

REPORT TO PLANNING COMMISSION

DATE: JUNE 20, 2024

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: DENICE THOMAS, COMMUNITY DEVELOPMENT DIRECTOR

BY: KATRINA GARCIA, ASSOCIATE PLANNER

REQUEST: 1) APPROVE A SITE PLAN/ARCHITECTURAL REVIEW PERMIT TO CONSTRUCT AN ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE AND 2) TO MAKE A DETERMINATION OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

APPLICANT	Bourgault Drafting & Design for Rosen
CASE NO:	SPR-2023-0041
LOCATION:	5948 Lake Lindero Drive (AIN 2056-022-012)
ENVIRONMENTAL DETERMINATION:	Exempt from the California Environmental Quality Act (CEQA) per §15301 (Existing Facilities) of the CEQA Guidelines.
ZONING DESIGNATION:	Single Family Residential (RS-(5)-7,500)
GENERAL PLAN DESIGNATION:	Residential Single Family (RS)
<u>RECOMMENDATION:</u>	Staff recommends the Planning Commission approve Site Plan/Architectural Review Permit Case No. SPR-2023-0041, subject to conditions, based on the findings of the attached Draft Resolution.

I. PROJECT BACKGROUND AND DESCRIPTION

The applicant is requesting to add 199 square feet (sq. ft.) to the first floor and 655 sq. ft. to the second floor of an existing two-story single-family residence, in addition to a 144-square-foot covered front porch (the "Project"). The Project will result in a residence that is approximately 2,655 sq. ft.

The property is located at 5948 Lake Lindero Drive, which was developed as part of a residential tract (Tract Map No. 23806) and neighborhood, now known as "Lake Lindero." The surrounding neighborhood includes single-family residences and the Lake Lindero golf course located on the west side of Lake Lindero Drive (see Attachment 2 – Vicinity Map). The property is in the RS zone.

Existing Development

- Existing Residence
 - First Floor: 1,082 sq. ft.
 - Second Floor: 719 sq. ft.
 - Total Residence Area: 1,801 sq. ft.**
- Existing Garage 505 sq. ft.
- Existing Porch (Full demo) 75 sq. ft.
- Total Building Coverage 2,381 sq. ft.**

New Construction

- First Floor: 199 sq. ft.
- Second Floor: 655 sq. ft.
- Front Porch 144 sq. ft.
- Total Additions: 998 sq.ft.**
- **New Proposed Residence Area 2,655 sq. ft.**

Legislative Review

The Agoura Hills Municipal Code (AHMC) requires that the Project comply with the Development Standards for the RS zoning district (AHMC §9243.3 and §9243.9). The proposed addition on the second floor exceeds 75 percent of the existing first floor area and, therefore, requires an SPR subject to the Planning Commission's decision. Additionally, Type I Non-conforming conditions exist on the building, with respect to the side yard setback. Because the addition proposes to continue the non-conforming condition, the project is also subject to the Planning Commission's decision.

II. STAFF ANALYSIS

Site Plan and Buildings

The lot has a slight rectangular shape that tapers from the front lot line to the rear lot line. The average slope of the lot is six percent and contains a two story single family residence with an attached garage and one-half-foot retaining walls on the north and east side of the residence. The attached garage forms an L-shaped building with the existing second floor located on the northeast corner of the structure. The second floor addition is proposed to extend the second floor towards the south and continue the existing first floor building line. The second floor addition will create a new primary suite with a walk-in-closet and en suite bathroom. The front porch, on the first floor, will be removed to accommodate the first floor addition along the front (west) elevation, thereby extending the family room. The roof overhang above the first floor will be extended and create a new covered front porch.

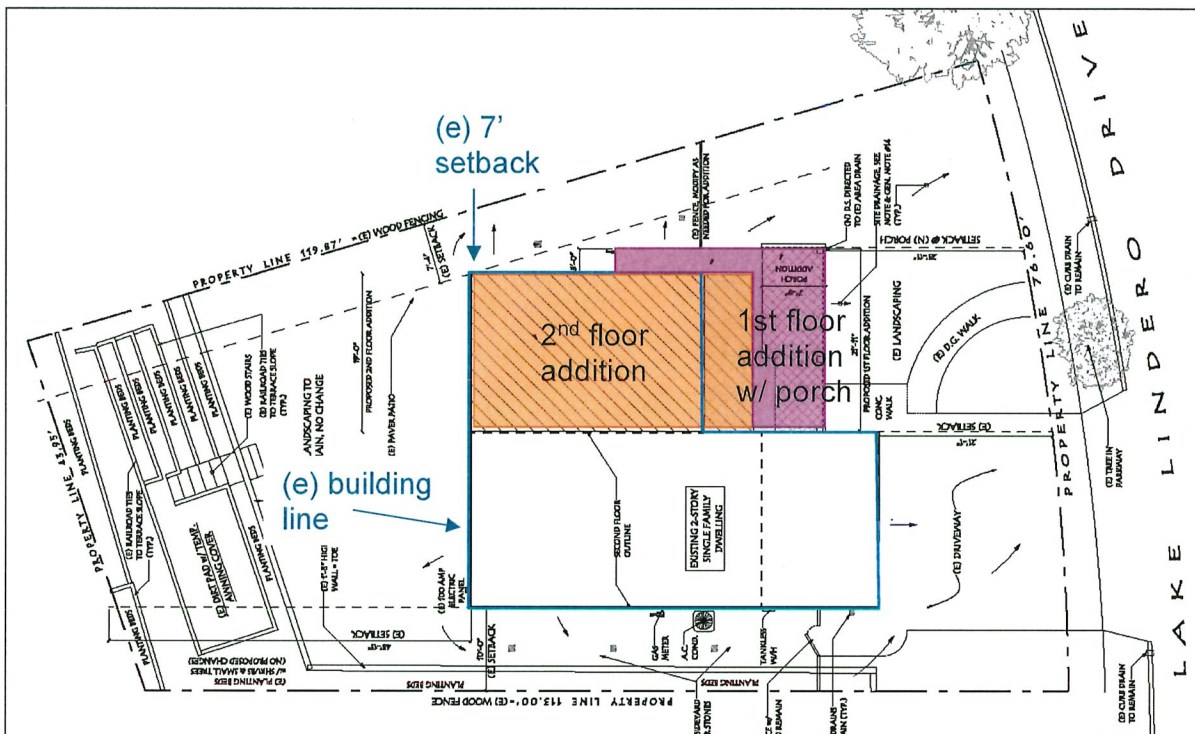
The following table summarizes how the proposed Project compares with the relevant lot and development standards.

Table 1 – Zoning Conformance				
	Existing	Proposed	Required/ Allowed	Compliance
Lot Dimensions				
Size	6,930 sq. ft.	Same	7,500 sq. ft. min.	Does not comply (Type 1 Non-conforming)
Lot Width	60 feet (ft.) avg.	Same	60 feet	Complies
Lot Depth	116 ft. avg.	Same	75 feet	Complies
Building Height				
	21 ft.	23 ft.	35 ft. or 2 stories	Complies
Floor Area				
House	1,801 sq. ft.	2,655 sq. ft.	n/a	n/a
Garage	505 sq. ft.	Same	n/a	n/a
Covered Porch	75 sq. ft.	144 sq. ft.	n/a	n/a
Lot Coverage				
House (1 st floor only), Garage/, Covered Porch	1,662 / 6,930 = 24%	1,930 / 6,930 = 28%	50%	Complies

Table 1 – Zoning Conformance				
	Existing	Proposed	Required/ Allowed	Compliance
Minimum Building Setbacks				
Front (West)	21 ft.	21 ft.	20 ft.	Complies
Rear (east)	44 ft.	44 ft.	20 ft.	Complies
Side (north)	10 ft.	10 ft.	18 ft. combined, no less than 8 ft. on side	Complies
Side (south)	7 ft.	7 ft.		Does not comply (Type 1 Non- conforming)

The table above demonstrates that the existing side yard setback on the south side does not comply with the current development standards; it was constructed under LA County standards, prior to the City’s incorporation. The seven-foot setback occurs at the very corner of the existing building, as well as, the proposed second floor addition, as seen in *Figure 1. Site Plan*. The addition will not further encroach into the setback

Figure 1. Site Plan



and is permitted to continue the existing setback on the second story, as stated in §9605.1(D) of the AHMC.

Architectural Design

The existing two-story-single-family residence is low-profile in design with the second story setback from the front elevation of the residence. The proposed additions will continue the architectural style with an articulated front elevation to minimize the mass, and will feature a similar cross gable roof design. The proposed exterior materials on the front elevation include white vertical concrete board-and-batten on the second story and horizontal lap siding on the first story along with black accent features on the faux shutters, front door, and garage door. The front porch will be framed and supported by natural wood-stained post-and-beam. The other three elevations will remain stucco and will be painted white to match the front elevation's color. The roof will feature standard black asphalt shingles on the main roof cover and a charcoal gray metal roof above the first story.

III. FINDINGS

Staff's recommendation of the project is based on sets of findings listed in the AHMC. These findings include Findings A through F of §9677.5, Findings 1 through 6 of §9677.7.G and Findings 1-4 of §9243.9.D. The existing single-family residence is a Type 1 Non-conforming building pursuant to AHMC §9702.B with regard to the south side yard setback, however, the Project does not further encroach into the non-conforming setback and does not result in additional dwelling units or density. Therefore, all aspects of the Project meet the underlying zoning district's applicable standards including setbacks, lot coverage, and height. Additionally, the Project complies with the requirements for additions to Type 1 Non-conforming buildings and yard standards, set forth in §9605.1(D). The Project is in keeping with General Plan Goals LU-7 and LU-9 and their policies because the addition matches the architectural characteristics of the existing residence and the surrounding neighborhood. Furthermore, the front elevation's second story will be setback further from the front property line, creating articulation and to ensure the residence does not impact the neighborhood's scale or character. The Project will not result in additional noise or traffic that would impact adjacent properties as the addition is fully enclosed and does not add additional dwelling units. Lastly, the site is fully developed and the addition would have no impact on sensitive or endangered flora or fauna. The Project complies with all applicable findings in the AHMC. The full list of findings are described in the draft resolution (Attachment 1).

IV. ENVIRONMENTAL REVIEW

The Project has been reviewed pursuant to the CEQA, and has been determined to be Categorically Exempt from the CEQA Guidelines per §15301 (Existing Facilities). This exemption includes alterations of, and small additions to, existing structures. No

significant environmental impacts are expected from the development of this Project as the proposed addition is minor and will be attached to the first and second floor of an existing two story structure. No exception to this categorical exemption applies as set forth in §15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

V. FISCAL IMPACT

There are no fiscal impacts to the City Council adopted 2023-2024 budget as all applicable fees were paid by the applicant during the Project submittal. The fees collected cover the full cost of review for the City's consultants, and also cover staff's time spent reviewing the Project plans.

VI. RECOMMENDATION

Based on the foregoing analysis, staff recommends that the Planning Commission approve Site Plan/Architectural Review Case No. SPR-2023-0041, subject to the Conditions of Approval and based on the findings of the attached Draft Resolution and make a determination of exemption pursuant to the CEQA.

