

LAND USE, REGULATIONS, & GUIDELINES Objective Design Standards

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360-Degree Architecture

The concept of 360-degree architecture is to design a building where all sides of the building have been detailed to be complementary in architecture, massing, and materials to the primary street elevation. In other words, the building should be aesthetically pleasing from all angles. This is most important for buildings or corner lots and on elevations that have high visibility.

- A. Buildings shall be designed and articulated with common details, articulation, materials, and elements on all sides.
- B. Buildings located on the corner of two streets shall include architectural feature(s) such as towers, enhanced materials, or roof projections to create a sense of hierarchy.
- C. Wall mounted lighting shall be provided between buildings to ensure security.

Building and Dwelling Unit Entrances

Primary Building Entries

It is important that the main entrance to a building is clearly identifiable and unique. It is the primary point of arrival and should be treated as such.

- A. **Street-Facing Entry.** Multiple-unit buildings located adjacent to the street shall have a minimum of one common ground-level entrance facing the primary street. For corner buildings adjacent to the street, there shall be either one common entry at the corner or a minimum of one entryway facing each street. For mixed-use buildings, see the Mixed-Use Standards section below.
- B. **Non-Street-Facing Entry.** Buildings not located adjacent to a street shall have entryways oriented to face common open space areas such as landscaped courtyards, plazas, greens, or paseos.

- C. **Entrance Design.** One or more of the following methods shall be incorporated in the primary building entrance design:
 - A change in wall/window plane.
 - Wall articulation around the door and projecting beyond the door.
 - Placement of art or decorative detailing at the entry.
 - A projecting element above the entrance.
 - A change in material or detailing.
 - Implementation of architectural elements such as flanked columns or decorative fixtures.
 - Recessed doors, archways, or cased openings.
 - A portico or formal porch projecting from or set into the surface.
 - Changes in the roofline, a tower, or a break in the surface to the subject wall.
- D. **Enhanced Paving for Primary Building Entrances.** Primary common building entryways shall provide decorative and accent paving that contrasts in color and texture from the adjacent walkway paving.

Individual Dwelling Unit Entries

- A. **Weather Protection.** All individual unit entrances shall have either a projected sheltering element or be recessed from the main facade; the projection or recess shall have a minimum depth of 24 inches.
- B. **Entry Features.** All ground-floor exterior unit entries shall be differentiated from the main facade by the use of a porch, stoop, patio, terrace, or courtyard.
- C. **Street-Facing Unit Entryways.** Each dwelling unit located within 20 feet of a primary street shall include at least one street-facing porch, balcony, or patio.
- D. **Ground-Floor Unit Entry.** Ground-floor units shall be located, oriented, and/or screened to prevent visual intrusion of vehicle lights into habitable ground floor spaces.
- E. **Upper Floor Unit Entry.** Exterior entrances to individual units on upper floors are permitted; however, no exterior access corridor located above the ground floor may provide access to more than four upper-floor units.

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Windows and Doors

- A. *Architectural Treatment.* Windows facing a public street shall feature enhanced articulating treatments such as decorative architectural brackets, sills, shutters, awnings, and/or trellises.
- B. *Transparency.* Windows shall be clear and non-tinted on street level.
- C. *Window Treatment.* Windows shall either be recessed at least two inches from the plane of the surrounding exterior wall or shall have a trim or windowsill at least one-half inch in depth provided.
- D. *Windows Facing a Public Street.* Windows facing a public street shall feature enhanced window treatments such as decorative trim, windowsills, lintels, shutters, and awnings.
- E. *Window Shutters.* Functional and decorative shutters shall be half the width of associated window glazing (for paired shutters) or matching width for a single shutter.

Arcades, Porches and Covered Walkways

- A. Covered walkways associated with buildings shall utilize the materials and colors of that building. For walkways that are “enclosed” by buildings, pedestrian-scale wall treatments such as murals, alcoves, and vines are encouraged in addition to fenestration.

Awnings and Umbrellas

Awnings add color, forms, relief, shadows, and pedestrian protection from the elements. They may also create a space for identification signage. They shall not, however, be used as a substitute for genuine building massing and articulation.

- A. Awnings and umbrellas shall be made of cloth (not plastic or vinyl) and shall provide a minimum 7-foot head clearance.
- B. Awnings shall not be wrapped around buildings in continuous bands. Awnings shall be placed over doors or windows or placed within vertical elements when the facade of a building is divided into distinct structural bays.

Exterior Building Materials

The selection and placement of building materials provides visual interest at the pedestrian level.

- A. Changes in material shall occur at inside corners of intersecting walls or at architectural features that break up the wall plane, such as columns.

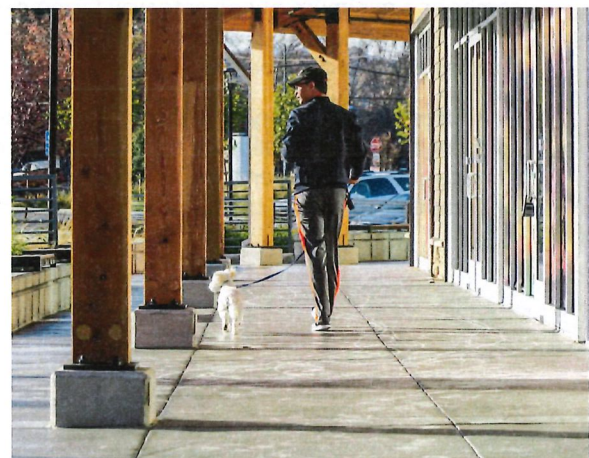
Mixed-Use Development

The following standards have been developed specifically for mixed-use development within the Village. They are to be adhered to in conjunction with the remaining standards and guidelines in this document.

- A. *Separate Entrances.* When multiple uses are both proposed in the same building, they shall have separate and convenient entrances for each use.



Ground floor transparency and overhead canopy create an inviting entry.



Covered walkway creates a comfortable shopping experience for pedestrians.

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- B. *Street-Facing Setbacks.* Street-facing setbacks shall be landscaped and/or prepared for use by pedestrians. The setback area on each lot shall contain at least two amenities per 50 linear feet, such as benches, drinking fountains, shade structure, or other design element (e.g., public art, planters, kiosks, etc.).
- C. *Street-Facing Entrance.* Mixed-use buildings located within 20 feet of a primary street right-of-way shall incorporate at least one primary building entrance directly accessed from the public sidewalk or right-of-way. The primary building entrance shall include weather protection that is a minimum six feet wide and four feet deep by recessing the entrance or providing an awning or similar weather protection element.
- D. *Ground Floor Transparency.* Mixed-use buildings located adjacent to Agoura Road, Kanan Road, Cornell Road, Roadside Drive, or an internal primary street shall include windows and doors for a minimum of 50% of the area of the street-facing wall area located between three and seven feet above the elevation of the sidewalk. Windows shall be clear and non-tinted.

Utilitarian Aspects of the Buildings

Utility service areas are integral to the early building design process, rather than an afterthought at the construction document phase.

Screening of Utilitarian Equipment

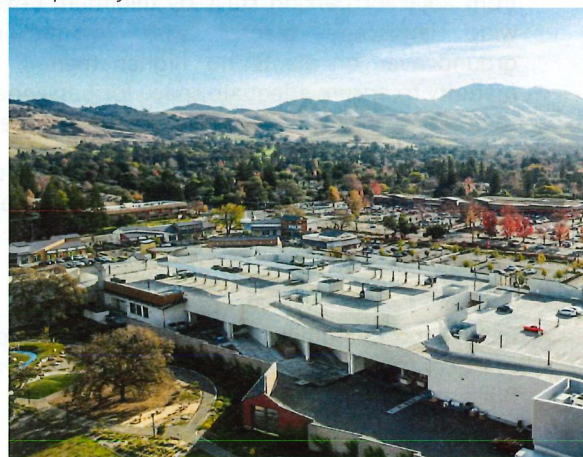
- A. Service, utility, and loading areas shall not impinge on an identified public viewshed.
- B. Roof access shall be provided from the interior of the building.
- C. Roof mounted mechanical equipment shall be screened from public view.
- D. Walls used as screening shall incorporate the materials and colors of the primary building design.
- E. Landscape screening with evergreen plants may be planted to completely conceal the equipment or utility element.



