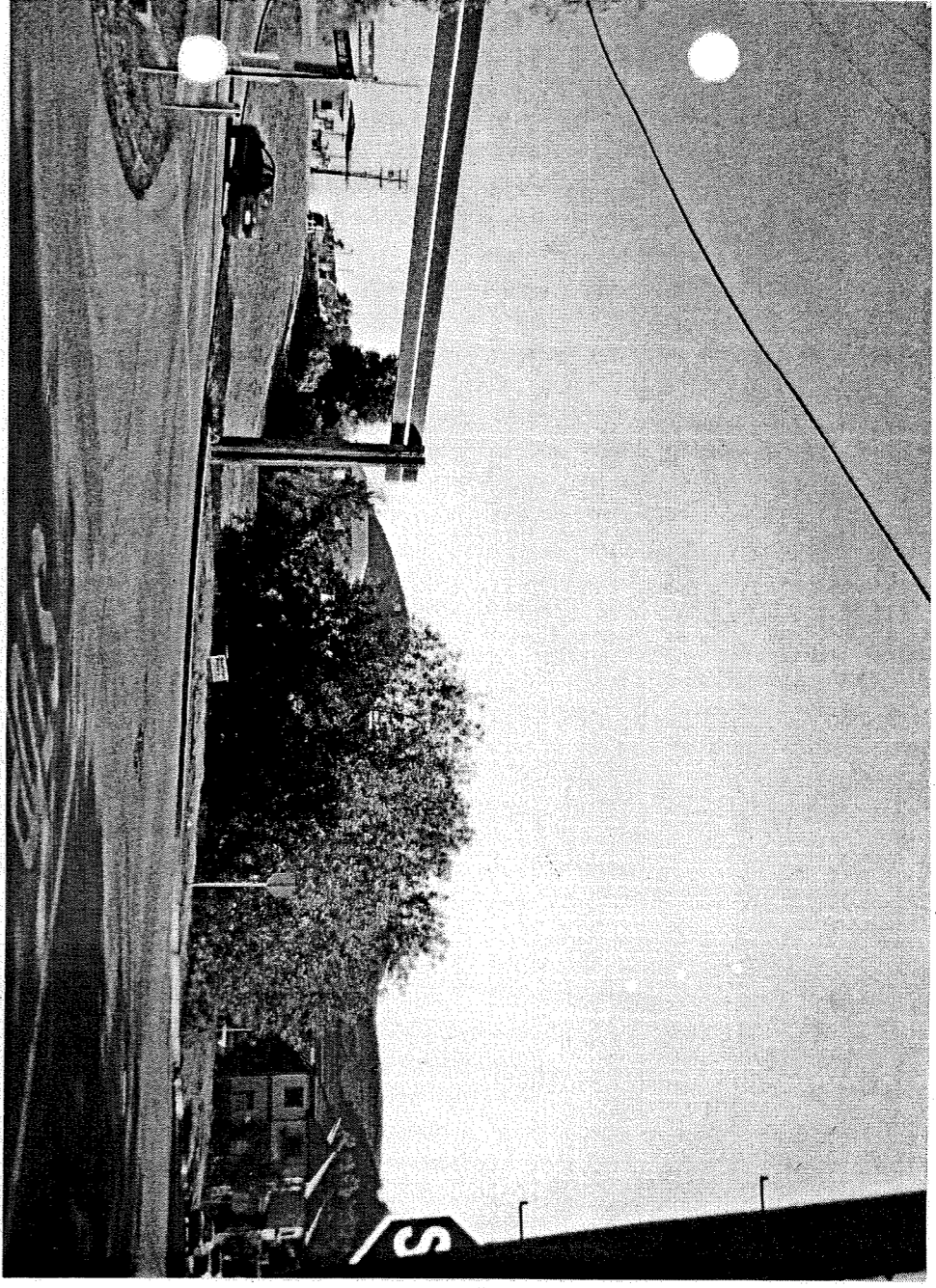
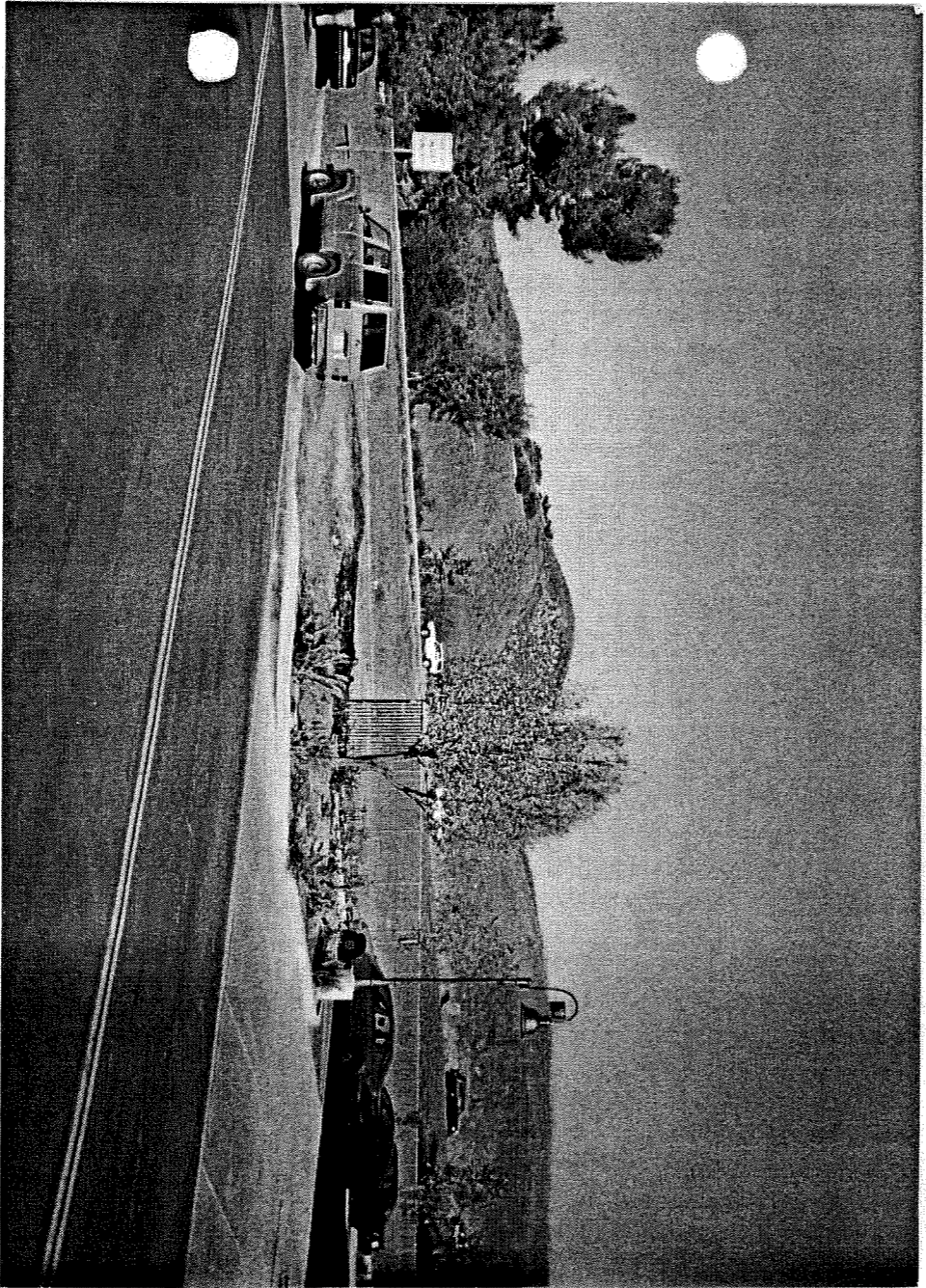
**SITE PLAN/ARCHITECTURAL REVIEW – CASE NO. 05-SPR-015,  
OAK TREE PERMIT – CASE NO. 05-OTP-023 &  
SIGN PERMIT - CASE NO. 05-SP-024**

