

REPORT TO PLANNING COMMISSION

DATE: MAY 16, 2024

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: DENICE THOMAS, COMMUNITY DEVELOPMENT DIRECTOR

BY: KATRINA GARCIA, ASSOCIATE PLANNER

REQUEST: 1) APPROVE A SITE PLAN AND ARCHITECTURAL REVIEW PERMIT FOR EXTERNAL IMPROVEMENTS TO AN EXISTING OFFICE BUILDING 2) APPROVE AN OAK TREE PERMIT TO ENCROACH INTO THE PROTECTED ZONE OF TWO OAK TREES, AND 3) MAKE A DETERMINATION OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

APPLICANT: Tiffany Perez (One Nine Architecture) for Rich McEvoy

CASE NO: SPR-2023-0035, & OAK-2023-0067

LOCATION: 30601 Agoura Road (AIN 2061-002-036)

ENVIRONMENTAL DETERMINATION: Exempt from the California Environmental Quality Act (CEQA) per §15301 (Existing Facilities), §15303(e) (New Construction or Conversion of Small Structures), and §15311 (Accessory Structures) of the CEQA Guidelines.

ZONING DESIGNATION: BP-M-FC (Business Park-Manufacturing-Freeway Corridor Overlay)

GENERAL PLAN DESIGNATION: BP-M

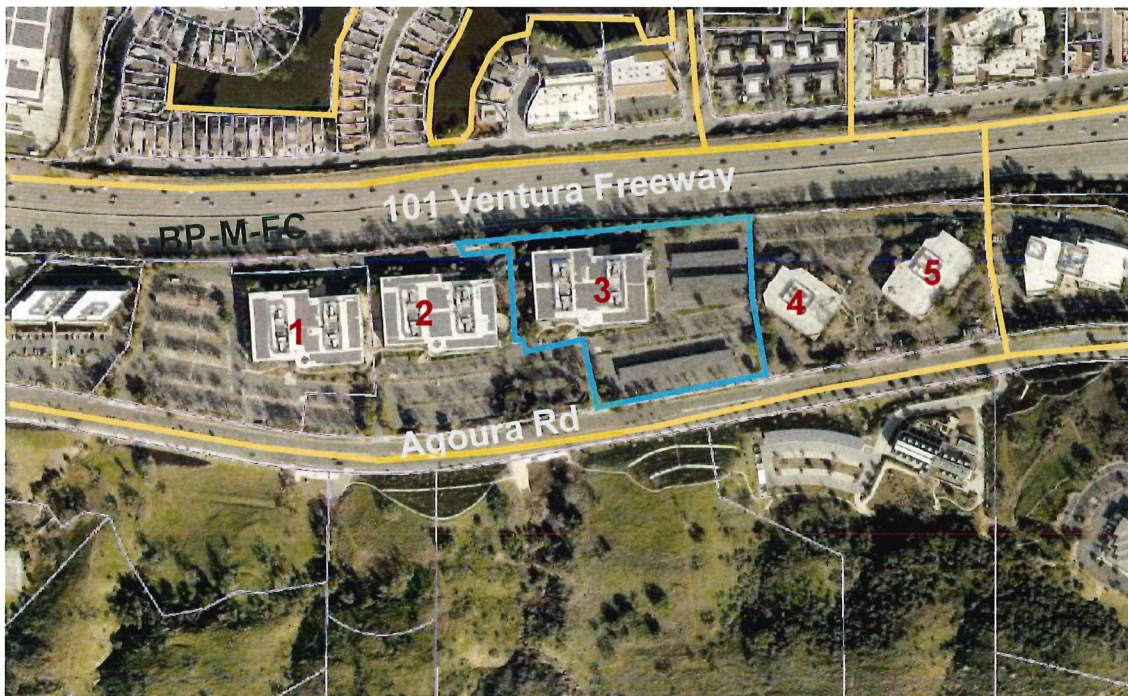
RECOMMENDATION: Staff recommends the Planning Commission approve Site Plan and Architectural Review permit case number SPR-2023-0035, Oak Tree Permit case number OAK-2023-0067, subject to conditions, based on the findings of the attached Draft Resolution, and make a Determination of Exemption under the California Environmental Quality Act (CEQA).

I. PROJECT BACKGROUND AND DESCRIPTION

The applicant is requesting approval of a Site Plan and Architectural Review Permit (SPR) to partially remodel the exterior façade of an existing commercial office building, install new landscaping, construct a new raised deck and pergola, and encroach into the tree protected zones (TPZ) of two coast live oak trees (“Project”).

The Project site is zoned Business Park-Manufacturing (BP-M) within the Freeway Corridor (FC) Overlay District. The development, formerly known as “Katell/Ahmanson Partnership Project” was approved under City Council Resolution No. 297¹, which was a phased business park project, that originally comprised of seven buildings. The site plan and architecture for Building 3 (shown below) was approved at phase I and became known as “Agoura Hills Technology Park”, approved under Planning Commission Resolution No. 51². Because the Project is part of a business park with Covenants, Conditions, and Restrictions, the owner submitted emails (attached, Exhibit 6) from the other owners of the business park that expressed support of the proposed work at 30601 Agoura Road.

Figure 1. Site Plan



Source: ArcGIS

¹ Case Nos. 85-CUP-001, 84-OTP-008, and Tentative Tract Map No. 43597, Resolution 297 attached

² Case No. 85-SPR-025, Resolution 51 attached

As shown in the site plan above, the building is bordered by open space across Agoura Road to the south, other commercial buildings to the east and west, and the 101 Freeway to the north.

Site Plan and Buildings

The Project site is accessible from Agoura Road through a shared driveway with an adjacent office building (30701 Agoura Road) and located on a 286,016-square-foot lot. The existing structure is two stories, with 60,600 square feet (sq. ft.) on the first floor and 60,200 sq. ft. on the second floor. The Project will not alter the existing floor area of the building as the scope of work is restricted to the exterior of the building. The site also contains a parking lot with three solar canopy structures: two located east of the building and one located south of the building, parallel to Agoura Road. The surrounding building area contains landscaping, including mature sycamore trees and oak trees that were used to shield the building from the street.

The area of work will primarily be located on the southwest corner of the building and will include a new platform deck and pergola. Further details are provided in the "Architecture" section of this report. The deck will be located immediately adjacent to an existing concrete outdoor patio on the ground floor, partially enclosed by a wall. The wall will be removed to allow new steps that connect the existing outdoor patio landing to the new platform deck. The proposed finished floor of the deck will be about four feet above the adjacent finished grade and will be approximately 1,046 sq. ft. On top of the deck, on the south end, will be a 300 sq. ft. pergola. A three-and-a-half-foot-tall bar counter on the north side of the deck, opposite the pergola, will be installed and will also serve as a guardrail.

Legislative Review

Agoura Hills Municipal Code (AHMC) §9677.7(A) allows the Director of Community Development to conduct an Architectural Review and approve alterations and improvements to existing buildings. The proposed project will require building permits, therefore, a Site Plan Review is also required. However, Planning Commission Resolution No. 51 conditioned the development of phase I of the business park, which included buildings 1, 2, and 3 (as shown in Figure 1), to conform with the material samples submitted with the application³ and that all three building exteriors be painted beige⁴. The conditions also required "complete conformation" to the Planning Commission approved exhibits. Due to the conditions imposed on the original development, the Planning Commission, being the original approving body, must review the proposed modifications to the building and building site.

³ Condition No. 16 of PC Reso No. 51

⁴ Condition No. 17c. of PC Reso No. 51

II. STAFF ANALYSIS

The proposed commercial development is subject to the design and development standards set forth under the AHMC, including but not limited to the following sections:

- Chapter 3 Commercial Districts, Part 1 (Purpose and Design Standards) and Part 9 (BP-M),
- Chapter 5, Part 5 (FC), and
- Chapter 6
 - Part 1, Division 4 (Lot Standards) and Division 6 (Accessory Structures)
 - Part 2, Division 7 (Oak Tree Preservation Guidelines) and Division 8 (Guidelines for landscaping, planting, and irrigation plans)

There are no proposed changes to the building that would alter the existing setbacks. The building was approved as part of a business park under the development standards that existed in 1985. Table 1 provides a summary of the proposed project against several of the required standards.

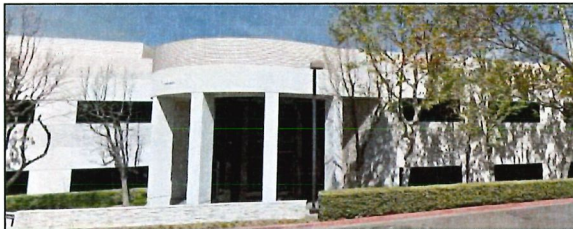
Table 1. Zoning Conformance			
Development Requirement	Allowed/Req'd	Proposed	Compliance & Notes
DECK			
Setback	Cannot project more than 5 ft. into a required yard and doesn't reduce the side yard to less than 5 ft.	24 ft.	Complies
PERGOLA			
Height	Max. 14 ft.	12 ft.	Complies. Measured from finished grade—not top of deck.
Setback to building	Min. 10 ft.	12 ft.	Complies
Setback to side lot line	Min. 5 ft.	40 ft.	Complies.
LANDSCAPE			
Site area	20% min.	20%	Complies

Architectural Design

The building's architectural design was approved as part of phase I of the business park development which included two other buildings. The approved color for the buildings was beige with dark tinted windows, and scored concrete on the exterior façade of the building for additional texture. All three buildings that were developed have maintained this appearance since its construction. The proposed changes will modify the external

appearance of the building, but will retain the beige color on the majority of the building, as well as the accent scoring, shown in the images below.

Existing



Source: Google Maps

Proposed



Source: Project Rendering

The Project proposes to install horizontal wooden louvers along the top edge of the building on starting from the rotunda of the south elevation, where it will transition to a full wall of wooden louvers on the building's southeast corner. The wall directly behind the wooden louvers will be painted a charcoal-gray and the areas between the first and second floor windows will be painted a dark-gray color. The Project proposes to replace the entryway floor tiles beneath the rotunda with a new porcelain tile with a concrete appearance.

The proposed deck on the southwest corner of the building will be constructed of the same wood material and color louvers on the building. The proposed pergola on top of the deck will be fully open on three sides and have a wooden louvered wall on the fourth side. It will also include a slatted overhead shade to match the new materials and colors of the building.

Proposed Deck and Pergola



Source: Project Rendering

Landscaping

In addition to the changes on the building, the Project also proposes to install new landscaping immediately adjacent to the south elevation of the building and the southern

corner of the east elevation. As part of the original development of the business park, the project was conditioned to provide extensive landscaping to shield structures from view from Agoura Road. Given the age of the development, the landscaping has matured and currently shields the structure from the road. Building 3 contains about 14 mature sycamore trees along the south elevation. Of the 14 sycamores, one tree is proposed to be removed to accommodate the deck and pergola. This tree is located within the protected zone of the existing oak trees on the southwest corner. To continue the mitigation efforts of shielding the building from the street, another sycamore tree is proposed to be planted. Because the building is existing, the Los Angeles County Fuel Modification Unit did not review the plans, as part of their policy.

Oak Trees

The site contains approximately 21 protected oak trees that are on site or directly adjacent off-site. Of the 21 trees, three coast live oak trees, immediately adjacent to the southern portion of the building, are within the area of work: two on the west and one on the east. The tree on the southeast corner (No. 98) will not be impacted by the proposed work. Tree number 83, on the southwest corner of the building, will have an encroachment of four percent of the protected zone for the excavation of the deck footings and demolition of the patio wall. No more than three percent of the canopy will be pruned to accommodate the pergola. Tree number 84, also located on the southwest corner—closer to the parking lot—will have an encroachment of less than one percent of the protected zone for the excavation of the deck footings. The fill for the DG walkway and the excavation will encroach a maximum of six percent of tree number 84's protected zone and approximately eight percent of the canopy will be pruned to accommodate the pergola. A new decomposed granite (DG) pathway will require fill that will encroach into about five percent of the protected zone. Relative to the number of untouched oak trees onsite, the percentage of pruning and encroachment are minimal and within the parameters of the City's Oak Tree Ordinance and preservation guidelines (AHMC §9657 et seq.).

III. Findings

A. Site Plan Review: AHMC §9677.5

Finding A. The proposed use is consistent with the objectives and provisions of Article IX (Zoning) of the Agoura Hills Municipal Code and the purposes of the land use district in which the use is located.

The proposed site and building improvements are designed to meet the requirements and purpose of the BP-M zoning district. The BP-M zoning district encourages environments with pedestrian walkways, outdoor areas, and landscaping. The Project proposes to enhance the outdoor area with the new deck and pergola, meeting the intent of the BP-M zoning district. The zoning district also requires that renovations use high quality materials and exhibit a high level of architecture. The Project proposes to use wood

materials and deep-toned paint colors to complement the surrounding urban and natural environment. Pedestrian connections are also proposed through the enhanced DG pathway and the deck, which also serves as a gathering space, can promote pedestrian activity. The Project will also maintain the minimum 20 percent site landscaping required by the zoning district, and meets all applicable standards located in the Agoura Hills Municipal Code. **The Project complies with the finding.**

Finding B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare.

The Project includes an exterior building renovation, floor tile replacement at the entrance, and a new deck and pergola. Building materials will be evaluated by the Building Division during the Building Permit phase to ensure the materials are non-combustible. The deck and pergola are appropriately set back from the main building and adjacent buildings to allow access for emergency equipment or personnel to navigate around the building. The deck is also equipped with proper guardrails along the higher elevation. All the work, including the new wooden louvered wall finishes, deck, pergola, pathways, and demolition are subject to building permits to ensure the safety and welfare of the public and the building's occupants. The work is restricted to the building and the immediate landscaped areas and will not negatively impact vehicle access on and off the site. **The Project complies with the finding.**

Finding C. The proposed use shall not conflict with the character and design of the buildings and open space in the surrounding area.

The Project is consistent with the City's *Architectural Design Standards and Guidelines (ADS&G)* with respect to the building materials and colors as it uses natural material and earth-toned colors. The Project preserves the original color and scoring of the building to maintain continuity with the other buildings in the business park. The proposed wooden and gray accents are compatible with the urban and natural environment. The renewed landscaping and outdoor gathering space also contribute to the overall aesthetic of the business park. **The Project complies with the finding.**

Finding D. The proposed use will comply with each of the applicable provisions of the Zoning Ordinance, except for approved variances or modifications.

The Project complies with the BP-M zoning district and the FC overlay district, as well as the lot standards and accessory structure provisions. The zoning district requires a minimum of 20 percent landscaping which is achieved by the Project. It also uses high quality design and architectural detail on the building and incorporates a new walkway and outdoor space that promotes pedestrian activity. The deck and pergola are also consistent with the height and setbacks required by the zoning ordinance. **The Project complies with the finding.**

Finding E. The proposed use is consistent with the City's General Plan.

The Project is consistent with Goals LU-5, LU-13, and LU-16 and their policies. In keeping with the General Plan, the Project will rehabilitate an existing building's exterior walls with high quality material that is both consistent with the natural environment and latest architectural trends. The improvements will help maintain occupancy by creating a more attractive business park. The remodeled landscaping will blend into the existing landscape areas of the site, while ensuring the landscaping is both drought tolerant and compatible with existing mature oak trees. The proposed improvements will enhance the appearance of the business park and improve connections between buildings. **The Project complies with the finding.**

Finding F. The proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development.

The Project is well-designed, is consistent with the ADS&G, and contributes to the character of the surrounding area. Through the updated materials of the exterior building, the new deck and pergola, and remodeled landscaping, the office building creates interest from potential businesses to occupy office space. **The Project complies with the finding.**

B. Architectural Review. AHMC §9677.7(G)

Finding 1. The proposed development is consistent with the general plan, any specific plans, and any design standards adopted by the city council.

The Project is consistent with Land Use Goals LU-5, LU-13, and LU-16 and their applicable policies as described in Finding E of section III.A. The Project is also consistent with the ADS&G as it pertains to building material and color as it uses natural materials and earth toned colors. The Project is also in keeping with standards for accessory structures and setbacks required by the AHMC. To remain in compliance with the original conditions of approval of the development, a new sycamore tree is proposed to be planted to shield the building from Agoura Road. **The Project complies with the finding.**

Finding 2. The design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood; and it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and it will not create traffic hazards or congestion.

The Project will enhance the appearance of the business park. Through the updated materials of the exterior building, the new deck and pergola, and remodeled landscaping, the office building creates interest from potential businesses to occupy office space. The location of the proposed changes does not alter traffic flow and vehicle circulation on and off site, it does not create new hazards or congestion. **The Project complies with the finding.**

Finding 3. The design of the proposed development is in keeping with the character of the surrounding neighborhood, and is not detrimental to the harmonious, orderly, and attractive development contemplated by this ordinance and the general plan of the city.

The use of wooden louvers and deep earth-toned colors on the building and the accessory structures are compatible with the natural and urban environment, and are consistent with the ADS&G. The new DG walkway is also consistent with the Zoning Ordinance and General Plan as it connects the office building to the other buildings in the vicinity. The upgraded outdoor space incorporates the existing mature vegetation that can now be enjoyed by the occupants of the building. **The Project complies with the finding.**

Finding 4. The design of the proposed development would provide a desirable environment for its occupants, as well as for its neighbors, and that it is aesthetically of good composition, materials, textures, and colors.

The Project is designed with high level architecture and quality materials. It features wood louvers that accent the front of the building and complements the new wood deck and pergola. The new outdoor area enhances the use of the office building as it creates a more inviting environment for its users through the incorporation of a shaded structure and integration of the existing mature vegetation. **The Project complies with the finding.**

Finding 5. The proposed use complies with all applicable requirements of the district in which it is located and all other applicable requirements.

The Project is consistent with the BP-M-FC zoning requirements as described in Finding D of Section III.A. The existing building and development was approved and was constructed with the appropriate permits. **The Project complies with the finding.**

Finding 6. The overall development of the subject property is designed to ensure the protections of the public health, safety, and general welfare.