Primary building entry is enhanced with building form and articulation.



Buildings along internal streets provide ground floor transparency and amenities within setbacks.



Roof mounted equipment on parking structure are screened from public view.

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- F. Utility service areas, such as electrical panels, shall be placed within enclosures that are architecturally integrated into the building design and incorporate the materials and colors of the primary building design.
- G. All wall-mounted vent and exhaust elements shall be located at interior corners of building walls or behind building elements that conceal them from public view. All flashing, sheet metal vents, exhaust fans/ventilators, and pipe stacks shall be painted to match the adjacent roof or wall material and/or color.

Trash and Recycling Enclosures

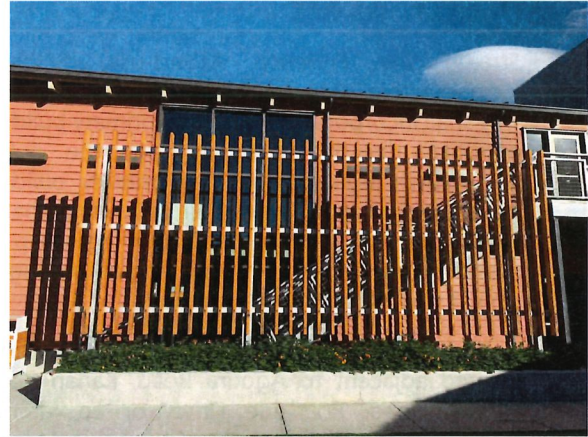
- A. Enclosures shall be located at the rear or side of the building and outside of view from a public right-of-way.
- B. The enclosure shall include a solid wall a minimum of six feet in height and a roof structure that fully shields the top of the containers from precipitation.
- C. For trash enclosures with large access gates, a separate pedestrian entrance to the trash enclosure shall be provided.
- D. Trash and recycling enclosures shall incorporate the materials and colors of the primary building.
- E. Trash and recycling enclosures provided in parking areas must be screened with landscaping or wall materials for a minimum 6' height..
- F. Trash and recycling enclosures shall be separated from adjacent parking stalls by minimum 6-foot wide landscape planter with low-growing groundcover or plants no higher than 1' at maturity to ensure adequate space for passengers to access a vehicle in an adjacent parking space.
- G. Trash and recycling enclosures shall ensure runoff is directed to a sewer drain with appropriate back flow prevention.

Accessible Ramps and Railing

- A. Ramps and guardrails used as a means of egress must conform to the criteria listed in the Uniform Building Code.

Exterior Stairs

- A. Open metal, prefabricated stairs are not allowed.
- B. Stairways shall be complementary with the overall architecture, massing, and form of the building.



Stairway incorporates screening that complements building architecture.

Roof Drainage

- A. Gutters and downspouts on the exterior of the building shall be painted or constructed of materials that match other building accents.
- B. Elements used to capture rainwater for on-site landscaping, such as rain barrels or cisterns, shall be consistent with building architecture and/or be screened with landscaping or decorative walls integrated into the building architecture.
- C. Roof scuppers shall not be used in areas that are visible to the street or public spaces.

Mailboxes

- A. Common exterior mailboxes shall be designed to match the materials and colors of the surrounding building(s).

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Fences

- A. Solid barrier fencing shall be prohibited around open space adjacent to the riparian areas.
- B. Fencing shall provide at least one foot of clearance above the ground to permit wildlife movement.
- C. Fences shall be constructed of long-lasting materials such as solid wood (treated or of natural resistance to decay), masonry, steel, or solid vinyl. Chain link is prohibited.
- D. Where fences and walls of different materials or finishes touch or intersect, a natural transition or break (such as a column or pilaster) shall be provided.

Noise

- A. Interior noise levels within residential dwelling units shall be constructed to not exceed 45 Community Noise Equivalent Level (CNEL). Prior to approval of development within the Plan area, the applicant shall submit a noise study which, with the use of noise attenuation best management practices if necessary, demonstrates this objective standard is met.
- B. Exterior noise levels within residential and mixed-use developments shall be developed not to exceed 55 CNEL. Prior to approval of development within the Plan area, the applicant shall submit a noise study which, with the use of noise attenuation best management practices if necessary, demonstrates this objective standard has been met.

Building Signage

Building Signage shall comply with regulations set forth in Division 5 of Part 2 of Chapter 6 of Article IX of the Agoura Hills Municipal Code, in addition to the following standards.

- A. A single development with multiple users shall incorporate a unifying sign program.
- B. Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or adjacent residential units.

- C. Flush mounted signs shall be positioned within architectural features, such as the panel above the storefront on the transom or flanking doorways.
- D. Hanging signs attached to buildings that project perpendicular to the building shall be a minimum of 8' from ground level to the bottom of the sign.
- E. Signs shall be placed in locations that do not conflict with street or parking lot trees.

Freestanding Monument Signs

- A. Monument signs shall be accented with landscaping.
- B. Monument signs shall incorporate complementary colors, materials, and lettering fonts used on the buildings. More than one material is recommended.
- C. Monument signs shall be a maximum of 50 square feet in size and not more than 5 feet in height.
- D. Monument signs shall utilize a combination of sandstone, flagstone, wood, and/or steel.
- E. Appropriate lighting shall be incorporated into the design and placement of monument signage.
- F. Monument signs shall use Village colors and fonts as described in Chapter 3, Streetscape Beautification and Public Improvements.



Deep Green
CMYK: 56/22/98/72



Bronze
CMYK: 7/50/100/34



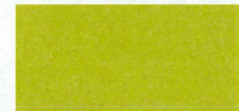
Hillside Green
CMYK: 49/38/100/15



Adobe Beige
CMYK: 0/14/39/23



Sky Blue
CMYK: 84/54/27/6



Oak Leaf
CMYK: 19/11/100/0

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F. Design Guidelines

The Plan includes the following set of design guidelines that complement the Objective Design Standards applicable to this area. These design guidelines should be incorporated and provide considerations that should be incorporated to the site planning and building design of future development consistent with the vision of the Plan. The guidelines are encouraged. These guidelines will only apply to discretionary projects; AHO projects are not subject to these standards.

Site Planning and Design

Site planning refers to the arrangement of buildings and parking areas, the size and location of pedestrian spaces and landscaping, and how these features relate to one another.

Pedestrian Circulation and Access

- A. Where a park-like setting exists adjacent to the creek, meandering paths are encouraged to create a pleasant experience.
- B. Consider paths made from permeable materials such as decomposed granite.
- C. Pedestrian walkways should incorporate seating areas.
- D. Pedestrian walkways should incorporate meandering curves to add visual interest, where possible.



Several smaller buildings help break up building massing and help create plazas and outdoor spaces.

