

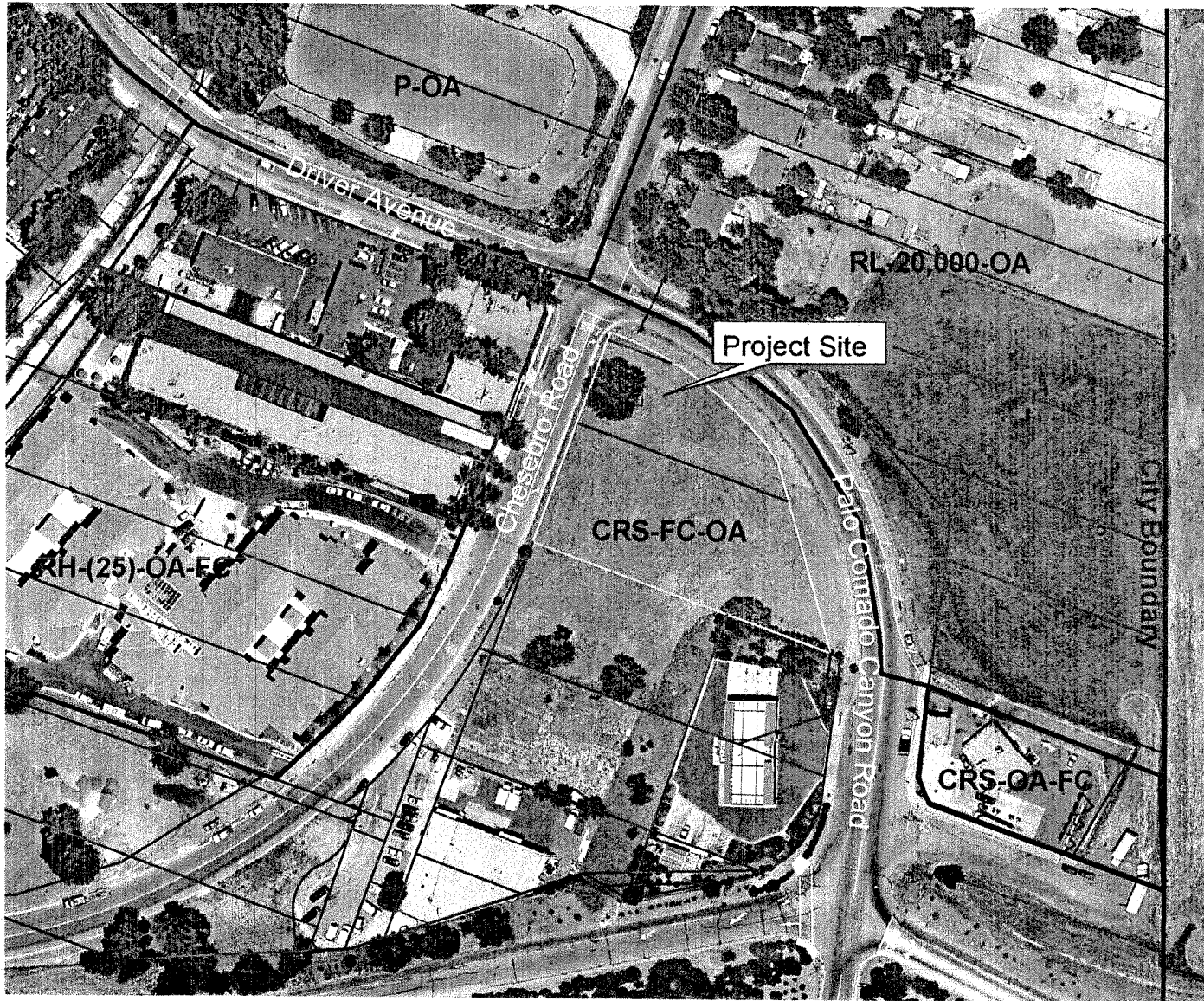


**SITE PLAN/ARCHITECTURAL REVIEW – CASE NO. 05-SPR-015,
OAK TREE PERMIT – CASE NO. 05-OTP-023 &
SIGN PERMIT - CASE NO. 05-SP-024**

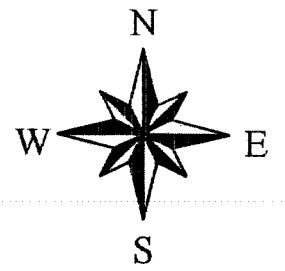
Exhibit A

Vicinity/Zoning Map

**SITE PLAN/ARCHITECTURAL REVIEW - CASE NO. 05-SPR-015,
OAK TREE PERMIT - CASE NO. 05-OTP-023 &
SIGN PERMIT 05-SP-024**



VICINITY/ZONING
MAP





**SITE PLAN/ARCHITECTURAL REVIEW – CASE NO. 05-SPR-015,
OAK TREE PERMIT – CASE NO. 05-OTP-023 &
SIGN PERMIT - CASE NO. 05-SP-024**

Exhibit B

**Reduced Copies of Architectural, Grading,
Landscape and Photometric Plans
and
Sign Program**

SHEET INDEX

- A-1 SITE & VICINITY MAPS - PROJECT SUMMARY
- A-2 FLOOR PLANS - TYPICAL DETAILS
- A-3 ROOF PLAN - TYPICAL DETAILS
- A-4 ELEVATIONS
- A-5 SECTIONS & LINE-OF-SIGHTS
- A-6 ADVANCY MAP

ELECTRICAL: DeLeon Engineering, Inc.

SW-1 SITE LIGHTING, PHOTOMETRIC PLAN

LANDSCAPE: Richard W. Campbell ASLA

LCF-1 LANDSCAPE CONCEPT PLAN

SURVEYING: M & G - Reynolds E. De Leon

1-1 TOPOGRAPHIC SURVEY

1-1 STREET DETAIL SURVEY

CIVIL: Hinkle Engineering - Joseph E. Hinkle PE

G-1 GRADING PLAN

G-2 GRADING & DRAINAGE PLAN

H-1 HYDROLOGY & DRAINAGE PLAN

1-1 ROAD WIDENING PLAN

PROJECT SUMMARY

SITE COVERAGES & PARKING

- BUILDING-1
- FLOOR - MECHANICAL & ELECT. = 251
- FLOOR - MECHANICAL = 1,000 S.F.
- FLOOR - OFFICE AREA = 4,077 S.F.
- FLOOR - OFFICE AREA = 500 S.F.
- BUILDING - 2
- LUBR BAY = 290 S.F.
- AUTO DETAIL BAY = 550 S.F.
- TOTAL BUILDING - Floor Area = 1,948 S.F.
- BUILDINGS - 1 & 2 Total Gross S.F. Area = 6,545 S.F.
- ENTRY & EXIT DECKS = 766 S.F.
- THUNDER LIGHTING SERVICE CANOPY = 3,460 S.F.
- BUILDINGS, DECKS, CANOPY (PA & 2nd) Total, net build = 10,271 S.F.
- SITE AREA (net including 2,400 proposed vegetation) = 40,285 S.F.
- COVERED AREAS = 10,771 (26,555) = 24% (65% MINIMUM REQUIRED)
- PARKING AREAS = 1,600 S.F.
- DRIVES / PARKING = 12,943
- TOTAL LANDSCAPING = 1,600 S.F.
- PARKING LANDSCAPING = 17% (OK, 15% REQUIRED)
- PARKING AREAS = 21,631 S.F.
- TOTAL LANDSCAPING = 3,690 S.F.
- WALKWAYS / PATHWAYS = 3,432
- WALKWAYS / PATHWAYS = 13,224 S.F.
- ALL LANDSCAPING = 13,224 S.F.
- SITE TOTAL AREA = 40,285 S.F.
- TOTAL SITE LANDSCAPING = 33% (OK, 10% REQUIRED)

- ### PARKING REQUIREMENTS:
- LUBR & DETAIL BAYS & CARLS 2 / BAY = 8 Spaces
 - 10
 - 2 Spaces
 - TOTAL REQUIRED & PROVIDED = 25 Spaces
- 2,500 S.F. Driveway Area for 10 vehicles (plus included in count)
- NOTES:
- TOTAL REQUIRED & PROVIDED
 - 10
 - 2 Spaces
 - 25 Spaces

PROPERTY DESCRIPTION

LOTS 17 & 18, TRACT # 8551 CITY OF AGOURA HILLS, CALIFORNIA, (See property map)

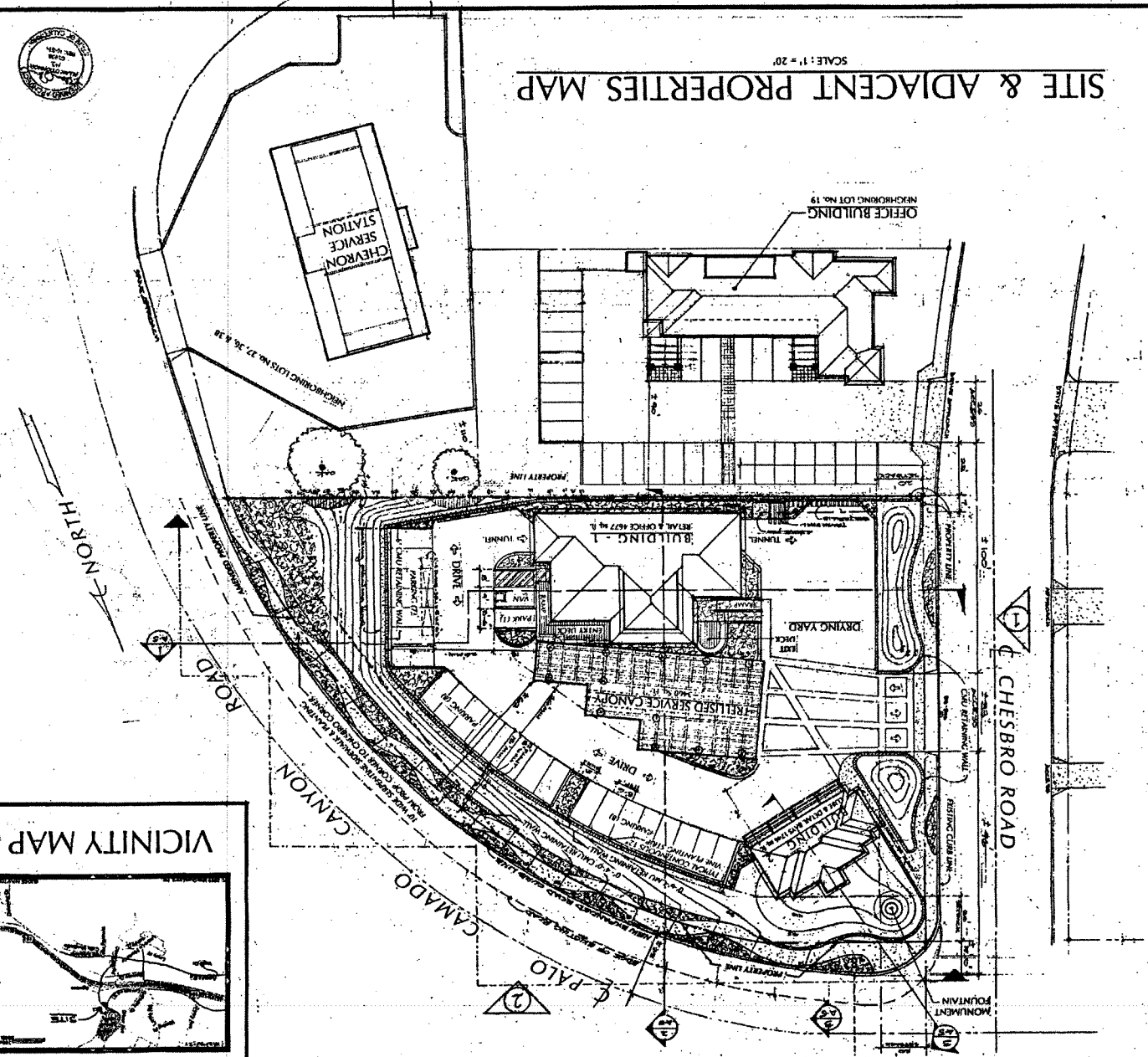
THIS PROPERTY IS 17 AND 18 ARE 20,000 S.F. TOTAL AREA, 10,000 S.F. LOT 17, 10,000 S.F. LOT 18. THE TOTAL AREA OF THE PROPERTY IS 20,000 S.F. (SEE PROPERTY MAP).

THE PROPERTY IS 17 AND 18 ARE 20,000 S.F. TOTAL AREA, 10,000 S.F. LOT 17, 10,000 S.F. LOT 18. THE TOTAL AREA OF THE PROPERTY IS 20,000 S.F. (SEE PROPERTY MAP).

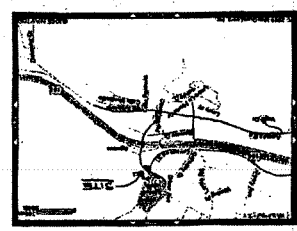
THE PROPERTY IS 17 AND 18 ARE 20,000 S.F. TOTAL AREA, 10,000 S.F. LOT 17, 10,000 S.F. LOT 18. THE TOTAL AREA OF THE PROPERTY IS 20,000 S.F. (SEE PROPERTY MAP).

SITE & ADJACENT PROPERTIES MAP

SCALE: 1" = 20'



VICINITY MAP



SITE & VICINITY MAPS & PROJECT SUMMARY

CHESBRO AUTO WASH

OWNERS: HILLER BROS. 484 DUNSHIRE DR. FONDNO, CA 91435 - 818 346 8392

DATE: 04/06
REVISIONS:

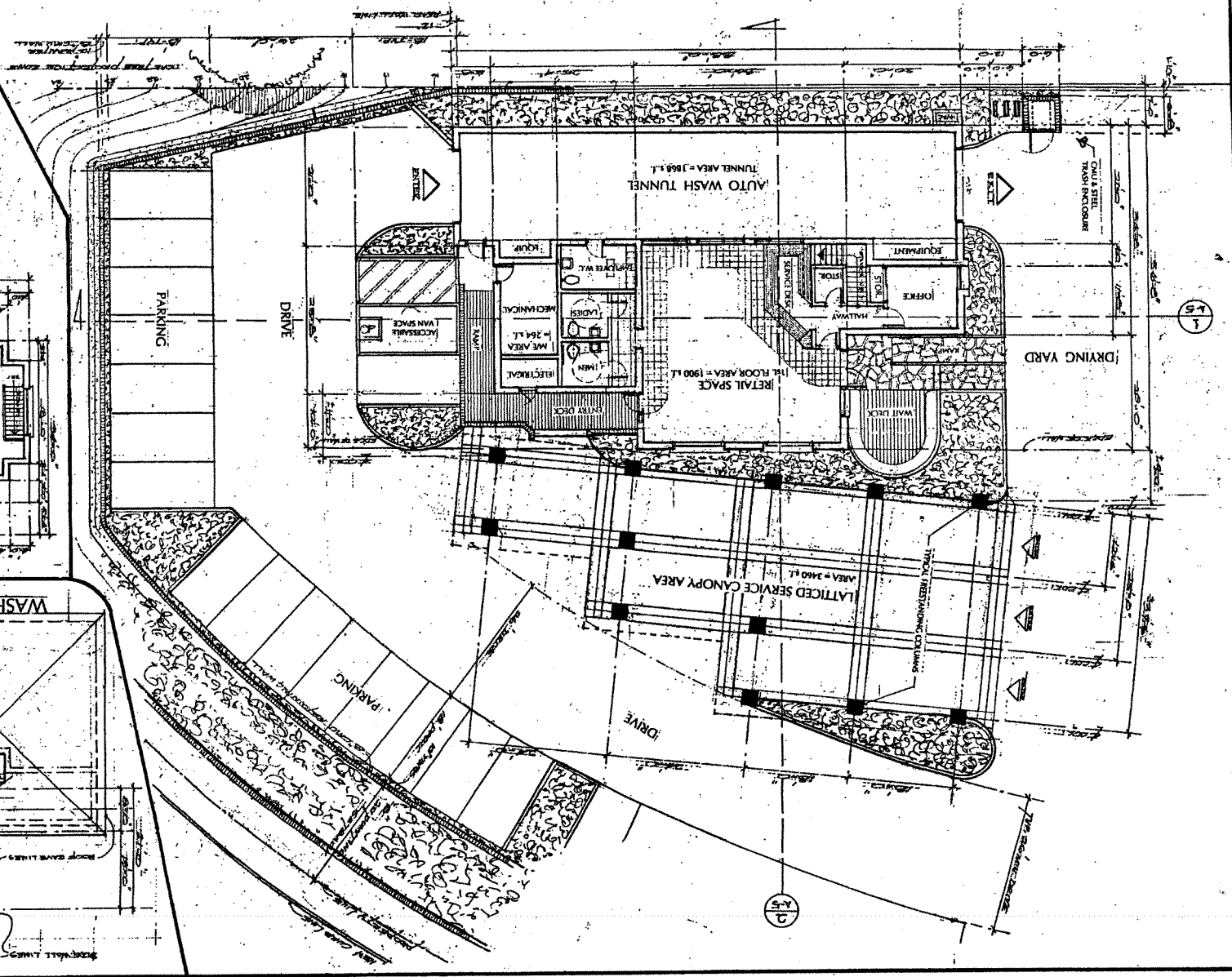
A-1
SHEET



ARCHITECT: Allan O'Connor AIA
ARCHITECTURE - PLANNING - DESIGN
20000 AVENUE 66 WESTLAKE AVENUE, SUITE 100
WESTLAKE, CA 91361 - TEL: 310-390-1100

WASH BUILDING - 1st. FLOOR PLAN

SCALE: 1/8" = 1'-0"

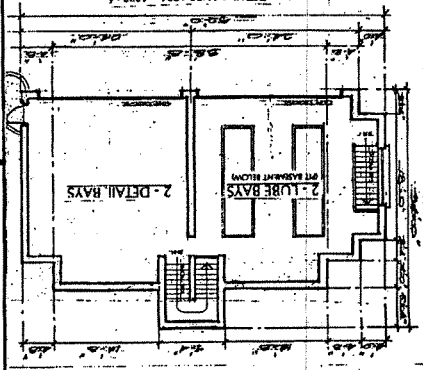


DETAIL & LUBE BUILDING

SCALE: 1/8" = 1'-0"

GROUND FLOOR PLAN

DETAIL & LUBE AREA = 1328 sq. ft.