The Project is located within an existing developed business park campus that was constructed with the proper permits and approvals. The Project does not negatively impact existing driveways and drive aisles, nor does it impact the occupancy type of the building. The Project applicant will be required to obtain building permits to ensure the health and safety of the public and its users. **The Project complies with the finding.**

D. Oak Tree Preservation: AHMC §9657.5(C)(3)

Finding a. That the proposed construction or proposed use will be accomplished without endangering the health of the remaining trees on the subject property;

The construction of the deck and its footings, including the pergola does not require the removal of the surrounding oak trees. An encroachment of four percent into the

protected zone and three percent pruning is likely needed on tree no. 83. Tree no. 84 is likely to be encroached by no more than six percent as a result of the work for the footings and the DG pathway. To accommodate the pergola, no more than eight percent of the canopy is being pruned. The proposed work was evaluated by the City's arborist and the applicant's arborist and based on each of their professional opinions, work can be accomplished without harming the trees by implementing best management practices. Such practices are detailed in the attached conditions of approval, which include observation by the applicant's arborist, the use of hand tools for work within the protected zone, and clean 45-degree angled cuts during pruning. Only 2 out of the 21 oak trees on site are impacted by the Project. **The Project complies with the finding.**

Finding b. That the removal or relocation of the oak tree(s) proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated;

No oak trees are proposed to be removed or relocated as part of the Project. However, after the removal of the sycamore tree, the stump must remain in order to preserve the roots of the surrounding oak trees. It is not expected that the removal of the sycamore tree will cause soil erosion or increase surface water flow. **The Project complies with the finding.**

Finding c. That the removal or relocation of the oak tree(s) proposed is necessary because the continued existence at present location(s) prevents the planned improvement or proposed use of the subject property to such an extent that alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive; or that the placement of such tree(s) precludes the reasonable and efficient use of such property for a use otherwise authorized; or that the oak tree(s) proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the tree(s).

The Project is being carried out without the removal or relocation of any oak trees. **The finding does not apply to the Project**

IV. ENVIRONMENTAL REVIEW

The Project has been reviewed pursuant to the California Environmental Quality Act (CEQA) and has been determined to be Categorical Exempt from the CEQA Guidelines per California Code of Regulations (CCR) §15301 (Existing Facilities), CCR §15303(e) (New Construction or Conversion of Small Structures), and CCR §15311 (Accessory Structures). The Project proposes to alter the exterior material of an existing building, consistent with the criteria for exemption of §15301. The new pergola and deck, located outside of the existing building would be accessory to the use and consistent with the criteria described in §15303 and §15311 regarding accessory structures. No significant environmental impacts are expected from the development of this project. No exception to this categorical exemption applies as set forth in §15300.2 of the CEQA Guidelines,

including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

V. FISCAL IMPACT

There is no additional fiscal impact to the City Council 2023-24 adopted budget because the applicant has paid all application fees and consultant deposit fees to fund the staff and consultant's time.

VI. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Site Plan and Architectural Review Permit Case No. SPR-2023-0035 and Oak Tree Permit Case No. OAK-2023-0067, subject to the Conditions of Approval and based on the findings of the attached Draft Resolution, and make a Determination of Exemption under the California Environmental Quality Act (CEQA).

VII. ATTACHMENTS

1. Draft Resolution for the Site Plan and Architectural Review Permit, and Oak Tree Permit, with Exhibit A, Conditions of Approval
2. Project Plans
3. Colors and Materials
4. Renderings
5. Existing On-site Photos
6. Owner-submitted emails
7. Planning Commission Resolution 51
8. City Council Resolution 297

Case Planner: Katrina Garcia, Associate Planner

ATTACHMENT 1

Draft Resolution for the Site Plan and Architectural Review Permit
and Oak Tree Permit, with Exhibit A, Conditions of Approval

RESOLUTION NO. 24-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN AND ARCHITECTURAL REVIEW PERMIT CASE NO. SPR-2023-0035 AND OAK TREE PERMIT CASE NO. OAK-2023-0067 FOR EXTERNAL BUILDING IMPROVEMENTS OF AN EXISTING OFFICE BUILDING AT 30601 AGOURA ROAD AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Tiffany Perez of One Nine Architecture for Rich McEvoy, with respect to the real property located at 30601 Agoura Road (Assessor's Identification Number 2061-002-036), requesting the approval of a Site Plan and Architectural Review permit (Case No. SPR-2023-0035) to remodel the exterior of an existing office building, and Oak Tree Permit (Case No. OAK-2023-0067) to encroach into the protected zone of two oak trees (collectively, the "Project").

Section II. The Project is a request for an exterior remodel of an existing office building and landscaping and was reviewed pursuant to the California Environmental Quality Act (CEQA). The Project has been determined to be Categorically Exempt from the CEQA Guidelines per California Code of Regulations (CCR) §15301 (Existing Facilities), CCR §15303(e) (New Construction or Conversion of Small Structures) and CCR §15311 (Accessory Structures). The Project proposes to alter the exterior of an existing building, consistent with the criteria for exemption of §15301. The new pergola and deck, located outside of the existing building would be accessory to the use and consistent with the criteria described in §15303 and §15311 regarding accessory structures. No significant environmental impacts are expected from the development of this project. No exception to this categorical exemption applies as set forth in §15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the Project applications at a public hearing held on May 16, 2024, at 6:30 p.m. in the City Council Chambers located at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, means of participation in, and purpose of the aforesaid hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to, and considered by the Planning Commission at the aforesaid public hearing.

Section V. Site Plan Review. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds for the Site Plan/Architectural Review, pursuant to the Agoura Hills Municipal Code (AHMC) §9677.5, that:

A. The proposed use is consistent with the objectives and provisions of Article IX (Zoning) of the AHMC and the purposes of the land use district in which the use is located. The proposed site and building improvements are designed to meet the requirements and purpose of the BP-M zoning district. The BP-M zoning district encourages environments with pedestrian walkways, outdoor areas, and landscaping. The Project proposes to enhance the outdoor area with a new deck and pergola, meeting the intent of the BP-M zoning district. The zoning district also requires that renovations use high quality materials and exhibit a high level of architecture. The Project proposes to use wood materials and deep-toned paint colors to complement the surrounding urban and natural environment. Pedestrian connections are also proposed through the enhanced decomposed granite (DG) pathway and the deck, which also serves as a gathering space, can promote pedestrian activity throughout the business park. The Project also maintains the minimum 20 percent site landscaping required by the zoning district, and meets all applicable standards located in the AHMC.

B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare. The Project includes an exterior building renovation, floor tile replacement at the entrance, and a new deck and pergola. Building materials will be evaluated by the Building Division during the Building Permit phase to ensure the materials are non-combustible. The deck is set back from the property line by 24 feet (ft.) and pergola is setback 12 ft. from the building and 40 ft. to the nearest side lot line, therefore, the structures are adequately set back from the main building and adjacent buildings to allow access for emergency equipment or personnel to navigate around the building. The deck is also equipped with proper guardrails along the higher elevation. All the work, including the new wooden louvered wall finishes, deck, pergola, pathways, and demolition are subject to building permits to ensure the safety and welfare of the public and the building's occupants. The work is restricted to the building and the immediate landscaped areas and does not negatively impact vehicle access on and off the business park site. The work and final use are not expected to be detrimental to public health, safety, and general welfare.

C. The proposed use will not conflict with the character and design of the buildings and open space in the surrounding area. The Project is consistent with the City's Architectural Design Standards and Guidelines (ADS&G) with

respect to the application of building materials and colors as it uses natural material and earth-toned colors. The elements incorporated onto the building create architectural relief by contrasting the existing beige color with the new wooden material and deep earth-toned accent paint. The Project also preserves the original color and scoring of the building to maintain continuity with the other buildings in the business park. The proposed wooden and gray accents on the deck and pergola, as well as the building helps in blending with the urban and natural environment. The renewed landscaping and outdoor gathering space also contribute to the overall aesthetic of the business park and contributes to the existing pedestrian amenities that enhances the pedestrian experience, which is consistent with the purpose of the City's commercial design standards.

D. The proposed use will comply with each of the applicable provisions of Article IX, Chapter 6 of the AHMC. The Project complies with the BP-M zoning district and the FC overlay district, as well as the lot standards and accessory structure provisions. The height of the deck is about 4 ft. above the grade and is set back 24 ft. from the closest property line, which is consistent with the code because it does not reduce the yard to less than 5 feet and doesn't encroach more than 5 ft. into the required minimum side yard of 15 ft. The height of the pergola is about 12 ft. with an allowed maximum of 14 ft. It is setback 12 ft. from the building and 40 ft. from side lot line which are both consistent with the code because accessory structures are required to be at least 5 ft. from the site lot line and 10 ft. from the main structure. The use of wooden louvers, deep earth-toned accent paint colors, combination wood-metal pergola, and deck are of high-quality material and enhances the architecture of the building. The extension of the existing outdoor area through the new pergola and deck, and walkways helps promote pedestrian activity through the business park. The zoning district requires a minimum of 20 percent landscaping which is achieved by the Project. The remodeled landscaping preserves mature vegetation and incorporates a blend of native and non-native plants that are compatible with the current climate and water resources.

E. The proposed use is consistent with the City's General Plan. The Project is consistent with Goals LU-5, LU-13, and LU-16 and their respective policies, including LU-5.6, LU-13.1, LU-13.2, and LU-16.2. In keeping with Goals LU-5, LU-13 and LU-16 of the General Plan, the Project rehabilitates an existing building's exterior walls with high quality material that is both consistent with the natural environment and latest architectural trends (LU-5.6). The updated architectural details to the building façade modulates the mass and improves the articulation of the building (LU-13.1 and LU16.2)), as well as new outdoor amenities which helps to maintain occupancy by creating a more attractive business park. The new pedestrian pathway creates new and improved connections between the buildings in the business park (LU-13.2). In keeping with Goal LU-5 of the General Plan, the remodeled landscaping uses the existing mature vegetation to complement the additional outdoor amenities, while

ensuring the new landscaping is both drought tolerant and compatible with existing mature oak trees.

F. The proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The Project is well-designed such that it uses high quality material, and is consistent with the natural environment and latest architectural trends. Therefore it is consistent with the ADS&G and the BP-M-FC zoning district. The site's character is enhanced through the architectural update of the building façade, the improved outdoor amenities, including the deck and pergola and DG walkway. The business park is still cohesive in that the primary beige color and accent scoring detail on the building facade are maintained. The walkway creates connections between the existing office buildings and the remodeled landscaping blends in with the existing vegetation. These improvements can create interest from potential businesses to occupy office space.

Section VI. Architectural Review. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds for the Site Plan/Architectural Review, pursuant to the AHMC §9677.7G, that:

1. The proposed development is consistent with the general plan, any specific plans, and any design standards adopted by the City Council. The Project is consistent with General Plan Goals LU-5, LU-13, and LU-16 and their respective policies including LU-5.6, LU-13.1, LU-13.2, and LU-16.2. The project is also consistent with the ADS&G and the commercial design standards of the AHMC. As described in findings C, D, and E of Section V, the existing building is rehabilitated through the use of wooden louvers and deep earth-toned accent colors, which are consistent with the natural environment and latest architectural trends. The site update also modulates the building mass and improves articulation. The remodeled landscaping uses the existing mature vegetation to complement the additional outdoor amenities, while ensuring the new landscaping is both drought tolerant and compatible with existing mature oak trees. The new pedestrian pathways create new and improved connections between the buildings in the business park.

2. The design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood; and it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and it will not create traffic hazards or congestion. The design and location of the Project and its relationship to existing or proposed developments does not impair the desirability of investment or occupation in the neighborhood because the Project is designed to enhance the overall appearance of the existing business park. Through the updated materials of the exterior building, the new deck and

pergola, and remodeled landscaping, the office building creates interest from potential businesses to occupy office space, and will enhance use and enjoyment of the existing business park. The proposed changes are on the building façade and in the immediate landscaped outdoor area, which is not within the driveway or drive aisles, such that the Project does not alter traffic flow and vehicle circulation on and off site, and does not create new hazards or congestion.

3. The design of the Project is in keeping with the character of the surrounding neighborhood and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the general plan of the city. As described in finding E of Section V, the Project is consistent with the General Plan as it proposes to rehabilitate an existing office building to promote occupancy and use. Additionally, the use of wooden louvers and deep earth-toned colors on the building and the accessory structures are compatible with the natural and urban environment, and are consistent with the ADS&G. The BP-M zoning district characterizes business park campuses with pedestrian walkways, outdoor activity areas, landscaping, and seamless connections and transitions. The new DG walkway connects the office building to the rest of the business park campus, and the upgraded outdoor space incorporates the existing mature vegetation that can now be enjoyed by the occupants of the building. The updated exterior façade of the building maintains the primary color of all the buildings on the campus which makes the transitions between buildings seamless.

4. The design of the Project will provide a desirable environment for its occupants, as well as for its neighbors, and is aesthetically of good composition, materials, textures, and colors. The Project is designed with high level architecture and quality materials. It features wood louvers that accent the front of the building and complements the new wood deck and pergola. The new outdoor area enhances the use of the office building as it creates a more inviting environment for its users through the incorporation of a shaded structure and integration of the existing mature vegetation.

5. The Project complies with all applicable requirements of the district in which it is located and all other applicable requirements. The Project comports with applicable development standards in the BP-M zoning district and FC overlay district—including the ADS&G, as described in Findings C and D of Section V. The Project achieves the City's vision for business parks.

6. The overall development of the subject property is designed to ensure the protection of public health, safety, and general welfare. The Project is located within an existing developed business park campus that was constructed with the proper permits and approvals. The Project does not negatively impact existing driveways and drive aisles as the modifications are strictly located on the building façade and in the existing landscaped area directly adjacent to the building. The occupancy type of the building is not being changed because the

changes are located only on the exterior of the existing building for the use of the occupants of the existing building. The deck and pergola are consistent with the zoning district's setbacks as describe in Finding D of Section V, such that they allow emergency personnel and equipment to navigate easily onto and within the existing business park campus. The deck is also equipped with proper guardrails along the higher elevated side. Prior to construction, the Project applicant will be required to obtain building permits to ensure the health and safety of the public and its users.

Section VII. Oak Tree Permit. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds for the Oak Tree Permit, pursuant to AHMC §9657.5.C.3 and the Oak Tree Preservation Guidelines, that:

A. The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees on the subject property. The construction of the deck and its footings, including the pergola does not require the removal of the surrounding oak trees. An encroachment of four percent into the protected zone and three percent pruning is likely needed on tree no. 83. The protected zone of Tree no. 84 is likely to be encroached by no more than six percent as a result of the work for the footings and the DG pathway. To accommodate the pergola, no more than eight percent of Tree No. 84's canopy is being pruned. The proposed work was evaluated by the City's arborist and the applicant's arborist and based on each of their professional opinions, work can be accomplished without harming the trees by implementing best management practices. Such practices are detailed in the attached conditions of approval, which include observation by the applicant's arborist, the use of hand tools for work within the protected zone, and clean 45-degree angled cuts during pruning. Only 2 out of the 21 oak trees on and directly adjacent to the building site are impacted by the Project.

B. The removal or relocation of the oak tree(s) proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated. No oak trees are proposed to be removed or relocated as part of the Project. A sycamore tree is proposed to be removed to accommodate the deck. However, the removal is not going to impact the adjacent oak trees because the stump must remain to preserve the roots of the surrounding oak trees and so as not to cause soil erosion or increased surface water flow.

C. The Project can be completed without the need to remove or relocate oak trees. Encroachments of four and six percent on Oak trees 83 and 84, respectively, are minimal. Standard mitigation measures, such as the use of hand tools, are being implemented, to ensure the trees are protected in place.

Section VIII. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan and Architectural Review Permit Case No. SPR-2023-0035 and Oak Tree Permit Case No. OAK-2023-0067, subject to Conditions of Approval, attached herein as Exhibit A, with respect to the property described in Section 1 hereof.

Section IX. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED and ADOPTED this 16th day of May, 2024, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

Kate Anderson, Chairperson

ATTEST:

Denice Thomas, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case Nos. SPR-2022-0020 & OAK-2022-0056)

PLANNING DIVISION

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. The approval of these permits shall not be effective for any purpose until the Applicant has agreed in writing that they are aware of, and accept, all conditions of the permits issued by the City of Agoura Hills.
3. Except as specifically modified by conditions of approval, the proposed development shall be constructed in substantial conformance with the approved plans and project description. The proposed development shall further comply with all conditions of approval stipulated in this resolution attached hereto. In the event project plans conflict with any condition of approval, the condition shall take precedence.
4. Minor changes to the approved plans or the conditions of approval may be approved by the Community Development Director, provided such changes achieve substantially the same results and the project is still in compliance with the Agoura Hills Municipal Code. Revised plans reflecting the minor changes and additional fees shall be required to be submitted to complete the record. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of these permits is held or declared invalid, the permits shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permits shall be suspended and the privileges granted hereunder shall lapse; provided that the Applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Agoura Hills Municipal Code and of the specific zoning designation of the subject property must be complied with unless set forth in these conditions or on the approved plans.
8. The Site Plan and Architectural Review permit and the Oak Tree Permit (SPR-2023-0035 & OAK-2023-0067) shall become null and void two years following the date of approval, unless prior to the expiration of one year, a building permit is issued and construction is commenced and diligently pursued toward completion, or a certificate of occupancy is issued, or all final permits have been obtained. Prior to the expiration

of the permit, the applicant may request up to two extensions for a period of time not exceeding 12 months. Such request shall be considered by the Planning Commission after a public hearing.

9. The Applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of Building Permit issuance.
10. All outstanding fees owed to the City, if any, shall be paid by the Applicant within thirty (30) days of the approval of this permit.
11. All exterior lights shall be focused downward and shielded to minimize glare and light spillover onto the adjacent lots.
12. No construction work or repair shall be performed outside the hours of 7:00 a.m. to 7:00 p.m. or on any Sunday or Holiday.
13. A construction chain link fence with green mesh fabric screening no higher than six (6) feet in height shall be installed on-site along the perimeter of the site prior to construction, no closer than five (5) feet from the property line. The fence shall allow for vehicle access to the site, and be installed such that the line-of-sight for vehicles entering or exiting the site is clear and unobstructed. The fence and screening shall be installed prior to construction and shall remain in good working condition and free from disrepair and vandalism for the duration of the construction period. The fence shall be removed upon construction completion.
14. In the event archaeological resources are encountered during ground-disturbing activities, the City Planning Department shall be notified immediately, and work shall stop within a 100-foot radius until a qualified archaeologist approved by the City Planning Department, and retained and paid for by the Developer/Applicant, has assessed the nature, extent, and potential significance of any remains pursuant to the California Environmental Quality Act (CEQA). In the event such resources are determined to be significant, appropriate actions are to be determined by the archaeologist consistent with CEQA (PRC Section 21083.2) and the City General Plan, in consultation with the City Planning Department.
15. If human remains are unearthed, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the Developer/Contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) thought to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an

archaeologist and/or a Native American representative is needed to assessed the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City.

16. It is the responsibility of the Applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
17. I understand that the receipt of the approvals and the rights granted pursuant to such approvals are for my benefit (or that of my principal). Therefore, if the approvals, any conditions attached thereto, or any other City permits issued pursuant to such approvals, are challenged by a third party, I will be responsible for defending against this challenge. I agree to accept this responsibility for defense at the request of the City and also agree to defend and indemnify (with counsel of the City's choosing), and hold the City harmless from any costs, claims, demand, financial loss, penalties, fines, judgments, or liabilities arising from the approvals, any conditions attached thereto, or any City permits issued pursuant to such approvals, including without limitation, any award or attorney's fees that might result from the third party challenge, excepting only liability arising from the sole negligence, gross negligence, or intentional misconduct of City. For the purpose of this indemnity, the term "City" shall include the City of Agoura Hills, its officers, officials, employees, agents, and representatives. For the purpose of this indemnity, the term "challenge" means any legal or administrative action to dispute, contest, attack, set aside, limit, or modify the approval, project conditions, or any act upon which the approval is based, including, but not limited to, any action alleging a failure to comply with the California Environmental Quality Act or other laws.