Site Layout

- A. Significant buildings with prominent architectural features should be located near corners and intersections whenever possible.
- B. Buildings should be sited close to, and oriented toward, the street. Building design should incorporate covered pedestrian walkways, outdoor seating, and landscape areas where possible.
- C. Several small plazas should be located within the Village. Portions of buildings may be set back from the street and alcoves may be provided to include such plazas, entry nooks, and outdoor cafe seating.
- D. Outdoor spaces should have clear purpose that reflects careful planning and are not simply "left over" areas between structures. Such spaces should provide pedestrian amenities such as shade, benches, fountains, landscaping, public art, etc. Site furniture and light fixtures should reflect the architectural character of the project.
- E. Focal points should be developed to create a definite sense of identification. Plazas, landscape, fountains, artwork, textured pavement, universally accessible changes in pavement levels, and vertical building features may be combined to create focal points and identity.
- F. Whenever possible, new structures should be clustered. This creates plazas or pedestrian malls and prevents long "barrack-like" or continuous rows of structures.
- G. Property lines should not be treated as walls and barriers. Buildings should be sited and designed so that there are no barriers or other elements emphasizing property boundaries.
- H. Interface between two or more properties should be considered, i.e., fences should align, landscaping concepts should be complemented, and improvements to the public right-of-way should be seamless.
- I. Where possible, utilize courtyards or other methods to break up the building mass and provide natural ventilation.

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J. Site layout should take advantage of the natural environmental setting with the following:

- provide viewsheds from public places.
- orient outdoor/indoor dining and other uses to the creeks and Ladyface Mountain and the Santa Monica Mountains.
- use natural materials indigenous to the area.
- maintain natural topography in site layout.

Parking Lot Design, Treatment, and Access

A. Parking should be broken into smaller lots and interspersed around a site.

B. Subterranean parking or at grade parking garages that are "lined" with shops to conceal the parking from public view are highly encouraged.

C. Above ground parking structures should be designed to contribute positively to the aesthetic quality of the Village and shall be consistent with the architecture of the surrounding buildings.

D. Parking stalls oriented at 90° generally provide the most efficient parking design. However, angled parking is encouraged for large parking lots if it helps to accommodate more landscaping between rows of stalls and at the ends of rows.

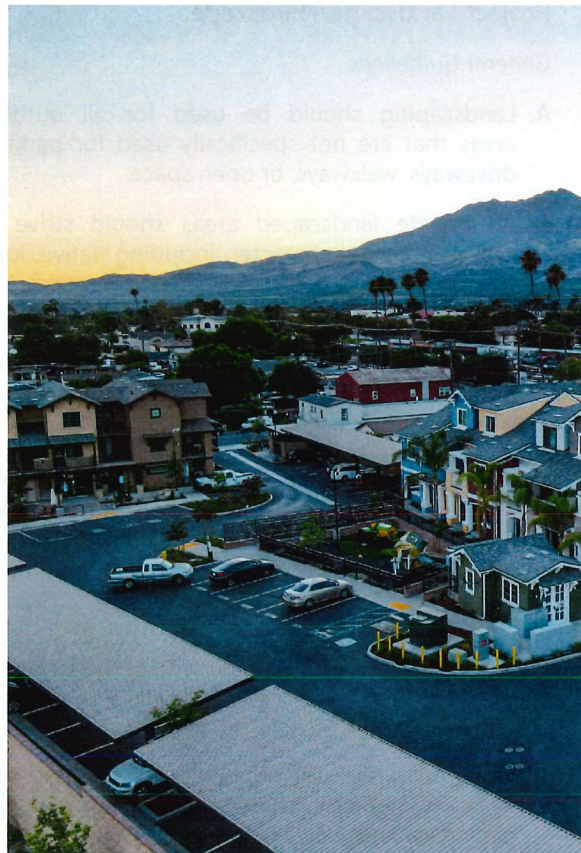
E. Shared parking between adjacent businesses and/or developments is encouraged.

F. Long rows of parking spaces should be avoided. Instead, parking areas should be broken up with landscaping islands and buildings where feasible.

G. Large parking areas that service over 100 cars should be designed with a clear hierarchy of circulation: major access drives with no parking, major circulation drives with little or no parking, and parking aisles for direct access to parking spaces.

H. Decorative lighting and landscaping will enhance parking areas and reduce their visual impact on the Village. Shade trees and lamp posts reflecting a craftsman style should be provided.

I. Reciprocal access should be provided so that vehicles are not required to enter the street in order to move from one area to another on the same site and where feasible on adjacent sites.



Covered parking incorporated into the project.



Parking provides clear heirarchy of circulation with primary access drive.

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Project Landscape/Hardscape

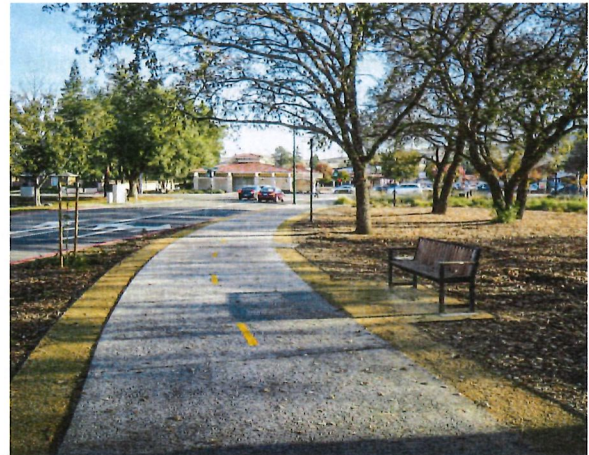
General Guidelines

- A. Landscaping should be used for all outdoor areas that are not specifically used for parking, driveways, walkways, or open space.
- B. All private landscaped areas should strive to establish a rural character, including native, local trees (e.g., oaks and sycamores).
- C. Careful maintenance practices should be implemented to achieve a natural appearance. An artificially manicured look is inconsistent with the vision for the Village.
- D. Shade trees should be planted to shade onsite structures to the greatest extent possible in the summer to reduce indoor temperatures and to reduce energy demand.

Plant Materials and Placement

- A. Plant material such as evergreens should be used to soften structural edges, but they should not be used to conceal poor architecture.
- B. Water features may be used with planting and natural materials in courtyards and plazas as part of landscaping.
- C. Trees and shrubs should be located and spaced to allow for mature and long-term growth.
- D. Formal planting designs and color-spots are encouraged in courtyards and plazas.
- E. Trees should be used to create an intimate scale, enclose spaces, and frame views, but their placement should respect the long-range views of surrounding neighbors.
- F. Trees should be selected on a performance basis with the objective of minimizing water use, providing shade, minimizing hazardous litter, minimizing root intrusion, and providing color and contrast.
- G. Seasonal shading from trees and shrubs should be considered when developing planting schemes for courtyards and streetscapes.

- H. Due to challenging soil conditions found in the Village, extra care should be given to prepare and apply soil amendments prior to planting.
- I. Site design should use low impact development (LID) best practices to manage stormwater runoff.
- J. Implementing measures to reuse rainwater and/or grey water for irrigation is strongly encouraged.
- K. Vines and potted plants should be used to provide wall, column, and post texture and color, as well as accentuating entry ways, courtyards and sidewalks.



Existing trees are maintained to provide shade and respite along bike path.



Landscaping enhances urban plazas.

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Paving Treatment

- A. Durable, smooth and even surfaces should be used in well-traveled areas while other materials that have more texture can be used in less traveled areas.
- B. Patterns and colors should be installed in paving treatments using tile, brick, or textured concrete in order to provide clear identification of pedestrian access points into buildings and parking features (i.e., handicap spaces, pedestrian loading, etc.).
- C. Utility vaults, such as water meters, gas, and electric should be architecturally treated to blend with surrounding paving pattern by incorporating consistent colors, textures, and/or decorative covers.

Lighting

Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, and enhances architectural building and landscape details.

- A. Sensitivity to the mix of residential/commercial uses, as well as the surrounding hillside areas, should be considered in choosing light sources.
- B. Building light fixtures should be designed or selected to be architecturally compatible with the main structure, which should complement the streetscape lighting specified in Chapter 3 - Streetscape Beautification and Public Infrastructure.
- C. The height of a light pole should be appropriately scaled to the building or complex and the surrounding area.
- D. Landscape lighting can be used to accent walkways and entries and/or seating areas and specimen plants/trees. Landscape lighting should be done with low-level, unobtrusive fixtures and limited to areas of significant landscape resources, such as oak trees and mature trees.