VII. ATTACHMENTS

1. Draft Resolution
 - a. Exhibit A, Conditions of Approval
2. Vicinity Map
3. Project Plans
4. Site Photos

Case Planner: Katrina Garcia, Associate Planner

ATTACHMENT 1

Draft Resolution and Exhibit A, Conditions of Approval

RESOLUTION NO. 24-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING SITE PLAN/ARCHITECTURAL REVIEW PERMIT CASE NO. SPR-2023-0041 FOR FIRST AND SECOND FLOOR ADDITIONS TO AN EXISTING TWO-STORY SINGLE-FAMILY RESIDENCE LOCATED AT 5948 LAKE LINDERO DRIVE AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Matthew Steen of Bourgault Drafting and Design for Ryan and Brittany Rosen, with respect to the real property located at 5948 Lake Lindero Drive (Assessor's Identification Number 2056-022-012), requesting the approval of a Site Plan/Architectural Review permit (Case No. SPR-2023-0041) to add 199 square feet (sq. ft.) on the first floor, 655 sq. ft. on the second floor, and 144 sq. ft. for a covered porch (the Project).

Section II. The Project is a request for additional floor area to an existing residence and was reviewed pursuant to the California Environmental Quality Act (CEQA). The Project has been determined to be Categorically Exempt from the CEQA Guidelines per California Code of Regulations (CCR) §15301 (Existing Facilities). The Project proposes to add floor area to an existing single-family residence, consistent with the criteria for exemption of §15301. No significant environmental impacts are expected from the development of this project. No exception to this categorical exemption applies as set forth in §15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the Project applications at a public hearing held on June 20, 2024, at 6:30 p.m. in the City Council Chambers located at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, means of participation in, and purpose of the aforesaid hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to, and considered by the Planning Commission at the aforesaid public hearing.

Section V. Site Plan Review. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds for the Site Plan/Architectural Review, pursuant to the Agoura Hills Municipal Code (AHMC) §9677.5, that:

A. The proposed use is consistent with the objectives and provisions of Article IX (Zoning) of the AHMC and the purposes of the land use district in which the use is located. The Project is located within the Residential-Single-Family (RS) zoning district that allows for the development and alteration of single-family residences. The proposed addition on the second floor continues the seven-foot nonconforming setback on the south side yard, which is permitted under the City's yard standards (§9605.1(D)) and the Type 1 Non-conforming as it continues the first floor's setback and does not further encroach into the minimal setback area. With the exception of existing legal-nonconforming south side yard setbacks, the Project meets the City's development standards for the RS district with regard to building site coverage, building height, number of stories, and all other applicable development standards.

B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare. The Project is required to comply with the California Building Code, City Building Code, and requirements of the Los Angeles County Fire Department. The Project also does not impede vehicular visibility on- and off-site. There is no possibility that the first and second story addition to a developed lot, with proper means of ingress and egress, are detrimental to public health, safety, or welfare.

C. The proposed use will not conflict with the character and design of the buildings and open space in the surrounding area. The additions are set back from the existing front elevation and minimally expands the building footprint such that site coverage increases from 24 percent (%) to 28% of the lot area, but is still below the 50% maximum allowed in the RS district. The addition does not obstruct the views and visual aesthetics of the neighborhood or open spaces as the residence is designed to be compatible with the scale and architecture of the neighborhood. The addition does not increase the dwelling density on the lot as the added floor area is specifically for single-family residents of the house. Therefore, the addition and the use do not conflict with the character and design of the buildings in the surrounding area.

D. The proposed use will comply with each of the applicable provisions of Article IX, Chapter 6 of the AHMC. The Project is consistent with the RS zoning district's requirements for building height, site coverage, and use. The Project does not worsen the nonconforming south side yard setbacks as it proposes to continue the building line of the first floor. The site coverage increases as a result of the first-floor addition and covered front porch, but is still well-below the 50% maximum. The height of the building also increases from 21 feet (ft.) to 23 ft., but is still below the 35-foot maximum allowed in the RS district. As such, the project does not require any variances or modifications.

E. The proposed use is consistent with the City's General Plan. The Project's site and building design are consistent with General Plan Goal LU-7, Policies 7.1 and 7.2, and Goal LU-9, Policy 9.1. The proposed addition is maintaining the existing residence's architectural style with upgrade to the siding on the front elevation and does not alter the aesthetics of the neighborhood. In addition to the siding, the residence

continues the use of stucco on the other three elevations and features a cross-gable roof, similar to the existing design. The addition is also recessed from the existing front elevation for articulation. The second story addition continues the existing first floor building line, which has a nonconforming setback of seven feet on the very edge of the southeast corner of the building. Other than this occurrence, the residence and proposed addition complies with the setback requirements and does not negatively impact the adjacent neighbors. The Project also meets all objective standards in the AHMC, including height and site coverage, therefore the Project is consistent with the AHMC, as well as, the intent and purpose of the General Plan. The Project complies with the goals and intent of the General Plan.

F. The proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The proposed use is consistent with the existing single-family residential use as the Project consists of additions to the first and second story that creates an expanded family room on the first floor and a new primary suite on the second floor, all of which serves the existing single-family residence. The addition is consistent in size and shape with the surrounding development, within the same single-family residential housing tract. The Project also includes new paint and material on the residence that improves the aesthetics of the house such that it enhances the character of the area.

Section VI. Architectural Review. Based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission finds for the Site Plan/Architectural Review, pursuant to the AHMC §9677.7.G, that:

1. The proposed development is consistent with the general plan, any specific plans, and any design standards adopted by the city council. The Project's site and building design are consistent with Goal LU-7, Policies 7.1 and 7.2, and Goal LU-9, Policy 9.1. The Project is also consistent with the City's Architectural Design Standards and Guidelines (ADS&G) such that the architecture features low sloped roof, articulation on the front elevation, roof eaves and varying materials, including concrete siding and natural wood. The proposed addition is maintaining the existing residence's architectural style and does not alter the aesthetics of the neighborhood. The addition is not impacting the setbacks on the property, other than continuing the nonconforming setback on the southeast corner edge of the residence. The Project meets all objective standards in the municipal code, including height, site coverage, and setbacks; therefore the project is consistent with the AHMC as well as the intent and purpose of the General Plan.

2. The design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood; and it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and it will not create traffic hazards or congestion. The design and location of the Project and its relationship to existing or proposed developments does not impair the desirability of investment or occupation in the

neighborhood because the Project is designed to comply with the ADS&G and the zoning district. The additions are set back from the existing front elevation thereby creating articulation and reducing the mass along the street. No changes are proposed such that it negatively impacts traffic or visually obstructs the view of pedestrians or drivers. It also does not impair the desirability for future homebuyers of both the subject residence and adjacent residences, as the addition creates additional square footage and increases value. The residence and its addition do not block views of any scenic resources.

3. The design of the Project is in keeping with the character of the surrounding neighborhood and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the general plan of the city. As described in Finding 1 of this Section VI, the Project is consistent with the General Plan. The addition to the single-family residence is designed in accordance with the City's Zoning Ordinance and the ADS&G as it is compatible with the surrounding neighborhood with regard to height, scale, eaves, and roof pitch. It meets all development standards and guidelines and does not encroach further into the nonconforming side yard setbacks. The Project is designed to remain consistent with the existing structure's architecture with regard to the 3:12 roof slope and cross gable, repainted stucco, and upgrades to the siding along the front elevation.

4. The design of the Project will provide a desirable environment for its occupants, as well as for its neighbors, and is aesthetically of good composition, materials, textures, and colors. The Project is designed with high level architecture and quality materials. It features wood louvers that accent the front of the building and complements the new wood deck and pergola. The new outdoor area enhances the use of the office building as it creates a more inviting environment for its users through the incorporation of a shaded structure and integration of the existing mature vegetation.

5. The Project complies with all applicable requirements of the RS district in which it is located and all other applicable requirements. The Project comports with applicable development standards in the RS zoning district—including the ADS&G, as described in Findings C and D of Section V.

6. The overall development of the subject property is designed to ensure the protection of public health, safety, and general welfare. The Project is an addition to a residence on a developed lot with existing vehicular access on and off the lot. The addition complies with all RS district zoning standards as described in the preceding findings, except the legal nonconforming setback which is not further being encroached into. Prior to construction, the Project applicant will be required to obtain building permits to ensure the health and safety of the public and its users.

Section VII. Residential-Single Family, Site Plan Review. Based on the evidence at the hearing, including the staff report and oral and written testimony, the Planning Commission finds, pursuant to AHMC §9243.9.D, that:

1. The mass and bulk of the design is reasonably compatible with the predominant adjacent structures and the surrounding neighborhood character. The additions on the first and second floor are standard locations for additions in the existing housing tract. The neighborhood contains single-story and two-story residences; some that have been modified with additions and some that have remained the original design since construction. Nevertheless, the project features proper articulation and seamless roof transitions that help mitigate mass and bulk along the street frontage.

2. The proposed buildings and structures are designed with quality architectural details. The Project proposes to upgrade the siding along the front elevation to concrete lap siding on the first floor and board and batten on the second floor for additional dimension and variety along the frontage. The Project also proposes wooden materials beneath the new front porch, a metal seam roof directly above the first floor and faux shutters. The entire house will also be repainted to white.

3. New buildings and structures or substantial remodels are not disproportionately larger than, or out of scale with, the neighborhood character. As described in Finding 1 of this section, the neighborhood contains houses of varying sizes and range in height from one-story to two-story. The residence and the proposed additions does not result in a structure that is disproportionately larger than the other structures in the neighborhood.

4. The Project is consistent with the Neighborhood Compatibility Guidelines found in the City's Architectural Design Standards and Guidelines. Findings in Section VI (Architectural Review) describes how the Project is consistent with the ADS&G.

Section VIII. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Permit Case No. SPR-2023-0041, subject to the Conditions of Approval, attached herein as Exhibit A, with respect to the property described in Section 1 hereof.

Section IX. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolutions of the Planning Commission of the City.

PASSED, APPROVED and ADOPTED this 20th day of June, 2024, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

Morgan Roth, Vice Chair

ATTEST:

Denice Thomas, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case No. SPR-2023-0041)

PLANNING DIVISION

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of the Planning Commission's action, subject to filing the required forms and related fees with the City.
2. The approval of this permit shall not be effective for any purpose until the Applicant has agreed in writing that they are aware of, and accept, all conditions of the permits issued by the City of Agoura Hills.
3. Except as specifically modified by conditions of approval, the proposed development shall be constructed in substantial conformance with the approved plans and project description. The proposed development shall further comply with all conditions of approval stipulated in this resolution attached hereto. In the event project plans conflict with any condition of approval, the condition shall take precedence.
4. Minor changes to the approved plans or the conditions of approval may be approved by the Community Development Director, provided such changes achieve substantially the same results and the project is still in compliance with the Agoura Hills Municipal Code. Revised plans reflecting the minor changes and additional fees shall be required to be submitted to complete the record. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permits shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permit shall be suspended, and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Agoura Hills Municipal Code and of the specific zoning designation of the subject property must be complied with unless set forth in these conditions or on the approved plans.
8. The Site Plan/Architectural Review permit (SPR-2023-0041) shall become void two years following the date it was approved, unless prior to the expiration of one year, a building permit is issued and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit, or a certificate of occupancy is issued for the structure which was the subject of the permit. Prior to the expiration of the permit, the applicant may request up to two extensions for a period of time not exceeding 12 months, subject to the approval of the Planning Division.