PUBLIC WORKS AND ENGINEERING

18. Prior to Building Permit issuance applicant shall submit an Erosion and Sediment Control Plan (ESCP) for review by the Engineering Department. The ESCP shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled

during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.

BUILDING AND SAFETY DIVISION

Prior to permit issuance

19. All buildings and structures to be constructed or altered, or any change of use proposed as part of the Project shall be designed and constructed in accordance with all applicable regulations and standards of the City's Building Codes, Fire Code, and any related Building Standards Code in effect; and all other applicable provisions of the AHMC which are adopted and in effect at the time of application for a building permit.
20. All the code requirements for the Very High Fire Hazard Severity Zone (VHFHSZ) per amended Chapter 7A of the governing California Building Code or the amended Section R337 of the governing California Residential Code, Los Angeles County Fire Code, and Agoura Hills Municipal Code shall apply to this Project.
21. A soils report is required to be submitted for this project for review and shall be a part of the final construction plans.
22. A separate grading permit is required for this Project. Approval of the grading plan is required prior to the issuance of the building permits. May be deferred with Building Official's approval.
23. Los Angeles County Fire Department approval will be required prior to the issuance of building permits.
24. Las Virgenes Municipal Water District approval will be required prior to the issuance of building permits.

During Construction

25. Hours of construction shall be limited to the following: 7:00 AM to 7:00 PM Monday through Saturday, no work on Sundays and Holidays. All construction workers shall be respectful of the surrounding neighborhood and keep non-construction-related noise to a minimum prior to, during, and after permissible construction hours.
26. All staging and storage of construction equipment and materials, including the construction dumpster, shall be on-site only. The Property Owner must obtain written permission from adjacent property owners for any construction staging occurring on adjacent property.
27. Compliance with the following noise standards shall be required at all times:

- a) No construction equipment shall be operated without an exhaust muffler, and all such equipment shall have mufflers and sound control devices (i.e., intake silencers and noise shrouds) that are no less effective than those provided on the original equipment;
 - b) All construction equipment shall be properly maintained to minimize noise emissions;
 - c) If any construction vehicles are serviced at a location on site, the vehicle(s) shall be setback from any street and other property lines to maintain the greatest distance from the public right-of-way and Noise Sensitive Receptors;
 - d) Noise impacts from stationary sources (i.e., mechanical equipment, ventilators, and air conditioning units) shall be minimized by proper selection of equipment and the installation of acoustical shielding as approved by the Director of Community Development or/and the Building Official.
 - e) Stationary source equipment (i.e., compressors) shall be located to maintain the greatest distance from the public right-of-way and Noise Sensitive Receptors.
28. In the event multiple citations are issued in connection with the Project for violations of these Conditions of Approval or other violations of the AHMC, Project construction shall be stopped until such time that it is determined to the satisfaction of the Community Development Director, that causes of such violations have been eliminated or corrected and that the Project will be able to proceed in full compliance with these Conditions of Approval and the AHMC.

Prior to Building Permit Final

29. Successfully complete all required inspections as determined by the Building Official.
30. Obtain all approvals and sign-offs from other City Departments/Divisions and outside agencies.

LANDSCAPE

31. Final Landscape Plans shall substantially conform to the landscape plan prepared by EPTDESIGN submitted on March 27, 2024 (File: 30601 Agoura Rd_SPR Complete Set), as approved by the City of Agoura Hills Planning Commission.
32. Location and material of paved surfaces, accessory structures, walls and fences, landscape features and other site improvements shown on the Final Landscape Plans shall substantially conform to those shown on the plans approved by Planning Commission.
33. Prior to the approval of a grading or building permit, the applicant shall submit an electronic copy of Final Landscape Plans for review by the City Landscape

Consultant and approval by the Community Development Director. A California Landscape Architect with a current license shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans.

34. The Planting and Irrigation Plans shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code. Plans shall include Compliance Statements per State MWEL, California Code of Regulations Chapter 2.7 Model Water Efficient Landscape Ordinance §492.7(b)(6)&(7).
 - a. "I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the irrigation design plan"
 - b. Signature of the licensed landscape architect, certified irrigation designer, licensed landscape contractor, or any other person authorized to design an irrigation system
 - c. Completed and approved irrigation plans shall be submitted to Las Virgenes Municipal Water District.
35. At the time of the Final Landscape Plans submittal, the project Landscape Architect shall provide the City with written confirmation that the civil engineering drawings have been reviewed and that the Landscape Plan is not in conflict with the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID) .
36. Planting Plans shall indicate the botanical name, the plant container sizes and spacing. The minimum size of trees shall be fifteen (15) gallon. The minimum size of shrubs shall be five (5) gallons, except shrubs planted as groundcovers or as accent planting, may be one (1) gallon size. Plant sizes may be increased on some projects at the discretion of the Community Development Director. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
37. The Final Landscape Plans shall include the following:
 - a. A note stating that the project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans prior to final city inspection.
 - b. A table indicating the total square footage of the landscape area within the project.
38. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations

that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.

39. With the Final Landscape Plans, an electronic copy of plans, details, and specifications shall be provided, addressing, but not limited to, layout, planting, soil preparation, tree staking, guying, installation details and post installation maintenance.
40. The approved landscape shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
41. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
42. All planting areas shall receive a three (3) inch layer of coniferous bark mulch. Mulch to be kept away from tree and shrub crowns. Mulch areas to be dressed to present a clean uniform appearance when complete.
43. The Final Landscape Plan shall be approved by the Fuel Modification Unit of the County of Los Angeles Fire Department prior to the issuance of a building permit.
44. Landscape improvements, planting, and irrigation installation shall be subject to inspection and approval by the Planning Division prior to final building permit inspection.
45. Erosion control shall be applied to all planting areas on slopes greater than 4:1.
46. The final planting plan shall include native plants to cover at least 50% of the planting areas. Only 25% of the planting area may be designated as medium or high water use plantings, designations per the State Model Water Efficient Landscape Ordinance. Planting area statistics to be provided.
47. All planting areas to be planted with a mix of trees, groundcover and shrubs.
48. Plantings under existing oak trees and within the protected zone to be installed from four (4) inch size pots or smaller sizes at typical spacings. Care to be taken to avoid damage to existing oak tree roots. Planting to follow requirements as set forth by the City Oak Tree Consultant.
49. No irrigation shall be installed within the protected zone of an existing oak tree.

OAK TREE

50. Prior to the start of any work or mobilization at the site, a fencing plan shall be prepared in accordance with the City's Oak Tree Preservation Guidelines, Appendix A, Section V, "Standards for performance of required work", and submitted to the

- City for review and approval by the City's Oak Tree Consultant. The City's Oak Tree Consultant shall verify the installation of protective fencing prior to the start of construction activities.
51. The developer or landowner shall provide their consultant(s) with a 48-hour advance written notice before commencing any authorized work within the protected zone of oak trees.
 52. The developer or landowner shall notify the City in writing within five days of any changes to their oak preservation consultant(s) of record.
 53. On-site documentation. The following information must be located and permanently retained on the construction site at the start of grading operations. The superintendent will be required to call the department of planning and community development to request an inspection and to verify that the information is located on site.
 - a. Oak tree report—All present and proposed modifications.
 - b. Oak tree location map.
 - c. Oak tree fencing plan.
 - d. Oak tree permit and all present and future modifications.
 - e. Approved grading plans approved by the city engineer and oak tree consultant.
 - f. Stamped set approved by the department of planning and community development.
 - g. Permit and tract conditions: A copy of the approved permit and tract conditions, and all current and future modifications approved by the department of planning and community development.
 - h. Oak tree ordinance.
 - i. Oak tree preservation guidelines.
 - j. Approved planting and irrigation drawings.
 54. All conditions stated in City's Oak Tree Preservation Guidelines, Appendix A, Section V, "Standards for performance of required work" (pages 1048-1057), shall be implemented.
 55. In addition to the conditions within Section V of the City's Oak Tree Preservation Guidelines, all recommendations within the Oak Tree Report (Greeley, November 2023) shall be implemented.
 56. All work within the Protected Zone shall occur as described within the Oak Tree Report. No work within the Oak Trees' Protected Zone which is not described in the Oak Tree Report shall be permitted, unless the City is notified prior to and approves carrying out the change.
 57. All work conducted aboveground and/or belowground within the Protected Zone shall be performed in the presence of the applicant's oak tree consultant. The applicant's oak tree consultant shall submit certification letters for all work completed

within the Protected Zone of an oak tree within five working days of the completion of said work. The letter(s) shall describe all work performed, methods utilized, monitoring performed, whether such work was completed in accordance with the above conditions of approval, and any recommendations and mitigation or remediation measures.

58. No demolition and/or erosion controls that were not specified in the Oak Tree Report (Greeley, November 2023) may cause damage to the oak trees. Any gravel bags placed in the Protected Zone must be removed at the conclusion of construction. Any torn gravel bags/spilled gravel must be removed from the Protected Zone. The removal/demolition of existing structures may not involve the use of heavy machinery in the Protected Zone of oak trees, damage oak roots and/or branches, or otherwise cause soil compaction in the Protected Zone or damage any oak trees.
59. All work within the Protected Zone shall be accomplished with hand tools only.
60. The removal of the California Sycamore, southwest of the main building, shall not result in the use of heavy machinery within the Protected Zone of the oak trees or any other damage to the oak trees.
61. The stump of the California Sycamore shall remain after the removal of the tree. No stump grinding shall occur to preserve the root systems of the adjacent oak trees.
62. Any root cuts shall be treated with a City-approved compound before improvements are installed. No roots greater than three (3) inches in diameter may be cut without City approval.
63. All root pruning shall consist of clean cuts at a 45-degree angle with the cut surface facing downward.
64. All trees that have suffered root damage shall be fed City-approved nutrients to encourage new growth.
65. No grading, scarifying, or other soil disturbance shall be permitted within the portion of the Protected Zone of any oak tree that is not proposed to be removed or encroached.
66. No vehicles, equipment, materials, spoil or other items shall be used or placed within the Protected Zone of any oak tree at any time except as specifically required to complete the approved work.
67. No pruning of live wood of any size of an oak tree (including branches and roots) shall be permitted unless specifically authorized by the City Oak Tree Consultant and/or following an approved oak tree permit. Any authorized pruning shall be performed by a qualified arborist under the direct observation of the applicant's oak tree consultant. All pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning and the most recent edition of the International Society of Arboriculture Best Management Practices for Tree Pruning.

68. No metal headers shall be installed within the Protected Zone of oak trees.
69. Prior to the removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree within two weeks of the site inspection.
70. No irrigation shall be installed within the Protected Zone of any existing oak tree.
71. Only drought-tolerant plantings which are resistant to avocado root rot (*Phytophthora cinnamomi*) and oak root fungus (*Armillaria mella*) shall be allowed within the Protected Zone of the oak trees.
72. No plantings greater than four (4) inches in size shall be allowed within the Protected Zone of oak trees.
73. The installation of new plantings within the Protected Zone of oak trees shall not cause damage to any oak tree roots one (1) inch in diameter or larger.
74. No herbicide shall be used within 100-feet of the dripline of an oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
75. In the event that any oak tree dies or otherwise requires removal as a result of the project, replacement trees shall be planted onsite in accordance with the City's Municipal Code.
76. All oak trees located on the property, including any which may be planted in the future, shall be preserved in perpetuity.

SOLID WASTE MANAGEMENT

77. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 65% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
78. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or

construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

79. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

ATTACHMENT 2

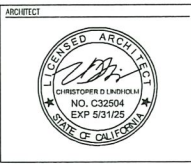
Project Plans

30601 AGOURA ROAD AGOURA HILLS, CA 91301



1511 E. ORANGETHORPE AVE, SUITE C
FULLERTON, CALIFORNIA 92831

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CLIENT/PROJECT LOCATION

30601 AGOURA ROAD
AGOURA HILLS, CA
91301

DATE	ISSUE NO.	DESCRIPTION	DATE
09/25/2023	1	ISSUED FOR SITE PLAN REVIEW	09/25/2023
11/16/2023	2	REVISIONS FOR SITE PLAN REVIEW	11/16/2023
12/22/2023	3	REVISIONS FOR SITE PLAN REVIEW	12/22/2023
	4	REVISIONS FOR SITE PLAN REVIEW	

DRAWING: TP CHECK: ET SCALE: N.T.S.
JOB NO:

TITLE: PROJECT INFORMATION
SHEET: AN-1.0

ABBREVIATIONS	SYMBOLS	SCOPE OF WORK	PROPERTY INFORMATION	SHEET INDEX
<p>IP A1 ACQUOTICAL CEILING TILE</p> <p>ADJ ADJUSTABLE ABOVE FINISH FLOOR</p> <p>AL ALUMINUM APPROXIMATE</p> <p>BD BOARD BUILDING</p> <p>CL CLEARING</p> <p>CLG CEILING</p> <p>COL COLUMN</p> <p>CONC CONCRETE CONTINUOUS</p> <p>CONT CONT.</p> <p>DBL DOUBLE</p> <p>DFT DETAIL</p> <p>DIA DIAMETER</p> <p>DN DOWN</p> <p>E EXISTING</p> <p>EA EACH</p> <p>EQ EQUAL</p> <p>FT FOOT ON FLEET</p> <p>GA GAUGE</p> <p>G.C. GENERAL CONTRACTOR</p> <p>GL GLASSGLAZING</p> <p>GYP GYPSUM</p> <p>HWK. HARDWARE</p> <p>H.M. HOLLOW METAL</p> <p>HT. HEIGHT</p> <p>INT INTERIOR</p> <p>MAX. MAXIMUM</p> <p>MIN. MINIMUM</p> <p>MIN. MINIMUM</p> <p>MIS. MISCELLANEOUS</p> <p>N NEW</p> <p>NC NOT IN CONTRACT</p> <p>NO OR # NUMBER</p> <p>NTS NOT TO SCALE</p> <p>O.C. ON CENTER</p> <p>OPP. OPPOSITE</p> <p>P. PAINT</p> <p>P.LAM PLASTIC LAMINATE</p> <p>REF. REFERENCE</p> <p>ROOM ROOM</p> <p>S.C. SOLID CORE</p> <p>SCHED. SCHEDULE</p> <p>SMA SIMILAR</p> <p>SPEC. SPECIFICATION</p> <p>SQ. SQUARE</p> <p>SS. STAINLESS STEEL</p> <p>STD. STANDARD</p> <p>STL. STEEL</p> <p>STOR. STORAGE</p> <p>TRK. TRUCK</p> <p>TRYP. TYPICAL</p> <p>U.O.N. UNLESS OTHERWISE NOTED</p> <p>V.C.1 VINYL COMPOSITION FLE</p> <p>VERT. VERTICAL</p> <p>WATER WATER</p> <p>W.C. WATER CLOSET</p> <p>WID. WOOD</p>	<p>ROOM ROOM TAG</p> <p>KEY NOTE</p> <p>SECTION REFERENCE</p> <p>VIEW NUMBER</p> <p>SHEET NUMBER</p> <p>DETAIL SECTION REFERENCE</p> <p>SHEET NUMBER</p> <p>ELEVATION</p> <p>SHEET NUMBER</p> <p>VIEW NUMBER</p> <p>DETAIL ON ENLARGED PLAN</p> <p>SHEET NUMBER</p> <p>REVISION CLOUD</p> <p>REVISION DELTA</p> <p>DELTA #</p> <p>DATUM</p> <p>ALIGN</p> <p>ALIGN</p> <p>DIMENSION</p> <p>NORTH ARROW</p>	<p>PARTIAL BUILDING EXTERIOR AND SITE UPGRADES TO INCLUDE: NEW BUILDING FACADE, RAISED WOOD DECK, AND NEW PLANTING AT BUILDING ENTRY.</p> <p style="text-align: center;">SITE LOCATION</p> <p style="text-align: center;">KEY PLAN</p>	<p>PROJECT ADDRESS 8081 AGOURA RD AGOURA HILLS, CA 91301</p> <p>PARCEL NUMBER 2061-002-076</p> <p>ZONING/LAND USE BR-M-F, BUSINESS PARK MANUFACTURING</p> <p>TYPE OF CONSTRUCTION V-B, FULL SPRINKLERED</p> <p>PROJECT AREA 18,310 SF</p> <p>TOTAL BUILDING FLOOR AREA 320,800 SF (160,400 SF - 1ST FLOOR + 160,390 SF - 2ND FLOOR)</p> <p>NUMBER OF FLOORS 2</p> <p style="text-align: center;">SITE INFORMATION</p> <p>SITE AREA 396,019 SF, 6.566 ACRES</p> <p>BUILDING AREA 46,600 SF</p> <p>SITE SETBACKS EXISTING FRONT SETBACK- 43.9'</p> <p>EXISTING REAR SETBACK- 41'</p> <p>EXISTING EAST SIDE SETBACK- 52.7', EXISTING WEST SIDE SETBACK- 303'</p> <p>BUILDING HEIGHT EXISTING HEIGHT 37'-0"</p> <p>EXISTING LANDSCAPE AREA (TOTAL) 58,263 SF</p> <p>PROPOSED DECK AREA 3,046 SF (DECK AND STEPS)</p> <p>PROPOSED LANDSCAPE AREA (MINIMUM OF 57,203 SF)</p> <p>REIMPOSED LANDSCAPE AREA 8,181 SF</p> <p>EXISTING AMENITY SPACE 573 SF</p> <p>PROPOSED AMENITY SPACE 1,620 SF</p> <p>PARKING STALL COUNT 423 TOTAL, 423 STANDARD AND 0 ADA</p> <p>BIKE PARKING COUNT 7 BIKES</p>	<p>ARCHITECTURAL</p> <p>AN-1.0 COVER SHEET/ PROJECT INFORMATION</p> <p>AN-2.0 GENERAL NOTES & SPECIFICATIONS</p> <p>AN-3.0 SITE PLAN - EXISTING</p> <p>AN-5.1 EXISTING SITE PHOTOS</p> <p>AN-5.2 EXISTING SITE PHOTOS</p> <p>AN-5.3 SITE PLAN - PROPOSED</p> <p>AN-5.4 SITE PLAN - PROPOSED ENLARGED</p> <p>AN-6.0 PLANS</p> <p>A-2.0 EXTERIOR ELEVATIONS</p> <p>A-2.1 EXTERIOR ELEVATIONS</p> <p>CIVIL</p> <p>5 TIRE SHEET</p> <p>2 DEMOLITION + EROSION CONTROL PLAN</p> <p>3 GRADING PLAN</p> <p>4 DETAILS SHEET</p> <p>LANDSCAPE</p> <p>LL-1.0 TREE REMOVAL AND PROTECTION PLAN</p> <p>LL-2.0 CONSTRUCTION SCHEDULES & NOTICES</p> <p>LL-3.0 CONSTRUCTION PLAN</p> <p>LL-3.0 CONSTRUCTION PLAN</p> <p>LL-3.0 CONSTRUCTION PLAN</p> <p>LL-3.0 CONSTRUCTION PLAN</p> <p>LL-4.1 SITE SECTION</p> <p>LL-5.2 CONSTRUCTION DETAILS</p> <p>LL-5.2 CONSTRUCTION DETAILS</p> <p>LL-5.3 PLANTING SCHEDULES & NOTES</p> <p>LL-5.0 PLANTING PLAN</p> <p>LL-5.0 PLANTING PLAN</p> <p>LL-5.0 PLANTING PLAN</p> <p>LL-5.1 PLANTING DETAILS</p> <p>LL-5.1 PLANTING DETAILS</p> <p>STRUCTURAL</p> <p>S0.1 STRUCTURAL NOTES</p> <p>S1.0 DECK FRAMING PLANS</p> <p>S2.0 DETAILS</p> <p>SHADE STRUCTURE</p> <p>1 OF 2 SHADE STRUCTURE PLANS AND ELEVATIONS</p> <p>2 OF 2 SHADE STRUCTURE DETAILS</p>
	<p style="text-align: center;">CODE SUMMARY</p> <ul style="list-style-type: none"> 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS 2022 ACCESSIBILITY CODE ALL CITY LOCAL CODES AND AMENDMENTS 		<p style="text-align: center;">PROJECT DIRECTORY</p> <p>CLIENT</p> <p>BARBON ASSOCIATES 200 PINE AVE, SUITE 502 LONG BEACH, CA 90802</p> <p>ARCHITECT</p> <p>ONE NINE ARCHITECTURE 1511 E. ORANGETHORPE AVE, SUITE C FULLERTON, CA 92831</p> <p>PROJECT MANAGER</p> <p>FRAN TORRES (PROJECT MANAGER) TEL: (949) 238-4821 E: TORRES@ONENINEARCH.COM</p> <p>CIVIL ENGINEER</p> <p>ADAMS STREET CIVIL ENGINEERS 20755 N.W. MARLAN AVE, SUITE 200 IRVINE, CA 92606</p> <p>MECHANICAL ENGINEER</p> <p>ANGELO MONTEMAYOR, PE TEL: (949) 505-4000 AMONTEMAYOR@ADAMS-STREET.COM</p> <p>LANDSCAPE ARCHITECT</p> <p>ERIK DELSON 14988 SAND CANYON AVE, #9 IRVINE, CA</p> <p>SHADE ENGINEER</p> <p>VENN KENNEDY TEL: (949) 424-2310 AKENNEDY@VKTDESIGN.COM</p>	