Special treatment to paving provides texture and interest.

Open Space

Additional open space is an important amenity to make the Village a pleasant and inviting environment for residents, workers, shoppers, and visitors. Parkland and trails are also an essential element to providing an enhanced environment and recreational amenities for the Village. Where applicable, pedestrian links such as hiking trails, bicycle paths, and equestrian trails should be provided or improved.

- A. The design and orientation of recreation and open space areas should take advantage of available sunlight and should be sheltered from the noise and traffic of adjacent streets and incompatible uses.



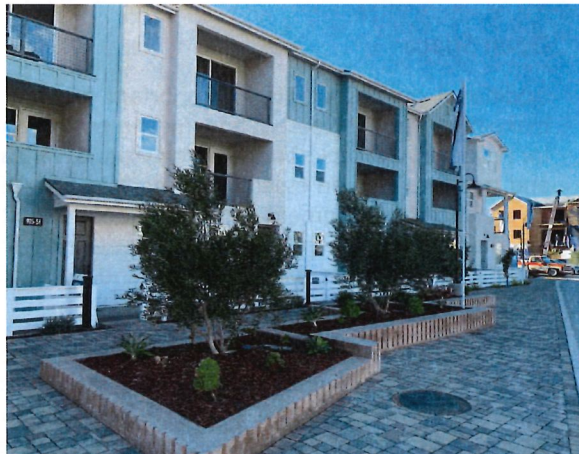
Creative gathering space is provided along pathway.

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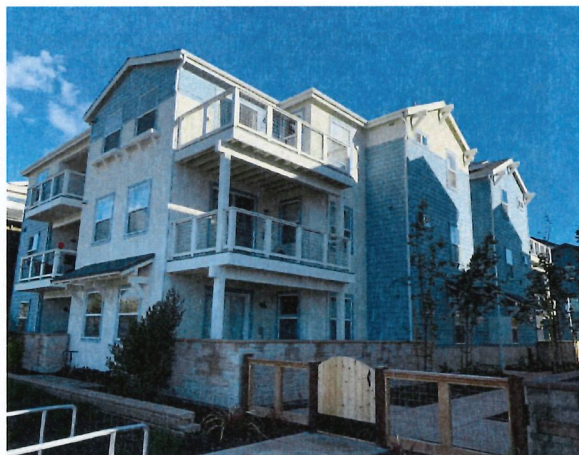
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Variety of materials and architectural treatment helps reduce building form and massing.



Architectural elements, recessed balconies, and changes in materials contribute to facade articulation.



Varying setbacks and wall planes provide interesting form and massing.

Building Design

Building forms and facades influence cohesiveness, comfort, and aesthetic pride, and at the same time can encourage shopping, contribute to a special sense of place, increase a sense of security, and generate pedestrian activity. Where commercial buildings are neighbors to residential buildings, consideration of scale, detail, and materials is very important. Any good design must take into consideration some fundamental design principals, including continuity, proportion, mass, scale and rhythm/facade articulation. Where commercial buildings are neighbors to residential buildings, consideration of scale, detail, and materials is very important. Any good design must take into consideration some fundamental design principles, including continuity, proportion, mass, scale, and rhythm.

The following guidelines complement the Objective Design Standards presented in the previous section, and are intended to provide an additional general framework for design. Then do not mandate specific architectural styles, themes or details. The City will be open to considering innovative, alternative design concepts that were not envisioned at the time that these guidelines were written, yet support the intent of this document.

Building Form, Massing and Façade Articulation

- A. One and two-story development and massing are strongly encouraged along Agoura Road to bring a comfortable scale to the street.
- B. Several smaller buildings, rather than one large building, should be used to provide an intimate scale and support the Village character.
- C. Surface detailing should not serve as a substitute for distinctive massing.
- D. New development should express its own uniqueness of location, tenant, or structure, designed especially for the particular building site, and not as a copy of a generic building type that might be used anywhere.
- E. The use of corporate "chain" architecture detracts from the unique character of the Village and is strongly discouraged. Corporate tenants should design their buildings to fit the scale and character of the Village.

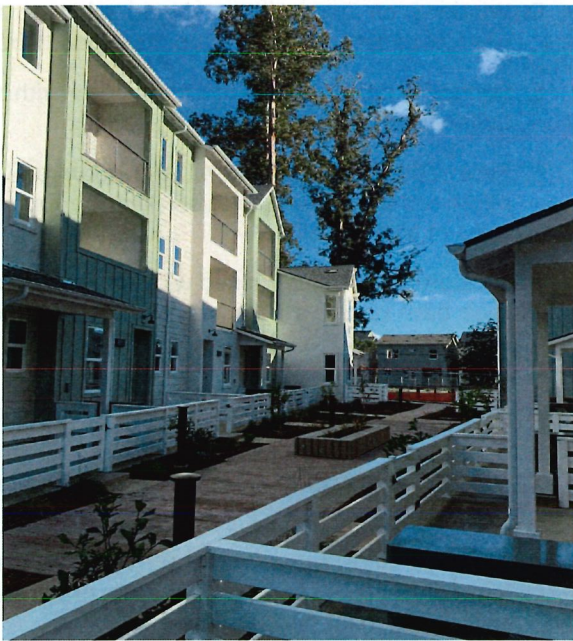
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- F. Varying setbacks on upper floors to accommodate balconies, seating and other architectural treatments should be considered.
- G. Vary the planes of the exterior walls in depth and/or direction. Wall planes should not run in one continuous direction for long distances without a significant offset.
- H. Long, unbroken facades and box-like forms should be avoided. Elements such as balconies, porches, arcades, dormers, and cross gables should be used to add visual interest.
- I. Tall dominating structures should be broken up by creating horizontal emphasis through the use of trim, awnings, eaves, or other ornamentation, and by using a combination of complementary colors or materials.
- J. Recessed or projecting entries and articulation in the storefront mass is encouraged.
- K. Consider the use of narrow floor plan depths to maximize daylight, exterior views, and natural ventilation. Courtyards and atria can also be used to bring light and air into interior spaces.
- L. Consider using several smaller compact building footprints rather than one large footprint to provide an intimate scale and a more efficient envelope to optimize daylight and passive solar heating/cooling functions.
- M. Combinations of one, one and one half, and two story units should be used to create visual interest and variation in the massing and building height.
- N. Vertical elements, such as towers, should be used to accent horizontal massing and provide visual interest.
- O. Architectural elements that add visual interest, scale, and character to the neighborhood, such as balconies, verandas, porches, etc. should be incorporated.
- P. To the extent possible, each housing unit should be individually recognizable. The following methods could be used to break up building massing:
 - Vary front setbacks within same structure
 - Stagger and jog unit planes
 - Design a maximum of two (2) adjacent units with identical wall and roof lines

Roof Forms.

- A. Multi-form roofs, gables, and shed roof combinations are encouraged to create an interesting and varying roof form that will lessen the mass of the building and add visual appeal.
- B. Roof materials and colors are important aspects of the overall building design. They should be consistent with the desired architecture and complement adjacent structures.
- C. Deep roof overhangs are encouraged to create pedestrian arcades, verandas, and passive solar benefits.



Balconies and exterior patios front onto internal pedestrian courtyard.

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Human Scale

Scale is the proportion of one object to another. "Human" or "intimate" scale incorporates building and landscape elements that are modest in size. "Monumental" scale incorporates large or grand building elements. Buildings within the Village should incorporate human scale elements.

The individual components of the building also have a relationship to each other and the building as a whole, which is the overall scale of building.

- A. Architectural details and materials on lower walls that relate to human scale such as arches, trellises, or awnings should be utilized.
- B. Articulated storefronts with carefully arranged doors, windows, arches, trellises, or awnings, rather than blank walls, should face onto pedestrian spaces and streets.
- C. Structures with greater height should include additional setbacks and steps within the massing so as to transition heights from adjacent properties and to avoid dominating the character of the neighborhood.
- D. Building scale should be reduced through the proper use of window patterns, structural bays, roof overhangs, siding, awnings, moldings, pilasters, fixtures, and other details.