9. No final approval shall be granted for any new building until all conditions of approval have been complied with as determined by the Community Development Director.
10. All outstanding fees owed to the City, if any, shall be paid by the Applicant within thirty (30) days of the approval of this permit.
11. The Applicant and/or owner shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees with determined the time of Building Permit issuance.
12. All exterior lights shall be focused downward and shielded to minimize glare and light spillover onto the adjacent lots.
13. It is the responsibility of the Applicant and/or their representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
14. In the event archaeological resources are encountered during ground-disturbing activities, the City Planning Department shall be notified immediately, and work shall stop within a 100-foot radius until a qualified archaeologist approved by the City Planning Department, and retained and paid for by the Developer/Applicant, has assessed the nature, extent, and potential significance of any remains pursuant to the California Environmental Quality Act (CEQA). In the event such resources are determined to be significant, appropriate actions are to be determined by the archaeologist consistent with CEQA (PRC Section 21083.2) and the City General Plan, in consultation with the City Planning Division.
15. If human remains are unearthed, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the Developer/Contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) thought to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assess the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City.
16. I understand that the receipt of the approvals and the rights granted pursuant to such approvals are for my benefit (or that of my principal). Therefore, if the approvals, any conditions attached thereto, or any other City permits issued pursuant to such approvals, are challenged by a third party, I will be responsible for defending against this challenge. I agree to accept this responsibility for defense at the request of the City and also agree to defend and indemnify (with counsel of the City's choosing), and hold the City harmless from any costs, claims, demand, financial loss, penalties,

finances, judgments, or liabilities arising from the approvals, any conditions attached thereto, or any City permits issued pursuant to such approvals, including without limitation, any award or attorney's fees that might result from the third party challenge, excepting only liability arising from the sole negligence, gross negligence, or intentional misconduct of City. For the purpose of this indemnity, the term "City" shall include the City of Agoura Hills, its officers, officials, employees, agents, and representatives. For the purpose of this indemnity, the term "challenge" means any legal or administrative action to dispute, contest, attack, set aside, limit, or modify the approval, project conditions, or any act upon which the approval is based, including, but not limited to, any action alleging a failure to comply with the California Environmental Quality Act or other laws.

BUILDING AND SAFETY DIVISION

Prior to permit issuance

17. All buildings and structures to be constructed or altered, or any change of use proposed as part of the Project shall be designed and constructed in accordance with all applicable regulations and standards of the City's Building Codes, Fire Code, and any related Building Standards Code in effect; and all other applicable provisions of the AHMC which are adopted and in effect at the time of application for a building permit.
18. All the code requirements for the Very High Fire Hazard Severity Zone (VHFHSZ) per amended Chapter 7A of the governing California Building Code or the amended Section R337 of the governing California Residential Code, Los Angeles County Fire Code, and Agoura Hills Municipal Code shall apply to this Project.
19. Soils report is required to be submitted for this project for review and shall be a part of the final construction plans.
20. Los Angeles County Fire Department approval will be required prior to the issuance of building permits.
21. Las Virgenes Municipal Water District approval will be required prior to the issuance of building permits
22. School fees are required to be paid prior to the issuance of building permits.

During Construction

23. Hours of construction shall be limited to the following: 7:00 AM to 7:00 PM Monday through Saturday, no work on Sundays and Holidays. All construction workers shall be respectful of the surrounding neighborhood and keep non-construction-related noise to a minimum prior to, during, and after permissible construction hours.
24. All staging and storage of construction equipment and materials, including the construction dumpster, shall be on-site only. The Property Owner must obtain written permission from adjacent property owners for any construction staging occurring on adjacent property.

25. Compliance with the following noise standards shall be required at all times:

- a) No construction equipment shall be operated without an exhaust muffler, and all such equipment shall have mufflers and sound control devices (i.e., intake silencers and noise shrouds) that are no less effective than those provided on the original equipment;
- b) All construction equipment shall be properly maintained to minimize noise emissions;
- c) If any construction vehicles are serviced at a location on site, the vehicle(s) shall be setback from any street and other property lines to maintain the greatest distance from the public right-of-way and Noise Sensitive Receptors;
- d) Noise impacts from stationary sources (i.e., mechanical equipment, ventilators, and air conditioning units) shall be minimized by proper selection of equipment and the installation of acoustical shielding as approved by the Director of Community Development or/and the Building Official.
- e) Stationary source equipment (i.e., compressors) shall be located to maintain the greatest distance from the public right-of-way and Noise Sensitive Receptors.

26. In the event multiple citations are issued in connection with the Project for violations of these Conditions of Approval or other violations of the AHMC, Project construction shall be stopped until such time that it is determined to the satisfaction of the Community Development Director, that causes of such violations have been eliminated or corrected and that the Project will be able to proceed in full compliance with these Conditions of Approval and the AHMC.

Prior to TCO/CO issuance

27. Successfully complete all required inspections as determined by the Building Official.
28. Obtain all approvals and sign-offs from other City Departments/Divisions and outside agencies.

GEOTECHNICAL

29. The applicant shall comply with all recommendations and comments provided in the review sheet dated November 30, 2023 by the City's Geotechnical Consultant, GeoDynamics, Inc.

SOLID WASTE MANAGEMENT

30. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction &

Recycling Plan” to the City for review and approval. The plan shall provide for at least 65% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City’s Waste Reduction & Recycling Plan form or a similar format shall be used.

31. The project shall comply with the City’s Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility’s letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
32. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

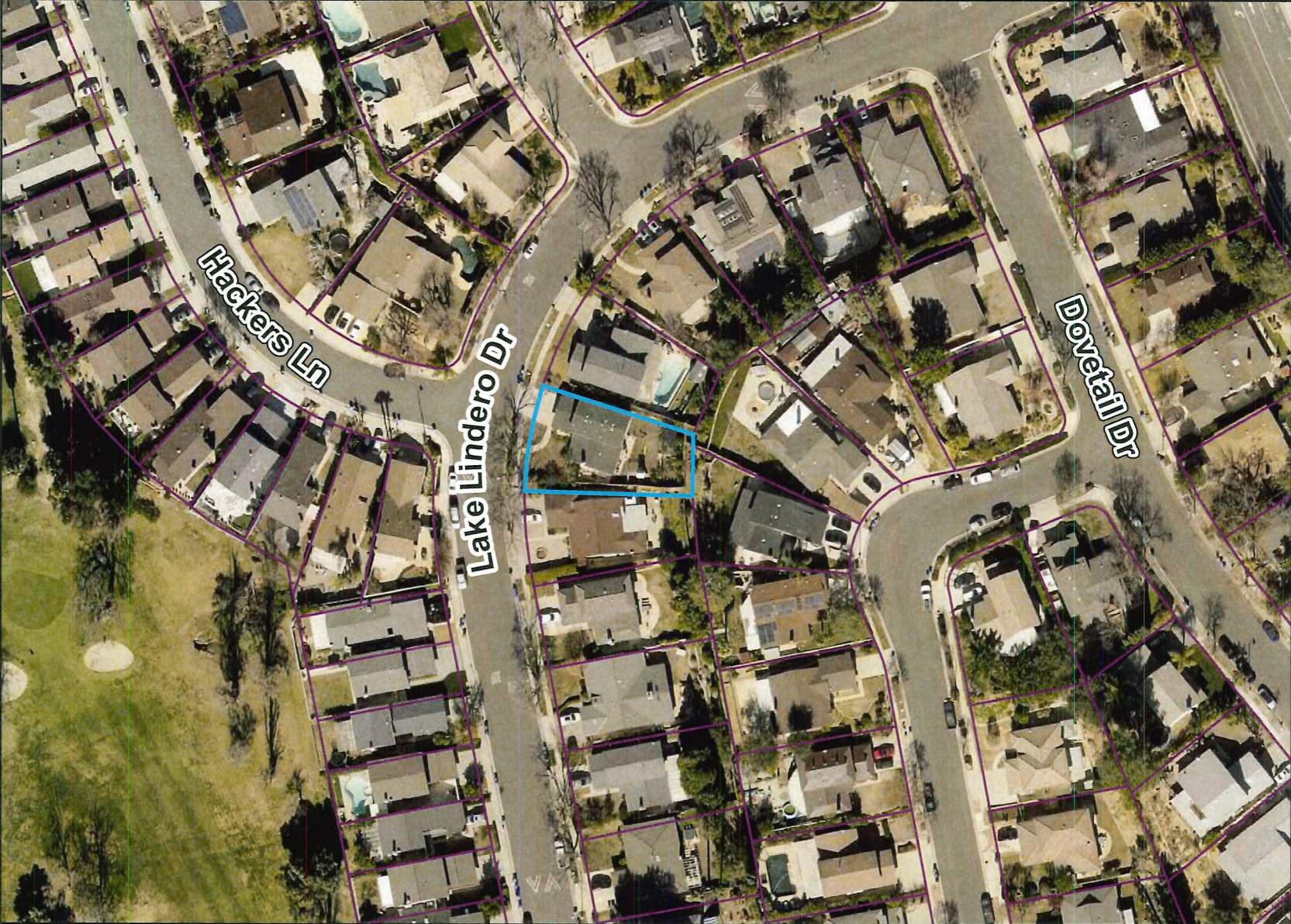
END

ATTACHMENT 2

Vicinity Map

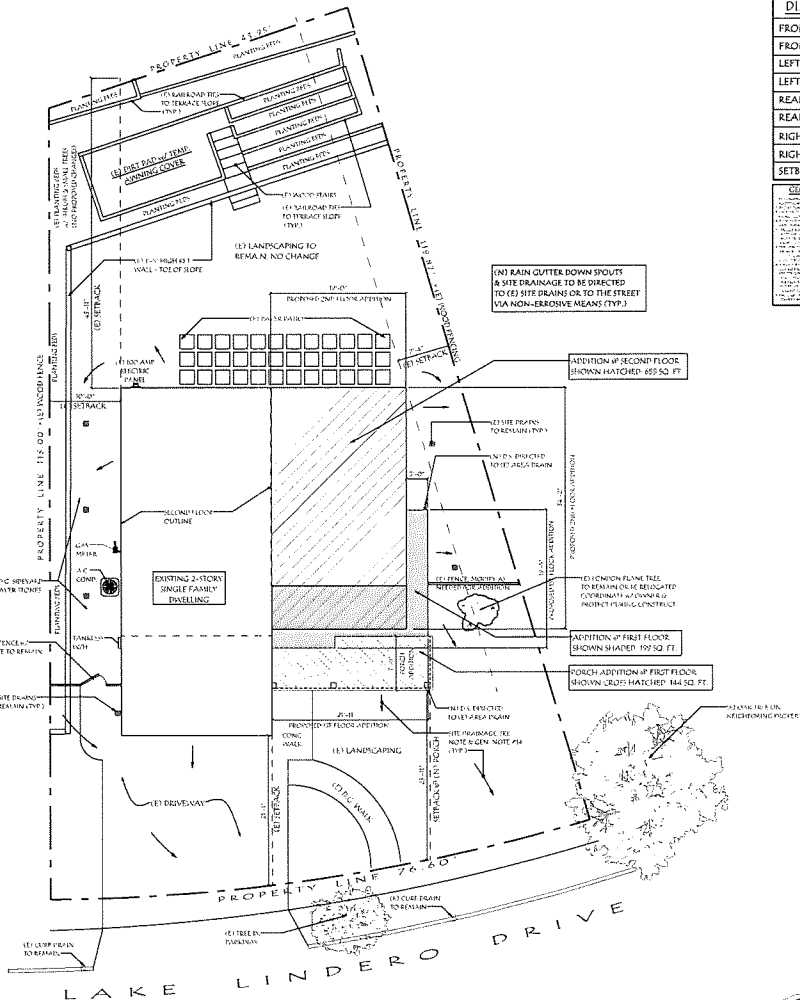
Vicinity Map

5948 Lake Lindero Dr (AIN 2056-022-012)
Case No. SPR-2023-0041



ATTACHMENT 3

Project Plans



SITE PLAN

SCALE: 1/8" = 1'-0" NOT A RECORD SURVEY

PROJECT MUST COMPLY WITH THE CITY'S CONSTRUCTION PERMITS, WASTE REDUCTION AND RECYCLING REQUIREMENTS.