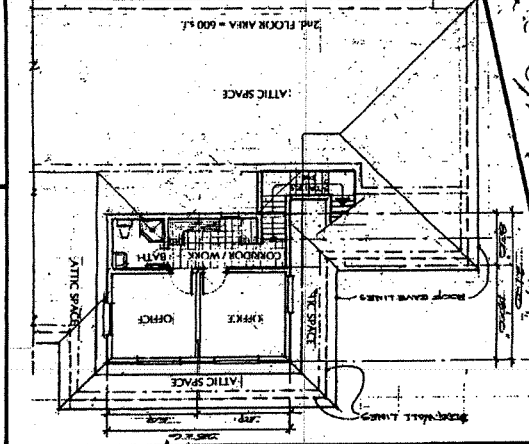


WASH BLDG. 2nd. FLOOR PLAN

SCALE: 1/8" = 1'-0"

2nd FLOOR AREA = 600 sq. ft.

ATTIC SPACE



15 SHEET

A-2

DATE: 2/27/02

REVISIONS

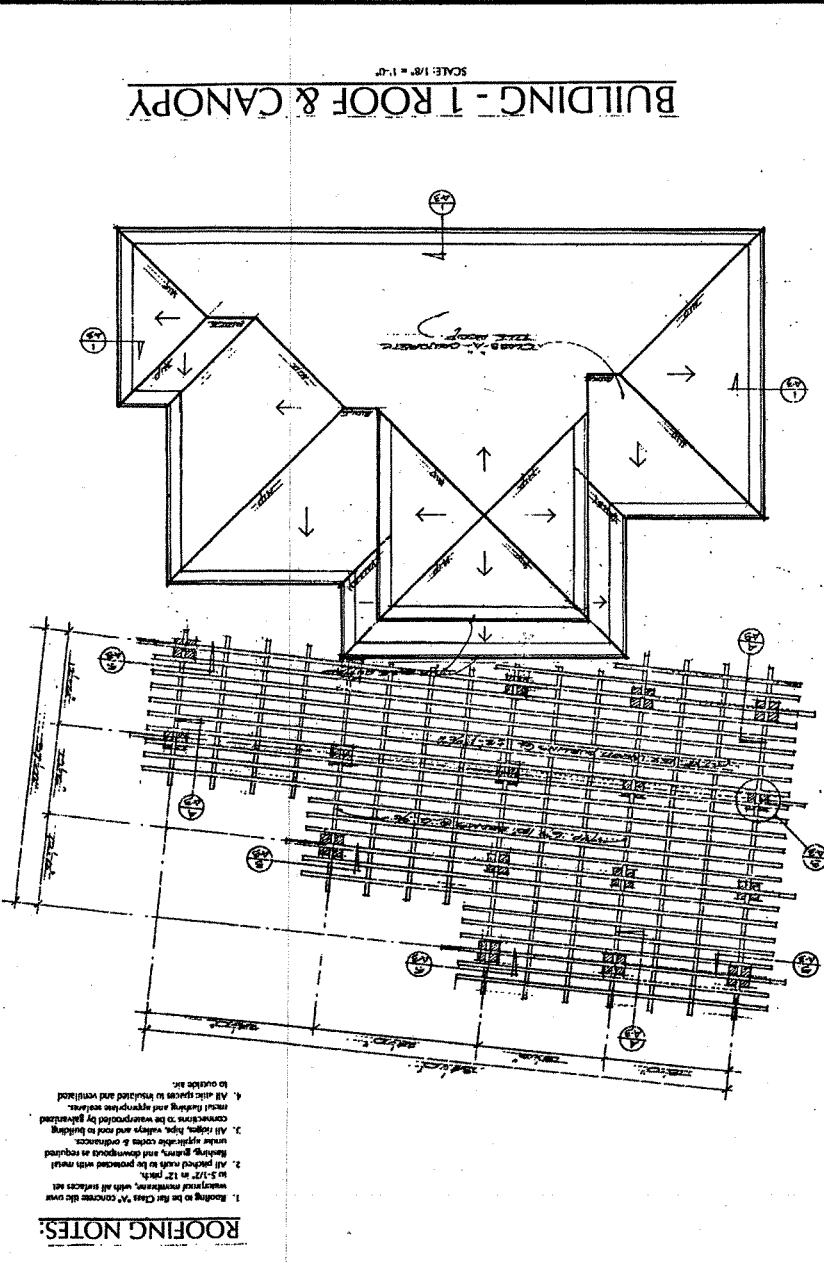
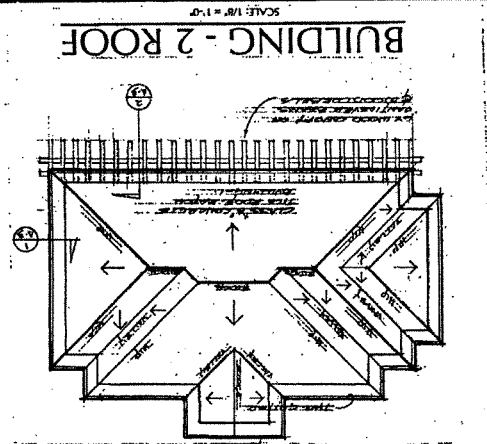
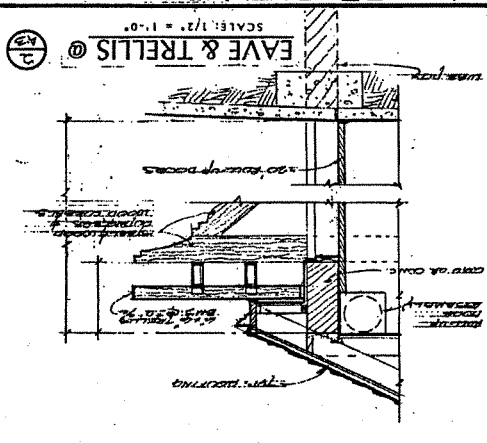
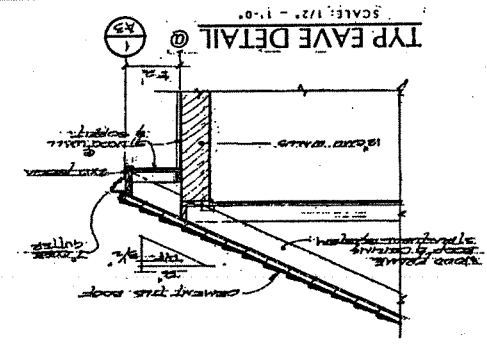
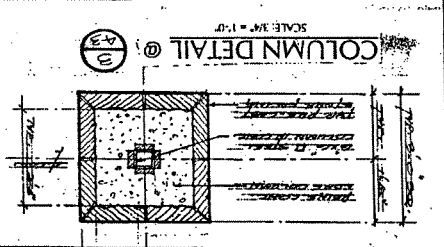
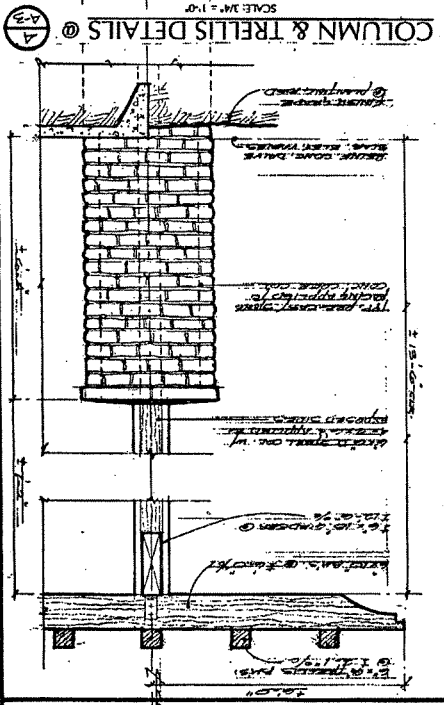
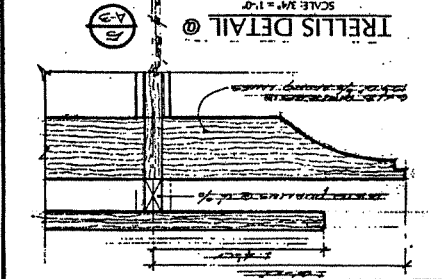
FLOOR PLANS

CHESBRO AUTO WASH

OWNERS: HILLER BROS. 4631 DENSHORE DR. ENGINO, CA 91436 - 818 366 8382

ALLAN O'CONNOR AIA

ARCHITECT: 25 ANSONS - 2500 DOWNEY
 FLOORING: JAMES C. WENDLER, WILSON, CA 91781
 PROJECT: 1045 SHIPWAY - QUINCY, ILLINOIS



ROOFING NOTES:

1. Roofing to be flat Class 'V' concrete slab cast in place.
2. All pitched roofs to be provided with metal roofing, girths, and downpipes as required.
3. Under appropriate eaves & overhangs, metal roofing to be waterproofed by galvanized sheet metal.
4. All gutters to be provided and vented to outside air.

ARCHITECT
ALAN O'CONNOR AIA
 15000 RICHMOND CT WINDSOR PARK CT 06897
 PHONE /FAX: (860) 291-1100 CELL: (860) 291-1100

CHESBRO AUTO WASH
 OWNERS: HILLI BIRD, 434 DUNSHIRE DR. BIRCHD., CT 06103 - 811 366 8382

ROOF PLANS & TYPICAL DETAILS

SCALE: 3/4\"/>

A-3 SHEET

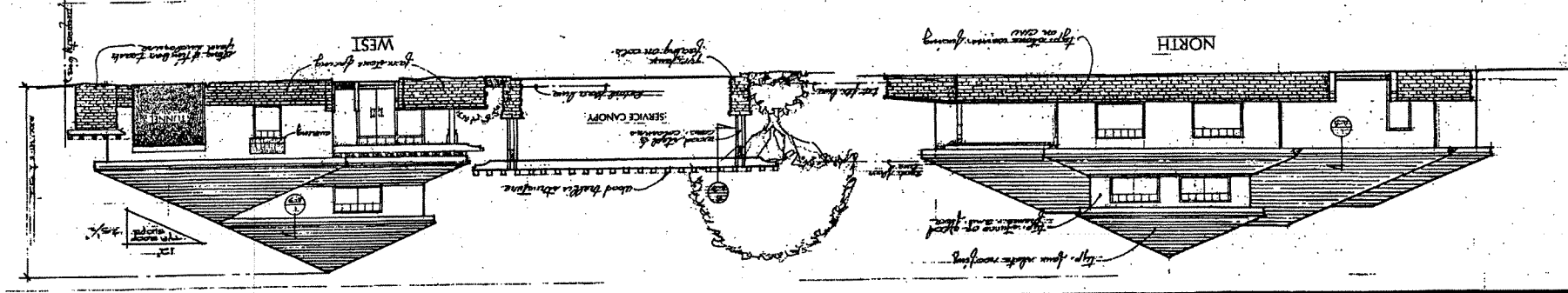
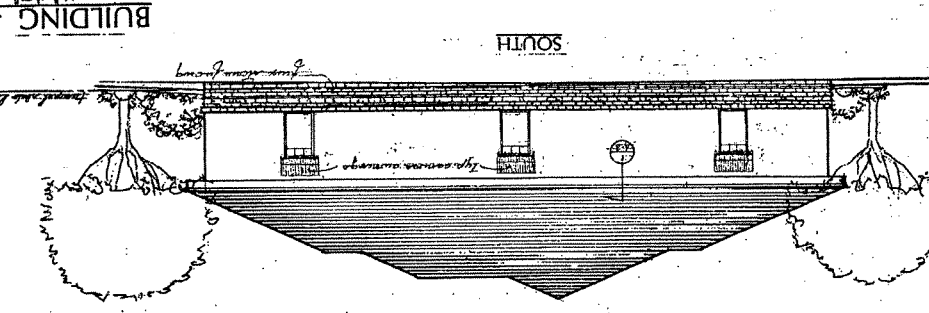
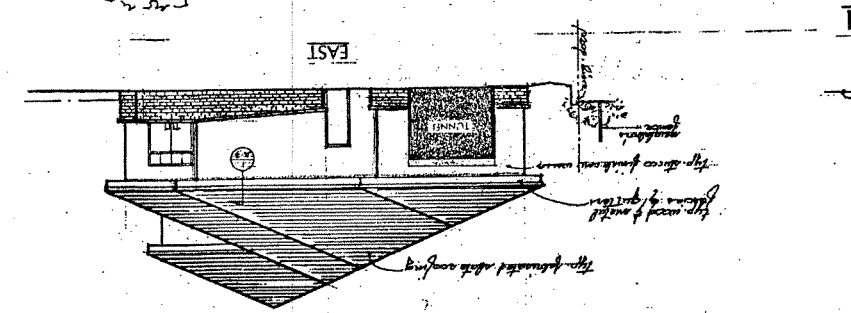
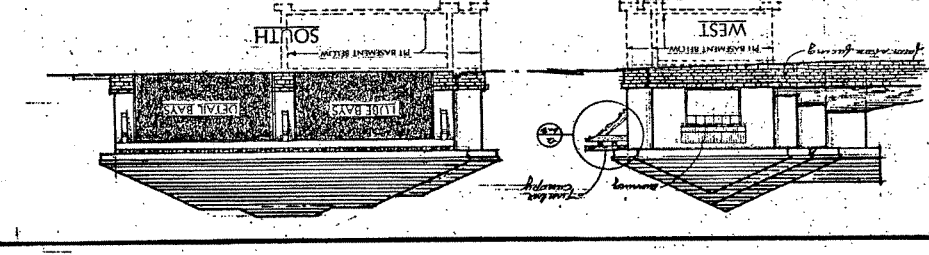
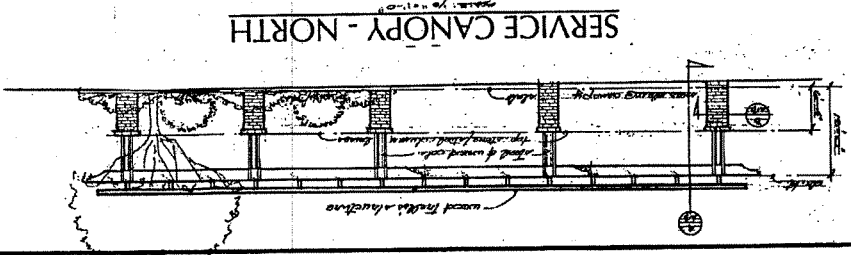
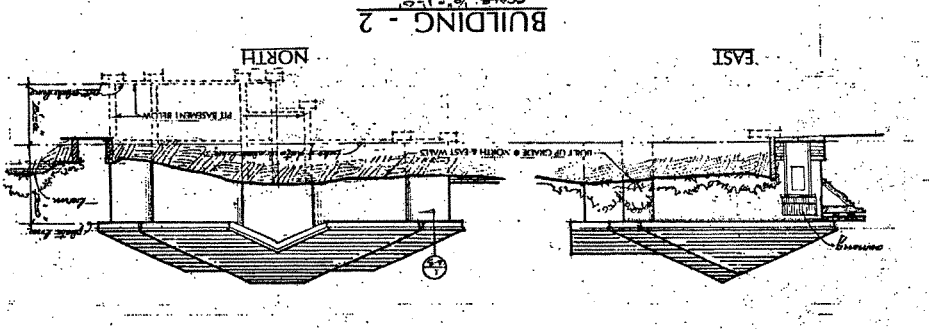
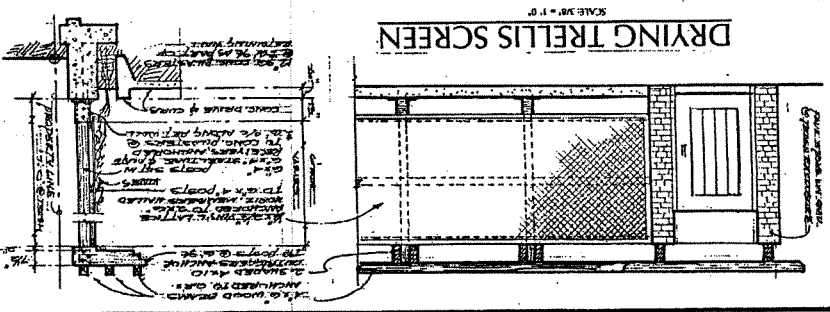
A-4
SHEET