360-Degree Architecture

The concept of 360-degree architecture is to design a building where all sides of the building have been detailed to be complementary in architecture, massing, and materials the primary street elevation. In other words, the building should be aesthetically pleasing from all angles. This is most important for buildings or corner lots and on elevations that have high visibility.

- A. Buildings located at key intersections should incorporate special architectural elements that create an emphasis on the importance of that location.
- B. Murals, trellises, or vines should be placed on large expanses of walls at the rear or sides of buildings to soften and create interest.

- C. Marquis display cases may be provided between buildings in pedestrian linkage areas to eliminate large blank wall surfaces. Such display cases may include theater movie posters, upcoming civic events, retail events (such as sidewalk sales, book signing, etc.), art displays or shows.

Building Entries

- A. Upper floor entries at the street frontage should have their own distinct design that complements the main building frontage.

Windows and Doors

- A. At the street level, windows should have pedestrian scale and detail. The framing provides opportunity for color variation and detail.
- B. Clear glass is recommended on street level to create interesting interior shop views for pedestrians. Heat gain can be limited by incorporating awnings, recessed storefronts, polarized glass, or professionally applied UV film. Reflective, mirrored or tinted glass is strongly discouraged.
- C. Storefront windows and doors should be of the same style. The line established by uniform storefront heights helps to establish a sense of scale for pedestrians.
- D. Windows on upper floors should relate to the window pattern established on the ground floor.
- E. Windows and doors should be in scale with the building elevation on which they appear.
- F. Recessed openings, windows, and doors provide depth and should be used to break up the apparent mass of a large wall.
- G. Windows may be combined with wall planters at their base or use a base material that has color and texture such as ceramic tiles, brick, stone, or raised wood panels.
- H. Well-designed storefronts, including windows, doors, wall composition, colors, and materials are very important to create a sense of entry and pedestrian scale.
- I. Awnings, landscaping, spectrally selective glass, and controllable blinds should be considered to reduce heat gain through windows.

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- J. Window type, material, shape, and proportion should complement the architectural style of the building entry.
- K. Retail storefronts with display windows are encouraged within the creatively designed façade. Large expanses of glass, glass curtain walls, or glass buildings are discouraged.
- L. Windows and doors should be designed as accent elements with details such as shutters, moldings, and divided lights.
- M. Windows should be located to maximize daylighting and views.
- N. The addition of window articulation such as sills, trim, kickers, shutters, or awnings should be included to improve the building facades where consistent with the desired architectural style.
- B. Awning maintenance should be in accordance with the awning manufacturer's care instructions. The life of the awning is generally not expected to exceed eight to ten years. Property owners should not propose installing awnings unless they are prepared to replace the awnings every eight to ten years.
- C. Awnings should not dominate the facade, but should be in scale with the rest of the building.
- D. Awnings, if lighted, should be lit with direct, architecturally interesting and appropriate fixtures such as goosenecks.
- E. Consider incorporating permanent shading devices such as awnings and canopies on south-facing facades to add aesthetic quality and assist in cooling the building during the summer months.

Arcades, Porches and Covered Walkways

- A. Covered walkways provide a visual, as well as protective linkage between uses. These walkways may occur at building street frontages, between buildings, from buildings to parking lots, and within a parking lot.
- B. Archways and columns may also be used to accent store entries and courtyard entries. Materials used should complement the building(s) it is associated with.
- C. Walkways that are "enclosed" by buildings provide an opportunity for pedestrian scale wall treatments such as murals, alcoves, or vines.

Awnings and Umbrellas

Awnings add color, forms, relief, shadows, and pedestrian protection from the elements. They may also create a space for identification signage. They should not, however, be used as a substitute for genuine building massing and articulation.

- A. Awnings or signage, should be used to help clearly demarcate building entries and help orient pedestrians.

Exterior Building Materials

The selection and placement of building materials should provide visual interest at the pedestrian level. Heavier materials should be used to form the building base and as accents on upper stories and walls. Architectural details should be used to enhance the buildings and adjacent pedestrian spaces by adding color, shadows, and interesting forms.

- A. Different parts of a building's façade should be articulated by the use of color, arrangement of façade elements, or change in materials to help break up the massing and create an image of a project that has been developed over time.
- B. Details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, and recessed areas should be used to create shadow patterns and depth on the wall surfaces.
- C. Materials should occur at a change in plane where they tend to appear substantial and integral to the structure, preferably at an inside corner.
- D. Material changes not occurring at a change in wall plane appear "tacked-on" and should be avoided.
- E. Materials selected for multifamily residential projects should be very durable and require low maintenance.

2

LAND USE, REGULATIONS, & GUIDELINES Design Guidelines

- F. Textures, colors, and materials should be unifying elements in the building's design.
- G. Stone, wood timbers, trellises, and other natural materials are encouraged within the Village.
- H. Natural materials such as brick, stone, copper, etc. should be left their natural color.
- I. Materials should be utilized that reduce the transfer of heat into and/or out of the building.
- J. Recycled content and non-toxic materials should be used wherever possible.

Colors

The following guidelines are intended to promote well-coordinated color palettes that integrate with the other exterior features of a building.

- A. Buildings should keep a balanced palette between colors used on primary wall surfaces and "vibrant" or "darker" accent colors on each building.
- B. Colors should be used that reduce sun glare on wall planes by using flatter, muted colors, i.e. avoiding bright whites.
- C. Door and window trims, awnings, and wall tiles provide opportunity for color that adds interest and texture to storefronts or building bases. Color of trim should be coordinated with the wall colors.
- D. Colors should coordinate with natural unpainted materials used on the facades, such as pressure treated wood, terra cotta, tile, brick, and stone.

Utilitarian Aspects of the Buildings

Utility service areas should be part of the early building design process, rather than an afterthought at the construction document phase.

Screening of Utilitarian Equipment

- A. Service, utility, and loading areas should be carefully designed, located, and integrated into the site plan. These critical functional elements should not detract from the public viewshed area.
- B. Siting of noise and odor generating functions on any site that may create a nuisance for the adjacent properties should be avoided.
- C. Utility service areas, such as electrical panels, should be placed within enclosures that are architecturally integrated into the building design.

Building Signage

A sign program should be submitted with design review applications for new buildings.

- A. Signs reflecting the type of business through design, shape, or graphic form are encouraged.
- B. The method of sign attachment to the building should be integrated into the overall sign design chosen.
- C. Signs should coordinate with the building design, materials, color, size, and placement.
- D. Signs should not cover up windows or important architectural features.
- E. Sign variety is encouraged among different users.
- F. Signs should align with others on the block so as to maintain the existing pattern.
- G. Internally illuminated sign cabinets are strongly discouraged.


Monument Signs

- A. Monument signs should be well articulated and well proportioned.



Chapter 3

Streetscape Beautification & Public Improvements

- A. Introduction
 - B. Village Branding
 - C. Gateways and Signage
 - D. Street Furnishings
 - E. Landscape Elements
- 

3

STREETSCAPE BEAUTIFICATION & PUBLIC IMPROVEMENTS

Introduction

A. Introduction

As the City of Agoura Hills moves forward to revitalize the Village, it is important to understand, recognize, and incorporate good street design. Public streets are truly the public's domain; places where business is conducted, people meet, and where the image of a city is shaped. Streets provide an intrinsic opportunity to shape and add character to our communities. By embracing the street as an important public place, the City can create an environment rather than simply a means to get from point A to point B.

This Chapter of the Plan provides recommendations on street beautification amenities and gateways. These standards provide detailed guidance on specific design treatment and materials selections. As all street improvements will be carried out largely by the development community concurrent with new projects and redevelopment projects it is critical that these standards are used.