SECOND FLOOR CALCULATION

EXISTING FIRST FLOOR: 1082 SQ. FT.
 EXISTING GARAGE: 505 SQ. FT.
 TOTAL FIRST FLOOR FOOTPRINT: 1587 SQ. FT.
 75% OF (E) FIRST FLOOR: 1190.25 SQ. FT.
 TOTAL FIRST FLOOR FOOTPRINT: 1587 SQ. FT.
 EXISTING 2nd FLOOR: 719 SQ. FT. (45%)
 PROPOSED 2nd FLOOR: 719 (E) + 655 (N) = 1374
 PERCENTAGE OF 2nd FLOOR FOOTPRINT: 86.6%

SETBACK INFORMATION

DIRECTION/LOCATION	EXISTING	PROPOSED
FRONT SETBACK (WEST) 1st FLOOR	21'-1"	21'-1"
FRONT SETBACK (WEST) 2nd FLOOR	35'-2"	35'-2"
LEFT SETBACK (NORTH) 1st FLOOR	10'-0"	10'-0"
LEFT SETBACK (NORTH) 2nd FLOOR	10'-0"	10'-0"
REAR SETBACK (EAST) 1st FLOOR	43'-11"	43'-11"
REAR SETBACK (EAST) 2nd FLOOR	43'-11"	43'-11"
RIGHT SETBACK (SOUTH) 1st FLOOR	7'-4"	7'-4"
RIGHT SETBACK (SOUTH) 2nd FLOOR	25'-6"	7'-4"
SETBACK @ FRONT PORCH	34'-3"	23'-11"

GEOTECHNICAL / SOILS ENGINEER:
 HEADQUARTERS GEOTECHNICAL
 PETER HATHCOCK
 1844 EASTERN AVENUE #102
 VENTURA, CA 93003
 LICENSE # C-6745 (P) 231 844-9978
 CDP / 10/20/21 / 2/20/22

GENERAL NOTES:

- THE FOLLOWING NOTES APPLY TO THE DRAWINGS UNLESS NOTED OTHERWISE.
- OWNER HAS HAD PREFERRED OVER-SCALE.
- ALL WORK SHALL COMPLY WITH TITLE 24 AND THE 2022 C.C.C. CODE AND C.C.C. AND THE 2022 C.E.C. AND ANY LOCAL ORDINANCES REG. BY THE CITY OF BOURGAULT, CALIF.
- REAR CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE IDENTICAL TO THE DETAILS SHOWN FOR THE RESPECTIVE MATERIALS AND SHALL CONFORM TO THE STANDARD GENERAL CONTRACTS OF A LICENSED GENERAL CONTRACTOR.
- CONTRACTOR RESPONSIBLE FOR PROVIDING ADEQUATE SHIELDING, BRACING AND OTHER SAFETY MEASURES. ENGINEER SERVICES DO NOT EXTEND TO OR INCLUDE THE REVIEW OR THE OPERATION OF THE CONTRACTOR, WORK OR PERFORMANCE. ENGINEER IS NOT LIABLE FOR FAILURE OF CONTRACTOR TO WORK TO CONFORM TO SPECIFICATIONS OR CONTRACT DOCUMENTS.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SET CONDITIONS. OWNER TO BE NOTIFIED OF ANY DISCREPANCIES AND APPROPRIATE DRAWINGS/REVISIONS FOR WORK IN THE WORK FROM NOTIFICATION OF DISCREPANCY.
- NOTES AND DETAILS ON THE DRAWING SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- ALL CONDITIONS NOTED AS EXISTING (E.) OR SHOWN AS EXISTING ARE BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS. NO WARRANTY IS MADE AS TO THE ACCURACY OF SAME. THE PULPER IS TO VERIFY ALL CONDITIONS. SHOWN CONDITIONS ARE APPARENT THAT DIFFER FROM FACTS. SEE NOTE #1.
- THE CONTRACTOR SHALL REPRESENT THE FINISH STRUCTURE UNLESS NOTED OTHERWISE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE PULPER SHALL VERIFY AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION DETAILS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OPERATIONAL VISITS BY THE ENGINEER AND / OR STRUCTURAL ENGINEER WILL BE MADE TO THE SITE WITH THE WORKER GOING TO THE OWNER BY WRITTEN REQUEST.
- THE OWNER SHALL PROVIDE A VALID POLICY OF COMMERCIAL CONSTRUCTION INSURANCE NUMBER, HOLDING HAZARDOUS CITY, COUNTY, AND DESIGNER IN THE EVENT OF AN INJURY OR CASUALTY.
- APPROVED DRAWINGS TO NOT PRESENT THE VIOLATION OF ANY EXISTING BUILDING CODES.
- IF THE PULPER SHALL NOT PROVIDE ALL SPECIFICATIONS (E.G. MORE IN DETAIL) IN WHICH A PERSON IS REQUIRED TO PRESENT.
- THEY SHALL BE IN NO CONNECTION OR IMPLICATION OF ANY BUILDING, STRUCTURE, OR CONSTRUCTION OR ANY WORK, FROM HUMAN ERROR OR IN HIGH DRAINAGE, GROUND-WATER TABLE ADJACENT TO THE FOUNDATION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES.

GENERAL BUILDING CODE NOTES:

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOODING-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES.
- PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE 72" HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED WATER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- WATER HEATER MUST BE STRAPPED TO WALL (SEE 502.2 CFC).

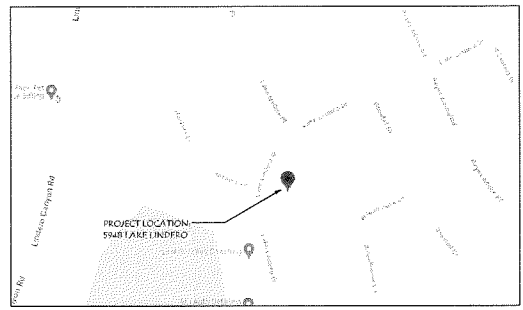
NOTES REGARDING LANDSCAPING:

PROJECTS SCOPE OF WORK DOES NOT INCLUDE ANY NEW LANDSCAPING. PROPOSED ADDITION AND PORCH WILL REDUCE (E) FRONT YARD LANDSCAPING BY 361 SQ. FT. REMAINING LANDSCAPING WILL BE PROTECTED.

LOT AREA CALCULATIONS:

EXISTING:
 LOT SIZE: 6,930 SQ. FT.
 EXISTING BUILDING FOOTPRINT w/ PORCH: 1,660 SQ. FT. (24%)
 EXISTING HARDSCAPE (IMPERVIOUS): 720 SQ. FT. (10%)
 EXISTING LANDSCAPE: 4550 SQ. FT. (66%)

PROPOSED:
 LOT SIZE: 6,930 SQ. FT.
 PROPOSED BUILDING FOOTPRINT w/ PORCH: 1,530 SQ. FT. (22%)
 REDUCED HARDSCAPE (IMPERVIOUS): 670 SQ. FT. (10%)
 REMAINING LANDSCAPE: 4,730 SQ. FT. (68%)



VICINITY MAP

AREA TABULATIONS

AREA	EXISTING	NEW	TOTAL
FIRST FLOOR	1082	199	2,655
SECOND FLOOR	719	655	1,374
GARAGE	505	0	505
COVERED PORCH	75	144	144

SCOPE OF WORK

FIRST FLOOR:

- 199 SQ. FT. ADDITION TO EXISTING FAMILY ROOM & ENTRY.
- REMOVE (E) CHIMNEY & FIREPLACE ALONG W/ (E) COV. PORCH.
- (N) 144 SQ. FT. COVERED PORCH.

SECOND FLOOR:

- 655 SQ. FT. ROOM ADDITION TO INCLUDE: MASTER SUITE W/ W.I.C., ENSUITE BATHROOM AND NEW LAUNDRY CLOSET.
- REMODEL @ SECOND FLOOR TO INCLUDE: REWORKING CLOSETS BETWEEN BEDROOM #2 & 3 TO CREATE (N) W.I.C.
- CONVERT BEDROOM #4 TO (N) STUDY.

TABLE OF CONTENTS

SHT. #	DESCRIPTION
1.0	SITE PLAN / BLDG. DEPT. INFORMATION
1A	SURVEY COVER SHEET & AVERAGE SLOPE CALC.
1B	ARCHITECTURAL SURVEY BY OTHERS
MB	MATERIAL SPECS & COLOR BOARD
2.0	(E) FIRST & SECOND FLOOR PLANS / DEMO
2.1	(E) ROOF PLAN
2.2	DEMOLITION CALCULATION FLOOR PLANS
3.0	MODIFIED FIRST FLOOR PLAN
3.1	MODIFIED SECOND FLOOR PLAN
3.2	MODIFIED ROOF PLAN
4.0	EXTERIOR ELEVATIONS
4.1	EXTERIOR ELEVATIONS
5.0	BUILDING SECTION

BUILDING DEPARTMENT INFO:

JOB SITE ADDRESS: 5948 LAKE LINDERO DRIVE
 AGOURA HILLS, CA 91301

LEGAL DESCRIPTION: LOT # 34 TRACT: 23806
 A.P.N. # 2056-022-012

OCCUPANCY: R-3 FOR RESIDENCE / U FOR GARAGE
 GENERAL PLAN DESIGNATION: RESIDENTIAL SINGLE FAMILY
 ZONE: RS-(S)-7,500
 LOT AREA: 6,930 SQ. FT.