SCALE AS SHOWN
DATE 2-9-70
REVISIONS:

ELEVATIONS
SCALE 1/8" = 1'-0"
ARCHITECT'S OFFICE

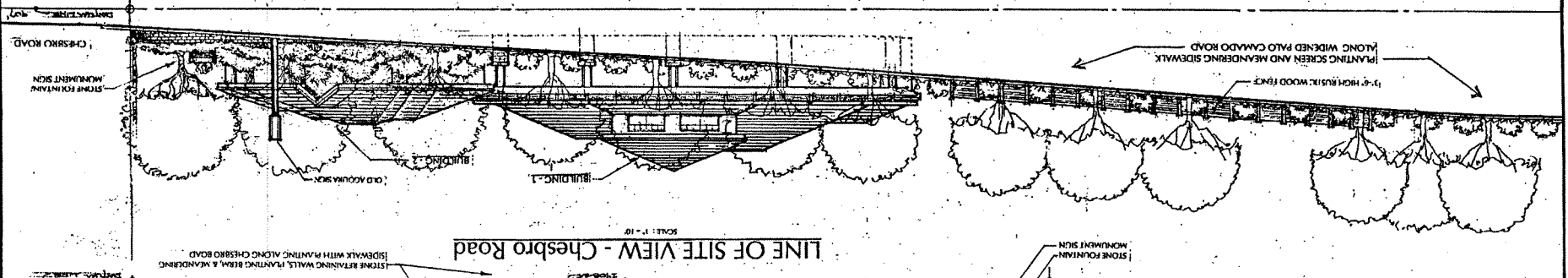
CHESBRO AUTO WASH
OWNERS: HILLET BROS. 4434 DUNSMUIR DR. RENO, NV 89502 - 818 366 8381

ARCHITECT
ALLAN O'CONNOR AIA
ARCHITECTURAL PLANNING - DEVELOPMENT
SYSTEMS DESIGN - INTERIOR DESIGN - EXTERIOR DESIGN
P.O. BOX 11411, RENO, NV 89511 - 333-3333



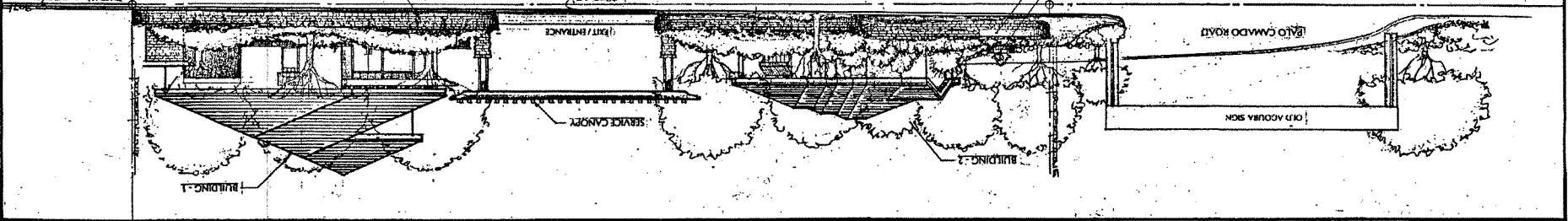
LINE OF SITE VIEW - Palo-Camado Road

SCALE: 1" = 10'



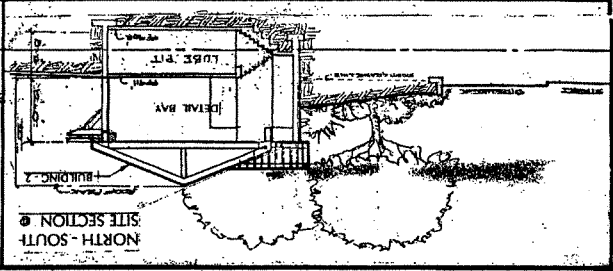
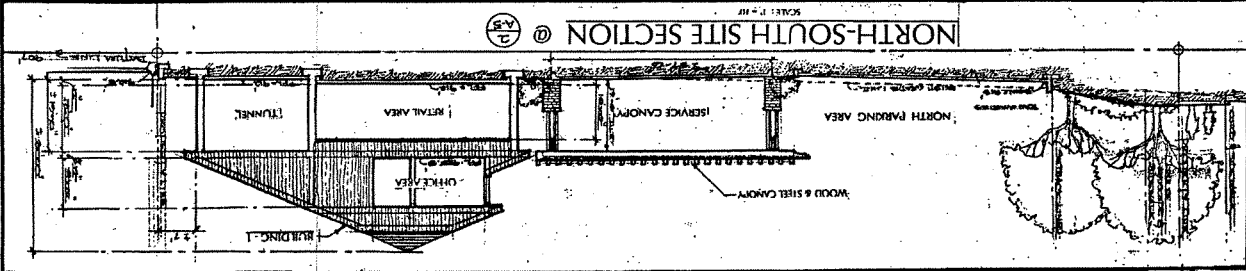
LINE OF SITE VIEW - Chesbro Road

SCALE: 1" = 10'



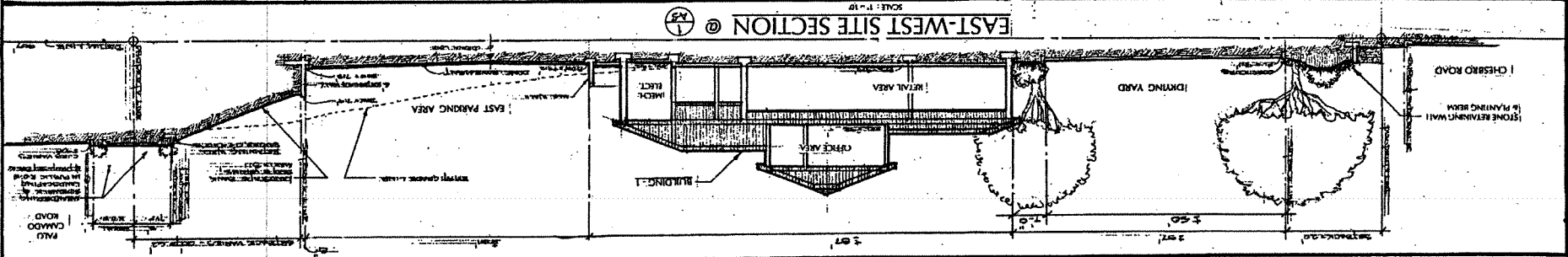
NORTH-SOUTH SITE SECTION @ (A-5)

SCALE: 1" = 10'



EAST-WEST SITE SECTION @ (A-5)

SCALE: 1" = 10'



A-5
SHEET

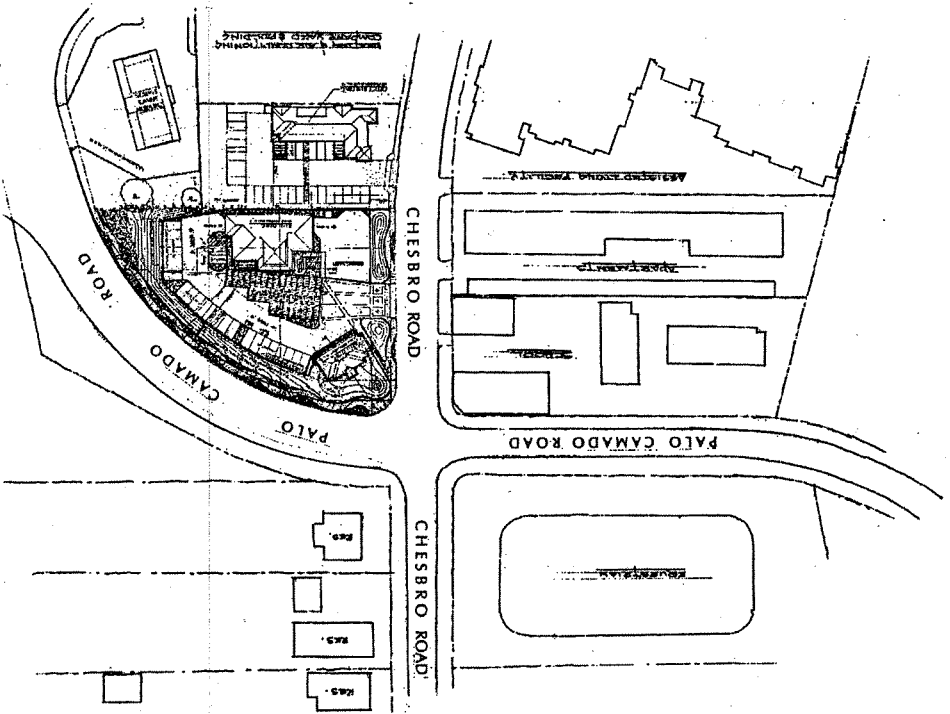
SECTIONS & LINE OF SIGHT ELEVATIONS

CHESBRO AUTO WASH

ARCHITECT
ALLAN O'CONNOR AIA

OWNER: HILLE BROS. AND PARTNER OF ENCONO, AC 9143A - 818 346 8382

ARCHITECTURE: PLANNING - JAYLOR O'NEILL
ARCHITECTURE: PLANNING - JAYLOR O'NEILL
ARCHITECTURE: PLANNING - JAYLOR O'NEILL



LAND USE ADJACENCY MAP

NO SCALE

SCALE: N/A
DATE: 2/2/20

REVISIONS:

A-6

SHEET

ADJACENCY
MAP

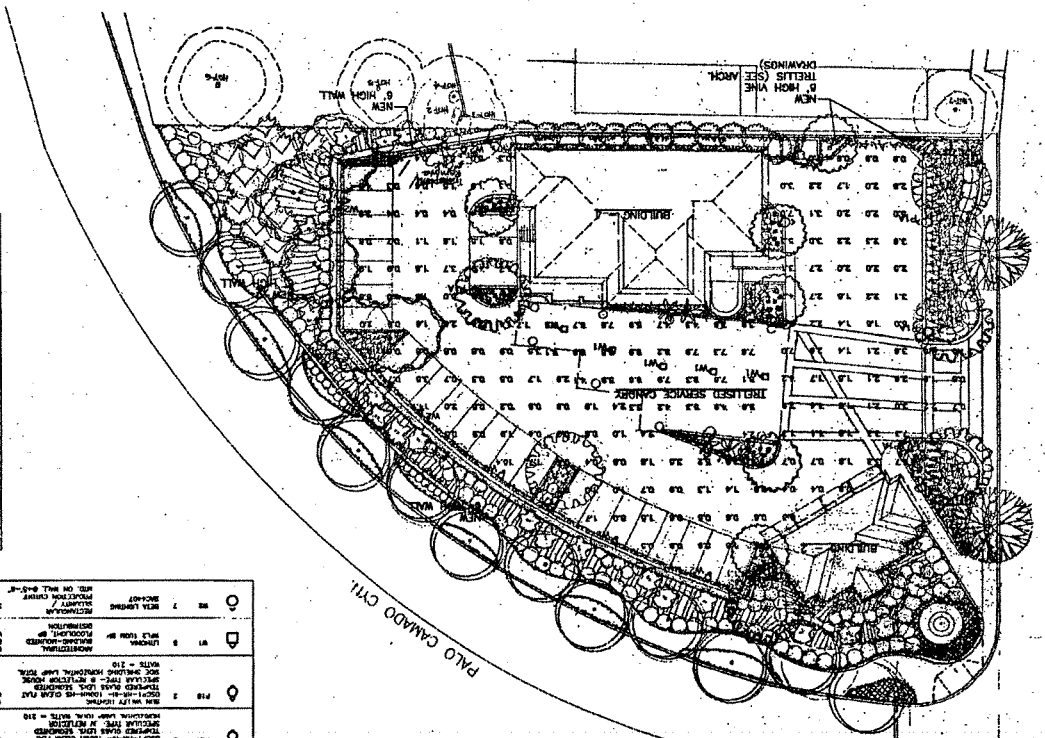
CHESBRO AUTO WASH

OWNER: TITEL BROS. 4534 DORCHESTER DR. LINDEN, NC 27536-3113 (919) 394-8881

A R C H I T E C T
ALAN O'CONNOR AIA
ARCHITECTURE - PLANNING - INTERIOR DESIGN
PHONE: (919) 394-8881 FAX: (919) 394-8882
WWW.ARCOCON.COM

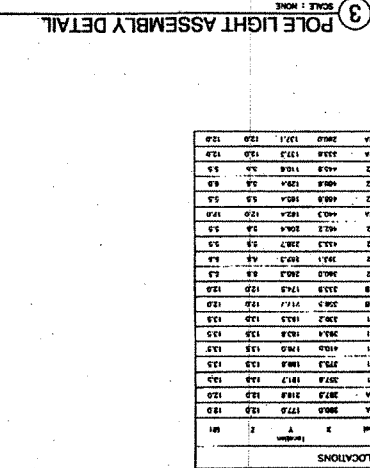
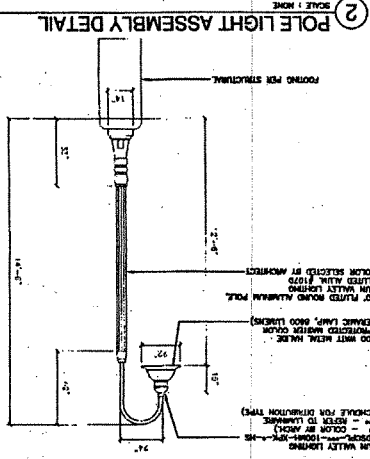
STATISTICS				
Description	Point	Qty	Min/Max	Adj/Min
Fixture Area	+ 2.0	164	0.0	0.0
Fixture Output	+ 0.0	66	0.0	0.0

① SITE LIGHTING - PHOTOMETRICS (PARKING ONLY)
SCALE: 1/8"=1'-0"



SY	Point	X	Y	Ht
1	P1A	280.0	177.0	15.0
2	P1A	302.0	218.0	15.0
3	P1A	322.0	278.0	15.0
4	P1A	342.0	338.0	15.0
5	P1A	362.0	398.0	15.0
6	P1A	382.0	458.0	15.0
7	P1A	402.0	518.0	15.0
8	P1A	422.0	578.0	15.0
9	P1A	442.0	638.0	15.0
10	P1A	462.0	698.0	15.0
11	P1A	482.0	758.0	15.0
12	P1A	502.0	818.0	15.0
13	P1A	522.0	878.0	15.0
14	P1A	542.0	938.0	15.0
15	P1A	562.0	998.0	15.0
16	P1A	582.0	1058.0	15.0
17	P1A	602.0	1118.0	15.0
18	P1A	622.0	1178.0	15.0
19	P1A	642.0	1238.0	15.0

Symbol	Point	Qty	Location Description
P1A	175	6	175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE
P1B	175	12	175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE
P1C	175	12	175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE
P1D	175	6	175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE 175 WATT LUMINAIRE



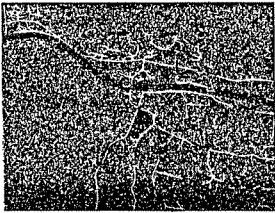
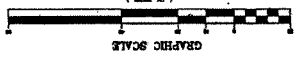
DALAN ENGINEERING, INC.
ELECTRICAL ENGINEERS
DALAN JOB NO. 17503
(818) 772-2233
828 DANFORTH AVENUE
MONTROSE, CA 91328
(909) 664-6644
FAX (818) 772-2239

SE-1
SHEET
SITE LIGHTING
PHOTOMETRICS

CHESBRO AUTO WASH
OWNERS: HILLER, BRUCE 4014 GERRARD DRIVE, EMERYVILLE, CA 94548 - (918) 284-6822

ALLAN O'CONNOR AIA
ARCHITECTURE - PLANNING - DEVELOPMENT
30200 KINGSBARK CT, WESTLAKE VALLEY, CA 91391
PHONE/FAX: (818) 961-1500 CELL: (818) 284-1000