Street trees, tree grates, flagstone paving, lighting, benches, and trash cans enhance Agoura Road.

STREETSCAPE BEAUTIFICATION & PUBLIC IMPROVEMENTS

Village Branding

3

B. Village Branding

Village Logo

Visual cues, such as signage and markers, create virtual borders and inform pedestrians and drivers they have arrived at a special destination. Branding, or how a municipality represents its character through visual cues, adds to the overall "sense of place" that a community shares. The City of Agoura Hills logo and branding elements were thoughtfully developed to highlight Agoura Hill's unique blend of history, rural roots, natural beauty, small-town charm, and vibrant community in the heart of the scenic Conejo Valley. The City's motto is the "Gateway to the Santa Monica Mountains" and currently uses an oak leaf and hills in the logo, referencing the hills and Ladyface Mountain nearby.

The Village utilizes a similar oak leaf in addition to the silhouette of Ladyface Mountain in branding and logo design. Wayfinding monuments and signage can use one or both logos. These can be incorporated into the design of the monuments using the standard colors and materials identified below.

Village Colors

The Village color palette will complement the City's branding guidelines and pull the primary Deep Green, Bronze, and Hillside Green color palette, as well as a secondary Adobe Beige, Sky Blue, and Oak Leaf color for the Village palette. These colors represent the brand identity of the City. Colors can be used for typography or other signage components.

Village Fonts

Typology also enhances identity and unifies wayfinding, signage, and marketing materials. Adelle is currently used for "Agoura Hills" and shall be used on any signage with the City's name. "Agoura Village" shall use Garamond. Secondary fonts in Agoura Village shall also use Garamond.

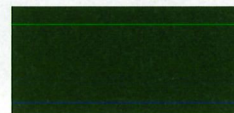
Proposed Ladyface Mountain Branding



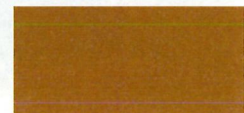
Proposed Oak Leaf Branding



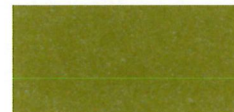
Proposed Colors



Deep Green
 CMYK: 56/22/98/72



Bronze
 CMYK: 7/50/100/34



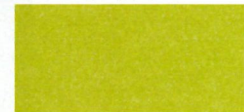
Hillside Green
 CMYK: 49/38/100/15



Adobe Beige
 CMYK: 0/14/39/23



Sky Blue
 CMYK: 84/54/27/6



Oak Leaf
 CMYK: 19/11/100/0

Proposed Font Styles

Adelle
AGOURA HILLS
 ABCDEFGHIJKLMNOPQRSTUVWXYZ
 abcdefghijklmnopqrstuvwxyz

Garamond
 AGOURA VILLAGE *Agoura Village Gateway Monument*
 ABCDEFGHIJKLMNOPQRSTUVWXYZ
 abcdefghijklmnopqrstuvwxyz



3 STREETScape BEAUTIFICATION & PUBLIC IMPROVEMENTS

Gateways and Signage



Sandstone, flagstone, and steel



Village materials include sandstone, flagstone, steel, metal, and wood to complement streetscape improvements on Agoura Road.

C. Gateways and Signage

Village Materials

The materials selected for gateways and signage complements the streetscape materials, such as sandstone, flagstone, and steel, to unify the gateways with the streetscape elements. Natural materials, such as sandstone and flagstone, as well as wood and steel, complement one another and provide a timeless standard for gateways in the Village. Each material is not required for each sign, however a consistent font and color shall be incorporated into the sign. The oak leaf logo may stand out from the other graphics, such as an aluminum or vinyl box that can be internally lit, or simply laser cut into steel.

City Gateway Entry Monument and Village Gateway Monuments

Figure 3-1 identifies potential locations of gateways and signage within the Village. These locations will be further defined based on visibility, grading, and landscaping considerations. A City Gateway Entry Monument is proposed at the Village southern boundary to signify entry into the City. Village Gateway Monuments are proposed at primary entrances into the Village. Their purpose is to signify the boundaries of the area and to enhance the identity of the Village.

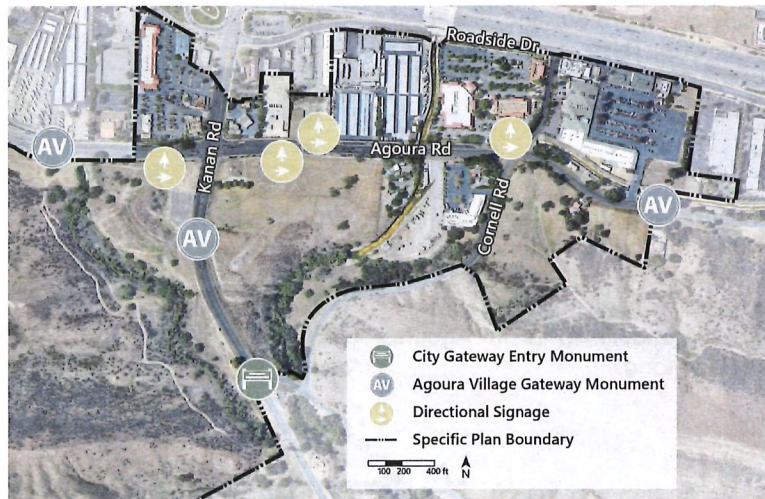
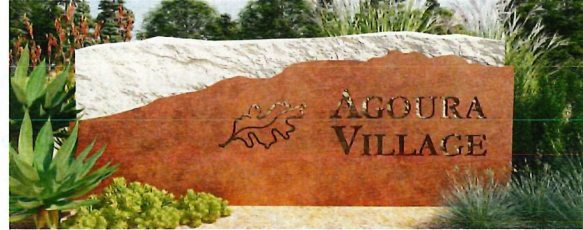


Figure 3-1: Gateway Signage Locations

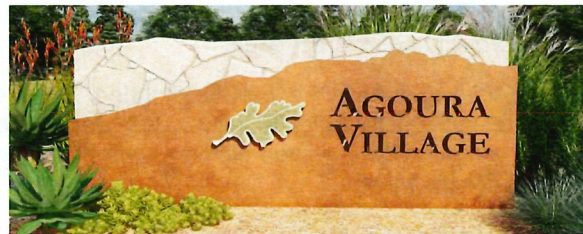
STREETSCAPE BEAUTIFICATION & PUBLIC IMPROVEMENTS Gateways and Signage

3

- » Village Gateway Monuments shall be smaller (8' wide x 4' tall maximum) and include the oak leaf logo and silhouette of Ladyface Mountain.
- » Monument features shall be significant in scale to clearly identify the area as an important place and shall be easily legible to motorists.
- » Village Gateway Monuments shall be located at the east and west entry points along Agoura Road heading into the Village, and approximately 300-feet south of Agoura Road on Kanan Road.
- » Directional signage shall be provided along Agoura Road in the eastbound and westbound direction. Eastbound signage shall be located near the Kanan Road intersection along Agoura Road and at the mid-block crossing along Agoura Road between Kanan Road and Cornell Road. Westbound signage shall be located along Agoura Road west of Cornell Road, and at the mid-block crossing between Kanan Road and Cornell Road.
- » Directional signage shall be vertical (6' tall x 4' wide maximum) and shall use the oak leaf logo.
- » Designs shall reflect natural elements and materials utilizing a combination of sandstone, flagstone, and/or steel.
- » Appropriate lighting shall be incorporated into the design and placement of monument and directory signage.



Village Gateway Monument - Concept 1 - sandstone wall with corten steel silhouette of Ladyface Mountain and laser cut logo and typology.



Village Gateway Monument - Concept 2 - flagstone wall with corten steel silhouette of Ladyface Mountain with lit vinyl box logo and typology.