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 130, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

PUBLIC UTILITIES / SERVICES

WATER: LAS VIRGENES MUNICIPAL WATER DISTRICT
4222 LAS VIRGENES ROAD
CALABASAS, CA 91307
(818) 890-4110

ELECTRICAL: SOUTHERN CALIFORNIA EDISON
3589 FOOT HILL DRIVE
THOUSAND OAKS, CA 91361
(805) 494-7016

TELEPHONE: SBC (PAC BELL)
18201 BAYVIEW STREET, #115
VAN NUYS, CA 91406
(818) 373-6889

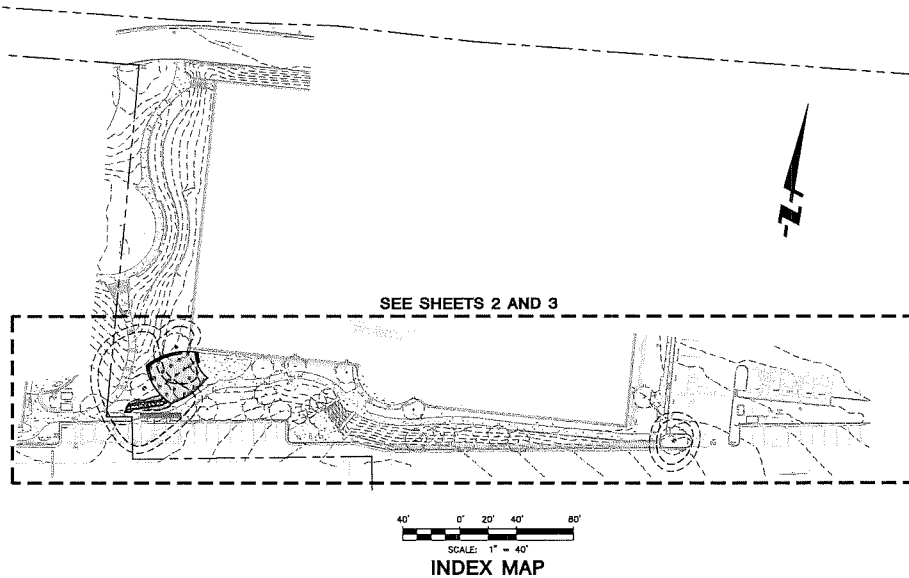
GAS: SOUTHERN CALIFORNIA GAS
8400 CAROLINE AVENUE
CHATS WORTH, CA 91313
(818) 701-3224

SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1000 S. FREMONT AVENUE, BLDG 68 EAST
ALHAMBRA, CA 91803
(626) 300-3308

CABLE: ADELPHA
2323 TELLER ROAD
NEWBURY PARK, CA 91320
(805) 375-5213

CABLE: CHARTER COMMUNICATIONS
3900 CROSSCREEK ROAD
MALIBU, CA 90265
(310) 456-5010

CALTRANS: CALTRANS
5660 REYESDA BOULEVARD
TARZANA, CA 91356
(805) 288-1426



INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ON-SITE POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC, "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 597-7350, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	DEMOLITION & EROSION CONTROL PLAN
3	GRADING PLAN
4	DETAIL SHEET

ESTIMATED EARTHWORK QUANTITIES			
ESTIMATED CUT:	0.00	CY	ESTIMATED EXPORT: _____ CY
ESTIMATED FILL:	3.60	CY	ESTIMATED IMPORT: 3.80
ESTIMATED OVER-EXCAVATION:	_____	CY	

BENCHMARK:		
DESCRIPTION: BM NO. DYL1279	ELEVATION: 856.185	SURVEY DATE: 10/4/2022

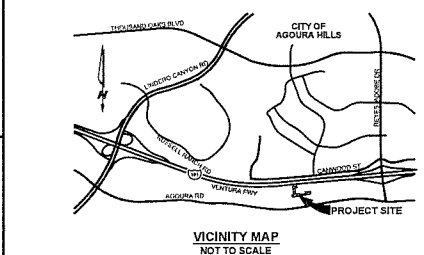
RECORD DRAWING STATEMENT			
I, FELIX GONZALEZ, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. 1 THROUGH 4, MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.			
REGISTERED CIVIL ENGINEER	DATE	RCE NO.	EXP. DATE

SOILS APPROVAL			
THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____			
REGISTERED GEOLOGIST	DATE	RCE NO.	EXP. DATE
REGISTERED GEOTECHNICAL ENGINEER	DATE	RCE NO.	EXP. DATE

OWNER	
NAME: HARBOR ASSOCIATES	ADDRESS: 250 PINE AVE, SUITE 502, LONG BEACH, CA 90802
REPRESENTATIVE: RICH MCENVOY	TELEPHONE: 562-215-4649

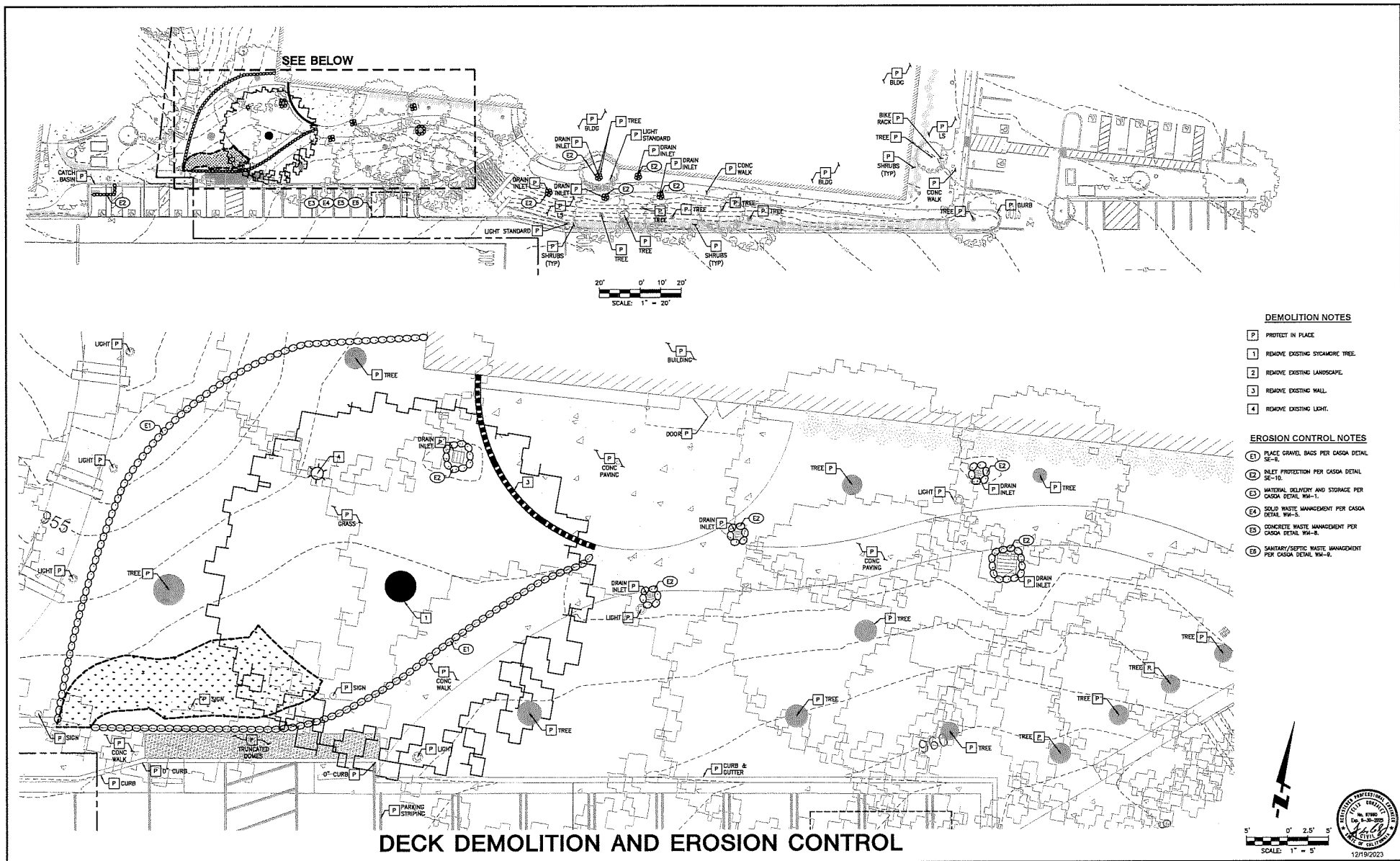
CIVIL ENGINEER	
NAME: ADAMS-STREETER CIVIL ENGINEERS	ADDRESS: 16753 VON KARMAN AVE, SUITE 150, IRVINE, CA 92606
REPRESENTATIVE: FELIX GONZALEZ	TELEPHONE: 949-474-2330

GEOTECHNICAL ENGINEER	
NAME:	ADDRESS:
REPRESENTATIVE:	TELEPHONE:



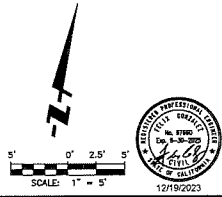
REVISION #		SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY: ADAMS STREETER Civil Engineers 3025 Von Karmann Ave, Suite 150, Irvine, CA 92606 (949) 474-2330	CITY OF AGOURA HILLS APPROVAL		
FELIX GONZALEZ, RCE 67660		12/19/2023	PROJECT ENGINEER	DATE	JESSICA FORTE, P.E. CITY ENGINEER	80486	3/31/25		

TITLE SHEET	
30601 AGOURA ROAD	
SHEET 1 OF 4	



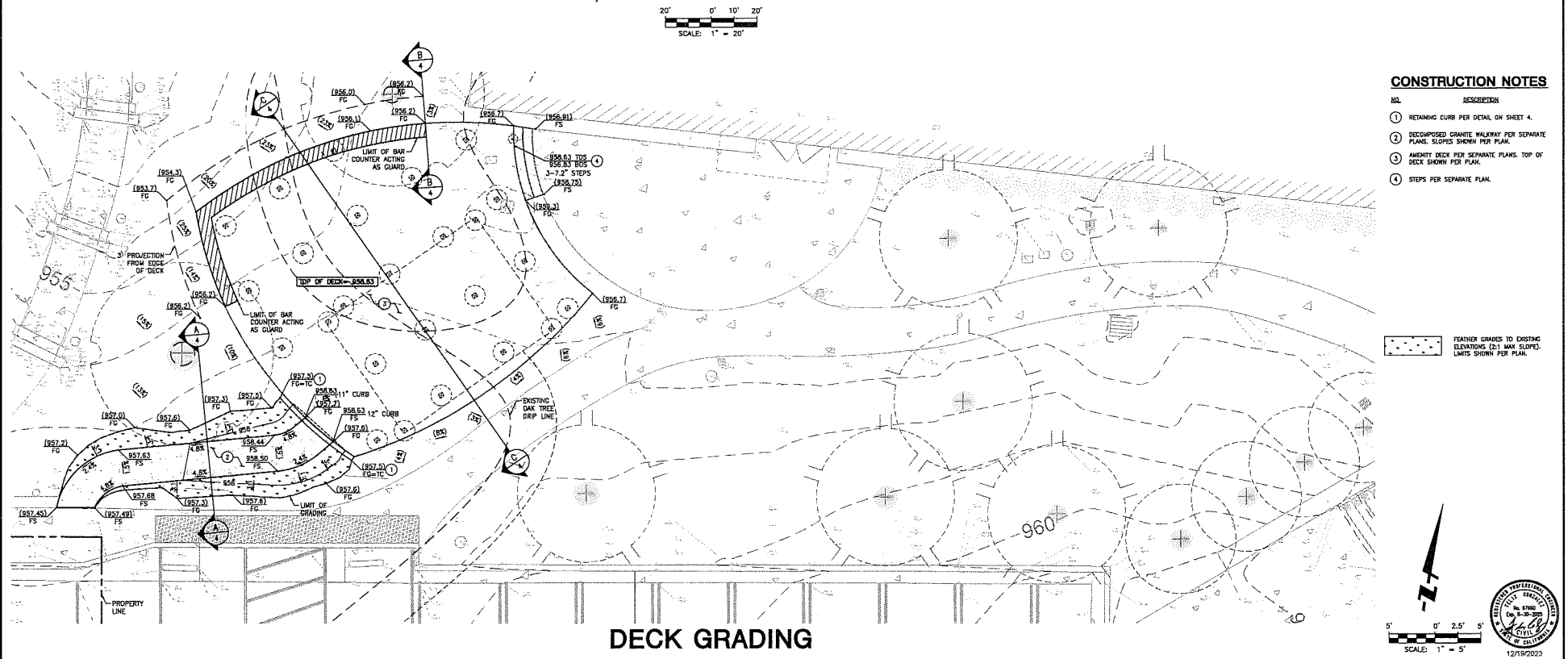
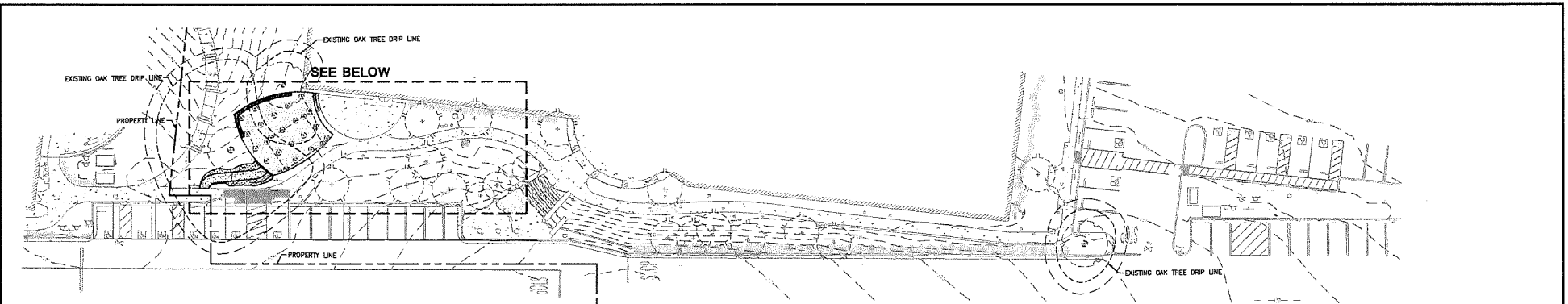
- DEMOLITION NOTES**
- P PROTECT IN PLACE
 - 1 REMOVE EXISTING SYCAMORE TREE
 - 2 REMOVE EXISTING LANDSCAPE
 - 3 REMOVE EXISTING WALL
 - 4 REMOVE EXISTING LIGHT

- EROSION CONTROL NOTES**
- E1 PLACE GRAVEL BAIS PER CASDA DETAIL SE-6
 - E2 INLET PROTECTION PER CASDA DETAIL SE-10
 - E3 MATERIAL DELIVERY AND STORAGE PER CASDA DETAIL WM-1
 - E4 SOLID WASTE MANAGEMENT PER CASDA DETAIL WM-3
 - E5 CONCRETE WASTE MANAGEMENT PER CASDA DETAIL WM-6
 - E6 SANITARY/SITE WASTE MANAGEMENT PER CASDA DETAIL WM-8



DECK DEMOLITION AND EROSION CONTROL

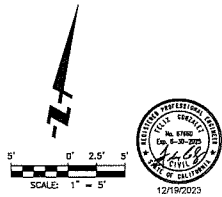
REVISION #		SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY ADAMS STREETER Civil Engineers <small>2750 W. Alhambra, Suite 200 (at 60th St) Agoura Hills, CA 91301</small>	CITY OF AGOURA HILLS APPROVAL			DEMOLITION & EROSION CONTROL PLAN 30601 AGOURA ROAD SHEET 2 OF 4
						PROJECT ENGINEER FELIX GONZALEZ, RCE 67660 DATE 12/19/2023	REVIEWED BY DATE JESSICA FORTE, P.E. CITY ENGINEER	DATE 04/06 RCE NO. 33125 EXP DATE		



CONSTRUCTION NOTES

- | NO. | DESCRIPTION |
|-----|---|
| 1 | RETAINING CURB PER DETAIL ON SHEET 4. |
| 2 | DECOMPOSED GRANITE WALKWAY PER SEPARATE PLANS. SLOPES SHOWN PER PLAN. |
| 3 | AMOUNT DECK PER SEPARATE PLANS. TOP OF DECK SHOWN PER PLAN. |
| 4 | STEPS PER SEPARATE PLAN. |

FEATHER GRADIES TO EXISTING ELEVATIONS @ 2% MAX SLOPES. LIMITS SHOWN PER PLAN.