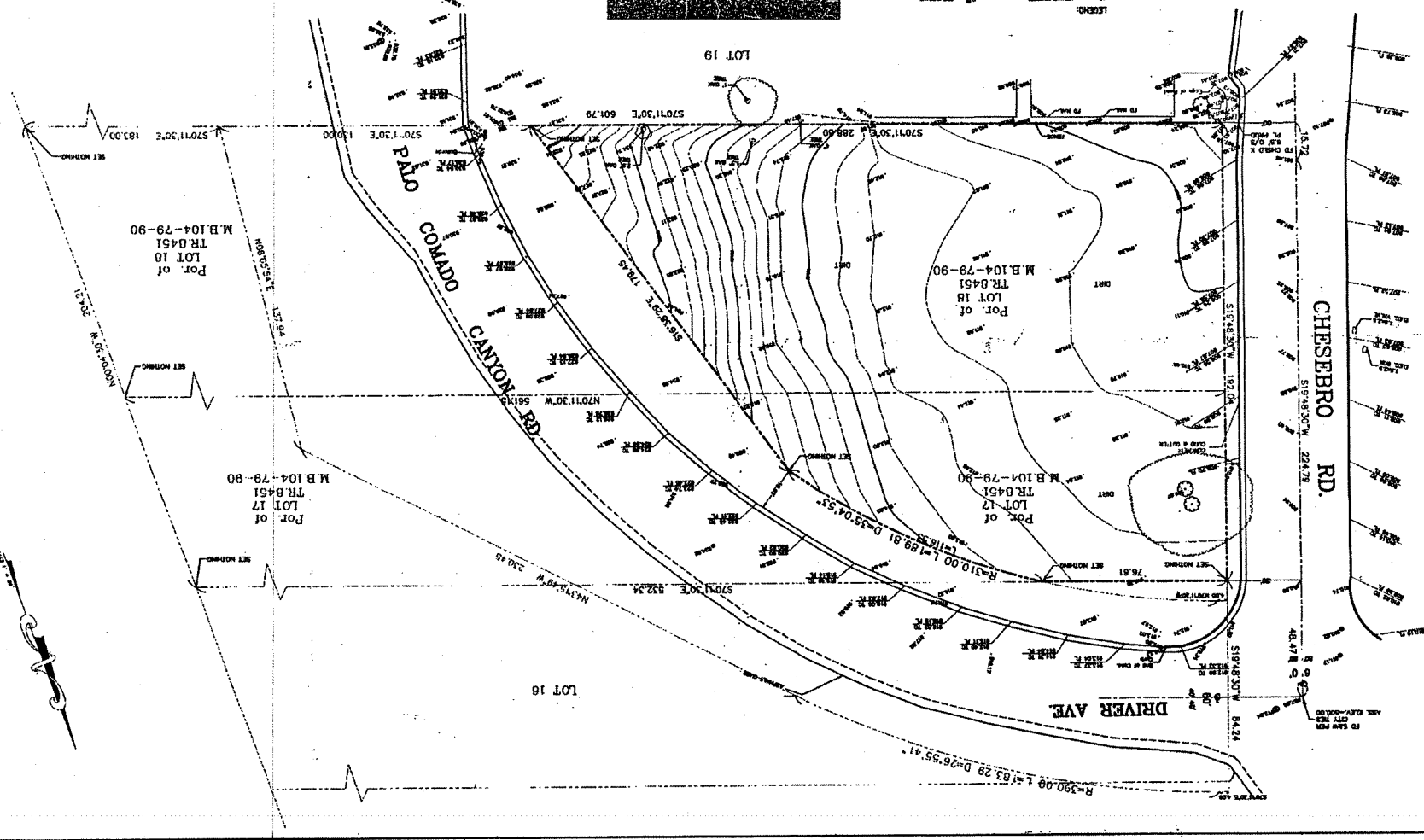
TOPOGRAPHIC SURVEY
 FOR LOTS 17 AND 18, BLOCK A, PALMA HILLS, CA.
MAG CIVIL ENGINEERING AND LAND SURVEYING
 1770 CALIFORNIA STREET, SUITE 200, PALMA HILLS, CALIFORNIA 91362
 TELEPHONE (909) 276-1100
 FAX (909) 276-1101
 WWW.MAGCIVIL.COM
 DATE: 11/15/2023
 DRAWN BY: JCS
 CHECKED BY: JCS
 PROJECT NO.: 23-011



LEGEND:

- PROPERTY LINE
- CONTOUR LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- FENCE
- DRAINAGE
- WATER
- LOT CORNER
- ELEVATION
- SURFACE
- TREE
- BUILT-UP AREA
- EXISTING ROAD
- PROPOSED ROAD
- EXISTING UTILITY
- PROPOSED UTILITY
- EXISTING CURB
- PROPOSED CURB
- EXISTING DRIVEWAY
- PROPOSED DRIVEWAY
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING GRAVEL
- PROPOSED GRAVEL
- EXISTING SAND
- PROPOSED SAND
- EXISTING GRAVY
- PROPOSED GRAVY
- EXISTING CLAY
- PROPOSED CLAY
- EXISTING SILT
- PROPOSED SILT
- EXISTING LOESS
- PROPOSED LOESS
- EXISTING SANDSTONE
- PROPOSED SANDSTONE
- EXISTING LIMESTONE
- PROPOSED LIMESTONE
- EXISTING GNEISS
- PROPOSED GNEISS
- EXISTING GRANITE
- PROPOSED GRANITE
- EXISTING QUARTZITE
- PROPOSED QUARTZITE
- EXISTING SCHIST
- PROPOSED SCHIST
- EXISTING SLATE
- PROPOSED SLATE
- EXISTING PHYLLOSLATE
- PROPOSED PHYLLOSLATE
- EXISTING MICA
- PROPOSED MICA
- EXISTING QUARTZ
- PROPOSED QUARTZ
- EXISTING FELDSPAR
- PROPOSED FELDSPAR
- EXISTING CALIC
- PROPOSED CALIC
- EXISTING AMPHIBOLE
- PROPOSED AMPHIBOLE
- EXISTING TORNADO
- PROPOSED TORNADO
- EXISTING K/F
- PROPOSED K/F
- EXISTING PLAGIO
- PROPOSED PLAGIO
- EXISTING BLS
- PROPOSED BLS
- EXISTING ALB
- PROPOSED ALB
- EXISTING EP
- PROPOSED EP
- EXISTING GR
- PROPOSED GR
- EXISTING T
- PROPOSED T
- EXISTING C
- PROPOSED C
- EXISTING M
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- EXISTING I
- PROPOSED I
- EXISTING S
- PROPOSED S
- EXISTING O
- PROPOSED O
- EXISTING D
- PROPOSED D
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- PROPOSED N
- EXISTING R
- PROPOSED R
- EXISTING L
- PROPOSED L
- EXISTING J
- PROPOSED J
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- PROPOSED H
- EXISTING Q
- PROPOSED Q
- EXISTING X
- PROPOSED X
- EXISTING Z
- PROPOSED Z

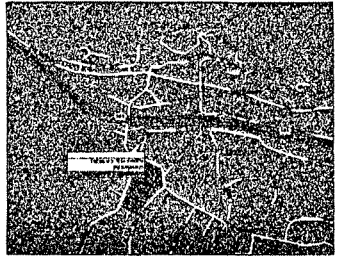
LEGAL DESCRIPTION:
 THE LAND HEREIN IS IN THE STATE OF CALIFORNIA,
 COUNTY OF LOS ANGELES.
 A PORTION OF LOT 18 OF TRACT NO. 104-79-90 IN THE CITY OF
 PALMA HILLS, COUNTY OF LOS ANGELES.
BASIS OF BEYONDS:
 THE BEYOND NORTH W/4 CORNER EAST ON THE CORNER OF CHENEBRO RD. AS
 SHOWN.
LAND AREA:
 CONTAINS AN AREA OF APPROXIMATE 60,000 SQ. FT. OR ABOUT 1.37 ACRES, MORE OR LESS.



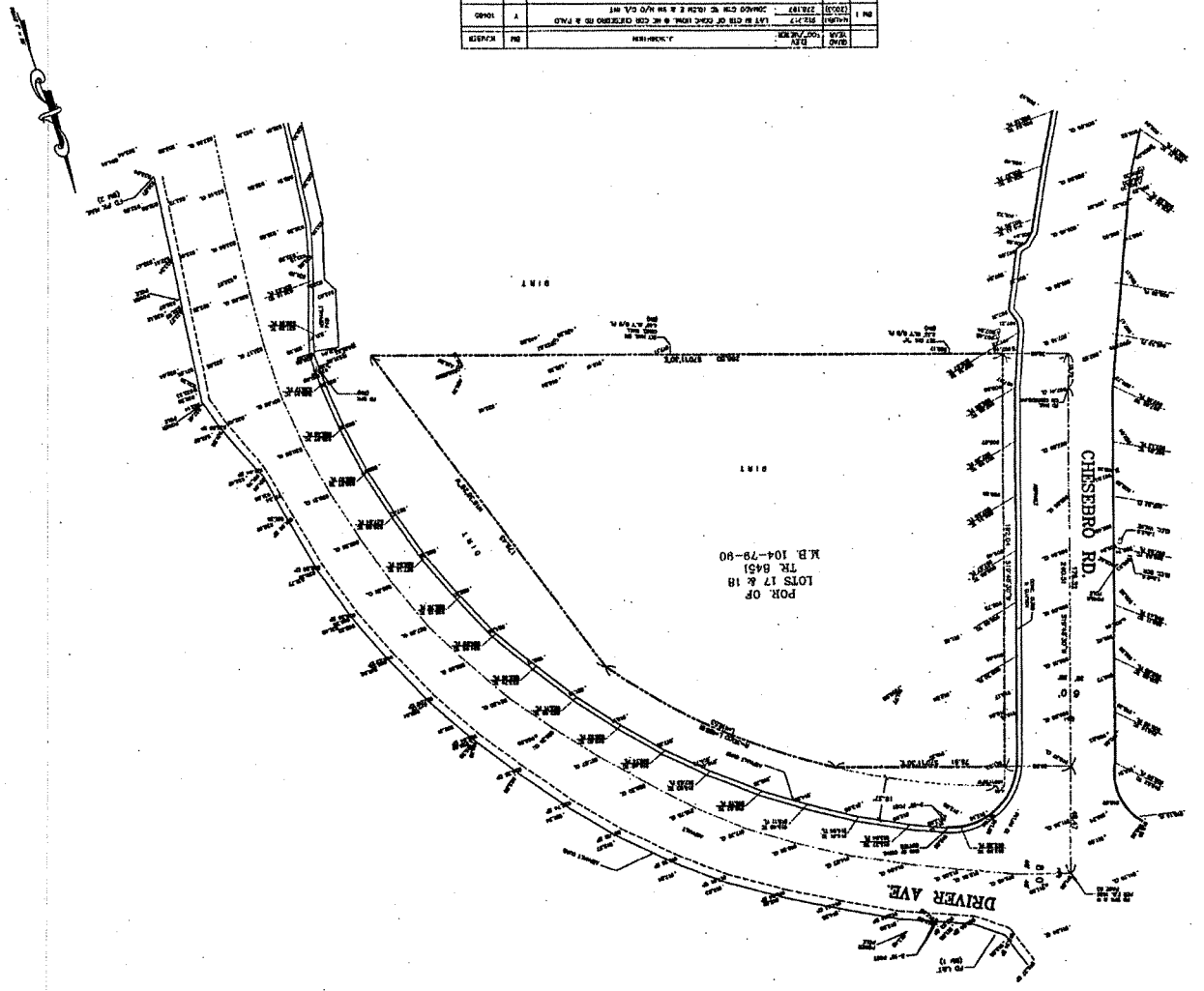
STREET DETAIL SURVEY
 LAND SURVEYING AND
 CIVIL ENGINEERING
 1000 W. 10th St. Suite 100
 Lincoln, NE 68502
 (402) 441-1111
 www.lse.com



NO.	DATE	DESCRIPTION
1	11/15/98	PREPARED FOR THE CITY OF LINCOLN, NE
2	11/15/98	FOR THE CITY OF LINCOLN, NE
3	11/15/98	FOR THE CITY OF LINCOLN, NE
4	11/15/98	FOR THE CITY OF LINCOLN, NE
5	11/15/98	FOR THE CITY OF LINCOLN, NE



SYMBOL	DESCRIPTION
—	Property Line
- - -	Survey Line
...	Unsurveyed Area
~	Proposed Street
	Proposed Sidewalk
	Proposed Driveway
	Proposed Alley
	Proposed Easement
	Proposed Right-of-Way
	Proposed Utility Line
	Proposed Fencing
	Proposed Gate
	Proposed Wall
	Proposed Foundation
	Proposed Footing
	Proposed Pier
	Proposed Column
	Proposed Beam
	Proposed Joist
	Proposed Truss
	Proposed Roof
	Proposed Floor
	Proposed Ceiling
	Proposed Wall
	Proposed Foundation
	Proposed Footing
	Proposed Pier
	Proposed Column
	Proposed Beam
	Proposed Joist
	Proposed Truss
	Proposed Roof
	Proposed Floor
	Proposed Ceiling



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY: *[Signature]*
 PROJECT ENGINEER: *[Signature]*
 DATE: _____

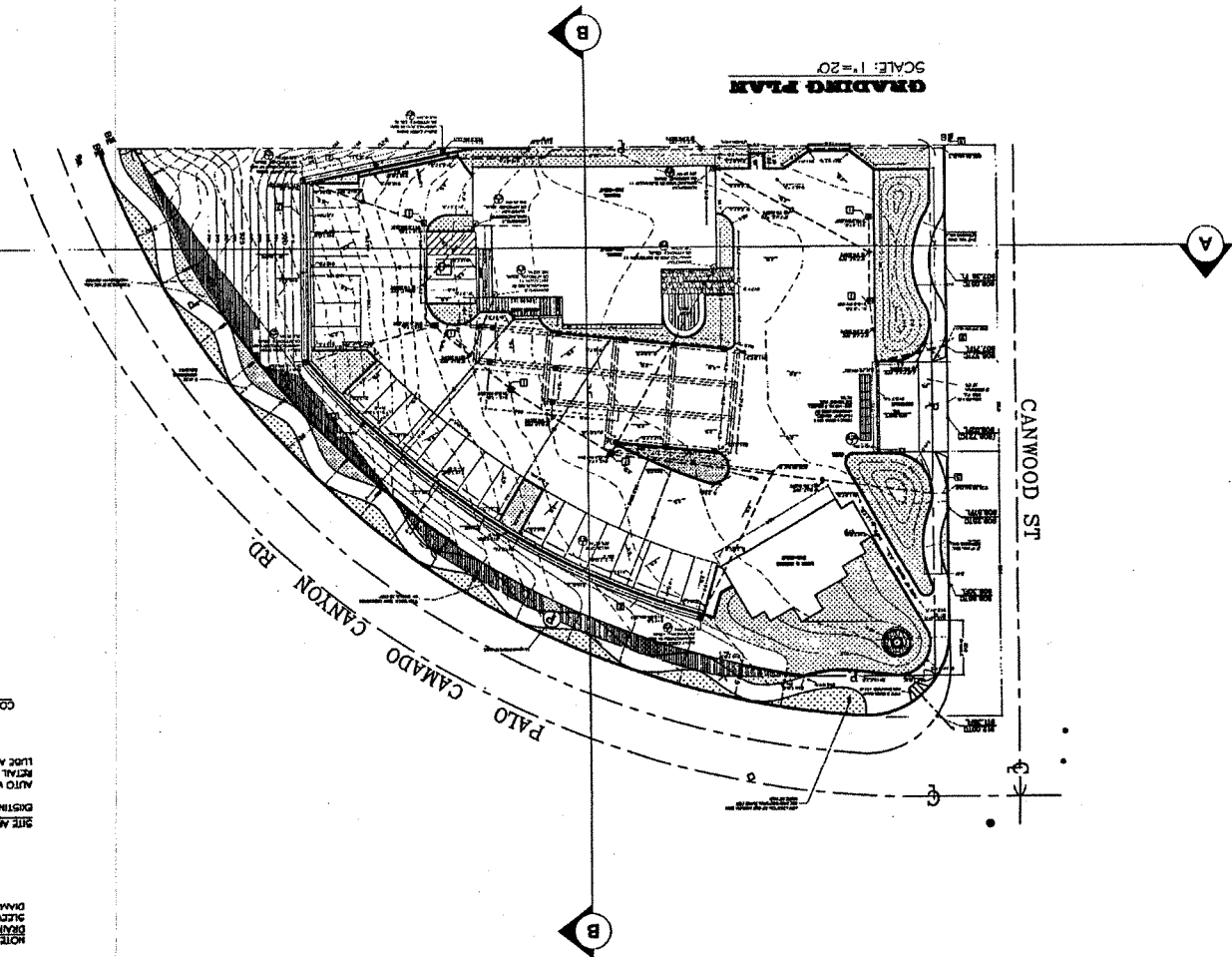
REVIEWED BY: _____
 DATE: _____
 CITY ENGINEER: _____
 DATE: _____
 PER. NO.: _____
 EXP. DATE: _____

CITY OF AGOURA HILLS APPROVAL

GRADING



GRADING PLAN
SCALE: 1"=20'



SITE AREA CALCULATIONS:
 DISTING. SITE AREA: 40234 SQ. FT.
 AUTO WASH TUNNEL: 1060 SQ. FT.
 RETAIL OFFICE: 1300 SQ. FT.
 LUMP AND DETAIL DMS: 1320 SQ. FT.

SLOPE ANALYSIS:
 CONTOUR INTERVAL X TOTAL CONTOUR LENGTH X 100
 1 FT. X 2004 FT. X 100 = 40080 SQ. FT.
 6.0 % SLOPE PERCENTAGE

CONSTRUCTION NOTES

- AREA DRAIN WITH 24"X24" GRATE MANUFACTURED BY HOBAS OR APPROVED EQUAL PER DETAIL.
- 24" WIDE CONCRETE SWALE WITH MINIMUM 2% SLOPE PER DETAIL.
- CONSTRUCT CURB DRAIN PER AWWA STD. PLAN NO. 150-2.