Directional Signage Options - signage on corten steel or wood panels

3

STREETSCAPE BEAUTIFICATION & PUBLIC IMPROVEMENTS Street Furnishings

D. Street Furnishings

Streetscape furnishings are essential elements that are incorporated into the public right-of-way to complement and enhance surrounding development and enhance the pedestrian experience.

Within the Plan area it will be the responsibility of developers to provide and maintain all on-site improvements as well as all streetscape improvements. This chapter defines the streetscape improvements that shall be implemented within the public spaces of the project and at street edge.

The following furniture palette (lighting, benches, waste receptacles, bicycle racks, and tree grates) and wall/hardscape design elements will be used to enhance the Village.

Lighting

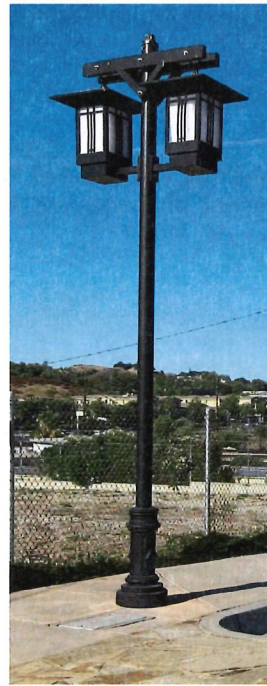
The street and pedestrian lighting allows for one type of light fixture for the Village. One lighting standard should be used for the roadways and the sidewalk areas.

- » Lighting fixtures shall incorporate the latest energy-efficient technology for directing light and reducing glare.
- » Consider the following factors to reduce light pollution:
 - The wattage or brightness of the light
 - The installation of the fixture and use of shields to minimize light spill and glare

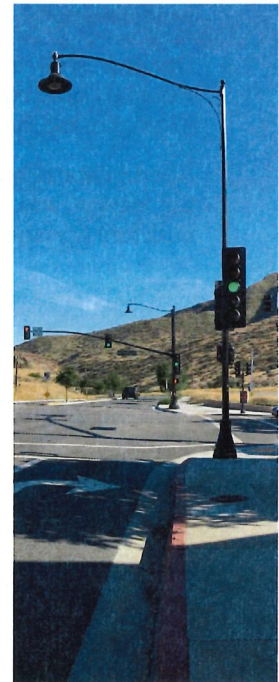
Street and Pedestrian Lighting

Street and pedestrian lights between Kanan and Cornell Road shall incorporate a decorative light pole and luminaire that is consistent in design to help unify the streetscape within the Village.

- » Street lighting shall be South Coast Lighting & Design, Catalog #BCSUN1630/SNTS155-11/CA-WCO-62/LED (decorative street light, 15-ft Height Pole, 4-ft Mast arm, Dual Lantern with decorative base cover) located pursuant to engineering recommendations.
- » Lights shall be approximately 15 feet in height and placed approximately 100 feet apart.
- » The Dual Lanterns shall include SCL Interior and Exterior Lenses and 2700K, 45W TGS Universal Lights.



Street and Pedestrian lights



Intersection lights

STREETSCAPE BEAUTIFICATION & PUBLIC IMPROVEMENTS

Street Furnishings

3

Benches and Trash Receptacles

New benches and trash receptacles shall be installed within the Village.

- » Typical placement of the benches and trash receptacles shall be approximately every 100' to provide seating and amenities for pedestrians.
- » Freestanding wood benches shall be Teak Bench – Meridian 6-ft bench, Model #6503 Country Casual.
- » In areas where benches are integrated into landscaped pockets and planters, glass fiber reinforced concrete supports that replicate natural boulders should support wood or concrete benches.
- » Refuse receptacles shall be Dumor Site Furnishing Model #152.311 with bronze metal trim.



Bench and Trash Receptacles

Tree Grates

Although the majority of the streetscape landscaping will be designed in a clustered, free-flowing style, opportunities for trees in tree grates exist along Agoura Road and in plaza areas and interior courtyards. The installation of tree grates provides room for safer sidewalks, increased opportunities for outdoor benches and seating, and increased permeable area along sidewalks and can help the health of trees and reduce sidewalk maintenance.

- » Tree grates shall be a Neenah Foundry Company - 'Boulevard', 8-foot cast-iron square tree grate with removable light cover and frame, Model #R-9811. Natural Patina Finish.



Tree Grates

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STREETSCAPE BEAUTIFICATION & PUBLIC IMPROVEMENTS Street Furnishings

Bicycle Racks

Bicycle racks are important amenities that will encourage bicycle ridership in the Village. The 'Inverted U' style rack provides the greatest functionality while being attractive and space efficient.

- » Bicycle racks shall be installed at convenient locations along Agoura Road, at any future bus stop, and conveniently located near building entries that are centrally located within development and not facing Agoura Road.
- » Bicycle racks are required as a part of all private development projects in the Village.
- » Bicycle racks shall be Dumor Site Furnishings - 'Loop Bicycle Rack', Model #83-00 with Bronze powder coat finish.

Paving Materials

Enhanced paving materials improve the pedestrian experience, both in visual appeal and safety. Colored pavers in the street are helpful to raise awareness through increased visibility, noise, and vibration. Their use can often increase the effectiveness of other measures, such as curb extensions and medians.

New concrete sidewalks with a simple scoring pattern should be used along all Village streets and shall be constructed with a combination of flagstone pavers, exposed aggregate concrete, and scored colored concrete with natural sandstone boulders placed in accent locations. Additional materials may be used according to the Arterial Streetscape Master Plan (ASMP), as amended. The following are example paving materials used along Agoura Road:

- » Flagstone Pavers. Set stones on 4 inch thick concrete slab and mortar in place.
- » Cut Flagstone Paver Banding at tree grates and pedestrian lighting.
- » Exposed aggregate concrete. Color concrete integrally with Davis 'Sandstone' color #5237. Select pea gravel material in warm, earthy tones, as shown.



Bicycle Racks

- » Scored-colored concrete. Color concrete integrally with Davis 'Sandstone' color #5237. Provide a 4'x4' score pattern.
- » Natural sandstone boulders. Stones shall reflect material native to the Santa Monica Mountains. Set boulders on 6" minimum gravel bed allowing 1/3 of boulder height to remain below finish grade.



Flagstone Pavers with integral color concrete sidewalk

STREETSCAPE BEAUTIFICATION & PUBLIC IMPROVEMENTS Landscape Elements

3

Bollards

Bollards are often used to delineate between vehicle and pedestrian zones to help create a safe walking environment. Bollards can help define public plazas, expanded sidewalk areas at intersections and walkways in the Village.

- » Bollards shall be placed at plaza and bulbout locations.
- » 18 in. x 18 in. x 36 in. cut sandstone bollard with natural, rough-hewn finish. Stone should reflect material native to the Santa Monica Mountains. Core drill and secure bollard to ground with 2 in. galvanized steel pipe and sleeve. Epoxy in place.



Sandstone Bollard

E. Landscape Elements

Landscape Recommendations

The landscape design for the Plan area is reflective of the natural setting and creates an identity for the Village. In addition, plants have been selected to provide opportunity for shade, ease of maintenance, and climate compatible planting. The landscaping will establish a visual integrity for the area and promote pedestrian and vehicular safety by clearly distinguishing walkways and access points.

For landscaping in the public right-of-way not specified herein, plant material shall be used from the proposed tree and shrub palettes specified below. New median and parkway landscaping shall be planted in alternating blocks of species with various color, form, texture, and scale.

Due to the nature of living material and climate adaptation, there may be species of trees and shrubs listed that become undesirable in the medians or parkways. Therefore, the City's Landscape architect will advise City landscape improvement projects over time which may include additional species.

Agoura Road - Proposed Plant Palette

Street trees are large trees generally selected for their ability to form dense, round canopies, grow well

under paving areas, and produce limited litter. The following is a list of street trees and shrubs to select from.