TYPE OF CONSTRUCTION: TYPE V-B NON-SPRINKLERED
 EXISTING BUILDING HEIGHT: 21 FEET - 1 INCHES
 NEW BUILDING HEIGHT: 22 FEET - 9 INCHES

CURRENT CODES:
 2022 CALIF. RESIDENTIAL CODE
 2022 CALIF. BLDG. CODE (STRUCTURAL)
 2022 CALIF. PLUMBING CODE
 2022 CALIF. MECHANICAL CODE
 2022 CALIF. ELECTRICAL CODE
 2022 CALIF. GREEN BUILDING CODE STANDARDS
 2022 CALIF. ENERGY EFFICIENCY STANDARDS
 FOR RESIDENTIAL ADOPTED BY THE CITY.

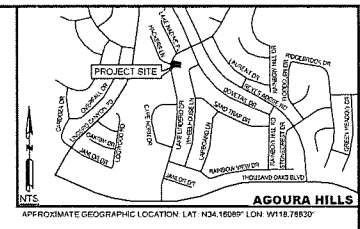
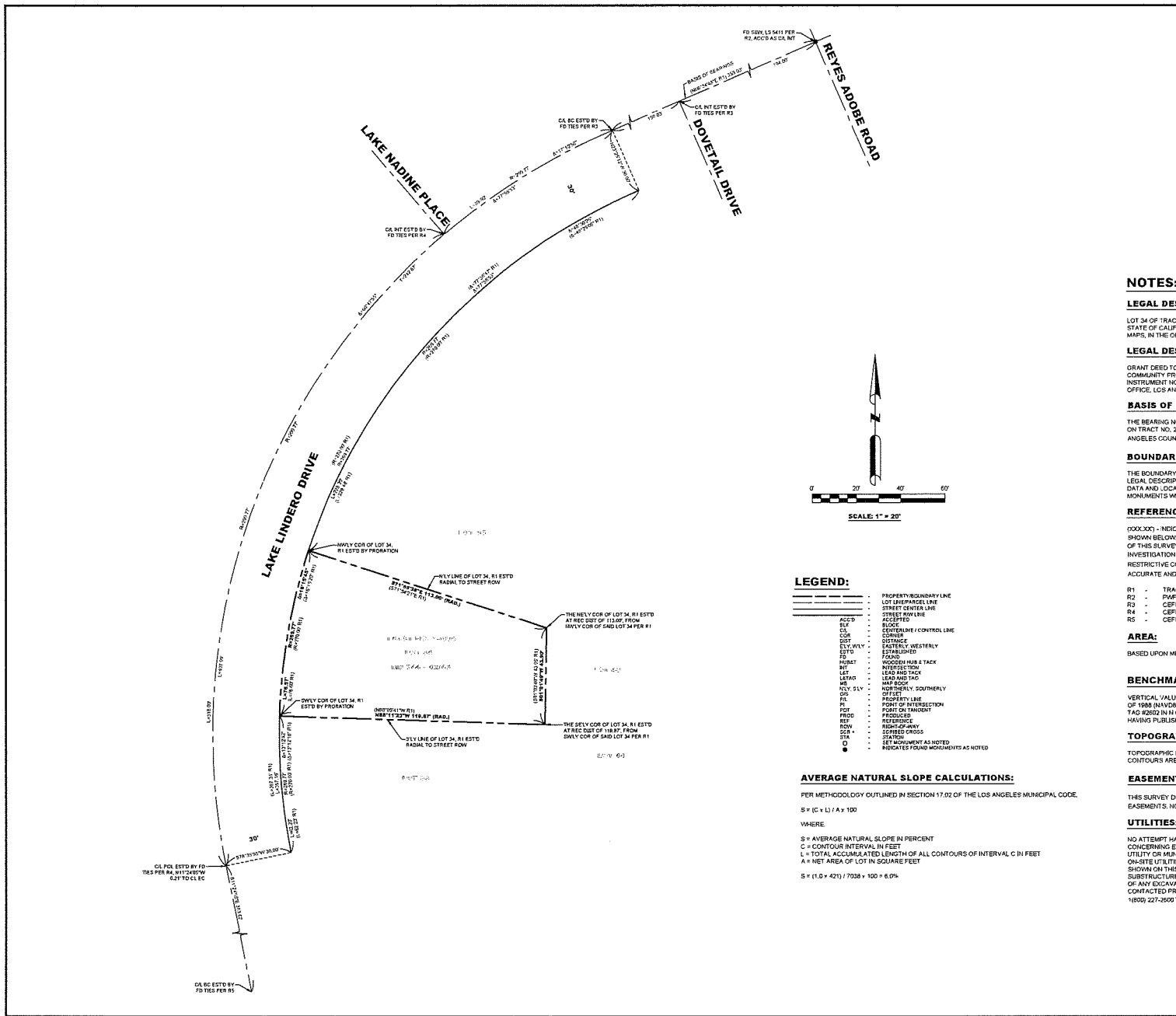
BUILDING DEPARTMENT: CITY OF AGOURA HILLS

OWNER: RYAN & BRITTANY ROSEN
 5948 LAKE LINDERO DRIVE
 AGOURA HILLS, CA 91301
 (PH) 422-6575

DESIGNER: JIM BOURGAULT
 2555 ROWLAND STREET
 SIMI VALLEY, CA 91306
 (805) 306-9220

T-24 / ENERGY: ARASH NAZARI
 A & N DESIGN GROUP, INC.
 10524 HAYNES STREET, UNIT 2
 RESEDA, CA 91355
 (PH) 288-4361

THE FOLLOWING DRAWINGS HAVE BEEN PREPARED AND REVIEWED BY BOURGAULT DRAFTING DESIGN LLC
 James W. Bourgaault
 Friday, January 19, 2024
 DATE: Friday, January 19, 2024
 REVISIONS
 BOURGAULT DRAFTING AND DESIGN, LLC
 2555 ROWLAND STREET, SUITE 200
 SIMI VALLEY, CALIFORNIA 91306
 (805) 306-9220
 PROPOSED REMODEL & ADDITION FOR THE: ROSEN RESIDENCES
 5948 LAKE LINDERO DR. AGOURA HILLS
 SHEET NO: 1.0
 JOB NO. 23-016



BULLOFF
 REGISTERED PROFESSIONAL SURVEYOR
 4444 CENTURY BLVD. #400
 VAN NUYS, CA 91411
 (818) 709-9888

DATE: 06/09/2023
 SCALE: 1"=20'
 SHEET: 1 OF 2
 INTERVAL: N/A

NOTES:

LEGAL DESCRIPTION:
 LOT 34 OF TRACT NO. 23808, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP RECORDED IN BOOK 744, PAGES 42 TO 48 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LEGAL DESCRIPTION SOURCE:
 GRANT DEED TO RYAN F. ROSEN AND BRITTANY S. ROSEN, HUSBAND AND WIFE AS COMMUNITY PROPERTY WITH RIGHT OF SURVIVORSHIP RECORDED 09/02/2017 AS AN INSTRUMENT NO. 2017108888 OF OFFICIAL RECORDS IN OFFICIAL RECORDS RECORDER'S OFFICE, LOS ANGELES COUNTY, CALIFORNIA.

BASIS OF BEARINGS:
 THE BEARING NORTH 66°34'48" EAST OF THE CENTERLINE OF LAKE LINDERO DRIVE SHOWN ON TRACT NO. 23808 RECORDED IN BOOK 744 PAGES 42 TO 48 OF MAPS, RECORDS OF LOS ANGELES COUNTY WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BOUNDARIES:
 THE BOUNDARY SOLUTION SHOWN HEREON HAS BEEN DEVELOPED FROM THE REFERENCED LEGAL DESCRIPTION AND IS BASED UPON ANALYSIS OF THE PUBLICLY AVAILABLE RECORD DATA AND LOCATION OF THE REFERENCED CITY, COUNTY, AND/OR PRIVATE SURVEY MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.

REFERENCES:
 (XXXX) - INDICATES RECORD OR CALCULATED FROM RECORD DATA PER REFERENCES SHOWN BELOW. EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. THE PROFESSIONAL SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

- REFERENCES:**
- R1 - TRACT NO. 23808, MB 744 - 42 / 46
 - R2 - PWS 1704, PG 304
 - R3 - CEFB 3004, PG 137
 - R4 - CEFB 3004, PG 138
 - R5 - CEFB 3004, PG 135

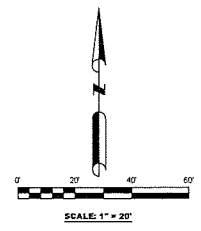
AREA:
 BASED UPON MEASURED BEARINGS AND DISTANCES AS SHOWN HEREON, THE AREA IS 7,008.50 FEET, 0.16166 ACRES.

BENCHMARK:
 VERTICAL VALUES SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVOD88) UTILIZING COUNTY OF LOS ANGELES BENCHMARK NO. DP185 BEING L&L S T&G 4202 IN LOS 11402 BOX Q NAVCOR THOUSAND OAKS BLVD & LAKE LINDERO DR., HAVING PUBLISHED ELEVATION OF 674.910 US FEET (2002 ADJUSTMENT).

TOPOGRAPHY:
 TOPOGRAPHIC DATA WERE GATHERED BY THE GROUND SURVEY METHODS. TOPOGRAPHIC CONTOURS ARE SHOWN AT 1' INTERVAL.

EASEMENTS:
 THIS SURVEY DOES NOT INCLUDE REVIEWING PROJECT SITE FOR EXISTENCE OF ANY EASEMENTS. NO EASEMENTS ARE SHOWN HEREON.

UTILITIES:
 NO ATTEMPT HAS BEEN MADE AS A PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY OR SUBSTRUCTURE. THEREFORE NO ON-SITE UTILITIES, MUNICIPAL/PUBLIC SERVICE FACILITIES OR SUBSTRUCTURES ARE SHOWN ON THIS MAP. FOR INFORMATION REGARDING THESE UTILITIES, FACILITIES OR SUBSTRUCTURES, PLEASE CONTACT THE APPROPRIATE AGENCIES BEFORE THE BEGINNING OF ANY EXCAVATION. STATE LAW REQUIRES BURIED CABLE LOCATOR SERVICE BE CONTACTED PRIOR TO SITE EXCAVATIONS. CALL UNDERGROUND SERVICE ALERT (USA) 1(800) 227-2659 TWO WORKING DAYS PRIOR TO DIGGING OR EXCAVATION.