DECK GRADING

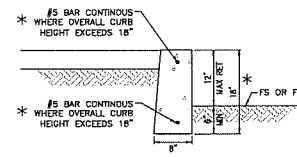
PREPARED BY: ADAMS STREETER civil Engineers 10155 Van Nuys, Suite 100, Van Nuys, CA 91411 (818) 709-2200 FELIX GONZALEZ, RCE #7660 12/19/2023 PROJECT ENGINEER DATE	CITY OF AGOURA HILLS APPROVAL REVIEWED BY: _____ DATE _____ JESSICA FORTE, P.E. 3/1/25 CITY ENGINEER RCE NO. EXP DATE
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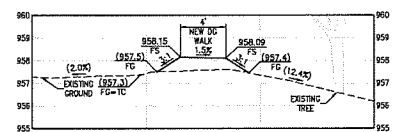
GRADING PLAN
30601 AGOURA ROAD

SHEET 3 OF 4

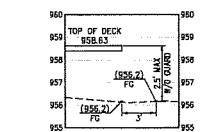
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE



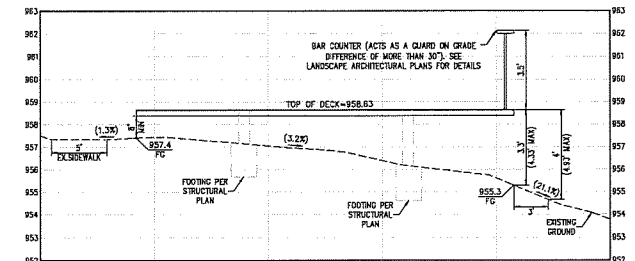
1 RETAINING CURB
NOT TO SCALE



A SECTION A
NOT TO SCALE



B SECTION B
NOT TO SCALE



C SECTION C
NOT TO SCALE



12/19/2023

PREPARED BY
ADAMS STREETER
Civil Engineers
2153 Van Nuys Street, Suite 200, Van Nuys, CA 91411 (818) 708-1234

PROJECT ENGINEER: FELIX GONZALEZ, RCE 67660 DATE: 12/19/2023

CITY OF AGOURA HILLS APPROVAL

REVIEWED BY: _____ DATE: _____

JESSICA FORTE, P.E. DATE: _____
CITY ENGINEER

RCE NO. 80486 EXP. DATE 3/01/25



DETAILS SHEET
30601 AGOURA ROAD

SHEET 4 OF 4

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

B. REQUIRED REPORTS:

1. A SOILS INSPECTION REPORT, SIGNED, STAMPED AND DATED BY THE GEOTECHNICAL ENGINEER OR RECORD, SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO THE CONTRACTOR REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION OR THE PLACEMENT OF FOUNDATION CONCRETE. THE REPORT SHALL STATE THAT:
 - A. THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE SOILS REPORT.
 - B. THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED AND COMPACTED.
 - C. THE FOUNDATION EXCAVATIONS COMPLY WITH THE INTENT OF THE SOILS REPORT.
2. THE SPECIAL INSPECTION AGENCY SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSE TO BE CHANGE.
3. SPECIAL INSPECTION REPORTS SHALL INDICATE WHETHER THE WORK INSPECTED WAS OR WAS NOT PERFORMED IN CONFORMANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.
4. THE CONSTRUCTION MATERIALS TESTING AGENCY SHALL FURNISH REPORTS TO THE BUILDING OFFICIAL AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSE TO BE CHANGE.
5. MATERIAL TESTING REPORTS SHALL INDICATE WHETHER THE TESTED MATERIALS COMPLY OR DO NOT CONFORM, TO THE REQUIREMENTS OF THE APPROVED CONSTRUCTION DOCUMENTS.
6. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION.
7. IF DISCREPANCIES ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSE TO BE CHANGE PRIOR TO COMPLETION OF THAT PHASE OF WORK.
8. A FINAL REPORT DOCUMENTING THE REQUIRED SPECIAL INSPECTIONS, MATERIAL TESTING AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED AT A POINT IN THE AGREED UPON PHASE OF THE START OF WORK, BY THE PERMIT APPLICANT AND THE BUILDING OFFICIAL.

C. CONTINUOUS AND PERIODIC SPECIAL INSPECTIONS:

1. WHERE CONTINUOUS SPECIAL INSPECTION IS REQUIRED, THE SPECIAL INSPECTOR SHALL CONTINUOUSLY PROVIDE FULL-TIME INSPECTION OF THE WORK.
2. WHERE PERIODIC SPECIAL INSPECTION IS REQUIRED, THE SPECIAL INSPECTOR NEED NOT BE CONTINUOUSLY PRESENT DURING THE WORK WHERE PERIODIC INSPECTION IS INDICATED. AS A MINIMUM, PERIODIC SPECIAL INSPECTION SHALL OCCUR DAILY.

D. OFF-SITE FABRICATION:

1. SPECIAL INSPECTION AND TESTING IS REQUIRED FOR THE OFF-SITE FABRICATION OF STRUCTURAL LOAD-BEARING OR LATERAL LOAD RESISTING MEMBERS AND ASSEMBLIES, UNLESS THE FABRICATION IS PERFORMED BY AN APPROVED FABRICATOR.
2. AN APPLICATION FOR OFF-SITE FABRICATION MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL PRIOR TO COMMENCING ANY FABRICATION WORK REQUIRING SPECIAL INSPECTION OR TESTING.
3. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE SUBMITTED BY THE FABRICATOR TO THE SPECIAL INSPECTOR OR TESTING AGENCY PRIOR TO FABRICATION AND SUBMITTED TO THE BUILDING OFFICIAL PRIOR TO ERECTION OF PRELIMINARY COMPONENTS.
4. SPECIAL INSPECTION SHALL INCLUDE VERIFICATION THAT THE FABRICATOR MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES THAT PROVIDE A BASIS FOR INSPECTION CONTROL AND RECORD-KEEPING AND THE FABRICATOR'S ABILITY TO CONFORM TO THE APPROVED CONSTRUCTION DOCUMENTS AND REFERENCED STANDARDS.
5. SPECIAL INSPECTION SHALL INCLUDE REVIEW OF THE PROCEDURES FOR COMPLETION AND ADEQUACY RELATIVE TO THE REQUIREMENTS OF THE BUILDING CODE.

STATEMENT OF SPECIAL INSPECTIONS AND TESTING

RESPONSIBILITY FOR SPECIAL INSPECTIONS AND TESTING	GENERAL	SEISMIC	SEISMIC	SEISMIC
POST-INSTALLED ANCHORS				
PRECAST CONCRETE WITH POST-TENSIONING				
PRECAST CONCRETE WITH POST-TENSIONING				
PRECAST CONCRETE WITH POST-TENSIONING				

FOOTNOTES FOR STATEMENT OF SPECIAL INSPECTIONS:

1. SPECIAL INSPECTION FOR POST-INSTALLED ANCHORS SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED IN THE EVALUATION APPROVAL FOR THE SPECIFIC PRODUCT.
2. THE OWNER OR OWNER'S AGENT, OTHER THAN THE CONTRACTOR, SHALL EMPLOY SPECIAL INSPECTION AND TESTING AGENCIES TO PROVIDE INSPECTION DURING CONSTRUCTION ON THE TYPES OF WORK LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS.
3. SPECIAL INSPECTION SHALL BE PERFORMED IN ADDITION TO INSPECTION BY THE BUILDING OFFICIAL AS REQUIRED IN SECTION 19.0 OF THE BUILDING CODE. SPECIAL INSPECTION SHALL NOT BE A SUBSTITUTE FOR INSPECTION BY THE BUILDING OFFICIAL.
4. WHEN WORK IN MORE THAN ONE CATEGORY OF WORK REQUIRING SPECIAL INSPECTION OR TESTING IS TO BE PERFORMED SIMULTANEOUSLY, OR THE GEOGRAPHIC LOCATION OF THE WORK IS SUCH THAT IT CANNOT BE OBSERVED IN ACCORDANCE WITH THE STATEMENT OF SPECIAL INSPECTIONS AND SECTION 19.0 OF THE BUILDING CODE, IT SHALL BE THE SPECIAL INSPECTION AGENCY'S RESPONSIBILITY TO EMPLOY SUFFICIENT NUMBER OF INSPECTORS TO ASSURE THAT THE REQUIRED WORK IS INSPECTED.
5. THE SPECIAL INSPECTION AGENCY SHALL BE APPROVED BY THE BUILDING OFFICIAL FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR FABRICATION REQUIRING SPECIAL INSPECTION.
 - A. SOILS INSPECTIONS SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER OR RECORD.
 - B. SMOKE CONTROL SYSTEM INSPECTIONS SHALL BE PERFORMED BY THE MECHANICAL ENGINEER OF RECORD.
 - C. WHEN THIS REQUIREMENT FOR AGENCY APPROVAL IS TRAVES BY THE BUILDING OFFICIAL.
6. PRIOR TO THE START OF CONSTRUCTION, THE SPECIAL INSPECTION AND TESTING AGENCIES SHALL SUBMIT DOCUMENTATION TO THE BUILDING OFFICIAL DEMONSTRATING THE EXPERIENCE AND QUALIFICATIONS OF THE PERSONNEL WHO WILL PERFORM THE SPECIAL INSPECTIONS AND TESTS DURING CONSTRUCTION.
7. EACH CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION OF THE MAIN WIND OR SEISMIC-RESISTING SYSTEM, OF DESIGNATED SEISMIC SYSTEM, OR OTHER SEISMIC RESISTING SYSTEM. SPECIAL INSPECTIONS SHALL BE PERFORMED BY THE CONTRACTOR OR OTHER SPECIAL INSPECTOR. SPECIAL INSPECTIONS SHALL SUBMIT A STATEMENT OF RESPONSIBILITY TO THE OWNER OR OWNER'S AGENT, OTHER THAN THE CONTRACTOR, PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR'S STATEMENT OF RESPONSIBILITY SHALL CONTAIN A NON-DELEGATION OF RESPONSIBILITY TO THE SPECIAL INSPECTION AGENCY. SPECIAL INSPECTION AGENCY'S STATEMENT OF RESPONSIBILITY SHALL BE CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND TESTING.
8. THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE SPECIAL INSPECTION OR TESTING AGENCIES AT LEAST ONE WORKING DAY PRIOR TO PERFORMING WORK THAT REQUIRES SPECIAL INSPECTION OR TESTING.
9. WORK REQUIRING SPECIAL INSPECTION OR TESTING THAT IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL IS SUBJECT TO REMOVAL OR EXPOSURE AT THE CONTRACTOR'S EXPENSE.

1. BOLT HOLES SHALL BE PRE-DRILLED WHERE NECESSARY TO PREVENT SPLITTING.
2. BOLTS AND LAG SCREWS SHALL HAVE A MIN. 0.005" DISTANCE TO THE END OF THE MEMBER AND 1.0 DIA. MIN. DISTANCE TO THE EDGE OF THE MEMBER. U OR B.
3. BOLT HOLES IN WOOD SHALL BE DRILLED 1/32" IN DIAMETER LARGER THAN THE NOMINAL BOLT DIAMETER.
4. LAG SCREWS SHALL BE PRE-DRILLED TO A DIAMETER OF 90 TO 95 PERCENT OF THE SHAFT DIAMETER. LAG SCREWS SHALL BE INSTALLED BY TURNING WITH A WRENCH. TURNING OF LAG SCREWS IS PROHIBITED.
5. BOLT AND LAG SCREW HEADS AND NUTS AGAINST WOOD SHALL BE INSTALLED WITH STANDARD OUT WASHERS AGAINST THE WOOD. U OR B.
6. FASTENERS, INCLUDING WALLS, SCREWS, BOLTS, LAG BOLTS, NUTS AND WASHERS IN CONTACT WITH PRESERVATIVE-TREATED LUMBER SHALL BE GALVANIZED.
7. BEAMS, JOISTS, RAFTERS, ETC. SHALL BE INSTALLED WITH THE CROWN SIDE UP.
8. JOISTS, HEADERS, BEAMS, AND RAFTERS SHALL HAVE A MINIMUM SOULD LEVEL BEARING OF 1.5 INCHES AT EACH END. U OR B.
9. FULL-HEIGHT BRIDGING FOR JOISTS SHALL COMPLY WITH SECTION 2304.4.2.3 OF THE BUILDING CODE. U OR B.
10. DOWN FLOOR JOISTS SHALL BE LOCATED UNDER PARALLEL PARTITIONS. U OR B.
11. CUTTING, NOTCHING OR DRILLING OF JOISTS OR RAFTERS SHALL BE PERMITTED ONLY AS STATED OR APPROVED IN WRITING BY THE ENGINEER AND SHALL COMPLY WITH SECTION 2304.4.2.4 OF THE BUILDING CODE. U OR B.
12. CUTTING, NOTCHING OR DRILLING OF BEAMS OR PLAINS SHALL BE PERMITTED ONLY AS STATED OR APPROVED IN WRITING BY THE ENGINEER.
13. CUTS AND HOLES IN PRESSURE-TREATED LUMBER SHALL BE TREATED PER ALPHA B-B.
14. POST-INSTALLED ADHESIVE ANCHORS:
 1. SPECIAL INSPECTION AND TESTING IS REQUIRED IN ACCORDANCE WITH SECTIONS 19.04 AND 19.05 OF THE BUILDING CODE AND THE STATEMENT OF SPECIAL INSPECTIONS FOR THESE CONSTRUCTION DOCUMENTS.
 2. ADHESIVE ANCHOR INSTALLERS SHALL BE TRAINED BY A QUALIFIED REPRESENTATIVE OF THE ADHESIVE MANUFACTURER ON THE PROPER APPLICATION AND TECHNIQUE FOR INSTALLING ANCHORS TO THE JOBSITE.
 3. ADHESIVE SHALL BE STORED ON THE JOBSITE IN A COOL, DRY LOCATION IN CONFORMANCE WITH THE MANUFACTURER'S REQUIREMENTS.
 4. ADHESIVE ANCHORS FOR INSTALLATION IN SOLID NOMINAL-HEIGHT CONCRETE SHALL BE TESTED IN WRITING BY THE ENGINEER AND SHALL CARRY AN EVALUATION APPROVAL THAT IS BASED ON TESTING IN ACCORDANCE WITH THE ACCEPTANCE CRITERIA FOR ANCHORS APPROVED BY THE ENGINEER IN WRITING PRIOR TO DELIVERY TO THE JOBSITE.
 5. ANCHORS SHALL BE OF THE TYPE, DIAMETER, AND MINIMUM DIMENSIONAL REQUIREMENTS (EMBEDMENT, SPACING AND EDGE DISTANCES) AS INDICATED ON THE DRAWINGS.
 6. ANCHORS SHALL BE INSTALLED IN HOLES DRILLED WITH DRILLING EQUIPMENT THAT SHALL BE TESTED IN WRITING BY THE ENGINEER AND SHALL CARRY AN EVALUATION APPROVAL THAT IS BASED ON TESTING IN ACCORDANCE WITH THE ACCEPTANCE CRITERIA FOR ANCHORS APPROVED BY THE ENGINEER IN WRITING PRIOR TO DELIVERY TO THE JOBSITE.
 7. WHEN INSTALLING ANCHORS IN EXISTING REINFORCED CONCRETE OR MASONRY, AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS.

SPECIAL INSPECTION AND TESTING PROGRAM

- A. GENERAL:**
1. NOTICE TO THE APPLICANT, OWNER, OWNER'S AGENT, ARCHITECT OR ENGINEER OF RECORD: BY USING THESE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION OR INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION FOR INSTALLING COMPONENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND AS REQUIRED BY CALIFORNIA CONSTRUCTION CODES.
 2. NOTICE TO THE CONTRACTOR, BALDWIN, INSTALLER, SUBCONTRACTOR OR OWNER-BUILDER: BY USING THESE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION OR INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE THAT YOU ARE AWARE OF THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING OFFICIAL FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND AS REQUIRED BY CALIFORNIA CONSTRUCTION CODES.
 3. THE OWNER OR OWNER'S AGENT, OTHER THAN THE CONTRACTOR, SHALL EMPLOY SPECIAL INSPECTION AND TESTING AGENCIES TO PROVIDE INSPECTION DURING CONSTRUCTION ON THE TYPES OF WORK LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS.
 4. SPECIAL INSPECTION SHALL BE PERFORMED IN ADDITION TO INSPECTION BY THE BUILDING OFFICIAL AS REQUIRED IN SECTION 19.0 OF THE BUILDING CODE. SPECIAL INSPECTION SHALL NOT BE A SUBSTITUTE FOR INSPECTION BY THE BUILDING OFFICIAL.
 5. WHEN WORK IN MORE THAN ONE CATEGORY OF WORK REQUIRING SPECIAL INSPECTION OR TESTING IS TO BE PERFORMED SIMULTANEOUSLY, OR THE GEOGRAPHIC LOCATION OF THE WORK IS SUCH THAT IT CANNOT BE OBSERVED IN ACCORDANCE WITH THE STATEMENT OF SPECIAL INSPECTIONS AND SECTION 19.0 OF THE BUILDING CODE, IT SHALL BE THE SPECIAL INSPECTION AGENCY'S RESPONSIBILITY TO EMPLOY SUFFICIENT NUMBER OF INSPECTORS TO ASSURE THAT THE REQUIRED WORK IS INSPECTED.
 6. THE SPECIAL INSPECTION AGENCY SHALL BE APPROVED BY THE BUILDING OFFICIAL FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR FABRICATION REQUIRING SPECIAL INSPECTION.
 - A. SOILS INSPECTIONS SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER OR RECORD.
 - B. SMOKE CONTROL SYSTEM INSPECTIONS SHALL BE PERFORMED BY THE MECHANICAL ENGINEER OF RECORD.
 - C. WHEN THIS REQUIREMENT FOR AGENCY APPROVAL IS TRAVES BY THE BUILDING OFFICIAL.
 7. PRIOR TO THE START OF CONSTRUCTION, THE SPECIAL INSPECTION AND TESTING AGENCIES SHALL SUBMIT DOCUMENTATION TO THE BUILDING OFFICIAL DEMONSTRATING THE EXPERIENCE AND QUALIFICATIONS OF THE PERSONNEL WHO WILL PERFORM THE SPECIAL INSPECTIONS AND TESTS DURING CONSTRUCTION.
 8. EACH CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION OF THE MAIN WIND OR SEISMIC-RESISTING SYSTEM, OF DESIGNATED SEISMIC SYSTEM, OR OTHER SEISMIC RESISTING SYSTEM. SPECIAL INSPECTIONS SHALL BE PERFORMED BY THE CONTRACTOR OR OTHER SPECIAL INSPECTOR. SPECIAL INSPECTIONS SHALL SUBMIT A STATEMENT OF RESPONSIBILITY TO THE OWNER OR OWNER'S AGENT, OTHER THAN THE CONTRACTOR, PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR'S STATEMENT OF RESPONSIBILITY SHALL CONTAIN A NON-DELEGATION OF RESPONSIBILITY TO THE SPECIAL INSPECTION AGENCY. SPECIAL INSPECTION AGENCY'S STATEMENT OF RESPONSIBILITY SHALL BE CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND TESTING.
 9. THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE SPECIAL INSPECTION OR TESTING AGENCIES AT LEAST ONE WORKING DAY PRIOR TO PERFORMING WORK THAT REQUIRES SPECIAL INSPECTION OR TESTING.
 10. WORK REQUIRING SPECIAL INSPECTION OR TESTING THAT IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL IS SUBJECT TO REMOVAL OR EXPOSURE AT THE CONTRACTOR'S EXPENSE.