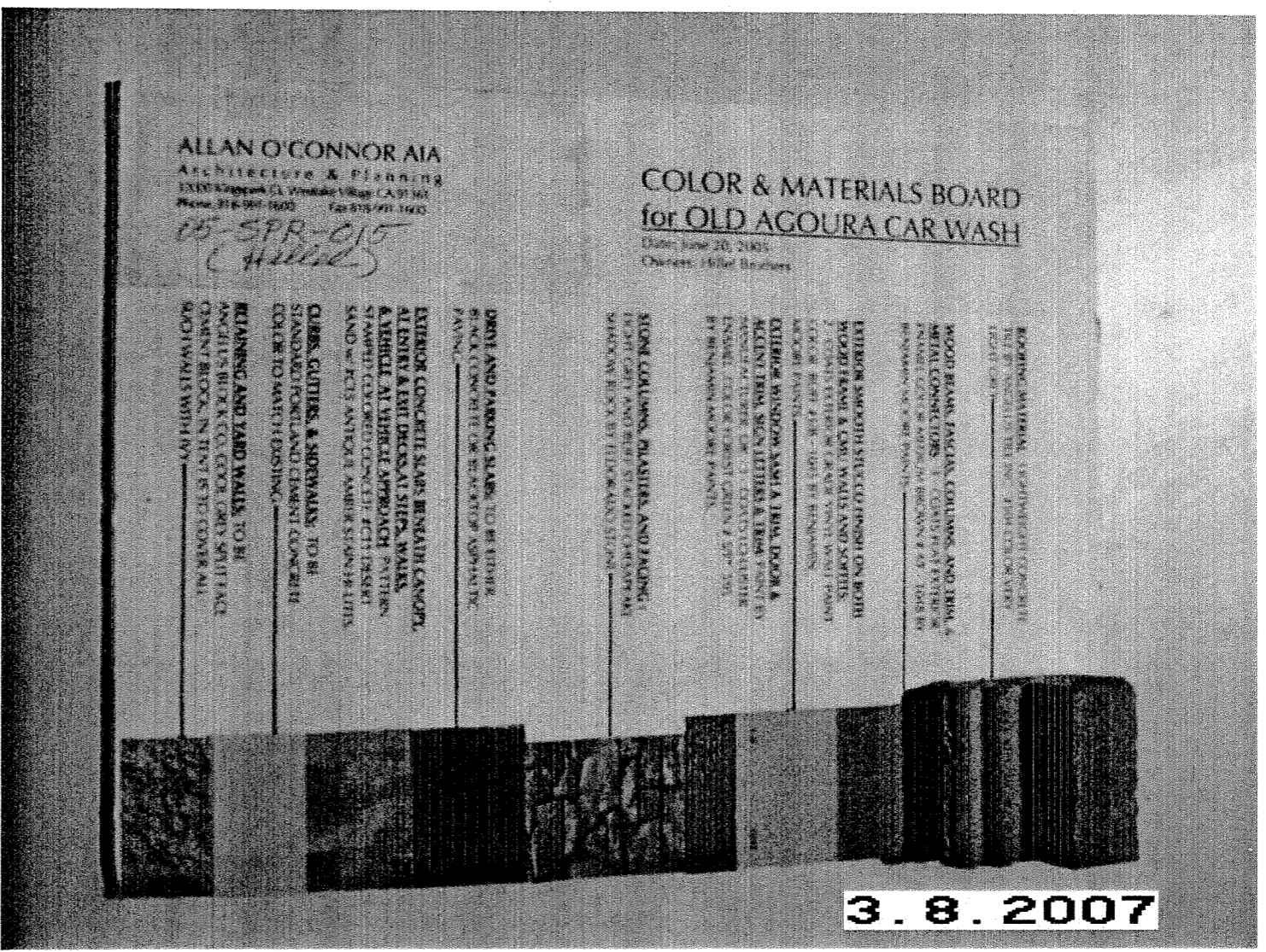
**Exhibit H**

**Photographs of the Site  
and of the  
Color and Material Board**









ALLAN O'CONNOR AIA  
ARCHITECTURE & PLANNING  
1310 S. Bascom Ave., Suite 1000, San Jose, CA 95128  
Phone: 415-961-1500 Fax: 415-961-1910

05-SPR-015  
(Hillside)

### COLOR & MATERIALS BOARD for OLD AGOURA CAR WASH

Date: June 20, 2005  
Client: Hillside Architects

WOOD BEAMS, FACIAL, COLUMNS, AND TRIM & METAL CONNECTORS. 1" CLEARANCE BETWEEN BEAMS. STAIN AND FINISH TO BE DETERMINED BY THE ARCHITECT.