- LEGEND:**
- PROPERTY BOUNDARY LINE
 - LOT BOUNDARY LINE
 - STREET CENTER LINE
 - STREET ROW LINE
 - ACCEPTED
 - BLOCK
 - CENTERLINE / CONTROL LINE
 - CORNER
 - DISTANCE
 - EASTERLY / WESTERLY
 - ESTABLISHED
 - FOUND
 - INTERSECT
 - WOODS/HUB & TACK
 - INTERSECTION
 - LESS AND TACK
 - LESS AND TAD
 - MAP BOOK
 - NORTHERLY / SOUTHERLY
 - DEFINITE
 - PROPERTY LINE
 - POINT OF INTERSECTION
 - CORNER
 - PROPOSED
 - REFERENCE
 - ROAD SPAN
 - SERIBED CROSS
 - STA.
 - STATION
 - SET MONUMENT AS NOTED
 - INDICATES FOUND MONUMENTS AS NOTED

AVERAGE NATURAL SLOPE CALCULATIONS:
 PER METHODOLOGY OUTLINED IN SECTION 17.02 OF THE LOS ANGELES MUNICIPAL CODE,
 $S = (C + L) / A \times 100$
 WHERE
 S = AVERAGE NATURAL SLOPE IN PERCENT
 C = CONTOUR INTERVAL IN FEET
 L = TOTAL ACCUMULATED LENGTH OF ALL CONTOURS OF INTERVAL C IN FEET
 A = NET AREA OF LOT IN SQUARE FEET
 $S = (1.0 + 421) / 7028 \times 100 = 6.0\%$

DESIGN GROUP: _____
 DATE: 06/09/2023
 DRAWN BY: _____
 CHECKED BY: _____
 THE DIRECTOR OF THE COUNTY RECORDER'S OFFICE

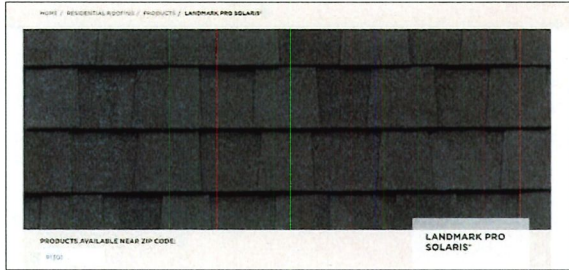
PROFESSIONAL SEAL
 REGISTERED PROFESSIONAL SURVEYOR
 BRITTANY S. ROSEN
 No. 6799
 STATE OF CALIFORNIA

DATE	BY	REVISIONS

PREPARED EXCLUSIVE FOR: BRITTANY AND RYAN ROSEN
 SHEET TITLE: BOUNDARY SURVEY
 PROJECT: LAKE LINDERO DRIVE
 ADDRESS: 5848 LAKE LINDERO DRIVE, AGOURA HILLS, CALIFORNIA 91301

PROJECT NO.: 15810101
 SHEET NO.: 1 OF 2 SHEETS

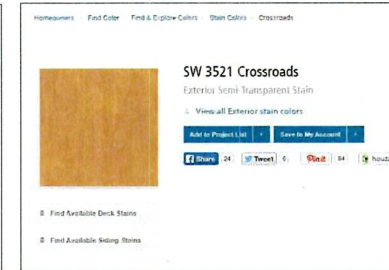
ROSEN RESIDENCE COLOR & MATERIAL SPECIFICATIONS



CERTAINTEED LANDMARK SOLARIS ASPHALT ROOFING
SOLARIS MOIRE BLACK (COOL ROOF) ICC-ESR # 3537



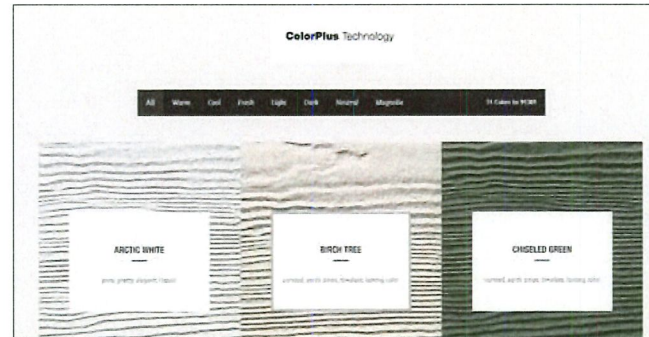
STANDING SEAM METAL ROOFING BY MBCI:
SLIMLINE STYLE IN CHARCOAL GREY UL APPROVALS 580, 790 & 263



EXTERIOR WOOD STAIN @ PORCH:
SHERWIN-WILLIAMS CROSS ROADS



STUCCO COLOR TO BE OMEGA WHITE



HARDIEPLANK LAP SIDING BY JAMES HARDIE
COLOR TO BE ARCTIC WHITE ICC-ESR #2290



Product Attributes

Finish	Black
Style	Contemporary
Brand	John Timberland

Technical Specifications

Height	17.00 inches
Width	6.00 inches
Weight	6.47 pounds

NOTE TO CONTRACTOR:
LIGHTING FIXTURES SHALL BE SHIELDED AND POINTED DOWN TO AVOID GLARE AND LIGHT SPILLAGE ONTO ADJACENT PROPERTIES.

EXTERIOR LIGHT FIXTURES (SEE PLAN FOR LOCATIONS)



PROPOSED RENDERING

THE FOLLOWING DRAWINGS HAVE BEEN PREPARED AND REVIEWED BY BOURGAULT DRAFTING & DESIGN (LLC) James W. Bourgault

REVISIONS FORCENS

BOURGAULT DRAFTING and DESIGN, LLC
ARCHITECTURAL DRAFTING & DESIGN
ROOM 400/2000 - REMODEL - 200 S. 10TH AVENUE
PH: 800.500.9220
WWW.BOURGAULTDESIGN.COM

PROPOSED REMODEL & ADDITION FOR THE:
ROSEN RESIDENCES
5948 LAKE LINDERO DR., AGOURA HILLS

SHEET NO:
MB

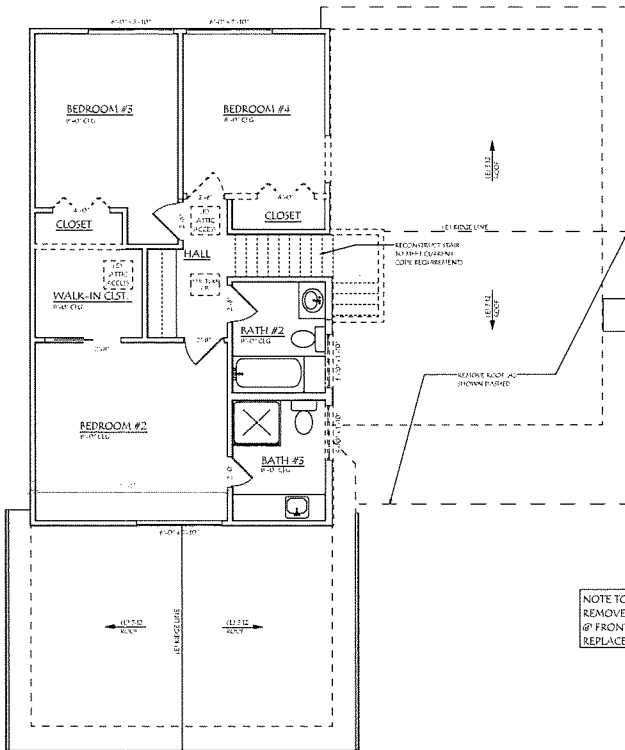
JOB NO. 23-016

Friday, January 19, 2024

DATE FILED, January 19, 2024

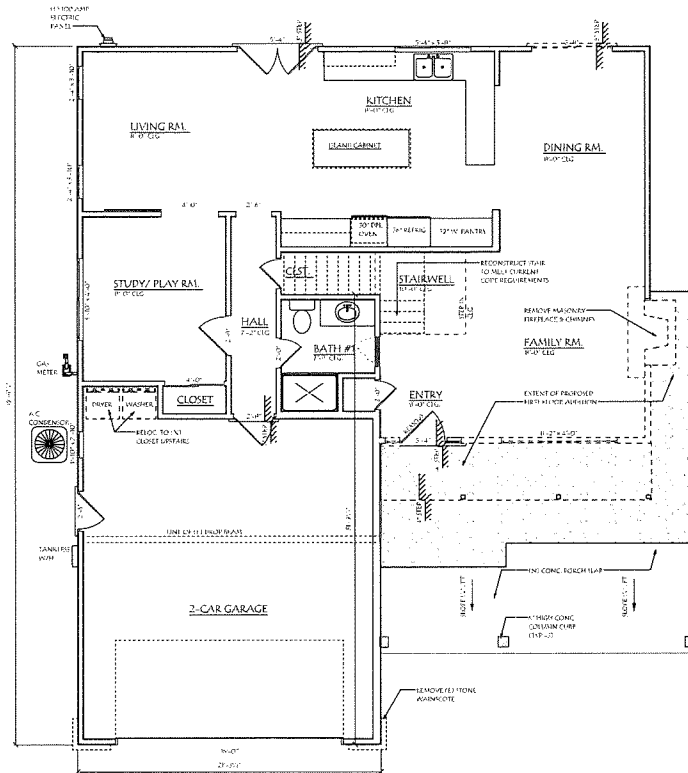
FILED IN: 800.500.9220

ALL DRAWINGS AND NOTICES MUST BE PRINTED ON 24" X 36" ARCHITECTURAL PAPER UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



NOTE TO CONTRACTOR:
 REMOVE (E) VERTICAL & HORIZONTAL SIDING
 @ FRONT OF RESIDENCE @ BOTH STORIES.
 REPLACE PER PLAN

(E) SECOND FLOOR PLAN / DEMO.
 SCALE: 1/4" = 1'-0"



(E) FIRST FLOOR PLAN / DEMO.
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO STARTING ANY WORK.
2. CONTRACTOR SHALL PROVIDE SHORING OVER SLOTTED FLOOR TO MAINTAIN ANY WORK.
3. CONTRACTOR SHALL REFERENCE ALL TYPICAL DETAILS PRESENT IN THESE PLANS AND NOT SPECIALLY DIFFERENCED ON THIS PLAN.
4. CONTRACTOR SHALL FIELD VERIFY THAT EXISTING CLEAR HEIGHTS, TENSORS, ETC. MEET ANY LAW CODE OR REQUIREMENTS.