2. IF THE BUILDING OFFICIAL'S REPORTS FULL MATERIAL EXPANSIVE SOIL OR GEOTECHNICAL INSTABILITY UPON OBSERVATION OF THE FOUNDATION EXCAVATIONS, A GEOLOGICAL INVESTIGATION REPORT AND CONSTRUCTION DRAWINGS THAT ARE COMPLIANT WITH THE RECOMMENDATIONS OF THAT GEOLOGICAL INVESTIGATION REPORT MAY BE REQUIRED TO BE SUBMITTED FOR REVIEW BY THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION OF THE FOUNDATION.
 3. SPECIAL INSPECTION AND TESTING IS REQUIRED IN ACCORDANCE WITH SECTIONS 19.04 AND 19.05 OF THE BUILDING CODE AND THE STATEMENT OF SPECIAL INSPECTIONS ON THESE CONSTRUCTION DOCUMENTS.
 4. THE MAXIMUM ALLOWABLE SOIL BEARING CAPACITY SHALL BE 1500 PSF. THE RESULTING ALLOWABLE SOIL BEARING VALUE MAY BE INCREASED BY 10% FOR WIND AND SEISMIC LOAD CASES.
 5. FOOTING AND UTILITY TRENCH BACKFILL SHALL BE MECHANICALLY COMPACTED AND WATER REDUCED TO THE SATURATION OF THE GEOTECHNICAL ENGINEER. FLOORING WILL NOT BE PERMITTED.
 6. ANCHOR BOLTS, ROSELS AND HOLD-DOWN ANCHORS SHALL BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.
- B. REINFORCING STEEL:**
1. DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS SHALL BE PERFORMED IN ACCORDANCE WITH ACI 318R, "GUIDE TO PRECASTING REINFORCING STEEL DESIGN DETAILS".
 2. SPECIAL INSPECTION AND TESTING IS REQUIRED IN ACCORDANCE WITH SECTIONS 19.04 AND 19.05 OF THE BUILDING CODE AND THE STATEMENT OF SPECIAL INSPECTIONS ON THESE CONSTRUCTION DOCUMENTS.
 3. REINFORCING BARS SHALL CONFORM TO ASTM A 615, GRADE 60, U OR B.
 4. REINFORCING BARS FOR SLABS SHALL BE CLASS B (111-BM) FOR CONCRETE. U OR B.
 5. DETAILS OF REINFORCEMENT SHALL COMPLY WITH THE PROVISIONS OF ACI 318.
 6. WHERE FLOORS ARE ILLUSTRATED AS 90 DEGREE HOOPS 180-DEGREE HOOPS MAY BE USED IN A LEH OF 90-DEGREE HOOPS.
 7. WHERE CONVENTIONAL STRIPS, TIES, JOISTS OR CROSS-TIES ARE ILLUSTRATED, TRANSVERSE REINFORCEMENT MAY BE SUBSTITUTED, PROVIDED THAT:
 - A. THE REINFORCING IS PROVIDED ON PROPER CONSOLIDATION OF CONCRETE.
 - B. WHERE WELDING IS USED FOR TRANSVERSE REINFORCING AND C. WHERE FUSED WELD HOLDING WIRES ARE USED, THEY SHALL BE 5/8 INCH DIA. OR LARGER.
 8. REINFORCING BARS FOR CONCRETE SHALL BE PROVIDED WITH THE FOLLOWING MINIMUM COVER:

CONC. CAST AGAINST EARTH	3"
FORMED CONCR. EXPOSED TO EARTH / WEATHER	1-1/2"
AS OR SMALLER	1-1/2"
SLABS (111 AND SMALLER)	3/4"
BEAMS & GIRDERS	2-1/2"
PRECAST PANELS	3/4"
W/ P. & S.	1-1/2"
COLUMN TIES	1-1/2"
 9. #3 SPACER TIES SHALL BE INSTALLED AT 30" ON CENTER IN BEAMS AND FOOTING TO RESIST BUCKLING OF REINFORCING BARS. U OR B.
 10. REINFORCEMENT SUPPORTS SHALL BE MANUFACTURED OF NONCORROSIVE MATERIAL.
- H. CONCRETE MIX REQUIREMENTS:**
1. READY MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ACI 318.
 2. THE SOIL HAS BEEN ASSUMED TO BE HIGH IN SULFATES. PORTLAND CEMENT SHALL CONFORM TO ASTM C 150 - TYPE I, HIGH SULFATE RESISTANT AT SLAB OR GRADE. FOOTING AND UTILITY SHALL CONFORM WITH SOIL COORDINATE REQUIREMENTS WITH ACI 318, TABLE 19.2.1.
 3. SLAG CEMENT SHALL CONFORM TO ASTM C 99, GRADE 100 OR 120.
 4. FLY ASH SHALL CONFORM TO ASTM C 418, CLASS F.
 5. POZZOLANS, INCLUDING SLAG CEMENT AND FLY ASH, SHALL BE LIMITED TO THE FOLLOWING PERCENTAGE OF THE TOTAL WEIGHT OF CEMENTITIOUS MATERIALS IN THE CONCRETE. U OR B.

SUSPENDED SLABS, BEAMS AND GIRDERS	15%
BEAMS AND WALLS	20%
FOUNDATIONS	20%
SLABS ON GRADE	20%
 6. EXPANSIVE HYDRAULIC CEMENT FOR SHRINKAGE-COMPENSATING CONCRETE SHALL CONFORM TO ASTM C 845. ALTERNATIVELY, WHEN APPROVED IN WRITING BY THE ENGINEER, SHRINKAGE COMPENSATING CONCRETE MAY BE ACHIEVED BY USE OF A SHRINKAGE REDUCING CHEMICAL AD MIXTURE.
 7. AGGREGATES FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C 33.
 8. NORMAL WEIGHT CONCRETE SHALL HAVE A MAXIMUM DRY DENSITY OF 150 pcf.
 9. CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY AND APPROVED BY THE ENGINEER. MIX PROPORTIONS SHALL CONFORM WITH ACI 301.
 10. MINIMUM CONCRETE COMPRESSIVE STRENGTHS AT 28 DAYS: MAXIMUM SLUMPS, AND MAXIMUM WATER-CEMENT RATIOS SHALL BE AS FOLLOWS:

DESCRIPTION	MIN 28 DAYS	SLUMP	MAX W/C RATIO
SPALLS FOR INSULATION	4.5 KSI	4" +/- 1"	0.45
 11. ADMIXTURES SHALL BE APPROVED IN ADVANCE. ADMIXTURES OBTAINING CHLORIDE OR CHLORIDE SALTS SHALL NOT BE USED EXCEPT WHERE APPROVED IN WRITING BY THE ENGINEER.
 12. SLUMPS INDICATED AHEAD PRIOR TO PLASTICIZER ADDITIVES.
 13. CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.
- I. ROUGH CARPENTRY:**
1. SPECIAL INSPECTION AND TESTING IS REQUIRED IN ACCORDANCE WITH SECTIONS 19.04 AND 19.05 OF THE BUILDING CODE AND THE STATEMENT OF SPECIAL INSPECTIONS ON THESE CONSTRUCTION DOCUMENTS.
 2. FRAMING LUMBER SHALL BE DOUGLAS FIR LARCH, GRADE-MARKED BY THE WCLB OR WHPA AS FOLLOWS. U OR B.

BEAMS & HEADERS	NO 1
POSTS	NO 2
PLATES & SILLS	NO 2
POSTS	NO 1
 3. THE MOISTURE CONTENT OF DIMENSION LUMBER SHALL NOT EXCEED 19 PERCENT AT THE TIME OF INSTALLATION. U OR B.
 4. SILLS, PLATES AND OTHER MEMBERS IN DIRECT CONTACT WITH CONCRETE OR MASONRY THAT IS IN CONTACT WITH EARTH SHALL BE PRESERVATIVE-TREATED.
 5. STEEL HARDWARE, INCLUDING HOLD-DOWNS, FRAMING HARDWARE, BOLTS, NUTS, WASHERS AND FASTENERS THAT ARE IN CONTACT WITH PRESERVATIVE-TREATED LUMBER SHALL BE HOT-DIP GALVANIZED WHERE THE PRESERVATIVE TREATMENT CONSISTS OF COPPER.
 6. FRAMING HARDWARE IS INDICATED AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY. ALTERNATIVELY, USE STRUCTURAL CONNECTORS BY OTHER BUILDING PRODUCTS MAY BE SUBSTITUTED WHEN APPROVED IN WRITING BY THE ENGINEER PRIOR TO DELIVERY TO THE JOBSITE. REQUEST FOR APPROVAL OF ALTERNATE MANUFACTURER'S BUILDING PRODUCTS SHALL INCLUDE AS ITED-BY-ITEM COMPARISON OF LOAD-CARRYING CAPACITIES BETWEEN THE PROPOSED SUBSTITUTE PRODUCTS AND THE SPECIFIED PRODUCT.
 7. NAILS SHALL BE COMMON WIRE CONFORMING TO THE FOLLOWING PRESENTS. NAILS EXPOSED TO WEATHER SHALL BE HOT-DIP GALVANIZED. U OR B.

DESCRIPTION	SHANK DIA.	MIN. PENETRATION
4d	0.131 IN.	1-3/8 IN.
6d	0.149 IN.	1-1/2 IN.
8d	0.162 IN.	2 IN.
 8. NAILING SHALL CONFORM TO TABLE 2304.15.1 OF THE BUILDING CODE. U OR B.

STRUCTURAL NOTES

- A. BASIS OF DESIGN:**
1. THE STRUCTURAL DESIGN HAS BEEN PERFORMED IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE (CBC).
 2. ASSESSY LOADS MAY BE REDUCED IN ACCORDANCE WITH THE BUILDING CODE.
 3. SEISMIC DESIGN DATA:

RISK CATEGORY	II
SEISMIC IMPORTANCE FACTOR	I = 1.0
SOIL CLASSIFICATION	S = 1.0
SEISMIC DESIGN CATEGORY	II
SITE COEFFICIENT	F _a = 2.0
GROUND ACCELERATION	A = 0.153
SEISMIC DESIGN CATEGORY	D
 4. WIND DESIGN DATA:

RISK CATEGORY	II
BASIC WIND SPEED	V = 34 mph
EXPOSURE CATEGORY	C
EMPIRICAL WIND PROFILE COEFF	K _z = 0.85
WIND PRESSURE COEFF	GC = 0.18
WIND EXPOSURE COEFF	K _d = 1.00
GROUND ELEVATION FACTOR	K _e = 1.00
TOPOGRAPHIC FACTOR	K _t = 1.00
- B. SUBMITTALS:**
1. THE CONTRACTOR SHALL MAKE SUBMITTALS PRIOR TO FABRICATION AS REQUIRED BY THE WIT-TEN SPECIFICATIONS AND SHALL INCLUDE AS A MINIMUM THE FOLLOWING SUBMITTALS:
 - A. CONCRETE MIX DESIGNS
 - B. THE FOLLOWING SUBMITTALS ARE NOT REQUIRED FOR STRUCTURAL REVIEW:
 - A. SHORING AND BRACING
 - B. PICK UP SHEETS
 - C. REINFORCING BARS
 - D. UNSPECIFIED REBAR AT SLAB-ON-GRADE AND FOOTINGS
 - E. REINFORCING BARS AT WALLS
 - F. STRUCTURAL STEEL MILL REPORTS
 - G. WELD CERTIFICATIONS
 - H. W/FF FOR CONCRETE OVER STEEL DECK
 2. STEEL REINFORCING LISTS AND QUANTITIES AND LENGTHS OF ALL MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE COMPLIANCE WITH THE PLANS. ENGINEER WILL NOT REVIEW.
 3. SUBMITTALS MADE TO THE ENGINEER FOR REVIEW SHALL BE STAMPED AND SIGNED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE REVIEW AND THAT THE SUBMITTAL IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 4. SUBMITTALS SHALL BE MADE IN ELECTRONIC PDF FORMAT. SUBMITTALS WILL BE PROCESSED AND RETURNED ELECTRONICALLY.
- C. GENERAL:**
1. SPECIFIC NOTES AND DETAILS ON THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
 2. THE REQUIREMENTS ON THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER THE STRUCTURAL BUILDING INFORMATION MODEL. THE STRUCTURAL BUILDING INFORMATION MODEL SHALL NOT BE RELIED ON FOR UNDERSTANDING CONSTRUCTION REQUIREMENTS.
 3. WHERE NO DETAILS ARE SHOWN OR NOTED IN ANY PART OF THE WORK THE DETAILS FOR OTHER SIMILAR WORK SHALL APPLY.
 4. DETAILS IDENTIFIED AS TYPICAL SHALL APPLY IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS INDICATED.
 5. THE STRUCTURAL DRAWINGS AND STRUCTURAL BUILDING INFORMATION MODEL SHALL NOT BE SCALED. COORDINATE DIMENSION, ELEVATION, SLOPE AND DRAINAGE REQUIREMENTS WITH THE ARCHITECTURAL DRAWINGS.
 6. STANDARDS REFERENCED ON THE STRUCTURAL DRAWINGS REFER TO THE PERTINENT EDITION UNDER THE APPLICABLE BUILDING CODE.
 7. THE RESPONSIBILITY FOR THE REVIEW AND COORDINATION OF DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF RELATED CONSTRUCTION SHALL BEAR ON THE CONTRACTOR. DISCREPANCIES THAT EXIST SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A WRITTEN MANNER PRIOR TO START OF RELATED CONSTRUCTION.
 8. WORK PERFORMED IN CONFLICT WITH THE STRUCTURAL DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
 9. EXISTING CONDITIONS SHALL BE VERIFIED BEFORE STARTING RELATED WORK. EXISTING CONDITIONS THAT ARE NOT REFLECTED ON THE STRUCTURAL DRAWINGS OR THAT DEVIATE FROM THE MAXIMUM DIMENSIONAL DIMENSIONS INDICATED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A WRITTEN MANNER. SUCH CONDITIONS THAT INCLUDE CONFLICTS IN GRADES, EXISTING SOIL CONDITIONS, PRESENCE OF GROUND WATER, UNEXPECTED EXISTING CONSTRUCTION CONFIGURATIONS, ETC.
 10. MATERIALS AND WORKMANSHIP SHALL CONFORM TO REQUIREMENTS OF APPLICABLE REGULATIONS AND THE BUILDING CODE AS AMENDED AND ADOPTED BY THE BUILDING OFFICIAL.
 11. LOADS TO THE BUILDING EXCEEDING THE LOADS INDICATED ON THE PLANS OR ANY LOADS EXCEEDING 400 POUNDS THAT ARE NOT INDICATED ON THE STRUCTURAL DRAWINGS SHALL BE REPORTED TO THE ENGINEER.
- D. TEMPORARY WORK AND SITE SAFETY:**
1. THE STRUCTURAL DRAWINGS SHOW THE REQUIREMENTS FOR THE COMPLETED STRUCTURE ONLY. TEMPORARY WORKS REQUIRED TO COMPLETE THE CONSTRUCTION PROCESS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR FIELD VERIFICATION OF TEMPORARY AND AUXILIARY WORK.
 2. THE RESPONSIBILITY FOR SAFETY IN AND AROUND THE JOBSITE SHALL BEAR ON THE CONTRACTOR. PROPER AND SAFE METHODS OF CONSTRUCTION SHALL BE EMPLOYED AT ALL TIMES INCLUDING THE STABILIZING OF INCOMPLETE STRUCTURES, FORMWORK, SHORING, RESHORING, falseWORK, PLATFORMS, SCAFFOLDING, BARRIERS, WALKWAYS, ETC. AND INCLUDING CONTROL OF THE INTENSITY, DURATION AND LOCATION OF CONSTRUCTION LOADS.
 3. THE RESPONSIBILITY FOR THE DESIGN AND INSTALLATION OF ALL CRIBBING, SHORING, UNDERPINNING, AND SHORING REQUIRED TO SAFELY RETAIN ALL GRADES AND STRUCTURES SHALL BEAR ON THE CONTRACTOR.
 4. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON A STRUCTURE. LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD INDICATED UNLESS THE STRUCTURE HAS NOT ATTAINED FINAL DESIGN STRENGTH. ADEQUATE SHORING AND OR BRACING SHALL BE INSTALLED.
- E. DEMOLITION:**
1. THE RESPONSIBILITY FOR NECESSARY SHORING OR BRACING OF THE EXISTING STRUCTURE DURING DEMOLITION PROCEDURES SHALL BEAR ON THE CONTRACTOR.
 2. DEVIATIONS FROM EXISTING CONDITIONS AS INDICATED ON THE STRUCTURAL DRAWINGS SHALL BE RESOLVED WITH THE ENGINEER PRIOR TO PROCEEDING WITH DEMOLITION WORK.
 3. RESPONSIBILITY FOR COORDINATION OF DEMOLITION WORK WITH THE BUILDING OFFICIAL AND OTHER GOVERNING AUTHORITIES SHALL BEAR ON THE CONTRACTOR. EXITS SHALL BE MAINTAINED AS REQUIRED FOR SAFE LEGAL OPERATION OF THE FACILITY.
 4. ELEMENTS THAT WILL NOT BE DEMOLISHED SHALL BE PROTECTED FROM DAMAGE.
 5. SAW CUT JUMPS SHALL BE TRUE AND NEAT. CORNERS SHALL NOT BE OVER CUT.
 6. THESE STRUCTURAL DRAWINGS DO NOT INDICATE THE PHASING OF DEMOLITION. THE RESPONSIBILITY FOR THE SCHEDULING AND COORDINATION OF THE WORK SHALL BEAR ON THE CONTRACTOR. WORK SHALL BE COORDINATED TO LIMIT IMPACT ON OPERATION OF THE EXISTING FACILITY.
- F. FOUNDATION:**
1. AS A CALIFORNIA LICENSED ENGINEER, THE ENGINEER OF RECORD FOR THE STRUCTURAL DESIGN HAS CLASSIFIED THE UNDISTURBED, NATIVE SOILS TO BE UNDESIRABLE. IN ACCORDANCE WITH TITLE 2 OF THE BUILDING CODE, AN ALLOWABLE FOUNDATION BEARING PRESSURE OF 1500 PSF HAS BEEN ASSIGNED FOR THE DESIGN OF FOUNDATIONS RELATED TO THIS PROJECT.