EXTERIOR WINDOW SASHES, TRIM, DOOR & METAL CONNECTORS. 1" CLEARANCE BETWEEN SASHES AND TRIM. STAIN AND FINISH TO BE DETERMINED BY THE ARCHITECT.

EXTERIOR BRICK AND PARKING SIGNS TO BE EITHER BROWN SANDY BRICK OR RED BRICK. BRICK TO BE SET IN MORTAR. FINISH TO BE DETERMINED BY THE ARCHITECT.

EXTERIOR CONCRETE SLAB BEHIND CANOPY, AT ENTRY & EXIT DOOR, AT SIGN, WALK & WHEEL AT WHEEL APPROACH. FINISH TO BE DETERMINED BY THE ARCHITECT.

STONE COLUMNS, PLASTER, AND PARKING SIGN. FINISH TO BE DETERMINED BY THE ARCHITECT.

BRICK AND PARKING SIGNS TO BE EITHER BROWN SANDY BRICK OR RED BRICK. BRICK TO BE SET IN MORTAR. FINISH TO BE DETERMINED BY THE ARCHITECT.

EXTERIOR CONCRETE SLAB BEHIND CANOPY, AT ENTRY & EXIT DOOR, AT SIGN, WALK & WHEEL AT WHEEL APPROACH. FINISH TO BE DETERMINED BY THE ARCHITECT.

OTHER CURBS, & SIDEWALKS TO BE FINISHED TO MATCH FINISHING.

FINISHING AND YARD WALKS TO BE FINISHED TO MATCH FINISHING.