SYMBOL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING WALL WITH REMOVED MATERIAL TO BE REPAIRED
- (E) EXISTING
- (N) NEW
- TO BE REMOVED

THE FOLLOWING DRAWINGS HAVE BEEN PREPARED AND REVIEWED BY BOURGAILT DRAFTING & DESIGN (LLC) James W. Bourgailt

FOR CONSTRUCTION

ROSEN RESIDENCES
 5948 LAKE LINDERO DR. AGOURA HILLS

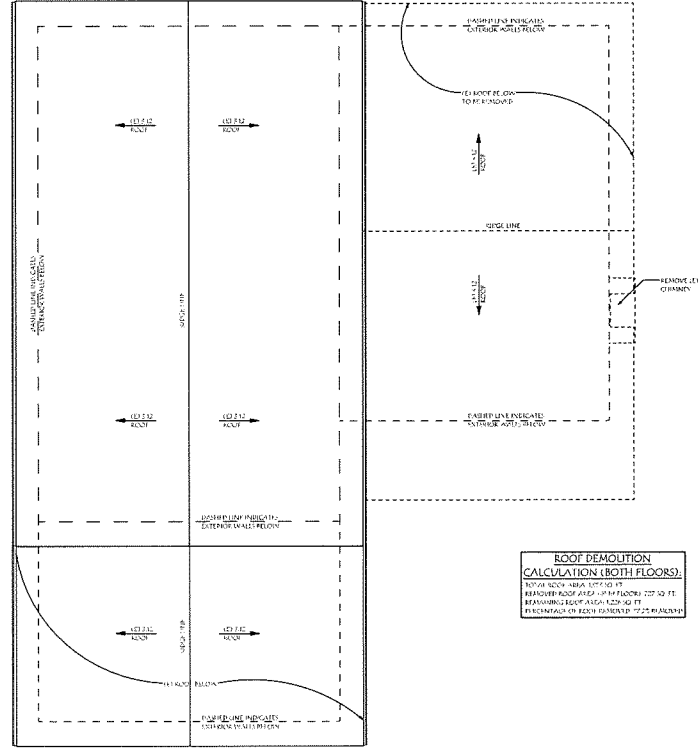
PROPOSED REMODEL & ADDITION FOR THE

REVISIONS

DATE: Friday, January 19, 2024

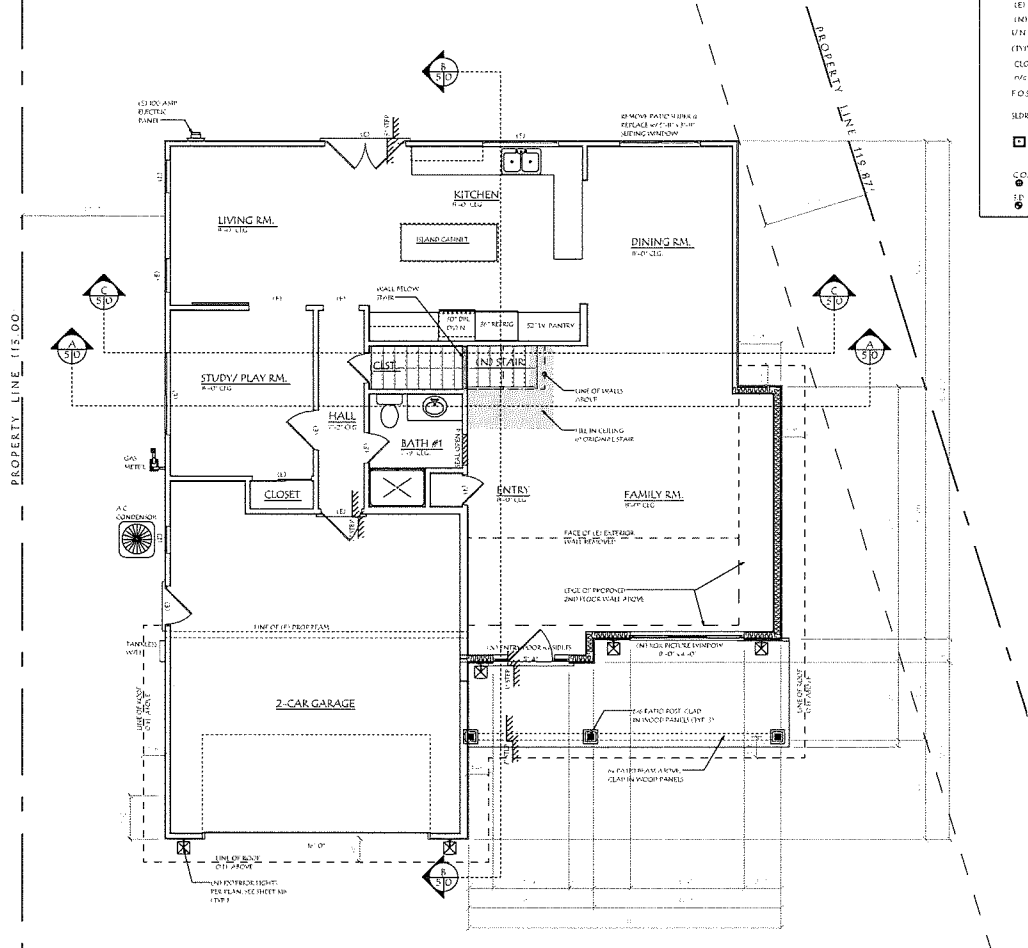
SHEET NO: 2.0

JOB NO. 23-016



(E) ROOF PLAN / DEMO
SCALE: 1/4" = 1'-0"

ROSEN RESIDENCES 5948 LAKE LINDERO DR. AGOURA HILLS	PROPOSED REMODEL & ADDITION FOR THE:	FORCONSISTENT DRAFTING & DESIGN, LLC 10000 S. WILSON AVE. SUITE 100 AGOURA HILLS, CA 91201 TEL: 909.266.8800 WWW.FORCONSISTENT.COM	REVISIONS	THE FOLLOWING DRAWINGS HAVE BEEN PREPARED AND REVIEWED BY BOURGALT DRAFTING & DESIGN, LLC James W. Bourgault
SHEET NO: 2.1				DATE: Friday, January 19, 2024
JOB NO. 23-016				



MODIFIED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

SYMBOL LEGEND

	1/2" WALL TO REMAIN
	NEW 2 1/4" INTERIOR WALL
	NEW 5/8" HIGH 2 1/4" INTERIOR PONY WALL
	NEW 2 1/4" EXTERIOR WALL w/ MIN. R-15 INSULATION
	NEW 2 1/4" EXTERIOR WALL w/ MIN. R-15 INSULATION & 2" AIR SPACE
	NEW 2 1/4" STUD WALL w/ DRYWALL ON 1 SIDE
	NEW 2 1/4" STUD FRAMING WALL w/ INSULATION FOR SOUND ABSORPTION
	EXISTING
	NEW
	UNKNOWN/NOT SPECIFIED
	PHYSICAL
	CEILING
	ON CENTER
	FACE OF STUD
	HATCHING IN WALL - SEE PLAN FOR SIZE
	FIRE RATED WALL - SEE PLAN FOR SIZE
	CARBON MONOXIDE ALARM
	SMOKE ALARM

INSULATION CERTIFICATION:
INSULATION INSTALLATION SHALL BE PERFORMED BY A LICENSED CONTRACTOR OR EQUIVALENT IN A CONCORDANCE WITH THE FOLLOWING: THE CERTIFIED CONTRACTOR SHALL STATE THAT THE INSTALLATIONS AND MATERIALS CONFORM TO THE APPROVED SECTION OF THE CURRENTLY APPLICABLE CODE. THE TITLE AND ADDRESS SHALL BE BEYOND THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION ON THE INSULATION'S MANUFACTURER'S LABEL. THE INSULATION SHALL BE THE MANUFACTURER'S Labeled Weight Per Square Foot of Concrete Until the Manufacturer's Label Denotes For the Product's Weight.

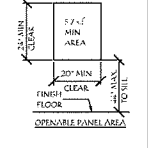
NOTES TO ELECTRICIAN:

- ELECTRICIAN SHALL COORDINATE WITH OWNER FOR LOCATING ALL ELECTRICAL LOADS, CONDUIT TO BE INSTALLED, AND PANELS.
- CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING: CONDUIT SHALL BE 1/2" ABOVE FLOOR OR CEILING UNLESS OTHERWISE NOTED. CONDUIT SHALL BE 1/2" ABOVE WALL UNLESS OTHERWISE NOTED. CONDUIT SHALL BE 1/2" ABOVE CEILING UNLESS OTHERWISE NOTED.
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EMERGENCY EGRESS:

NOTES:
ALL WINDOWS TO BE DUAL PANE GLASS.
SEE OPENING SCHEDULE.
EXTERIOR DOORS TO BE PER OWNER.
SELECTION OF PANE GLASS SEE OPENING SCHEDULE.

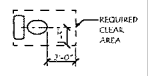
RECOMMENDATIONS: EACH RESIDENTIAL UNIT TO HAVE A WINDOW 4' x 7' 6" FT. AREA OPERABLE PANEL (3' 0" SQ. FT. OF GLASS LEVEL, 1' 6" MIN. 20" WIDE) AND MIN. 2' 6" HEIGHT, AND 41" (LSD) 11" MAX. TO R/L.



WATER CLOSET CLEARANCES:

Provide 15" min. between the center of water closet to dry wall (Call Plumb Code 402.5)

Provide 21" clear space in front of any water closet (Call Plumb Code 402.5)



SAFETY GLAZING:

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE TRANSPIRENCY ACT OF 1973 (CALIF. PUB. RES. CODE SEC. 18010-18015):

- GLAZING IN AN INDIVIDUAL FLOOR OR CEILING PANEL ADJACENT TO A DOOR WHERE THE PANEL IS 10' 0" OR MORE ABOVE THE FLOOR OR CEILING SURFACE AND THE BOTTOM EDGE IS LESS THAN 48" ABOVE THE FLOOR OR CEILING SURFACE.
- GLAZING IN AN INDIVIDUAL FLOOR OR CEILING PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - COVERED AREA OF AN INDIVIDUAL FLOOR OR CEILING PANEL IS 50 SQ. FT. OR MORE.
 - NOTHING IS LESS THAN 48" ABOVE THE FLOOR OR CEILING SURFACE.
 - GLAZING IS NOT MORE THAN 48" ABOVE THE FLOOR OR CEILING SURFACE.
 - GLAZING IS NOT MORE THAN 48" ABOVE THE FLOOR OR CEILING SURFACE.
 - GLAZING IS NOT MORE THAN 48" ABOVE THE FLOOR OR CEILING SURFACE.
- GLAZING IN A WINDOW OR DOOR OR GLAZING IN A WINDOW OR DOOR WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 48" ABOVE THE FLOOR OR CEILING SURFACE AND THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 48" ABOVE THE FLOOR OR CEILING SURFACE.
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CARBON MONOXIDE PROTECTION:

AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN EACH SLEEPING QUARTER AND IN SHARING SLEEPING QUARTERS. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN EACH SLEEPING QUARTER AND IN SHARING SLEEPING QUARTERS. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN EACH SLEEPING QUARTER AND IN SHARING SLEEPING QUARTERS.

FIRE PROTECTION:

ALL EXISTING AND NEW WALLS SHALL BE INSTALLED TO RESIST SPREADING FROM A FIREWORK OR BLENDING ACCESS TO THE EXTERIOR AND TO RESIST SPREADING FROM A FIREWORK OR BLENDING ACCESS TO THE EXTERIOR AND TO RESIST SPREADING FROM A FIREWORK OR BLENDING ACCESS TO THE EXTERIOR.

THE FOLLOWING DRAWINGS HAVE BEEN PREPARED AND REVIEWED BY BOURGAULT DRAFTING & DESIGN, LLC FOR THE PROJECT OF ROSEN PRESDENCES AT 5948 LAKE LINDERO DR. AGOURA HILLS, CALIFORNIA. DATE: February 13, 2024.