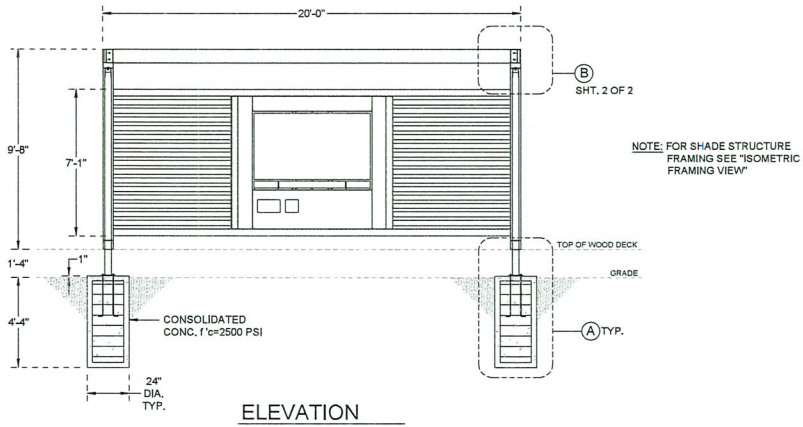
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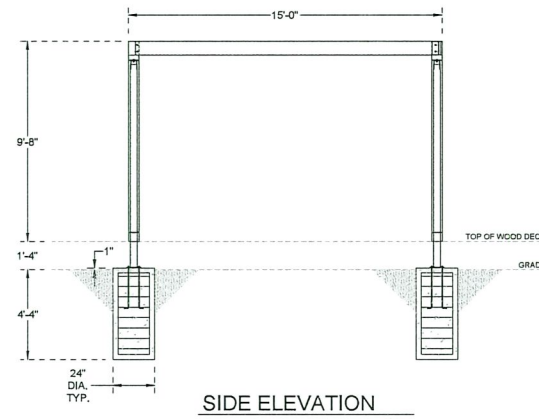
SLIP CODE	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN REVIEW	05/23/2023
2	REVISION FOR SITE PLAN REVIEW	05/23/2023
3	REVISION FOR SITE PLAN REVIEW	05/23/2023
4	REVISION FOR SITE PLAN REVIEW	07/27/2023

DRAWN: XX CHECK: XX SCALE:
 JOB NO:

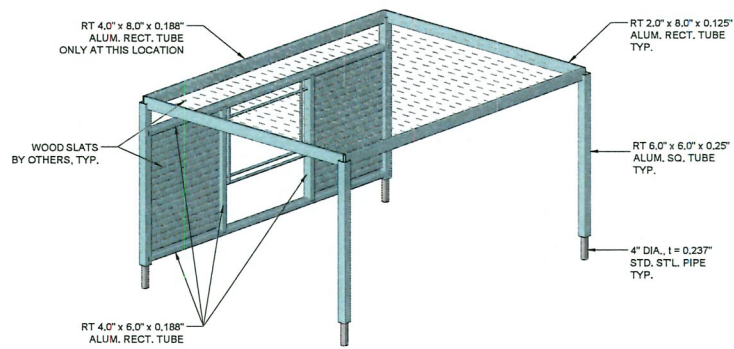
TITLE: **STRUCTURAL NOTES**
 SHEET: **S0.1**



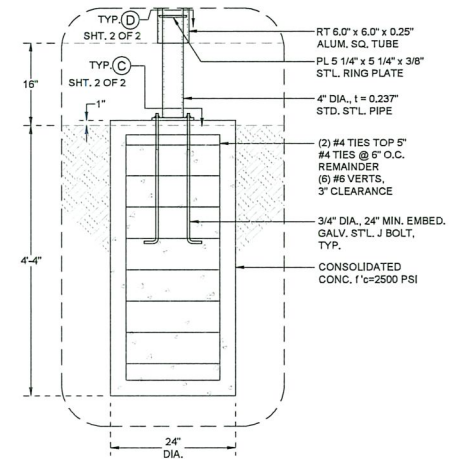
ELEVATION
N.T.S.



SIDE ELEVATION
N.T.S.



ISOMETRIC VIEW
N.T.S.



(A) ENLARGED DETAIL
(6 PLACES) N.T.S.

PRELIMINARY ENGINEERING
NOT FOR CONSTRUCTION

NOTES :

GENERAL :

- SIGN DESIGN IS BASED ON ADEQUATE EXISTING SUPPORT ELEMENTS.
 - PROVIDE ISOLATION OF DISSIMILAR MATERIALS.
 - COAT ALUMINUM IN CONTACT WITH CONCRETE WITH ZINC RICH PAINT.
 - THERE IS NO PROTECTION ZONE AS DEFINED IN AISC 341-16.
 - PROVIDE FULLY WELDED END CAPS AT EXPOSED OPEN ENDS OF STEEL / ALUM. TUBES, MATCH THICKNESS LIKE FOR LIKE.
 - SLOPE TOP OF EXPOSED FOOTING AWAY FROM DIRECT BURIAL POSTS
 - ALL EXPOSED STEEL TO BE PRIMED & PAINTED (POWDER COAT AS AN OPTION) OR ALTERNATIVELY USE GALVANIZED STEEL.
- ANCHORS :
- BRAND NAME APPROVED POST INSTALLED ANCHORS SPECIFIED ON PLANS MAY BE SUBSTITUTED BY APPROVED EQUAL.

STEEL :

- DESIGN AND FABRICATION ACCORDING TO 2022 CBC
 - PLATE, ANGLE, CHANNEL TEE: ASTM A36
 - WIDE FLANGE: ASTM A992
 - ROUND PIPE: ASTM A53 GRADE B OR EQUIVALENT.
 - HSS ROUND, SQUARE, AND RECTANGULAR TUBE: ASTM A500 GRADE B OR EQUIVALENT.
 - ALL ANCHORS BOLTS SHOULD BE: ASTM F1554
 - ALL STEEL MACHINED BOLTS SHOULD BE: ASTM A307 OR ASTM A449
 - ALL STAINLESS STEEL MACHINED BOLTS SHOULD BE: ASTM A276
 - ALL BOLTS TO BE ZINC COATED: ASTM B633
 - DEFORMED REINFORCING REBAR: ASTM A615 GRADE 60.
- ALUMINUM :
- DESIGN AND FABRICATION ACCORDING TO 2020 ALUM. DESIGN MANUAL PLATES, ANGLES, CHANNELS, TEE, AND SQUARE TUBING: ALUMINUM
 - ALLOY 6061 - T6 WITH 0.098 LBS PER CUBIC INCH.

WELDING :

- STEEL
- DESIGN AND FABRICATION ACCORDING TO AWS D1.1 / D1.3
 - AWS CERTIFICATION REQUIRED FOR ALL STRUCTURAL WELDERS.
 - E70 XX ELECTRODE FOR SMAW PROCESS.
 - E70S XX ELECTRODE FOR GMAW PROCESS.
 - ER70 XX ELECTRODE FOR GTAW PROCESS.
 - E70T XX ELECTRODE FOR FCAW PROCESS.
- ALL WELDS SHALL BE MADE WITH A FILLER METAL THAT CAN PRODUCE WELDS THAT HAVE A MINIMUM CHARPY V-NOTCH TOUGHNESS OF 20FT-LB AT ZERO 0° AS DETERMINED BY THE APPROPRIATE AWS AS CLASSIFICATION TEST METHOD OR MFG'S. CERTIFICATION.
- ALUMINUM
- DESIGN AND FABRICATION ACCORDING TO AWS D1.2. ALL WELDING IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS A5.10.
 - FILLER ALLOYS PER TABLES M.9.1 & M.9.2 OF 2020 ALUMINUM DESIGN MANUAL.

CONCRETE :

- DESIGN AND CONSTRUCTION ACCORDING TO ACI 318-19
 - COMPRESSIVE STRENGTH AT 28 DAYS. $f'c = 2500$ PSI MINIMUM.
 - CEMENT TYPE II OR IV. W/C RATIO 0.45 BY WEIGHT FOR PIER AND CAISSON
 - FOOTINGS CONCRETE MUST BE POURED AGAINST UNDISTURBED EARTH.
 - MAINTAIN A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL.
- SOIL:
- LATERAL SOIL BEARING PER IBC CLASS 4 TABLE 1806.2 (150 PSF/FT), MODIFIED PER SECTION 1806.3.4.



www.jtsinc.com
P.O. BOX 802050
SANTA CLARITA, CA, 91380
TEL. (661)259-0700 FAX. (661)259-0900

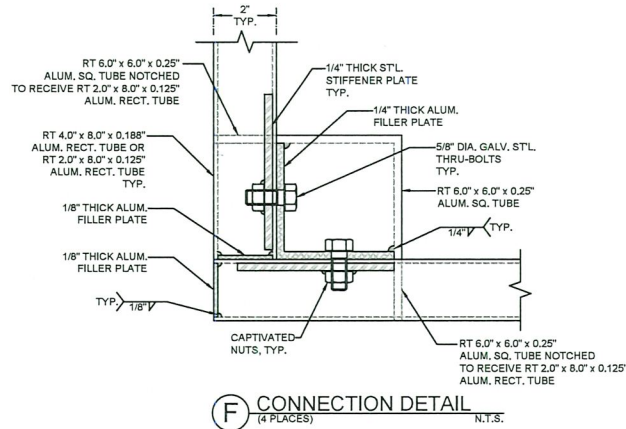
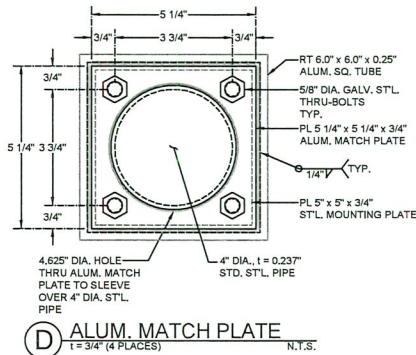
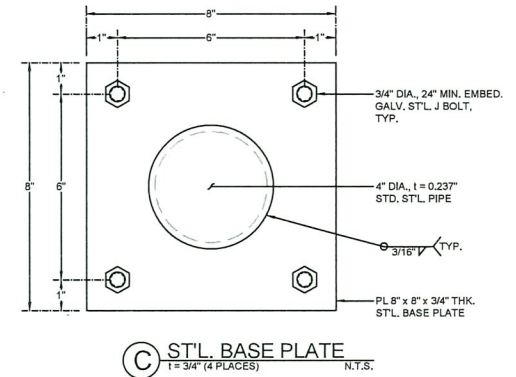
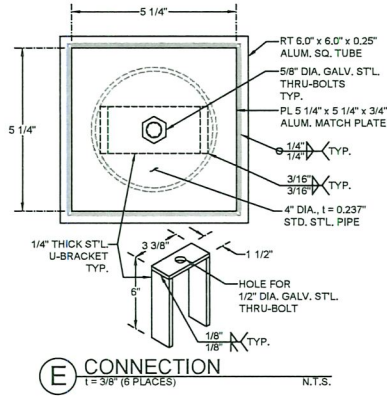
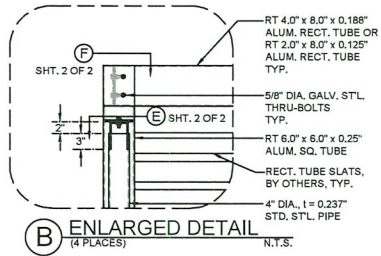
SHEET TITLE

**AGOURA HILLS
SHADE STRUCTURE**

DRN BY	I.G.	DATE LAST REVISED	Aug 29, 2023	REV. NO.	REV. DATE	REVISED BY
CHK BY	T.J.	PROJ. START DATE	Aug. 28, 2023	1	---	---
REV BY	T.J.	SCALE	AS SHOWN	2	---	---
PLOTTED BY	Michelle Grady	ON	8/29/2023 4:39:56 PM	3	---	---

PROJECT JOB #	JTS_192923_Agoura Hills_Agoura Road_Agoura Hills_CA.dwg
PROJECT LOCATION	AGOURA HILLS 3001 AGOURA ROAD AGOURA HILLS, CA

SHEET #
1 OF 2



PRELIMINARY ENGINEERING
NOT FOR CONSTRUCTION

NOTES :

GENERAL :

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- PROVIDE ISOLATION OF DISSIMILAR MATERIALS.
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ANCHORS :

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- WIDE FLANGE: ASTM A992
- ROUND PIPE: ASTM A53 GRADE B OR EQUIVALENT.
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- ALL STAINLESS STEEL MACHINED BOLTS SHOULD BE: ASTM A276
- ALL BOLTS TO BE ZINC COATED: ASTM B633
- DEFORMED REINFORCING REBAR: ASTM A615 GRADE 60.

ALUMINUM :

- DESIGN AND FABRICATION ACCORDING TO 2020 ALUM. DESIGN MANUAL
- PLATES, ANGLES, CHANNELS, TEE, AND SQUARE TUBING: ALUMINUM
- ALLOY 6061 - T6 WITH 0.098 LBS PER CUBIC INCH.

WELDING :

STEEL

- DESIGN AND FABRICATION ACCORDING TO AWS D1.1 / D1.3
- AWS CERTIFICATION REQUIRED FOR ALL STRUCTURAL WELDERS.
- E70 XX ELECTRODE FOR SMAW PROCESS.
- E70S XX ELECTRODE FOR GMAW PROCESS.
- ERT XX ELECTRODE FOR GTAW PROCESS.
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- ALL WELDS SHALL BE MADE WITH A FILLER METAL THAT CAN PRODUCE WELDS THAT HAVE A MINIMUM CHARPY V-NOTCH TOUGHNESS OF 20FT-LB AT ZERO ° AS DETERMINED BY THE APPROPRIATE AWS AS CLASSIFICATION TEST METHOD OR MFG'S. CERTIFICATION.

ALUMINUM

- DESIGN AND FABRICATION ACCORDING TO AWS D1.2. ALL WELDING IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS A.5.10.
- FILLER ALLOYS PER TABLES M.8.1 & M.9.2 OF 2020 ALUMINUM DESIGN MANUAL.

CONCRETE :

- DESIGN AND CONSTRUCTION ACCORDING TO ACI 318-19
- COMPRESSIVE STRENGTH AT 28 DAYS, f'c = 2500 PSI MINIMUM.
- CEMENT TYPE II OR IV, W/C RATIO 0.45 BY WEIGHT FOR PIER AND CAISSON
- FOOTINGS CONCRETE MUST BE POURED AGAINST UNDISTURBED EARTH.
- MAINTAIN A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL.

SOIL:

- LATERAL SOIL BEARING PER IBC CLASS 4 TABLE 1806.2 (150 PSF/FT), MODIFIED PER SECTION 1806.3.4.



www.yjinc.com
P.O. BOX 802050
SANTA CLARITA, CA, 91380
TEL. (661)259-0700 FAX. (661)259-0900

SHEET TITLE:

**AGOURA HILLS
SHADE STRUCTURE**

DRN BY	I.G.	DATE LAST REVISED	Aug 29, 2023	REV. NO.	REV. DATE	REVISED BY
CHK BY	T.J.	PROJ. START DATE	Aug. 28, 2023	1	---	---
REV BY	T.J.	SCALE	AS SHOWN	2	---	---
PLOTTED BY	Michelle Grady	ON	8/29/2023 4:40:50 PM	3	---	---

PROJECT JOB # JTS_192923_Agoura Hills_Agoura Road_Agoura Hills_CA.dwg
PROJECT LOCATION: AGOURA HILLS
30601 AGOURA ROAD
AGOURA HILLS, CA

SHEET #

2 OF 2

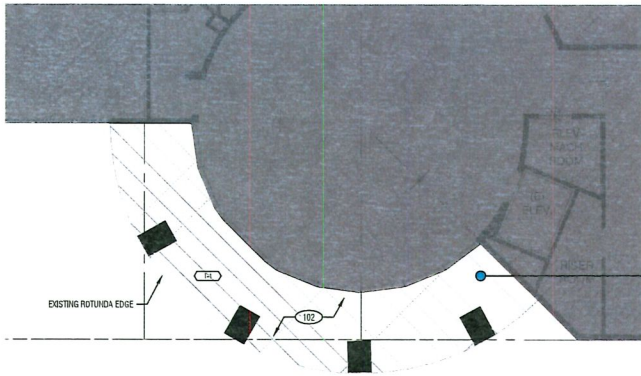
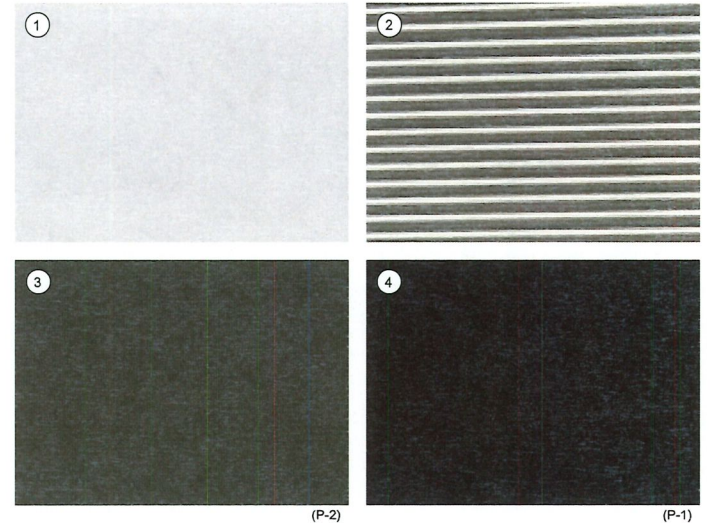
ATTACHMENT 3