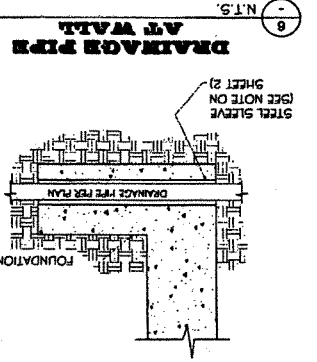
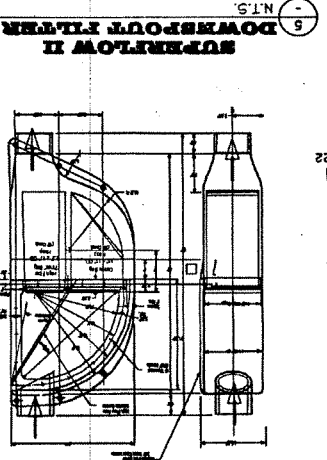
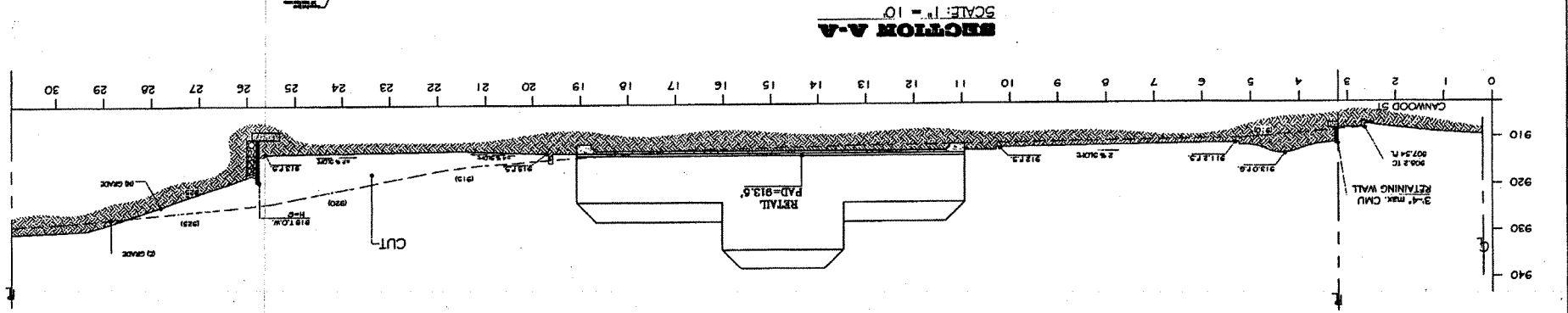
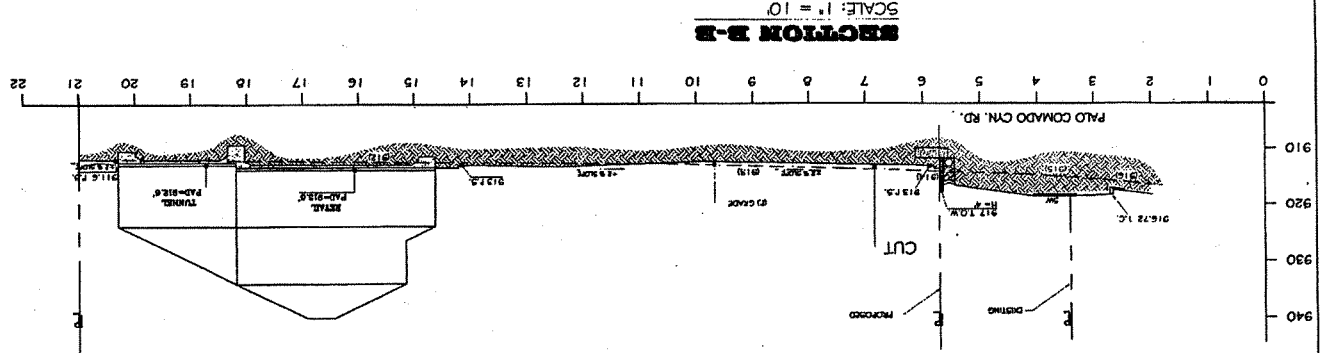
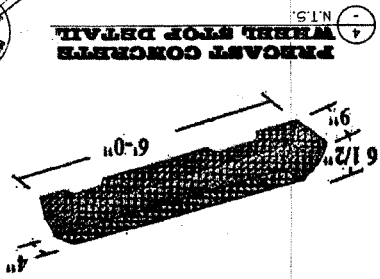
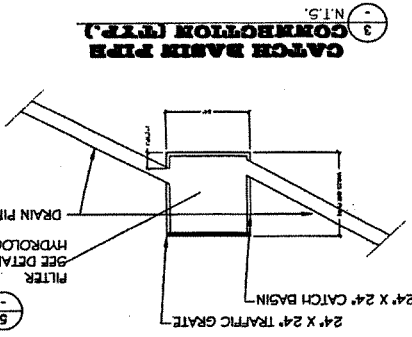
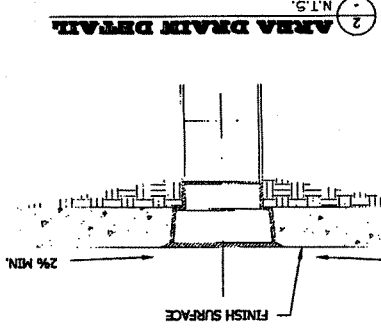
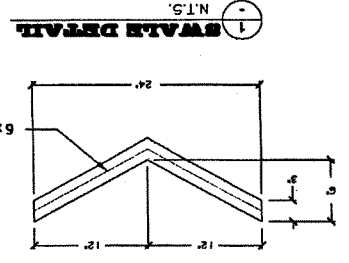
NOTE:
 DRAINAGE PIPS RUNNING THROUGH FOUNDATIONS SHALL BE SLEEVED WITH 4" DIA. STEEL SLEEVE. WHERE "Ø" IS THE DIAMETER OF THE DRAINAGE PIPE. PER DETAIL.

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY ENGINEER	DATE	REF. NO.	EXP. DATE

PREPARED BY: [Signature] **RELIANT ENGINEERING, INC.**

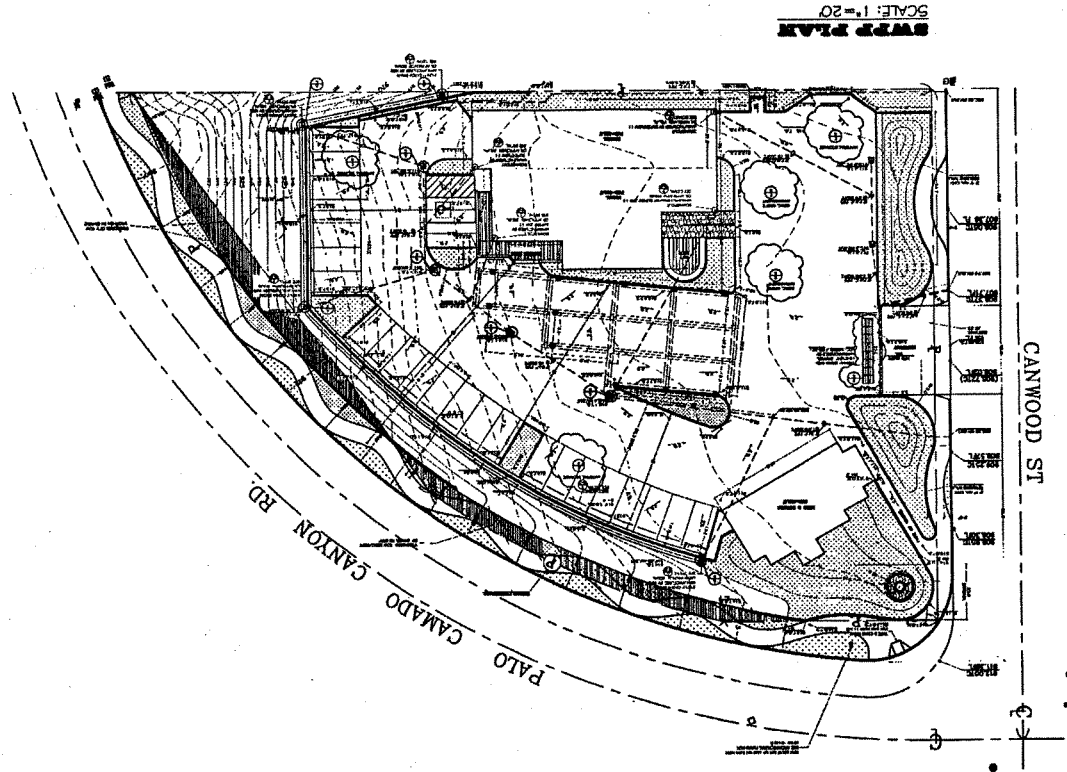
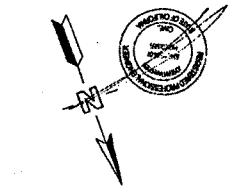
CITY OF AGOURA HILLS APPROVAL

SHEET 2 OF 2



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY	DATE	REVIEWED BY	DATE	CITY ENGINEER	DATE	FILE NO.	DATE

SWPP PLAN



CITY OF MOORPARK HILLS APPROVAL

EROSION CONTROL NOTES

- 1) Best Management Practices (BMPs) contained herein reflect minimum requirements. For additional BMPs refer to the California Stormwater BMP Handbooks.
- 2) All construction activity shall be performed in accordance with a Stormwater Pollution Control Plan (SWPPP) developed and implemented in compliance with requirements of the Los Angeles Countywide Stormwater Quality Management Program, National Pollution Discharge Elimination System (NPDES) Permit No. CAS004002.
- 3) The SWPPP shall:
- (a) Identify potential pollutant sources and include the design and placement of BMPs to effectively prohibit the entry of pollutants from the construction site into and onto the street and storm drain system during construction.
 - (b) Be kept on site and amended to reflect changing conditions throughout the course of construction.
 - (c) Be kept up to date. Any additional updates requested by agency representatives are to be made immediately.
- 4) Non - Stormwater discharges are prohibited from entering any storm drain system and/or street.
- 5) Discharges of pumped ground water require a discharge permit from the state of California Regional Water Quality Control Board (RWQCB).
- 6) Pollutants shall be removed from stormwater discharges to the Maximum Extent Practicable (MEP) through design & implementation of the SWPPP.
- 7) Portable sanitary facilities shall be located on relatively level ground away from traffic areas, drainage courses, and storm drain inlets.
- 8) Employees, subcontractors and suppliers shall be educated on all BMPs including concrete waste storage and disposal procedures.
- 9) Sediment control practices shall effectively prevent a net increase of sediment load in stormwater discharge.
- 10) In case of emergency, call _____ at _____
- 11) A standby crew for emergency work shall be available at all times during the rainy season (October 1 to April 15). Necessary materials shall be available on-site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain is imminent.
- 12) Erosion control devices shown on this plan may be removed when approved by the City Engineer if the grading operation has progressed to the point where they are no longer required.

- 13) Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of slope at the conclusion of each working day. All loose soils and debris that may create a potential hazard to off-site property shall be stabilized or removed from the site on a daily basis.
- 14) All silt and debris shall be removed from all devices within 24 hours after each rainstorm and be disposed of properly.
- 15) A guard shall be posted on the site whenever the depth of water in basins and drainage devices must comply with the appropriate BMP for dewatering operations.
- 16) The placement of additional devices to reduce erosion damage and contain pollutants within the site is left to the discretion of the field Engineer. Additional devices as needed shall be installed to retain sediments and other pollutants on site.
- 17) Dewatering basins may not be removed or made inoperable between October 1 and April 15 of the following year without the approval of the City Engineer.
- 18) Storm Water Pollution and Erosion Control devices are to be modified, as needed, as the project progresses, the design and placement of these devices is the responsibility of the field engineer. Plans representing changes must be submitted for approval if requested by the City Engineer.
- 19) Every effort should be made to eliminate the discharge of non-storm water from the project sites at all times.
- 20) Eroded sediments and other pollutants must be retained on-site and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses, or wind.
- 21) Stockpiles of earth and other construction-related materials must be protected from being transported from the site by the forces of wind or water.
- 22) Fuels, oils, solvents, and other toxic materials must be stored in accordance with their listing and are not to contaminate the soils and surface waters. All approved storage containers are to be protected from the weather. Spills may not be washed into the drainage system. Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on-site until they can be disposed of as solid waste.
- 23) Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on-site until they can be disposed of as solid waste.
- 24) Developers/contractors are responsible to inspect all Erosion Control Devices and BMPs are installed and functioning properly before and after 0.25 inches or greater predicted or actual precipitation. A construction site inspection checklist and inspection log shall be maintained at the project site at all times and available for review by the City Engineer (copies of the self-inspection check list and inspection logs are available upon request).

Owner or Authorized Representative (Permittee) _____
 Date _____

Civil Engineer/Architect Signature _____
 License No. _____
 Printed Name _____
 Date _____

25) Trash and construction-related wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.

26) Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. As to inhibit sediments must be swept up immediately and may not be washed down by rain or other means.

27) Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.

28) As the arch itect/engineer of record, I have selected appropriate BMPs to effectively minimize the negative impacts of this projects construction activities on storm water quality. The project owner and contractor are aware that the selected BMPs must be installed, monitored, and maintained to ensure their effectiveness. The BMPs not selected for implementation are redundant or deemed not applicable to the proposed construction activity.

As the project owner or authorized agent of the owner, I have read and understand the requirements for control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements. I, or my representative, contractor, developer, or Engineer will make certain that all BMP shown on this plan will be fully implemented, and all erosion control devices will be kept clean and functioning. Periodic inspections of the BMPs will be conducted and current log, specifying the exact nature of the inspection and any remedial measures, will be kept at the construction site at all times and will be available for the review by the City Engineer.

As the project owner or authorized agent of the owner, I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, to the best of my knowledge and belief, the information submitted is true, accurate, and complete. I am aware that submitting false and/or inaccurate information, failing to update the Local SWPPP to reflect current conditions, or failing to properly and/or adequately implement the Local SWPPP may result in revocation of grading and/or other permits or other sanctions provided by law.

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

DATE	REVIEWED BY	DATE	CITY ENGINEER

PROJECT NUMBER	DATE	CITY ENGINEER

CITY OF AGOURA HILLS APPROVAL

PREPARED BY: _____
 PROJECT NUMBER: _____
 DATE: _____
 CITY ENGINEER: _____

EROSION CONTROL NOTES

STORMWATER POLLUTION PREVENTION PLAN

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	CITY ENGINEER	DATE	JOB NO.	JOB DATE

CITY OF ADOQUILLA HILLS APPROVAL

D EROSION CONTROL

NOTES:

1. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT EXISTING VEGETATION FROM BEING REMOVED AND TO RESTORE VEGETATION AS SOON AS FEASIBLE AFTER CONSTRUCTION.
2. SOIL STABILIZATION SHALL BE PROVIDED TO PREVENT EROSION OF EXPOSED AREAS.
3. SOIL STABILIZATION SHALL BE PROVIDED TO PREVENT EROSION OF EXPOSED AREAS.
4. STABILIZATION MEASURES SHALL BE INSTALLED TO PREVENT EROSION OF EXPOSED AREAS.
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7. STABILIZATION MEASURES SHALL BE INSTALLED TO PREVENT EROSION OF EXPOSED AREAS.

E MATERIAL STORAGE

NOTES:

1. ALL MATERIALS TO BE STORED SHALL BE STORED IN A MANNER THAT PREVENTS EROSION OF EXPOSED AREAS.
2. MATERIALS SHALL BE STORED IN A MANNER THAT PREVENTS EROSION OF EXPOSED AREAS.
3. MATERIALS SHALL BE STORED IN A MANNER THAT PREVENTS EROSION OF EXPOSED AREAS.
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7. MATERIALS SHALL BE STORED IN A MANNER THAT PREVENTS EROSION OF EXPOSED AREAS.

F CONCRETE WASTE MANAGEMENT

NOTES:

1. CONCRETE WASTE SHALL BE STORED IN A MANNER THAT PREVENTS EROSION OF EXPOSED AREAS.
2. CONCRETE WASTE SHALL BE STORED IN A MANNER THAT PREVENTS EROSION OF EXPOSED AREAS.
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7. CONCRETE WASTE SHALL BE STORED IN A MANNER THAT PREVENTS EROSION OF EXPOSED AREAS.

G VEHICLE/EQUIPMENT FUELING

NOTES:

1. FUELING SHALL BE PERFORMED IN A MANNER THAT PREVENTS EROSION OF EXPOSED AREAS.
2. FUELING SHALL BE PERFORMED IN A MANNER THAT PREVENTS EROSION OF EXPOSED AREAS.
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7. FUELING SHALL BE PERFORMED IN A MANNER THAT PREVENTS EROSION OF EXPOSED AREAS.