REVISIONS

FOR ROSEN PRESDENCES

5948 LAKE LINDERO DR. AGOURA HILLS

SHEET NO: 3.0

JOB NO. 23-1016

EXTERIOR COLOR NOTES:

STUCCO: OMEGA WHITE

SIDING: ARCTIC WHITE

TRIM/ RAKE BOARD: OMEGA WHITE

GUTTERS, WINDOWS, DOORS & SHUTTERS: DARK GREY OR BLACK

RATIO POSTS: NATURAL WOOD STAINED

ROOFING: SOLARIS MOIRE BLACK & CHARCOAL GREY

SEE SHEET A18 FOR MORE INFORMATION & SPECS

EXTERIOR FINISH NOTES:

ROOFING:

(A1) CLASS 'A' ASPHALT SHINGLES ROOFING BY CERTAIN-TYEE LLC # ESR-1895, 5957
 (A2) UNREINFORCED PER MANUFACTURER, ROOFING TO MATCH EXIST. REFER TO T-241 FOR BARRIER AND/OR COOL ROOF REQUIREMENTS

(A3) CLASS 'A' STAMPING FIBERGLASS ROOF w/ FINE ASPHALT REVEAL
 INSTALL PER MANUFACTURER

STUCCO: (B)
 7/8" CEMENT PLASTER OVER APPROVED PACKING, STUCCO OVER FLYWOOD SHALL HAVE 2 LAYERS OF GRADE 75' FINING PAPER, STUCCO COLOR AS SPECIFIED TO MATCH EXISTENCE. REFINISH AS NEEDED.

HORIZONTAL CONCRETE SIDING: (C)
 HARDY BOARD CONCRETE LAP SIDING w/ APPROVED PACKING, INSTALL PER MANUF., COLOR TO BE CONSISTENT w/ MAIN RESIDENCE, ICC-ER # 2250

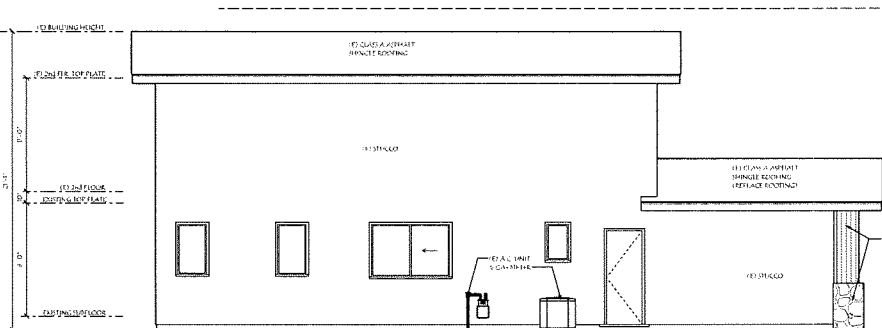
VERT. BOARD & BATT CONCRETE SIDING: (D)
 HARDY BOARD CONCRETE VERTICAL SIDING w/ APPROVED PACKING, INSTALL PER MANUF., COLOR TO BE CONSISTENT w/ MAIN RESIDENCE, ICC-ER # 2250

CORNER TRIM AND WINDOW SURROUNDS: (E)
 HARDY BOARD CONCRETE TRIM w/ APPROVED PACKING, INSTALL PER MANUF., COLOR TO BE CONSISTENT w/ MAIN RESIDENCE, ICC-ER # 2250

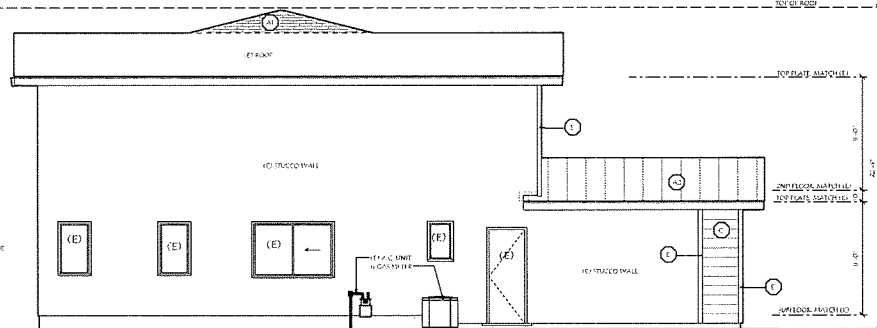
EAVE & RAIN GUTTER: (F)
 CUSTOM SHEET METAL RAIN GUTTERS TO MATCH EXISTING

RAKE BOARD: (G)
 2x10 P. #1 WOOD FACA w/ SHEET METAL FINISH TO MATCH EXISTING

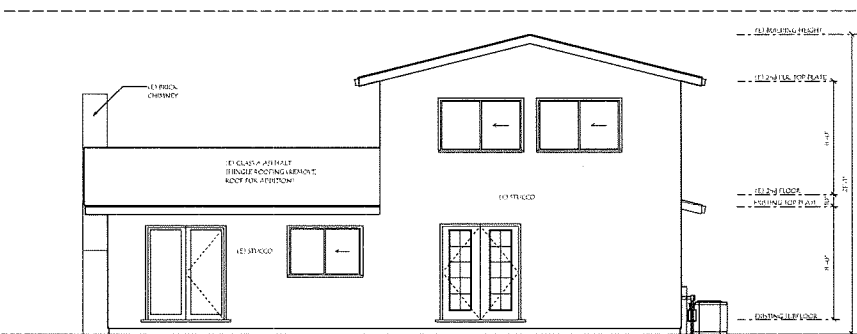
POST AND BEAM: (H)
 STRUCTURAL COLUMN & BEAM SIZE AS PER STRUCTURAL w/ WOOD CLADDING AS SHOWN



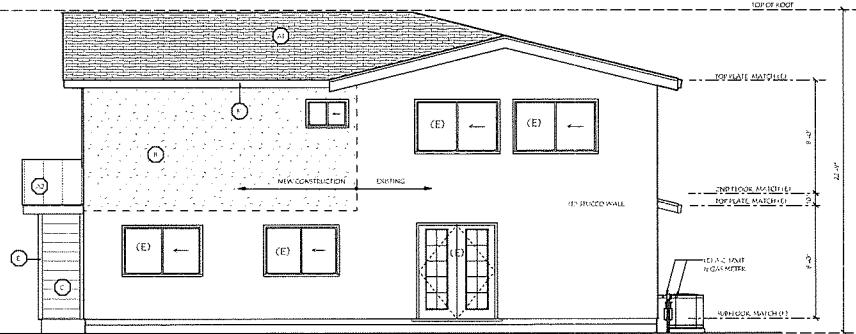
EXIST. LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



EXIST. REAR ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
 SCALE: 1/4" = 1'-0"

THE FOLLOWING DRAWINGS HAVE BEEN PREPARED AND REVIEWED BY BOURGALTT DRAFTING & DESIGN, LLC

BOURGALTT DRAFTING AND DESIGN, LLC
 2000 W. BOURGALTT BLVD. SUITE 100
 BOULDER, CO 80501
 TEL: 303.440.1000
 WWW.BOURGALTT.COM

ROSEN RESIDENCES
 5948 LAKE LINDERO DR. AGOURA HILLS
 ALL DRAWINGS UNLESS OTHERWISE SPECIFIED ARE TO BE CONSIDERED AS PER THE CURRENT EDITION OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

REVISIONS

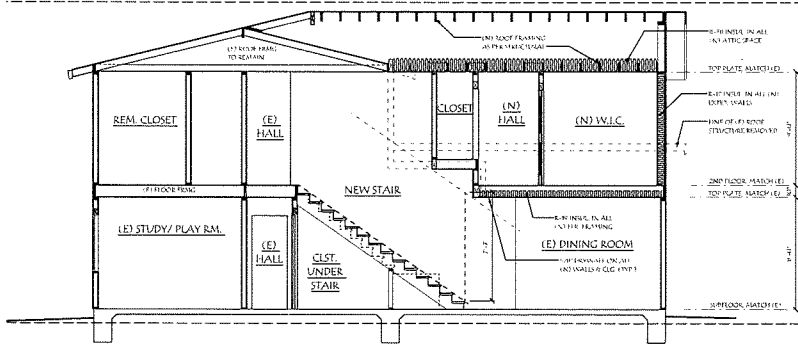
DATE: Friday, January 19, 2024

DATE: Friday, January 19, 2024

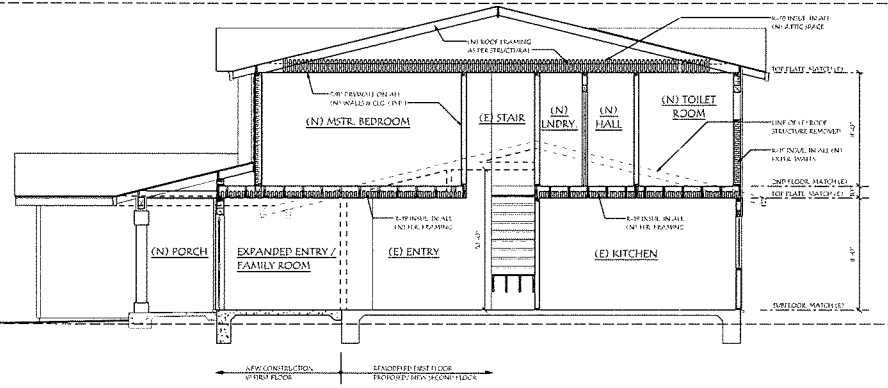
FOR THE: PROPOSED REMODEL & ADDITION

SHEET NO: **4.1**

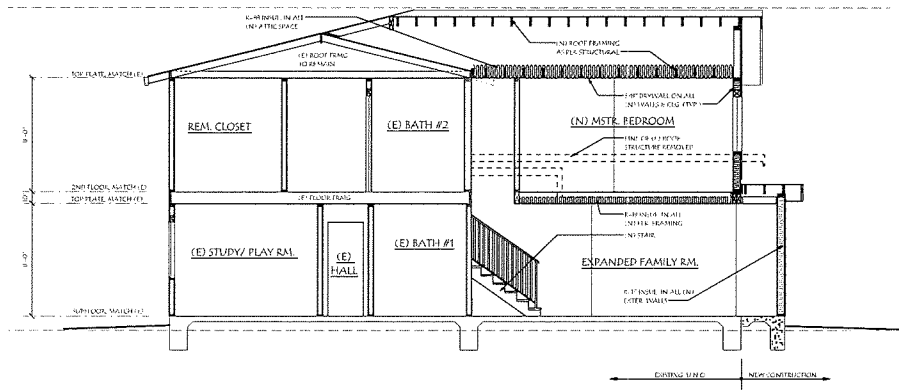
JOB NO. 23-016



SECTION C-C
SCALE: 1/4" = 1'-0"



SECTION B-B
SCALE: 1/4" = 1'-0"



SECTION A-A
SCALE: 1/4" = 1'-0"

THE FOLLOWING DRAWINGS HAVE BEEN PREPARED AND REVIEWED BY BOURGALT DRAFTING & DESIGN, LLC
James W. Bourgault
Friday, January 19, 2024

REVISIONS
DATE Friday, January 19, 2024

BOURGALT DRAFTING and DESIGN, LLC
AAR BOP
REMODEL & ADDITION
REVISIONS - REMODEL & ADDITION
144 2024-2025-2026

PROPOSED REMODEL & ADDITION
FOR THE
ROSEN RESIDENCES
5948 LAKE LINDERO DR. AGOURA HILLS
DATE: 1/19/24

SHEET NO:
5.0
JOB NO. 23-018

ATTACHMENT 4

Site Photos