Colors and Materials

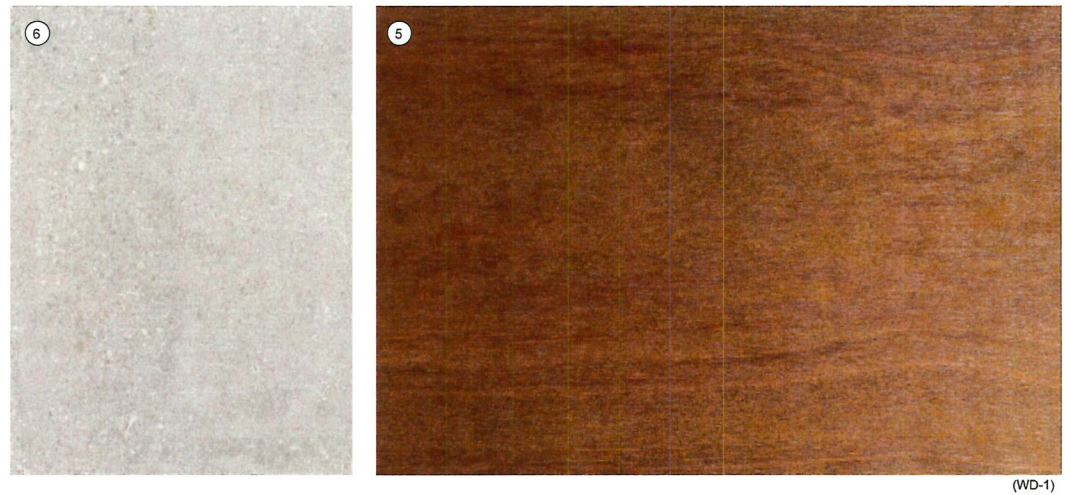
30601 AGOURA ROAD PROPOSED COLORS & MATERIALS



- ① EXISTING CONCRETE WALL TO REMAIN
- ③ NEW PAINT BEHIND WOOD LOUVERS:
P-2: BENJAMIN MOORE CW-85
- ⑤ NEW WOOD LOUVERS AND DECK: WD-1:
KEBONY NATURAL CLEAR WOOD
- ④ NEW ACCENT PAINT OVER CONCRETE
WALL AND AT EXISTING HANDRAILS: P-1:
BENJAMIN MOORE CW-680
- ② EXISTING CORRUGATE CONCRETE WALL TO
REMAIN



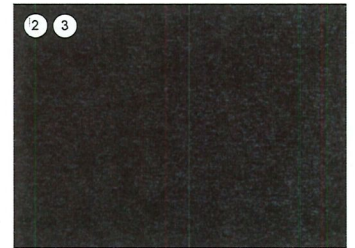
- ⑥ NEW PORCELAIN TILE AT ENTRY
T-1: ARIZONA TILE KONKRETE
GRIGIO 24' X 48'



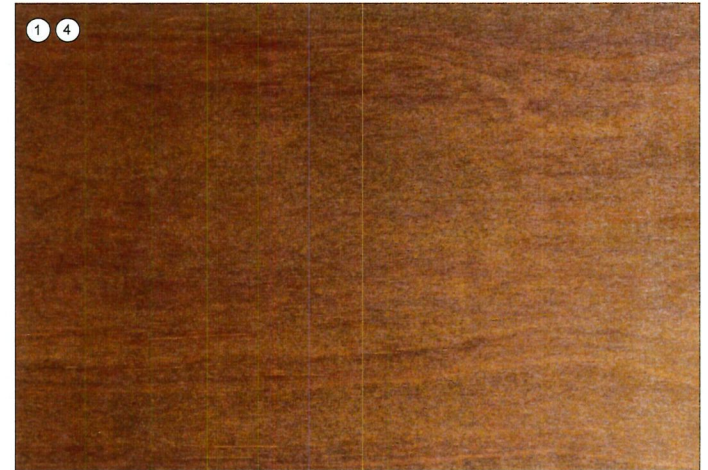
30601 AGOURA ROAD PROPOSED COLORS & MATERIALS



- ① NEW SHADE STRUCTURE SLATS (SIDE AND TOP):
WD-1: KEBONY NATURAL CLEAR WOOD
- ② NEW SHADE STRUCTURE FRAMING AND POSTS TO
BE PAINTED: P-1: BENJAMIN MOORE CW-680
- ③ NEW SHADE STRUCTURE MEDIA WALL TO BE
PAINTED: P-1: BENJAMIN MOORE CW-680
- ④ NEW DECK: WD-1: KEBONY NATURAL CLEAR WOOD



(P-1)



(WD-1)

ATTACHMENT 4

Renderings

30601 AGOURA ROAD PROPOSED EXTERIOR FACADE & LANDSCAPING



ATTACHMENT 5

Existing Site Photos

ATTACHMENT 6

Owner-submitted emails



200 Pine Ave., Ste 502,
Long Beach, CA 90802

+1 562.215.4574
harborassociates.com

October 3, 2023

Ms. Katrina Garcia
Associate Planner
Community Development Department
City of Agoura Hills
30001 Ladyface Court, Agoura Hills, CA 91301

SUBJECT: APPLICATIONS FOR SITE PLAN/ARCHITECTURAL REVIEW (SPR) and OAK TREE PERMITS FOR EXTERIOR UPGRADES TO THE LANDSCAPING AND BUILDING FAÇADE LOCATED AT 30601 AGOURA ROAD (AIN 2061-002-036), CASE NO. SPR-2023-0035 AND OAK-2023-0067.

Dear Ms. Garcia,

As a follow up to our prior conversations, and as owner of 30601 Agoura Road, I am hereby submitting this letter as verification that the immediately adjacent property owners have reviewed and approve our planned building and site improvements. The parties that have approved are:

Teradyne, Inc. – Approved by Chau Nguyen via e-mail on 8/21/2023 on behalf of 30701 Agoura Rd.

Barefoot Dreams – Approved by Steve Cook via e-mail on 8/21/2023 on behalf of 30801 Agoura Rd.

Agoura Hills BP, LLC – Approved by Paul Miskowicz via e-mail 11/3/2023 on behalf of 30501 & 30401 Agoura Rd.

Should you have any questions please feel free to contact me directly at 949-412-2468 or via e-mail at Rich@harborassociates.com. Thank you for your time and consideration. Best Regards,


Rich McEvoy

Principal, Harbor Associates

CC: Erin Torres, One Nine Architecture

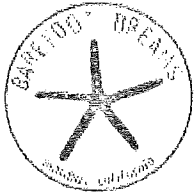


Rich McEvoy

From: Steve Cook <Steve@barefootdreams.com>
Sent: Monday, August 21, 2023 9:31 AM
To: Rich McEvoy; Chau A Nguyen
Subject: RE: 30601 Agoura Rd - renovation review

We at 30801 Agoura rd. approve of your improvements to 30601 Agoura road as submitted.

Best Regards:



Steve Cook

Director of Special Projects

Email: Steve@barefootdreams.com

Phone: 310-560-8887

5302 Derry Ave. Suite D
Agoura Hills, CA 91301

www.barefootdreams.com



Rich McEvoy

From: Paul Miskowicz
Sent: Friday, November 3, 2023 4:38 PM
To: Rich McEvoy
Subject: RE: 30601 Agoura Rd - PROPOSED BUILDING UPGRADES - FOR APPROVAL

Rich,

On behalf of the ownership group of 30401 + 30501 Agoura Road we have reviewed and approve of your proposed plans.

We think this project will be a tremendous economic driver for our Agoura Hills Technology Park association and are very much looking forward to seeing the vision come to life.

PM

Paul Miskowicz | Principal

Rich McEvoy

From: Chau A Nguyen <chau.a.nguyen@teradyne.com>
Sent: Monday, August 21, 2023 1:21 PM
To: Rich McEvoy; Steve Cook
Cc: Chau A Nguyen
Subject: RE: 30601 Agoura Rd - renovation review

Hi Rich,

We at 30701 Agoura Road approve of your submitted improvements to 30601 Agoura Road.

Thank you

Best Regards,

Facilities
TERADYNE, INC.
30701 Agoura Road
Agoura Hills, CA 91301
818-874-7932 Office
818-262-2265 Cell

ATTACHMENT 7

Planning Commission Resolution 51

Iver

RESOLUTION NO. 51

**A RESOLUTION OF THE CITY OF AGOURA HILLS
PLANNING COMMISSION APPROVING ARCHITECTURAL
REVIEW CASE NO. 85-SPR-025**

**THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY
FINDS, RESOLVES AND ORDERS AS FOLLOWS:**

Section 1. An application was duly filed by Katell/Ahmanson Partnership with respect to the real property located on Agoura Road, west of Reyes Adobe Road (34 acres requesting the approval of an Architectural Review to permit a 3 building development (Phase I-Agoura Hills Tech. Park) in the MPD Zone; that a Public Meeting was duly held on September, 1985 at 6:15 p.m. in the Council Chambers, City Hall, 30101 Agoura Road, Suite 102, Agoura Hills, California 91301.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid Public Meeting.

Section 3. The Planning Commission finds pursuant to the Agoura Hills Interim Zoning Ordinance that:

1. The proposed development is consistent with the General Plan, any specific plans, and any design standards adopted by the City Council.

2. The design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood; and that it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and that it will not create traffic hazards or congestion.

3. The design and location of the proposed development is in keeping with the character of the surrounding neighborhood and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Architectural Review and the General Plan of the City.

4. The design and location of the proposed development would provide a desirable environment for its occupants, as well as for its neighbors, and that it is aesthetically of good composition, materials, textures and colors.

5. The proposed use complies with all applicable requirements of the Zone in which it is located and all other applicable requirements.

6. The overall development of the subject property is designed to ensure the protection of the public health, safety and general welfare.

Section 4. Based upon the aforementioned findings, the Planning Commission hereby approves Architectural Review No. 85-SPR-025 with respect to the property described in Section 1 hereof, subject to the Conditions set forth in Exhibit A attached hereto.

PASSED, APPROVED and ADOPTED this 12th day of September, 1985, by the following vote to wit:

AYES: Commissioners: Yacovone, Anthony, Soelberg,
Albertson

NOES: Commissioner McBane

ABSTAIN: None

ABSENT: None



CHAIRMAN

ATTEST:



SECRETARY

CONDITIONS

CASE NO. 85-SPR-025

1. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibit(s): "A"-Site Plan; "B"-Grading Plan; "C"-Landscape Plan; "D"-Site Lighting Plan; "E"-Elevations; "F"-Colored Section Drawings.
2. **This action shall not be effective for any purpose until the Applicant has agreed in writing that he is aware of, and accepts all Conditions of this Permit with the Department of Planning and Community Development.**
3. **It is hereby declared to be the intent that if any provisions of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.**
4. **It is further declared and made a Condition of this Action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the Applicant has been given written notice to cease such violation and has failed to do so for a period of thirty(30) days.**
5. **All requirements of the Zoning Ordinance and of the specific Zoning of subject property must be complied with unless set forth in the Permit or on the approved Plot Plan.**
6. **The Applicant shall install a dual water system if recommended by the Las Virgenes Municipal Water District.**
7. **No occupancy shall be granted for any building until all Conditions of Approval have been complied with as determined by the Director of Community Development.**
8. **All utilities existing and proposed shall be placed underground. If over-head utilities 16KU or larger exists on or abuts the subject property, the applicant shall file an agreement to join any Assessment District subsequently created to underground said lines.**
9. **This Approval shall be utilized within two(2) year(s) from the date of this Approval or this action shall be null and void.**

10. **All landscaping shall be installed with a fully automatic sprinkler system and thereafter maintained in perpetuity.**
11. All sales advertising signs shall be subject to the Director of Planning and Community Development approval.
12. A minimum of 1,200 off-street parking spaces shall be provided on the subject property.
13. **All structures shall conform with the requirements of the Division of Building and Safety of the Department of City Engineer.**
14. **The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development .**
15. **Unless 85-SPR-025 is used within two(2) year(s) from the date of City approval, 85-SPR-025 will expire. (A one (1) year extension may be requested prior to such expiration date.)**
16. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application, except as revised herein.
17. This request is hereby approved with the following revisions:
 - A. Provide a minimum of 1,200 parking spaces; 30% of which to be compact spaces.
 - B. Fully enclose all roof-top equipment, per staff review and as is allowed and approved by Building and Safety Department.
 - C. **All three exteriors of buildings shall utilize materials beige in color. Roof-top equipment enclosure shall be dark beige or brown in color. Each individual building shall be striated in a different configuration so as to add variety to the exterior of the building masses.**
 - D. Submit a Site Plan showing automobile pull-outs per Conditional Use Permit.
 - E. Replace proposed Eucalyptus trees within center median on Agoura Road with Coast Live Oak trees. Sycamores and Redwood trees are to be within the project. Aleppo Pines shall be deleted from the Landscape Plan.

17. continued.....

These revisions shall be incorporated into any plans submitted for any permits subject to a review and approval of the Department of Community Development.

18. All proposed trash storage areas shall be fully enclosed by a six foot high masonry wall or equivalent and gates of a type approved by the Director of Community Development.

19. All Conditions of Tract 43597, 85-CUP-001, 84-OTP-008, 85-ZC-001 shall be met prior to issuance of Building Permits.

20. A minimum of 25% of parking lot and street trees shall be Coast Live Oak trees.

21. The applicant shall submit a Sign Package, including elevations and letter sizes, colors for all wall, freestanding and monument signs, for the approval of the Director of Planning and Community Development. The colors shall be earthtones. Sizes and locations shall conform to the City's Sign Ordinance and Conditions of related cases.

22. Parking lot lighting standards shall be a maximum height of fourteen(14) feet and subject to the approval of the Director of Planning and Community Development. The light standard for the parking lot lights shall be subject to the approval of the Director of Planning and Community Development.

23. The City Engineer shall work with the Soils Engineer relative to the Geology Report and the indicated "faults" within the project property. The "faults" shall be investigated relative to the placement of the buildings and necessary mitigation measures initiated.

ATTACHMENT 8

City Council Resolution 297

RESOLUTION NO. 297

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF AGOURA HILLS MAKING CERTAIN ENVIRONMENTAL FINDINGS IN CONNECTION WITH THE APPROVAL OF ZONE CHANGE NO. 85-ZC-001, TENTATIVE TRACT MAP NO. 43597, CONDITIONAL USE PERMIT NO. 85-CUP-001, AND OAK TREE PERMIT NO. 84-OTP-008

THE CITY COUNCIL OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Katell/Ahmanson Partnership with respect to the real property described in Exhibit A attached hereto requesting the approval of a Tentative Tract Map, Conditional Use Permit, Oak Tree Permit and Zone Change to permit an industrial research and development, commercial office and commercial retail project (the "project") on certain real property, consisting of approximately thirty-four acres, located south of the Ventura Freeway and west of Reyes Adobe Road. Public hearings on the project were duly held by the Planning Commission on March 28, 1985, April 11, 1985 and May 23, 1985 and by the City Council on June 19, 1985 and July 10, 1985.

Section 2. The City Council hereby certifies that the Final Environmental Impact Report prepared for the project (the "Final EIR") has been completed in compliance with the California Environmental Quality Act and that the Final EIR was presented to the City Council and the City Council reviewed and considered the information contained in the Final EIR prior to approving the project. With respect to the potential significant environmental effects identified in the Final EIR, the City Council finds as follows:

1. The Final EIR identifies as a potential significant environmental effect increased water run-off and the resulting impact on water quality. Changes or alterations have been required in, or incorporated into, the project which avoid or substantially lessen this potentially significant environmental effect. A storm drainage system will be installed to adequately handle the increased water run-off caused by the project. Such system will include debris barriers and retention basins along with other improvements, to prevent flooding and siltation of Lake Lindero.

2. The Final EIR identifies as a potential significant environmental effect the impact on existing oak trees. Changes or alterations have been required in, or incorporated into, the project which avoid or substantially lessen this potentially significant environmental effect. Twelve oak trees will remain in place on the site and five oaks will be transplanted within the site. Protective measures will be implemented during construction to avoid damage to the trees which will be preserved. Further, all oak trees which are removed or relocated will be replaced on a 4:1 ratio.

3. The Final EIR identifies as a potential significant environmental effect increased traffic and the resulting impact on parking. Changes or alterations have been required in, or incorporated into, the project which avoid or substantially lessen this potentially significant environmental effect. Extensive traffic improvements will be made as part of the project as approved. The developer will widen and improve the north side of Agoura Road and the portion of Reyes Adobe Road between the Ventura Freeway and Agoura Road. The developer will contribute \$.35 per square foot of floor area for the commercial office and retail buildings and \$500 per hotel room to the City's Traffic Improvement Fund. Further, the developer has agreed to participate in an assessment district for road improvements when such a district is established. The project will provide the amount of parking spaces required by the City's Zoning Ordinance.

4. The Final EIR identifies as a potential significant environmental effect the impact on aesthetics. Changes or alterations have been required in, or incorporated into, the project which avoid or substantially lessen this potentially significant environmental effect. The height, number and size of the buildings on the site have been reduced from the original application. Further, the location of the buildings has been modified to provide improved view corridors. Extensive landscaping will be installed. The proposed development will be subject to the City's architectural review process to ensure its visual attractiveness and compatibility with the surrounding area.

5. The foregoing mitigation measures avoid or substantially lessen the potentially significant environmental effects of the project identified in the final EIR. Further, the social, economic and other benefits of the project outweigh any unavoidable adverse environmental effects that may occur. Due to such overriding benefits and considerations, the City Council finds that any unavoidable adverse environmental effects of the project are acceptable. A major goal of the General Plan is to promote the development of a high quality,

comprehensively planned commercial corridor along the Ventura Freeway. The project will further this goal by providing for a comprehensively planned, integrated business park development on the 34-acre subject property. The approval of the project will result in extensive improvements to the traffic circulation system in the area and will ensure the property owner's participation in an assessment district for the improvement of the Reyes Adobe Road Freeway Interchange. The commercial retail portion of the project will generate substantial tax revenues for the City, and the entire project will expand existing employment opportunities. Further, the approval of Zone Change Case No. 85-ZC-001 will make the zoning of the subject property consistent with the General Plan as required by state law. In adopting the General Plan, the City Council made a statement of overriding considerations pursuant to the California Environmental Quality Act with respect to any unavoidable adverse environmental impacts that may occur due to the adoption of the General Plan, including the changes in the then existing land use designations. Such statement of overriding considerations, set forth in Paragraph 12 of Section 2 of Resolution No. 279 of the City Council of the City of Agoura Hills, is hereby adopted by reference and incorporated herein.

This Paragraph 5 constitutes a statement of overriding considerations pursuant to the California Environmental Quality Act.

PASSED, APPROVED and ADOPTED this 14th day of August, 1985, by the following vote:

AYES: Dynda, Sahm and Mayor Hood

NOES: Leary and Pavley

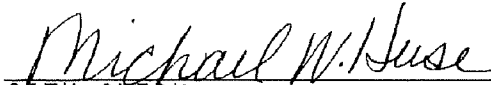
ABSTAIN: None

ABSENT: None



MAYOR

ATTEST:

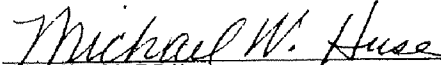


CITY CLERK

I, Michael W. Huse,
CITY CLERK OF THE CITY OF
AGOURA HILLS, DO HEREBY CERTIFY
THAT THE FOREGOING ORDINANCE
NO. 297 WAS DULY PASSED,
APPROVED AND ADOPTED BY THE
CITY COUNCIL OF THE CITY OF
AGOURA HILLS AT ITS REGULAR
ADJOURNED MEETING OF 8/14/85.

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CITY CLERK