GENERAL NOTES

1. BEST MANAGEMENT PRACTICES (BMPs) CONTAINED HEREIN SHALL BE INSTALLED AND MAINTAINED TO PREVENT POLLUTION FROM THE CONSTRUCTION OF THE PROJECT AND TO RESTORE VEGETATION AS SOON AS FEASIBLE AFTER CONSTRUCTION.
2. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ADOQUILLA HILLS STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
3. THE SWPPP SHALL BE MAINTAINED AND UPDATED AS NECESSARY TO REFLECT CHANGES TO THE CONSTRUCTION PROJECT.
4. NON-POINT SOURCE POLLUTION SHALL BE PREVENTED BY THE INSTALLATION AND MAINTENANCE OF BMPs.
5. BMPs SHALL BE INSTALLED AND MAINTAINED TO PREVENT POLLUTION FROM THE CONSTRUCTION OF THE PROJECT AND TO RESTORE VEGETATION AS SOON AS FEASIBLE AFTER CONSTRUCTION.
6. BMPs SHALL BE INSTALLED AND MAINTAINED TO PREVENT POLLUTION FROM THE CONSTRUCTION OF THE PROJECT AND TO RESTORE VEGETATION AS SOON AS FEASIBLE AFTER CONSTRUCTION.
7. BMPs SHALL BE INSTALLED AND MAINTAINED TO PREVENT POLLUTION FROM THE CONSTRUCTION OF THE PROJECT AND TO RESTORE VEGETATION AS SOON AS FEASIBLE AFTER CONSTRUCTION.

A CATCH BASIN/INLET PROTECTION

NOTES:

1. CATCH BASIN/INLET PROTECTION SHALL BE INSTALLED TO PREVENT POLLUTION FROM THE CONSTRUCTION OF THE PROJECT AND TO RESTORE VEGETATION AS SOON AS FEASIBLE AFTER CONSTRUCTION.
2. CATCH BASIN/INLET PROTECTION SHALL BE INSTALLED TO PREVENT POLLUTION FROM THE CONSTRUCTION OF THE PROJECT AND TO RESTORE VEGETATION AS SOON AS FEASIBLE AFTER CONSTRUCTION.
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B SILT FENCE

NOTES:

1. SILT FENCES SHALL BE INSTALLED TO PREVENT POLLUTION FROM THE CONSTRUCTION OF THE PROJECT AND TO RESTORE VEGETATION AS SOON AS FEASIBLE AFTER CONSTRUCTION.
2. SILT FENCES SHALL BE INSTALLED TO PREVENT POLLUTION FROM THE CONSTRUCTION OF THE PROJECT AND TO RESTORE VEGETATION AS SOON AS FEASIBLE AFTER CONSTRUCTION.
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C STABILIZED CONSTRUCTION ENTRANCE

NOTES:

1. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED TO PREVENT POLLUTION FROM THE CONSTRUCTION OF THE PROJECT AND TO RESTORE VEGETATION AS SOON AS FEASIBLE AFTER CONSTRUCTION.
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H REPAIR/MAINTENANCE EQUIPMENT

NOTES:

1. REPAIR/MAINTENANCE EQUIPMENT SHALL BE STORED IN A MANNER THAT PREVENTS EROSION OF EXPOSED AREAS.
2. REPAIR/MAINTENANCE EQUIPMENT SHALL BE STORED IN A MANNER THAT PREVENTS EROSION OF EXPOSED AREAS.
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SWPPP NOTES
SHEET 8 OF 8

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

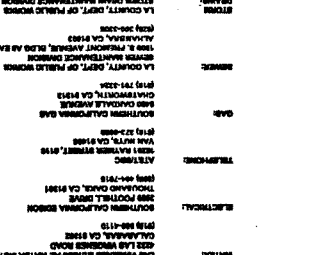
DATE _____ REVIEWED BY _____
 PROJECT ENGINEER _____
 DATE _____
 CITY OF AGOURA HILLS APPROVAL _____

PREPARED BY: _____
 DATE: _____
 PROJECT ENGINEER: _____

STREET IMPROVEMENT NOTES

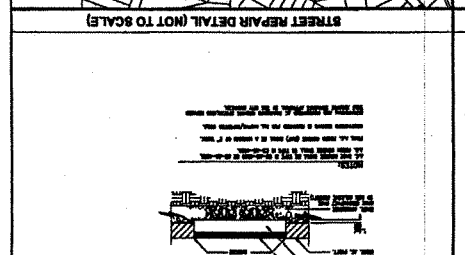
1. AN ENCUMBRANCE REPORT IS REQUIRED OF ALL WORK DONE BY THE PUBLIC WORKS DEPARTMENT. ALL APPLICABLE PERMITS MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT. ALL WORK TO BE DONE BY THE PUBLIC WORKS DEPARTMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS DEPARTMENT (SECTION 2) AND BEING SUBMITTED WITH THE CITY OF AGOURA HILLS FOR APPROVAL BY THE CITY ENGINEER.
2. NO DEVIATION FROM THESE PLANS SHALL BE MADE UNLESS A CHANGE ORDER IS APPROVED BY THE CITY ENGINEER.
3. ALL CONSTRUCTION AND RECONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS DEPARTMENT (SECTION 2) AND BEING SUBMITTED WITH THE CITY OF AGOURA HILLS FOR APPROVAL BY THE CITY ENGINEER.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS DEPARTMENT (SECTION 2) AND BEING SUBMITTED WITH THE CITY OF AGOURA HILLS FOR APPROVAL BY THE CITY ENGINEER.
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13. ALL UNDERGROUND UTILITIES AND SERVICES LATERALS SHALL BE RELOCATED FROM THE CITY'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS DEPARTMENT (SECTION 2) AND BEING SUBMITTED WITH THE CITY OF AGOURA HILLS FOR APPROVAL BY THE CITY ENGINEER.
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PUBLIC UTILITIES / SERVICES



TRENCH REPAIR DETAIL (NOT TO SCALE)

STREET IMPROVEMENTS



INDEX OF DRAWINGS

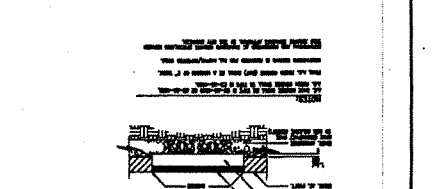
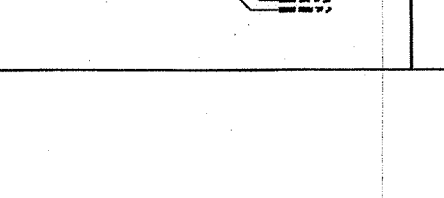
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	IMPROVEMENTS
3	PROFILES
4	SECTIONS
5	STRIPLING PLAN
6	BENCHMARK
7	RECORD DRAWING STATEMENT
8	VICINITY MAP
9	AERIAL MAP
10	TRENCH REPAIR DETAIL

BENCHMARK

DESCRIPTION: 84 100
 LET IN CITY OF AGOURA HILLS, 8 N. COM. CHECKED BY S. PALO
 COUNCILMAN: 01/27/21
 SURVEY DATE: 2023

RECORDED DRAWING STATEMENT
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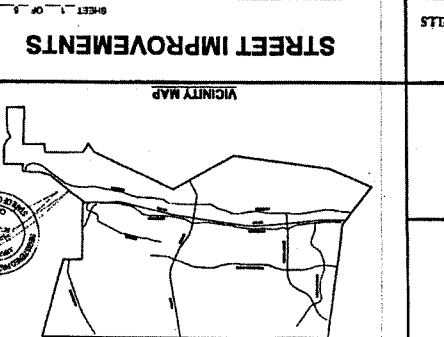
CITY OF AGOURA HILLS APPROVAL _____
 DATE _____
 PROJECT ENGINEER _____



OWNER

NAME: AVALON
 ADDRESS: 384 N. DEL MAR BLVD., PASADENA, CA 91106
 TELEPHONE: (916) 798-1811
 CIVIL ENGINEER

NAME: MULLER ENGINEERING
 ADDRESS: 1200 W. BENTLEY BLVD, SUITE 210 BUNO, CA 91302
 TELEPHONE: (916) 788-1811
 GEOTECHNICAL ENGINEER



STREET IMPROVEMENTS

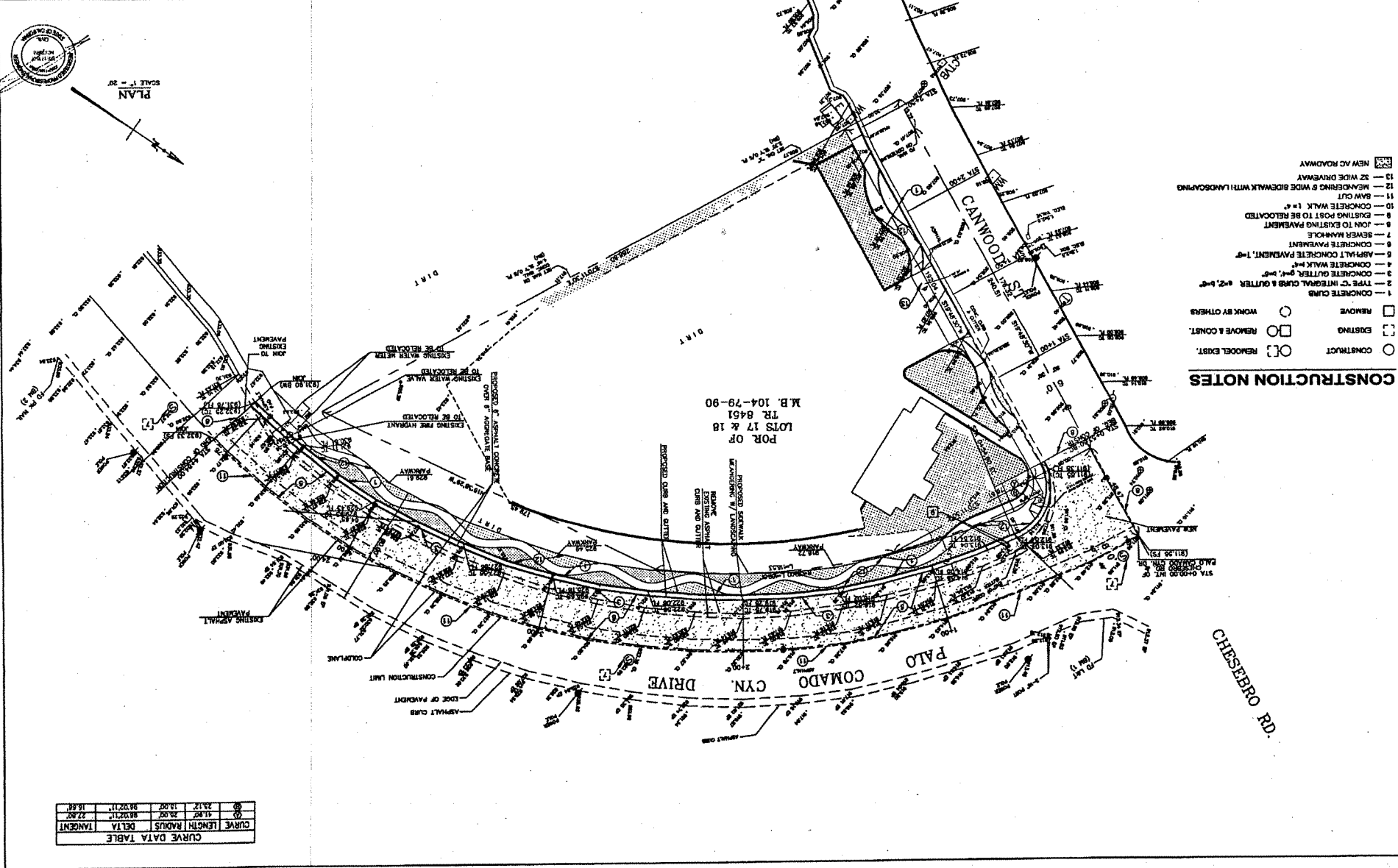
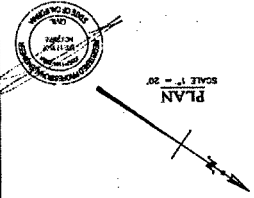


DATE	REVISION BY	DATE	REVISION BY	DATE	REVISION BY

PROJECT ENGINEER	DATE

REVISION #	SYMBOL	DESCRIPTION OF CHANGE

CITY OF AGOURA HILLS APPROVAL



- ### CONSTRUCTION NOTES
- 1 - CONCRETE CURBS
 - 2 - TYPE 'C' INTERNAL CURBS & GUTTER 4'-2, 4'-6"
 - 3 - CONCRETE GUTTERS 4'-6"
 - 4 - CONCRETE WALK 1'-6"
 - 5 - ASPHALT CONCRETE PAVEMENT, 1'-6"
 - 6 - CONCRETE PAVEMENT
 - 7 - SEWER MANHOLE
 - 8 - JOIN TO EXISTING PAVEMENT
 - 9 - CONCRETE WALK 1'-6"
 - 10 - CONCRETE WALK 1'-6"
 - 11 - SAW CUT
 - 12 - MAINTENANCE 5' WIDE SIDEWALK WITH LANDSCAPING
 - 13 - NEW AC ROADWAY
- REMOVE
 EXISTING
 REMOVE & CONST.
 REMOVEL EXIST.
 CONSTRUCT

FOR OF
LOTS 17 & 18
TR. 8451
M.B. 104-79-90

CURVE DATA TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT
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2	114.8	1100'	34.70°	18.43'

STREET IMPROVEMENTS



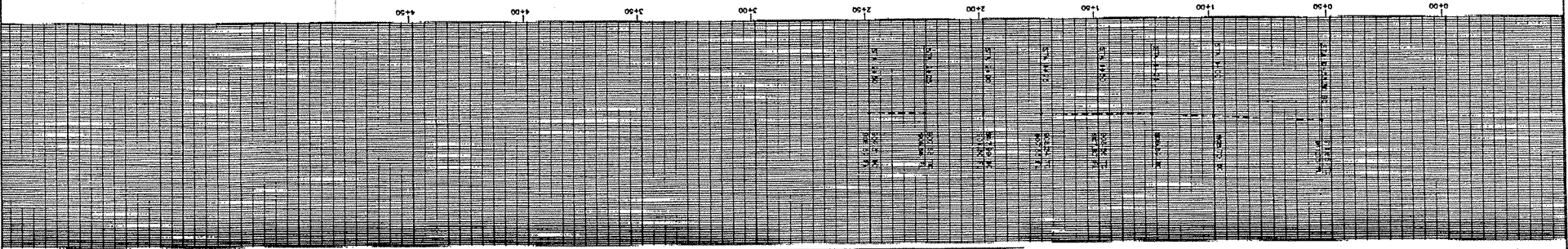
PREPARED BY: [Signature] DATE: 10/15/11
 PROJECT ENGINEER: [Signature] DATE: 10/15/11
 REVIEWED BY: [Signature] DATE: 10/15/11
 REC'D NO. 10/15/11 EXP'D DATE: 10/15/11
 CITY ENGINEER: [Signature] DATE: 10/15/11
 CITY OF ADOUR HILLS APPROVAL

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

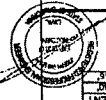
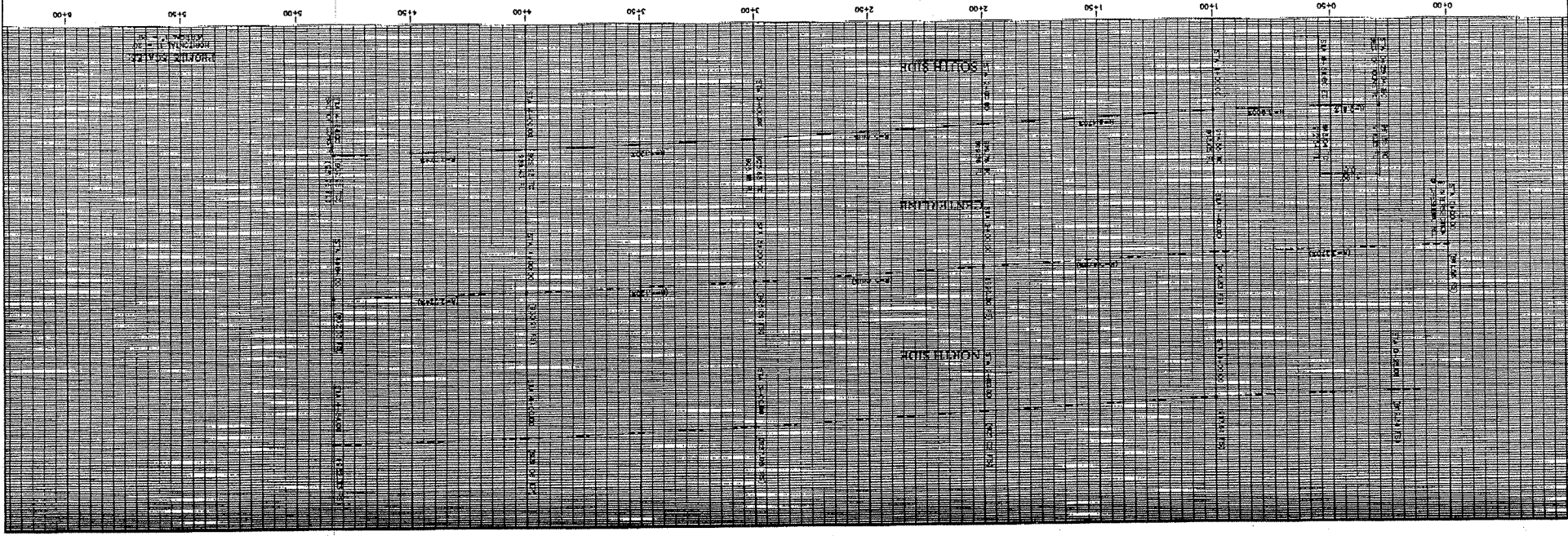
CURVE DATA TABLE