3.8.2007

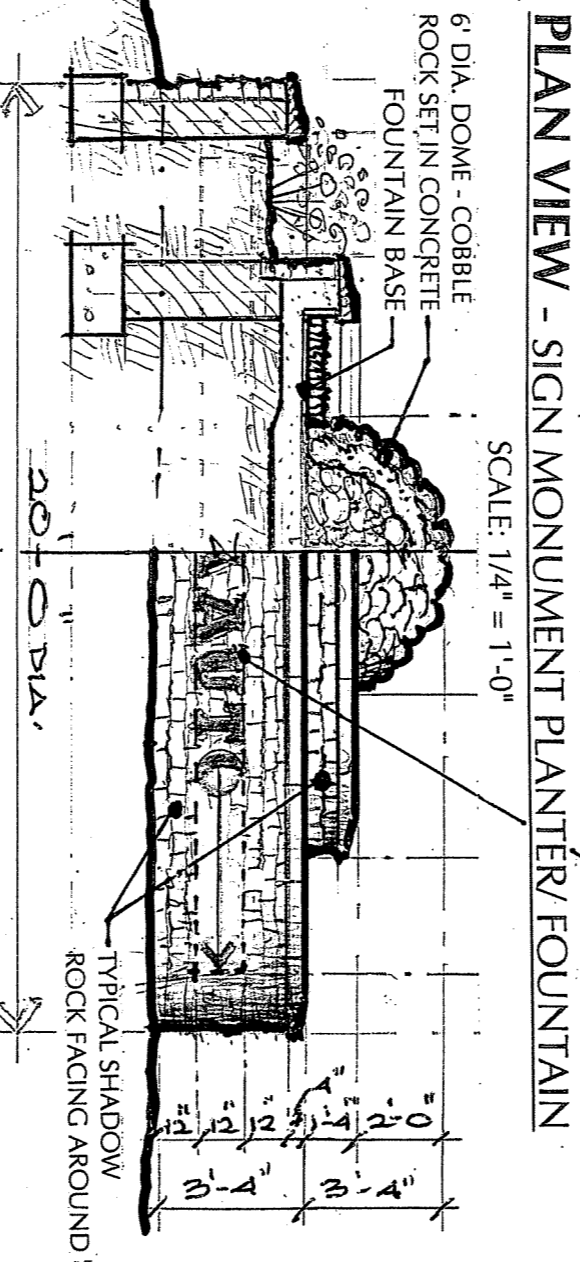
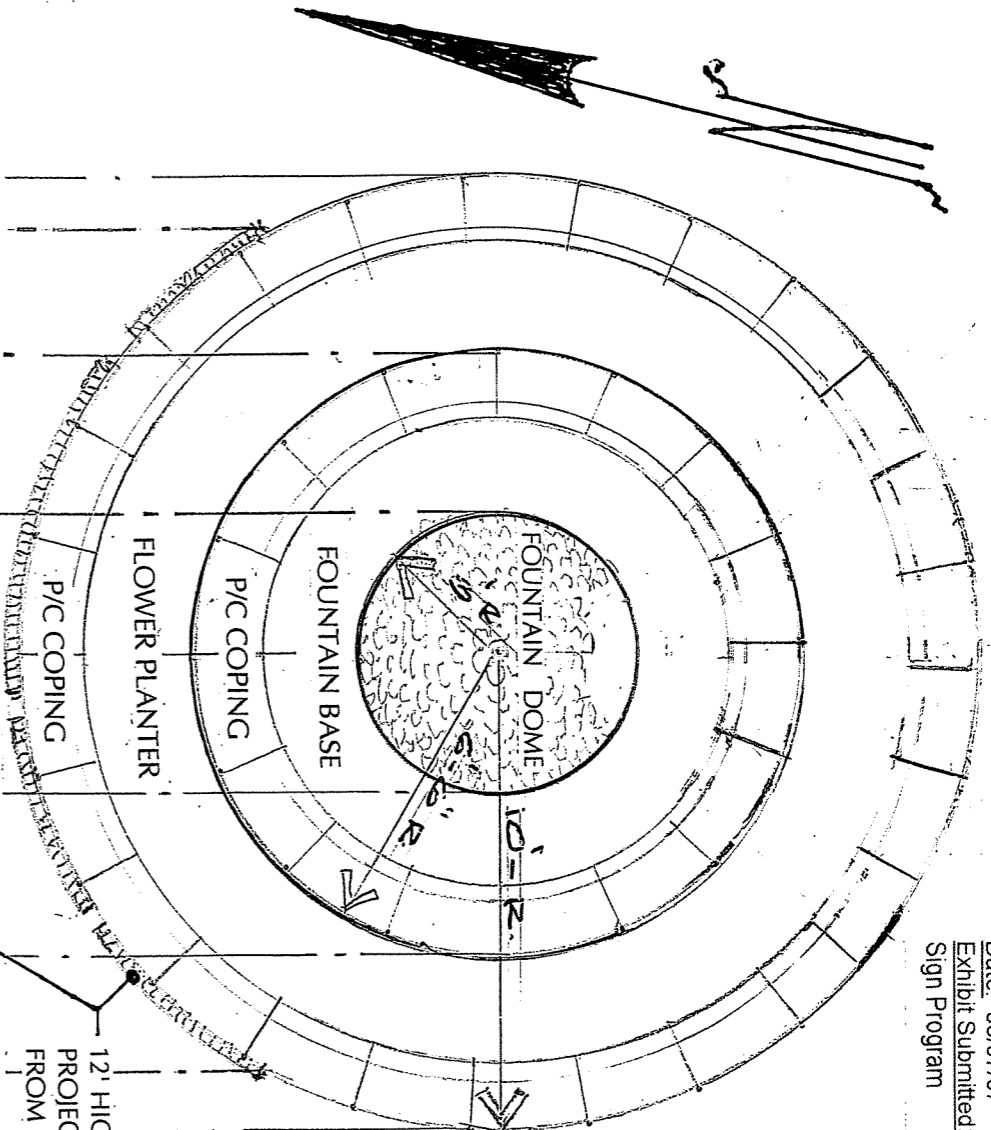


**AGGOURA HILLS**

**SITE PLAN/ARCHITECTURAL REVIEW – CASE NO. 05-SPR-015,  
OAK TREE PERMIT – CASE NO. 05-OTP-023 &  
SIGN PERMIT - CASE NO. 05-SP-024**