- » These trees shall be spaced unevenly in order to reinforce a natural feeling within the landscape.
- » Street trees shall be carefully located to not obstruct visibility of the storefronts and signage nor negatively impact pedestrian and vehicular safety.
- » All street trees should be installed in a manner that allows for the electrification of holiday lighting and timers.
- » Due to the utility poles along Roadside Drive, not all of these species may be appropriate. Therefore, along Roadside Drive, selection of street trees shall be made in consultation with and after approval by the City's Landscape Consultant.

Trees (Medians)

- *Cercis canadensis*, Eastern Redbud
- *Cercis occidentalis*, Western Redbud
- *Platanus racemosa*, California Sycamore
- *Quercus agrifolia*, Coast Live Oak

3

STREETSCAPE BEAUTIFICATION & PUBLIC IMPROVEMENTS Landscape Elements

Trees (Parkways)

- Cercis occidentalis, Western Redbud
- Pistacia chinensis, Chinese pistache
- Platanus racemosa, California Sycamore
- Quercus agrifolia, Coast Live Oak

Shrubs

- Arctostaphylos 'Emerald Carpet', Emerald Carpet Manzanita
- Convolvulus sabatius, Ground Morning Glory
- Iris douglasiana, Douglas Iris
- Mahonia aquifolium, 'Compacta' Oregon Grape
- Muhlenbergia rigens, Deer Grass
- Penstemon 'Margarita BOP', Margarita Foothill Penstemon
- Salvia clevelandii, California Blue Sage

Kanan Road - Proposed Plant Palette

Street trees are large trees generally selected for their ability to form dense, round canopies, grow well under paving areas, and produce limited litter. The following is a list of street trees and shrubs to select from.

- » These trees shall be spaced unevenly in order to reinforce a natural feeling within the landscape.
- » Street trees shall be carefully located to not obstruct visibility of the storefronts and signage nor negatively impact pedestrian and vehicular safety.

Trees (Medians)

- Chitalpa tashkentensis, Chitalpa
- Lagerstroemia indica, Crape Myrtle
- Liquidambar styraciflua, Sweet Gum
- Platanus racemosa, California Sycamore
- Quercus agrifolia, Coast Live Oak

Trees (Parkways)

- Fraxinus oxycarpa 'Raywood', Raywood Ash
- Lagerstroemia indica, Crape Myrtle

Shrubs (Medians)

- Baccharis pilularis 'Twin Peaks', Dwarf Coyote Brush
- Carex praegracilis, California Field Sedge
- Iris douglasiana, Douglas Iris
- Lavandula species, Lavender
- Salvia leucantha, Mexican Sage
- Stipa tenuissima, Mexican Feathergrass
- Zauschneria californica, California Fuchsia

Chapter 4

Mobility

- A. Introduction
- B. Pedestrian Network
- C. Bicycle Circulation
- D. Public Transit
- E. Traffic Calming Elements
- F. Vehicular Circulation
- G. Parking Strategies



4 MOBILITY Introduction

A. Introduction

This chapter of the Plan discusses the role of mobility to support the vision and goals for the Village. This chapter presents descriptions of pedestrian, bicycle, and transit opportunities; traffic calming concepts; the existing circulation network; and improvement opportunities for Agoura Road, Kanan Road, and other streets in the Village. More detail on the street furnishings and street signs is outlined in Chapter 3 (Streetscape Beautification and Public Improvements).

The Plan strives to create a pedestrian-friendly destination. The Mobility chapter is intended to create a village environment with an active, engaged, human-oriented streetscape where the car is not viewed as the only mode of travel for the people who live, work, shop, and play in the village.



View along Agoura Rd, looking south along Kanan Road at Ladyface Mountain.

MOBILITY
Pedestrian Network

4

B. Pedestrian Network

Trail Access

One of the unique attributes of the Village is the proximity of the Santa Monica Mountains. Convenient and enjoyable access to this national recreation area is an important element of the Plan. There are several opportunities to provide future trail connections between the Village and the mountains, described below:

- » The Ladyface Greenway Project is located along the north side of Agoura Road between Cornell Road and the entrance to Whizin Market Square. The greenway will be constructed on top of an existing concrete runoff channel, which is owned and maintained by the Los Angeles County Flood Control District (LACFCD). The greenway will provide active recreational opportunities, connect regional equestrian trails, provide bicycle connectivity, provide safe off-street pedestrian walking trails, expand green space and tree canopy coverage, and increase water conservation and quality through planting hyper-local landscaping and use of Bioswales, vegetated filter strips and modular wetlands throughout the greenway.
- » The Medea Creek channel runs north-south between Highway 101 and Agoura Road, east of Kanan Road. Development shall plan for, facilitate, and improve pedestrian access by incorporating public trails and landscaping, and potentially capping the channel with a linear park. In addition to trail amenities within the Village, future studies may determine the feasibility of constructing a multi-use trail under Highway 101 to connect the Village to areas on the north side and whether the channel can be potentially capped.
- » South of Agoura Road, Medea Creek is channelized near the roadway but naturalizes approximately 600 feet to the southwest. Development abutting the creek shall dedicate and construct the segment of recreational greenbelt and trail that traverses their property.

- » Lindero Canyon Creek daylights south of Agoura Road approximately 650 feet west of Kanan Road, continuing southward through the Village and beyond City boundaries. Development abutting the creek shall dedicate and construct the segment of recreational greenbelt and trail that traverses their property.
- » The property at the corner of Agoura Road and Cornell Road provides access to a future ridgetop trail heading eastward connecting to existing Santa Monica Mountains Conservancy trails. Development abutting the trail shall dedicate and construct the segment of recreational trail that traverses their property.



Concrete channel along Agoura Road at the Whizin Market Square.



View looking north along the Medea Creek channel.



4 MOBILITY Bicycle Circulation

C. Bicycle Circulation

Agoura Road currently has Class II Bike Lanes throughout the Village. Most are curbside lanes running adjacent to vehicular travel lanes. Between Agoura Road and Cornell Road, the bike lanes are sometimes located between diagonal parking and vehicular travel lanes. All bicycle facilities will be constructed in accordance with the General Plan Figure M-7

Bicycle Travel

Alternative modes of transportation such as bicycle use are important in supporting the Village vision. All bicycle facilities shall be constructed in accordance to Figure M-7 of the General Plan.

Bicycle Parking

Bicycle racks are important amenities that will encourage bicycle ridership in the Village.

- » Bike racks are required as a part of all private development projects in the Village. The preferred bike rack design is provided in Chapter 3 (Streetscape Beautification and Public Improvements).



Class II Bike Lanes along Agoura Road.



Bike racks located along Agoura Road.

D. Public Transit

The following transit services are available in the City of Agoura Hills:

- » Metropolitan Transit Authority Route 161 provides access between Thousand Oaks and Canoga Park. In the Village, bus stops are located along Roadside Drive just east of Kanan Road.
- » LADOT Transit Commuter Express Route 423 provides access between Thousand Oaks and Downtown Los Angeles/USC. In the Village, bus stops are located along Roadside Drive just east of Kanan Road.
- » The City of Agoura Hills operates a service that provides transportation anywhere within the City limits.
- » Kanan Shuttle serves Oak Park High School, Medea Creek Middle School, and the residential areas near Kanan Road. The Kanan Shuttle is a free way to travel to neighborhood schools and residential areas near Kanan Road in Oak Park and Agoura Hills.

Bus Stops

- » Applicants shall provide future bus stops for fixed routes within the Village, where applicable. Each bus stop shall contain street furniture including, at a minimum, seating and a physical shelter. The number to be constructed will be determined in consultation with the City Traffic Engineer and the local transit agencies. Bus stops shall meet the requirements of the transit agency providing service to the City.



Public transit is provided within the Village.