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4+00	4+00	4+00	4+00	4+00	4+00	4+00
5+00	5+00	5+00	5+00	5+00	5+00	5+00
6+00	6+00	6+00	6+00	6+00	6+00	6+00
7+00	7+00	7+00	7+00	7+00	7+00	7+00
8+00	8+00	8+00	8+00	8+00	8+00	8+00
9+00	9+00	9+00	9+00	9+00	9+00	9+00
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CANWOOD ST CURB STREET PROFILE

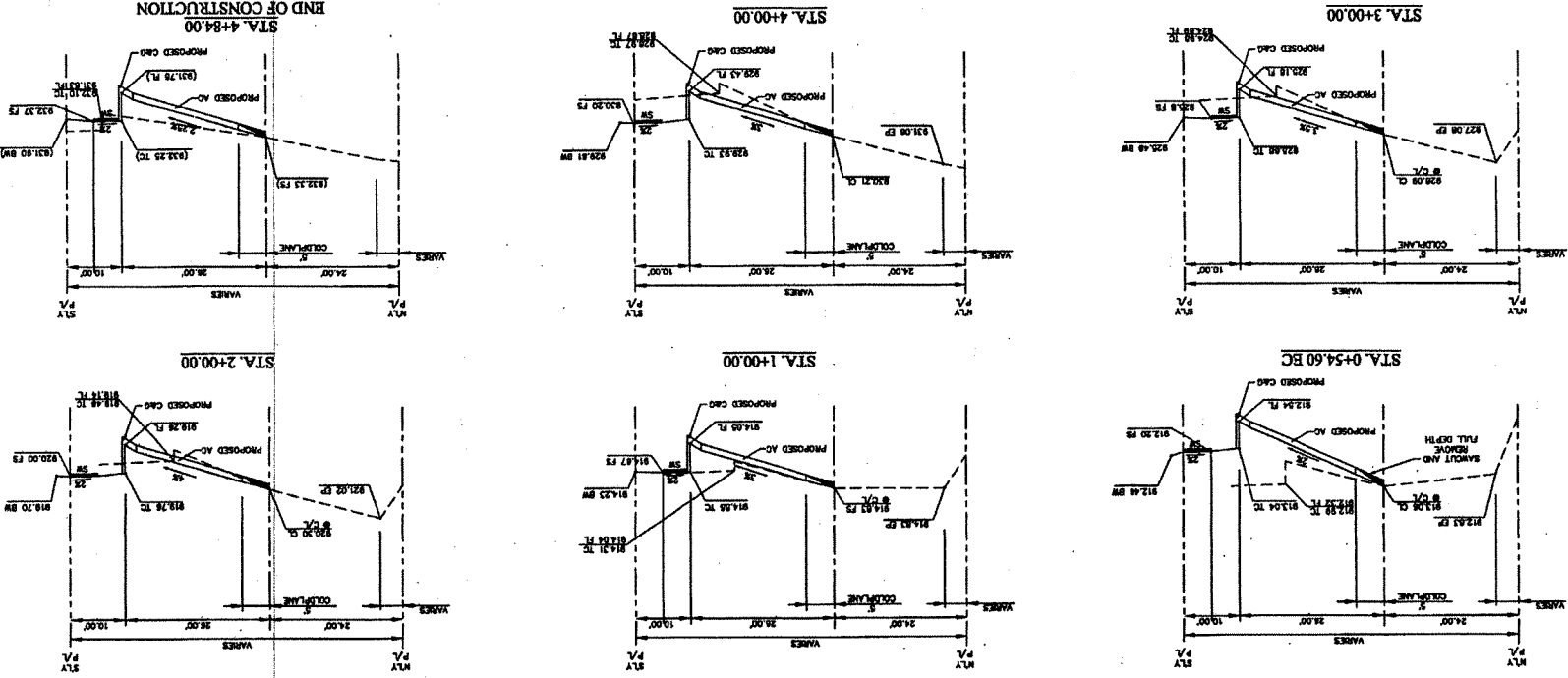


PALO COMADO CANYON DRIVE STREET PROFILE



111
 111

PALO COMADO CANYON DRIVE



SECTION SCALES:

HORIZONTAL: 1" = 10'

VERTICAL: 1" = 1'



STREET IMPROVEMENTS



CITY OF AGOURA HILLS APPROVAL

DATE	REVIEWED BY	DATE	DESIGNER
DATE	PROJECT ENGINEER	DATE	CITY ENGINEER

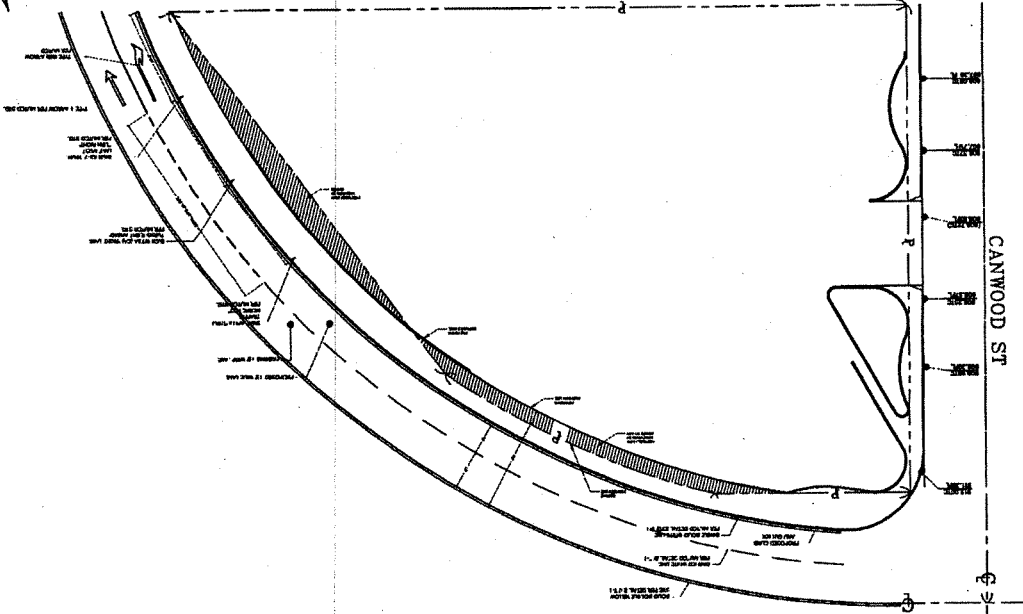
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	DATE	APPROVED

SHEET 1 OF 1

PROPOSED PATO CAMADO CANYON ROAD ROADWAY STRIPING AND EASEMENT PLAN AGOURA HILLS, CA

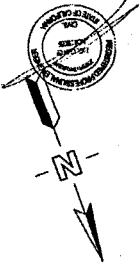
NOTE:
ALL EXISTING MARKING AND STRIPING TO BE RE-PAINTED AT
INTERSECTION.

CANWOOD ST



STRIPING AND EASEMENT PLAN

SCALE: 1"=20'

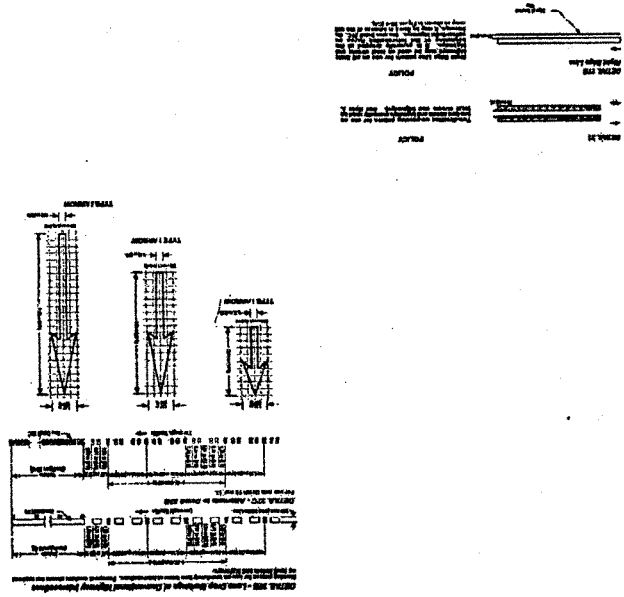


STREET SIGNS PER MUTCD

N.T.S.



CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY	CHECKED BY	DATE	DESIGNED BY	DATE	DATE	DATE

PREPARED BY: [Signature] DATE: [Date]

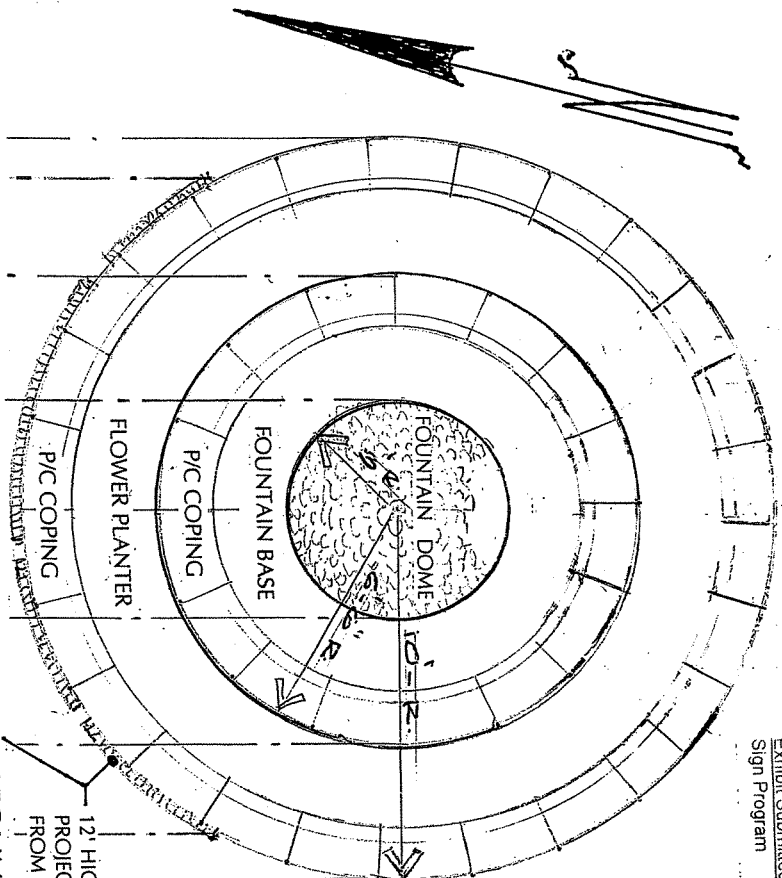
CHECKED BY: [Signature] DATE: [Date]

DESIGNED BY: [Signature] DATE: [Date]

CITY OF AGOURA HILLS APPROVAL

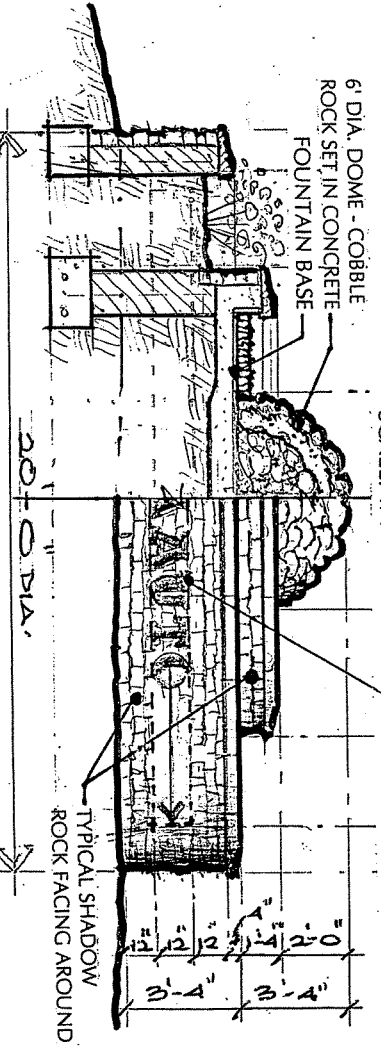
STRIPING & EASEMENT PLAN

SHEET 4 OF 4



PLAN VIEW - SIGN MONUMENT PLANTER/ FOUNTAIN

SCALE: 1/4" = 1'-0"



STREET CORNER VIEW - 1/2 SECTION/1/2 ELEVATION

SCALE: 1/4" = 1'-0"

OLD AGOURA AUTO WASH
 ± 20'-6" LENGTH LETTERS

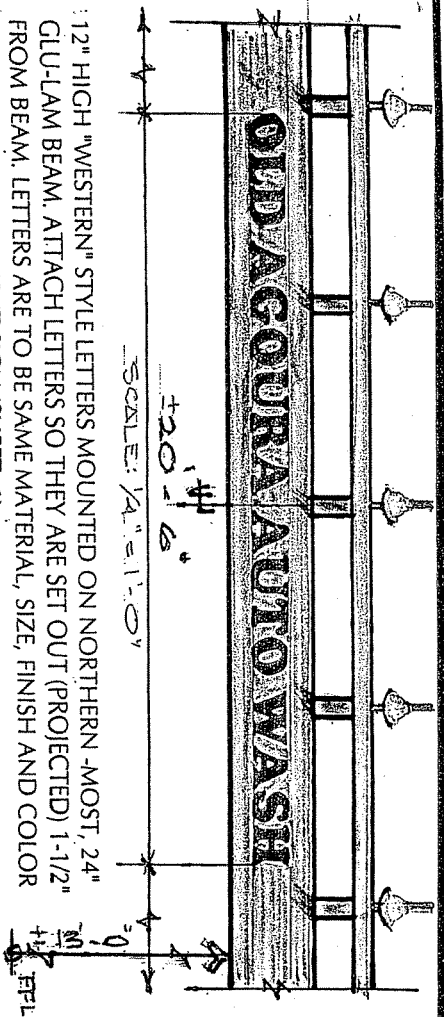
Western style letters to exterior grade 2.4.1. plywood (or equal) painted w/ 3 coats best grade Forest Green flat enamelcolor. equal to Benjamin Moore 5/F* 595. Install monument letters projected +/- 1-1/2" from rock facing and attach with brass anchors per Architect approved shop drawings. Letters to be lighted from in-ground directional fixtures, @ +/- 3' from monument. Letters may be fabricated from other material, but must appear to be wood.

NO. 1 - MONUMENT SIGN

O'CONNOR & ASSOCIATES
 ARCHITECTURE & PLANNING
 32000 KINGSPARK CT. WESTLAKE VILLAGE CA. 91361
 PHONE/FAX. 818-991-1600.

SIGN PROGRAM
 FOR
 OLD AGOURA AUTO WASH
 HILLEL BROS. PH. 818-366-8382

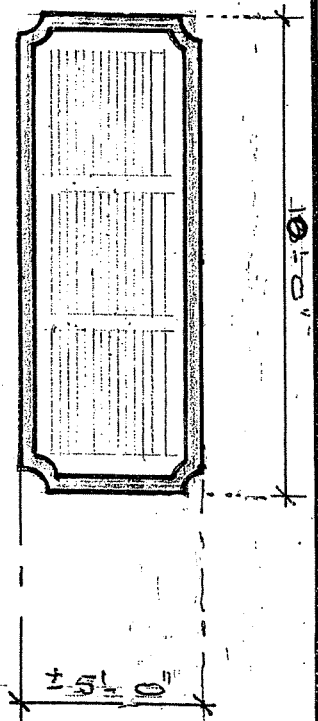
SHEET
 1
 DATE: 7/1/05



12" HIGH "WESTERN" STYLE LETTERS MOUNTED ON NORTHERN -MOST, 24" GLU-LAM BEAM. ATTACH LETTERS SO THEY ARE SET OUT (PROJECTED) 1-1/2" FROM BEAM. LETTERS ARE TO BE SAME MATERIAL, SIZE, FINISH AND COLOR AS THOSE AT MONUMENT SIGN (SHEET -1).

INSTALL FIVE PROJECTED STYLE LIGHTING FIXTURES, HOODED TO DIRECT LIGHT ONLY ON SIGN. PAINT FIXTURES AND PROJECTION CONDUIT SAME BENJAMIN MOORE 5/F* 595 FOREST GREEN AS LETTERS.

NO. 2- ENTRANCE SIGN



50 SQ. FT. LETTERING AREA ON WHITE SURFACED GENERAL INFORMATION SIGN. LETTERS AND BORDER TO BE TYPICAL FOREST GREEN. MOUNT UNDER CANOPY.