**Exhibit I**

**Mitigated Negative Declaration  
and  
Mitigation Monitoring Program**



**OLD AGOURA AUTO WASH**  
 ± 20'-0" LENGTH LETTERS

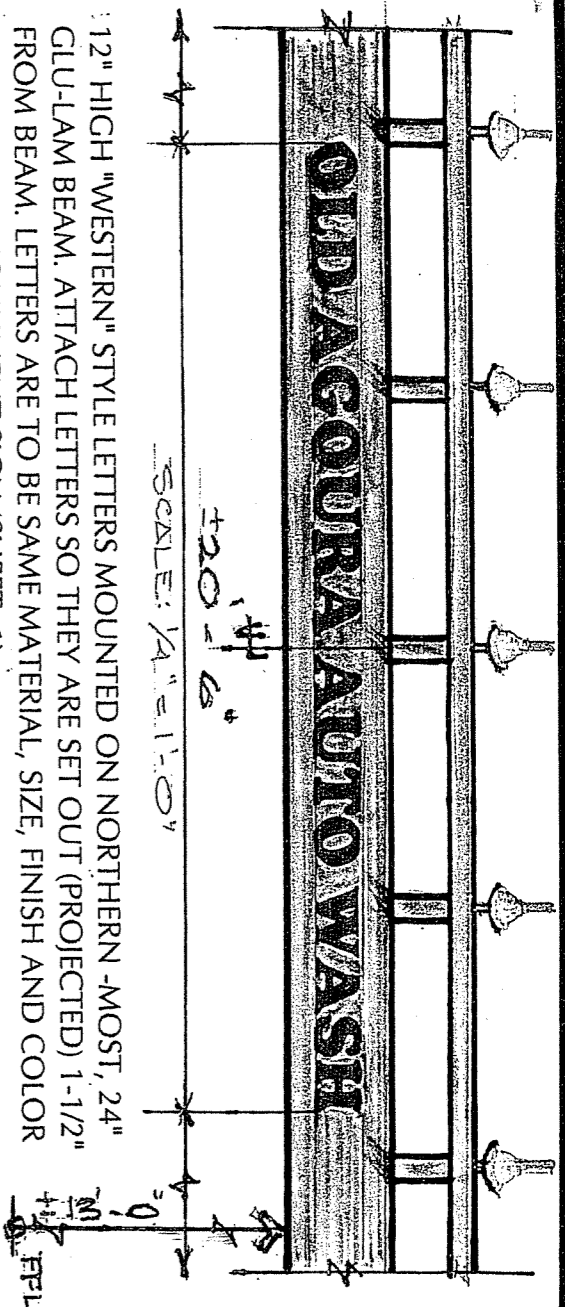
Western style letters to exterior grade 2.4.1. plywood (or equal) painted w/ 3 coats best grade Forest Green flat enamel color, equal to Benjamin Moore 5/F\* 595. Install monument letters projected +/- 1-1/2" from rock facing and attach with brass anchors per Architect approved shop drawings. Letters to be lighted from in-ground directional fixtures, @ +/- 3' from monument. Letters may be fabricated from other material, but must appear to be wood.

**NO. 1 - MONUMENT SIGN**

O'CONNOR & ASSOCIATES  
 ARCHITECTURE & PLANNING  
 32000 KINGSPARK CT. WESTLAKE VILLAGE CA. 91361  
 PHONE/FAX: 818-991-1600

SIGN PROGRAM  
 FOR  
 OLD AGOURA AUTO WASH  
 HILLEL BROS. PH. 818-366-8382

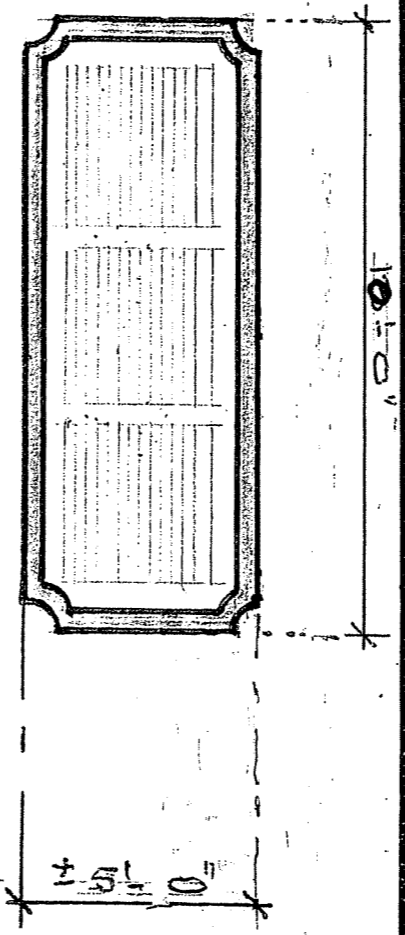
SHEET  
 1  
 DATE: 7/1/05



12" HIGH "WESTERN" STYLE LETTERS MOUNTED ON NORTHERN -MOST, 24" GLU-LAM BEAM. ATTACH LETTERS SO THEY ARE SET OUT (PROJECTED) 1-1/2" FROM BEAM. LETTERS ARE TO BE SAME MATERIAL, SIZE, FINISH AND COLOR AS THOSE AT MONUMENT SIGN (SHEET -1).

INSTALL FIVE PROJECTED STYLE LIGHTING FIXTURES, HOODED TO DIRECT LIGHT ONLY ON SIGN. PAINT FIXTURES AND PROJECTION CONDUIT SAME BENJAMIN MOORE 5/F\* 595 FOREST GREEN AS LETTERS.

## NO. 2- ENTRANCE SIGN



50 SQ. FT. LETTERING AREA ON WHITE SURFACED GENERAL INFORMATION SIGN. LETTERS AND BORDER TO BE TYPICAL FOREST GREEN. MOUNT UNDER CANOPY.

## NO. 3- INFORMATION SIGN

### OA OLD AGOURA DESIGN OVERLAY DISTRICT

ALL SIGNS SHALL BE AS REQUIRED CITY OF AGOURA HILLS ORDINANCE No. 05-330, CHAPTER 6, EXCEPT ANY SIGN SHALL CONFORM TO THE FOLLOWING CRITERIA:

- A. MONUMENT AND/OR DIRECTORY SIGNS ARE PERMITTED FOR PARCELS WHOSE SIGNS ARE NOT VISIBLE FROM THE STREET WITH A SIGN PERMIT SUBJECT TO DESIGN REVIEW. ALL OTHER MONUMENTAL SIGNS ARE PERMITTED SUBJECT TO A SIGN PROGRAM. MONUMENT SIGNS MAY ONLY BE EXTERNALLY ILLUMINATED.
- B. NO SIGN SHALL BE INTERNALLY ILLUMINATED, HOWEVER, HALO ILLUMINATED WALL SIGNS ARE PERMITTED, SUBJECT TO A SIGN PROGRAM.
- C. SIGNS SHALL BE MADE OF MATERIALS SUCH AS WOOD OR STONE OR MATERIALS THAT MIMIC WOOD OR STONE OR NON-REFLECTIVE OR PATINATED METALS THAT ENHANCE THE RURAL APPEARANCE OF THE NEIGHBORHOOD. OTHER SIGN MATERIALS MAY BE CONSIDERED AS PART OF A SIGN PROGRAM.
- D. SIGNS LOCATED IN THE GEOGRAPHIC AREA OF THE OLD AGOURA DESIGN OVERLAY DISTRICT SHALL BE TURNED OFF AT CLOSE OF BUSINESS OR 9:39 p.m., WHICHEVER OCCURS FIRST. IN ADDITION, THIS PROVISION SHALL APPLY TO SIGNS ORIENTED TOWARD DOROTHY ROAD ON PARCELS LOCATED ON THE NORTH SIDE OF BETWEEN LEWIS ROAD AND PALO CAMAADO ROAD.

**O'CONNOR & ASSOCIATES**

ARCHITECTURE & PLANNING  
32000 KINGSPARK CT. WESTLAKE VILLAGE CA. 91361  
PHONE/FAX. 818-991-1600.