NO. 3- INFORMATION SIGN

0A. OLD AGOURA DESIGN OVERLAY DISTRICT

- ALL SIGNS SHALL BE AS REQUIRED CITY OF AGOURA HILLS ORDINANCE No. 05-330, CHAPTER 6, EXCEPT ANY SIGN SHALL CONFORM TO THE FOLLOWING CRITERIA:
- A. MONUMENT AND/OR DIRECTORY SIGNS ARE PERMITTED FOR PARCELS WHOSE SIGNS ARE NOT VISIBLE FROM THE STREET WITH A SIGN PERMIT SUBJECT TO DESIGN REVIEW. ALL OTHER MONUMENTAL SIGNS ARE PERMITTED SUBJECT TO A SIGN PROGRAM. MONUMENT SIGNS MAY ONLY BE EXTERNALLY ILLUMINATED.
 - B. NO SIGN SHALL BE INTERNALLY ILLUMINATED, HOWEVER, HALO ILLUMINATED WALL SIGNS ARE PERMITTED, SUBJECT TO A SIGN PROGRAM.
 - C. SIGNS SHALL BE MADE OF MATERIALS SUCH AS WOOD OR STONE OR MATERIALS THAT MIMIC WOOD OR STONE OR NON-REFLECTIVE OR PATINAED METALS THAT ENHANCE THE RURAL APPEARANCE OF THE NEIGHBORHOOD. OTHER SIGN MATERIALS MAY BE CONSIDERED AS PART OF A SIGN PROGRAM.
 - D. SIGNS LOCATED IN THE GEOGRAPHIC AREA OF THE OLD AGOURA DESIGN OVERLAY DISTRICT SHALL BE TURNED OFF AT CLOSE OF BUSINESS OR 9:39 p.m., WHICHEVER OCCURS FIRST. IN ADDITION, THIS PROVISION SHALL APPLY TO SIGNS ORIENTED TOWARD DOROTHY ROAD ON PARCELS LOCATED ON THE NORTH SIDE OF BETWEEN LEWIS ROAD AND PALO CAMAADO ROAD.

O'CONNOR & ASSOCIATES

ARCHITECTURE & PLANNING
32000 KINGSPARK CT. WESTLAKE VILLAGE CA. 91361
PHONE/FAX. 818-991-1600.

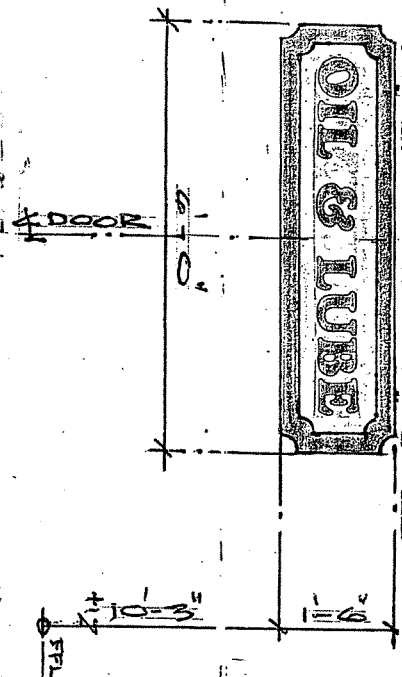
SIGN PROGRAM

FOR
OLD AGOURA AUTO WASH
HILLEL BROS. PH. 818-366-8382

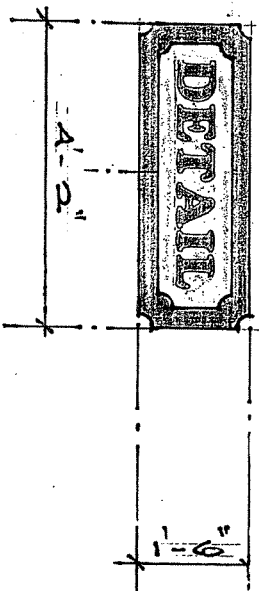
SHEET

2

DATE: 7/1/05



SCALE: 1/2" = 1'-0"



BUILDING - 2 SHALL HAVE TWO DIRECTIONAL ~~MARKING~~ SIGNS, EACH ATTACHED TO THE ~~OTHER~~ SIDE OF THE NORTH-SIDE WOOD TRELLIS, AS NOTED ABOVE, EACH SIGN SHALL BE LOCATED AT THE CENTER LINE OF ITS DOOR OPENING.

THE OIL & LUBE SIGN WILL HAVE +/- 5.5 SQ. FT. OF LETTERING AREA, AND THE DETAIL SIGN WILL HAVE +/- 3.7 SQ. FT. OF LETTERING AREA. THE LETTERS AND BOARDERS SHALL BE PAINTED THE TYPICAL FOREST GREEN, AND THE TEXT BACKGROUND PAINTED THE BUFE OF THE WALLS.

NO. 4 - DIRECTIONAL SIGNS

O'CONNOR & ASSOCIATES

ARCHITECTURE & PLANNING
32000 KINGSPARK CT. WESTLAKE VILLAGE CA. 91361
PHONE/FAX: 818-991-1600

SIGN PROGRAM

FOR
OLD AGOURA AUTO WASH
HILLEL BROS. PH. 818-366-8382

SHEET

3

DATE: 7/1/05



**SITE PLAN/ARCHITECTURAL REVIEW – CASE NO. 05-SPR-015,
OAK TREE PERMIT – CASE NO. 05-OTP-023 &
SIGN PERMIT - CASE NO. 05-SP-024**

Exhibit C

Applicant's Description of the Project

CITY OF AGOURA HILLS

Dear Members of Old Agoura Homeowners Association,

2007 JAN 17 PM 2:53
CITY CLERK

We have read your Gazette article with care, deep concern and an open mind, and we respectfully ask you to give this letter the same consideration. We are not trying to dispute your concerns; we do, however, want to add some pertinent information that has been omitted.

We purchased this land with the express purpose of constructing a car wash on the site, based on existing zoning provisions. We had open and frank discussions with the city prior to purchase and we submitted pre-construction plans the following month. Our intent was to always be open and inclusive in negotiations with the city of Agoura. We knew that the land was zoned for commercial use, specifically a car wash, and it was in good faith that we purchased the site and pursued our business plan.

In addition to the existing dwellings bordering our property, there also exist on our north-east perimeter an unlandscaped gas station, with a second station across the road. As a counterpoint, we respectfully ask you to once again review our landscaping plans. Thirty-six percent of our land will be (not "may" be) landscaped, effectively concealing our primary buildings. We have consistently had a park-like vision for the site which will include preserving the existing oak trees, and adding greenery and planter-edged, meandering sidewalks for pedestrian access and enjoyment.

We have noted your traffic concerns and will construct an extra traffic lane, on our property, and at our expense, to alleviate any possible congestion problems.

We take environmental issues seriously. As you may know, many environmental organizations such as "Heal the Bay" and the "Los Angeles Stormwater Program" discourage people from washing their cars in their driveways, as the unprocessed runoff flows directly into the storm drains and, eventually, into the ocean. In contrast, our Pasadena, West Covina, and El Monte facilities all recycle 90% of our water, a feat which cannot be duplicated by car washing in one's own driveway. We will use this same technology in our Agoura Hills facility.

We appreciate the role of community organizations, such as OAHA, and the many contributions to the community which its members make. However, we did take personal umbrage to your statement that we exhibited a "singular lack of sensitivity" by choosing and

building on this site. We have planned with concern and care around the sensitive issues of environment, conservation, traffic, and cultural needs. We do resent being labeled as insensitive outsiders. The fact is we have exceeded the stated zoning requirements to prepare and present a car wash that will respect and service the community's needs. Furthermore, our architect has specifically addressed the community's rural identity by preserving a greenspace that will surround and seclude our entire facility.

We are devoted small-business owners who have worked hard to maintain high standards in every area. For 5 years, the *Pasadena Weekly Reader* presented us with the "Best Car Wash in Pasadena" award, based on customer evaluations. We are proud of our service in Pasadena and have worked with city officials to satisfy any and all concerns around environmental or architectural issues. We encourage you to contact Pasadena officials on your own, in order to hear their independent assessment of our business practices.

Please use this flyer to review our Pasadena facility and treat yourself to a complimentary car wash. We would welcome having a conversation with any member of the Association who has questions about our project. We would enjoy showing you our architectural plans and sharing our vision of the site with you.

We support and encourage open discussion of the issues, based on merit. And we hope that ultimately you will accept us warmly into your community and enjoy our services.

Sincerely,

Aitan and Shlomy Hillel

DEAR AGOURA NEIGHBORS,

CITY OF AGOURA HILLS

2007 JAN 17, PM 2:53
of 1054

As owners of the Chesebro Auto Wash project, we are seeking your support. You may have recently received mail which opposed this new project. Before you decide whether to oppose or support this new business in your community, please consider how Agoura will benefit from this project.

CHESEBRO AUTOWASH WILL BE GOOD FOR AGOURA HILLS.

- The Chesebro Auto Wash will replace the empty dirt lot with tasteful landscaping which will preserve the existing Oak trees, and will add greenery and native plants.
- The project will have new, custom-designed sidewalks for pedestrians, landscaped with planters and greenery.
- The project will conform to the City of Agoura's vision of the community using a Western motif for its structure and design.
- The carwash structure itself will cover only approximately 15% of the available land while 40% of the acreage will be landscaped, so as to effectively mask the activities at the Auto Wash.

WILL AN INCREASE IN TRAFFIC NEGATIVELY IMPACT THE INTERSECTION?

- The Auto Wash will improve the flow of traffic at the key intersection of Palo Camado Canyon Road and Chesebro Road by adding an extra lane on Camado Canyon Road and Chesebro Road.

- The Car Wash will draw customers living within a 2-3 mile radius and will not attract any additional traffic other than residents already using the intersection.

We have built three facilities for automotive washes since 1991, in Pasadena, West Covina, and El Monte, all of which we currently own and operate. We maintain our facilities at the highest quality possible.

- Our landscaping is well-maintained, and our stores and buildings are in top condition.
- We use state-of-the-art water recycling technology.
- Our employees are always uniformed, friendly, and helpful.

We are devoted to our business and maintain high standards in every area. We are proud to have been given the "Best Car Wash in Pasadena" award by the *Pasadena Weekly Reader* for 5 years. We not only provide superior service to our customers, but we also participate in our communities as responsible citizens. We will strive to fulfill these goals in the Agoura Hills community.

We believe that our facility and our services will be a valuable addition to Old Agoura residents, and we are asking for your support.

Sincerely yours,
Aitan and Shlomy Hillel



**SITE PLAN/ARCHITECTURAL REVIEW – CASE NO. 05-SPR-015,
OAK TREE PERMIT – CASE NO. 05-OTP-023 &
SIGN PERMIT - CASE NO. 05-SP-024**

Exhibit D

Old Agoura Homeowners Association Letters

ROBERT EVREN
5732 Colodny Drive Agoura, CA 91301

SUBJECT: Further to meeting, March 16, of OAHA Planning and Zoning Committee and reply to correspondence re proposal of Aitan and Shlomy Hillel to construct a car wash and oil change/lubrication facility on lot located at SE intersection of Palo Comado/Driver Ave. and Chesebro Road.

March 22, 2005

Messrs. Aitan and Shlomy Hillel
164 West Del Mar Boulevard
Pasadena, CA 91105

Dear Aitan and Shlomy Hillel,

Thank you very much for your letter and the attached copies of the awards you received. Please be assured that it has been distributed, not only to the Planning and Zoning Committee, but also to the Board of Directors.

I am sorry to bring bad news, but at a recent general meeting – one with the best attendance in recent years – the membership of the Old Agoura Homeowners Association voted unanimously not to recommend to the city's Planning Commission that a car wash and oil change and lubrication facility be permitted on this site.

The question of your ability to run a quality operation has never been an issue. It is just that the membership feels very strongly that such an operation belongs in a more industrial area, e.g. on one of the empty lots on Dorothy Drive, where numerous automotive businesses are located, and not right next to the entrance to Old Agoura. Over the years, the association has worked closely with the City, County and U.S. Parks Service to try to create a suitable vista for this entrance, which embraces a riding ring, horse trail and specially designed, monumentally scaled sign spanning Palo Comado that marks one of two important entrances to Old Agoura. In the immediate vicinity are also a pre-school and retirement home. To permit a quasi-industrial use, especially one that would increase the traffic burden on an already very busy intersection, would go against everything thus far achieved. We realize that a car wash is listed among permitted uses for the property, but also believe that compatibility with surroundings and sensitivity to context may provide formidable arguments that supercede what is obviously an outdated element of the zoning code, as it applies to this property.

Hillel, page 2

Should you consider proposing a different use that is compatible with the surrounding context we of course stand prepared to work closely with you to speed the design and approval process.

Yours sincerely,

Robert Evren, Chair
Planning and Zoning Committee
Old Agoura Homeowners Association

cc: The Honorable Edward Corridori, Mayor, City of Agoura Hills
Denis Weber, Councilman and Mayor Pro Tempore
Dan Kuperberg, Councilman
John Edelston, Councilman
Jeff Reinhardt, Councilman

Craig A. Steele, Esq., City Attorney
Gregory Ramirez, City Manager

William Koehler, Chairman, Planning Commission
Phil Ramuno, Vice-Chairman, Planning Commission
Stephen Rishoff, Esq., Planning Commission
Curtis Zacuto, Planning Commission
Harry Schwarz, Planning Commission

Mike Kamino, Director, Department of Planning and Community Development
Doug Hooper, Principal Planner

Board of Directors, Old Agoura Homeowners Association

DATE: September 12, 2005

RE: Review of Proposed Project

FROM: Planning and Zoning Committee,
Old Agoura Homeowners Association

TO: Mike Kamino, Director
Department of Planning & Community Development
City of Agoura Hills

SUBJECT: 05-SPRR-015; 05-OTP-023; 05-SP-024; 05-LLA-007

Description

The plans submitted show an 8,605 square foot car wash, detail and oil lube facility located at the intersection of Palo Comado/Driver Avenue and Chesebro Road adjacent to the Old Agoura entry sign.

Comment

This project was presented to us in a pre-application review on March 16, 2005, and we responded to the applicant with a letter, copies of which were sent to you on March 22.

In response to the request for review, we might say that the architect has produced a reasonable initial design for an industrial building within the Old Agoura overlay, but that the project is being proposed in the least appropriate part of that overlay. A quasi-industrial project of this kind is absolutely incompatible with the surrounding neighborhood and would be more suited to Dorothy Drive on the south side of 101, where it would find its proper place next to tire shops, gas stations and auto repair shops. In fact, it would be difficult to imagine a business that more directly insults the years of collaboration between the City of Agoura Hills, the Santa Monica Mountain Conservancy, the Old Agoura Homeowners Association and others responsible thus far for the preservation of Old Agoura.

The proposed car wash's immediate neighbors at the intersection of Driver Avenue and Chesebro Road include a private residence (one of a group of eleven located on Chesebro), a horse arena, a retirement home, a small office building, a very small Montessori pre-school and an assisted living facility. These are all very low impact uses that one might find acceptable on the threshold of a rural community. It would be an understatement to say they don't immediately suggest the addition of a car wash and oil change facility.

When one enters Old Agoura by Palo Comado one exits the freeway, descends a small hill and goes under a large, rustic sign that announces one's passage from the world of freeways and gas stations to one of horse paths, houses on spacious lots, old growth trees and open space. In any other city this would be a gated community, but there is no gate because Old Agoura is not an exclusive neighborhood engineered so the wealthy may insulate themselves. Rather, it is an open one that provides a fitting entry to open space administered by the National Park Service for the benefit of hikers, bicyclists, horse riders and others. Old Agoura also buffers the Park from the suburbs to the west. One has to wonder at the singular lack of sensitivity required to propose for this site an open-air, quasi-industrial operation -- the clatter of machinery, the sound of cars constantly being moved around, the smells of industrial soaps and lubricants, the traffic and the excessive lighting that will be required on winter afternoons and at night -- where now one might hear the sounds of horses or of children at play or see the stars at night.

Kamino, et al
SUBJECT:
Page 2

05-SPRr-015; 05-OTP-023; 05-SP-024; 05-LLA-007,

It is noted in our previous letter to you, but I should perhaps reiterate here that the Old Agoura Homeowners Association voted unanimously to oppose this project at one of the largest general meetings in recent memory. Votes on matters that come before the Planning and Zoning Committee are an exceedingly rare occurrence and should be read by all those concerned as the most forceful possible expression of the OAHAs' views.

What this site requires is some acceptable, lower impact use such as a small group of sensitively designed townhouses, a small office complex or, ideally, a small "general store" of western design to which residents might walk in order to shop or eat at outdoor tables. Even a cursory examination of the site and its context forces this conclusion. Were the owners of this property to consider an acceptable use for this property, they would find the OAHA to be an attentive and helpful partner. We would be more than happy to meet with the applicant again in order to discuss possible projects that would enhance the neighborhood. For the moment, however, we must state our objections to their plans in the strongest possible terms.

Should you have questions about these comments please contact Robert Evren, Chair, Planning and Zoning Committee, Old Agoura Homeowners Association: 865-9003, 448-2556 cell, robtevren@aol.com.

We hope this is of help to you.

CC: Valerie Darbouze, Assistant Planner