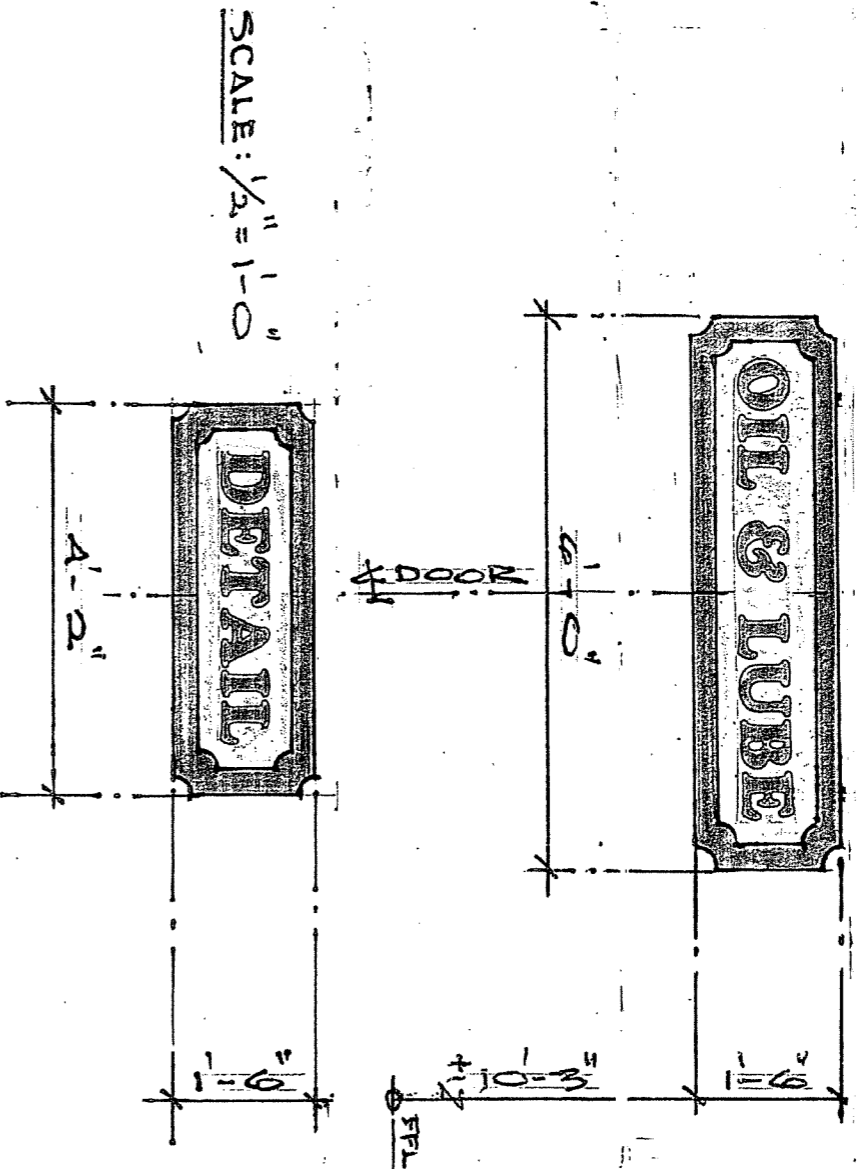
**SIGN PROGRAM**

FOR  
**OLD AGOURA AUTO WASH**  
HILLEL BROS. PH. 818-366-8382

SHEET

2

DATE: 7/1/05



BUILDING - 2 SHALL HAVE TWO DIRECTIONAL ~~WOOD~~ SIGNS, EACH ATTACHED TO THE ~~OTHER~~ SIDE OF THE NORTH-SIDE WOOD TRELLIS. AS NOTED ABOVE, EACH SIGN SHALL BE LOCATED AT THE CENTER LINE OF ITS DOOR OPENING.

THE OIL & LUBE SIGN WILL HAVE +/- 5.5 SQ. FT. OF LETTERING AREA, AND THE DETAIL SIGN WILL HAVE +/- 3.7 SQ. FT. OF LETTERING AREA. THE LETTERS AND BOARDERS SHALL BE PAINTED THE TYPICAL FOREST GREEN, AND THE TEXT BACKGROUND PAINTED THE BUFF OF THE WALLS.

# No. 4 - DIRECTIONAL SIGNS

**O'CONNOR & ASSOCIATES**

ARCHITECTURE & PLANNING  
32000 KINGSPARK CT. WESTLAKE VILLAGE CA. 91361  
PHONE/FAX. 818-991-1600

**SIGN PROGRAM**

FOR  
**OLD AGOURA AUTO WASH**  
HILLEL BROS. PH. 818-366-8382

SHEET

3

DATE: 7/1/05